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Principal Emeritus:
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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: JIFFY LUBE
PROJECT NO.: 21-19
PROJECT LOCATION: SECTION 96, BLOCK 1, LOT 3
REVIEW DATE: 9 AUGUST 2021
MEETING DATE: 19 AUGUST 2021
PROJECT REPRESENTATIVE: SEVAN ENGINEERING

1. The applicant’s representative has identified numerous variances required to construct the Jiffy Lube immediately south of the Lowes entrance on Route 300. The lot contains a former single-family residential structure which is proposed to be removed. The site has also identified the need for a signage variance, a signage chart should be provided.

Lot Area Variance: 30,520-square feet provided
40,000-square feet minimum required

Lot Width Variance: 148.11-feet provided
150-feet required

Side Yard Variance: 10.32-feet provided
50-feet is required

Total Side Yard Variance: 48.73-feet provided
50-feet is required

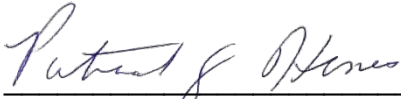
In addition, the project requires a front yard setback as project is located on a State highway. Front yard setback is labeled in the Bulk Tables as 50-feet where 60-feet is required. A 10-foot variance would be required based on the 60-foot State highway front yard setback requirement found in Section 185-18(4)(b).

2. The Environmental Assessment Form submitted should be signed by the preparer and the preparer identified.
3. The Long Form EAF identifies potential habitat for two (2) endangered species, Indiana Bat and Upland Sand Piper. This must be addressed in further submissions.

4. NYS DOT approval for driveway access will be required. It appears the application is proposing a right-out only.
5. The project is located adjacent to the stream which feeds into the City of Newburgh's diversion structure across the street, potentially providing drinking water to the City of Newburgh. Stormwater Management Plan should take into account any discharge to the water body.
6. A Sanitary Sewer Flow Acceptance Letter from the City of Newburgh will be required.
7. An oil/water separator is depicted on the sanitary sewer system. The project may be considered an Industrial User for the Town/City of Newburgh collection and conveyance system.
8. The size of the building should be denoted in square feet on the plans. Buildings greater than 2,500 square feet are required to be sprinklered per Town Code.
9. Further review will be undertaken once detailed design plans for the project have been provided.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**



Patrick J. Hines
Principal

PJH/dns

TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE

for

SUBDIVISIONS,

SITE PLANS,

LOT LINE CHANGES

And

SPECIAL EXCEPTION USE PERMITS

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Jiffy Lube Multi-care

2. Owner of Lands to be reviewed:

Name Micheal Calaluca

Address 1313 Lakeside Rd Newburgh NY 12550

Phone (845) 541-8300

3. Applicant Information (If different than owner):

Name Jiffy Lube International, Inc.

Address 150 N. Dairy Ashford, Bldg F, 3rd Floor
Houston, TX 77079

Representative Claire Gilroy

Phone 832-337-9809

Fax

Email Claire.Gilroy@Shell.com

4. Subdivision/Site Plan prepared by:

Name Sevan Multi-Site Solutions - Tim Kratz

Address 37704 Hills Tech Drive
Farmington Hills, MI 48331

Phone/Fax 219-841-6535

5. Location of lands to be reviewed:

1231 Union Avenue (NY-300)

6. Zone IB **Fire District** Winona Lake

Acreage 0.70 Acre **School District** 331100

7. Tax Map: Section 96 **Block** 1 **Lot** 3

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1
Lot line change No
Site plan review Yes
Clearing and grading Yes
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT See attached narrative

9. Easements or other restrictions on property:

(Describe generally) Lot width and restrictive land slopes

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature *Charles C. Dykes* Title Vice-President, Network Development

Date: August 2, 2021

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Jiffy Lube Multi-care

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Yes Environmental Assessment Form As Required
2. Yes Proxy Statement
3. Yes Application Fees
4. Yes Completed Checklist (Automatic rejection of application without checklist)

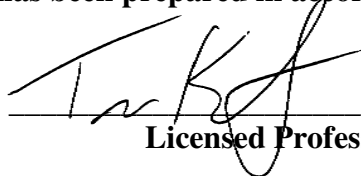
II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. X Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. X Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. TBD Estimated or known cubic yards of material to be excavated and removed from the site
34. TBD Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  _____
 Licensed Professional

Date: 07.02.2021

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): 7/1/2021

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: Sevan Multisite Solutions on Behalf of Jiffy Lube International Inc

Name of owner on premises: Micheal Calaluca

Address of owner: 313 Lakeside Rd Newburgh NY 12550

Telephone number of owner: (845) 541-8300

Telephone number of applicant: 847-239-0869

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Engineer

Location of land on which proposed work will be done: _____

1231 Union Avenue (NY-300)

Section: 96 Block: 1 Lot: 3 Sub. Div.: 331100

Zoning District of Property: IB Size of Lot: 0.70 Acre

Area of lot to be cleared or graded: 0.18 Acre

Proposed completion of date: 3/1/22

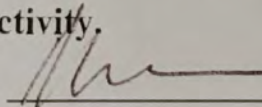
Name of contractor/agent, if different than owner: Andrew Kerrigan - Sevan Multi-Site Solutions

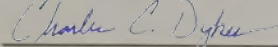
Address: 3025 Highlands Pkwy #850, Downers Grove IL 60515

Telephone number: Andrew.Kerrigan@sevansolutions.com

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  Date: 7.8.21

Signature of applicant (if different than owner): 

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

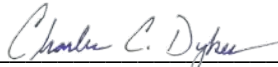
This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Jiffy Lube International, Inc. - Claire Gilroy

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

August 2, 2021

DATE

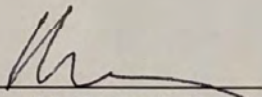
Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Micheal Calaluca, **DEPOSES AND SAYS THAT HE/SHE**
RESIDES AT 313 Lakeside Rd Newburgh
IN THE COUNTY OF Orange County
AND STATE OF New York
AND THAT HE/SHE IS THE OWNER IN FEE OF _____
1231 Union Avenue (NY-300), Newburgh NY

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
Sevan Multi-Site Solutions
PLANNING BOARD AND on behalf of Jiffy Lube International **IS AUTHORIZED**
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

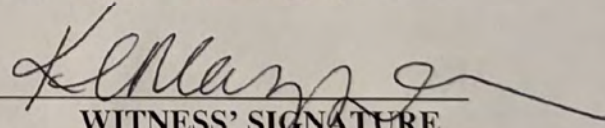
DATED: 7.8.21



OWNERS SIGNATURE

MICHAEL CALALUCA

OWNERS NAME (printed)



WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

Kathryn Calaluca Mazza

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

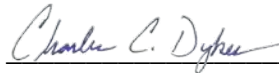
The applicant hereby acknowledges, consents, and agrees to the above.

August 2, 2021

DATED

Jiffy Lube International, Inc. - Claire Gilroy

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: Jiffy Lube Multi-Care

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Painted EFIS walls

COLOR OF THE EXTERIOR OF BUILDING:

Colonial Revival Stone / Pure White

ACCENT TRIM:

Location: Parapit, Bay Doors, Storefront Doors, Storefront Windows

Color: All locations Medium Bronze

Type (material): All locations aluminum

PARAPET (all roof top mechanicals are to be screened on all four sides):

4'5" with roof access on rear of building

ROOF:

Type (gabled, flat, etc.): Flat

Material (shingles, metal, tar & sand, etc.): Tar

Color: Black

WINDOWS/SHUTTERS:

Color (also trim if different): Medium Bronze

Type: Storefront

DOORS:

Color: Medium Bronze

Type (if different than standard door entrée): Storefront

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Jiffy Lube International, Inc. - Claire Gilroy

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Charles C. Dykes

Signature

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ - State & Federally endangered and State threatened, respectively _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature Charles C. Dyke _____ Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	336089
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat, Upland Sandpiper
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



Project Narrative

Jiffy Lube Multi-Care Facility
1231 Union Avenue (NY-300)
Town of Newburgh, NY 12550

Jiffy Lube International, Inc. (“Jiffy Lube”) proposes to develop the existing 0.70 acre site at 1231 Union Avenue (NY-300) in the Town of Newburgh, New York, including the demolition of an existing residence and the construction of a 3,103 SF Jiffy Lube Multi-Care Facility (JLM) with associated utilities, drive aisles, parking, signage, landscaping, and dumpster area enclosures. The site is within the Interchange Business zoning district (Zone IB). The proposed automotive service and retail commercial business is allowed in Zone IB. Typical JLM services include: oil changes; vehicle inspections; filters (air, cabin, etc.); fluids; battery replacement; brakes; exterior glass; suspension maintenance and repair; and minor auto service. Typical service times are between 30 minutes and 120 minutes.

