



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** HARBOR FREIGHT TOOLS  
**PROJECT NO.:** 24-17  
**PROJECT LOCATION:** SECTION 60, BLOCK 3, LOT 41.21  
**REVIEW DATE:** 14 JUNE 2024  
**MEETING DATE:** 20 JUNE 2024  
**PROJECT REPRESENTATIVE:** ADA ARCHITECTS

1. The project proposes to occupy 15,087 square feet of the former Bed Bath & Beyond store located on the southeast corner of the Newburgh Mall site.
2. Minor modifications to the parking lot are proposed to provide ADA accessible parking and a shopping cart stall. ADA accessible routing will be delineated on the parking lot and ADA ramp is proposed at the new entrance.
3. ARB review is required for the new façade.
4. Adjoiner's Notices must be sent in accordance with Town Code.
5. A New exit door and accessible ramp are proposed on the westerly portion of the structure.
6. Signage should be reviewed under ARB.
7. We believe the project is a Type II Action under SEQRA as a change of tenant.
8. An enlarged vestibule entrance area is proposed at the access point on the north side of the structure. Shopping cart stall is also proposed in the vicinity of the new entrance.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines', written in a cursive style.

Patrick J. Hines  
Principal  
PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



**RE: Project Outline**

**PRB#- 24/17**

**TI Permit 24-0280**

**ADDRESS:1399 NYS 6 Newburgh NY**

To: Town of Newburgh

For more than 40 years, Harbor Freight Tools has been America's go-to source for affordable tools. The family-owned company started in Southern California in 1977, when 17-year-old Eric Smidt began transforming his father's small phone sales business into a successful mail order company, bypassing the resellers, dealing directly with factories, and passing the savings on to the customer.

Harbor Freight Tools locations are open 7 days a week, Mondays through Saturdays from 8 am to 7 pm and on Sundays from 9 am to 6 pm. The health and safety of our customers and our associates is our primary concern and we are observing the protocols recommended by the CDC during the COVID-19 pandemic.

Harbor Freight Tools hires locally and is planning to bring between 25-30 new jobs to the community. The company was recently recognized by *Forbes* as both one of the 20 Best Large companies to work for in retail, and the nation's Number One Employer for Veterans in any industry. We strive to be the best place to work in retail and offer highly competitive salaries, a full benefits package and the opportunity to advance in one of the fastest growing retailers around.

The company opened its first store in 1980. Today Harbor Freight Tools has more than 1,500 stores across the country, 23,000 employees and more than 40 million customers who depend on Harbor Freight's quality and value to earn a living, repair their homes and cars and pursue their hobbies. With core values of excellence and continuous improvement, Harbor Freight Tools works to constantly improve the quality of its products and this year will introduce more than 1,000 new tools and accessories. Harbor Freight Tools is one of the nation's fastest growing retailers, opening two new stores every week.

We are applying for Planning approval in relation to our exterior work at the loading dock and painting to match the Exterior National of Harbor Freight Tools( Safety Red, Blue Matters and Gray Sherwin Williams Colors)

Thank you for this consideration and look forward to meeting your team.

Thank you,

Matthew Millon

TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

DATE RECEIVED: 06/13/2024 TOWN FILE NO: 2024-17  
(Application fee returnable with this application)

- Title of Subdivision/Site Plan (Project name):  
Harbor Freight Tools Remodel
- Owner of Lands to be reviewed:  
Name Newburgh Mail Ventures LLC  
Address 95 Chestnut Ridge Road Montvale, NJ 07645  
Phone N/A
- Applicant Information (If different than owner):  
Name Harbor Freight Tools  
Address 8370 Wilshire Blvd. Beverly Hills, CA 90211 #330  
Representative Matthew Millon  
Phone 565-530-7220  
Fax \_\_\_\_\_  
Email matthew.millon@permitadvisors.com
- Subdivision/Site Plan prepared by:  
Name ADA Architects  
Address 17710 Detroit Ave  
Phone/Fax 216-521-5134
- Location of lands to be reviewed:  
1399 NY-800 Newburgh, NY 12550
- Zone Mexville Fire District \_\_\_\_\_  
Acreage 25,200 ~~25,200~~ School District \_\_\_\_\_  
54 ft
- Tax Map: Section 60 Block 3 Lot 41.21

15,200

RECEIVED  
JUN 13 2024

60-3-41.21

MHE Engineering, D.P.C.

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 0  
Lot line change N/A  
Site plan review Possibly?  
Clearing and grading No  
Other N/A

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Signature] Title Senior Project Manager

Date: 6/1/24

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Harbor Freight Tools

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

- X 1.  Environmental Assessment Form As Required
- X 2.  Proxy Statement
- X 3.  Application Fees
- ✓ 4.  Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. ✓  Name and address of applicant
2. ✓  Name and address of owner (if different from applicant)
3. ✓  Subdivision or Site Plan and Location
4. ✓  Tax Map Data (Section-Block-Lot)
5. ✓  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. ✓  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ✓  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. ✓  Date of plan preparation and/or plan revisions
9. ✓  Scale the plan is drawn to (Max 1" = 100')
10. ✓  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14.  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  Flood plain boundaries
16.  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21.  Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24.  Show any existing waterways
25.  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

- 30.  Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.  If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32.  Number of acres to be cleared or timber harvested
- 33.  Estimated or known cubic yards of material to be excavated and removed from the site
- 34.  Estimated or known cubic yards of fill required
- 35.  The amount of grading expected or known to be required to bring the site to readiness
- 36.  Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 N/A
- 37.  Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 N/A
- 38.  List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: ADA Architects  
 Licensed Professional

Date: 6/11/24

This list is designed to be a guide **ONLY**. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

## STATEMENT TO APPLICANTS

### RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.



**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

Name of applicant:           N/A          

Name of owner on premises: \_\_\_\_\_

Address of owner: \_\_\_\_\_

Telephone number of owner: \_\_\_\_\_

Telephone number of applicant: \_\_\_\_\_

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

\_\_\_\_\_

Location of land on which proposed work will be done: \_\_\_\_\_

\_\_\_\_\_

Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_ Sub. Div.: \_\_\_\_\_

Zoning District of Property: \_\_\_\_\_ Size of Lot: \_\_\_\_\_

Area of lot to be cleared or graded: \_\_\_\_\_

Proposed completion of date: \_\_\_\_\_

Name of contractor/agent, if different than owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of applicant (if different than owner): \_\_\_\_\_

**TOWN ACTION:**

Examined: \_\_\_\_\_ 20 \_\_\_\_\_

Approved: \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Matt Milon

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

6/11/24

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be placed on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots ( 1 ) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

( 1 ) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

NA

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

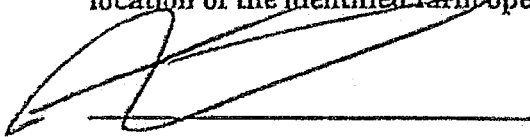
Name and address of the applicant: Matt Milon 8370 Wilshire Blvd #330  
Beverly Hills, CA 90211

Description of the proposed project: Harbor Freight Tools Retail Store

Location of the proposed project: \_\_\_\_\_

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: N/A

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

6/1/24

DATE

## ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM  
TOWN OF NEWBURGH PLANNING BOARD

DATE: 6/1/24

NAME OF PROJECT: Harbor Freight Tools

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Masonry

COLOR OF THE EXTERIOR OF BUILDING:

Grey, Blue with Red Backer

ACCENT TRIM:

Location: Sides, Front

Color: Sides - Blue, Grey / Front - Red Backer - National Branding

Type (material): Paint

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): Flat

Material (shingles, metal, tar & sand, etc.): shingles

Color: Earth Tone

**WINDOWS/SHUTTERS:**

Color (also trim if different): N/A  
Type: N/A

**DOORS:**

Color: Grey  
Type (if different than standard door entrée): \_\_\_\_\_

**SIGN:**

Color: Red / Blue  
Material: Pre Fab Hard Plastic  
Square footage of signage of site: \_\_\_\_\_

\_\_\_\_\_  
Please print name and title (owner, agent, builder, superintendent of job, etc.)

 Senior Project Manager

Signature



## LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office. The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

\_\_\_\_\_ NONE

  X   NAME, ADDRESS, RELATIONSHIP OR INTEREST  
(financial or otherwise)

Harbor Freight Tools - 26641 Agourra Rd Calabasas, CA

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_ TOWN BOARD  
\_\_\_\_\_ PLANNING BOARD  
\_\_\_\_\_ ZONING BOARD OF APPEALS  
\_\_\_\_\_ ZONING ENFORCEMENT OFFICER  
\_\_\_\_\_ BUILDING INSPECTOR  
  X   OTHER   A & B  

  6/1/24    
DATED

  Matt Miller    
INDIVIDUAL APPLICANT

\_\_\_\_\_  
CORPORATE OR PARTNERSHIP APPLICANT

BY: \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

PLANNING BOARD DISCLAIMER STATEMENT  
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

6/1/24  
DATED

Matt Milson  
APPLICANT'S NAME (printed)

  
APPLICANT'S SIGNATURE

# HARBOR FREIGHT TOOLS

1399 NY-300

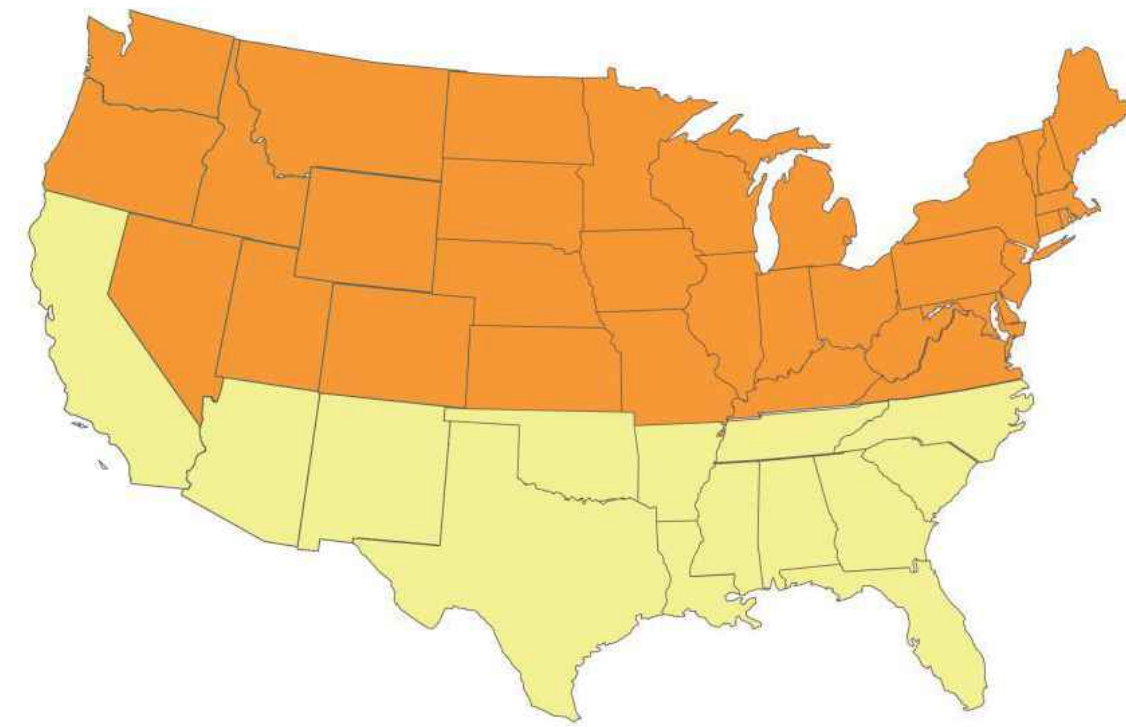
NEWBURGH, NY 12250



## SIGN VENDOR LIST

### Harbor Freight Tools Sign Vendor Territories

- Vendors**
- Northern US Urban Neon
  - Southern US Atlas Sign Industries



#### SIGN VENDOR (NORTHERN)

URBAN SIGN GROUP  
500 PINE STREET SUITE 3A  
HOLMES, PA 19043  
CONTACT: PIETRO D'AGOSTINO  
T: (610) 522-5555  
EMAIL: pietro@urbansigngroup.com  
CONTACT: SEBASTIAN CARPENTER  
T: (610) 522-5555  
EMAIL: scarpenter@urbansigngroup.com

#### SIGN VENDOR (SOUTHERN)

ATLAS SIGN INDUSTRIES  
1077 W. BLUE HERON BLVD.  
WEST PALM BEACH, FL 33404  
CONTACT: JODY KLUTZ  
T: (860) 781-3097  
EMAIL: jody.k@atlasbw.com

NOTE:  
ALL SIGNAGE AND PERMITS FOR SIGNAGE ARE BY OTHERS AND NOT PART OF THE BUILDING PERMIT PACKAGE. NO BUILDING SIGNAGE WORK TO BE PERFORMED AS PART OF THIS PROJECT PERMIT.

## CODE AND BUILDING DATA

- PROJECT SCOPE:** EXTERIOR AND INTERIOR ALTERATIONS OF AN EXISTING VACANT TENANT SPACE (FORMER BED BATH & BEYOND) IN AN EXISTING RETAIL SHOPPING CENTER. INTERIOR ALTERATIONS INCLUDE: NEW OFFICES, RESTROOMS, BREAK ROOM WITH CABINETS, AND VESTIBULE. EXTERIOR ALTERATIONS INCLUDE: NEW BI-PARTING DOOR IN MODIFIED OPENING, NEW STOREFRONT IN-FILL, NEW SALES AREA EGRESS DOOR IN EXISTING OPENING WITH NEW CONCRETE PEDESTRIAN RAMP TO GRADE, NEW RECEIVING AREA EGRESS DOOR IN EXISTING OPENING WITH NEW CONCRETE PAD, (2) NEW OVERHEAD DOORS IN MODIFIED OPENINGS, NEW CONCRETE RAMP FOR FORKLIFT ACCESS TO GRADE, AND NEW EXTERIOR SIGNAGE (UNDER A SEPARATE PERMIT).
- DEFERRED SUBMITTALS:**
  - EXTERIOR SIGNAGE (INCLUDING TEMPORARY SIGN BANNER)
  - AUTOMATIC SPRINKLER SYSTEM MODIFICATIONS
  - FIRE ALARM SYSTEM MODIFICATIONS
  - MERCHANDISE RACKING
- APPLICABLE CODES:**
  - BUILDING CODE: 2020 NEW YORK STATE BUILDING CODE
  - ENERGY CODE: 2020 NEW YORK STATE ENERGY CODE
  - MECHANICAL CODE: 2020 NEW YORK STATE MECHANICAL CODE
  - ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE
  - PLUMBING CODE: 2020 NEW YORK STATE PLUMBING CODE
  - FIRE CODE: 2020 NEW YORK STATE FIRE CODE
  - ACCESSIBILITY: 2010 ADA STANDARDS
- USE and OCCUPANCY CLASSIFICATION:** M - MERCANTILE
- CONSTRUCTION CLASSIFICATION (TYPE):** IIB - FULLY SPRINKLERED
- FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS):**

STRUCTURAL FRAME:	0 HOURS	INTERIOR BEARING WALLS:	0 HOURS
EXTERIOR BEARING WALLS:	0 HOURS	FLOOR CONSTRUCTION:	0 HOURS
INTERIOR BEARING WALLS/COLUMNS:	0 HOURS	ROOF CONSTRUCTION:	0 HOURS
- ALLOWABLE HEIGHT and BUILDING AREAS:**

ALLOWABLE AREA:	50,000 SQ. FT.
SALES AREA:	8,971 SQ. FT.
NON-SALES AREA:	6,116 SQ. FT.
GROSS LEASED AREA:	15,087 SQ. FT.
ALLOWABLE HEIGHT:	75'-0"
ACTUAL HEIGHT:	35'-0"
- OCCUPANT LOAD:**

ACTUAL INTERIOR AREA BUILDING:	15,087 SQ. FT.	ALLOWABLE
FUNCTION OF SPACE	FLR. AREA OCC.	CALCULATION
M - SALES	60 GROSS	8,971 SQ. FT.
B - CORE AREA	150 GROSS	692 SQ. FT.
S-1 - STOOK	300 GROSS	5,424 SQ. FT.
		171 OCCUPANTS

ANTICIPATED OCCUPANT LOAD FOR HARBOR FREIGHT TOOLS: 150 MAX FROM HISTORICAL DATA
- EGRESS REQUIREMENTS:**

REQUIRED EGRESS WIDTH: 171 OCC. x 0.20 = 34.2' (44" MIN)

REQUIRED EXIT ACCESS TRAVEL DISTANCE: 250'

PROVIDED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250'

MIN. NUMBER OF EXITS REQUIRED / PROVIDED: 2 EXITS REQUIRED / 3 EXITS PROVIDED
- PLUMBING FIXTURE REQUIREMENTS:**

PLUMBING FIXTURE	CALCULATION	REQUIRED	PROVIDED
WATER CLOSETS, MEN:	1 PER 500 OCC.	1	1
WATER CLOSETS, WOMEN:	1 PER 500 OCC.	1	1
LAVATORIES, MEN:	1 PER 750 OCC.	1	1
LAVATORIES, WOMEN:	1 PER 750 OCC.	1	1
DRINKING FOUNTAINS:	1 PER 1,000 OCC.	1	1 (H/LOW)
MOP SINK:	1 SERVICE SINK/USE GROUP	1	1

## LIST OF DRAWINGS

SHEET NO.	DRAWING NAME	ISSUE DATE	REVISION DATE
<b>PROJECT ORIENTATION</b>			
A0.0	COVER SHEET	12/08/23	
<b>SITE</b>			
AS1.0	ARCHITECTURAL SITE PLAN	12/08/23	
<b>DEMOLITION</b>			
D1.0	DEMOLITION PLAN	12/08/23	
D1.1	DEMOLITION PLAN	12/08/23	
<b>ARCHITECTURAL</b>			
A0.2	GENERAL NOTES	12/08/23	
A0.3	CONCRETE SPECIFICATIONS	12/08/23	
A0.4	CONCRETE SPECIFICATIONS	12/08/23	
A1.1	FLOOR PLAN	12/08/23	
A1.1A	LIFE SAFETY PLAN	12/08/23	
A1.2	FIXTURE PLAN	12/08/23	
A1.3	FINISH PLAN	12/08/23	
A1.4	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.5	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.6	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.7	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.8	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.9	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.10	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.11	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A1.12	FIXTURE SPECIFICATION AND DETAILS	12/08/23	
A2.0	REFLECTED CEILING PLAN	12/08/23	
A3.0	EXTERIOR ELEVATIONS	12/08/23	
A3.1	EXTERIOR ELEVATIONS	12/08/23	
A4.0	SECTIONS AND DETAILS	12/08/23	
A4.1	WALL TYPES AND DETAILS	12/08/23	
A4.2	MISC. DETAILS	12/08/23	
A4.3	MISC. DETAILS	12/08/23	
A5.0	DOOR SCHEDULE AND DETAILS	12/08/23	
A5.1	ENLARGED VESTIBULE PLAN & DETAILS	12/08/23	
A5.2	ENLARGED TURNSTILE PLAN & DETAILS	12/08/23	
<b>STRUCTURAL</b>			
S0.0	GENERAL STRUCTURAL NOTES	12/08/23	
S0.1	GENERAL STRUCTURAL NOTES	12/08/23	
S0.2	CONCRETE SLAB SPECS w/ FIBER	12/08/23	
S1.0	PARTIAL FLOOR AND ROOF FRAMING PLAN	12/08/23	
S2.0	STRUCTURAL DETAILS	12/08/23	
S2.1	STRUCTURAL DETAILS	12/08/23	
<b>MECHANICAL / PLUMBING</b>			
M1.0	MECHANICAL PLAN	12/08/23	
M1.1	MECHANICAL SCHEDULES	12/08/23	
M1.2	MECHANICAL DETAILS	12/08/23	
M1.3	MECHANICAL / PLUMBING SPECIFICATIONS	12/08/23	
P1.0	PLUMBING PLAN	12/08/23	
P1.1	PLUMBING DETAILS	12/08/23	
<b>FIRE PROTECTION</b>			
FP1.0	FIRE PROTECTION PLAN	12/08/23	
<b>ELECTRICAL</b>			
E0.1	ELECTRICAL SPECIFICATIONS	12/08/23	
E1.0	POWER PLAN	12/08/23	
E1.1	LIGHTING PLAN	12/08/23	
E1.1A	ROOM LIGHTING CONTROL / DIMMING SYSTEM DETAILS	12/08/23	
E1.2	COMMUNICATIONS PLAN	12/08/23	
E2.0	ONE LINE DIAGRAM & DETAILS	12/08/23	
E2.0A	ELECTRICAL DETAILS	12/08/23	
E2.1	LIGHTING AND PANEL SCHEDULES	12/08/23	
E2.2	PHONE BOARD DETAIL	12/08/23	
<b>EMS</b>			
EMS-1	ENERGY MANAGEMENT SYSTEM	06/28/22	
EMS-2	ENERGY MANAGEMENT SYSTEM	06/28/22	
EMS-3	ENERGY MANAGEMENT SYSTEM	06/28/22	
EMS-4	ENERGY MANAGEMENT SYSTEM	06/28/22	

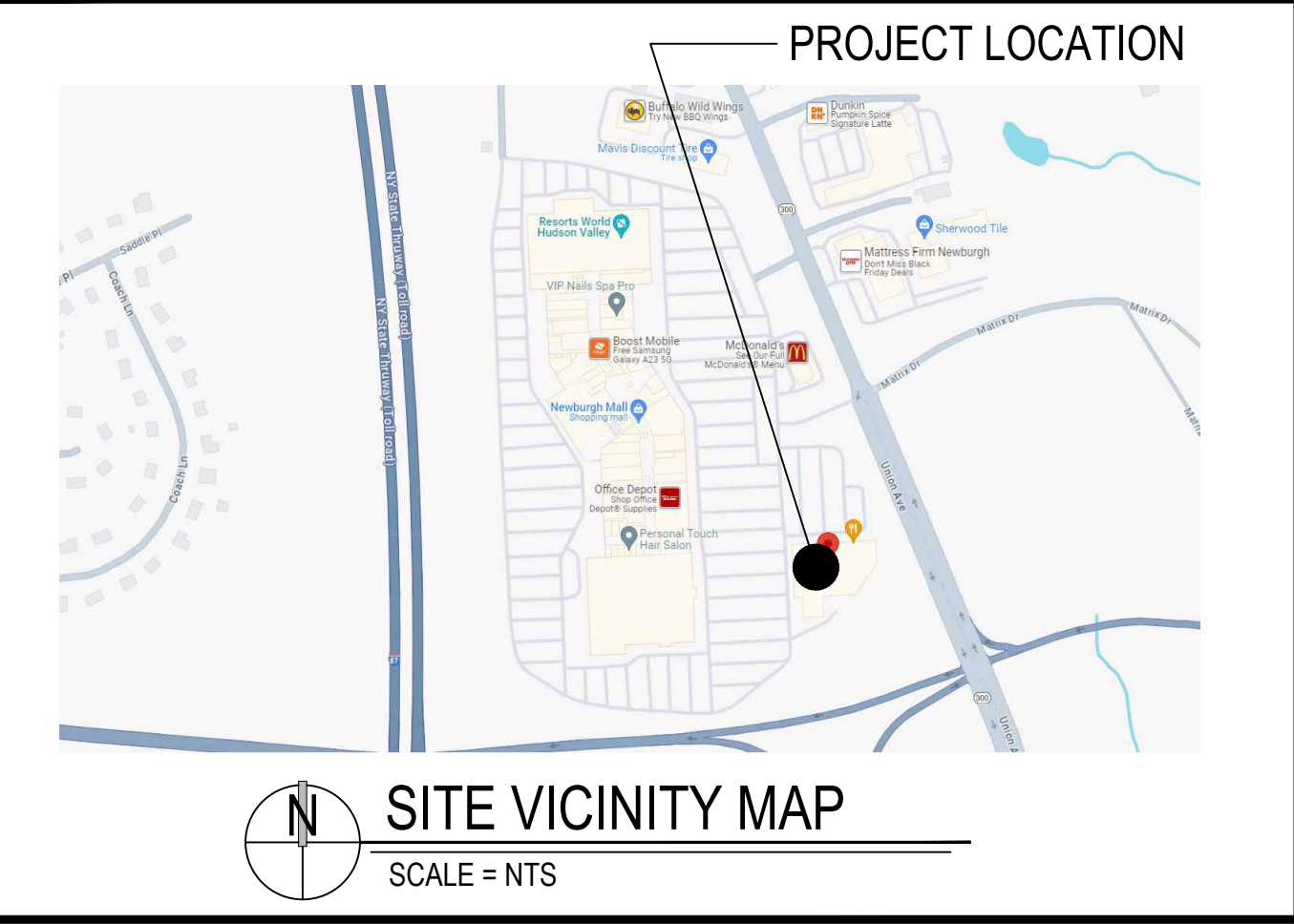
## VENDOR LIST

IT VENDOR	IT CHECKLIST	FLOORING VENDORS			LVT VENDOR
RETAIL TECH INC. MAIN CONTACT: CRISTIN BELSITO T: (952) 356-1775 X 2007 C: (440) 263-2270 EMAIL: cbelisto@retailtechinc.com	<b>MUST HAVE CHECK LIST:</b> <input type="checkbox"/> PROJECT MANAGERS CONTACT INFORMATION INCLUDING EMAIL ADDRESS <input type="checkbox"/> CONTRACTOR INFORMATION 1 WEEK BEFORE CONSTRUCTION STARTS (PROTRACK TRIGGER VIA EMAIL) <input type="checkbox"/> GENERAL CONTRACT INFO INCLUDING EMAIL ADDRESSES <input type="checkbox"/> SITE FOREMAN INFO INCLUDING EMAIL ADDRESS <input type="checkbox"/> CONFIRMED ADDRESS WITH MPOE LOCATION (CLOSET, DIMARK, ETC) <input type="checkbox"/> STANDARD STORE SET UP IS 2 LINES IN A HUNT GROUP, 1 LINE FOR BACK UP COMMUNICATION, AND 1 ALARM LINE. IF WE NEED MORE DEDICATED ALARM LINES TO PASS CITY CODE, NEED TO KNOW THAT UPFRONT	DIAMA-SHIELD, LLC 32401 INDUSTRIAL DRIVE MADISON HEIGHTS, MI 48071 CONTACT: TRAVIS SIBLEY T: (313) 510-8149 EMAIL: tsibley@damashield.com	ROCKERZ INC. 100 COMMONWEALTH DR. WARRENDALE, PA 15086 CONTACT: ROBERT SMITH T: (724) 553-3854 EMAIL: rsmith@rockerczinc.com	REFERRED GLOBAL CONTACT: MATTHEW NEWCOMER T: (371) 601-7284 EMAIL: mnewcomer@preferredglobal.net CONTACT: DEREK BROWN T: (371) 869-3712 EMAIL: dbrown@preferredglobal.net	MATTER SURFACES CONTACT: DAVE BOLINGER T: (260) 341-4949 EMAIL: dbolinger@selected-service.com CONTACT: COREY HALL T: (404) 735-0799
CABLING VENDOR	RACKING VENDOR	LIGHTING VENDOR	BI-PARTING DOOR VENDOR	OVERHEAD DOOR VENDOR	
RETAIL TECH INC. MAIN CONTACT: CRISTIN BELSITO T: (952) 356-1775 X 2007 C: (440) 263-2270 EMAIL: cbelisto@retailtechinc.com	MADIX, INC. 500 AIRPORT ROAD TERRELL, TX 75160 CONTACT: SCOTT NELSON T: (855) 529-6457 C: (855) 755-9386 EMAIL: snelson@madixinc.com	CAPITOL LIGHT 270 LOCUST ST. HARTFORD, CT 06114 CONTACT: BETH RIBE T: (860) 449-4502 EMAIL: beth.ribe@capitollight.com	DORMAKABA DORMA DRIVE, DRAWER AC REAMSTOWN, PA 17657 CONTACT: ANTHONY RODRIGUEZ T: (847) 393-2213 EMAIL: anthony.rodriguez@dormakaba.com	CORNELL IRON 140 MAFFET STREET WILKES-BARRE, PA 18705 CONTACT: KRISTA BONAVINA T: (800) 862-6773 X 1620 EMAIL: kbonavina@cornellstorefronts.com	
DOOR HARDWARE VENDORS / RESTROOM ACCESSORIES	FIRE AND SECURITY ALARM / MONITORING VENDOR	ADDRESS VERIFICATION / METER SERVICES	PAINT VENDOR		
COOK AND BOARDMAN, LLC 345 MASON ROAD LAVERGNE, TN 37086 CONTACT: AMY BAKER T: (855) 447-8600 x4508 EMAIL: harborfreightteam@cookandboardman.com	ADT SECURITY 4221 W JOHN CARPENTER FWY IRVING, TX 75063 CONTACT: STEPHANIE NYSTROM T: (214) 277-7175 EMAIL: snystrom@adt.com CONTACT: DAN BITCOIN EMAIL: dbitcoin@adt.com	COST CONTROL ASSOCIATES 310 BAY ROAD QUEENSBURY, NY 12864 CONTACT: LENA GARCIA T: (714) 404-8212 EMAIL: lena.garcia@sherinwin.com	SHERWIN WILLIAMS 2100 WEST ORANGEWOOD, SUITE 100 ORANGE, CA 92668 CONTACT: LENA GARCIA T: (714) 404-8212 EMAIL: lena.garcia@sherinwin.com		
HVAC VENDOR	EMS VENDOR	EMS SHIELDED CABLE VENDOR	RACKING ENGINEER	NOTE: SUBSTITUTE PRODUCTS -OR- ALTERNATES TO THOSE SPECIFIED ON PLANS WILL NOT BE ACCEPTED WITHOUT HFT'S EXPRESS CONSENT. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL.	
LENNOX INDUSTRIES NATIONAL ACCOUNTS CONTACT: DEREK GAREN T: (972) 497-6082 EMAIL: LennoxNationalAccounts@Lennoxind.com	SIEMENS CONTACT: EMELY CORDON T: (512) 751-5942 EMAIL: emely.cordon@siemens.com PROJECT MANAGER: EMELY CORDON T: (512) 751-5942 EMAIL: emely.cordon@siemens.com ENGINEERING MANAGER: JUAN CABRERA T: (512) 567-7455 EMAIL: juancabrera@siemens.com	WINDY CITY WIRE CONTACT: KIMBERLY DEPAOLA T: (800) 378-1191 X 2811 C: (630) 633-4811 EMAIL: kdepaula@smartwire.com	GARY K. MUNKELT AND ASSOCIATES 1180 WELSH ROAD, SUITE 190 NORTH WALES, PA 19454 CONTACT: BRUCE MATTHEWS, P.E. T: (215) 855-8713 EMAIL: bruce.matthews@gkmassoc.com CONTACT: BRENDA ROJHM T: (805) 407-1961 EMAIL: frank.kooshyar@gkmassoc.com		

## HFT VENDOR SCOPE OF WORK SUMMARY

- FIXTURES / FURNISHINGS:**
    - FURNISH AND INSTALL SALES AREA CASH WRAPS
    - FURNISH AND INSTALL FRONT OF HOUSE AND BACK OF HOUSE FIXTURES
    - FURNISH AND INSTALL EXTERIOR CART CORRAL (IF APPLICABLE)
  - DOORS AND STOREFRONT:**
    - FURNISH DOORS, FRAMES, AND HARDWARE. SEE SHEET A5.0 FOR FURTHER INFORMATION.
    - FURNISH AND INSTALL OVERHEAD DOOR AT RECEIVING AREA. SEE SHEET A5.0 FOR FURTHER INFORMATION.
    - FURNISH AND INSTALL HFT BI-PARTING AND SINGLE SLIDING DOOR PACKAGES. SEE SHEET A5.0 FOR FURTHER INFORMATION.
    - FURNISH AND INSTALL SECURITY GATES. SEE SHEET A1.1 FOR FURTHER INFORMATION.
    - FURNISH AND INSTALL COOLUV WINDOW TINT (IF APPLICABLE)
  - SIGNAGE:**
    - FURNISH AND INSTALL EXTERIOR SIGNAGE. POWER AND BLOCKING BY G.C.
    - FURNISH ALL INTERIOR SIGNAGE.
  - FLOOR FINISHES:**
    - FURNISH AND INSTALL GRINDING AND POLISHING OF CONCRETE FLOORS
  - ELECTRICAL:**
    - FURNISH AND INSTALL TELEPHONE / DATA WIRING. VERIFY IF WIRING IS TO BE PLENUM RATED
    - FURNISH AND INSTALL SOUND SYSTEM
    - FURNISH AND INSTALL CAMERAS
    - FURNISH LIGHT FIXTURES AND LAMPS
    - FURNISH LIGHTING DIMMING SYSTEM COMPONENTS (IF APPLICABLE, SEE E1.1A)
    - FURNISH AND INSTALL EMS COMPONENTS
  - MECHANICAL:**
    - FURNISH HVAC ROOFTOP UNITS. G.C. TO COORDINATE SCHEDULE AND DELIVERY
  - RESTROOM ACCESSORIES:**
    - FURNISH GRAB BARS, BLOCKING BY G.C.
    - FURNISH SANITARY NAPKIN DISPOSAL
    - FURNISH TOILET PARTITIONS (IF APPLICABLE)
- NOTE: G.C. SHALL MANAGE ALL WARRANTY ITEMS AND REMEDIES INCLUDING MANAGING SUB-CONTRACTORS, VENDORS AND HFT VENDORS FOR A PERIOD OF (1) YEAR FROM TURNOVER

## SITE VICINITY MAP



## PROJECT DIRECTORY

BLDG. DEPT. CONTACT	FIRE DEPT. CONTACT	HARBOR FREIGHT TOOLS	HARBOR FREIGHT TOOLS
TOWN OF NEWBURGH BUILDING AND GROUNDS 21 HUDSON VALLEY PLAZA NEWBURGH, NY 12550 CONTACT: JAKE MATTERN T: (845) 564-7801 EMAIL: jmattern@townofnewburgh.org	CITY OF NEWBURGH FIRE 22 GRAND ST. NEWBURGH, NY 12550 CONTACT: FRANCIS SPINELLI T: (845) 564-7420 EMAIL:	HARBOR FREIGHT TOOLS 26677 AGOURA ROAD CALABASAS, CA 91302 CONTACT: ADAM STEECE Senior Director of Construction T: (818) 519-7503 EMAIL: asteece@harborfreight.com	HARBOR FREIGHT TOOLS CALABASAS, CA 91302 CONTACT: DOUG HORROCKS Senior Construction Manager T: (805) 407-1961 EMAIL: dhorrocks@harborfreight.com
HARBOR FREIGHT TOOLS	HARBOR FREIGHT TOOLS	HARBOR FREIGHT TOOLS	ARCHITECT CONTACT
HARBOR FREIGHT TOOLS 26677 AGOURA ROAD CALABASAS, CA 91302 CONTACT: JAKE MATTERN Construction Manager T: (818) 309-9137 EMAIL: jmattern@harborfreight.com	HARBOR FREIGHT TOOLS 26677 AGOURA ROAD CALABASAS, CA 91302 CONTACT: BRADY ROTHGEB Construction Manager T: (818) 307-1904 EMAIL: brothgeb@harborfreight.com	HARBOR FREIGHT TOOLS CALABASAS, CA 91302 CONTACT: KYLE NIX Construction Manager T: (213) 561-0921 EMAIL: knix@harborfreight.com	ADA ARCHITECTS SERVICES, INC. P.C. 17710 DETROIT AVE. CLEVELAND, OH 44107 CLIENT MANAGER: BRYAN MATTHEWS PROJECT MANAGER: STEPHANIE TRZYNA T: (216) 521-4824 EMAIL: bmatthews@adaarchitects.com CONTACT: STEPHANIE TRZYNA T: (216) 521-4824 EMAIL: strzyna@adaarchitects.com

## LIFE SAFETY SUMMARY

THE HFT LEASE SPACE IS FULLY SUPPRESSED WITH 6" DIA MAIN LOCATED INSIDE THE SOUTH EXTERIOR WALL OF THE HFT LEASE SPACE. HFT TO MODIFY SPRINKLER HEADS ON BOTH SIDES OF THE NEWLY CONSTRUCTED DEMISING WALL FOR AN OPEN TO STRUCTURE CONDITION.

