



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: ALDEN & KERRY JONES LOT LINE REVISION
PROJECT NO.: 17-08
PROJECT LOCATION: SECTION 2, BLOCK 1, LOT 92.12 & 90
REVIEW DATE: 14 APRIL 2017
MEETING DATE: 20 APRIL 2017
PROJECT REPRESENTATIVE: BROOKS & BROOKS, PC

1. The Applicants representative has revised the project to provide for fee ownership to the private roadway for all lots under ownership of Jones. Previously Lot 60 had a Town Law 280 A issue as it had no access to the private roadway and access by easement was proposed. The lot lines have been redrawn to provide fee ownership to Pheasant Hollow Road, a private roadway.
2. The required notification to surrounding property owners has been completed.
3. Standard note for lot lines identifying that no known encroachments will occur due to the lot line change should be added as a condition.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

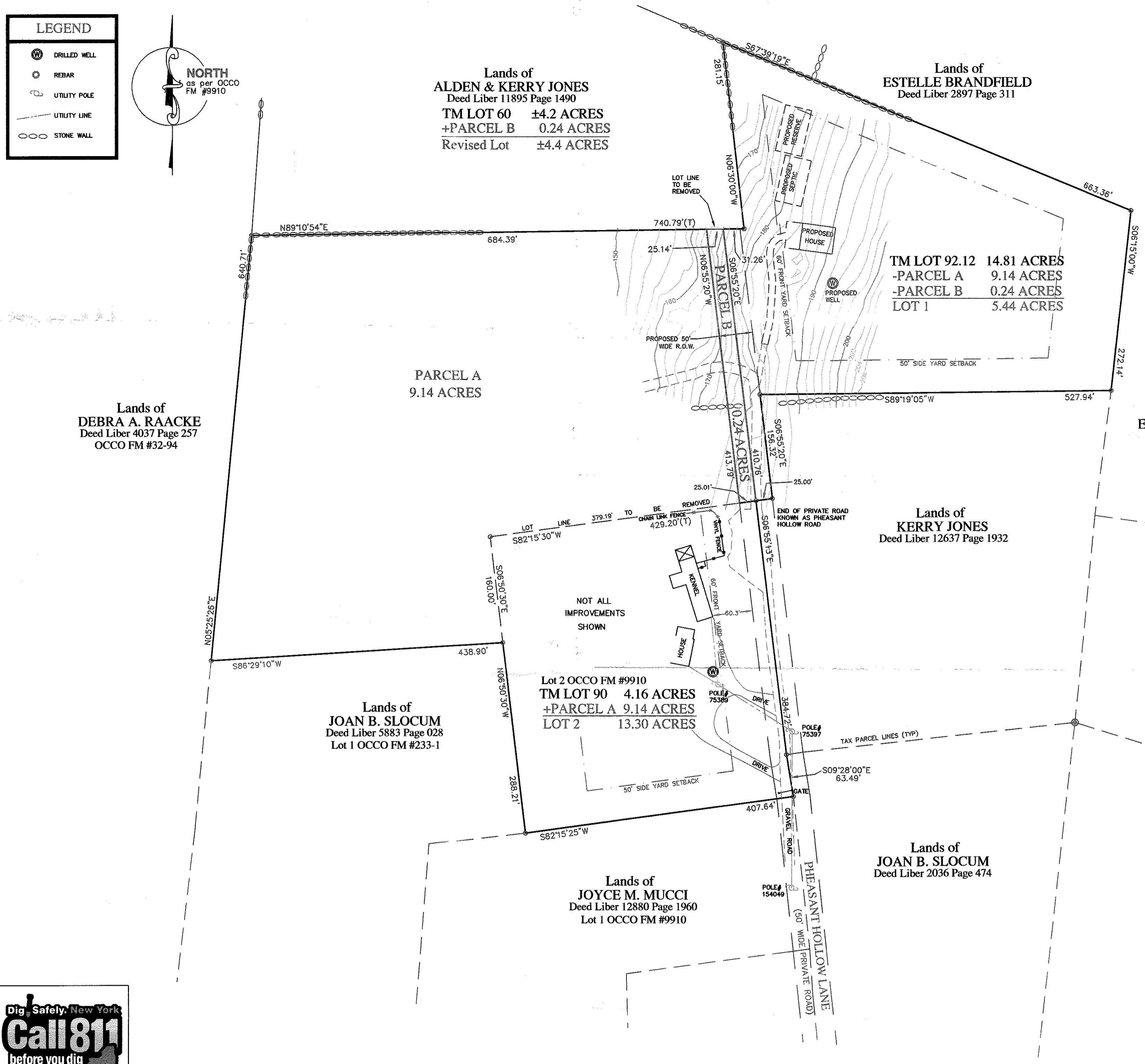
Patrick J. Hines
Principal

PJH/kbw

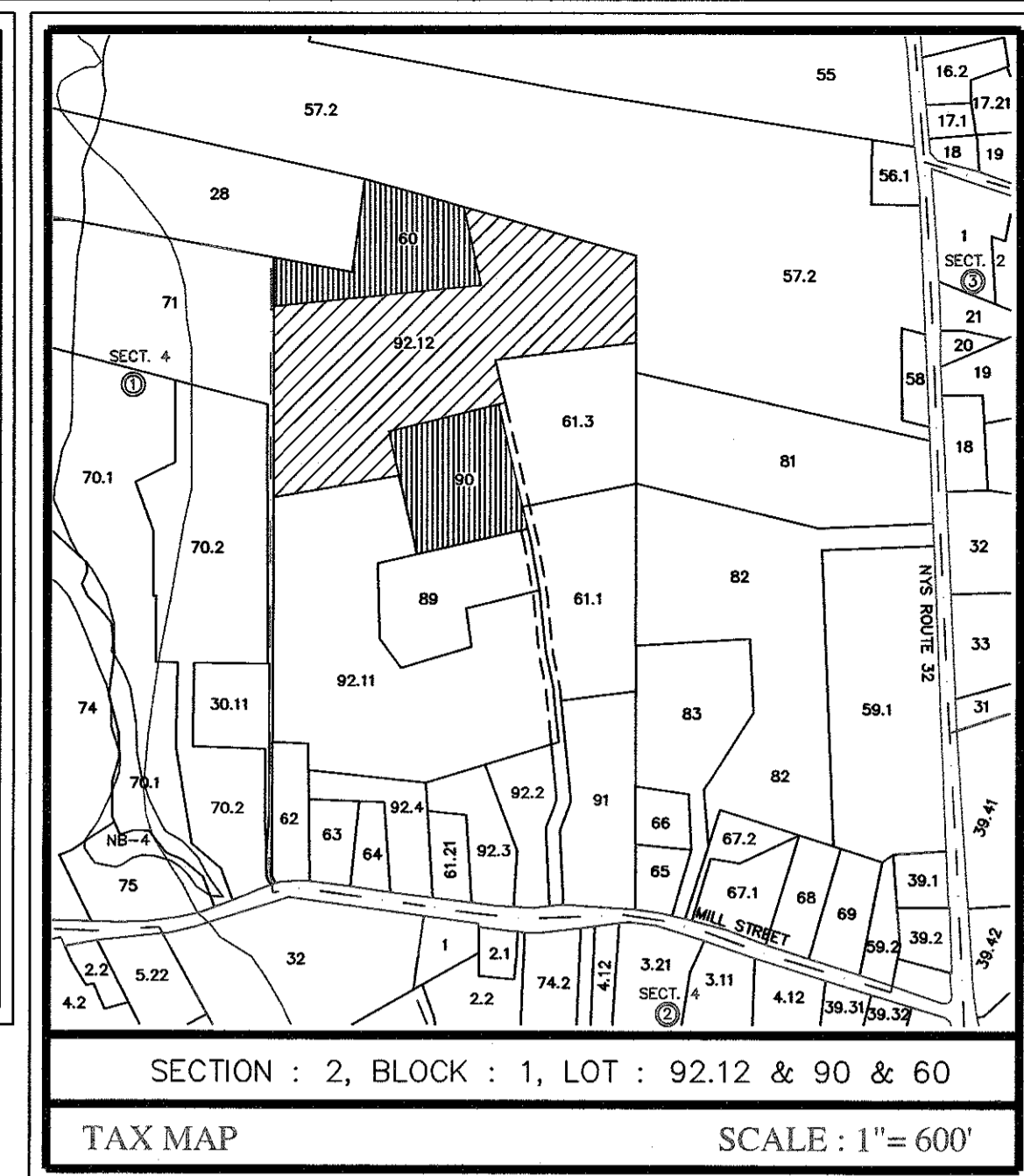
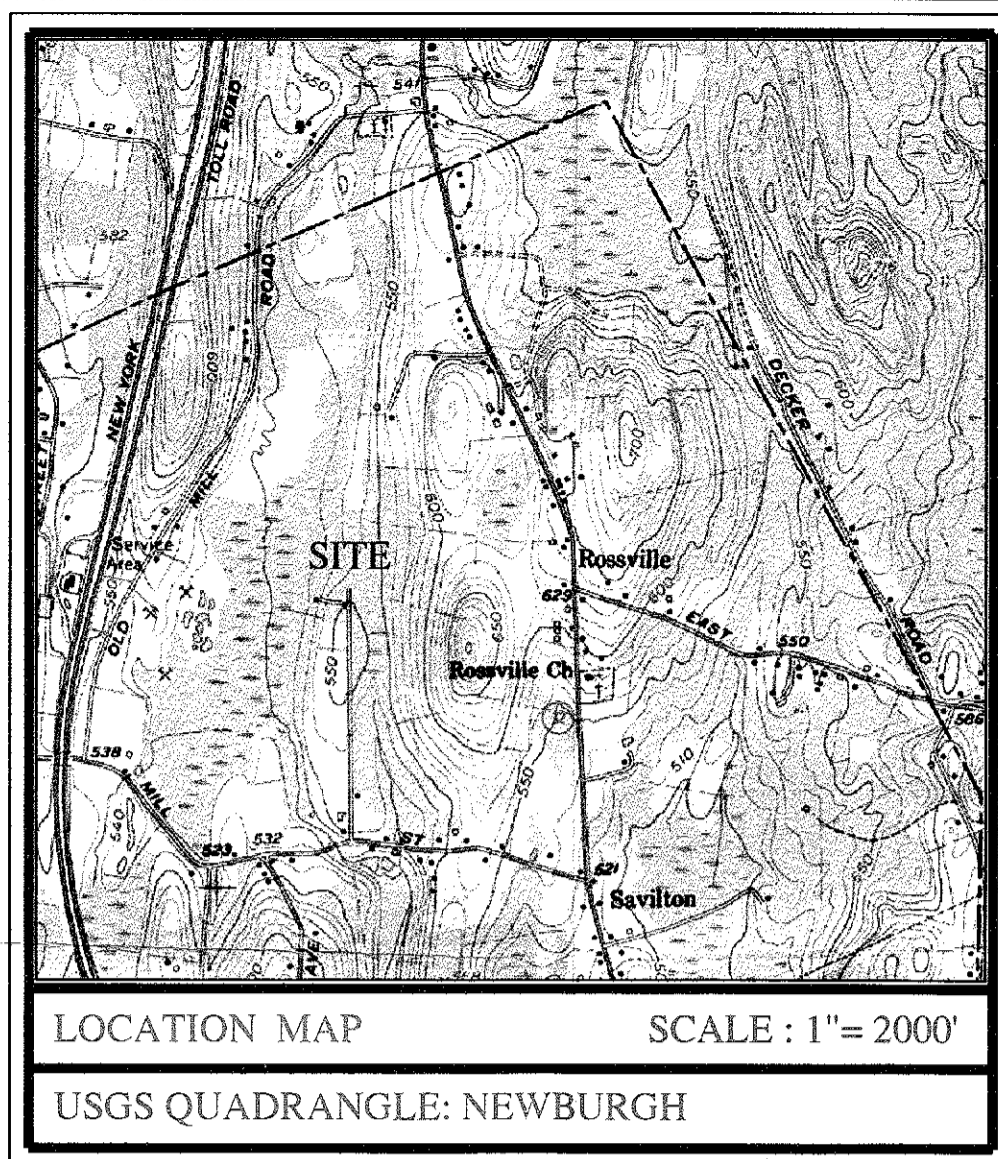
LEGEND