The site is surrounded by commercial businesses and similar businesses exist along NY-300. Existing traffic volumes along NY-300 will not be affected by the comparatively low number of peak trips to the site during afternoon rush hour and Saturday afternoon popular business hours. Improvements to the existing site entrance from NY-300 are proposed to allow access by waste management and emergency vehicles. The existing 48” diameter CMP drainage culvert will be preserved, and will remain in use, during construction and will remain in place for the proposed development.

The site is limited to area, and grading constraints. The existing site slopes generally from Northeast to Southwest, away from the NY-300 right-of-way and directly to the un-named tributary ditch to the Quassaic Creek. The land is heavily wooded and sits on both moderately well-drained and poorly drained Hydrologic Soil Group D soils. The proposed development will include stormwater drainage facilities including water quality treatment and other soil erosion and sedimentation control as required.

The Developer and Applicant are requesting variances for approval from the Town to develop the site, as listed below:

REQUESTED VARIANCES:

1. Lot Area Variance. The existing site is 30,502 square feet and the minimum allowable lot size is 40,000 square feet.
2. Side Yard Variance. The minimum side yard setback is 50 feet. The proposed side yard setback to the North is 10 feet due to grading constraints.
3. Side Yard Variance. The minimum side yard setback is 50 feet. The proposed side yard setback to the South is 49 feet, due to grading constraints.
4. Signage Size Variance. Requesting 5.32 square foot directional signs mounted on exterior walls instead of the 4 square foot maximum allowable.
5. We do not believe a Lot Width Variance is needed due to the Lot measuring greater than 150 feet wide at the front yard setback line, or building line.

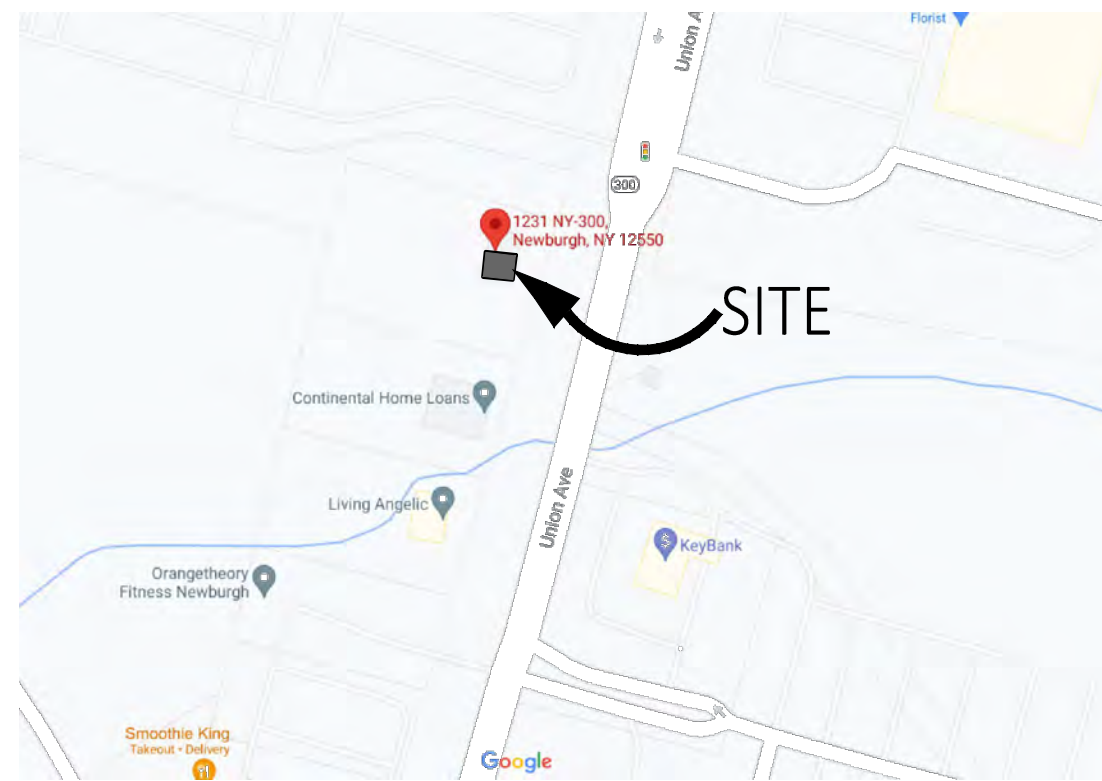
SPECIAL USE PERMIT:

1. An electronic message board attached to a pylon sign. Property across the highway has changeable message board and the gas stations located at the intersections to the North and South each have electronic message boards.

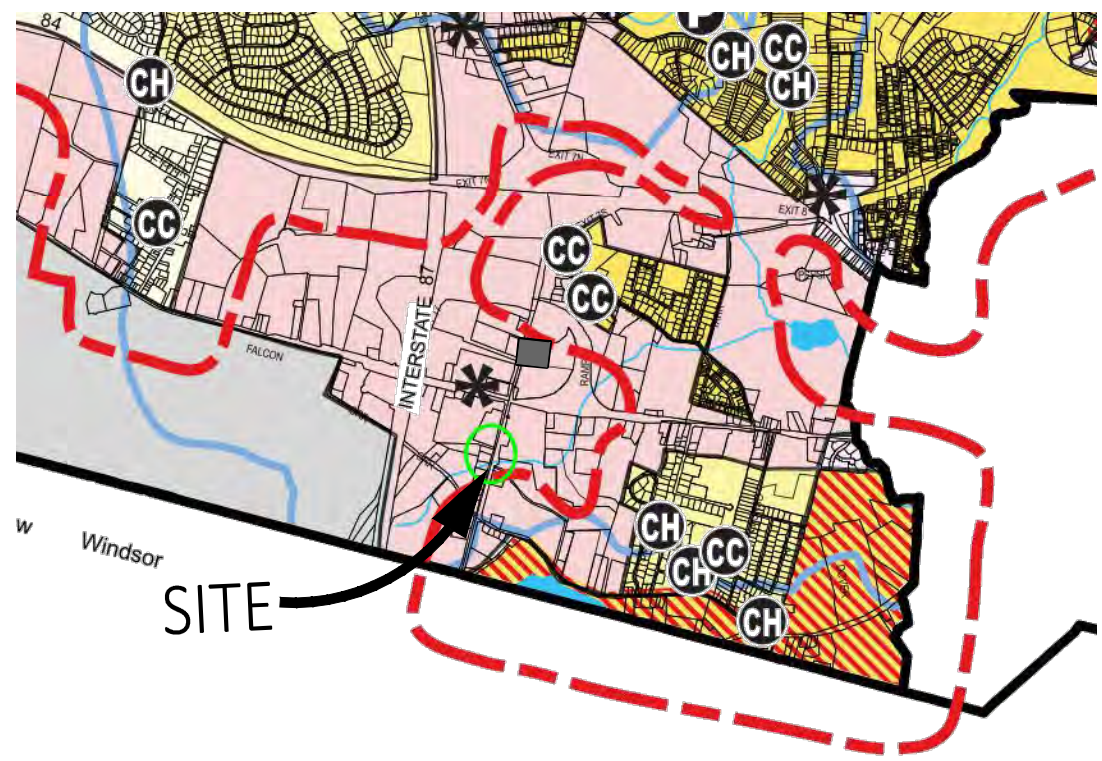


JIFFY LUBE - 154 NEWBURGH
MULTICARE SERVICES

1231 STATE ROUTE 300
NEWBURGH, NY 12550
ORANGE COUNTY



LOCATION MAP
SCALE: NTS



ZONING MAP
SCALE: NTS

PROJECT DESCRIPTION	
CONSTRUCTION OF A RETAIL AUTOMOTIVE OIL CHANGE FACILITY AND ASSOCIATED SITE IMPROVEMENTS.	
SITE NOTES	
1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY CONTROL POINT ASSOCIATES INC. PC DATED: 04.15.2021.	
PARCEL INFORMATION:	
PARCEL NUMBER:	LOT 3, BLOCK 1
OWNER:	CALALUCA
ACRES:	DEVELOPMENT: 0.70 ACRES