THERE ARE INDICATIONS OF A MANUAL PULL STATION FIRE ALARM SERVING THE SPACE. PER 2020 NEW YORK STATE BUILDING CODE, SECTION 907.2.7, A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED. G.C. TO COORDINATE WITH AUTHORITY HAVING JURISDICTION, LANDLORD AND BY PM FOR ANY LOCAL MONITORING REQUIREMENTS. G.C. TO SUPPLY AND INSTALL ANY REQUIRED FIRE ALARM COMPONENTS.

## FIRE ALARM NOTES

(IF REQUIRED)

APPROVED PANELS:  
FIRE-LITE MODEL #S MS-9600, ES-50, AND ES-200X

SILENT KNIGHT MODEL #S SK6700, SK6808, SK6820, AND SK5208.

NOTE: FIRE ALARM VENDOR SHALL CLEARLY LABEL THE FIRE ALARM CONTROL PANEL IN THE FIELD. FIRE ALARM MONITORING IS VIA CELLULAR ANNUNCIATOR-NAPCO # SL-1LTV-FIRE OR SL-1LTV-FIRE. REFER TO SHEET E2.2 FOR ADDITIONAL INFORMATION. FA SUBCONTRACTOR TO PROVIDE & INSTALL CELLULAR ANNUNCIATOR & PANEL. G.C. TO VERIFY WEEK ONE OF CONSTRUCTION WITH FIRE INSPECTOR IF A CELLULAR COMMUNICATOR IS ACCEPTABLE AS THE PRIMARY POINT OF CONNECTION FOR THE FIRE ALARM SYSTEM.

## HFT FURNISHED ITEMS, G.C. TO INSTALL

- FIXTURES / FURNISHINGS:**
    - MILLWORK KIT FOR OFFICES
    - FIRE EXTINGUISHERS
    - PLASTIC BOLLARD COVERS
    - CORNER GUARDS
    - CORNER POLES
    - FORKLIFT BATTERY CHARGER STATION AND WATER TANK
    - MOP SINK SHELVES
    - UPRIGHT FRAME PROTECTORS
    - BOX BALLS
    - BOLT DOWN BOLLARDS
    - INPRO WALL GUARD
    - DOCK FAN AND MOUNTING KIT (IF APPLICABLE)
    - TURNSTILES (IF APPLICABLE)
  - MECHANICAL:**
    - DIGITAL DIFFUSERS
    - 12" X 12" SQUARE PLAUQUE DIFFUSERS
    - CABINET UNIT HEATER (IF APPLICABLE)
    - GAS-FIRED RECEIVING AREA UNIT HEATER (IF APPLICABLE)
  - PLUMBING FIXTURES:**
    - DRINKING FOUNTAIN AND STAINLESS STEEL WALL GUARDS
    - MOP SINK, FAUCET AND ACCESSORIES
    - BREAK ROOM SINK AND FAUCET
    - RESTROOM LAVATORIES, FAUCETS AND CARRIERS
    - WATER HEATER AND PAN EXPANSION TANK
  - ELECTRICAL:**
    - BURGLAR ALARM PANEL
    - WIRED ZONE EXPANDER
    - KEY PAD
    - SIREN
    - CEILING MOUNTED MOTION DETECTOR
    - GLASSBREAK DETECTOR
    - MOTION DETECTOR
    - MICROWAVE DETECTOR
    - EXTERIOR DOOR CONTACTS
  - FLOOR FINISHES:**
    - VESTIBULE CARPET TILE
    - LVT FLOORING
    - WALL BASE
  - RESTROOM ACCESSORIES:**
    - HAND DRYERS AND WALL GUARDS
    - TOILET PAPER HOLDERS
    - MIRRORS
    - TOILET SEAT COVER DISPENSERS
- NOTE: G.C. TO PROVIDE (2) 40'-0" CONEX CONTAINERS FOR TEMPORARY STORAGE OF HFT SUPPLIED ITEMS. COORDINATE DELIVERY / PLACEMENT WITH HFT PM.



**HARBOR FREIGHT**

1399 NY-300  
NEWBURGH, NY 12250

17710 Detroit Avenue  
Lakewood, Ohio 44107  
Phone (216) 521-5134  
Fax (216) 521-4824  
www.adaarchitects.com

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## REVISIONS

#	DATE	TYPE
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## COVER SHEET

DATE 12/08/23  
JOB NO. 23322  
A0.0  
SHEET NO.



**DEMO LEGEND**

SYMBOL	DESCRIPTION
	EXISTING WALLS
	EXISTING WALLS TO BE REMOVED
	EXISTING CONSTRUCTION TO BE REMOVED

**200 SERIES DEMOLITION KEY NOTES**

200. LOCATION OF LEASE LINE (LOCATED @ CENTERLINE OF DEMISING WALL).
201. REMOVE ALL EXISTING FLOOR FINISHES, INCLUDING VCT AND ASSOCIATED GLUE AND CERAMIC TILE WITH ASSOCIATED SETTING BED (APPROX. 270 SQ. FT.). PATCH AND REPAIR ANY DAMAGED SECTION OF CONCRETE SLAB. PREPARE SLAB TO RECEIVE SCHEDULED FINISHES (TYPICAL THROUGHOUT SPACE UNLESS NOTED OTHERWISE).
202. REMOVE FIXTURES (FIXED OR FREE-STANDING) THROUGHOUT THE SPACE.
203. REMOVE ALL ABANDONED EQUIPMENT IN HFT SPACE.
204. ALL DIMENSIONS TO BE FIELD VERIFIED AFTER DEMOLITION HAS BEEN COMPLETED. NOTIFY HFT PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES. HFT G.C. IS REQUIRED TO VISIT PROJECT SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.
205. REMOVE ABANDONED ELECTRICAL EQUIPMENT NOT TO BE RE-USED, INCLUDING BUT NOT LIMITED TO, JUNCTION BOXES, CONDUIT, WIRING, ETC. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTE (TYPICAL THROUGHOUT SPACE).
206. ALL REMAINING OUTLETS, DRAINS, HOLES, ETC. IN THE FLOOR SHALL BE COMPLETELY CUT OUT AND CONCRETE REPLACED. CONCRETE SLAB INFILL AREAS OVER 12"x12" TO BE DOWELED INTO EXISTING ADJACENT SLAB. SEE DETAILS 483A4.1 FOR ADDITIONAL INFORMATION. REFER TO SHEETS A0.3 & A0.4 FOR CONCRETE SPECIFICATIONS. EXISTING STRUCTURAL COLUMN. REMOVE EXISTING ENCLOSURE (AS APPLICABLE) AND PREP COLUMN FOR PAINT.
207. SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB FOR PLUMBING TRENCH (APPROX. 500 S.F.)
208. TRENCH LAYOUT FOR REFERENCE ONLY. G.C. SHALL VERIFY DEPTH OF SANITARY TIE-IN POINT AND CONFIRM ADEQUATE FALL FOR THE SEWER LINE PRIOR TO TRENCHING CONCRETE. NOTIFY ARCHITECT IF ADEQUATE FALL IS NOT ACHIEVABLE. IN-FILL TRENCH WITH CONCRETE TO MATCH AND ALIGN WITH ADJACENT FLOOR SLAB (INCLUDING COLOR MATCH). TROWEL CONCRETE SMOOTH. SEE DETAILS 483A4.1 FOR ADDITIONAL INFORMATION.
209. DASHED LINES INDICATE TO REMOVE DOOR AND FRAME COMPLETELY.
210. DASHED LINES INDICATE TO REMOVE WALL COMPLETELY. TYP. THROUGHOUT HFT SPACE.
211. MODIFY OPENING IN MASONRY WALL FOR 8'-0" X 10'-0" O.H. DOOR AND LINTEL. SHORE AS REQUIRED DURING CONSTRUCTION. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
212. REMOVE LAY-IN CEILING COMPLETELY, INCLUDING BUT NOT LIMITED TO, ALL MECHANICAL DEVICES (DIFFUSERS, RETURN AIR GRILLES, ETC.) AND LIGHTING FIXTURES. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
213. REMOVE LIGHT FIXTURES COMPLETELY THROUGHOUT HFT SPACE.
214. EXISTING MEZZANINE TO BE REMOVED IN ITS ENTIRETY (APPROX. 2,509 SQ. FT.), INCLUDING, BUT NOT LIMITED TO, STEEL COLUMNS, BEAMS, JOISTS AND SUPPORT MEMBERS, PLUMBING, SUPPRESSION SYSTEM, STAIRS, LIGHTING, ETC. SHORE AS REQUIRED DURING CONSTRUCTION. PATCH AND REPAIR EXISTING CONCRETE SLAB AND CMU WALLS TO MATCH AND ALIGN WITH EXISTING. COORDINATE WITH BV AND HFT PM FOR ACCEPTABLE LEVELS OF FINISH.
215. REMOVE PORTION OF ASPHALT, LANDSCAPE AND CONCRETE SIDEWALK AS REQUIRED TO ACCOMMODATE FOR NEW CONCRETE PEDESTRIAN EGRESS RAMP. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
216. REMOVE EXISTING CONCRETE PAD AND DAMAGED CONCRETE AS SHOWN. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
217. REMOVE PORTION OF EXISTING CONCRETE DOCK AS REQUIRED TO ACCOMMODATE NEW CONCRETE FORKLIFT RAMP. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
218. REMOVE EXISTING STOREFRONT DOORS, STOREFRONT SYSTEM, AND PREP FOR NEW BI-PARTING DOOR PACKAGE AND STOREFRONT IN-FILL. SHORE AS REQUIRED DURING CONSTRUCTION. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
219. HARBOR FREIGHT G.C. TO REMOVE ANY EXISTING SIGNAGE, TYP. G.C. TO COORDINATE WITH LANDLORD AS REQUIRED.
220. REMOVE EXISTING GYP. BD. WALL AND ASSOCIATED FURRING. G.C. TO PATCH AND REPAIR EXISTING MASONRY WALLS. CONTACT BY PM OR HFT PM AFTER DEMOLITION FOR FINISH REQUIREMENTS OF NEWLY EXPOSED MASONRY WALLS.
221. EXISTING ELECTRICAL EQUIPMENT PANEL LOCATION. REFER TO ELECTRICAL DRAWINGS FOR SCOPE OF WORK.
222. REMOVE EXISTING PLUMBING FIXTURE/ ACCESSORY COMPLETELY. CAP AND SEAL ALL WATER AND WASTE LINES. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
223. REMOVE EXISTING ROOFING SYSTEM AND ROOF DECKING AS REQUIRED FOR INSTALLATION OF NEW ROOFTOP HVAC UNIT. SEE SHEET A2.0 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. G.C. TO CONTRACT WITH LANDLORD'S ROOFING CONTRACTOR FOR ALL WORK RELATED TO MAINTAINING ROOFING WARRANTIES.
224. EXISTING ROOF TOP MECHANICAL UNIT TO BE REMOVED AND EXISTING CURBS CAPPED. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
225. SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE WALK AND EXCAVATE AS REQUIRED FOR NEW CONCRETE FROST SLAB CENTERED ON DOOR OPENING. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
226. G.C. TO REMOVE EXISTING HOLLOW METAL DOOR AND FRAME COMPLETELY. PREP OPENING FOR NEW HOLLOW METAL DOOR. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
227. EXISTING STOREFRONT SYSTEM TO REMAIN. G.C. TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
228. EXISTING 6" DIA. FIRE RISER WITH BACKFLOW PREVENTER TO REMAIN. G.C. TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
229. EXISTING TRASH COMPACTOR TO BE REMOVED IN ITS ENTIRETY. G.C. TO PATCH AND REPAIR CONCRETE AS NEEDED AFTER REMOVAL.
230. EXISTING UNIT HEATER TO BE REMOVED.
231. EXISTING DEMARK TO REMAIN. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
232. REMOVE EXISTING TRUCK DOCK LEVELER. INFILL ASSOCIATED PIT WITH COMPACTED AGGREGATE AND CONCRETE SLAB TO MATCH AND ALIGN WITH EXISTING ADJACENT. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
233. REMOVE EXISTING TRENCH DRAIN AND SURROUNDING CONCRETE AS REQUIRED TO ACCOMMODATE NEW 8'-0" LONG TRENCH DRAIN. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
234. SAW-CUT AND REMOVE PORTION OF DAMAGED EXISTING CONCRETE WALK, CURB, AND ACCESSIBLE RAMP. PREP FOR NEW CONCRETE FROST SLAB, SIDEWALK AND CURB TO MATCH AND ALIGN WITH EXISTING. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 AND SHEET A51.0 FOR ADDITIONAL INFORMATION.
235. EXISTING LIFT TO BE REMOVED INCLUDING ALL ASSOCIATED COMPONENTS.
236. G.C. TO REMOVE ASSUMED CONCRETE LIFT PIT. IN-FILL WITH CONCRETE TO MATCH AND ALIGN WITH ADJACENT FLOOR SLAB (INCLUDING COLOR MATCH). TROWEL CONCRETE SMOOTH. SEE DETAILS 483A4.1 FOR ADDITIONAL INFORMATION. REFER TO SHEET A0.3 & A0.4 FOR CONCRETE SPECIFICATIONS.

**GENERAL DEMOLITION NOTES**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO BECOME FAMILIARIZED WITH THE DEMOLITION AND / OR REMOVAL WORK WHICH MAY BE REQUIRED TO PRODUCE RESULTS INTENDED IN THE CONTRACT DOCUMENTS. THE SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS ANTICIPATES THE DEMOLITION OF EXISTING CONSTRUCTION IN PART OR ITS ENTIRETY, AND THE REMOVAL, RELOCATION AND RE-POWERING OF CERTAIN CONSTRUCTION MATERIALS AND EQUIPMENT, INCLUDING ITEMS RELATED TO OTHER TENANTS WHICH MAY PASS THROUGH OR OCCUPY THIS TENANT'S SPACE. IT IS THE INTENT THAT EACH PORTION OF THE DEMOLITION AND REMODELING WORK BE DONE BY THE SPECIFIC TRADE INVOLVED IN THE INITIAL INSTALLATION. (i.e. CARPENTRY WORK BY THE CARPENTRY TRADE, MECHANICAL AND ELECTRICAL WORK BY THE MECHANICAL AND ELECTRICAL TRADES ETC.). THEREFORE, EACH CONTRACTOR AND SUBCONTRACTOR SHALL THOROUGHLY EXAMINE THE PROPOSED WORK AND MAKE ALLOWANCES IN HIS PROPOSAL FOR THE COST OF ALL DEMOLITION AND/OR REMOVAL WHICH MAY BE REQUIRED TO PRODUCE THE END RESULTS INTENDED BY THE CONTRACT DOCUMENTS.
2. GENERAL CONTRACTOR TO COMPLETE ALL DEMOLITION AS NOTED IN CONTRACT DOCUMENTS AND REMOVE ALL DEBRIS AND RUBBISH FROM THE PROJECT AND BUILDING SITE.
3. ALL AREAS WHERE DEMOLITION IS TO OCCUR IS TO BE SECTIONED OFF FROM THE PUBLIC AND ALL REQUIRED SHORING, BARRICADING, AND SCAFFOLDING TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. ALL WORK TO BE IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
5. ALL RUBBISH AND DEBRIS TO BE REMOVED FROM THE PROJECT SITE WITHIN A 24 HOUR PERIOD OR PLACED IN PRE-APPROVED DUMPSTER LOCATIONS FOR REMOVAL OR DUMPSTER CHANGE OUT DAILY. THIS CONTRACTOR TO RECEIVE APPROVAL OF DUMPSTER LOCATION FROM BUILDING LANDLORD REPRESENTATIVE.
6. ALL DEBRIS REMOVED FROM THE PROJECT SITE TO BE DUMPED IN ONLY APPROVED DUMPING SITE. ANY ASBESTOS REMOVAL OR DEBRIS DUMPING TO BE COMPLETED BY THIS CONTRACTOR, PER PROPER APPROVALS.
7. GENERAL CONTRACTOR TO CONTACT BUILDING LANDLORD REPRESENTATIVE AND ALL UTILITY COMPANY REPRESENTATIVES HAVING JURISDICTION OVER THIS PROJECT TO ASCERTAIN BUILDING AND UTILITY COMPANY LINES ABOVE, WITHIN, OR BELOW PREMISES TO AVOID ANY POSSIBILITIES OF CUTTING SUCH LINES, CAUSING EXPLOSIONS, ETC.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORE DRILL OF CONCRETE SLAB AT ALL AREAS WHERE UNDER SLAB MECHANICAL, PLUMBING AND ELECTRICAL WORK OCCURS. REVIEW AND COORDINATE EXACT LOCATIONS AND SIZES WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. NOTE: DO NOT CUT SLAB WITHOUT WRITTEN APPROVAL FROM LANDLORD.
9. ALL WORK TO BE COMPLETED FOLLOWING LANDLORD'S CONSTRUCTION "RULES AND REGULATIONS".
10. DEMOLITION OR DEMOLITION REMOVAL TO BE COMPLETED IN A MANNER THAT DOES NOT DISTURB ADJACENT TENANTS OR DISRUPT THE OPERATION OF ADJACENT TENANTS.
11. PROTECTION OF ADJACENT TENANTS OR SPACES IS REQUIRED PRIOR TO DEMOLITION.
12. ALL CUTTING OF SERVICES OR UTILITIES AFFECTING THE BUILDING COMPLEX OR ADJACENT TENANTS INCLUDING SPRINKLER OPERATION TO BE COMPLETED ON "OFF HOURS". COORDINATE ALL SHUT DOWNS WITH LANDLORD. A 48 HOUR NOTICE REQUIRED.
13. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
14. REFER TO MECHANICAL / PLUMBING DRAWINGS FOR MECHANICAL / PLUMBING DEMOLITION.
15. DEMOLITION WORK TO BE PHASED TO ALLOW PROPER EGRESS FOR ANY PERSON IN CASE OF FIRE OR HAZARD AND NO DEMOLITION WORK CAN OCCUR IF THE WORK JEOPARDIZES A MEANS OF EGRESS FOR THE PUBLIC OR PROJECT EMPLOYEES.
16. ALL FLOORING MATERIALS TO BE REMOVED, UNLESS NOTED OTHERWISE.
17. ALL LABOR TO BE COMPATIBLE WITH OTHER LABOR COMPLETING WORK IN THE BUILDING
18. ANY LANDLORD COMPONENT THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. (DUCTWORK, CLEANOUTS, ETC.) LABEL CLEARLY IN TENANT SPACE; PROVIDE ACCESS PANELS.
19. HFT CONSTRUCTION MAY ATTACH TO BUILDING STRUCTURE ONLY - (NO ATTACHMENT TO ROOF DECK, LATERAL BRIDGING, CONDUITS, DUCTWORK, ETC. IS ALLOWED) FOR STABILITY.
20. ALL FLOOR PENETRATIONS MUST BE CORE-BORED OR SAW-CUT. CONTRACTOR MUST X-RAY OR OTHERWISE SATISFACTORILY VERIFY THERE ARE NO EXISTING HIDDEN CONDITIONS PRIOR TO COMMENCING CORING/DRILLING OR SAW CUTTING.
21. ALL EXISTING CONSTRUCTION NOT SCHEDULED FOR RE-USE OR NOTED TO BE ABANDONED IN PLACE MUST BE COMPLETELY DEMOLISHED AND PROPERLY DISPOSED OF OFF SITE. ALL UTILITIES MUST BE REMOVED TO THEIR POINT OF ORIGIN.



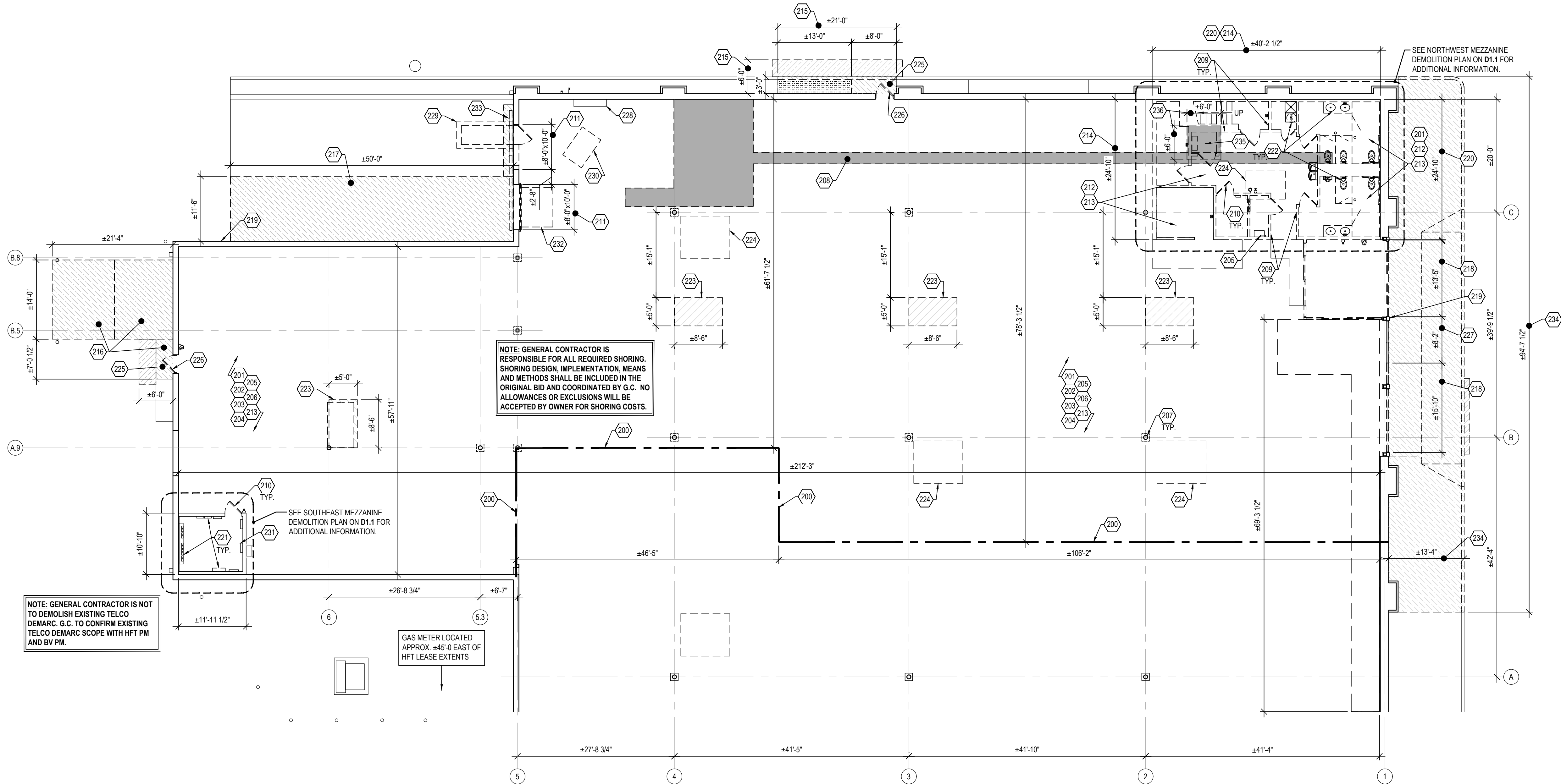
**ADA**  
ARCHITECTS SERVICES, INC. P.C.

Lakewood, Ohio 44107  
17710 Detroit Avenue  
Phone (216) 521-1534  
Fax (216) 521-4824  
www.adaarchitects.com

**HARBOR FREIGHT**

1399 NY-300  
NEWBURGH, NY 12550

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**DEMOLITION PLAN**  
SCALE 3/32" = 1'-0"

DO NOT SCALE THESE DRAWINGS

#	DATE	TYPE
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**DEMOLITION PLAN**

DATE 12/08/23

JOB NO. 23322

**D1.0**

SHEET NO.

DEMO LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALLS
	EXISTING WALLS TO BE REMOVED
	EXISTING CONSTRUCTION TO BE REMOVED

### 200 SERIES DEMOLITION KEY NOTES

200. LOCATION OF LEASE LINE (LOCATED @ CENTERLINE OF DEMISING WALL).
201. REMOVE ALL EXISTING FLOOR FINISHES, INCLUDING VCT AND ASSOCIATED GLUE AND CERAMIC TILE WITH ASSOCIATED SETTING BED (APPROX. 270 SQ. FT.). PATCH AND REPAIR ANY DAMAGED SECTION OF CONCRETE SLAB. PREPARE SLAB TO RECEIVE SCHEDULED FINISHES (TYPICAL THROUGHOUT SPACE UNLESS NOTED OTHERWISE).
202. REMOVE FIXTURES (FIXED OR FREE-STANDING) THROUGHOUT THE SPACE.
203. REMOVE ALL ABANDONED EQUIPMENT IN HFT SPACE.
204. ALL DIMENSIONS TO BE FIELD VERIFIED AFTER DEMOLITION HAS BEEN COMPLETED. NOTIFY HFT PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES. HFT G.C. IS REQUIRED TO VISIT PROJECT SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.
205. REMOVE ABANDONED ELECTRICAL EQUIPMENT NOT TO BE RE-USED, INCLUDING BUT NOT LIMITED TO, JUNCTION BOXES, CONDUIT, WIRING, ETC. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTE (TYPICAL THROUGHOUT SPACE).
206. ALL REMAINING OUTLETS, DRAINS, HOLES, ETC. IN THE FLOOR SHALL BE COMPLETELY CUT OUT AND CONCRETE REPLACED. CONCRETE SLAB INFILL AREAS OVER 12"x12" TO BE DOWELED INTO EXISTING ADJACENT SLAB. SEE DETAILS 483/A4.1 FOR ADDITIONAL INFORMATION. REFER TO SHEETS A0.3 & A0.4 FOR CONCRETE SPECIFICATIONS. EXISTING STRUCTURAL COLUMN. REMOVE EXISTING ENCLOSURE (AS APPLICABLE) AND PREP COLUMN FOR PAINT.
207. SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB FOR PLUMBING TRENCH (APPROX. 500 S.F.) TRENCH LAYOUT FOR REFERENCE ONLY. G.C. SHALL VERIFY DEPTH OF SANITARY TIE-IN POINT AND CONFIRM ADEQUATE FALL FOR THE SEWER LINE PRIOR TO TRENCHING CONCRETE. NOTIFY ARCHITECT IF ADEQUATE FALL IS NOT ACHIEVABLE. IN-FILL TRENCH WITH CONCRETE TO MATCH AND ALIGN WITH ADJACENT FLOOR SLAB (INCLUDING COLOR MATCH). TROWEL CONCRETE SMOOTH. SEE DETAILS 483/A4.1 FOR ADDITIONAL INFORMATION. REFER TO SHEET A0.3 & A0.4 FOR CONCRETE SPECIFICATIONS.
208. DASHED LINES INDICATE TO REMOVE DOOR AND FRAME COMPLETELY.
209. DASHED LINES INDICATE TO REMOVE WALL COMPLETELY. TYP. THROUGHOUT HFT SPACE.
210. MODIFY OPENING IN MASONRY WALL FOR 8'-0" X 10'-0" O.H. DOOR AND LINTEL. SHORE AS REQUIRED DURING CONSTRUCTION. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
211. REMOVE LAY-IN CEILING COMPLETELY, INCLUDING BUT NOT LIMITED TO, ALL MECHANICAL DEVICES (DIFFUSERS, RETURN AIR GRILLES, ETC.) AND LIGHTING FIXTURES. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
212. REMOVE LIGHT FIXTURES COMPLETELY THROUGHOUT HFT SPACE.
213. EXISTING MEZZANINE TO BE REMOVED IN ITS ENTIRETY (APPROX. 2,509 SQ. FT.), INCLUDING, BUT NOT LIMITED TO, STEEL COLUMNS, BEAMS, JOISTS AND SUPPORT MEMBERS, PLUMBING, SUPPRESSION SYSTEM, STAIRS, LIGHTING, ETC. SHORE AS REQUIRED DURING CONSTRUCTION. PATCH AND REPAIR EXISTING CONCRETE SLAB AND CMU WALLS TO MATCH AND ALIGN WITH EXISTING. COORDINATE WITH BV AND HFT PM FOR ACCEPTABLE LEVELS OF FINISH.
214. REMOVE PORTION OF ASPHALT, LANDSCAPE AND CONCRETE SIDEWALK AS REQUIRED TO ACCOMMODATE FOR NEW CONCRETE PEDESTRIAN EGRESS RAMP. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
215. REMOVE EXISTING CONCRETE PAD AND DAMAGED CONCRETE AS SHOWN. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
216. REMOVE PORTION OF EXISTING CONCRETE DOCK AS REQUIRED TO ACCOMMODATE NEW CONCRETE FORKLIFT RAMP. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
217. REMOVE EXISTING STOREFRONT DOORS, STOREFRONT SYSTEM, AND PREP FOR NEW BI-PARTING DOOR PACKAGE AND STOREFRONT IN-FILL. SHORE AS REQUIRED DURING CONSTRUCTION. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
218. HARBOR FREIGHT G.C. TO REMOVE ANY EXISTING SIGNAGE, TYP. G.C. TO COORDINATE WITH LANDLORD AS REQUIRED.
219. REMOVE EXISTING GYP. BD. WALL AND ASSOCIATED FURRING. G.C. TO PATCH AND REPAIR EXISTING MASONRY WALLS. CONTACT BV PM OR HFT PM AFTER DEMOLITION FOR FINISH REQUIREMENTS OF NEWLY EXPOSED MASONRY WALLS.
220. EXISTING ELECTRICAL EQUIPMENT PANEL LOCATION. REFER TO ELECTRICAL DRAWINGS FOR SCOPE OF WORK.
221. REMOVE EXISTING PLUMBING FIXTURE/ ACCESSORY COMPLETELY. CAP AND SEAL ALL WATER AND WASTE LINES. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
222. REMOVE EXISTING ROOFING SYSTEM AND ROOF DECKING AS REQUIRED FOR INSTALLATION OF NEW ROOFTOP HVAC UNIT. SEE SHEET A2.0 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. G.C. TO CONTRACT WITH LANDLORD'S ROOFING CONTRACTOR FOR ALL WORK RELATED TO MAINTAINING ROOFING WARRANTIES.
223. EXISTING ROOF TOP MECHANICAL UNIT TO BE REMOVED AND EXISTING CURBS CAPPED. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
224. SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE WALK AND EXCAVATE AS REQUIRED FOR NEW CONCRETE FROST SLAB CENTERED ON DOOR OPENING. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
225. G.C. TO REMOVE EXISTING HOLLOW METAL DOOR AND FRAME COMPLETELY. PREP OPENING FOR NEW HOLLOW METAL DOOR. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
226. EXISTING STOREFRONT SYSTEM TO REMAIN. G.C. TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
227. EXISTING 6" DIA. FIRE RISER WITH BACKFLOW PREVENTER TO REMAIN. G.C. TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
228. EXISTING TRASH COMPACTOR TO BE REMOVED IN ITS ENTIRETY. G.C. TO PATCH AND REPAIR CONCRETE AS NEEDED AFTER REMOVAL.
229. EXISTING UNIT HEATER TO BE REMOVED.
230. EXISTING DEMARK TO REMAIN. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
231. REMOVE EXISTING TRUCK DOCK LEVELER. INFILL ASSOCIATED PIT WITH COMPACTED AGGREGATE AND CONCRETE SLAB TO MATCH AND ALIGN WITH EXISTING ADJACENT. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
232. REMOVE EXISTING TRENCH DRAIN AND SURROUNDING CONCRETE AS REQUIRED TO ACCOMMODATE NEW 8'-0" LONG TRENCH DRAIN. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
233. SAW-CUT AND REMOVE PORTION OF DAMAGED EXISTING CONCRETE WALK, CURB, AND ACCESSIBLE RAMP. PREP FOR NEW CONCRETE FROST SLAB, SIDEWALK AND CURB TO MATCH AND ALIGN WITH EXISTING. G.C. TO LOCATE AND PROTECT ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION WORK. SEE SHEET A1.1 AND SHEET A51.0 FOR ADDITIONAL INFORMATION.
234. EXISTING LIFT TO BE REMOVED INCLUDING ALL ASSOCIATED COMPONENTS.
235. G.C. TO REMOVE ASSUMED CONCRETE LIFT PIT. IN-FILL WITH CONCRETE TO MATCH AND ALIGN WITH ADJACENT FLOOR SLAB (INCLUDING COLOR MATCH). TROWEL CONCRETE SMOOTH. SEE DETAILS 483/A4.1 FOR ADDITIONAL INFORMATION. REFER TO SHEET A0.3 & A0.4 FOR CONCRETE SPECIFICATIONS.