- DRILLED WELL
- REBAR
- UTILITY POLE
- UTILITY LINE
- STONE WALL

NORTH
as per OCCO
FM #9910



- MAP REFERENCE :**
- 1) Parcel being Lot 2 as shown on a map entitled "A Minor Subdivision of Lands of Joan B. Slocum and Mary Arline Santoro" filed with the Orange County Clerk's Office on 07 November, 2001 as Filed Map No. 233-01, and is subject to all provisions noted thereon.
 - 2) "Subdivision of Shea-D-Acres" filed with the Orange County Clerk's Office on 29 May, 1990 as Filed Map No. 9910.
 - 3) "Mr. Henry Raacke, 2 Lot Subdivision" filed with the Orange County Clerk's Office on 08 March, 1994 as Filed Map No. 32-94.



TOTAL AREA : ±23.2 ACRES

TABLE OF BULK REQUIREMENTS

ZONING DISTRICT	REQUIRED	LOT 1	LOT 2
ZONING DISTRICT	RR		
MINIMUM LOT AREA	2 Acres	5.68 Acres	13.30 Acres
MINIMUM LOT WIDTH	200'	257'	869'
MINIMUM LOT DEPTH	300'	571'	404'
MINIMUM FRONTYARD SETBACK	60'	>60'	61.3'
MINIMUM SIDEYARD SETBACK	50'/100'	>50'/100'	210'/590'
MINIMUM REARYARD SETBACK	100'	>100'	245'
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'
MAXIMUM BUILDING COVERAGE	10%	<10%	<10%
HABITABLE AREA	1500SqFt.	<1500SqFt.	<1500SqFt.

- NOTES :**
- 1) Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
 - 2) Only copies from the original of this survey marked with an original of the Land Surveyor's inked seal or his/her embossed seal shall be considered to be valid true copies.
 - 3) Subject to all rights of ways, covenants, easements, restrictions, conditions and agreements of record.
 - 4) Subject to whatever state of facts a complete Search of Title may reveal.
 - 5) Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Professional Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the parties so noted. Certifications are not transferable to additional institutions, their successors and/or assigns, or subsequent owners.
 - 6) Sub-surface structures not visible or readily apparent are not shown and their location and extent are not certified.
 - 7) Subject to and together with a Road Maintenance Agreement as described in Deed Liber 4965 at page 314.
 - 8) Contours based on actual field survey. Elevations shown hereon are approximate NAVD88 derived by RTK GPS observations.
 - 9) Parcel A to be conveyed to and combined with TM Lot 90 and is not considered a buildable lot unto itself.
 - 10) Parcel B to be conveyed to and combined with TM Lot 60 and is not considered a buildable lot unto itself.
 - 11) Lot 2 together with and subject to all provisions of the Special Permit for a Home Occupancy granted by the Town of Newburgh Zoning Board of Appeals in July 1995.

DEED REFERENCE :

TM Lot 92.12
Arlene B. Santoro
- to -
Kerry Jones
Deed Liber 11352 Page 324
Dated 06 January, 2004
Filed 15 January, 2004

TM Lot 90
Mary Arline Santoro
- to -
Alden & Kerry Jones
Deed Liber 3339 Page 214
Dated 08 June, 1990

RECORD OWNER :
Kerry & Alden Jones
57 Pheasant Hollow Lane
Walkill, NY 12589



BROOKS & BROOKS
Land Surveyors, P.C.

11 Main Street,
Highland, NY 12528
845-691-7339

Patricia Paul Brooks, L.S.
Registration No. 49795

Richard C. Brooks, L.S.
Registration No. 49600

I HEREBY CERTIFY that this map is a true representation of a survey performed by this office in the field on 12 September, 2016 in accordance with the existing codes of practice as adopted by the New York State Association of Professional Land Surveyors.

By: Patricia Paul Brooks, L.S.
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29 November, 2016

map check 12-13-16
planning check 3-23-17
closure check 3-23-17

JOB#7939, DRAWING\7939lin.DWG

REVISED: 22 March, 2017 - add Parcel B

OWNER'S CERTIFICATION

The undersigned, owner or owner's authorized representative of the property shown on this plot, does hereby certify that he/she has reviewed this plot, is familiar with this map, its contents and its notes and hereby consents to all said terms and conditions as stated hereon and agrees to file this map with the Orange County Clerk.

Signature _____ Date _____

Signature _____ Date _____

PLANNING BOARD ENDORSEMENT

Approved by resolution of the Planning Board of the Town of Newburgh, subject to all conditions and requirements of said resolution. Any change, erasure, modification, or revision of this plot as approved shall void this approval.

APR 1 2017

Signature _____ Date _____

Chairperson - Town Planning Board Date _____

FINAL
MAP OF LOT LINE REVISION
OF LANDS OF
ALDEN & KERRY JONES
- SITUATE -
TOWN OF NEWBURGH - ORANGE COUNTY, NEW YORK

APR 1 2017

GRAPHIC SCALE (IN FEET)
1 inch = 100 ft.