BUILDING CODE REVIEW	
ACCESSIBILITY CODE	2010 ADA STANDARDS ANSI/ICC A117.1 - 2009
BUILDING CODE	2020 BUILDING CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) BUILDING CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE OF NEW YORK STATE (ADOPTS NFPA 70 WITHOUT AMENDMENTS) ELECTRICAL CODE
ENERGY CODE	2020 ENERGY CODE OF NEW YORK STATE (ECC 2018 WITH AMENDMENTS) ENERGY CONSERVATION
MECHANICAL CODE	2020 MECHANICAL CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) MECHANICAL CODE
PLUMBING CODE	2020 PLUMBING CODE OF NEW YORK STATE (IBC 2018 WITH AMENDMENTS) PLUMBING CODE
FIRE CODE	2020 FIRE CODE OF NEW YORK STATE FIRE CODE
ZONING ORDINANCE REVIEW	
ZONING ORDINANCE	ZONING ORDINANCE OF TOWN OF NEWBURGH
ZONING MAP	ZONING MAP OF 2001
SITE ZONING	IB INTERCHANGE BUSINESS
PERMITTED USE	YES

BULK REGULATIONS			
ITEM	REQUIRED	PROPOSED	TOWN CODE
LOT REQUIREMENTS:			
MIN. LOT AREA	40,000 SF	30,502 SF (0.70 AC)	
MIN. LOT DEPTH	150'	198'-0"	
MIN. LOT WIDTH	150'	148'-0"	
MAX. LOT COVERAGE	85%	59%	
BUILDING REQUIREMENTS:			
MAX. BUILDING HEIGHT	35'	21'	
SETBACK REQUIREMENTS:			
FRONT BUILDING SETBACK	50'	50'-0"	
SIDE BUILDING SETBACK (N)	50'	10'-3 13/16"	
SIDE BUILDING SETBACK (S)	50'	49'-8 3/4"	
REAR BUILDING SETBACK	60'	103'-0"	
PARKING SETBACK	20'	20'-0"	
PARKING REQUIREMENTS:			
MIN. STANDARD SPACE SIZE	9' X 18'	9' X 18'	
PARKING CALCULATION:			
TOTAL SPACES	10	13	
ADA SPACES	1	1	ANSI/ICC A117.1
MIN. LOADING ZONE SIZE	N/A	N/A	

SIGNS: ZONING IB - INTERCHANGE BUSINESS			
PYLON SIGN: ALLOWED; YES			
	MAXIMUM:	PROVIDED:	CODE:
AREA:	60 S.F.	37 S.F.	185.14.N.2
HEIGHT:	14.0'	25.0'*	
SETBACK:	FRONT: WITHIN 15.0' OF FRONT PROPERTY LINE	10.2'	
NUMBER OF SIGNS	1		
ELECTRONIC MESSAGE BOARD: ALLOWED WITH SPECIAL USE APPROVAL			
AREA:	LESS THAN 1/2 AREA OF SIGN = 11 S.F.	9 S.F.	185.14.P.2
BUILDING SIGNS: ALLOWED; YES 1 S.F. OF SIGNAGE PER 1 FOOT OF LINEAL FRONTAGE = 92.0 S.F.			
	ALLOWED:	PROPOSED:	CODE:
FRONT SIDE: EAST ELEVATION		1. JIFFY LUBE MULTICARE LOGO = 28 S.F. 2. PENNZOIL LOGO = 7 S.F. 3. VERTICAL JIFFY LUBE LOGO SIGN = 38 S.F. 4. ENTRY/EXIT SIGN = 10.32 S.F.	185.14F, N
TOTAL	92.0 S.F.	83.64 S.F.	
DIRECTIONAL SIGN	4 S.F.	5.32 S.F.*	
* = VARIANCE REQUIRED			

VARIANCE REQUEST	
1.	LOT AREA VARIANCE. EXISTING LOT TO BE REDEVELOPED IS 30,502 SQUARE FEET.
2.	LOT WIDTH VARIANCE. EXISTING LOT TO BE REDEVELOPED IS 148.11 FEET AT FRONTAGE.
3.	SIDE YARD VARIANCE. PROPOSED SIDE YARD TO THE NORTH IS 10.32'
4.	SIDE YARD VARIANCE. PROPOSED SIDE YARD TO THE SOUTH IS 48.73'
5.	REQUEST A VARIANCE TO PERMIT 5.32 SQUARE FOOT WALL-MOUNTED DIRECTIONAL SIGNS

PROJECT DIRECTORY			
	DESCRIPTION	ADDRESS	CONTACT
SITE	DEVELOPER	JIFFY LUBE INTERNATIONAL - SHELL LUBRICANTS BUILDING F, RM F-376 D 150 N. DAIRY ASHFORD RD HOUSTON, TX 77079	''
	PROJECT MANAGER	SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	MATTHEW PISKO 734.367.4442
	SURVEYOR	CONTROL POINT ASSOCIATES INC. PC 26 AVIATION ROAD ALBANY, NY 12205	CONTACT 518.217.5010
DESIGN CONTACT	CIVIL ENGINEER	SEVAN ENGINEERING, PC 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIMOTHY KRATZ, PE 219.841.6535
	ARCHITECT	CASCO + RS 12 SUNNEN DRIVE, SUITE 100 ST. LOUIS, MO 63143	JIM SCHMITT 314.821.1100x252
UTILITY	TELEPHONE	NAME ADDRESS ADDRESS	CONTACT XXX.XXX.XXXX
	CABLE	NAME ADDRESS ADDRESS	CONTACT XXX.XXX.XXXX
	ELECTRIC	ANGELA 284 SOUTH AVE. POUGHKEEPSIE, NY 12601	CONTACT 845.452.2700
	GAS	ANGELA 284 SOUTH AVE. POUGHKEEPSIE, NY 12601	CONTACT 845.452.2700
	WATER	MARY BUTLER 311 ROUTE 32 NEWBURGH, NY 12550	CONTACT 845.564.7813
	SANITARY SEWER	MARY BUTLER 311 ROUTE 32 NEWBURGH, NY 12550	CONTACT 845.564.7813
	STORM SEWER	TOWN OF NEWBURGH, NY 21 HUDSON VALLEY PROFESSIONAL PLAZA, NEWBURGH, NY 12550	CONTACT 845.564.7801
	PLANNING DEPARTMENT (TOWNSHIP)	JOHN EWASUTYN 21 HUDSON VALLEY PROFESSIONAL PLAZA NEWBURGH, NY 12550	CONTACT 845.564.7804
GOVERNMENT	ENGINEER	JAMES W OSBORNE, P.E 308 GARDNERTOWN ROAD NEWBURGH, NY 12550	CONTACT 845.564.7814
	BUILDING DEPARTMENT	GERALD CANFIELD 21 HUDSON VALLEY PROFESSIONAL PLAZA NEWBURGH, NY 12550	CONTACT 845.564.7801