### GENERAL DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO BECOME FAMILIARIZED WITH THE DEMOLITION AND / OR REMOVAL WORK WHICH MAY BE REQUIRED TO PRODUCE RESULTS INTENDED IN THE CONTRACT DOCUMENTS. THE SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS ANTICIPATES THE DEMOLITION OF EXISTING CONSTRUCTION IN PART OR ITS ENTIRETY, AND THE REMOVAL, RELOCATION AND RE-POWERING OF CERTAIN CONSTRUCTION MATERIALS AND EQUIPMENT, INCLUDING ITEMS RELATED TO OTHER TENANTS WHICH MAY PASS THROUGH OR OCCUPY THIS TENANT'S SPACE. IT IS THE INTENT THAT EACH PORTION OF THE DEMOLITION AND REMODELING WORK BE DONE BY THE SPECIFIC TRADE INVOLVED IN THE INITIAL INSTALLATION. (i.e. CARPENTRY WORK BY THE CARPENTRY TRADE, MECHANICAL AND ELECTRICAL WORK BY THE MECHANICAL AND ELECTRICAL TRADES ETC.). THEREFORE, EACH CONTRACTOR AND SUBCONTRACTOR SHALL THOROUGHLY EXAMINE THE PROPOSED WORK AND MAKE ALLOWANCES IN HIS PROPOSAL FOR THE COST OF ALL DEMOLITION AND/OR REMOVAL WHICH MAY BE REQUIRED TO PRODUCE THE END RESULTS INTENDED BY THE CONTRACT DOCUMENTS.
2. GENERAL CONTRACTOR TO COMPLETE ALL DEMOLITION AS NOTED IN CONTRACT DOCUMENTS AND REMOVE ALL DEBRIS AND RUBBISH FROM THE PROJECT AND BUILDING SITE.
3. ALL AREAS WHERE DEMOLITION IS TO OCCUR IS TO BE SECTIONED OFF FROM THE PUBLIC AND ALL REQUIRED SHORING, BARRICADING, AND SCAFFOLDING TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. ALL WORK TO BE IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
5. ALL RUBBISH AND DEBRIS TO BE REMOVED FROM THE PROJECT SITE WITHIN A 24 HOUR PERIOD OR PLACED IN PRE-APPROVED DUMPSTER LOCATIONS FOR REMOVAL OR DUMPSTER CHANGE OUT DAILY. THIS CONTRACTOR TO RECEIVE APPROVAL OF DUMPSTER LOCATION FROM BUILDING LANDLORD REPRESENTATIVE.
6. ALL DEBRIS REMOVED FROM THE PROJECT SITE TO BE DUMPED IN ONLY APPROVED DUMPING SITE. ANY ASBESTOS REMOVAL OR DEBRIS DUMPING TO BE COMPLETED BY THIS CONTRACTOR, PER PROPER APPROVALS.
7. GENERAL CONTRACTOR TO CONTACT BUILDING LANDLORD REPRESENTATIVE AND ALL UTILITY COMPANY REPRESENTATIVES HAVING JURISDICTION OVER THIS PROJECT TO ASCERTAIN BUILDING AND UTILITY COMPANY LINES ABOVE, WITHIN, OR BELOW PREMISES TO AVOID ANY POSSIBILITIES OF CUTTING SUCH LINES, CAUSING EXPLOSIONS, ETC.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORE DRILL OF CONCRETE SLAB AT ALL AREAS WHERE UNDER SLAB MECHANICAL, PLUMBING AND ELECTRICAL WORK OCCURS. REVIEW AND COORDINATE EXACT LOCATIONS AND SIZES WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. NOTE: DO NOT CUT SLAB WITHOUT WRITTEN APPROVAL FROM LANDLORD.
9. ALL WORK TO BE COMPLETED FOLLOWING LANDLORD'S CONSTRUCTION "RULES AND REGULATIONS".
10. DEMOLITION OR DEMOLITION REMOVAL TO BE COMPLETED IN A MANNER THAT DOES NOT DISTURB ADJACENT TENANTS OR DISRUPT THE OPERATION OF ADJACENT TENANTS.
11. PROTECTION OF ADJACENT TENANTS OR SPACES IS REQUIRED PRIOR TO DEMOLITION.
12. ALL CUTTING OF SERVICES OR UTILITIES AFFECTING THE BUILDING COMPLEX OR ADJACENT TENANTS INCLUDING SPRINKLER OPERATION TO BE COMPLETED ON "OFF HOURS". COORDINATE ALL SHUT DOWNS WITH LANDLORD. A 48 HOUR NOTICE REQUIRED.
13. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
14. REFER TO MECHANICAL / PLUMBING DRAWINGS FOR MECHANICAL / PLUMBING DEMOLITION.
15. DEMOLITION WORK TO BE PHASED TO ALLOW PROPER EGRESS FOR ANY PERSON IN CASE OF FIRE OR HAZARD AND NO DEMOLITION WORK CAN OCCUR IF THE WORK JEOPARDIZES A MEANS OF EGRESS FOR THE PUBLIC OR PROJECT EMPLOYEES.
16. ALL FLOORING MATERIALS TO BE REMOVED, UNLESS NOTED OTHERWISE.
17. ALL LABOR TO BE COMPATIBLE WITH OTHER LABOR COMPLETING WORK IN THE BUILDING.
18. ANY LANDLORD COMPONENT THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. (DUCTWORK, CLEANOUTS, ETC.) LABEL CLEARLY IN TENANT SPACE; PROVIDE ACCESS PANELS.
19. HFT CONSTRUCTION MAY ATTACH TO BUILDING STRUCTURE ONLY - (NO ATTACHMENT TO ROOF DECK, LATERAL BRIDGING, CONDUITS, DUCTWORK, ETC. IS ALLOWED) FOR STABILITY.
20. ALL FLOOR PENETRATIONS MUST BE CORE-BORED OR SAW-CUT. CONTRACTOR MUST X-RAY OR OTHERWISE SATISFACTORILY VERIFY THERE ARE NO EXISTING HIDDEN CONDITIONS PRIOR TO COMMENCING CORING/DRILLING OR SAW CUTTING.
21. ALL EXISTING CONSTRUCTION NOT SCHEDULED FOR RE-USE OR NOTED TO BE ABANDONED IN PLACE MUST BE COMPLETELY DEMOLISHED AND PROPERLY DISPOSED OF OFF SITE. ALL UTILITIES MUST BE REMOVED TO THEIR POINT OF ORIGIN.



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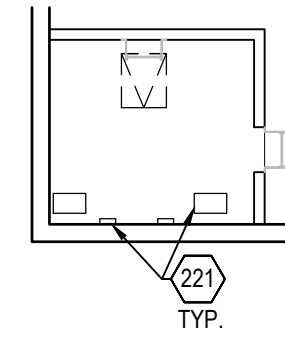
17710 Detroit Avenue  
Phone (216) 521-1534  
www.adaarchitects.com

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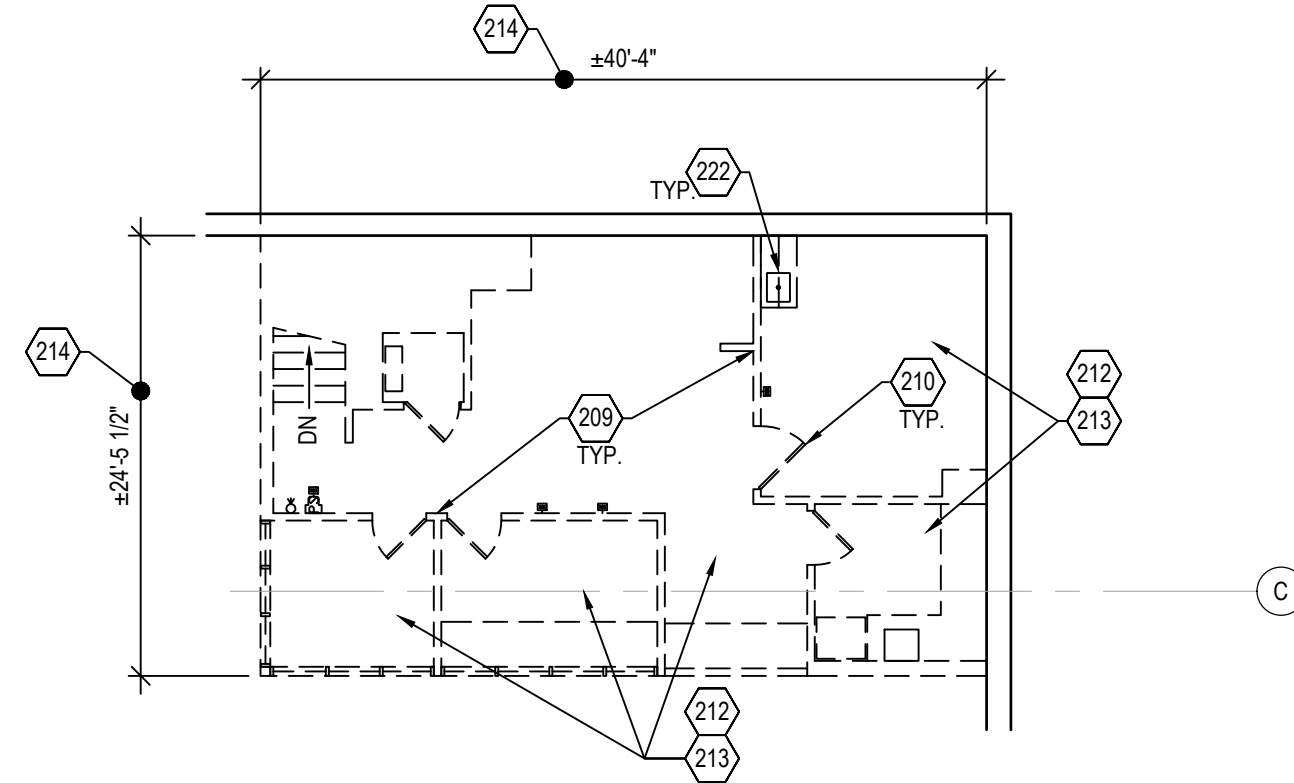
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**SOUTHEAST MEZZANINE  
DEMOLITION PLAN**  
SCALE 3/32" = 1'-0"



**NORTHWEST MEZZANINE  
DEMOLITION PLAN**  
SCALE 3/32" = 1'-0"

DO NOT SCALE THESE DRAWINGS

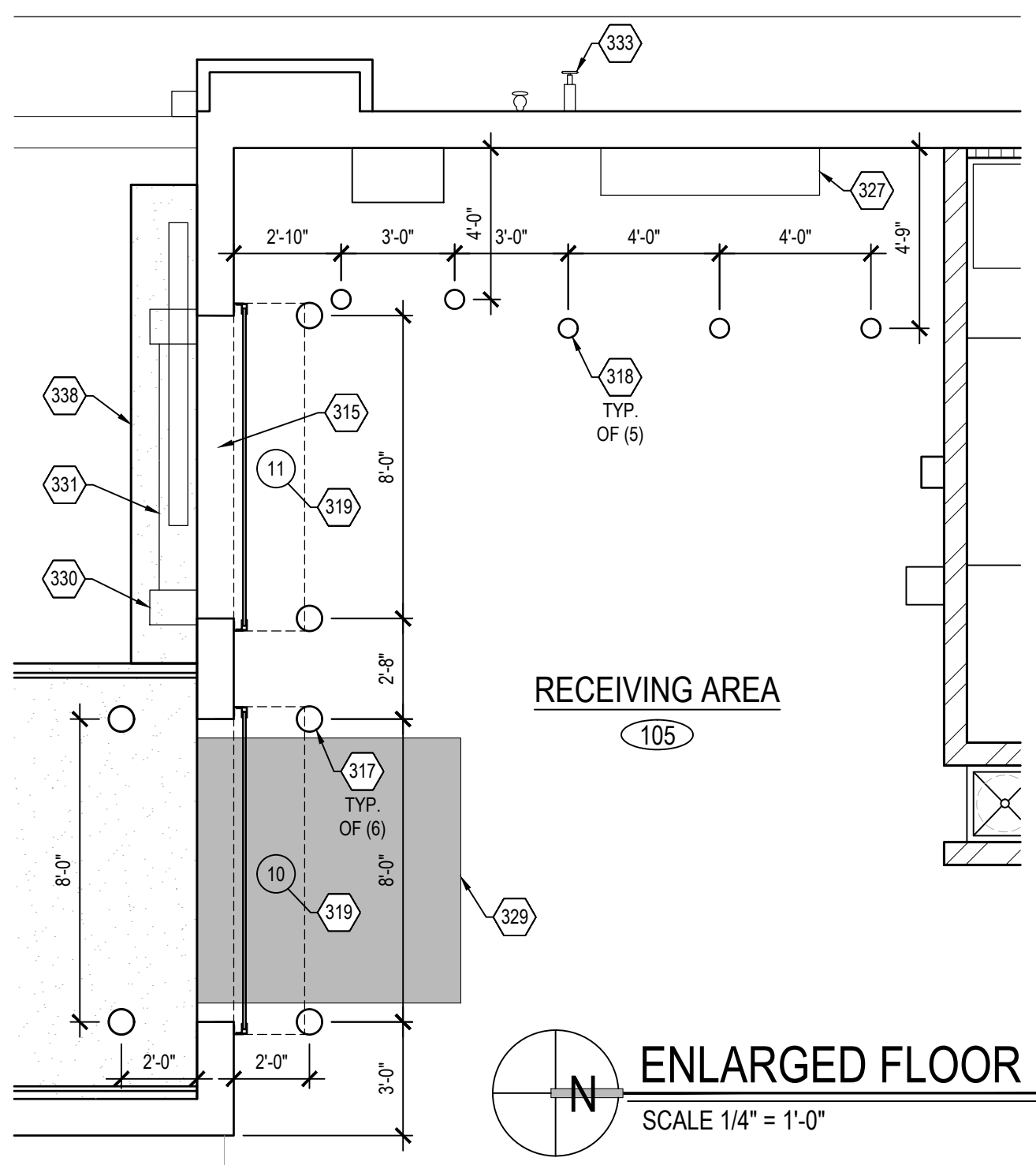
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DEMOLITION PLAN

DATE 12/08/23

JOB NO. 23322

**D1.1**  
SHEET NO.



**ENLARGED FLOOR PLAN**  
SCALE 1/4" = 1'-0"

- ### 300 SERIES FLOOR PLAN KEY NOTES
- 300. LOCATION OF LEASE LINE (LOCATED @ CENTER LINE OF DEMISING WALL).
  - 301. EXISTING STEEL COLUMNS. PREP AND PAINT (P-8). SEE SHEET A1.3 FOR FINISHES.
  - 302. AUTOMATIC BI-PARTING DOOR PACKAGE. SEE SHEETS A5.0 AND A5.1 FOR ADDITIONAL INFORMATION.
  - 303. CONCRETE FORK-LIFT ACCESS RAMP. SEE DETAILS INDICATED FOR ADDITIONAL INFORMATION.
  - 304. EXISTING RECEIVING DOCK WELL. G.C. TO PATCH AND REPAIR ANY DAMAGED CONCRETE TO MATCH AND ALIGN WITH EXISTING, INCLUDING COLOR MATCH. ENSURE EXISTING TRENCH DRAIN DRAINS AWAY FROM BUILDING.
  - 305. LOCATION OF ELECTRICAL PANELS AND EQUIPMENT. MAINTAIN A 3'-0" CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 306. 4'-0" X 8'-0" FIRE RATED PLYWOOD TO HOUSE ALL ELECTRICAL AND OWNER'S EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 307. 4'-0" WIDE X 3'-0" HIGH ONE WAY GLASS W/ 2" H.M. FRAME CENTERED IN WALL FACING CASH WRAP AREA, BTM. OF WINDOW TO BE @ 40" A.F.F. SEE A5.0 FOR ADDITIONAL INFORMATION.
  - 308. SEE FUTURE PLAN ON A1.2 FOR FUTURE LAYOUT & ADDITIONAL NOTES.
  - 309. SEE FINISH PLAN ON A1.3 FOR ALL FLOOR, WALL, AND CEILING FINISHES.
  - 310. EXISTING CONCRETE SLAB. PATCH AND REPAIR TO ENSURE A SMOOTH AND LEVEL SLAB. PREP. SLAB TO RECEIVE NEW FINISHES. SEE SHEET A3.3 & A4.4 FOR ADDITIONAL INFORMATION.
  - 311. NOTIFY HFT PROJECT MANAGER AT START OF CONSTRUCTION IF A LEVEL FLOOR CANNOT BE OBTAINED.
  - 312. REUSED / EXISTING MATERIALS AND EQUIPMENT TO BE IN OPERATING CONDITION OR SPECIFY THE COST TO SUPPLY / INSTALL IN BID. HFT GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH REPAIR / REPLACEMENT OF EXISTING / REUSED ITEMS.
  - 313. EXISTING ACCESS LADDER TO MEZZANINE. G.C. TO PROVIDE SECURITY DOOR AS MANUFACTURED BY O'KEEFES W/ PADLOCK HASP. G.C. TO PAINT LADDER P-7.
  - 314. EXISTING ACCESS LADDER AND ROOF HATCH ABOVE. G.C. TO PAINT LADDER P-7.
  - 315. FINISHED FLOOR SLAB TO BE REPAIRED WHERE NEW MASONRY OPENING OCCURS. SEE DETAIL 6/A4.1 FOR ADDITIONAL INFORMATION.
  - 316. 6"Ø STEEL PIPE BOLLARD. SEE DETAIL 1/A5.10 AND 3/A4.1 FOR ADDITIONAL INFORMATION.
  - 317. 8"Ø STEEL PIPE BOLLARD. ALIGN CENTERLINE OF BOLLARD WITH EDGE OF DOOR OPENING AT OVERHEAD DOOR. SEE DETAIL 3/A4.1 FOR ADDITIONAL INFORMATION.
  - 318. 6"Ø BOLT DOWN BOLLARD PROVIDED BY HFT. SEE SHEET A1.12 FOR ADDITIONAL INFORMATION.
  - 319. OVERHEAD DOOR TO BE INSTALLED IN MODIFIED OPENING. SHORE AS REQUIRED. SEE DETAIL 8/A4.1 AND SHEETS D1.0, A5.0 AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 320. HOLLOW METAL EGRESS DOOR AND FRAME TO BE INSTALLED IN EXISTING OPENING. SEE SHEET A5.0 FOR ADDITIONAL INFORMATION.
  - 321. EXISTING ASPHALT PAVEMENT.
  - 322. EXISTING CONCRETE SIDEWALK.
  - 323. LINE OF CANOPY ABOVE. SEE SHEET A3.0 FOR ADDITIONAL INFORMATION.
  - 324. EXISTING CONCRETE ACCESSIBLE ENTRY RAMP.
  - 325. FROST SLAB @ CENTER LINE OF DOOR. SEE DETAIL 9/A4.1 FOR ADDITIONAL INFORMATION.
  - 326. G.C. TO BACKFILL WITH COMPACTED MATERIAL AS REQUIRED AND PROVIDE NEW ASPHALT TO CREATE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
  - 327. LOCATION OF EXISTING 6" DIA. FIRE RISER WITH BACKFLOW PREVENTER. SEE FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
  - 328. AUTOMATIC SINGLE SLIDING DOOR PACKAGE. SEE SHEETS A5.0 AND A5.1 FOR ADDITIONAL INFORMATION.
  - 329. HATCH INDICATES AREA OF CONCRETE IN-FILL AFTER REMOVAL OF DOCK LEVELER. SEE DETAIL 1/A4.2 FOR ADDITIONAL INFORMATION.
  - 330. NEW BEACON INDUSTRIES, INC. 8101-131-8x10-10-40 LOADING DOCK DOOR SEAL OR APPROVED EQUAL.
  - 331. NEW BEACON INDUSTRIES, INC. BBL-7820 MANUAL EDGE OF DOCK LEVELER OR APPROVED EQUAL.
  - 332. NEW CONCRETE EGRESS PAD WITH CLEAR AREAS FOR ASSISTED RESCUE. SEE SECTIONS INDICATED FOR ADDITIONAL INFORMATION.
  - 333. EXISTING FIRE DEPARTMENT CONNECTION. SEE FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
  - 334. EXISTING ELECTRIC METER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 335. EXISTING PAD MOUNTED TRANSFORMER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 336. EXISTING BOLLARD. G.C. TO PAINT SAFETY YELLOW AS NEEDED.
  - 337. G.C. TO PATCH AND REPAIR APPROXIMATELY 15'-0" OF CONCRETE WALL AS REQUIRED TO MATCH AND ALIGN WITH EXISTING. POWER WASH ENTIRE WALL, BOTH SIDES.
  - 338. G.C. TO INSTALL NEW 8'-0" LONG HEAVY DUTY TRENCH DRAIN. PATCH AND REPAIR CONCRETE AS REQUIRED TO MATCH AND ALIGN WITH EXISTING.
  - 339. HATCH INDICATES NEW CONCRETE SIDEWALK TO MATCH AND ALIGN WITH EXISTING (APPROX. 1.223 S.F.). SEE DETAILS 4 & 5/A4.1 AND SHEET A0.3 FOR ADDITIONAL INFORMATION.

- ### FLOOR PLAN NOTES
1. REFER TO GENERAL NOTES ON SHEET A0.2 FOR ADDITIONAL INFORMATION.
  2. HFT GENERAL CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING WORK.
  3. HFT GENERAL CONTRACTOR IS TO PROVIDE FULL TIME SUPERVISION OF PROJECT. NOTIFY HFT PROJECT MANAGER OF TYPICAL WORK HOURS.
  4. HFT GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TIMING OF ALL HFT VENDOR INSTALLATIONS. COORDINATE WITH HFT PROJECT MANAGER FOR LIST AND MILESTONE TIMING.
  5. HFT GENERAL CONTRACTOR IS RESPONSIBLE FOR UNLOADING AND HANDLING ALL OWNER SUPPLIED MATERIAL AND DISPOSAL OF ALL PACKING MATERIALS AT THE JOB SITE.
  6. HFT GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR QUALITY AND FIT OF ALL MATERIALS, INCLUDING, BUT NOT LIMITED TO, ALL REFRUBISHED MATERIALS. ALL REFRUBISHED MATERIALS TO APPEAR NEW.
  7. HFT GENERAL CONTRACTOR TO COORDINATE WITH HFTS FIXTURE MANUFACTURE TO ENSURE FINISHES TO MATCH.
  8. IF THE CONTRACTOR CONSIDERS ANY SURFACE UNSUITABLE FOR A PROPER FINISH, HE SHALL NOTIFY HFT AND ARCHITECT OF THE CONDITION AND NOT COMMENCE WORK UNTIL DIRECTED BY HFT OR ARCHITECT.
  9. HFT GENERAL CONTRACTOR TO NOTIFY OWNER OF ANY DAMAGES / SHORTAGES WITHIN 48 HOURS OF RECEIPT OR BEAR RESPONSIBILITY FOR REPLACEMENT OF SUCH.
  10. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PUBLISHED INSTALLATION SPECIFICATIONS AND PROCEDURES OF THE MANUFACTURER OF THE MATERIAL USED.
  11. PROTECT OTHER WORK AND MERCHANDISE AS REQUIRED TO PREVENT ANY DAMAGE.
  12. PROVIDE A CLEAN SMOOTH CONCRETE SURFACE FOR PROPER INSTALLATION OF ALL FLOOR FINISHES.
  13. APPLICATIONS OF PAINT SHALL BE ONE COAT PRIMER AND TWO COATS PAINT (U.N.O.). PRIMER SHALL BE SPECIFIED OR RECOMMENDED BY PAINT MANUFACTURER.
  14. ALL ADHESIVES TO BE SUPPLIED BY HFT GENERAL CONTRACTOR. THE TYPE TO BE USED AS RECOMMENDED BY WALL COVERING MANUFACTURER SELECTED FOR THE TYPE OF INSTALLATION.
  15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT ALL WALL COVERING FOR QUALITY AND DEFECTS PRIOR TO INSTALLATION.
  16. ALL SURFACES TO RECEIVE FABRIC OR WALL COVERING AS SELECTED SHALL BE PROPERLY PREPARED AND SIZED AS RECOMMENDED BY WALL COVERING MANUFACTURER SELECTED FOR THE TYPE OF INSTALLATION. CONTRACTOR SHALL NOTIFY HFT OF ANY SURFACE NOT SUITABLE FOR PROPER APPLICATION OF WALL COVERING. DO NOT APPLY ANY MATERIAL UNTIL SITUATION IS RESOLVED.
  17. HFT GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF BLOCKING FOR ALL WALL AND CEILING SUPPORTED ITEMS IN STORE. REVIEW ITEMS THOROUGHLY. COORDINATE WITH VENDOR AS NECESSARY.
  18. HFT GENERAL CONTRACTOR TO ENSURE TIGHT, SECURE, AND PROPER FASTENING OF ALL STANDARDS TO METAL STUDS.
  19. ALL DIMENSIONS ARE FROM FACE OF GYP. BD. U.N.O.
  20. ALL INTERIOR DOORS ARE 6" OFF WALL U.N.O.
  21. ALL EXPOSED WALLS TO UNDERSIDE OF STRUCTURE SHALL BE BUILT TIGHTLY AROUND STRUCTURE, PIPING, ETC.

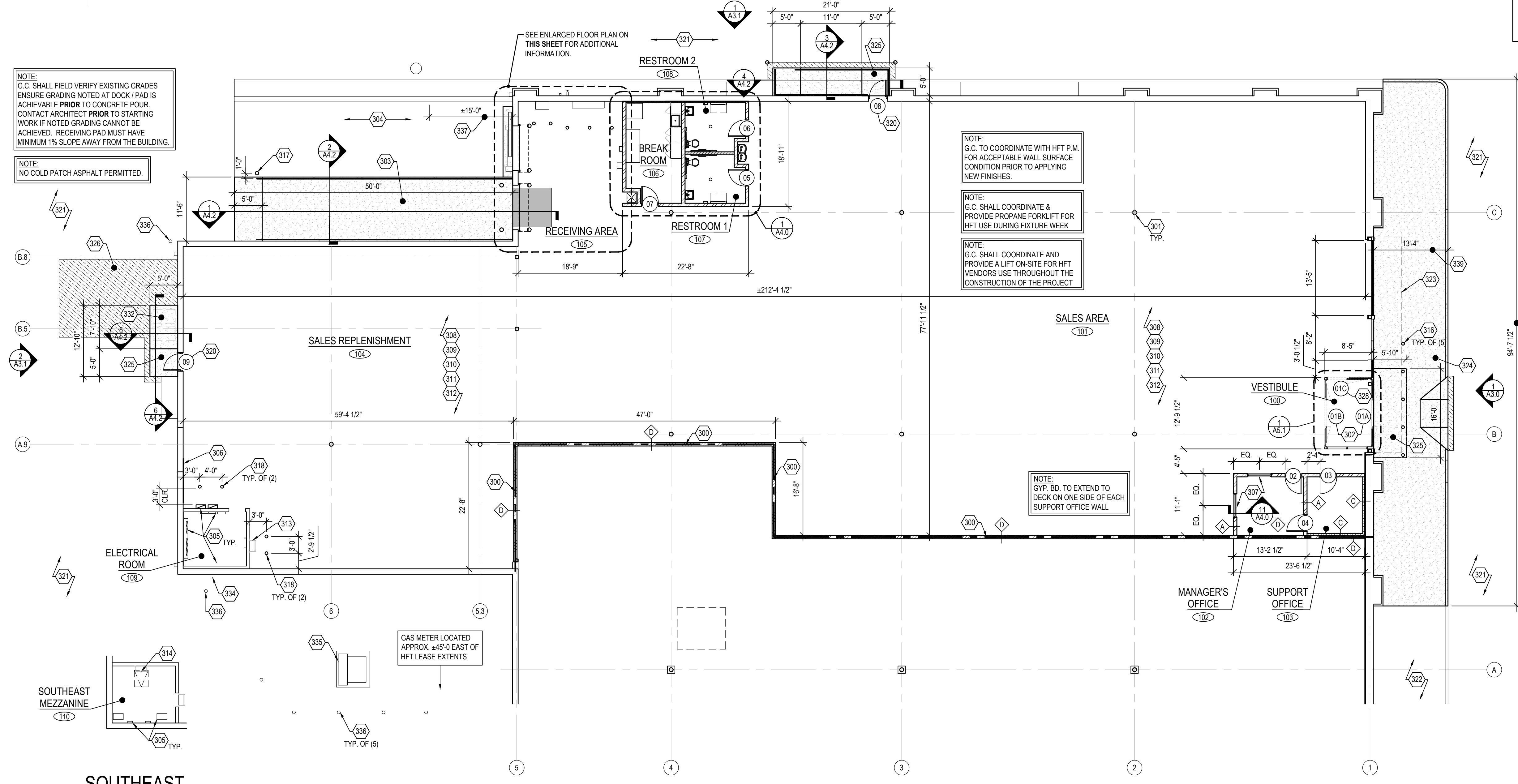
### WALL LEGEND

SYMBOL	DESCRIPTION
—	EXISTING WALL
▨	MASONRY WALL INFILL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
▧	NEW WALL. SEE WALL TYPES ON SHEET A4.1 FOR ADDITIONAL INFORMATION.
◇	WALL TYPE DESIGNATION. SEE SHEET A4.1 FOR ADDITIONAL INFORMATION.

NOTE:  
1. ALL WALLS BRACED TO STRUCTURE ABOVE @ 4'-0" O.C. MAX.  
2. ALL WALLS TO BE PAINTED TO 6" ABOVE CEILING, TO UNDERSIDE OF DECK (IF CEILING IS OPEN TO STRUCTURE), AND BEHIND ALL WALL FIXTURES BY CONTRACTOR.

NOTE:  
G.C. SHALL FIELD VERIFY EXISTING GRADES ENSURE GRADING NOTED AT DOCK / PAD IS ACHIEVABLE PRIOR TO CONCRETE POUR. CONTACT ARCHITECT PRIOR TO STARTING WORK IF NOTED GRADING CANNOT BE ACHIEVED. RECEIVING PAD MUST HAVE MINIMUM 1% SLOPE AWAY FROM THE BUILDING.

NOTE:  
NO COLD PATCH ASPHALT PERMITTED.



NOTE:  
G.C. TO COORDINATE WITH HFT P.M. FOR ACCEPTABLE WALL SURFACE CONDITION PRIOR TO APPLYING NEW FINISHES.

NOTE:  
G.C. SHALL COORDINATE & PROVIDE PROPANE FORK-LIFT FOR HFT USE DURING FIXTURE WEEK.

NOTE:  
G.C. SHALL COORDINATE AND PROVIDE A LIFT ON-SITE FOR HFT VENDORS USE THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

NOTE:  
GYP. BD. TO EXTEND TO DECK ON ONE SIDE OF EACH SUPPORT OFFICE WALL.

GAS METER LOCATED APPROX. ±45'-0" EAST OF HFT LEASE EXTENTS

**SOUTHEAST MEZZANINE PLAN**  
SCALE 3/32" = 1'-0"

**FLOOR PLAN**  
SCALE 3/32" = 1'-0"



**ADA ARCHITECTS SERVICES, INC. P.C.**

Lakewood, Ohio 44107  
17710 Detroit Avenue Fax (216) 521-1484  
Phone (216) 521-1534 www.adaarchitects.com

**HARBOR FREIGHT**

NEWBURGH, NY 12550

1399 NY-300

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**FLOOR PLAN**

DATE 12/08/23  
JOB NO. 23322

**A1.1**

SHEET NO.



# OCCUPANCY CALCULATIONS

**USE and OCCUPANCY CLASSIFICATION:**

USE: M - MERCANTILE  
CLASS: IIB - FULLY SPRINKLERED

**APPLICABLE CODES:**

BUILDING CODE: 2020 NEW YORK STATE BUILDING CODE  
ENERGY CODE: 2020 NEW YORK STATE ENERGY CODE  
MECHANICAL CODE: 2020 NEW YORK STATE MECHANICAL CODE  
ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE  
PLUMBING CODE: 2020 NEW YORK STATE PLUMBING CODE  
FIRE CODE: 2020 NEW YORK STATE FIRE CODE  
ACCESSIBILITY: 2010 ADA STANDARDS

**OCCUPANT LOAD:**

ACTUAL INTERIOR AREA BUILDING: 15,087 SQ. FT.  
FUNCTION OF SPACE FLR. AREA OCC. CALCULATION ALLOWABLE  
M - SALES 60 GROSS 8,971 SQ. FT. 149 OCCUPANTS  
B - CORE AREA 150 GROSS 692 SQ. FT. 4 OCCUPANTS  
S-1 - STOCK 300 GROSS 5,424 SQ. FT. 18 OCCUPANTS  
171 OCCUPANTS

ANTICIPATED OCCUPANT LOAD FOR HARBOR FREIGHT TOOLS: 150 MAX FROM HISTORICAL DATA

**EGRESS REQUIREMENTS:**

REQUIRED EGRESS WIDTH: 171 OCC. x 0.20 = 34.2" (44" MIN)  
PROVIDED EGRESS WIDTH: (1) BREAK-AWAY SINGLE SLIDING DOOR @ 45', (2) H.M. DOOR @ 34" = 113"  
REQUIRED EXIT ACCESS TRAVEL DISTANCE: 250'  
PROVIDED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250'  
MIN. NUMBER OF EXITS REQUIRED / PROVIDED: 2 EXITS REQUIRED / 3 EXITS PROVIDED

**AREA OCCUPANT LOAD ALLOWANCES AND EGRESS DOOR OCCUPANT LOAD CALCULATIONS:**

SALES AREA OCCUPANCY:	
SALES AREA	8,971 / 60 = 149 OCCUPANTS
RESTROOMS (ACCESSORY)	(2) SINGLE OCCUPANCY = 2 OCCUPANTS
OFFICE (ACCESSORY)	276 S.F. / 150 = 2 OCCUPANTS
<b>TOTAL =</b>	<b>153 OCCUPANTS</b>
153 OCCUPANTS / 2 EXITS = 77 OCCUPANTS	
SALES REPLENISHMENT AREA OCCUPANCY:	
STOCK AREA	5,424 / 300 = 18 OCCUPANTS
BREAK ROOM (ACCESSORY)	201 S.F. / 150 = 2 OCCUPANTS
<b>TOTAL =</b>	<b>20 OCCUPANTS</b>
20 OCCUPANTS / 1 EXIT = 20 OCCUPANTS	

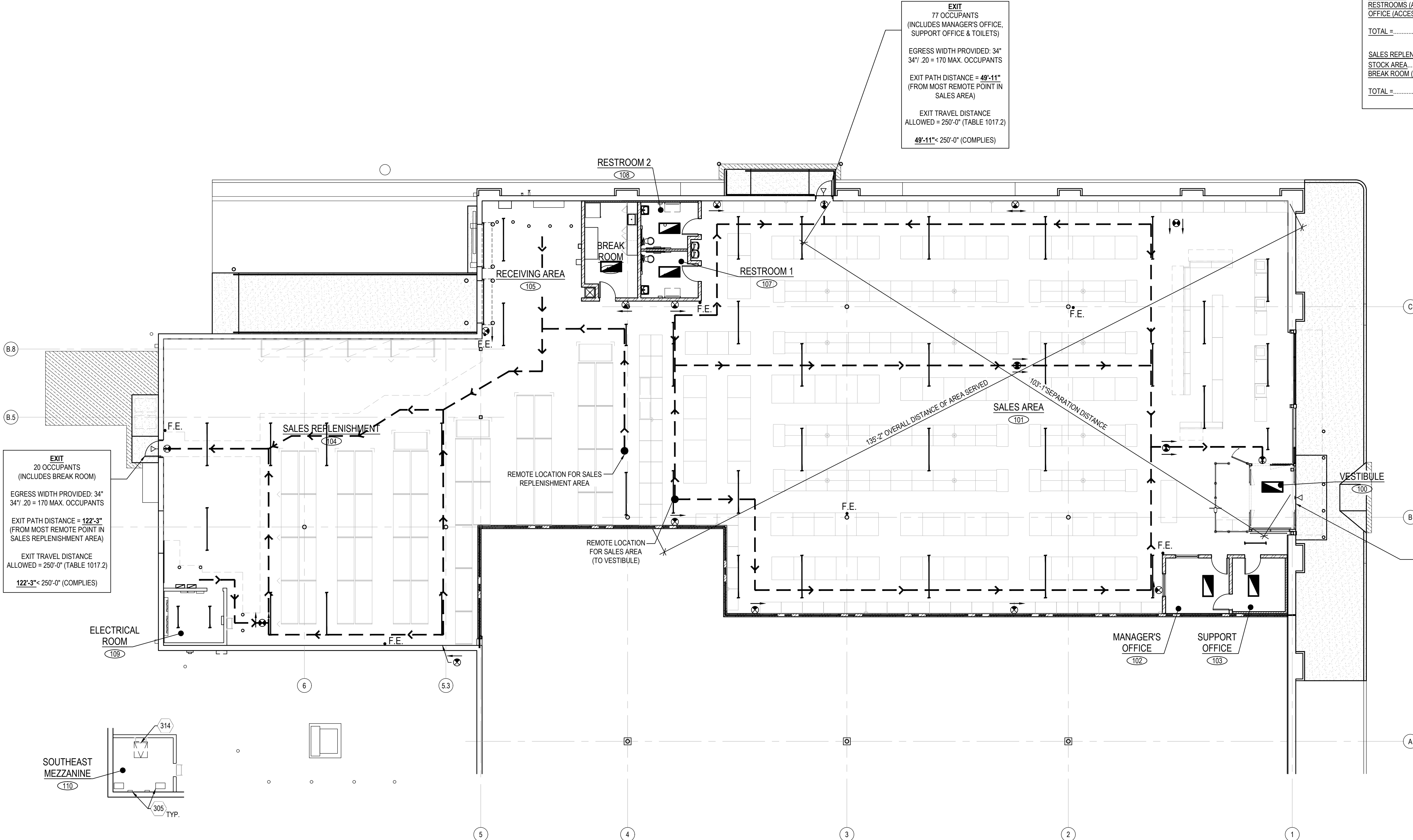
## EXIT SEPARATION

OVERALL DIAGONAL DIMENSION OF SALES AREA:	135'-2"
SEPARATION DISTANCE REQUIRED OF EXITS: 1/3 OF MAXIMUM OVERALL BUILDING DIMENSION (SPACE IS FULLY EQUIPPED WITH AUTOMATIC SPRINKLERS)	45'-0 3/4"
CALCULATED MINIMUM SEPARATION DISTANCE:	103'-1" (COMPLIES)
MINIMUM SEPARATION DISTANCE OF EXITS PROVIDED:	103'-1" (COMPLIES)

## LEGEND

	EGRESS PATHWAY
	EXIT SIGN, SEE LIGHTING PLAN
	EMERGENCY LIGHT LOCATIONS, SEE LIGHTING PLAN
	EMERGENCY EXTERIOR LIGHT LOCATIONS, SEE LIGHTING PLAN
	FIRE EXTINGUISHER, ABC, CLASS 2A-20BC (MIN.) WALL MOUNTED FIRE EXTINGUISHER PER CODE. FIRE EXTINGUISHERS LOCATED TO PROVIDE MAXIMUM FLOOR AREA PER UNIT OF 1,500 S.F. AND A MAXIMUM TRAVEL DISTANCE OF 75' AS SHOWN. CONTRACTOR TO VERIFY FINAL LOCATIONS WITH FIRE MARSHAL.