SHEET INDEX		SITE PLAN REVIEW									
GENERAL		0	1	2	3	4	5	6	7	8	
G0.01	COVER SHEET	●									
G0.02	GENERAL NOTES										
SURVEY											
1 OF 1	ALTA/NSPS LAND TITLE SURVEY	●									
CIVIL											
C1.02	COMPOSITE SITE PLAN										
C1.10	DEMOLITION SITE PLAN										
C1.11	SOIL EROSION AND SEDIMENTATION CONTROL PLAN										
C1.20	DIMENSION CONTROL SITE PLAN	●									
C1.30	GRADING PLAN	●									
C1.31	STORM WATER MANAGEMENT PLAN										
C1.32	STORM WATER PROFILES & DETAILS										
C1.40	UTILITY PLAN	●									
C5.00	EROSION CONTROL DETAILS										
C5.01	SITE DETAILS										
C5.02	UTILITY DETAILS										
C5.03	ADDITIONAL DETAILS AS NEED FOR SITE SPECIFIC ELEMENTS										
L1.20	LANDSCAPE PLAN, NOTES AND SCHEDULE										
SITE LIGHTING											
PM-1	SITE PHOTOMETRICS										
SIGNAGE											
AG1.01	SITE PLAN SIGNS	●									
AG2.01	SIGN ELEVATIONS	●									
AG5.01	SIGN DETAILS	●									



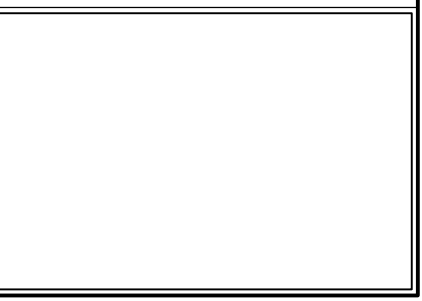
Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.367.4445 Telephone

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
info@sevan.com www.sevan.com

REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.21	SITE PLAN REVIEW

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

1231 STATE ROUTE 300
NEWBURGH, NY 12550
(ORANGE COUNTY)

SHEET TITLE

COVER SHEET

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: -
CRITERIA: V2020.10-134
PROJECT MANAGER: M. PISKO

SHEET NUMBER

G0.01



SCHEDULE A DESCRIPTION:

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE, AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY LINE OF UNION AVENUE SAID POINT BEING LOCATED 967.04 FEET SOUTHERLY AS MEASURED ALONG THE WESTERLY LINE OF UNION AVENUE FROM THE INTERSECTION OF SAID WESTERLY LINE OF UNION AVENUE WITH THE SOUTHERLY LINE OF COCHECTON TURNPIKE, WHICH IS ALSO KNOWN AS ROUTE 17K;

THENCE FROM SAID POINT OF BEGINNING AND ALONG THE WESTERLY LINE OF UNION AVENUE SOUTH 27° 20' WEST 82.35 FEET TO A POINT AND SOUTH 22° 06' WEST 68.40 FEET TO A POINT;

THENCE NORTH 60° 40' 50" WEST 205.83 FEET TO A POINT;

THENCE NORTH 27° 20' EAST 180.18 FEET TO A POINT;

THENCE SOUTH 58° 52' EAST 200.00 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY HIGHWAY BOUNDARY OF UNION AVENUE (N.Y.S. ROUTE 300) AT ITS PROLONGATION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF LOWE'S HOME CENTERS, INC., AS DESCRIBED IN BOOK 5943 OF DEEDS AT PAGE 217, ON THE NORTH, AND LANDS OF MICHAEL P. CALALUCA, AS DESCRIBED IN BOOK 14334 OF DEEDS AT PAGE 491, ON THE SOUTH, THENCE ALONG SAID HIGHWAY BOUNDARY THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

1. SOUTH 16° 32' 12" WEST, A DISTANCE OF 47.58 FEET TO A POINT, THENCE;
2. SOUTH 17° 24' 05" WEST, A DISTANCE OF 34.49 FEET TO A POINT, THENCE;
3. SOUTH 66° 19' 20" EAST, A DISTANCE OF 3.16 FEET TO A POINT, THENCE;
4. SOUTH 10° 19' 34" WEST, A DISTANCE OF 48.00 FEET TO A POINT, THENCE;
5. SOUTH 13° 57' 27" WEST, A DISTANCE OF 19.43 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF POMARICO PROPERTIES, LLC, AS DESCRIBED IN BOOK 12450 OF DEEDS AT PAGE 1888, ON THE SOUTH, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE NORTH, THENCE NORTH 73° 49' 16" WEST, A DISTANCE OF 200.16 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS N/F OF N&N UNION, LLC, AS DESCRIBED IN BOOK 14542 OF DEEDS AT PAGE 1708, ON THE WEST, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE EAST, THENCE ALONG SAID PROPERTY DIVISION LINE BETWEEN SAID LANDS OF N&N UNION, LLC, AND SAID LANDS OF LOWE'S HOME CENTERS, INC., ON THE WEST AND NORTH, AND SAID LANDS OF MICHAEL P. CALALUCA, ON THE EAST AND SOUTH, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

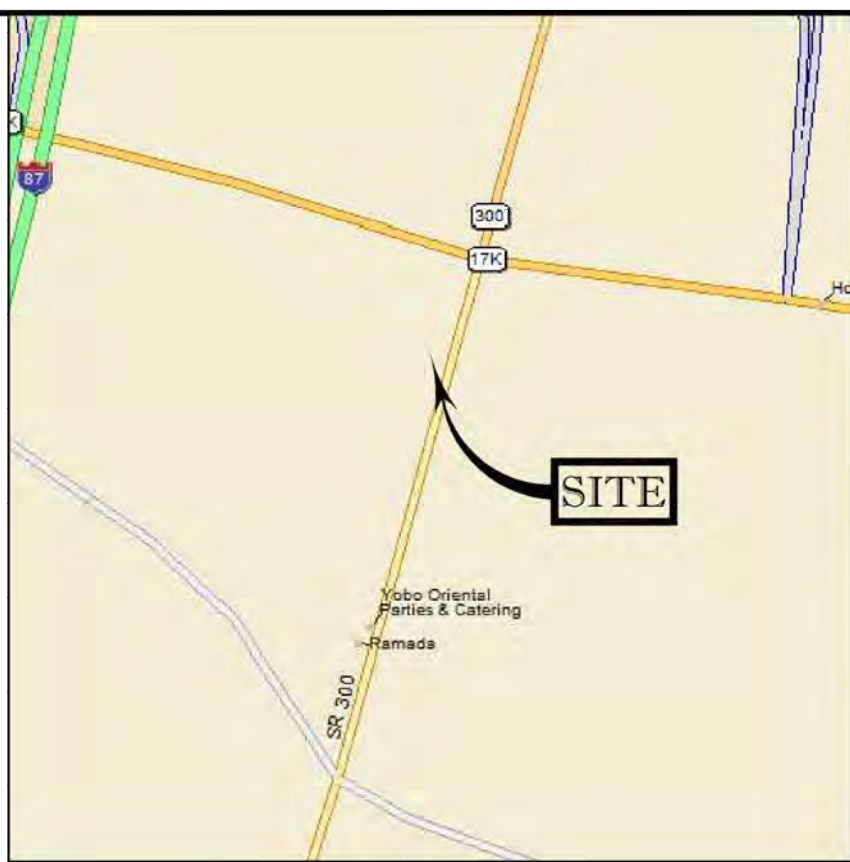
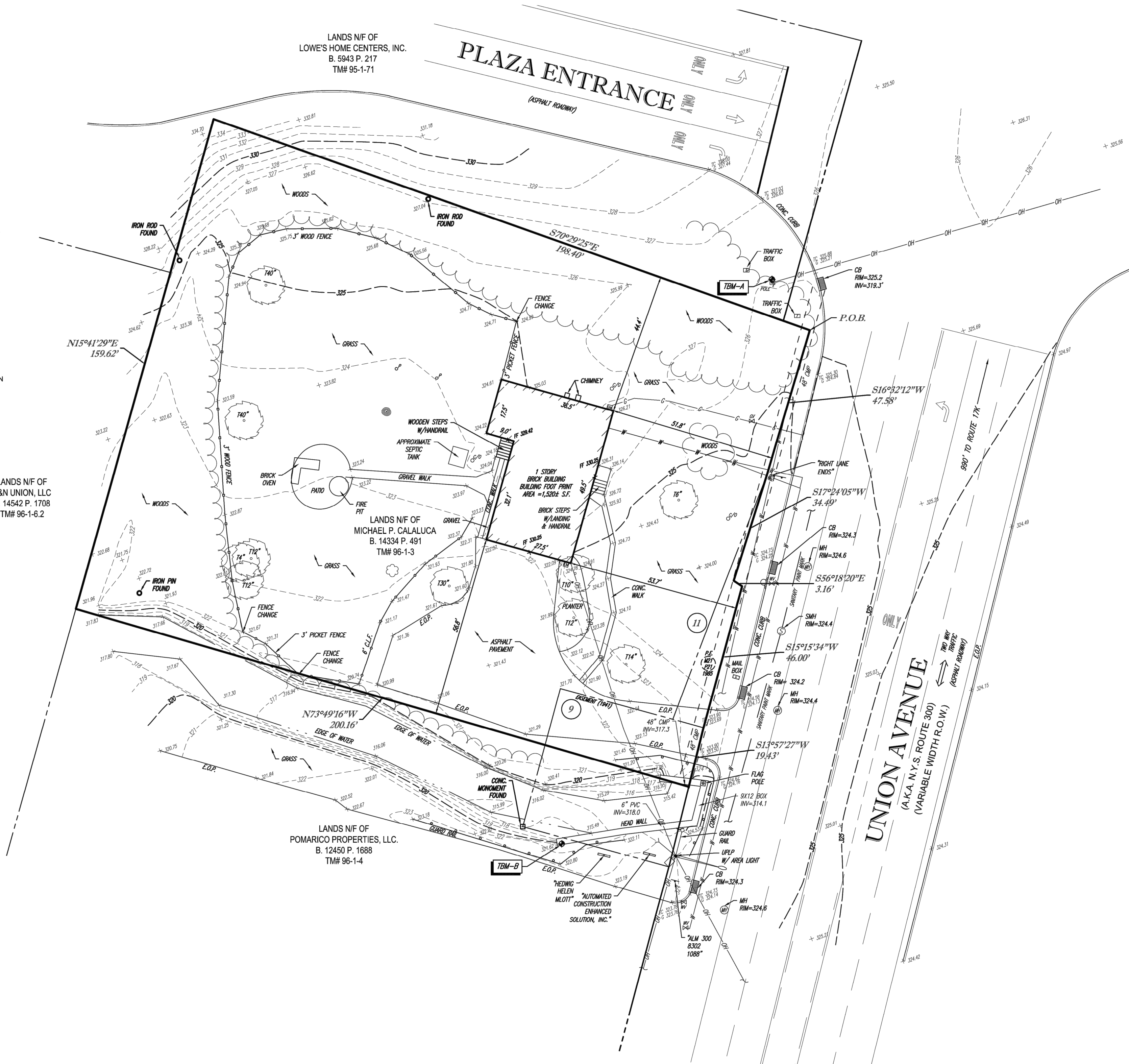
1. NORTH 15° 41' 29" EAST, A DISTANCE OF 159.62 FEET TO A POINT, THENCE;
2. SOUTH 70° 29' 25" EAST, A DISTANCE OF 188.40 FEET TO THE POINT OR PLACE OF BEGINNING.