**EXIT**  
77 OCCUPANTS  
(INCLUDES MANAGER'S OFFICE,  
SUPPORT OFFICE & TOILETS)  
EGRESS WIDTH PROVIDED: 34'  
34' / 20 = 170 MAX. OCCUPANTS  
EXIT PATH DISTANCE = 49'-11"  
(FROM MOST REMOTE POINT IN  
SALES AREA)  
EXIT TRAVEL DISTANCE  
ALLOWED = 250'-0" (TABLE 1017.2)  
49'-11" < 250'-0" (COMPLIES)



**EXIT**  
20 OCCUPANTS  
(INCLUDES BREAK ROOM)  
EGRESS WIDTH PROVIDED: 34'  
34' / 20 = 170 MAX. OCCUPANTS  
EXIT PATH DISTANCE = 122'-3"  
(FROM MOST REMOTE POINT IN  
SALES REPLENISHMENT AREA)  
EXIT TRAVEL DISTANCE  
ALLOWED = 250'-0" (TABLE 1017.2)  
122'-3" < 250'-0" (COMPLIES)

**EXIT**  
77 OCCUPANTS  
(INCLUDES MANAGER'S OFFICE,  
SUPPORT OFFICE & TOILETS)  
EGRESS WIDTH PROVIDED: 45'  
45' / 20 = 225 MAX. OCCUPANTS  
EXIT PATH DISTANCE = 158'-4 3/4"  
(FROM MOST REMOTE POINT IN  
SALES AREA)  
EXIT TRAVEL DISTANCE  
ALLOWED = 250'-0" (TABLE 1017.2)  
158'-4 3/4" < 250'-0" (COMPLIES)

**SOUTHEAST MEZZANINE PLAN**  
SCALE 3/32" = 1'-0"

**LIFE SAFETY PLAN**  
SCALE 3/32" = 1'-0"



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Phone (216) 521-1534  
Fax (216) 521-4824  
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**HARBOR FREIGHT**  
1399 NY-300  
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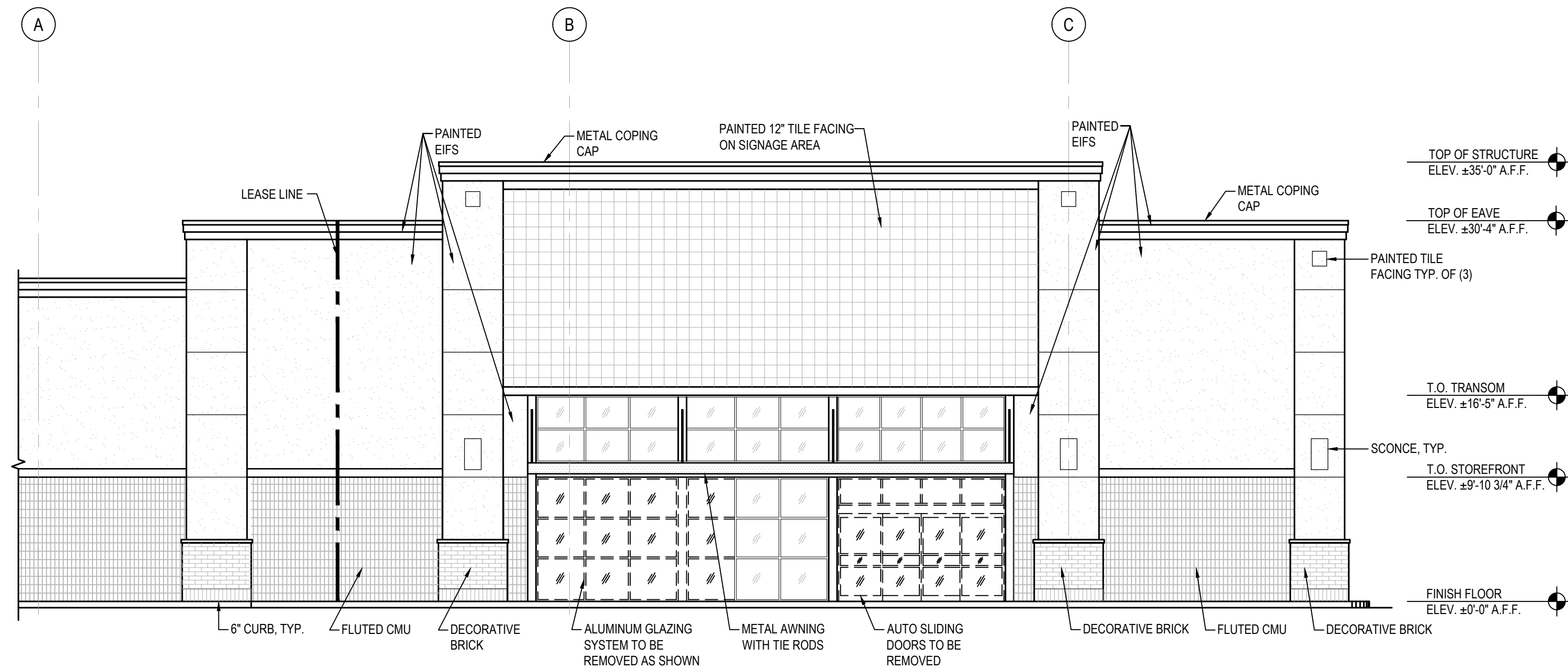
**LIFE SAFETY PLAN**

DATE 12/08/23  
JOB NO. 23322

**A1.1A**  
SHEET NO.



EXISTING NORTH ELEVATION



EXISTING/DEMOLITION NORTH ELEVATION



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

600 SERIES ELEVATION KEY NOTES

600. LOCATION OF LEASE LINE.
601. DORMA BI-PARTING DOOR SYSTEM. SEE SHEETS A5.0 AND A5.1 FOR ADDITIONAL INFORMATION.
602. SIGNAGE BANNER. PROVIDE 3/8" GALVANIZED EYELETS SPACED AS SHOWN ON DETAIL A3.0.
603. APPROXIMATE LOCATION OF HFT EXTERIOR BUILDING SIGN. BUILDING SIGNAGE PROVIDED AND INSTALLED BY HFT SIGN VENDOR. HFT GENERAL CONTRACTOR TO COORDINATE ACTUAL SIGNAGE LOCATION WITH FINAL APPROVED BRANDBOOK. LOCATION AND SIZE SHOWN ARE APPROXIMATE. ALL SIGNAGE IS BY SEPARATE PERMIT. G.C. TO PROVIDE AND INSTALL SIGNAGE BLOCKING AND POWER AS COORDINATED WITH SIGNAGE VENDOR. G.C. IS RESPONSIBLE FOR PATCH AND REPAIR OF WALL / ROOF WHERE AFFECTED BY SIGNAGE INSTALL. G.C. TO CONTRACT WITH LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOFING WORK TO MAINTAIN ALL ROOFING WARRANTIES.
604. EXISTING SCOFF TO REMAIN.
605. AREA OF COOLVU WINDOW TINT. TO BE FURNISHED AND INSTALLED BY VENDOR. G.C. TO COORDINATE WITH BY AND HFT PM TO CONFIRM EXTENTS OF COOLVU FILM.
606. ALUMINUM FRAME TRANSOM SYSTEM. SEE SHEET A5.1 FOR ADDITIONAL INFORMATION.
607. PROVIDE 8" HIGH WHITE VINYL NUMBERS STATING STREET ADDRESS IN HELVETICA FONT STYLE ON TRANSOM. SEE DOOR SCHEDULE NOTES ON SHEETS A5.0 AND A5.1 FOR ADDITIONAL INFORMATION.
608. PROVIDE 8" HIGH VINYL LETTERING STATING "HFT" AND STREET ADDRESS IN HELVETICA FONT. COLOR TO CONTRAST WITH DOOR.
609. 6" PIPE BOLLARD. SEE SHEET A1.1 AND DETAIL 3/A4.1 FOR ADDITIONAL INFORMATION.
610. 8" PIPE BOLLARD. SEE SHEET A1.1 AND DETAIL 3/A4.1 FOR ADDITIONAL INFORMATION.
611. HOLLOW METAL DOOR AND FRAME TO BE PAINTED TO MATCH ADJACENT WALL FINISH. SEE SHEETS A1.3 AND A5.0 FOR ADDITIONAL INFORMATION.
612. OVERHEAD DOOR. SEE DOOR SCHEDULE ON SHEET A5.0 FOR ADDITIONAL INFORMATION.
613. DASHED LINE INDICATES APPROXIMATE LOCATION OF CART CORRAL. SEE SHEET A51.0 FOR ADDITIONAL INFORMATION.
614. WALL MOUNTED LIGHT FIXTURE. SEE SHEET A2.0 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
615. G.C. TO PATCH AND REPAIR ELEVATION TO MATCH EXISTING AND POWER WASH. U.N.O. TYPICAL FOR EXTENTS OF HFT SPACE AS SHOWN.
616. EXISTING CONCRETE WALK.
617. NEW STEEL LINTEL AND FRAMING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
618. EXISTING DOWNSPOUT. G.C. TO CLEAN DOWNSPOUT OF ALL DEBRIS TO ENSURE PROPER DRAINAGE.
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620. EXISTING COPING TO REMAIN.
621. EXISTING COPING AT ELEVATION EXTENTS TO BE PAINTED P-9. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
622. LIGHTER HATCH INDICATES EXTENTS OF ELEVATION TO BE PAINTED P-9. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
623. DARKER HATCH INDICATES EXTENTS OF COPING TO BE PAINTED P-3. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
624. DARKER HATCH INDICATES EXTENTS OF ELEVATION TO BE PAINTED P-3. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
625. DIAGONAL HATCH INDICATES EXTENTS ELEVATION TO BE PAINTED P-10. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
626. SOLID HATCH INDICATES EXTENTS ELEVATION TO BE PAINTED P-11. SEE SHEET A1.3 FOR ADDITIONAL INFORMATION.
627. DOTTED HATCH INDICATES AREAS VENDOR SUPPLIED AND INSTALLED WINDOW FILM ON THE INTERIOR SIDE OF WINDOW PANELS. WINDOW FILM TO BE 3M AFFINITY 15.
628. NEW BEACON INDUSTRIES, INC. B101-131-8x10-20-40 LOADING DOCK DOOR SEAL OR APPROVED EQUAL.
629. 42" HIGH, 1 1/2" STEEL GUARDRAIL PAINTED PAINTED P-4. SEE DETAIL 2/A4.3 FOR ADDITIONAL INFORMATION.
630. 34" HIGH, 1 1/2" STEEL HANDRAIL PAINTED PAINTED P-4. SEE DETAIL 1/A4.3 FOR ADDITIONAL INFORMATION.
631. NEW BEACON INDUSTRIES, INC. B6L-7820 MANUAL EDGE OF DOCK LEVELER OR APPROVED EQUAL.
632. EXISTING STOREFRONT TO BE INFILLED WITH 1" INSULATED GLAZING IN CLEAR ANODIZED ALUMINUM WHERE SHOWN.
633. EXISTING EYEHOOKS IN ELEVATION TO BE REMOVED. G.C. TO PATCH, REPAIR AND PAINT AFTER REMOVAL AS NOTED.

GENERAL NOTES

1. REFER TO GENERAL NOTES ON SHEET A0.2 FOR ADDITIONAL INFORMATION.
2. SIGNAGE PERMIT DRAWINGS TO BE SUBMITTED SEPARATELY.
3. HFT GENERAL CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING WORK.
4. SIGNAGE SHOWN FOR REFERENCE ONLY - ACTUAL SIGNAGE SIZE AND TYPE TO BE DETERMINED BY HFT AND LANDLORD.
5. ALL SIGNAGE TO COMPLY WITH LANDLORD TENANT CRITERIA AND STATE / LOCAL CODES.
6. COORDINATE WITH SIGNAGE VENDOR FOR ANY SPECIFIC CRITERIA TO BE USED.
7. ALL SIGNAGE TO BE UL RATED.
8. EXISTING STOREFRONT CONSTRUCTION AND FINISHES TO REMAIN U.N.O.
9. WHERE A SURFACE IS NOTED TO BE PAINTED, PAINTING SHALL INCLUDE SURFACE PREPARATION FOR PAINT ACCORDING TO PAINT MANUFACTURER RECOMMENDATIONS.
10. EXISTING UNPAINTED SURFACES TO REMAIN UNPAINTED, PAINTED SURFACES TO BE RE-PAINTED U.N.O.



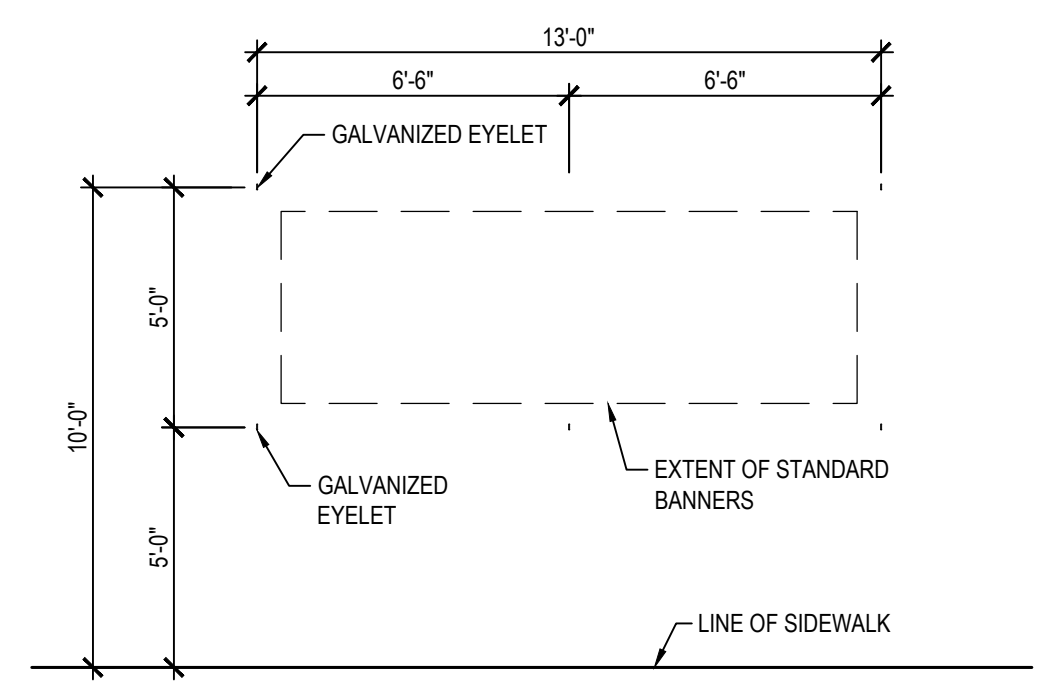
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ARCHITECTS SERVICES, INC. P.C.

Lakewood, Ohio 44107  
17710 Detroit Avenue  
Phone (216) 521-1534  
Fax (216) 521-4824  
www.adaarchitects.com

**HARBOR FREIGHT**  
1399 NY-300  
NEWBURGH, NY 12550

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- NOTES
1. HARBOR FREIGHT USES ONE STANDARD SIZE BANNER (4' X 12')
  2. EYELETS FOR THIS BANNER TO BE GALVANIZED
  3. ALL ITEMS SUPPLIED BY HFT, UNDER SKU #91487, EXCEPT (3) 5/16" X 4 1/4" SCREW HOOKS AND (2) 5/16" X 4 1/4" EYELETS
  4. G.C. TO ENSURE EYELETS ARE INSTALLED TO SUITABLE BLOCKING MATERIAL AND CAPABLE OF WITHSTANDING WIND FORCES.
  5. G.C. TO VERIFY WITH HFT P.M. IF EYELETS ARE ALLOWED PRIOR TO INSTALLATION.



A EYELET AND SCREW HOOK SPACING DETAIL  
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

DATE 12/08/23  
JOB NO. 23322

**A3.0**  
SHEET NO.

**600 SERIES ELEVATION KEY NOTES**

- 600. LOCATION OF LEASE LINE.
- 601. DORMA BI-PARTING DOOR SYSTEM. SEE SHEETS A5.0 AND A5.1 FOR ADDITIONAL INFORMATION.
- 602. SIGNAGE BANNER. PROVIDE 3/8" GALVANIZED EYELETS SPACED AS SHOWN ON DETAIL A3A.0.
- 603. APPROXIMATE LOCATION OF HFT EXTERIOR BUILDING SIGN. BUILDING SIGNAGE PROVIDED AND INSTALLED BY HFT SIGN VENDOR. HFT GENERAL CONTRACTOR TO COORDINATE ACTUAL SIGNAGE LOCATION WITH FINAL APPROVED BRANDBOOK. LOCATION AND SIZE SHOWN ARE APPROXIMATE. ALL SIGNAGE IS BY SEPARATE PERMIT. G.C. TO PROVIDE AND INSTALL SIGNAGE BLOCKING AND POWER AS COORDINATED WITH SIGNAGE VENDOR. G.C. IS RESPONSIBLE FOR PATCH AND REPAIR OF WALL / ROOF WHERE AFFECTED BY SIGNAGE INSTALL. G.C. TO CONTRACT WITH LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOFING WORK TO MAINTAIN ALL ROOFING WARRANTIES.
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- 613. DASHED LINE INDICATES APPROXIMATE LOCATION OF CART CORRAL. SEE SHEET A51.0 FOR ADDITIONAL INFORMATION.
- 614. WALL MOUNTED LIGHT FIXTURE. SEE SHEET A2.0 AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 615. G.C. TO PATCH AND REPAIR ELEVATION TO MATCH EXISTING AND POWER WASH. U.N.O. TYPICAL FOR EXTENTS OF HFT SPACE AS SHOWN.
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- 631. NEW BEACON INDUSTRIES, INC. BBL-7820 MANUAL EDGE OF DOCK LEVELER OR APPROVED EQUAL.
- 632. EXISTING STOREFRONT TO BE IN-FILLED WITH 1" INSULATED GLAZING IN CLEAR ANODIZED ALUMINUM WHERE SHOWN.
- 633. EXISTING EYEHOOKS IN ELEVATION TO BE REMOVED. G.C. TO PATCH, REPAIR AND PAINT AFTER REMOVAL AS NOTED.

**GENERAL NOTES**

- 1. REFER TO GENERAL NOTES ON SHEET A0.2 FOR ADDITIONAL INFORMATION.
- 2. SIGNAGE PERMIT DRAWINGS TO BE SUBMITTED SEPARATELY.
- 3. HFT GENERAL CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING WORK.
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- 9. WHERE A SURFACE IS NOTED TO BE PAINTED, PAINTING SHALL INCLUDE SURFACE PREPARATION FOR PAINT ACCORDING TO PAINT MANUFACTURER RECOMMENDATIONS.
- 10. EXISTING UNPAINTED SURFACES TO REMAIN UNPAINTED, PAINTED SURFACES TO BE RE-PAINTED U.N.O.

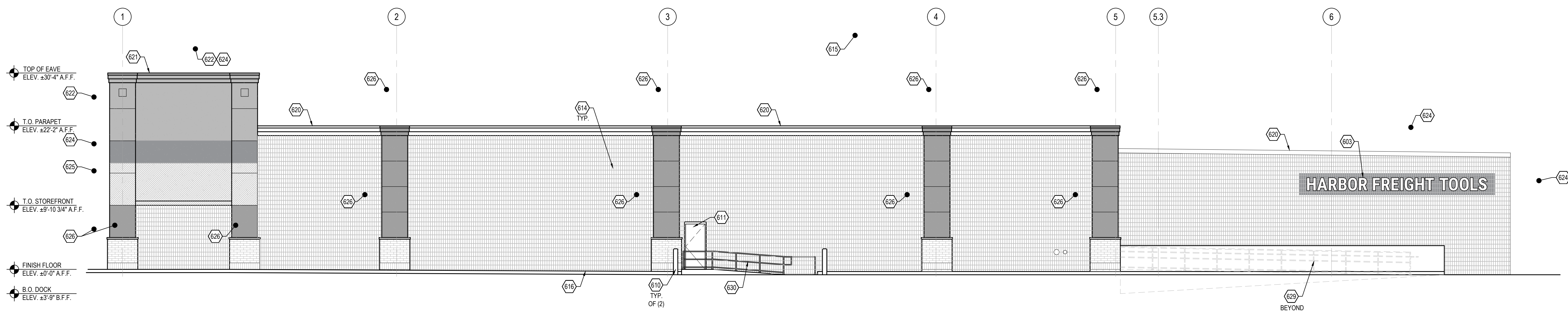


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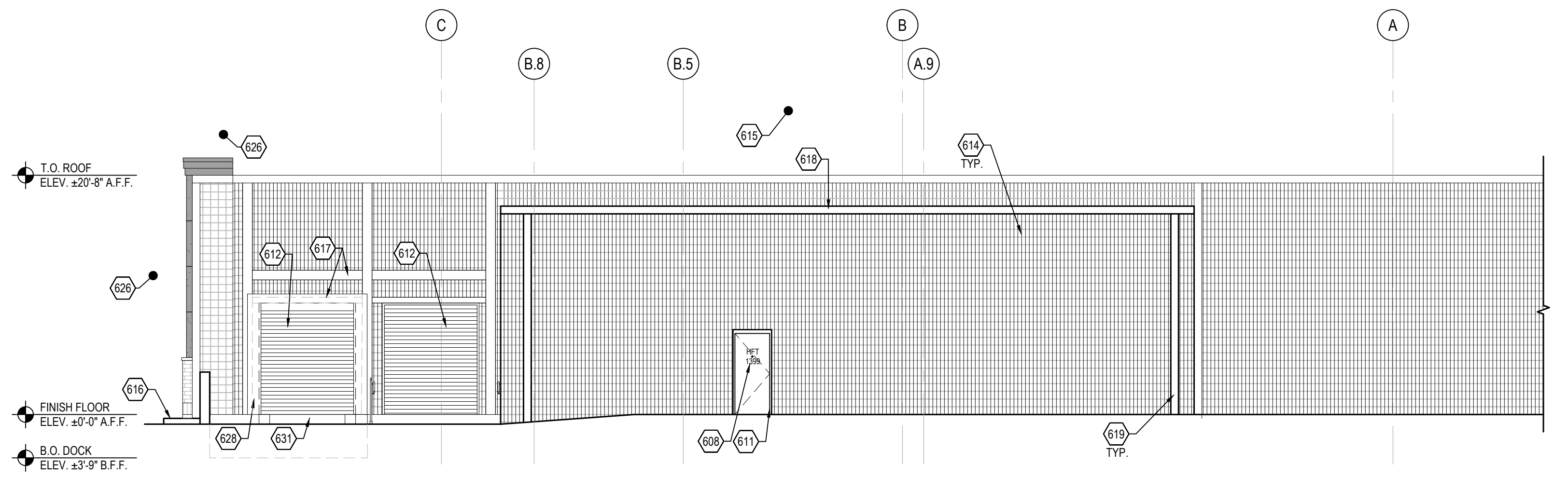
Lakewood, Ohio 44107  
17710 Detroit Avenue  
Phone (216) 521-1534  
Fax (216) 521-14824  
www.adaarchitects.com

**HARBOR FREIGHT**  
1399 NY-300  
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**1 WEST ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"



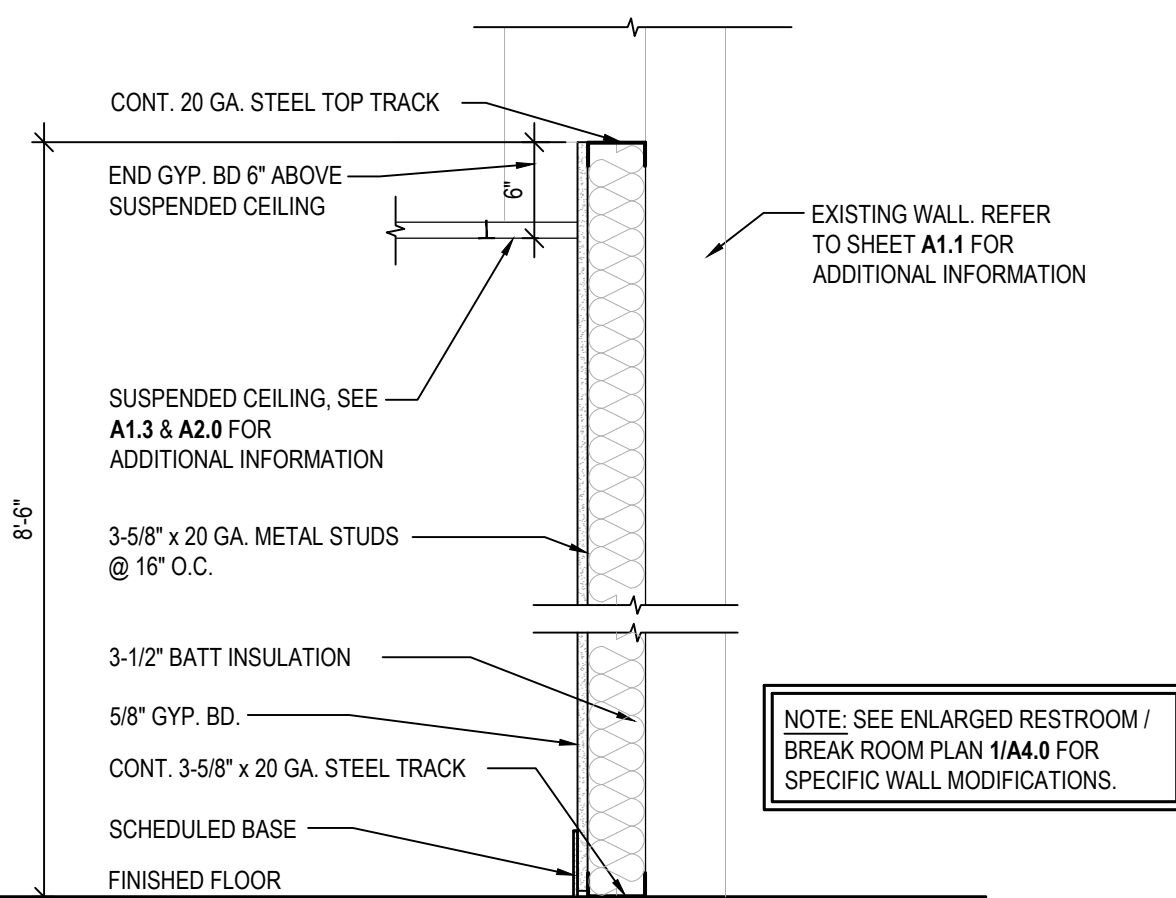
**2 SOUTH ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"

DO NOT SCALE THESE DRAWINGS

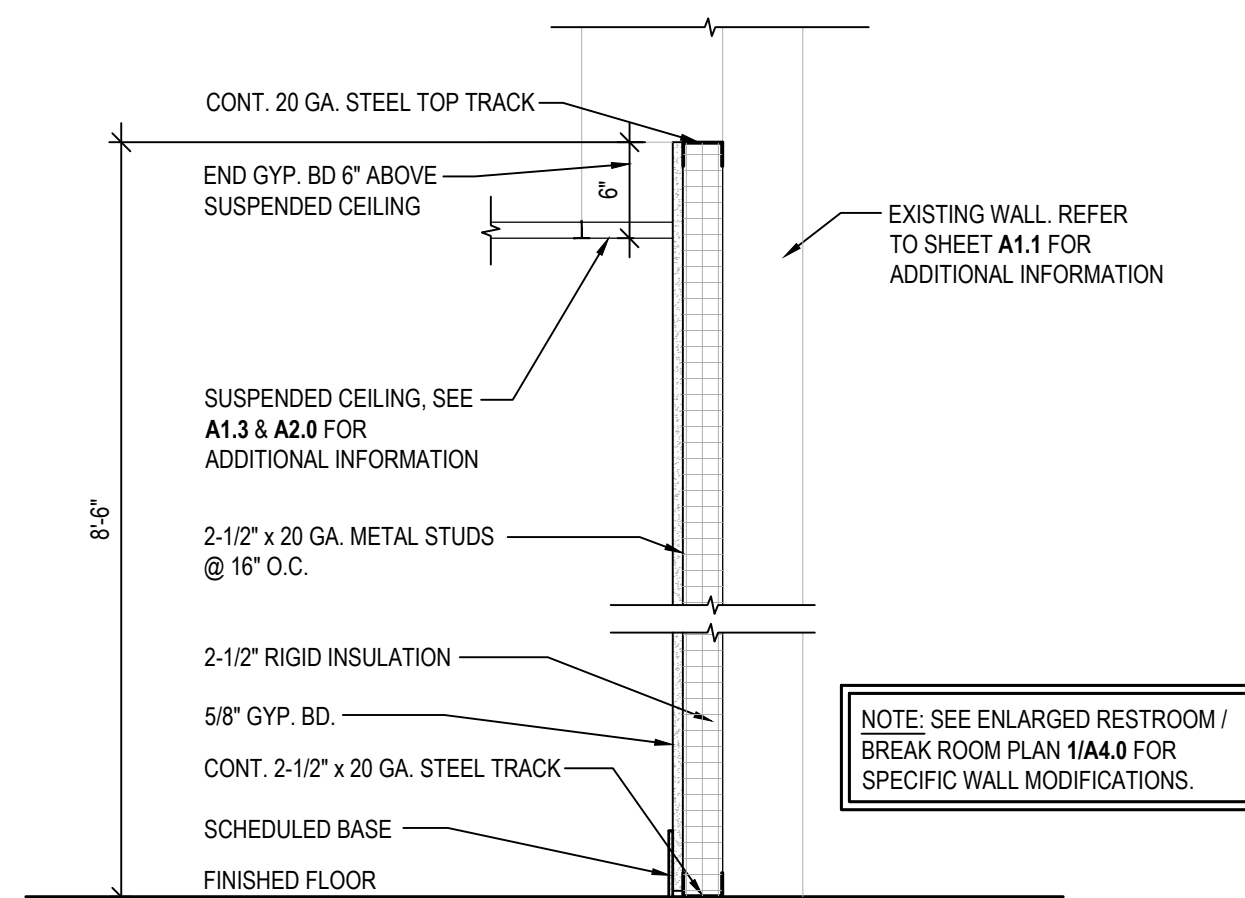
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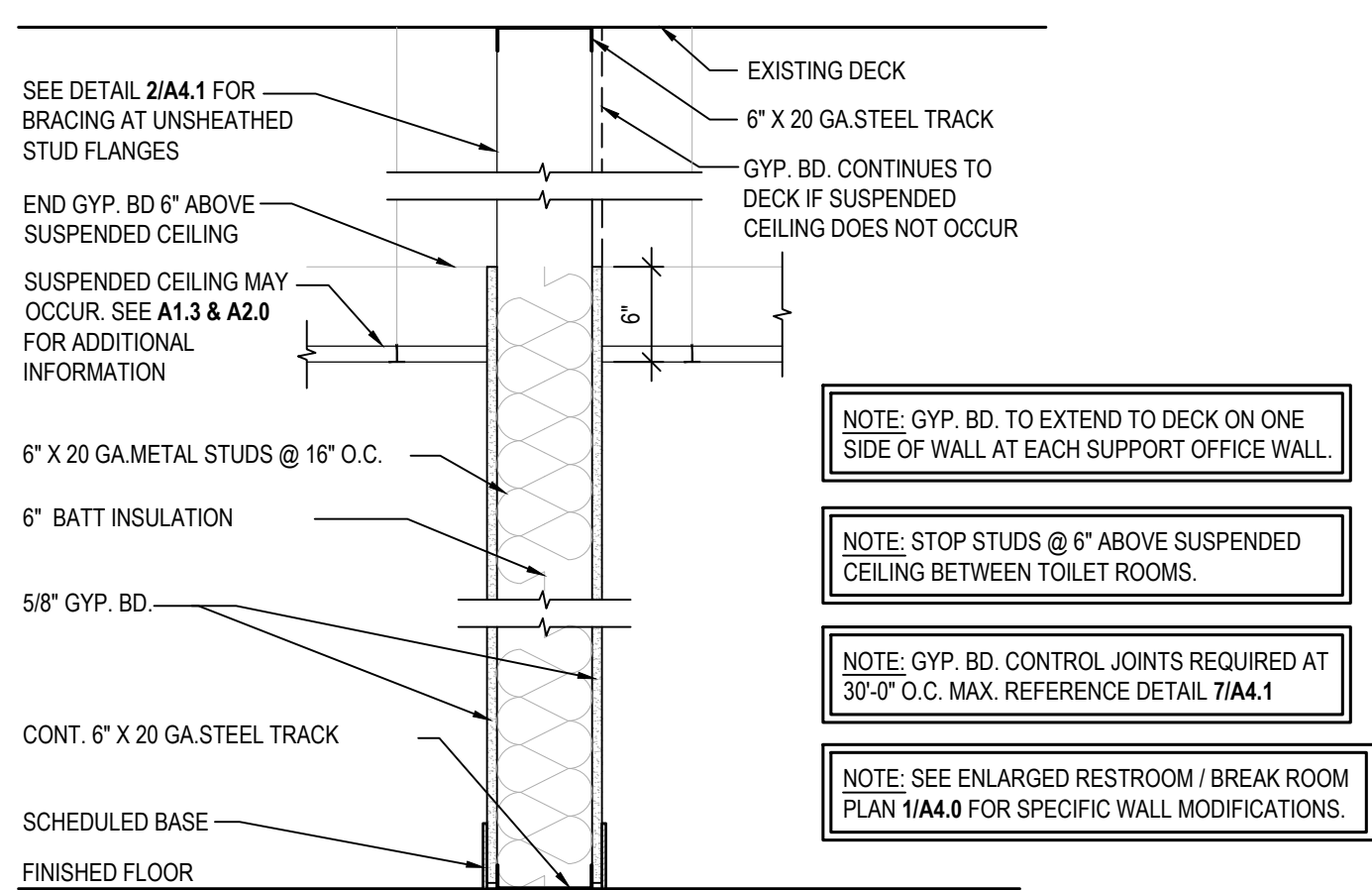
<b>EXTERIOR ELEVATIONS</b>	
DATE	12/08/23
JOB NO.	23322
<b>A3.1</b>	
SHEET NO.	



**C WALL TYPE C**  
SCALE: 1" = 1'-0"



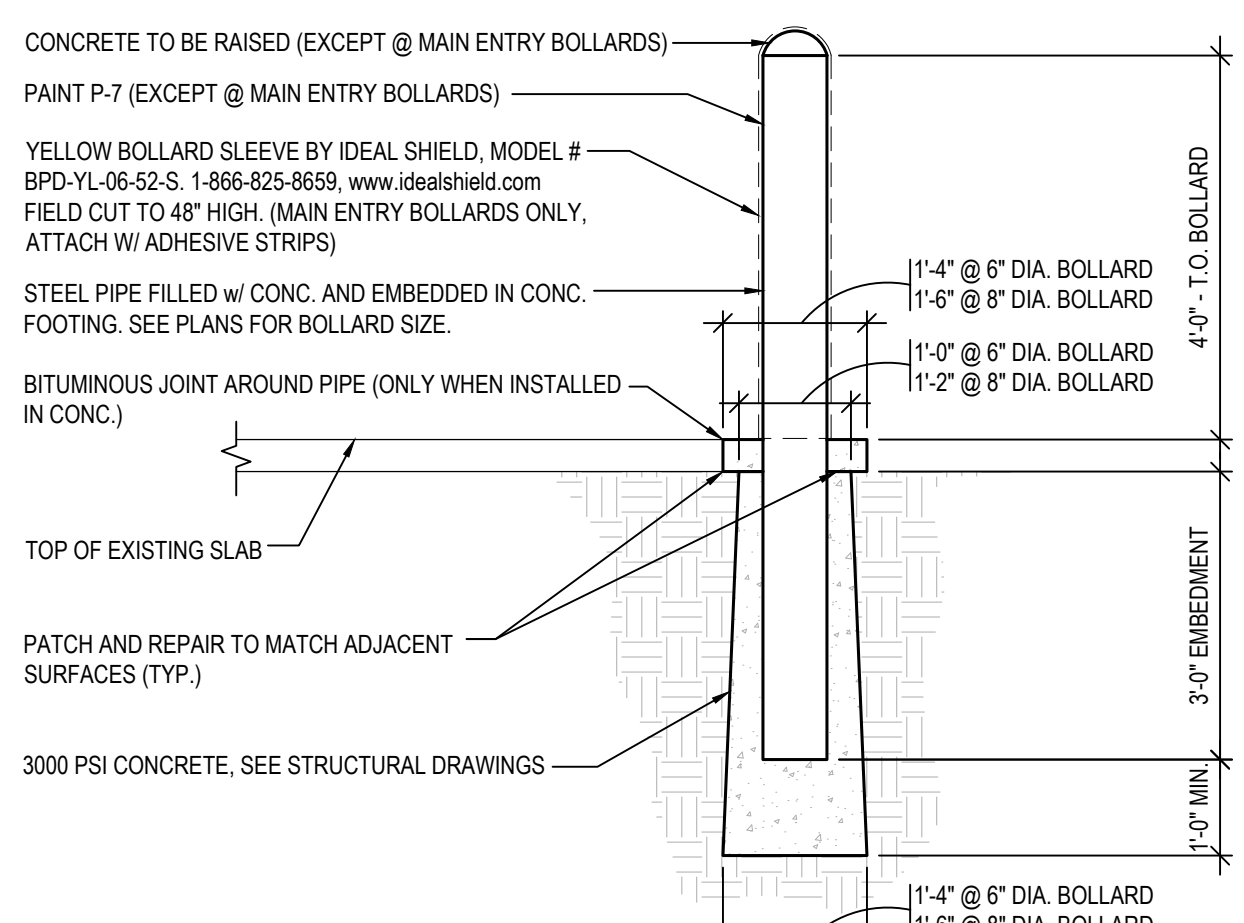
**B WALL TYPE B**  
SCALE: 1" = 1'-0"



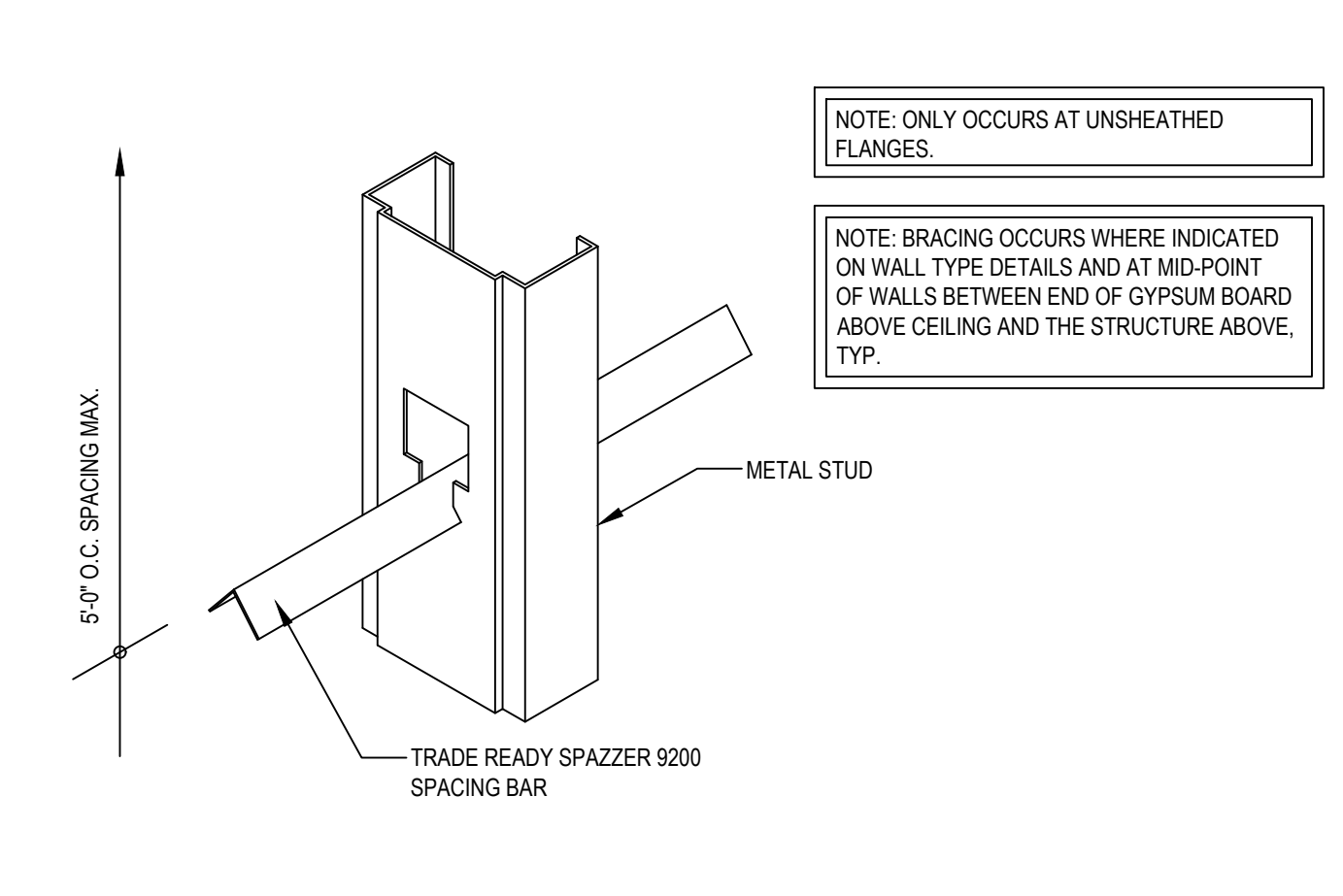
**A WALL TYPE A**  
SCALE: 1" = 1'-0"

**WALL TYPE NOTES**

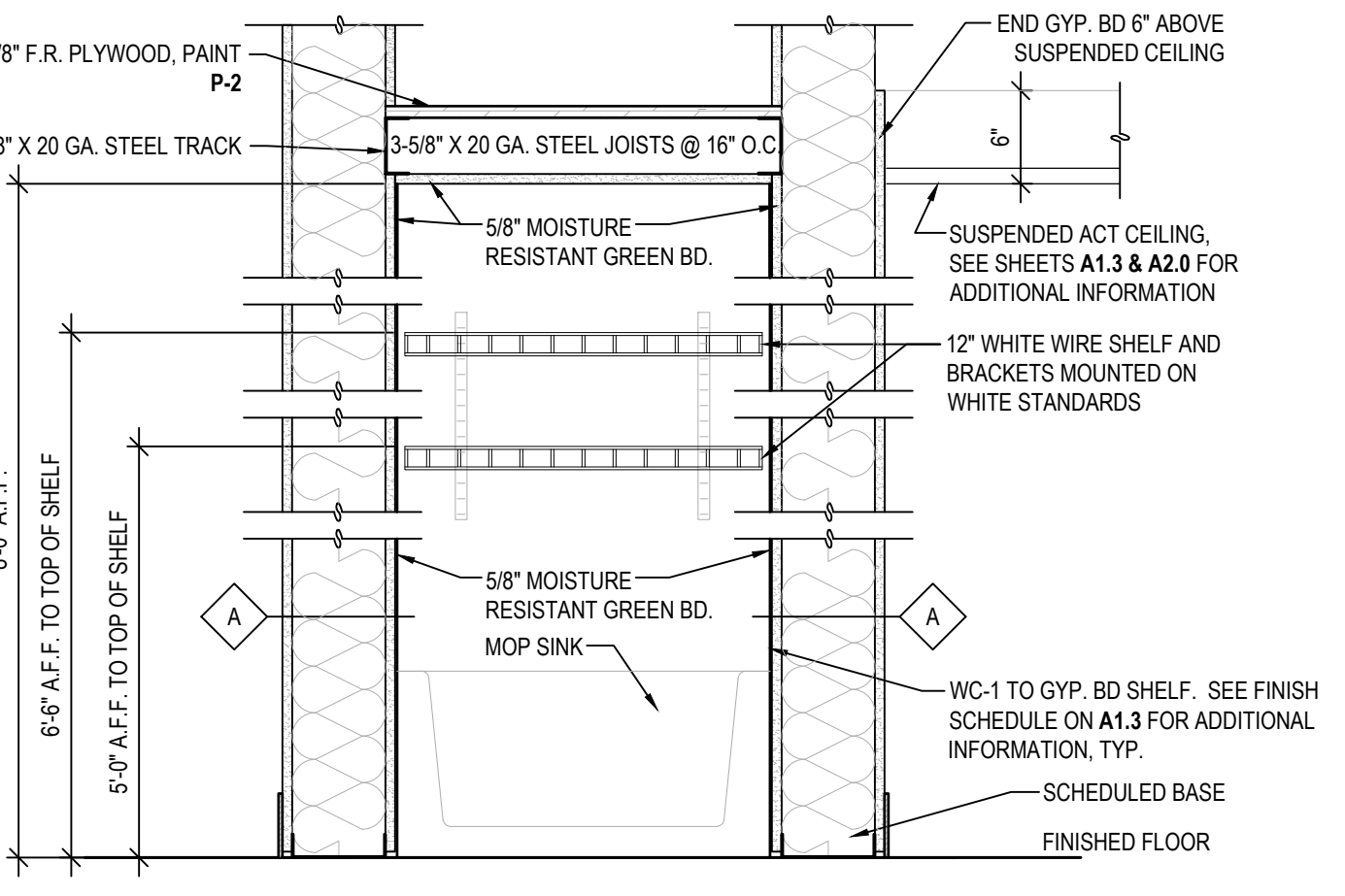
- REFER TO GENERAL NOTES ON SHEET A0.2 FOR ADDITIONAL INFORMATION.
- HFT GENERAL CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING WORK.
- THE MATERIALS AND DETAILS SHOWN ARE FOR TYPICAL INSTALLATIONS WHERE THE STUD MANUFACTURER'S RECOMMENDATIONS OR LOCAL ORDINANCES ARE MORE RESTRICTIVE, THEY SHALL APPLY.
- TYPICAL FASTENERS:
  - METAL STUDS TO METAL STUDS OR TRACKS: #18 X 1 1/2" SMS / 2 WITH PHIL PAN HEAD FOR 25 GA. OR 20 GA. #10 - 16 X 9/16" SMS/3 WITH PHIL PAN HEAD FOR INTERCONNECTION OF 18 GA. OR 16 GA.
  - METAL STUDS OR TRACKS TO WOOD PURLINS, GIRDERS & BEAMS: #14-10 X 1 1/2" H.W.H. TYPE "S" METAL - TO WOOD SMS.
  - METAL STUDS OR TRACKS TO STRUCTURAL STEEL (TUBE STEEL, WIDE FLANGE COLUMNS, BEAMS, GIRDERS, ETC.): SMS/3 OR SMS/4 - GAUGE AND LENGTH AS REQUIRED FOR THE COMBINED THICKNESS OF THE FRAMING TO BE DRILLED.
  - PLYWOOD TO METAL STUDS: #10 - 24 X 3/4" SMS/3 (PLYMETAL SMS) WITH THIN WAFFER HEAD.
  - GYP. BOARD TO METAL STUDS: #7 X 1 1/4" HI-LO TYPE "S" BUGLE HEAD SCREWS FOR 3/8" TO 5/8" GYP. BOARD TO 25 GAUGE OR 20 GAUGE STUDS. #6 X 1 1/4" TYPE S-12 BUGLE HEAD SCREWS FOR 3/8" TO 5/8" TO 18 GA. OR 16 GA. METAL STUDS OR TRACKS.
  - GYP. BOARD TO METAL STUDS: 0.157" DIA. SHOT PIN WITH MIN. 3/4" EMBEDMENT @ 16" O.C. SPACING. SEE STRUCTURAL.
- ALL GYPSUM BOARD RETURNS SHALL HAVE METAL CORNER BEADS MINIMUM FLOOR TO CEILING. ALL PENETRATIONS IN DRYWALL CONSTRUCTION ABOVE FINISHED CEILING AND AS NOTED ELSEWHERE SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AND FIRE CAULKED AT U.L. RATED PARTITIONS. ALL DRY-WALL JOINTS ABOVE FINISHED CEILING SHALL BE "FIRE TAPED." ALL MECHANICAL CHASES AND OTHER NOTED CHASES ARE TO EXTEND UP TO THE UNDERSIDE OF THE DECK STRUCTURE ABOVE. ALL PLUMBING CHASES UNLESS OTHERWISE NOTED SHALL EXTEND ABOVE THE HIGHEST ADJOINING CEILING AND BE BRACED TO STRUCTURE. ALL VERTICAL DIMENSIONS SHOWN ARE TO THE TOP OF THE SLAB, UNLESS NOTED OTHERWISE.
- DRYWALL CONTROL JOINTS ARE TO BE INSTALLED AT MINIMUM 30'-0" O.C. AT PARTITIONS AND ELSEWHERE AS NOTED.
- AT PARTITIONS HIGHER THAN 12'-0" PROVIDE HORIZONTAL LATERAL BRACINGS WITH 1 1/2" 16GA. COLD ROLLED CHANNELS AT 8'-0" O.C. VERT. ANCHORED TO STUDS. SEE DETAIL 2 THIS SHEET FOR ADDITIONAL INFORMATION.
- ALL HFT FRAMING SHALL BE METAL STUDS.
- ALL WOOD IS TO BE FIRE RETARDANT TREATED, INCLUDING BUT NOT LIMITED TO STUDS, BLOCKING, SHEATHING, ETC. ALL FIRE RETARDANT TREATED LABELS ARE TO BE INSTALLED SUCH THAT LABELS ARE VISIBLE PRIOR TO INSTALLATION OF FINAL FINISH MATERIALS.
- ALL RATED WALLS TO FOLLOW UL DESIGN # U419
- REFER TO STRUCTURAL DRAWINGS FOR CONCRETE AND REINFORCING SPECIFICATIONS
- REFER TO SHEET S1.0 ON STRUCTURAL DRAWINGS FOR APPROVED ADHESIVE ANCHORING SYSTEMS.



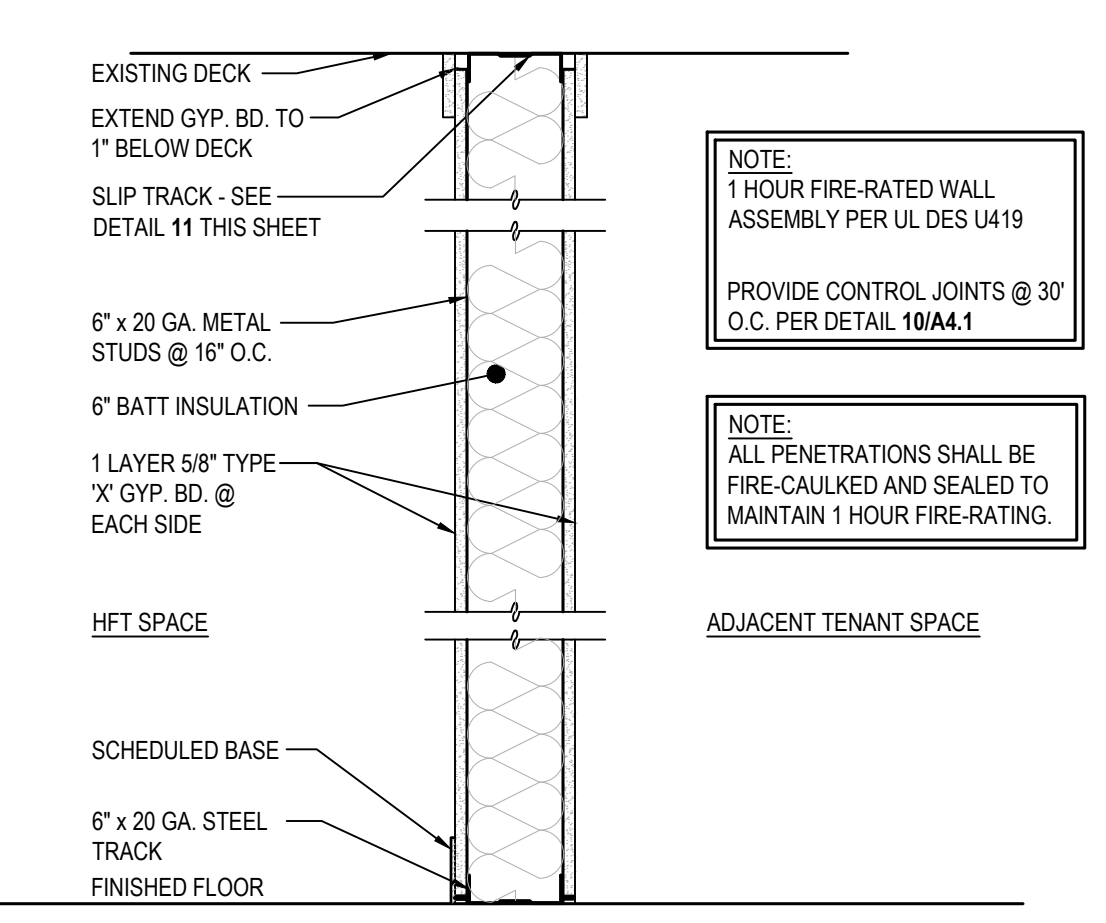
**3 BOLLARD DETAIL**  
SCALE: 1/2" = 1'-0"



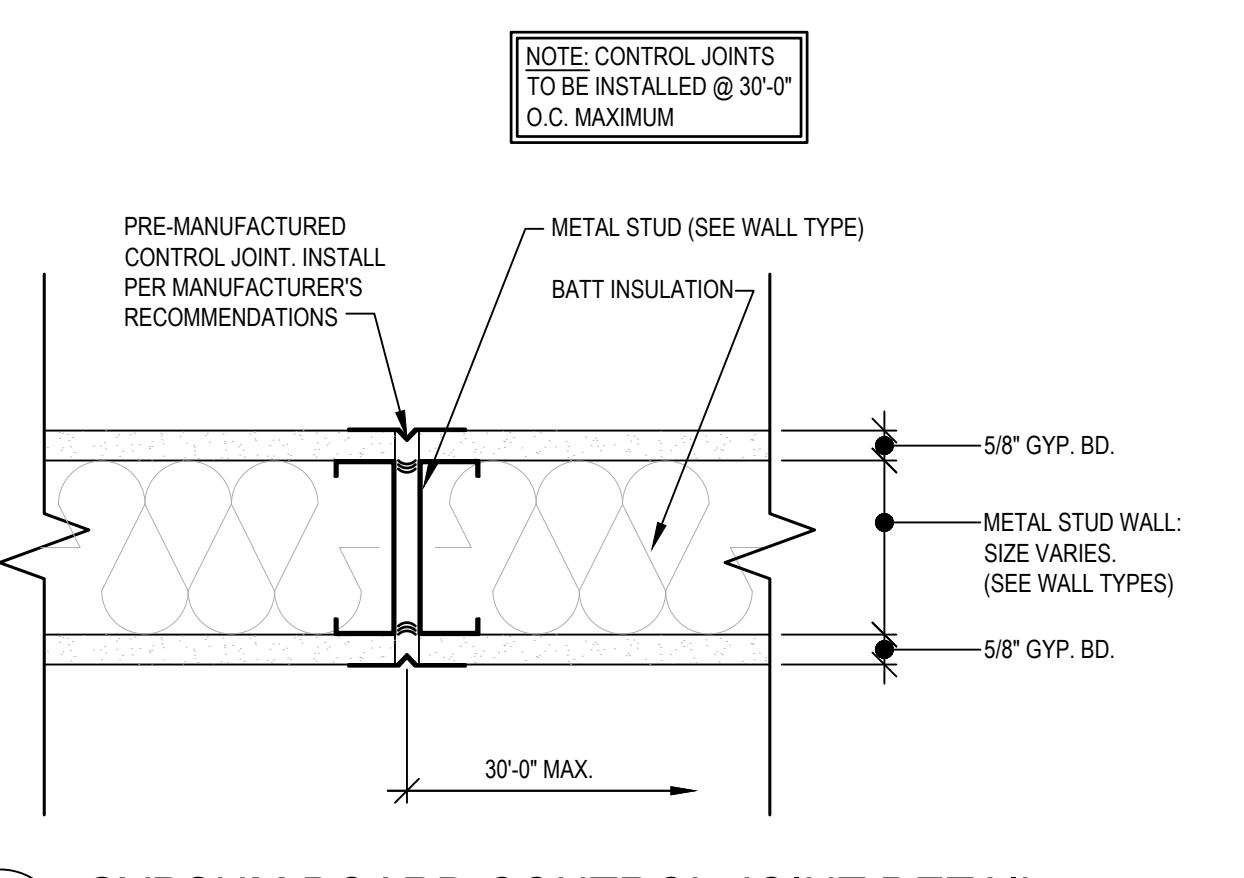
**2 LATERAL BRACING @ FREE - STANDING WALLS**  
SCALE: N.T.S.



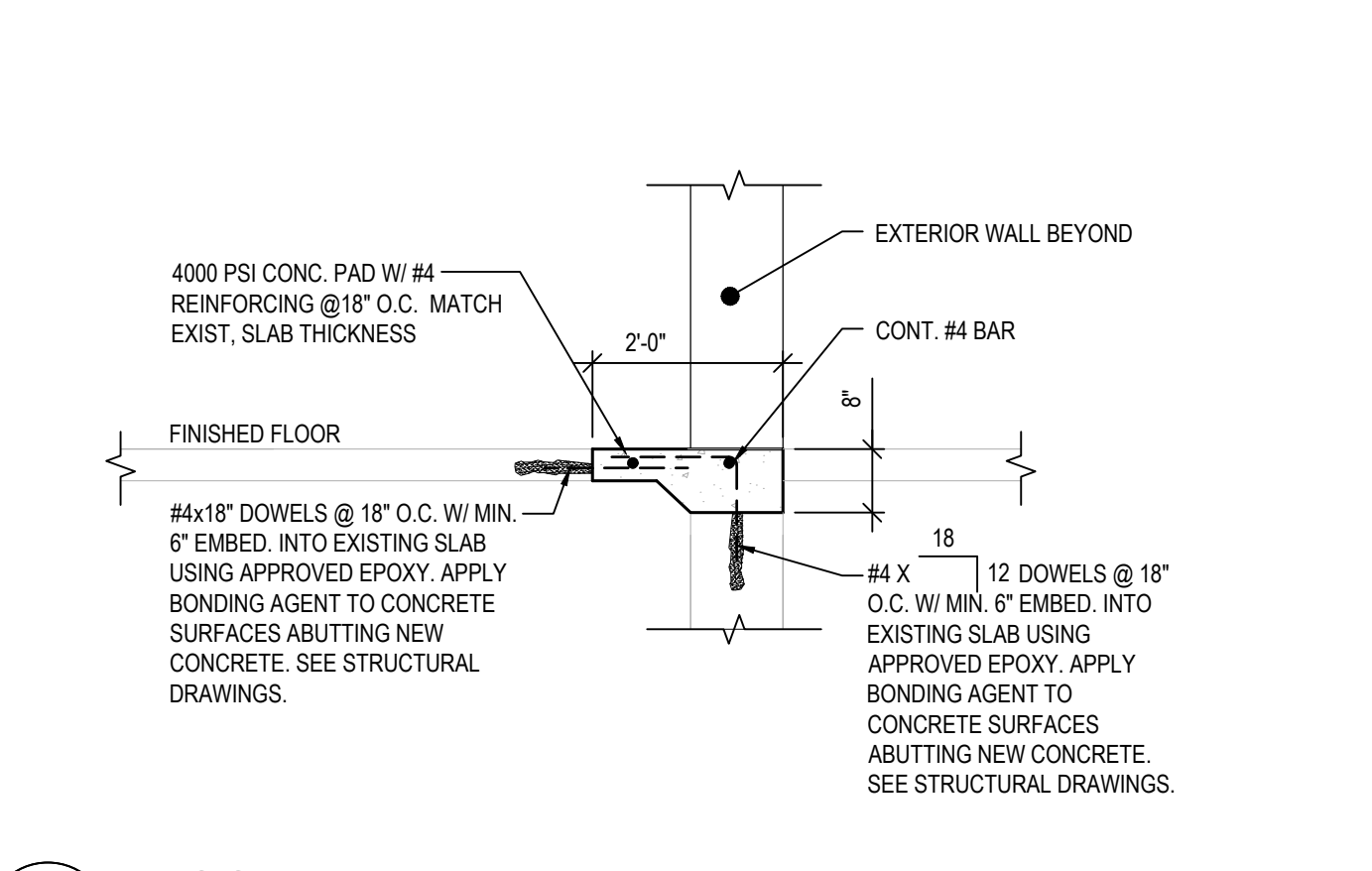
**1 MOP SINK - HWH SHELF DETAIL**  
SCALE: 1" = 1'-0"



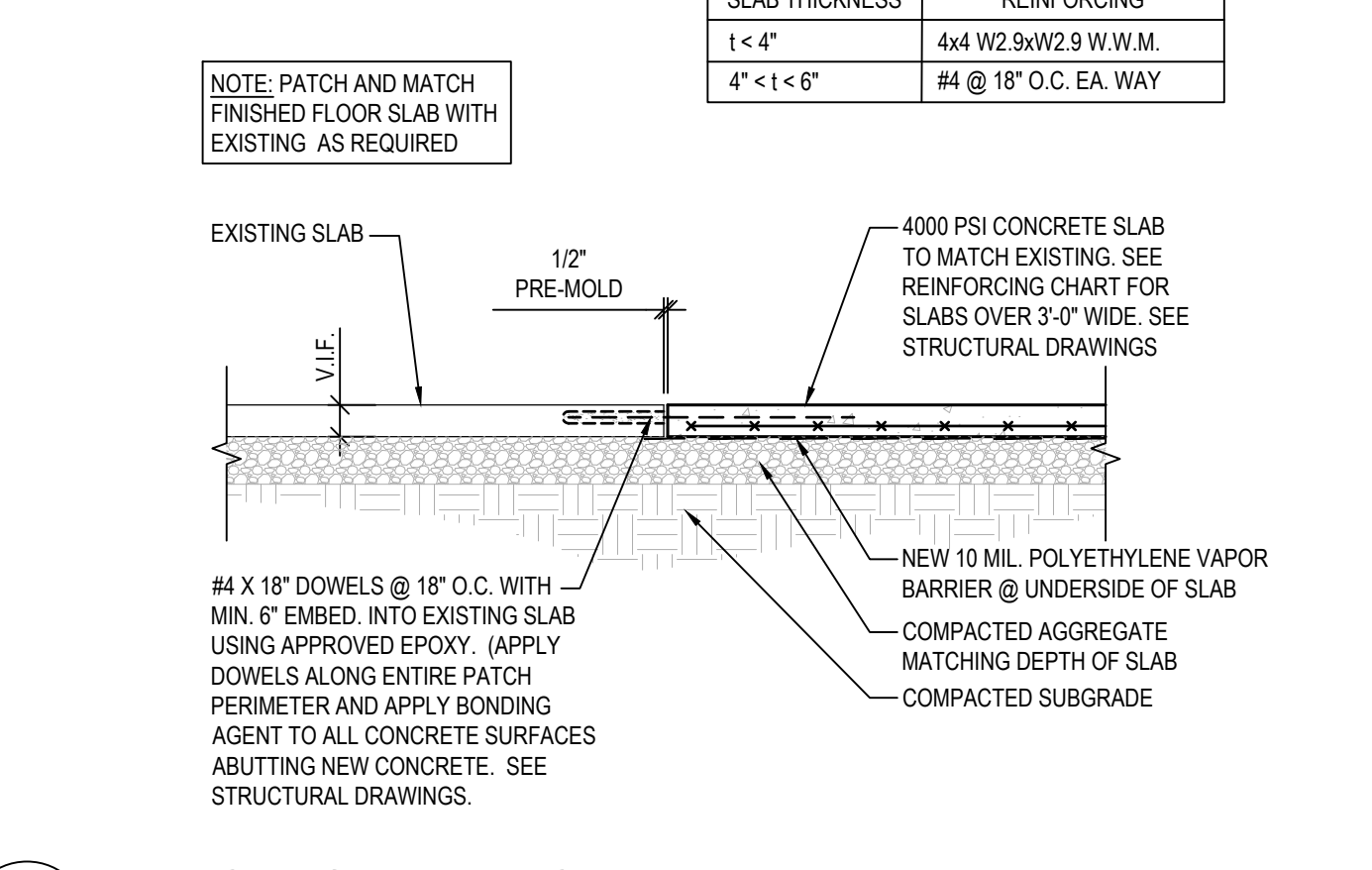
**D WALL TYPE D : 1-HOUR FIRE RATED WALL**  
SCALE: 1" = 1'-0" NOTE: WALL TO BE (1) HOUR RATED FOLLOWING UL DESIGN U419