LANDS N/F OF N&N UNION, LLC
B. 14542 P. 1708
TM# 96-1-2

LANDS N/F OF LOWE'S HOME CENTERS, INC.
B. 5943 P. 217
TM# 95-1-71

LANDS N/F OF MICHAEL P. CALALUCA
B. 14334 P. 491
TM# 96-1-3

LANDS N/F OF POMARICO PROPERTIES, LLC.
B. 12450 P. 1888
TM# 96-1-4



VICINITY MAP
©2008 DeLorme Street Atlas USA

NOTES:

1. PROPERTY KNOWN AS LOT 3, BLOCK 1 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, SECTION 96.
2. AREA = 30,502± SQ. FT. OR 0.700± ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. MCS-1054988-H011, WITH AN EFFECTIVE DATE OF MARCH 08, 2021, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
 - (A) RELEASE AND MODIFICATION OF RESTRICTIVE COVENANTS AND EASEMENT CONTAINED IN INSTRUMENT RECORDED 03/08/1972 IN LIBER 1900 CP 638. THE SURVEYOR HAS INFORMATION INDICATING IT MAY HAVE BEEN RELEASED.
 - (B) GAS EASEMENT CONTAINED IN INSTRUMENT RECORDED ON 07/23/1931 IN (AS) LIBER 720 CP 208. IT IS NOT ON THE SURVEYED PROPERTY.
 - (C) TEMPORARY EASEMENT FOR THE PURPOSE OF FILLING, EXCAVATING AND DOING ALL WORK NECESSARY TO CLEAN THE STREAM CHANNEL CONTAINED IN INSTRUMENT RECORDED 10/28/1941 IN LIBER 872 CP 589. EXPIRATION NOT DEFINED, LOCATION IS SHOWN.
 - (D) NOTICE OF APPROPRIATION DATED 04/28/1954 AND RECORDED 05/10/1954 IN LIBER 1304 CP 565. IT IS NOT ON THE SURVEYED PROPERTY.
 - (E) NOTICE OF APPROPRIATION DATED 06/05/1985 AND RECORDED 06/05/1985 IN LIBER 2367 CP 288. LOCATION IS SHOWN WITH REGARD THERETO.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) PER REF. #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.

TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT SET IN NORTHERN BOLT OF TRAFFIC SIGNAL POLE.
ELEVATION=326.85
TBM-B: NEW YORK STATE DEPARTMENT OF TRANSPORTATION BENCHMARK DISC.
ELEVATION=321.68

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
11. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
12. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

REFERENCES:

1. THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, SHEET #96.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF NEWBURGH, ORANGE COUNTY, PANEL 139 OF 830", MAP NUMBER 38071C0139E, EFFECTIVE DATE: AUGUST 03, 2009.
3. MAP ENTITLED "LOT LINE CHANGE MAP LOWE'S UNION AVENUE, LLC DEVELOPMENT, CORNER OF NYS ROUTE 300 AND NYS ROUTE 17K, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK", PREPARED BY BL COMPANIES, DATED OCTOBER 29, 2001 AND LAST REVISED APRIL 22, 2002.
4. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF SECTION 96, BLOCK 1, LOTS 36 AND 37.2 AND SECTION 96, BLOCK 1, LOTS 6, 7, 8 AND 9", PREPARED BY LANGAN ENGINEERING, DATED 4-20-07, DRAWING NO. 07.01
5. NEW YORK STATE DEPARTMENT OF PUBLIC WORKS ACQUISITION MAP 21 PARCEL 21 FOR UNION AVENUE ROUTE 17K-ROUTE 207, TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK, DATED MAY 05, 1985.
6. CONVEYANCE TO THE COUNTY OF ORANGE DATED OCTOBER 25, 1941, AS DESCRIBED IN BOOK 872 OF DEEDS AT PAGE 589, FOR HIGHWAY PURPOSES AND STREAM CHANNEL MAINTENANCE.

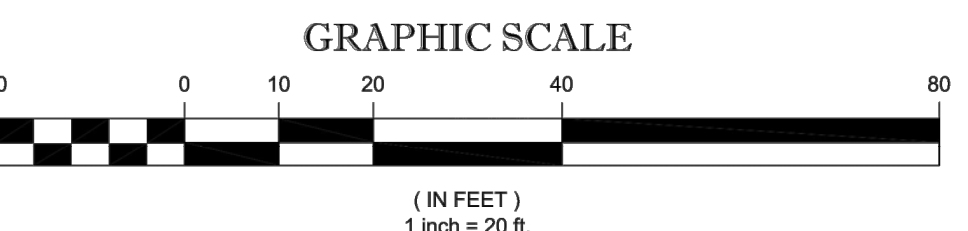
ALTA/NSPS LAND TITLE SURVEY

THIS SURVEY IS CERTIFIED TO:
JIFFY LUBE INTERNATIONAL, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 8, 9, 10, 11, 11(a)(12-13), 14, 15, 16, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 04, 2021.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