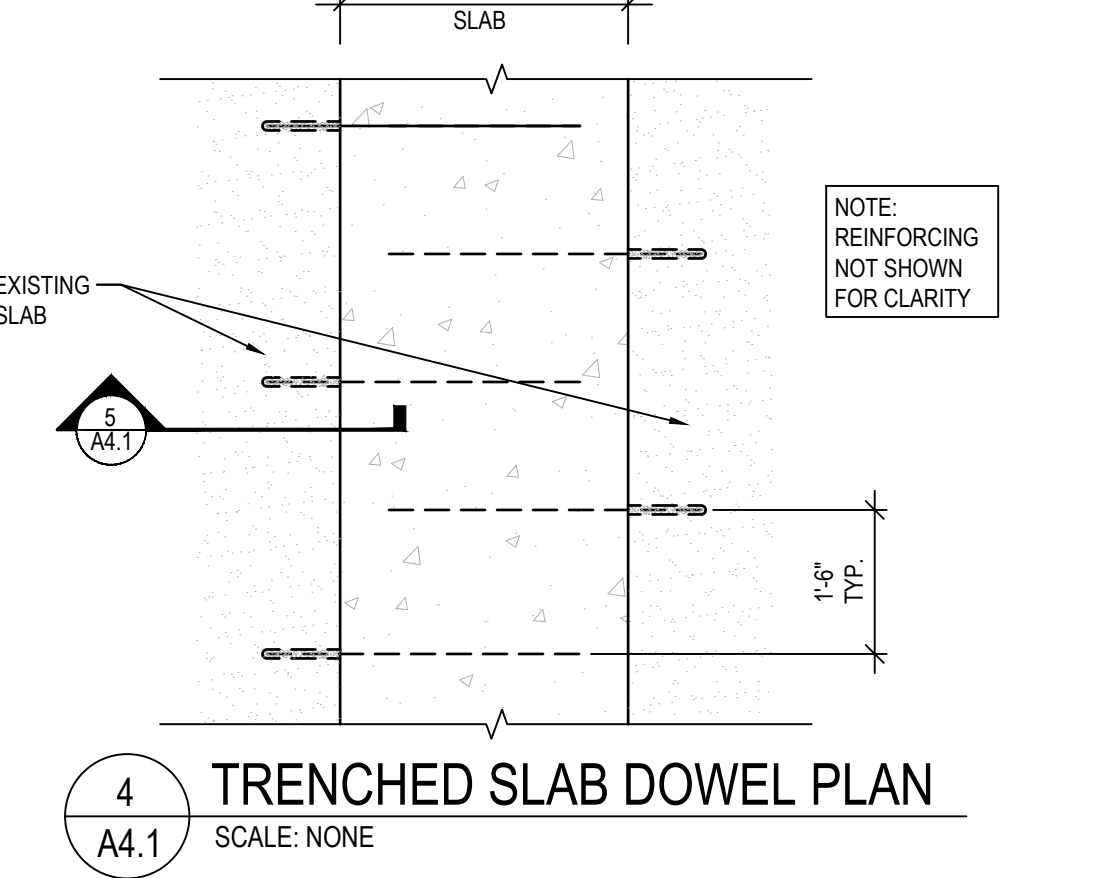
**7 GYPSUM BOARD CONTROL JOINT DETAIL**  
SCALE: 3" = 1'-0"



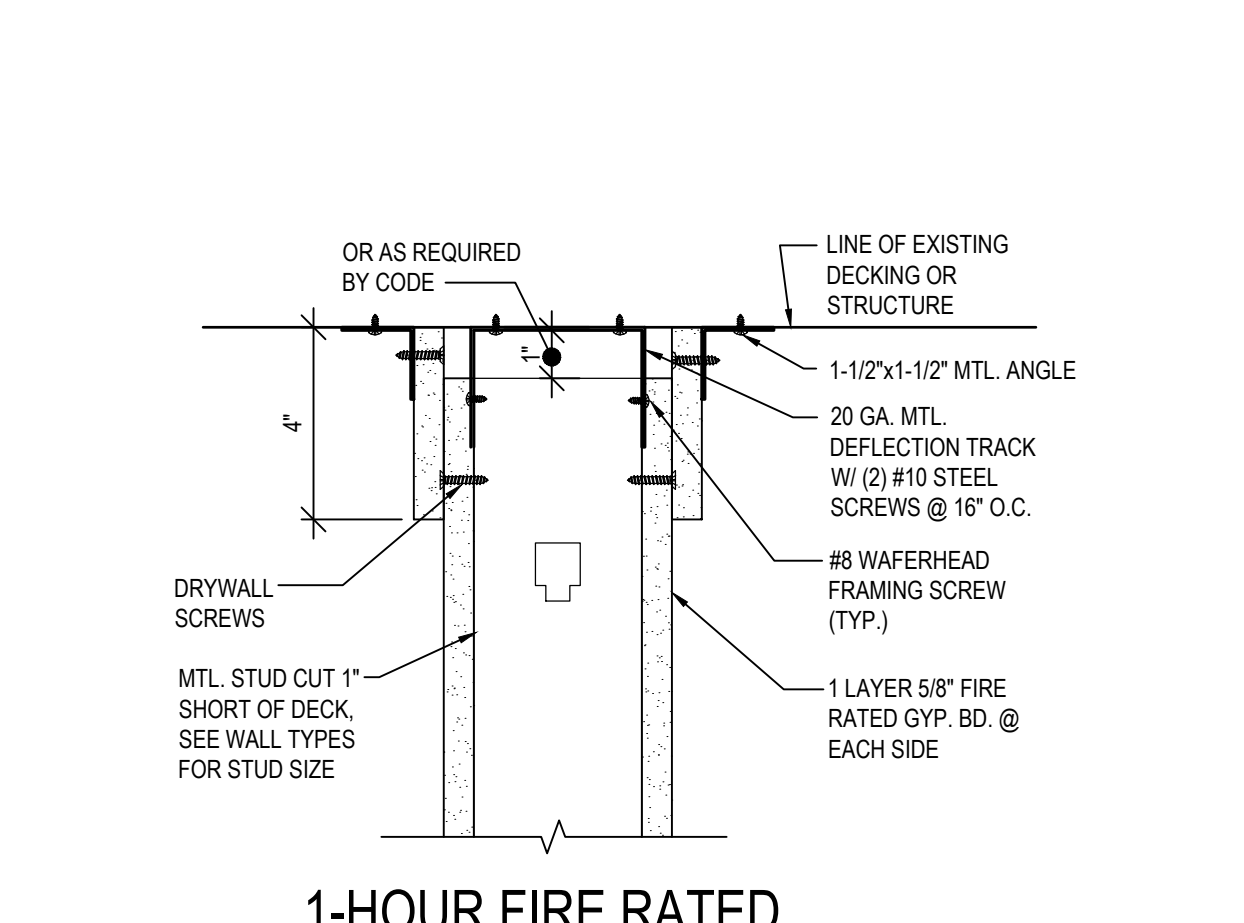
**6 FLOOR REPAIR DETAIL**  
SCALE: 1/2" = 1'-0"



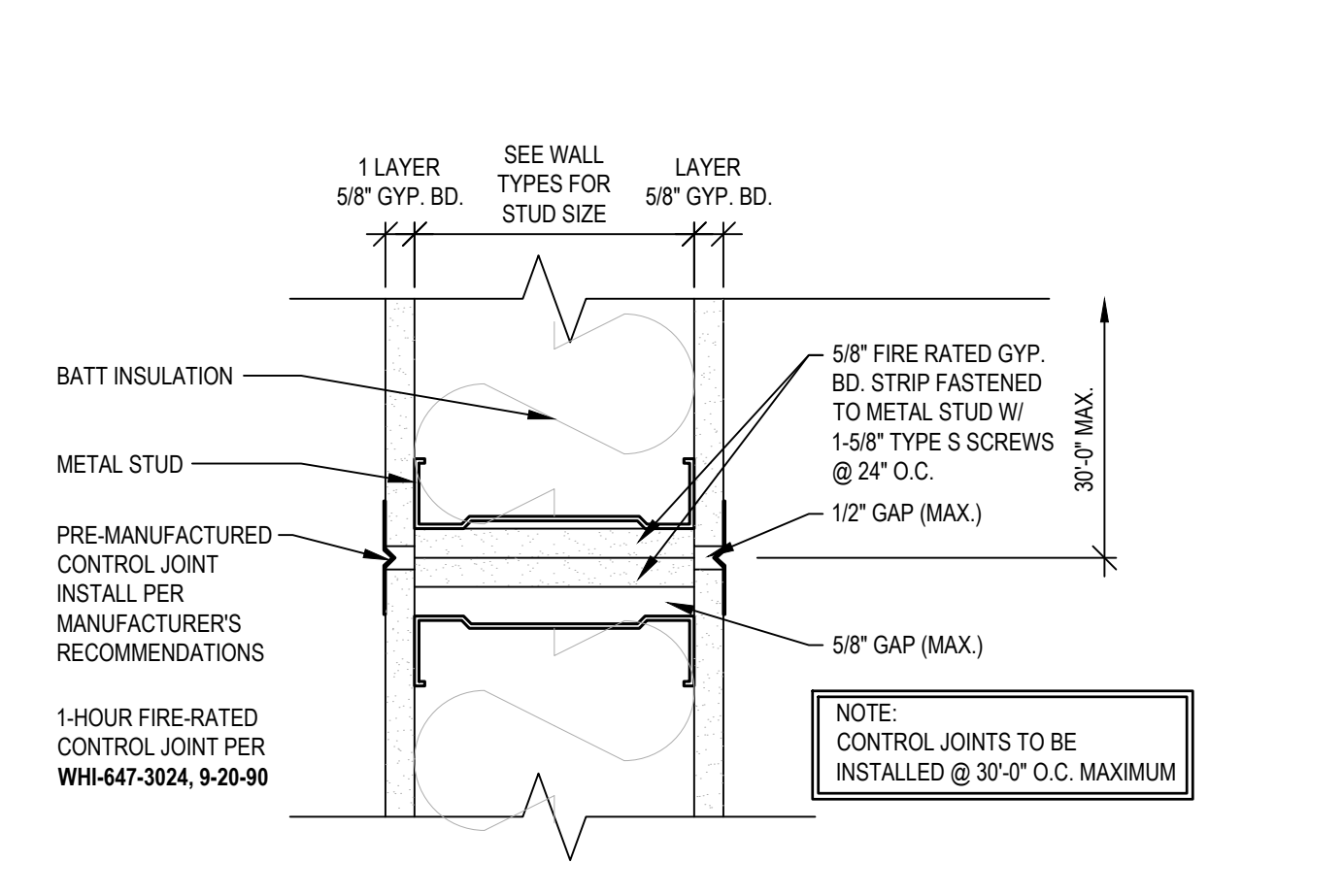
**5 TYPICAL SLAB PATCH DETAIL**  
SCALE: NONE



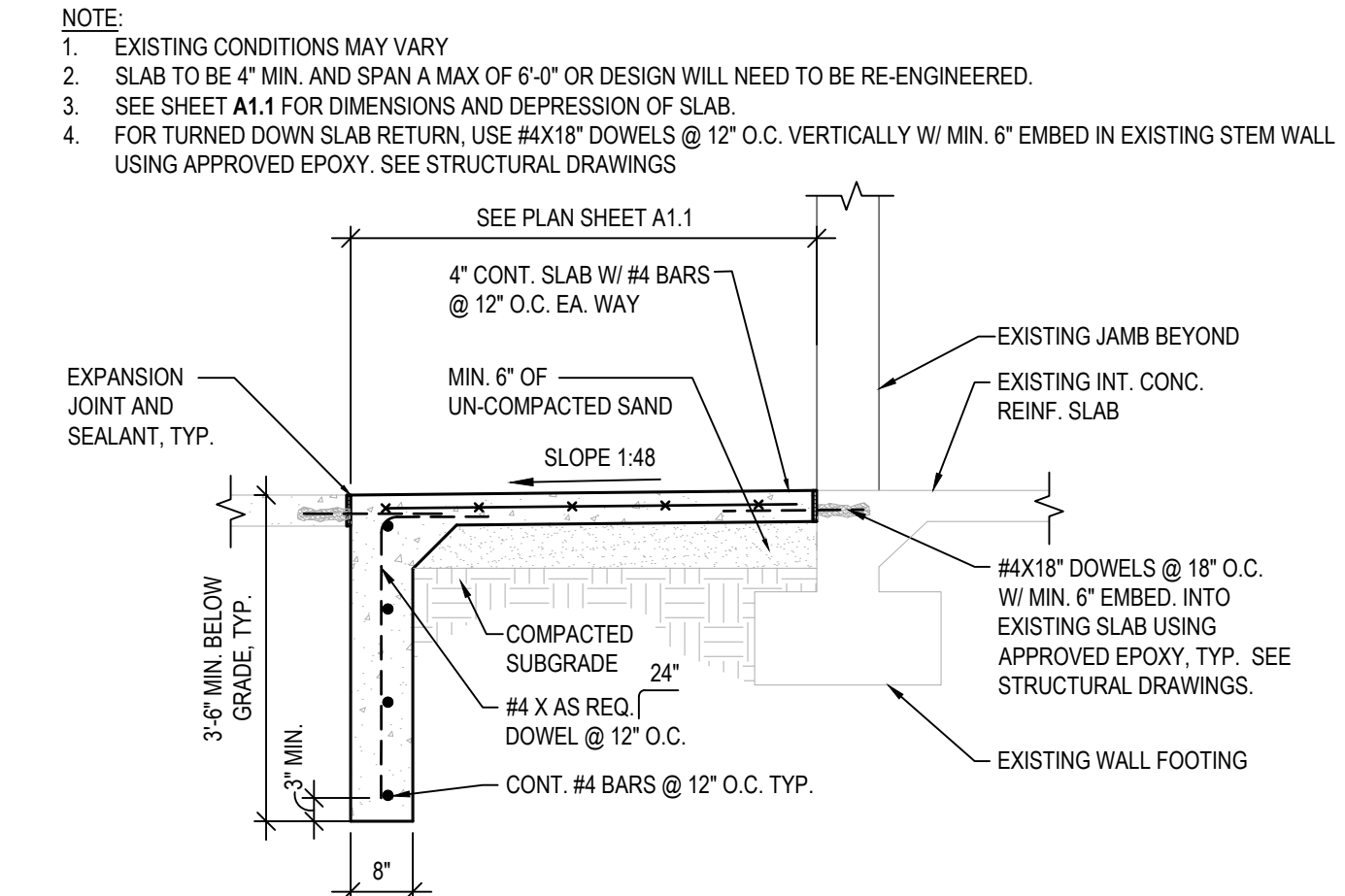
**4 TRENCHED SLAB DOWEL**  
SCALE: NONE



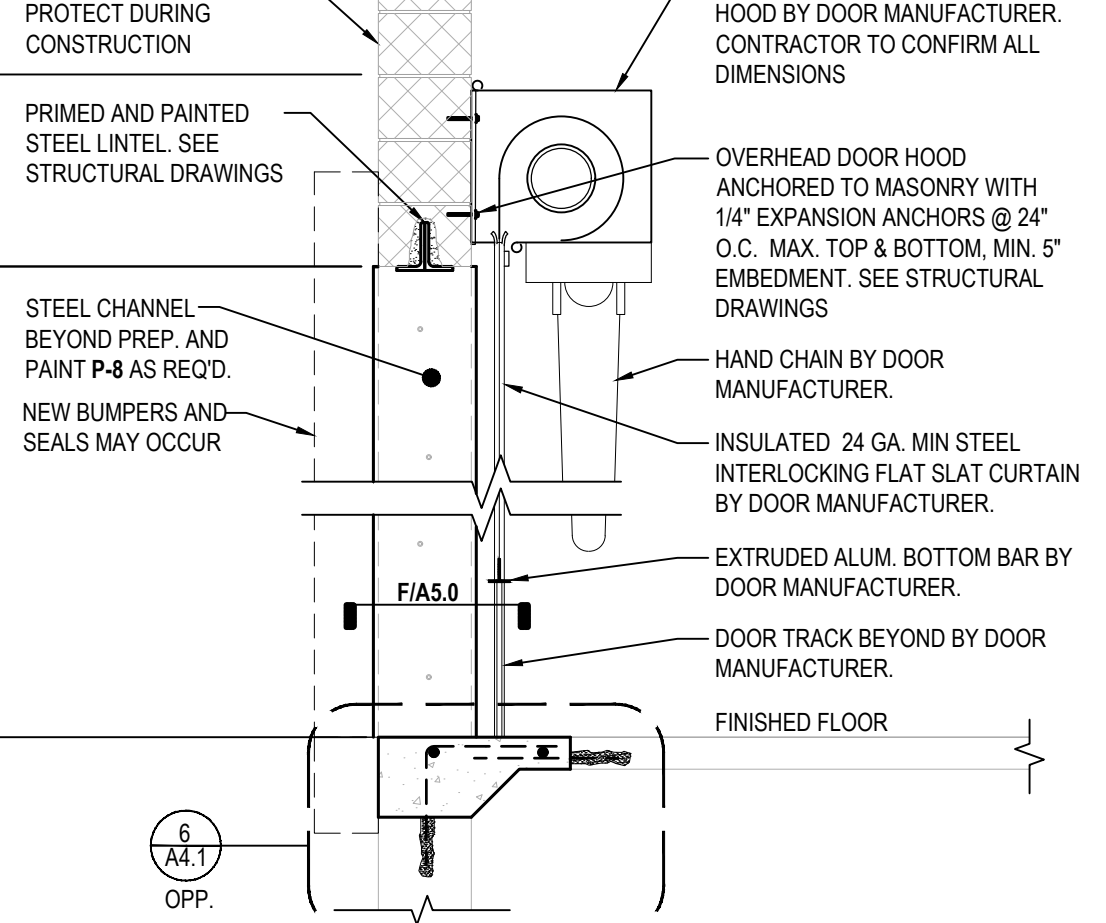
**11 1-HOUR FIRE RATED SLIP TRACK DETAIL**  
SCALE: 3" = 1'-0"



**10 GYPSUM BOARD 1-HOUR CONTROL JOINT DETAIL**  
SCALE: 3" = 1'-0"



**9 CONCRETE FROST SLAB**  
SCALE: 1/2" = 1'-0"



**8 OVERHEAD DOOR DETAIL**  
SCALE: 1/2" = 1'-0"



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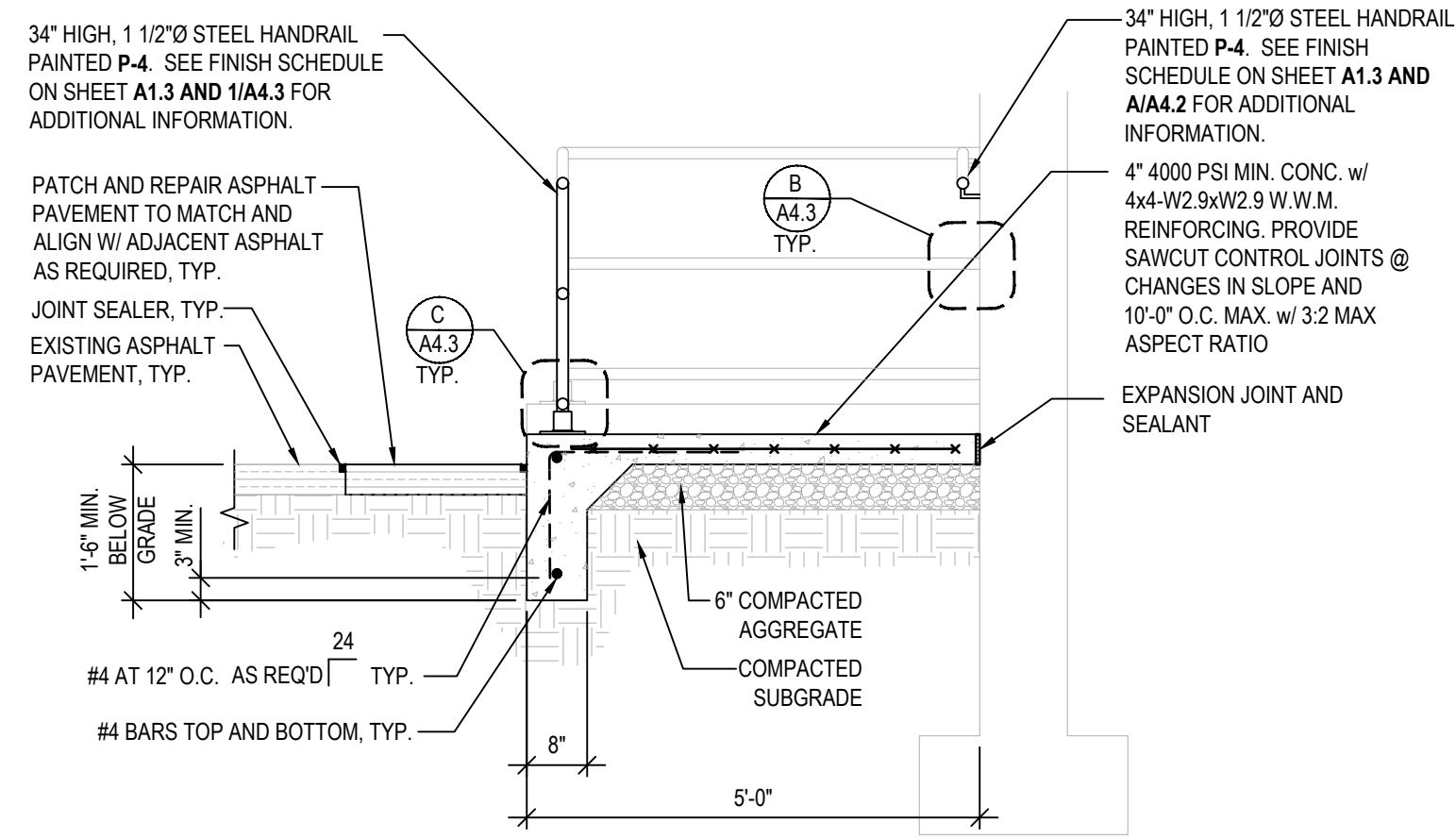
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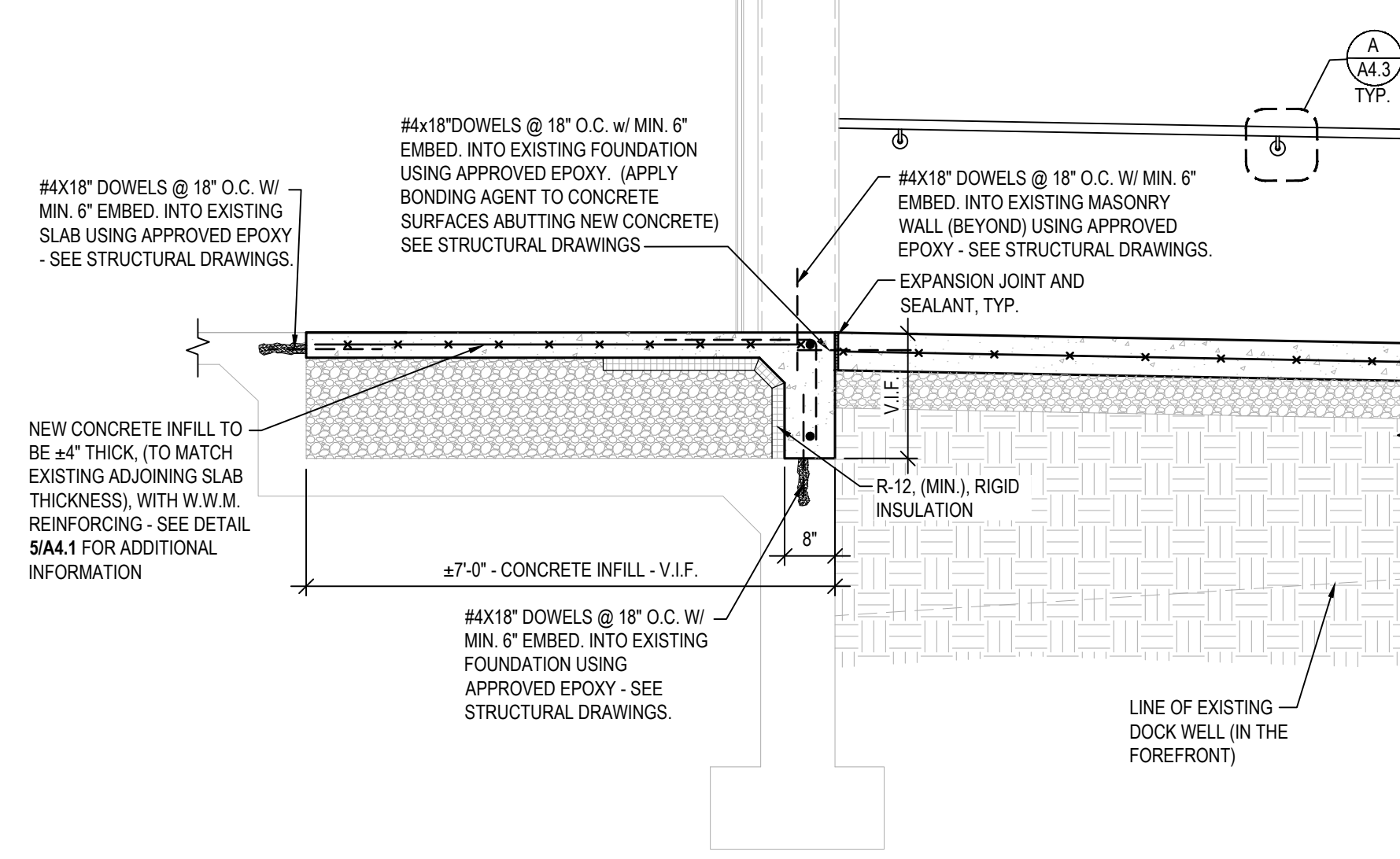
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**WALL TYPES & DETAILS**  
DATE 12/08/23  
JOB NO. 23322  
**A4.1**  
SHEET NO.

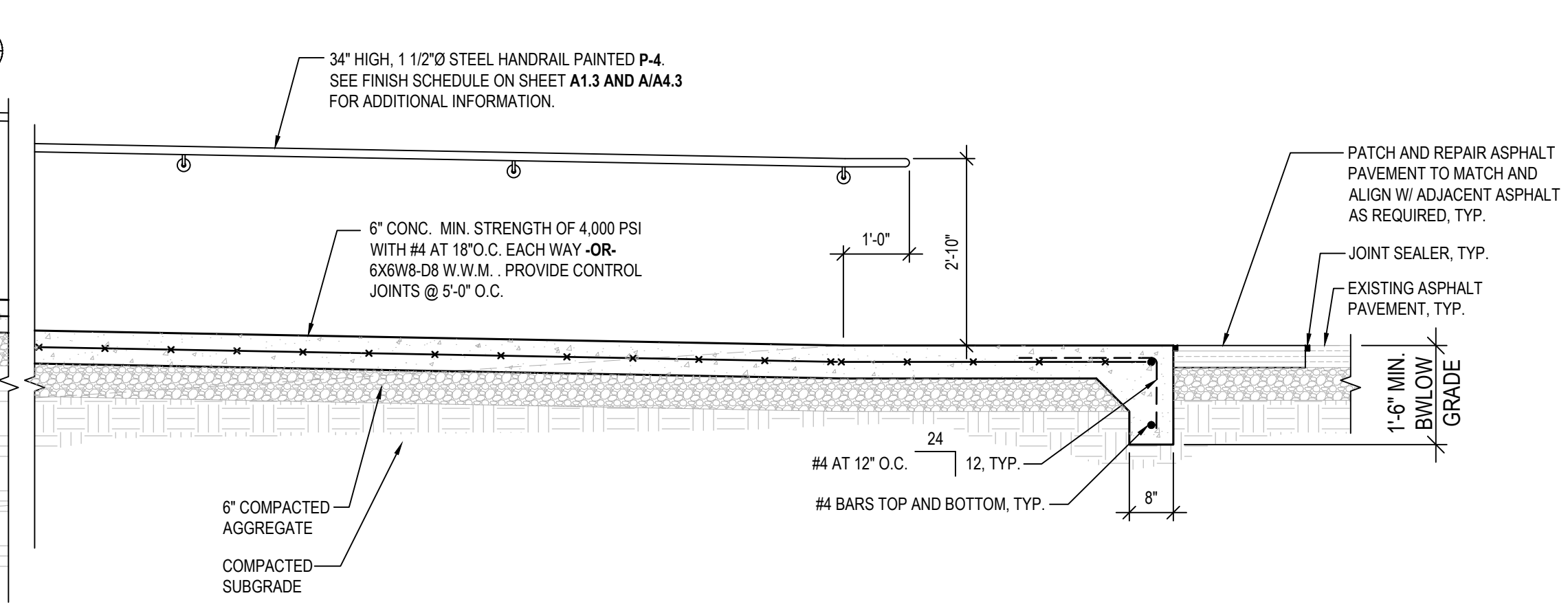
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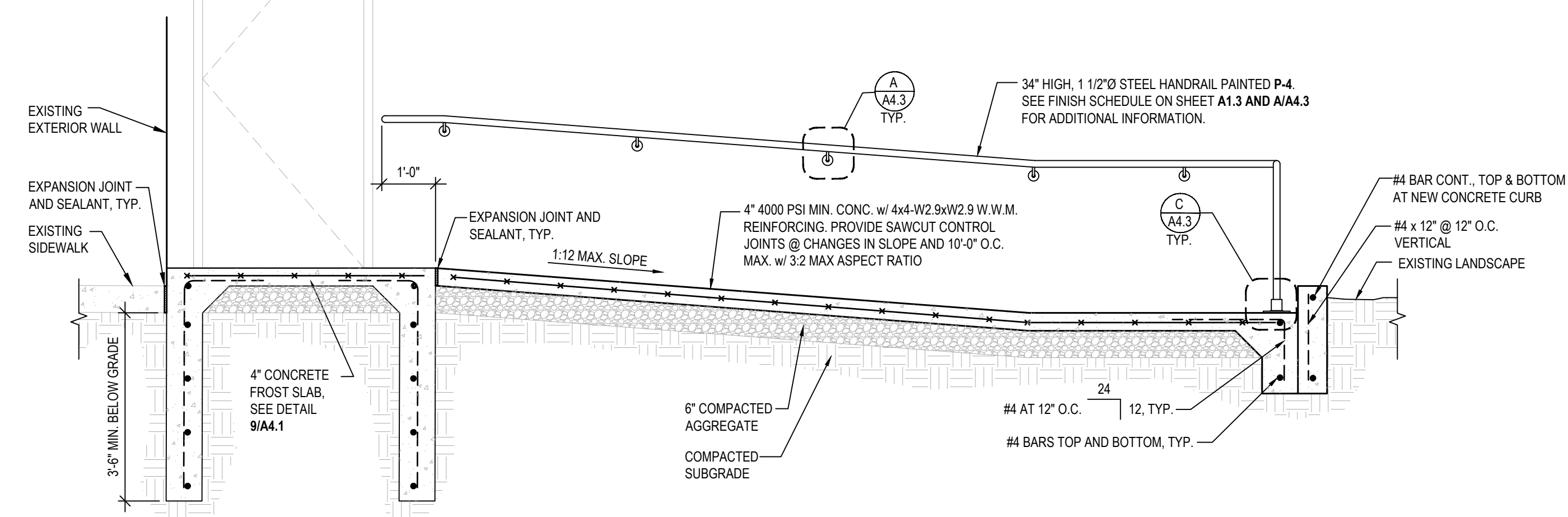
3 CONCRETE PEDESTRIAN ACCESS RAMP SECTION  
A4.2 SCALE: 1/2"=1'-0"



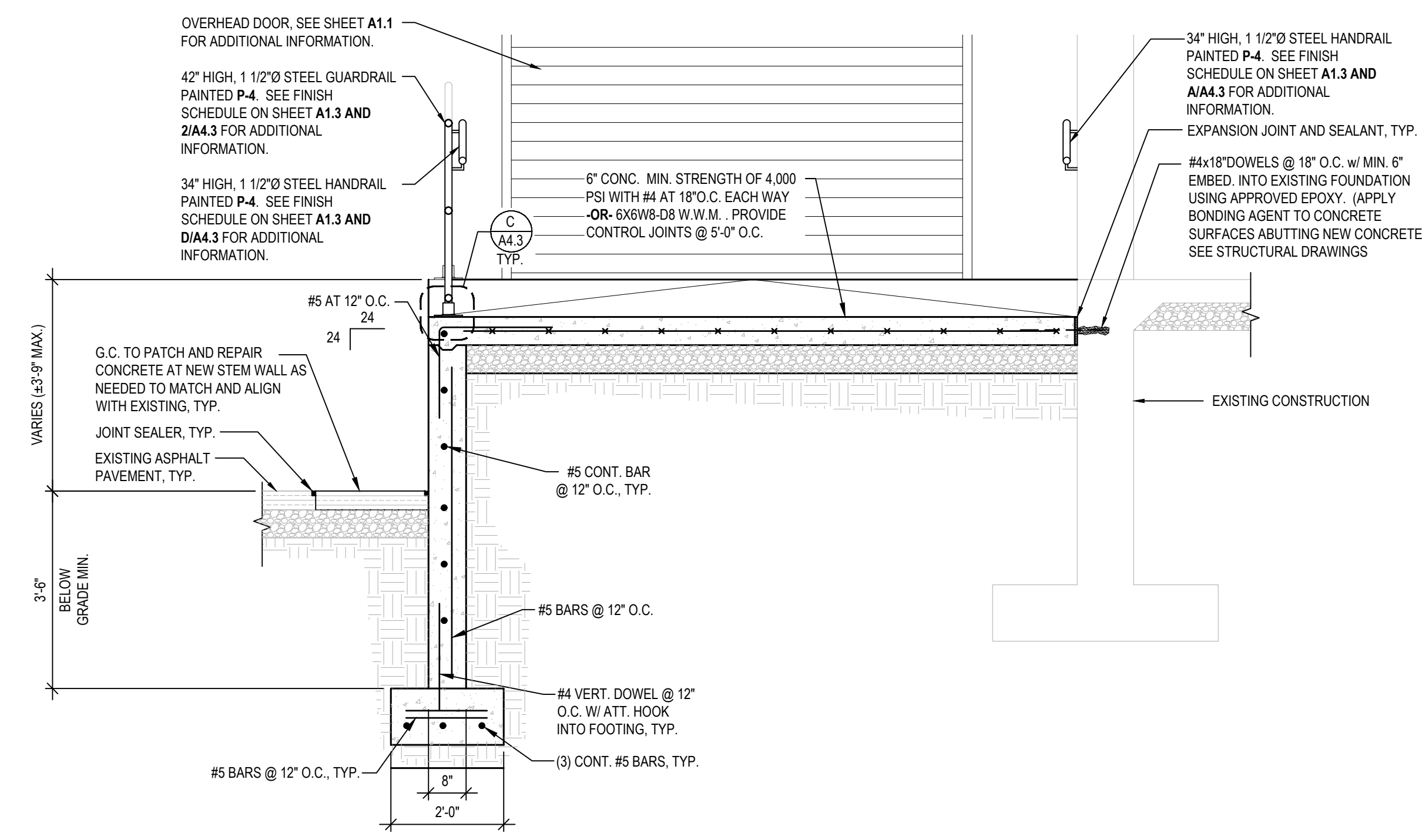
1 CONCRETE FORKLIFT ACCESS RAMP SECTION  
A4.2 SCALE: 1/2"=1'-0"



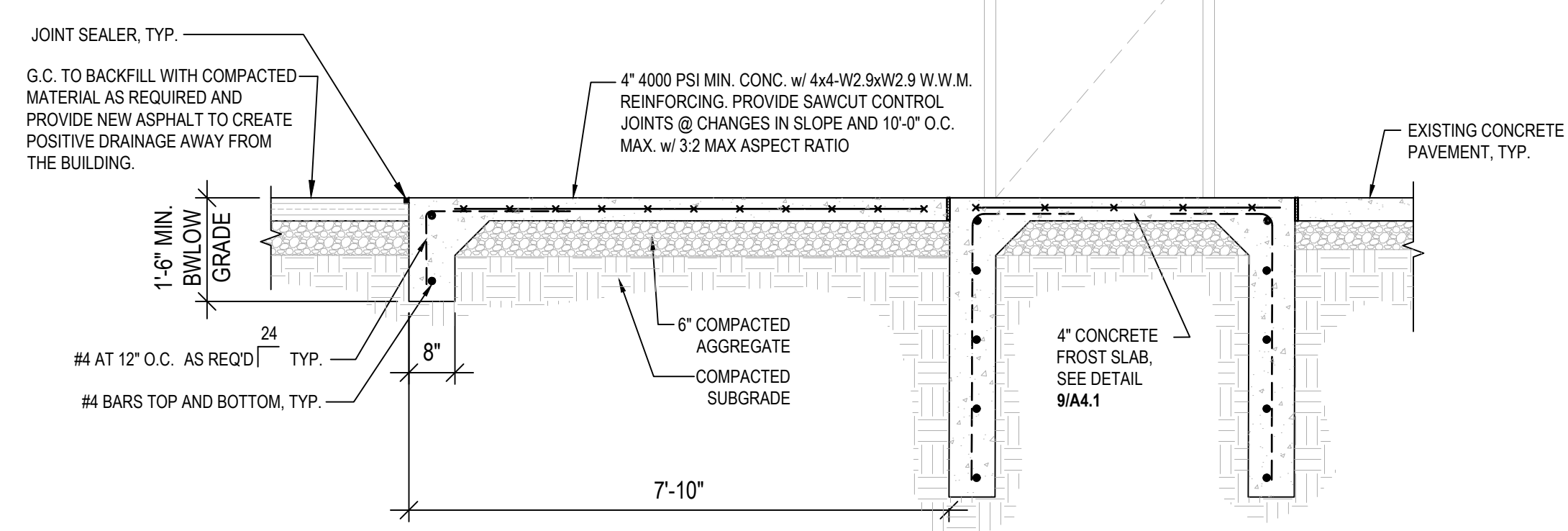
2 CONCRETE FORKLIFT ACCESS RAMP SECTION  
A4.2 SCALE: 1/2"=1'-0"



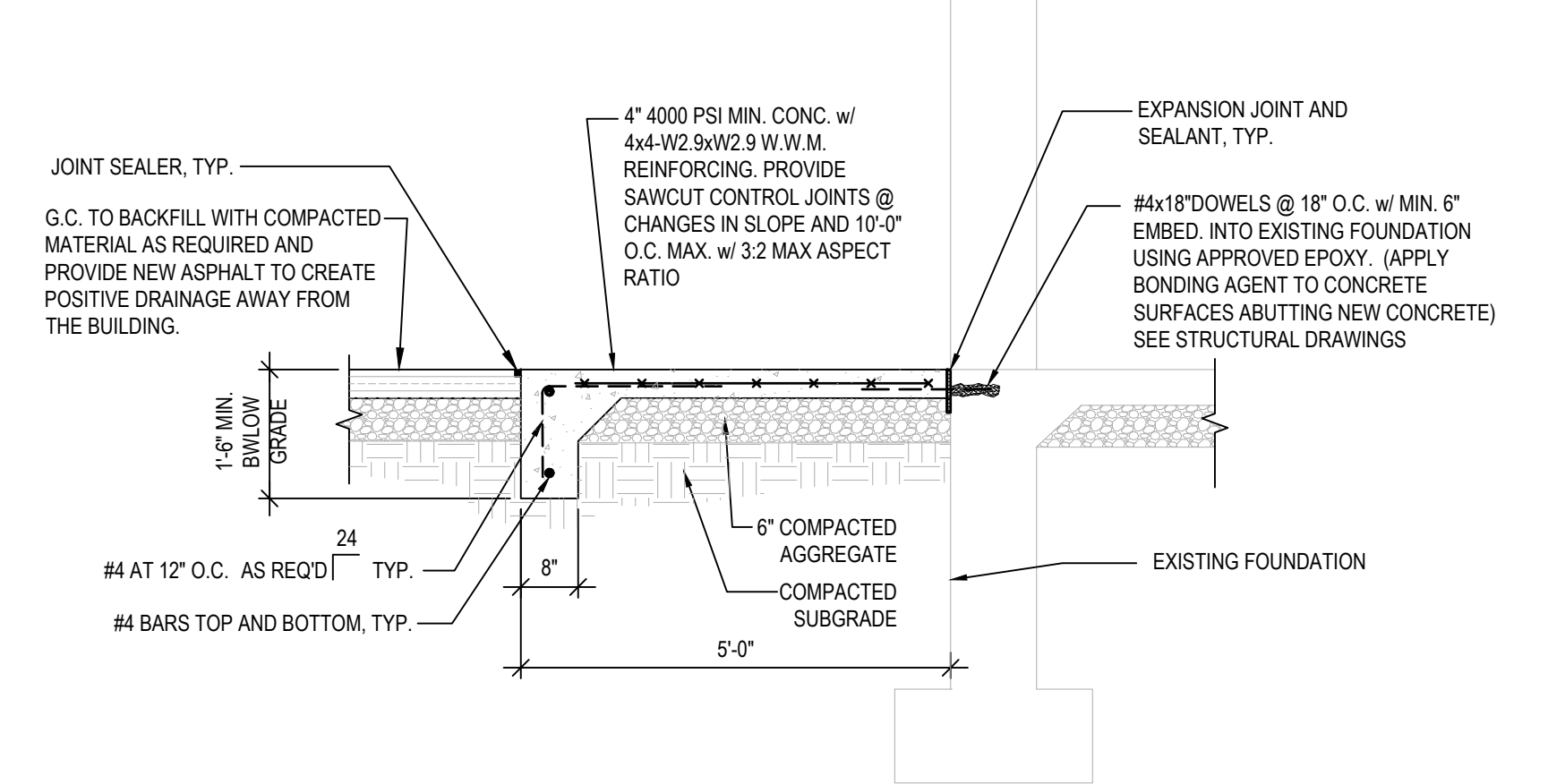
4 CONCRETE PEDESTRIAN ACCESS RAMP SECTION  
A4.2 SCALE: 1/2"=1'-0"



2 CONCRETE FORKLIFT ACCESS RAMP SECTION  
A4.2 SCALE: 1/2"=1'-0"



6 CONCRETE EGRESS PAD SECTION  
A4.2 SCALE: 1/2"=1'-0"



5 CONCRETE EGRESS PAD SECTION  
A4.2 SCALE: 1/2"=1'-0"



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MISC. DETAILS

DATE 12/08/23

JOB NO. 23322

**A4.2**

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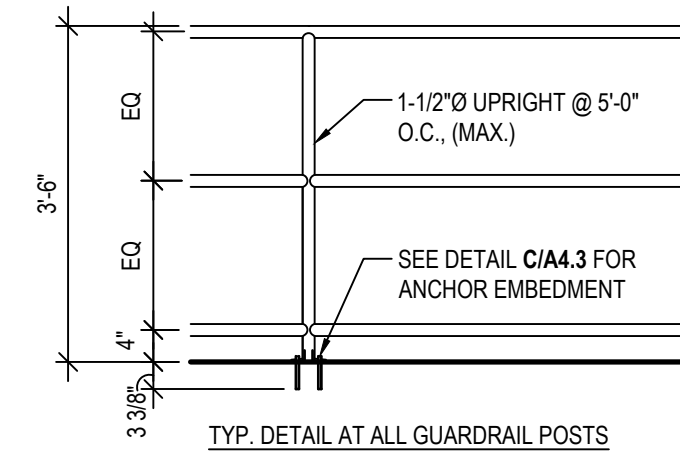
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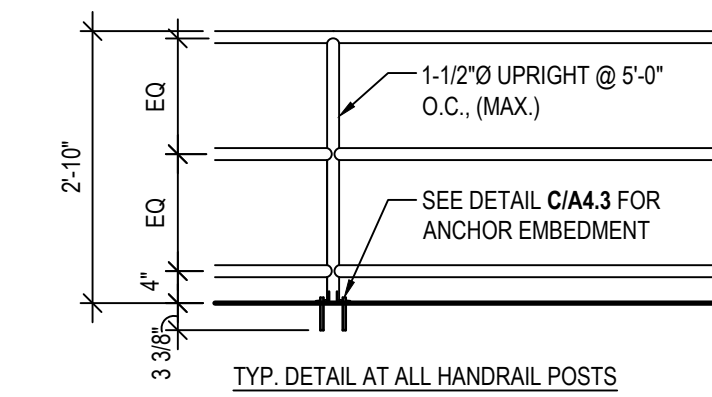
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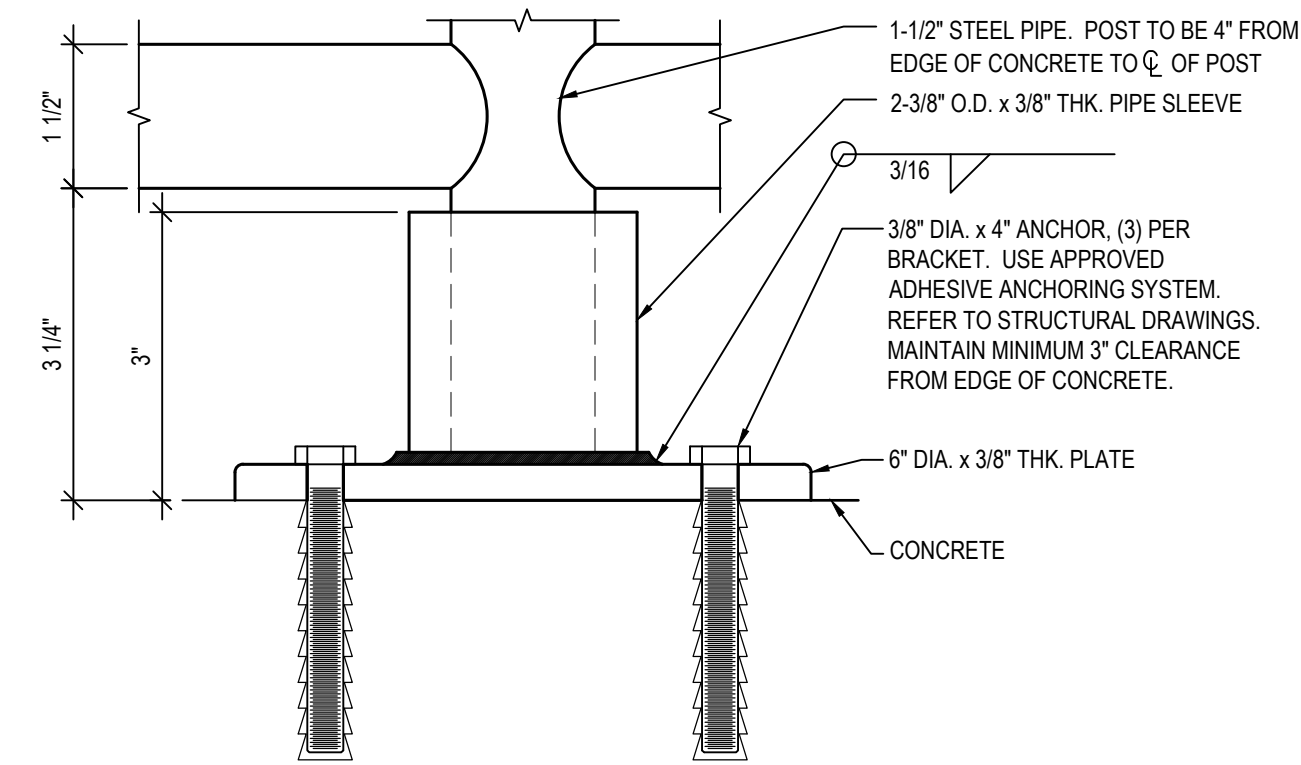
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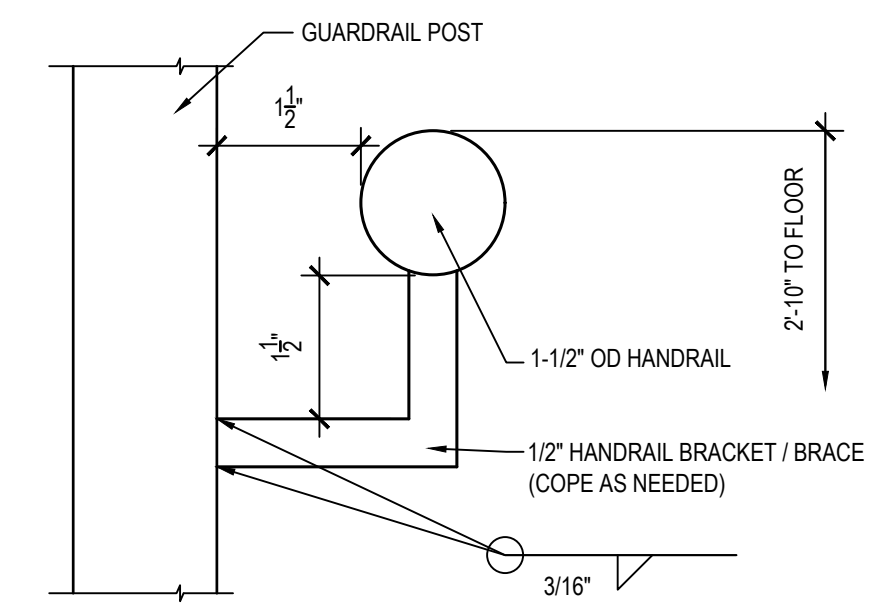
**6** GUARDRAIL DETAIL  
A4.3 SCALE: 1/2" = 1'-0"



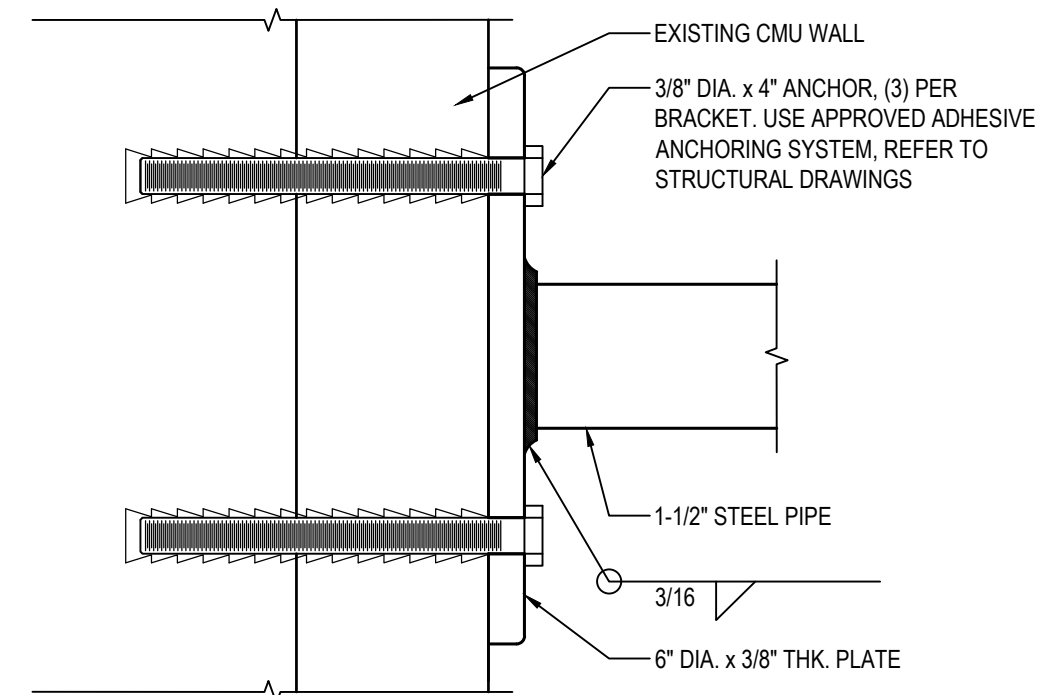
**5** HANDRAIL DETAIL  
A4.3 SCALE: 1/2" = 1'-0"



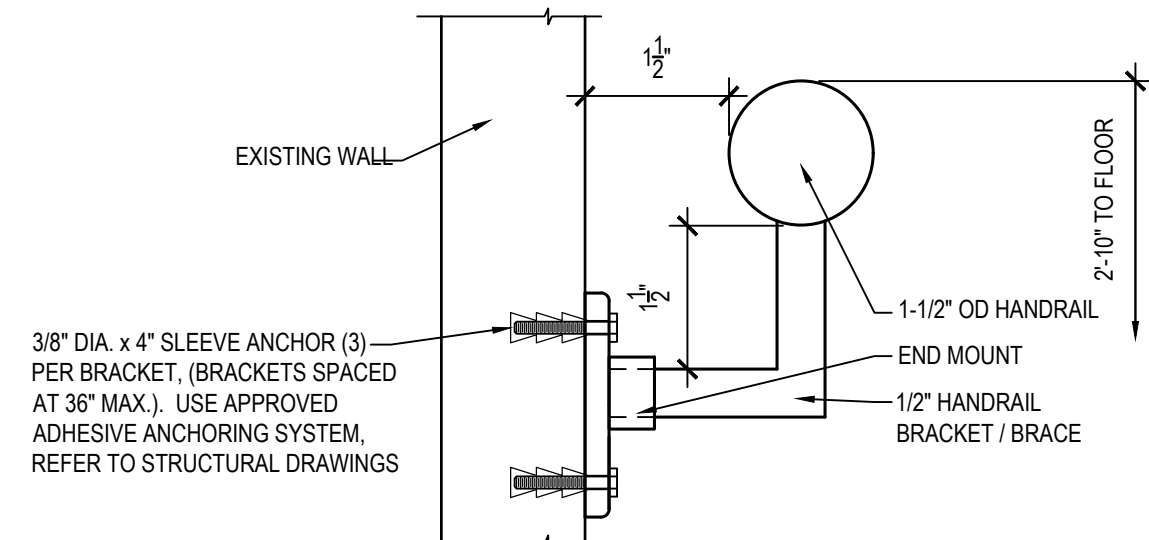
**C** GUARDRAIL POST @ CONC.  
A4.3 SCALE: 6" = 1'-0"



**D** HANDRAIL CONNECTION AT GUARDRAIL POST  
A4.4 SCALE: 6" = 1'-0"



**B** GUARDRAIL POST @ EXISTING CMU WALL  
A4.3 SCALE: 6" = 1'-0"



**A** HANDRAIL CONNECTION AT WALL  
A4.3 SCALE: 6" = 1'-0"

DOOR AND FRAME SCHEDULE

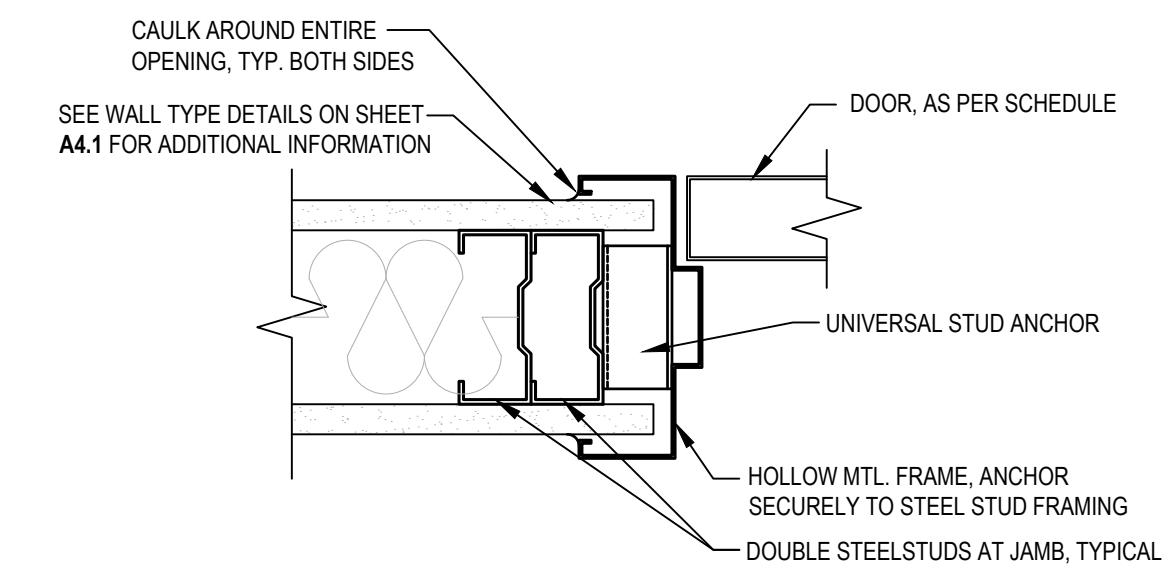
DOOR NO.	SIZE	DOOR			FRAME			FIRE LABEL	HARDWARE GROUP	HEAD/JAMB DETAIL	REMARKS
		TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH				
01A	12'-0" x 7'-8" HFT PACKAGED UNIT	A	GLASS/ALUM.	CLEAR ANODIZED	PER MANF.	ALUM.	CLEAR ANODIZED	-	SUPPLIED BY DORMA	PER MANF.	G.C. TO COORDINATE FINAL DOOR AND FRAME DIMENSIONS WITH DORMA. SEE VENDOR INFORMATION ON SHEET A0.0 FOR CONTACT INFORMATION. GLAZING TO BE 1" INSULATED.
01B	12'-0" x 7'-8" HFT PACKAGED UNIT	A	GLASS/ALUM.	CLEAR ANODIZED	PER MANF.	ALUM.	CLEAR ANODIZED	-	SUPPLIED BY DORMA	PER MANF.	G.C. TO COORDINATE FINAL DOOR AND FRAME DIMENSIONS WITH DORMA. SEE VENDOR INFORMATION ON SHEET A0.0 FOR CONTACT INFORMATION. GLAZING TO BE 1" TEMPERED.
01C	8'-0" x 7'-8" HFT PACKAGED UNIT	E	GLASS/ALUM.	CLEAR ANODIZED	PER MANF.	ALUM.	CLEAR ANODIZED	-	SUPPLIED BY DORMA	PER MANF.	G.C. TO COORDINATE FINAL DOOR AND FRAME DIMENSIONS WITH DORMA. SEE VENDOR INFORMATION ON SHEET A0.0 FOR CONTACT INFORMATION. GLAZING TO BE 1/4" TEMPERED.
02	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	1	A&B/A5.0	SEE DOOR SCHEDULE NOTES.
03	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	2	A&B/A5.0	SEE DOOR SCHEDULE NOTES.
04	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	2	A&B/A5.0	SEE DOOR SCHEDULE NOTES.
05	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	4	A&B/A5.0	UNDERCUT DOOR TO PROVIDE 1" CLEARANCE. LATCH SET SHALL BE "PRIVACY" TYPE.
06	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	4	A&B/A5.0	UNDERCUT DOOR TO PROVIDE 1" CLEARANCE. LATCH SET SHALL BE "PRIVACY" TYPE.
07	3'-0" x 7'-0" x 1 3/4"	B	S.C. WOOD	PAINTED	1	H.M.	PAINTED	-	3	A&B/A5.0	SEE DOOR SCHEDULE NOTES.
08	3'-0" x 7'-0" x 1 3/4"	C	H.M.	PAINTED	3	H.M.	PAINTED	-	6A	C&D/A5.0	VERIFY OPENING SIZE IN FIELD BEFORE ORDERING DOOR. SEE DOOR SCHEDULE NOTES. DO NOT INSTALL ADDRESS ON THIS DOOR.
09	3'-0" x 7'-0" x 1 3/4"	C	H.M.	PAINTED	3	H.M.	PAINTED	-	6	C&D/A5.0	VERIFY OPENING SIZE IN FIELD BEFORE ORDERING DOOR. SEE DOOR SCHEDULE NOTES. INSTALL ADDRESS ON THIS DOOR.
10	8'-0" x 10'-0" x 1/2"	D	MTL.	GALV.	BY MANF.	MTL.	PAINTED	-	5	F/A5.0&A4.1	CHAIN OPERATED INSULATED SERVICE DOOR FURNISHED AND INSTALLED BY O.H. DOOR VENDOR AT NEW OPENING. VERIFY OPENING SIZE IN FIELD BEFORE ORDERING DOOR.
11	8'-0" x 10'-0" x 1/2"	D	MTL.	GALV.	BY MANF.	MTL.	PAINTED	-	5	F/A5.0&A4.1	CHAIN OPERATED INSULATED SERVICE DOOR FURNISHED AND INSTALLED BY O.H. DOOR VENDOR AT NEW OPENING. VERIFY OPENING SIZE IN FIELD BEFORE ORDERING DOOR.

HARDWARE GROUP

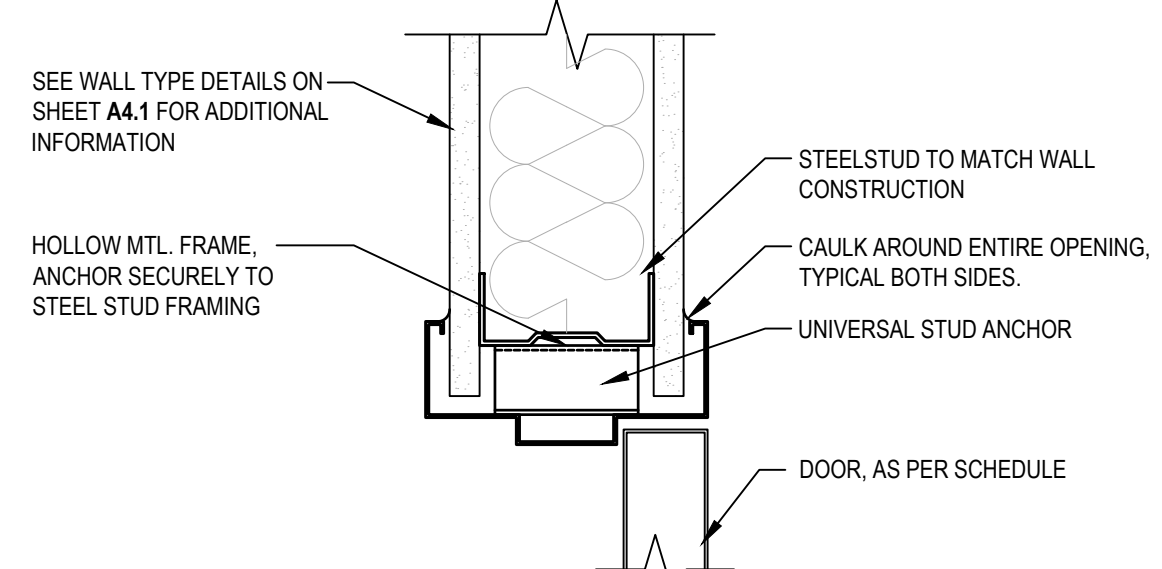
GROUP #1 (MANAGER, UTILITY)	GROUP #2 (SUPPORT OFFICE DOORS)	GROUP #3 (BREAK ROOM)	GROUP #4 (RESTROOMS)	GROUP #5 (OVERHEAD DOORS)	GROUP #6 (ALARMED) (SINGLE EXIT DOORS)
BUTTS: 1- 1/2" PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.	BUTTS: 1- 1/2" PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.	BUTTS: 1- 1/2" PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.	BUTTS: 1- 1/2" PAIR HAGER ECB1100, 4 1/2" x 4 1/2" x US26D.	DOOR PANELS: 2-3/4" INSULATED STEEL INTERLOCKING FLAT SLAT CURTAIN W/ ENDLOCKS @ BOTH ENDS BY VENDOR SCHLAGE KS41F1200	BUTTS: 1- 1/2" PAIR MCKINNEY MP 79, 4 1/2" x 4 1/2", 26D.
LATCH SET: FALCON 'ENTRANCE' LEVER W511HD-D-231F-7 PIN-626	LATCH SET: FALCON 'STOREROOM' LEVER W581HD-D-626	LATCH SET: FALCON 'PASSAGE' LEVER W101S-D-626	LATCH SET: FALCON 'PASSAGE' LEVER W101S-D-626 (MULTI-USE RESTROOMS)		EXIT DEVICE: VON DUPRIN GUARD-X 2670-US28
LATCH GUARD: DON-JO ILP-212-SL	LATCH GUARD: DON-JO ILP-212-SL DOOR #4 DON-JO OSLP-110-SL	CLOSER: FALCON SC71 RW / PA-689 (MTD. ON INSIDE)	FALCON 'PRIVACY' LEVER T301S-D-626 (SINGLE-USE RESTROOMS)	CYLINDER CORE: FALCON C649 (HCK, IHK)-626 SCHLAGE 80-035-GRN 24 GA. MIN. GALVANIZED STEEL BY VENDOR HAND CHAIN BY VENDOR	CYLINDER CORE: FALCON C207-SC-C26D
CYLINDER CORE: FALCON C649 (CKWY-7 PIN)-626	DEAD BOLT: FALCON D241H-50-231F-7 PIN-626	KICKPLATE: ROCKWOOD K1050 - 10x34 US32D	FALCON SC71 RW / PA-689 (MTD. ON INSIDE)		CONST. CORE: FALCON C607 CCA 7-PIN
CLOSER: FALCON SC71 RW / PA-689 (MTD. ON INSIDE)	CYLINDER CORE: (2) FALCON C649 (CKWY-7 PIN)-626	FLOOR STOP: ROCKWOOD 441-US26D DOME STOP	SILENCER: (3) ROCKWOOD 608-26D		HOUSING: FALCON C953 (CKWY 7-PIN) 626
KICKPLATE: ROCKWOOD K1050 - 10x34 US32D	CLOSER: FALCON SC71 RW / PA-689 (MTD. ON INSIDE)				CLOSER: FALCON SC71 RW / PA-689 (MTD. INSIDE)
SILENCER: (3) ROCKWOOD 608-26D	KICKPLATE: ROCKWOOD K1050 - 10x34 US32D				KICKPLATE: ROCKWOOD K1050 - 10x34 US32D
FLOOR STOP: ROCKWOOD 441-US26D DOME STOP	SILENCER: (3) ROCKWOOD 608-26D				DOOR STOP: ROCKWOOD 472-26D STOP W/ KEEPER
DOOR VIEWER: ROCKWOOD 622-26D (DOOR VIEWERS FOR MANAGER OFFICE SIDE OF DOORS ONLY - NO DOOR VIEWERS INSTALLED ON UTILITY DOORS)	FLOOR STOP: ROCKWOOD 441-US26D DOME STOP				DOOR VIEWER: DOORSOPE DS2000 AL.S
	DOOR VIEWER: ROCKWOOD 622-26D				DOOR BOTTOM: PEMKO 315-CN MILL 36"
					GASKETING: PEMKO 303 AV (1) 36", (2) 84"
					THRESHOLD: PEMKO 171-A MILL 36"
					DOOR PULL: ROCKWOOD 131-26D (MTD. INSIDE)
					LATCH GUARD: DON-JO NLP-110 (EXTERIOR)
					DRIP EDGE: PEMKO 346C RAIN DRIP 40" (EXTERIOR)

DOOR SCHEDULE NOTES

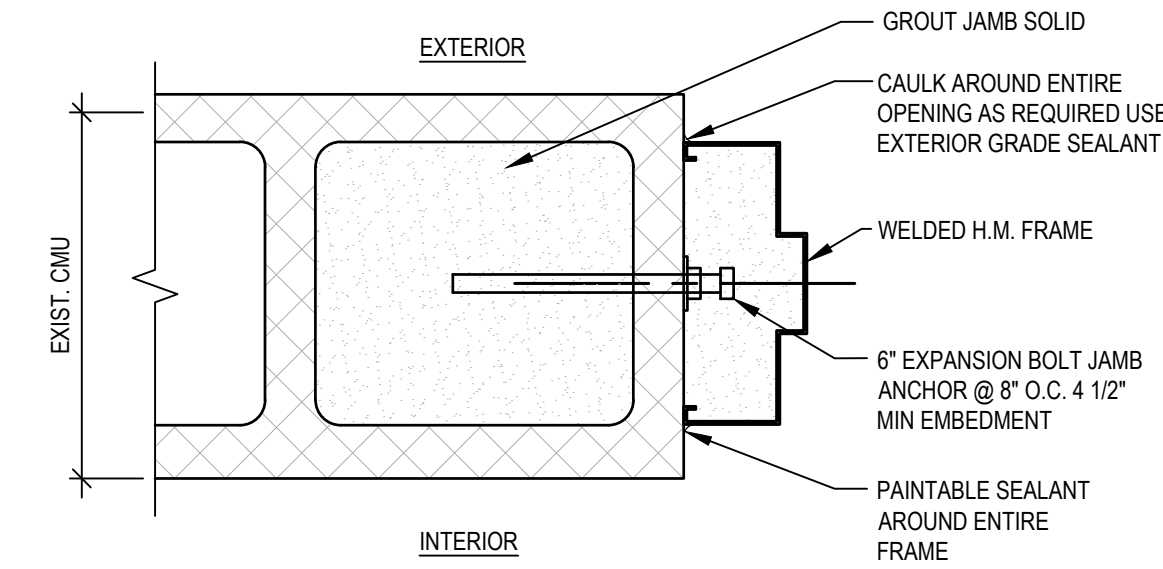
- RATED DOORS SHALL BE A TIGHT-FITTING SMOKE AND DRAFT CONTROL ASSEMBLY.
- ALL EXISTING / NEW DOORS AND HARDWARE SHALL COMPLY WITH CURRENT ADA REGULATIONS. ALL OPERABLE PARTS ON DOORS AND GATES SHALL BE EASY TO GRASP WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- ALL INTERIOR / EXTERIOR METAL DOORS SHALL BE 20 GA. MINIMUM.
- ALL DOOR HARDWARE SHALL BE LEVER TYPE OR PANIC HARDWARE.
- EXTERIOR DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- OPENINGS SHALL BE A MINIMUM OF 32" WIDE WHEN DOOR IS AT RIGHT ANGLE TO CLOSED POSITION.
- BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE FOR OPENING BY WHEELCHAIR FOOT REST.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS, AND 3 LBS. FOR INTERIOR DOORS WITH A PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOOR AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATIONS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS, WHEN FIRE DOORS ARE REQUIRED. THE MAXIMUM EFFORT TO OPERATE THE DOORWAY MAY BE INCREASED NOT TO EXCEED 14 LBS. W/ CLOSURE.
- SUBMIT HARDWARE CUT SHEETS FOR ANY ALTERNATES TO HFT REPRESENTATIVE PRIOR TO ORDERING HARDWARE FOR APPROVAL.
- REPLACE ALL EXISTING HARDWARE, TO COMPLY WITH HARDWARE SCHEDULE.
- PROVIDE A SIGN ABOVE ALL ENTRANCE DOOR STATING THAT THIS DOOR IS TO REMAIN UNLOCKED DURING BUSINESS HOURS. LETTERS SHALL BE AT LEAST 1" IN HEIGHT AND SHALL BE WHITE ON A CONTRASTING BACKGROUND.
- CONTRACTOR SHALL COORDINATE KEYING OF LOCKS WITH OWNER PRIOR TO INSTALLATION.
- ALL HARDWARE LISTED TO BE SUPPLIED BY LISTED MANUFACTURER OR EQUAL.
- ALL DOOR HARDWARE TO BE BRUSHED CHROME FINISH.
- EXTERIOR DOORS & FRAMES, EXCLUDING OVERHEAD DOOR, TO BE PAINTED TO MATCH THE ADJ. FINISH ON THE EXTERIOR AND PAINTED P-8 ON THE INTERIOR. SEE FINISH SCHEDULE ON SHEET A1.3.
- INTERIOR DOORS AND FRAMES TO BE PAINTED P-8. SEE FINISH SCHEDULE ON SHEET A1.3.
- BI-PARTING DOOR THRESHOLDS TO BE PROVIDED AND INSTALLED BY DOOR VENDOR.
- PROVIDE 8" HIGH WHITE VINYL NUMBERS STATING STREET ADDRESS IN HELVETICA FONT STYLE ON TRANSOM AT MAIN ENTRY DOOR.
- INTERIOR DOOR FRAMES SHALL BE MIN. 20GA. U.N.O. EXTERIOR DOOR FRAMES SHALL BE MIN. 16GA. WELDED FRAMES, U.N.O.
- ALL EXTERIOR DOORS TO BE ALARMED, U.N.O.