JODY J. LOUNSBURY
NEW YORK PROFESSIONAL LAND SURVEYOR #50715

DATE

FIELD DATE	04-02-2021	ALTA/NSPS LAND TITLE SURVEY	
FIELD BOOK NO.	21-02	JIFFY LUBE	
FIELD BOOK PG.	06	1231 N.Y.S. ROUTE 300 TM# 96-1-3 TOWN OF NEWBURGH, ORANGE COUNTY STATE OF NEW YORK	
FIELD CREW	D/LRB	CONTROL POINT ASSOCIATES INC. PC	
DRAWN:	B.E.C.	26 AVIATION ROAD ALBANY, NY 12205 518.217.5010 • 908.668.9595 FAX WWW.CPASURVEY.COM	
REVIEWED:	C.E.L.	APPROVED:	J.J.L.
DATE	04-15-2021	SCALE	1" = 20'
FILE NO.	09-210072	DWG. NO.	1 OF 1

LEGEND

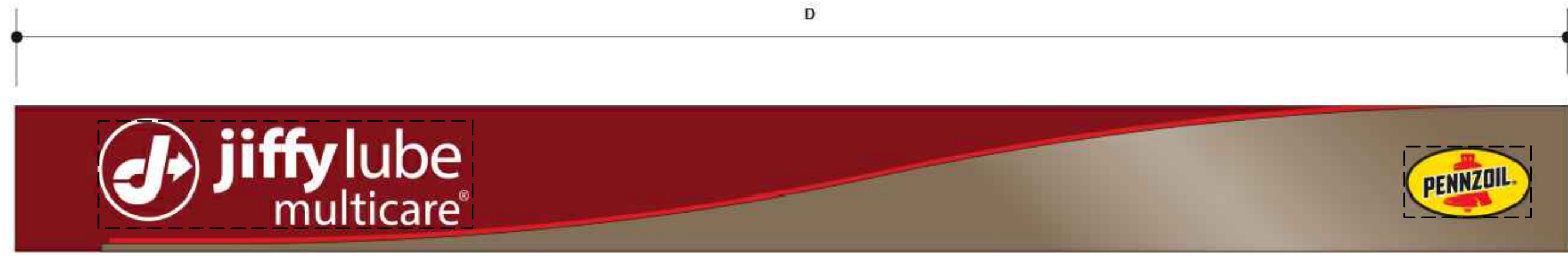
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GUTTER ELEVATION
	EXIST. TOP OF WALL ELEVATION
	EXIST. BOTTOM OF WALL ELEVATION
	EXIST. FINISHED FLOOR ELEVATION
	OVERHEAD WIRES
	APPROX. LOC. UNDERGROUND GAS LINE
	APPROX. LOC. UNDERGROUND ELEC. LINE
	APPROX. LOC. UNDERGROUND SAN. LINE
	APPROX. LOC. UNDERGROUND WATER LINE
	HYDRANT
	WATER VALVE
	GAS VALVE
	GAS METER
	ELECTRIC METER
	SANITARY/SEWER MANHOLE
	UNKNOWN MANHOLE
	CLEAN OUT
	POST
	UTILITY POLE
	UTILITY POLE/LIGHT POLE
	GUY WIRE
	TRAFFIC SIGNAL
	SIGN
	MAIL BOX
	METAL GUIDE RAIL
	AREA LIGHT
	CATCH BASIN OR INLET
	TREE STUMP & SIZE
	DECIDUOUS TREE & TRUNK SIZE
	SHRUBS
	ABOVE GROUND
	UNDER GROUND
	CHAIN LINK FENCE
	EDGE OF PAVEMENT
	LANDSCAPED AREA
	HEIGHT
	BUILDING
	BUILDING FOOTPRINT AREA
	MONUMENT

CONTROL POINT ASSOCIATES INC. PC - ALL RIGHTS RESERVED. THE EXISTING ORIGIN OF THE DOCUMENT OR THE INFORMATION THEREON IS NOT GUARANTEED BY CONTROL POINT ASSOCIATES INC. PC. THE INFORMATION IS PROVIDED AS IS AND WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE AND NONINFRINGEMENT. IN NO EVENT SHALL CONTROL POINT ASSOCIATES INC. PC BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING OUT OF OR IN CONNECTION WITH THE USE OF THE INFORMATION.

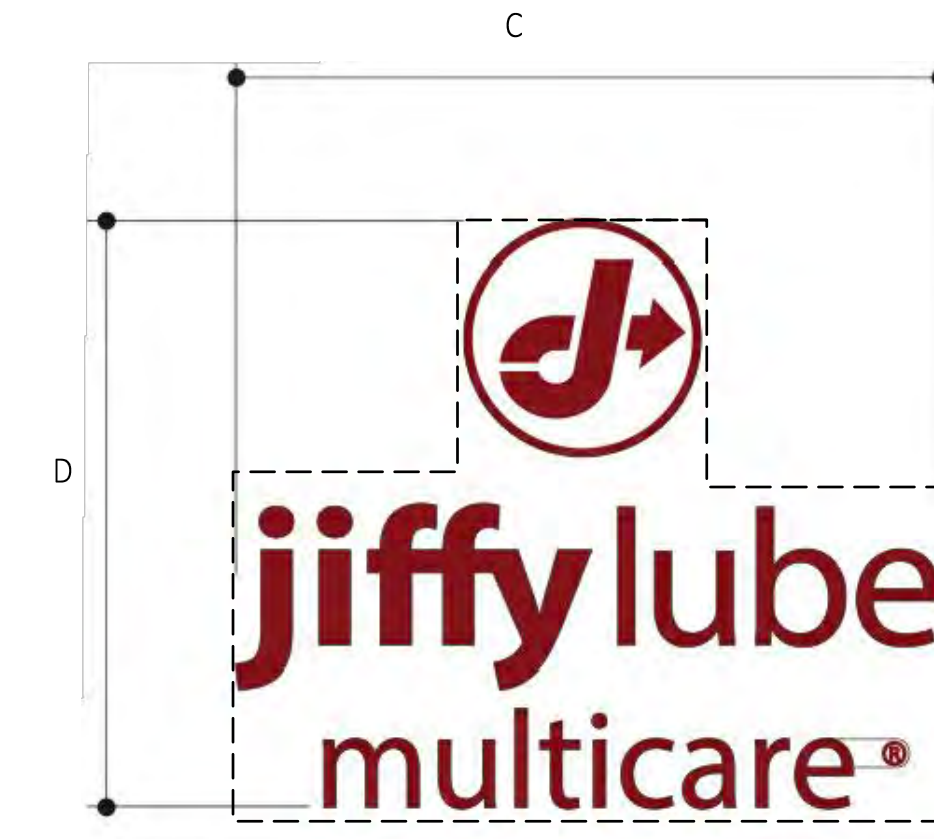
JIFFY LUBE MULTICARE SIGN TYPES

- 1. FIREWORKS RED SW 6867
- 2. COLONIAL REVIVAL SW 2827
- 3. PURE WHITE SW 7005
- 4. CARMINE RED SW 2905

SIGN COLORS



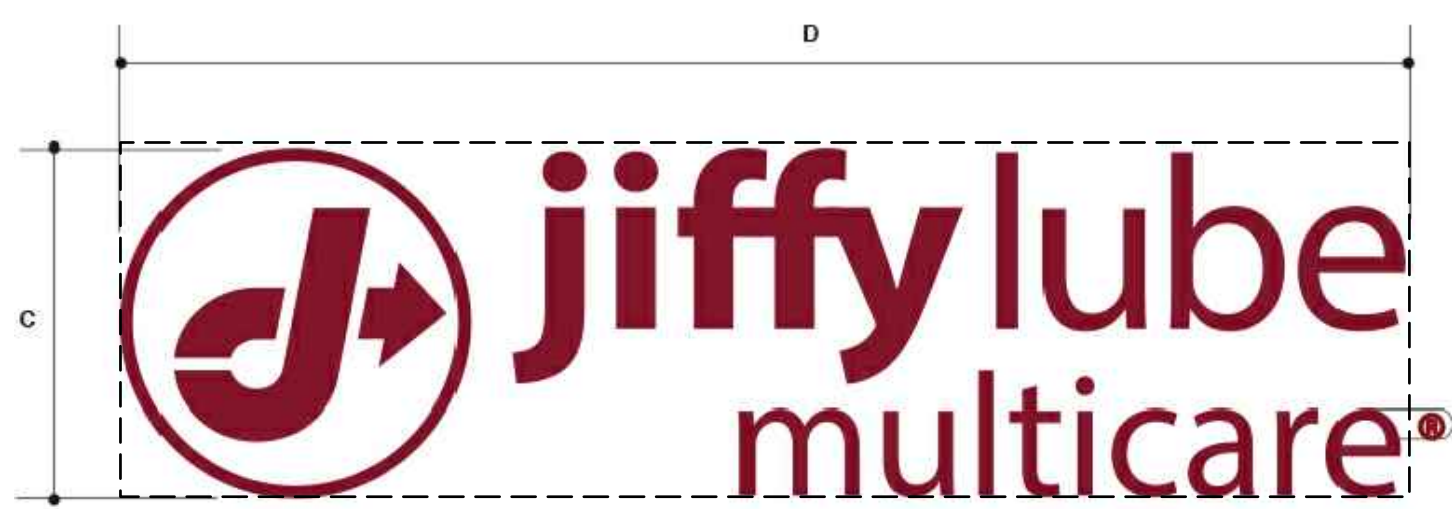
FASCIA SIZES	Length (D)	JLM Logo SF	PZ Logo SF
Jiffy Lube FF 48 (6")	34'-8"	28	7



TYPE	C	D	SQ FT
JLM-CL-R-S-34	8'-2 5/8"	6'-11 15/16"	38 S.F.

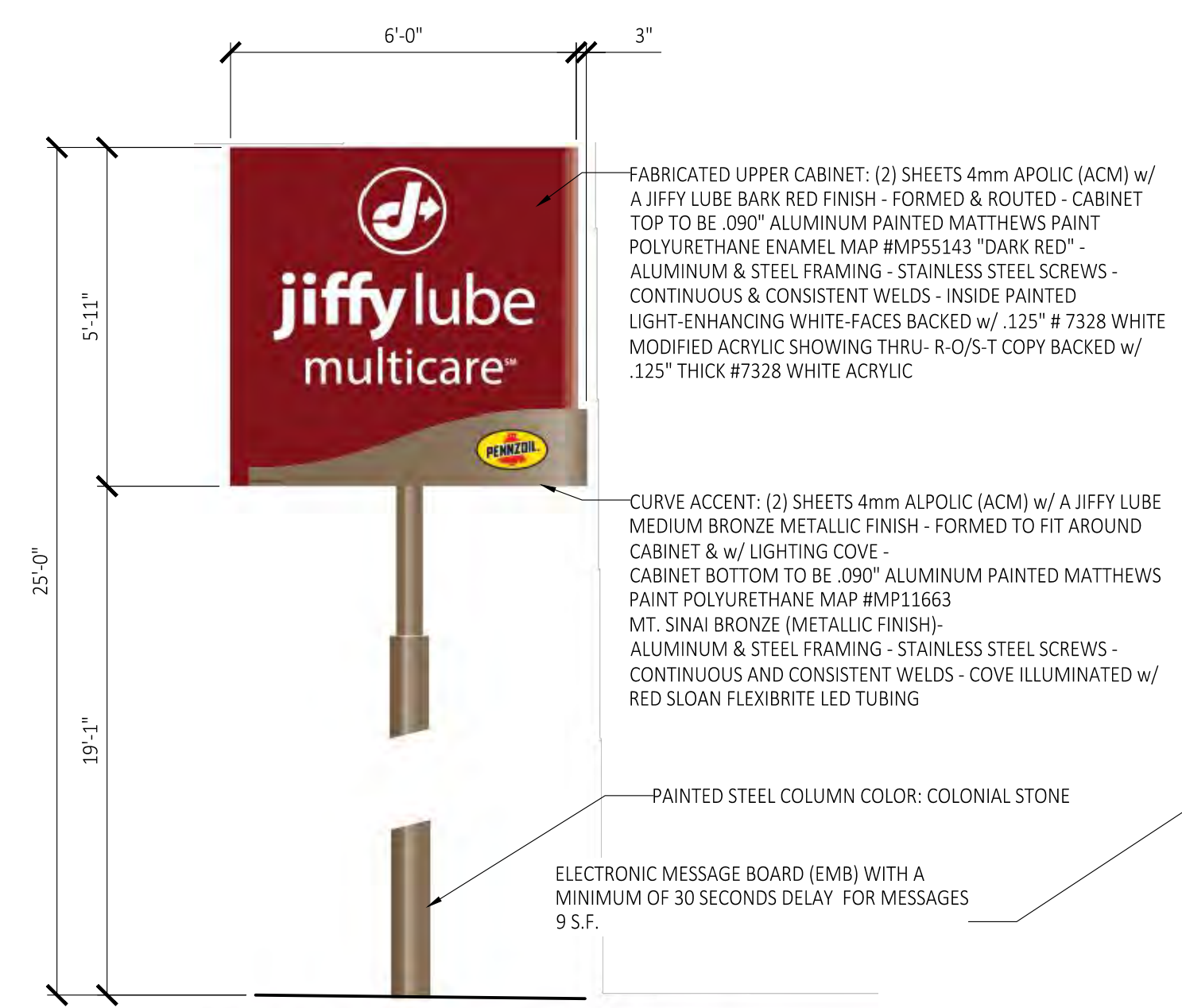
A FASCIA PANEL

B JIFFY LUBE MULTICARE - VERTICAL CHANNEL LETTERS



TYPE	C	D	SQ FT
JLM-CL-R-34	2'-10"	10'-5 9/16"	30

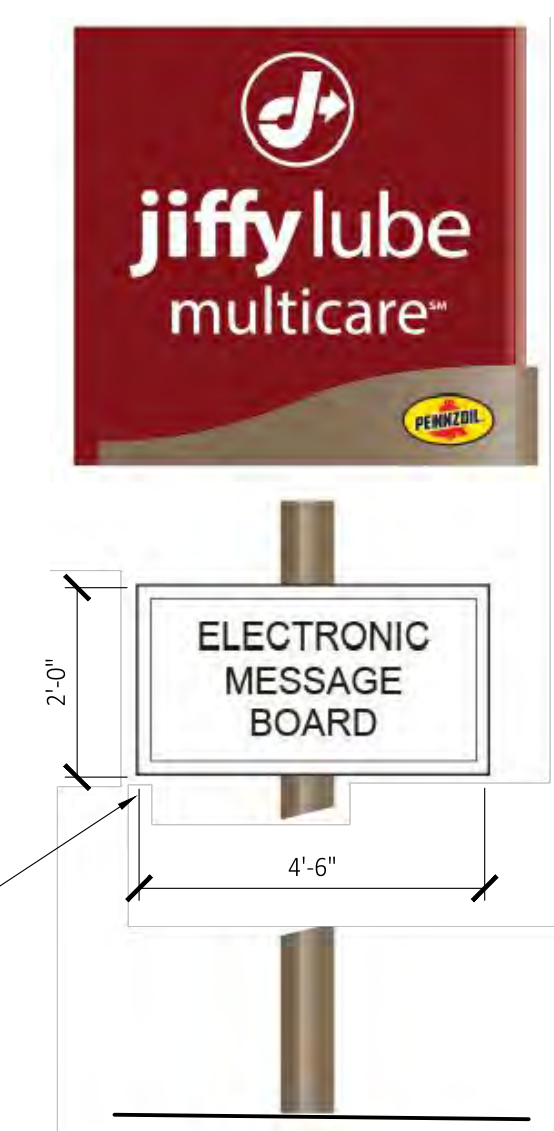
C JIFFY LUBE MULTICARE - HORIZONTAL CHANNEL LETTERS



Jiffy Lube Multicare Pylon Sign

TYPE	C	D	SQ FT
JLM-CL-R-22	5'-11"	6'-0"	37

D JIFFY LUBE MULTICARE PYLON SIGN



Jiffy Lube Multicare Pylon EMB

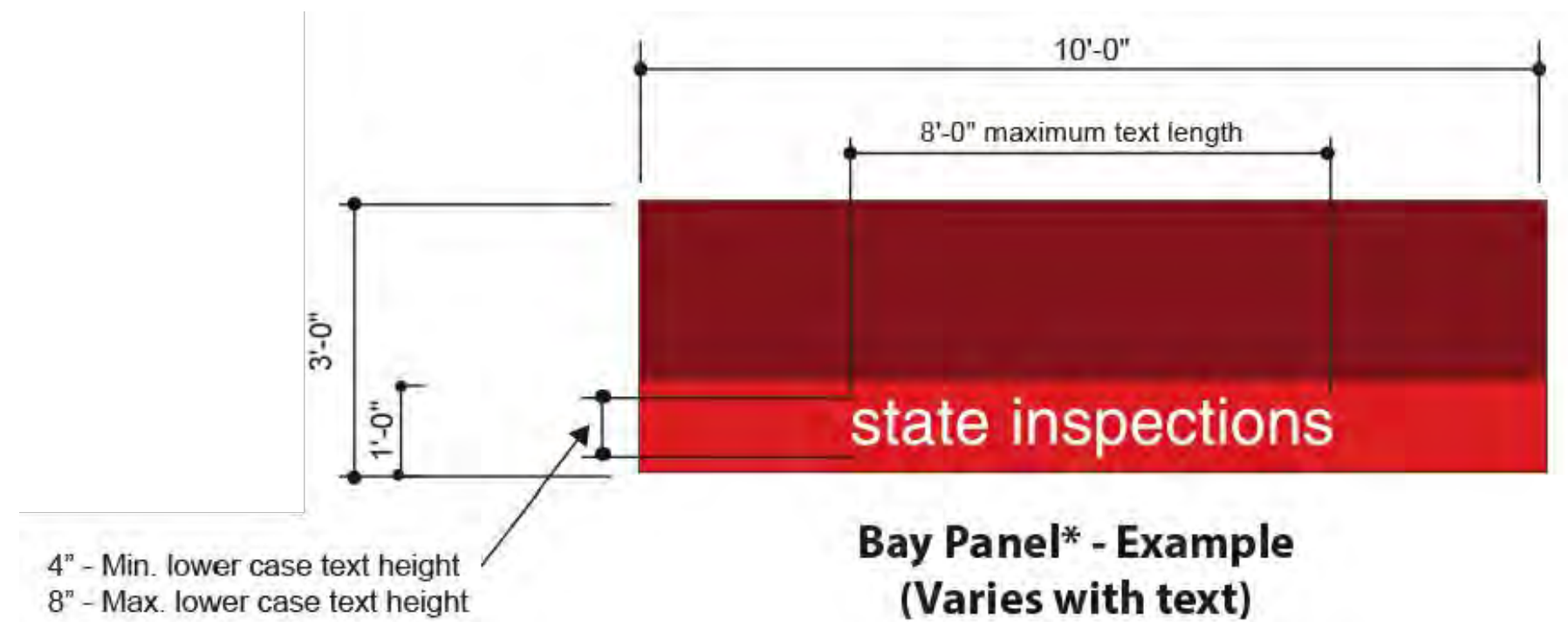


JLM-IL-W

TYPE	DIA	SF
JLM-IL-W-36	3'-0"	9

F JIFFY LUBE MULTICARE BUTTON SIGN

SAFETY/SERVICE SIGNS



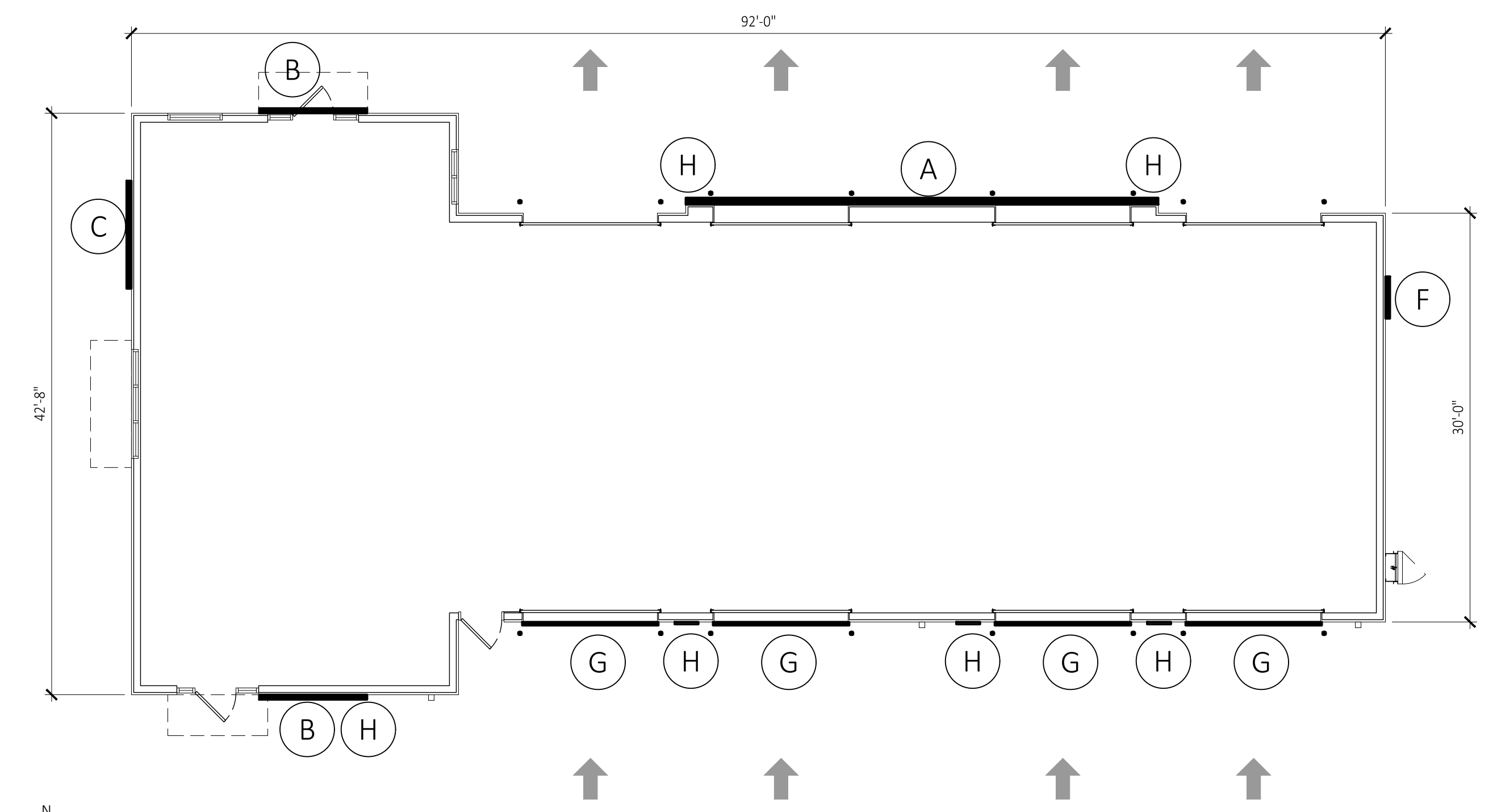
Bay Panel* - Example (Varies with text)



Entry/ Exit Signs 1'-9" x 3'-0 1/2"

G BAY PANELS WITH DIRECTIONAL TEXT

H ENTRY / EXIT SIGNS

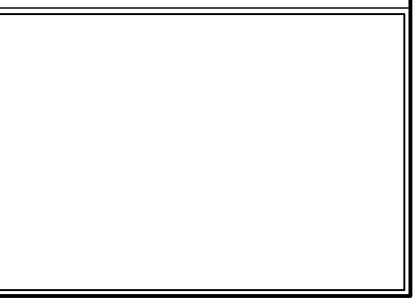


SIGN KEY PLAN SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
0	06.21.21	SITE PLAN REVIEW

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE MULTI-CARE SERVICES

PROJECT LOCATION

**1231 STATE ROUTE 300
NEWBURGH, NY 12550
(ORANGE COUNTY)**

SHEET TITLE

SIGN DETAILS

SHEET MANAGEMENT

PROJECT NO.: 154-NEWBURGH
DATE: V2020.10-134
CRITERIA: M. PISKO
PROJECT MANAGER: M. PISKO

SHEET NUMBER

AG5.01