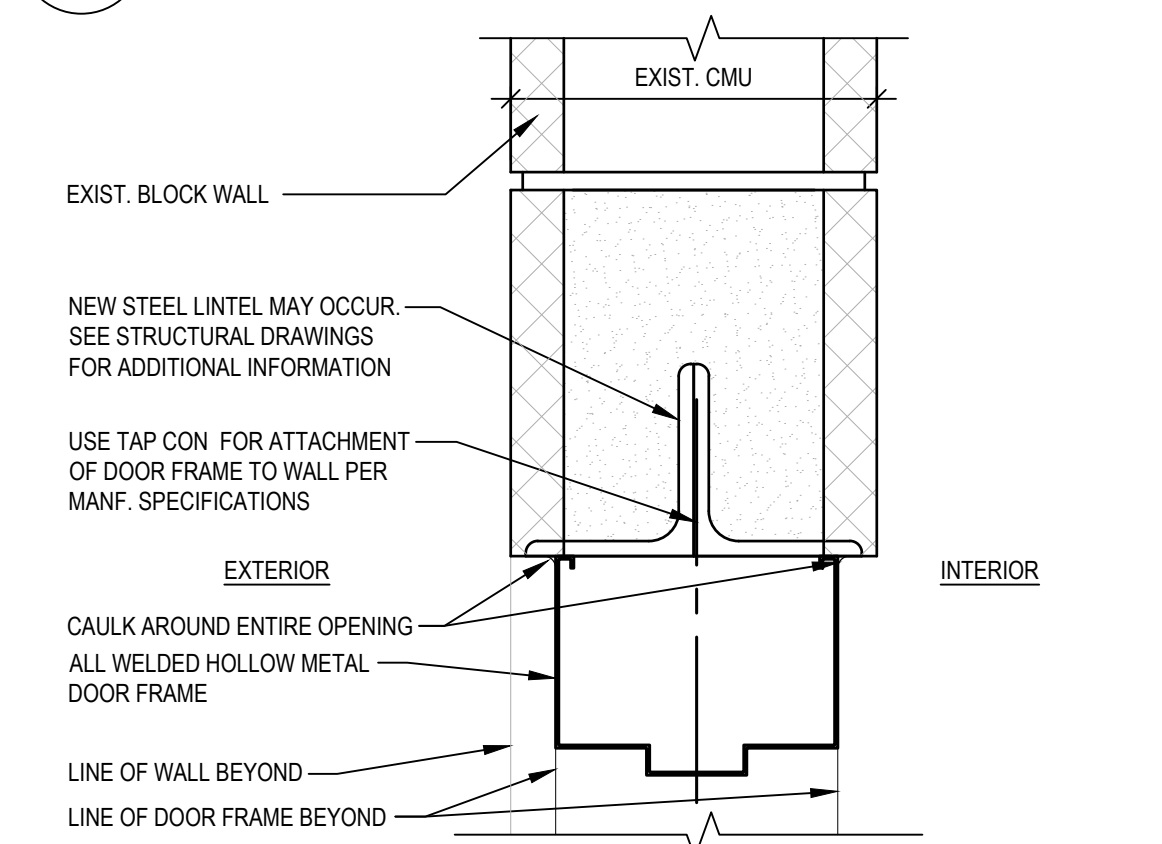
A TYP. INTERIOR DOOR JAMB DETAIL  
A5.0 SCALE: 3" = 1'-0"



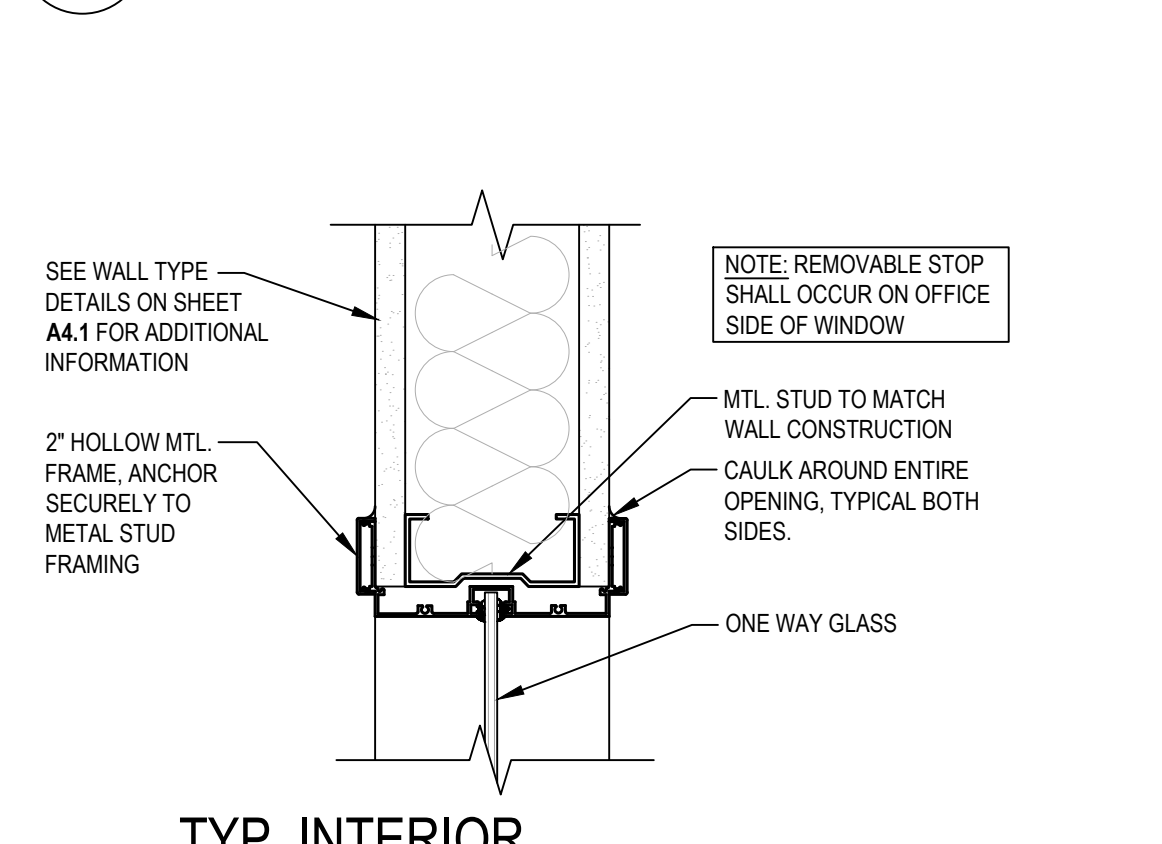
B TYP. INTERIOR DOOR HEAD DETAIL  
A5.0 SCALE: 3" = 1'-0"



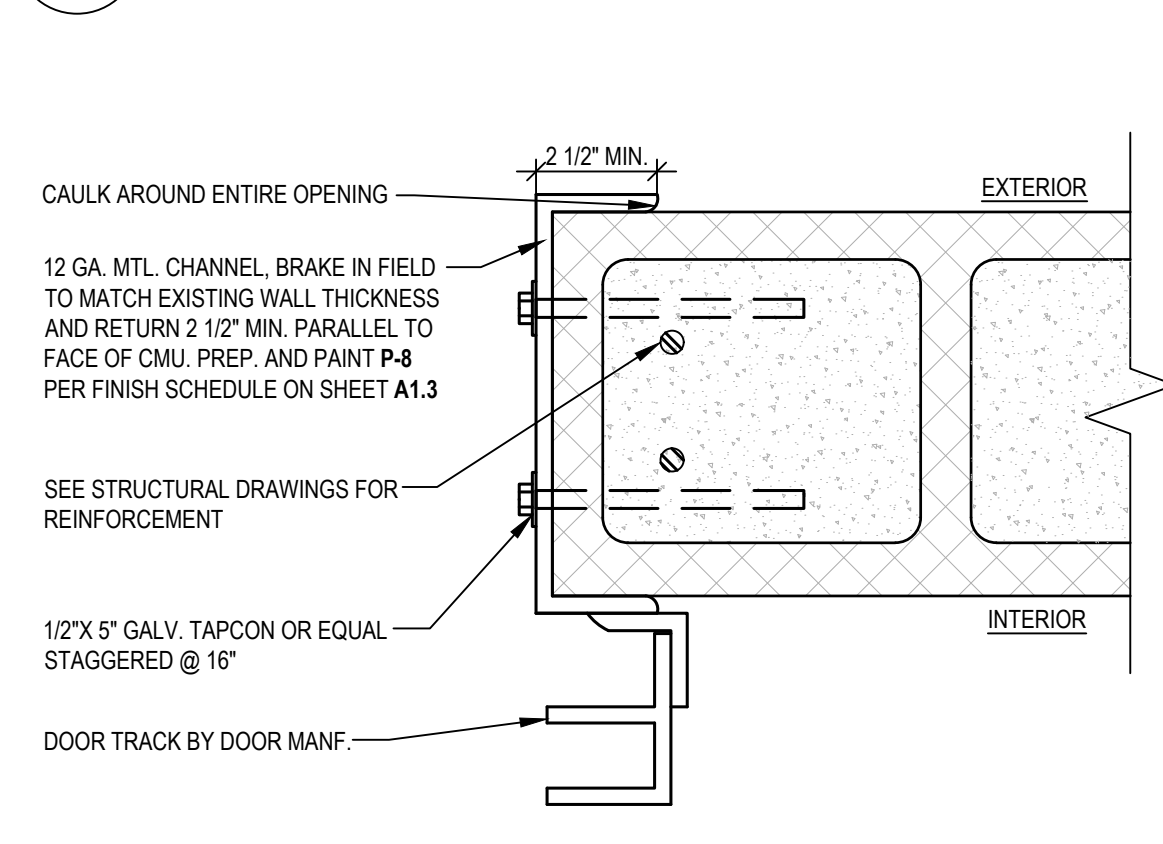
C TYP. EXTERIOR DOOR JAMB DETAIL  
A5.0 SCALE: 3" = 1'-0"



D TYP. EXTERIOR DOOR HEAD DETAIL  
A5.0 SCALE: 3" = 1'-0"

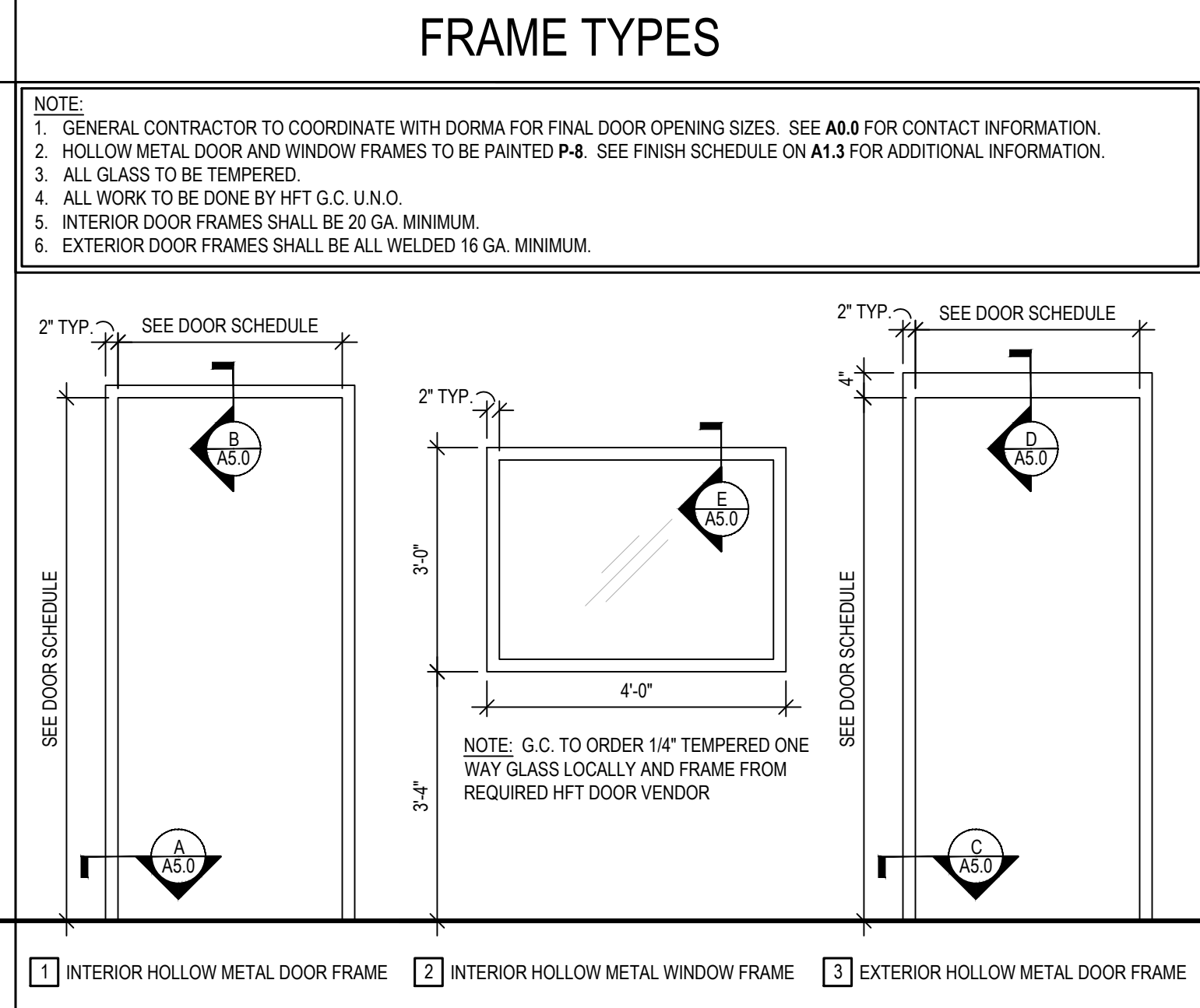
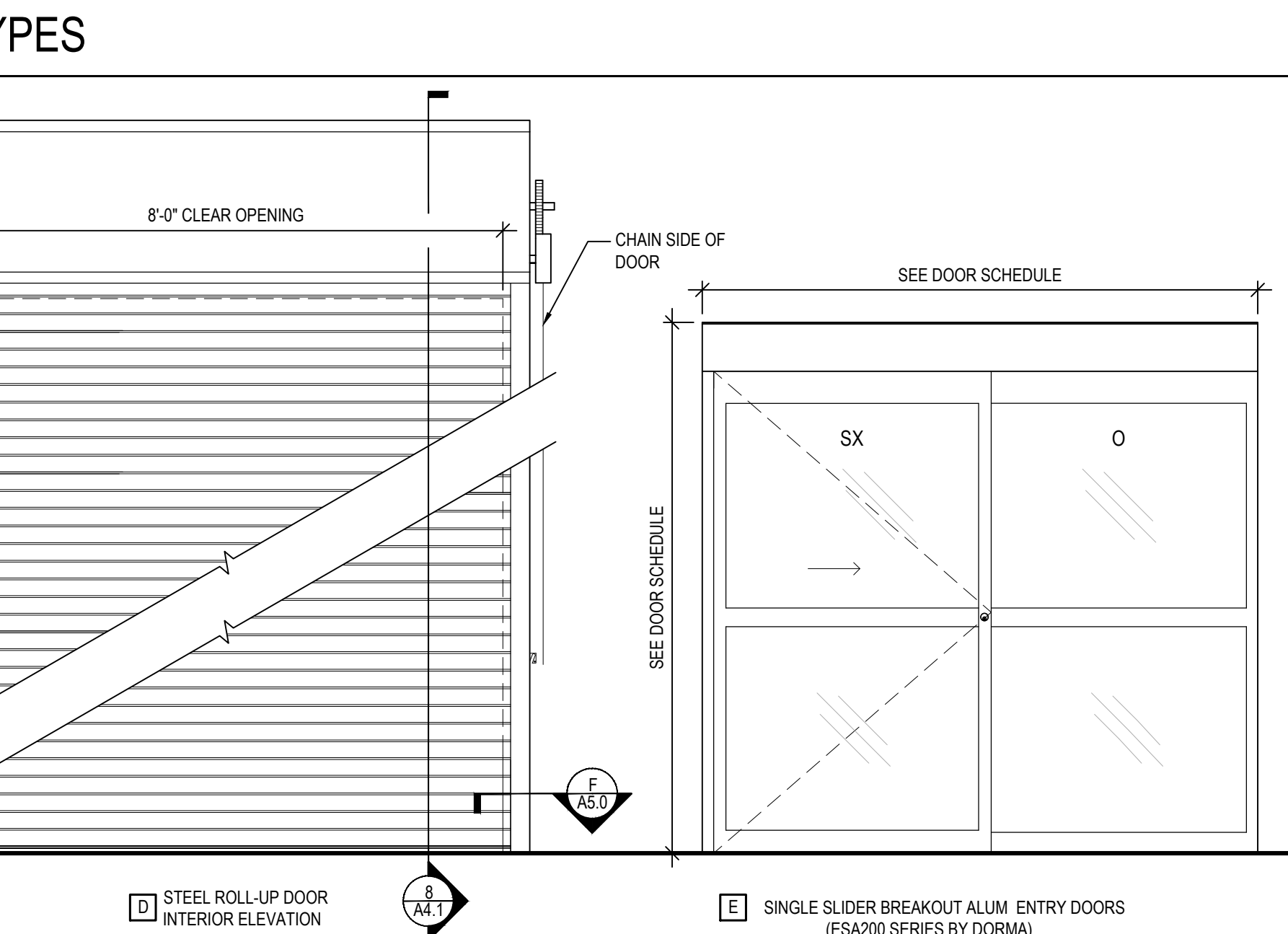
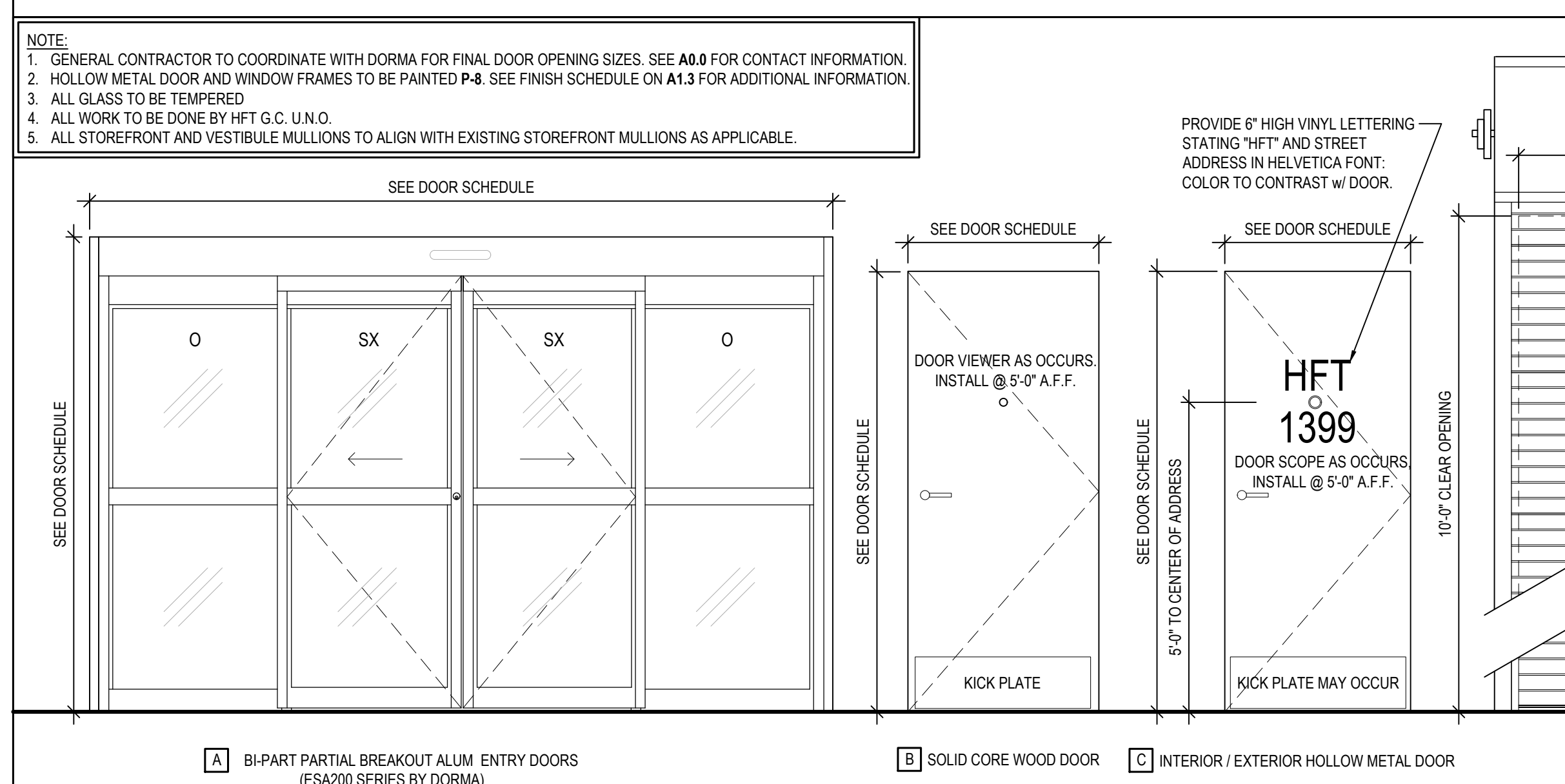


E TYP. INTERIOR WINDOW HEAD DETAIL  
A5.0 SCALE: 3" = 1'-0"

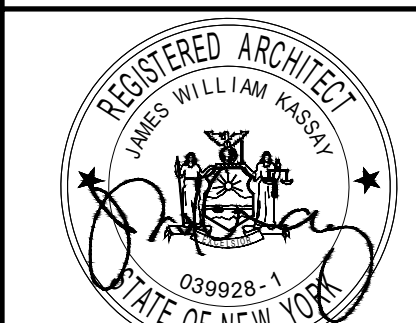
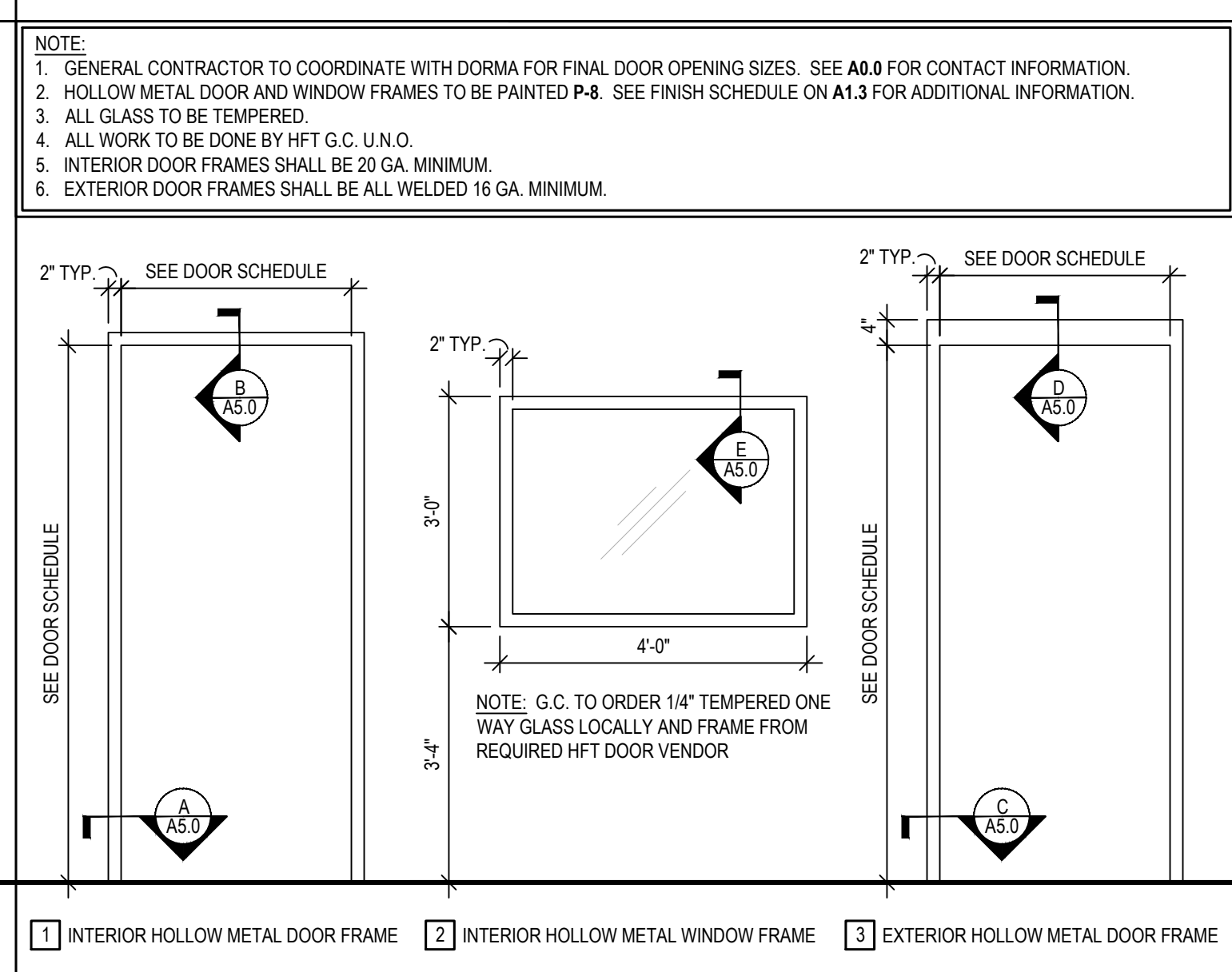
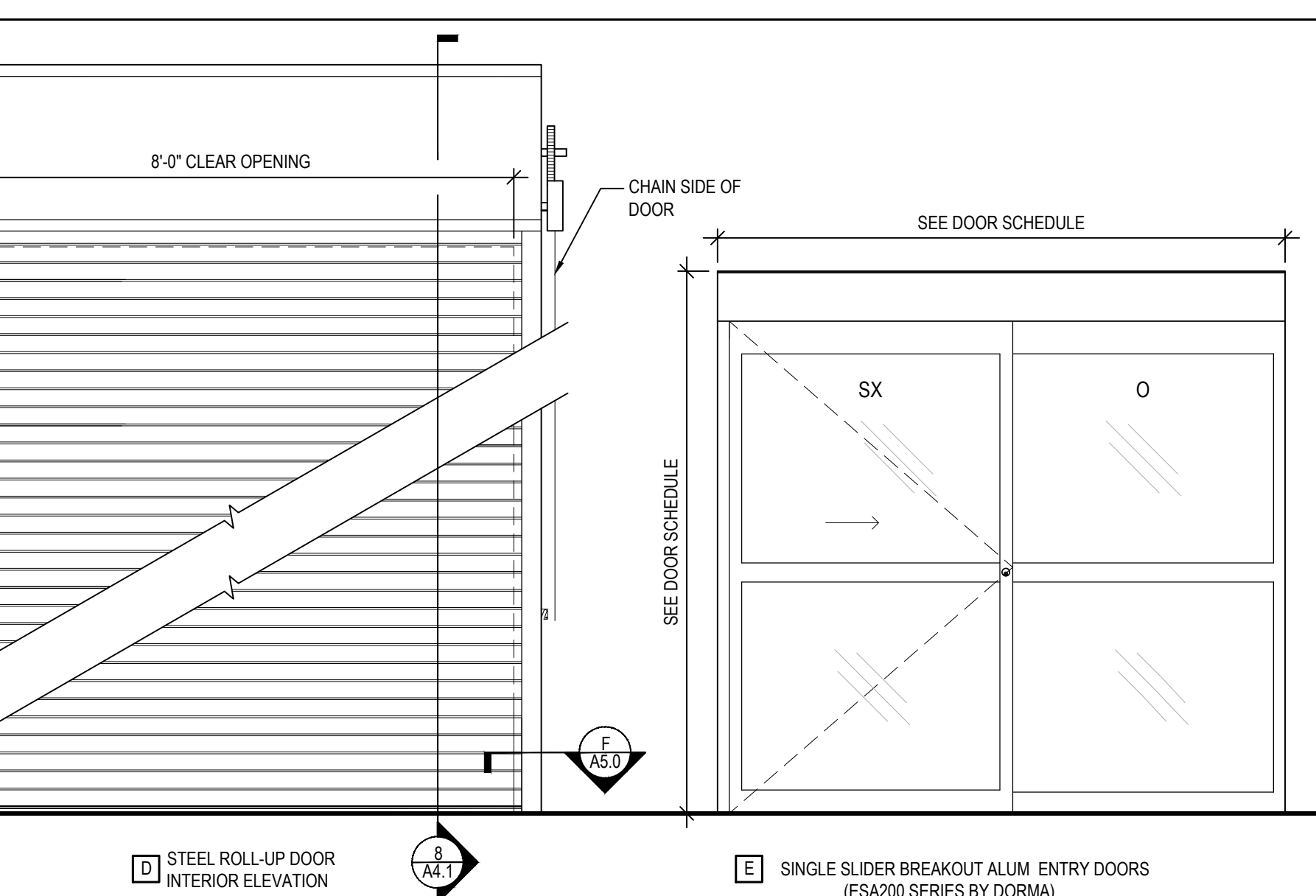
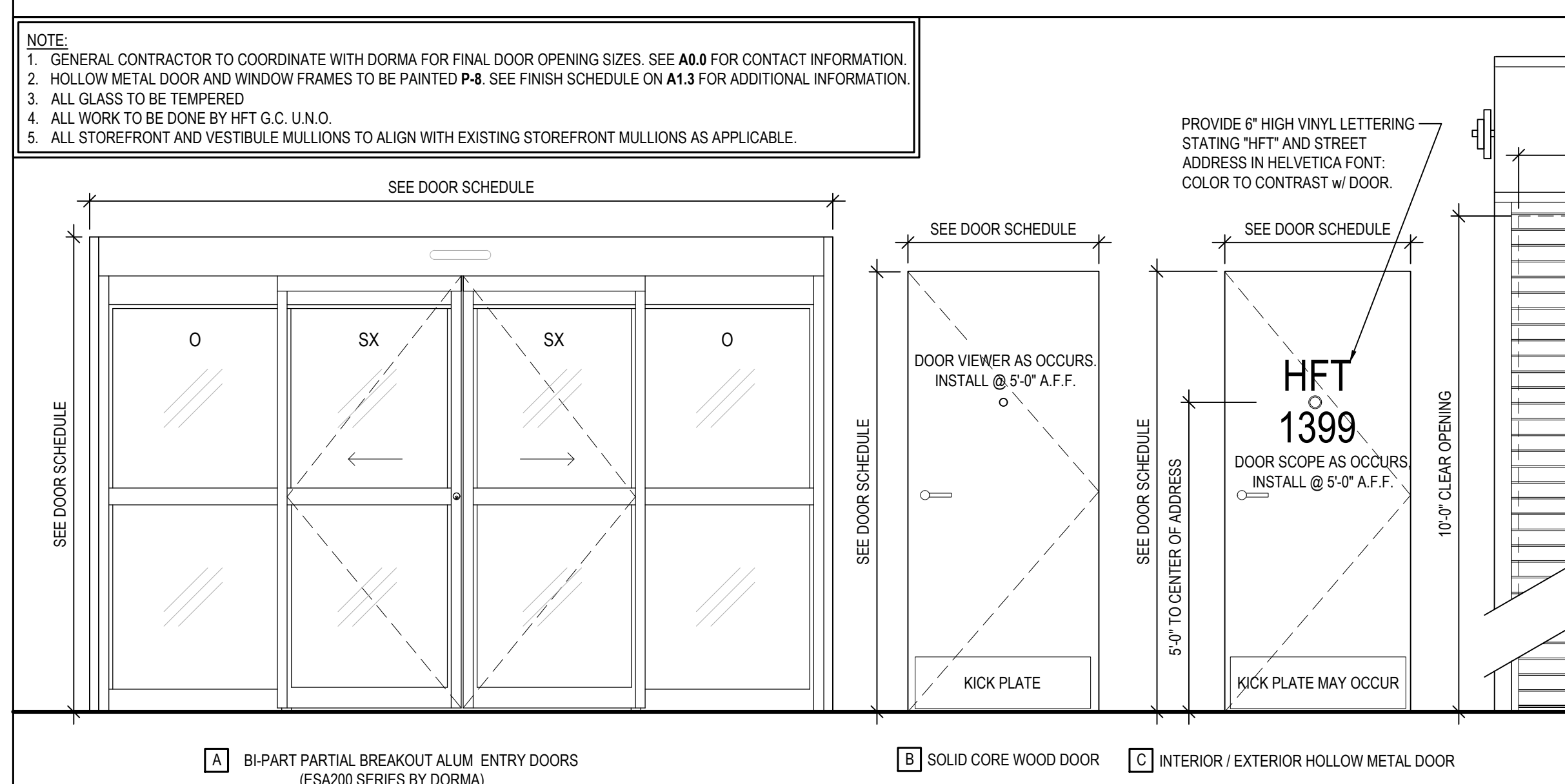


F OVERHEAD DOOR JAMB  
A5.0 SCALE: 3" = 1'-0"

DOOR TYPES



FRAME TYPES



**ADA**  
ARCHITECTS SERVICES, INC. P.C.  
Lakewood, Ohio 44107  
17710 Detroit Avenue  
Phone (216) 521-5134  
Fax (216) 521-4824  
www.adaarchitects.com

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REVISIONS

DOOR SCHEDULE & DETAILS

DATE 12/08/23  
JOB NO. 23322

**A5.0**  
SHEET NO.

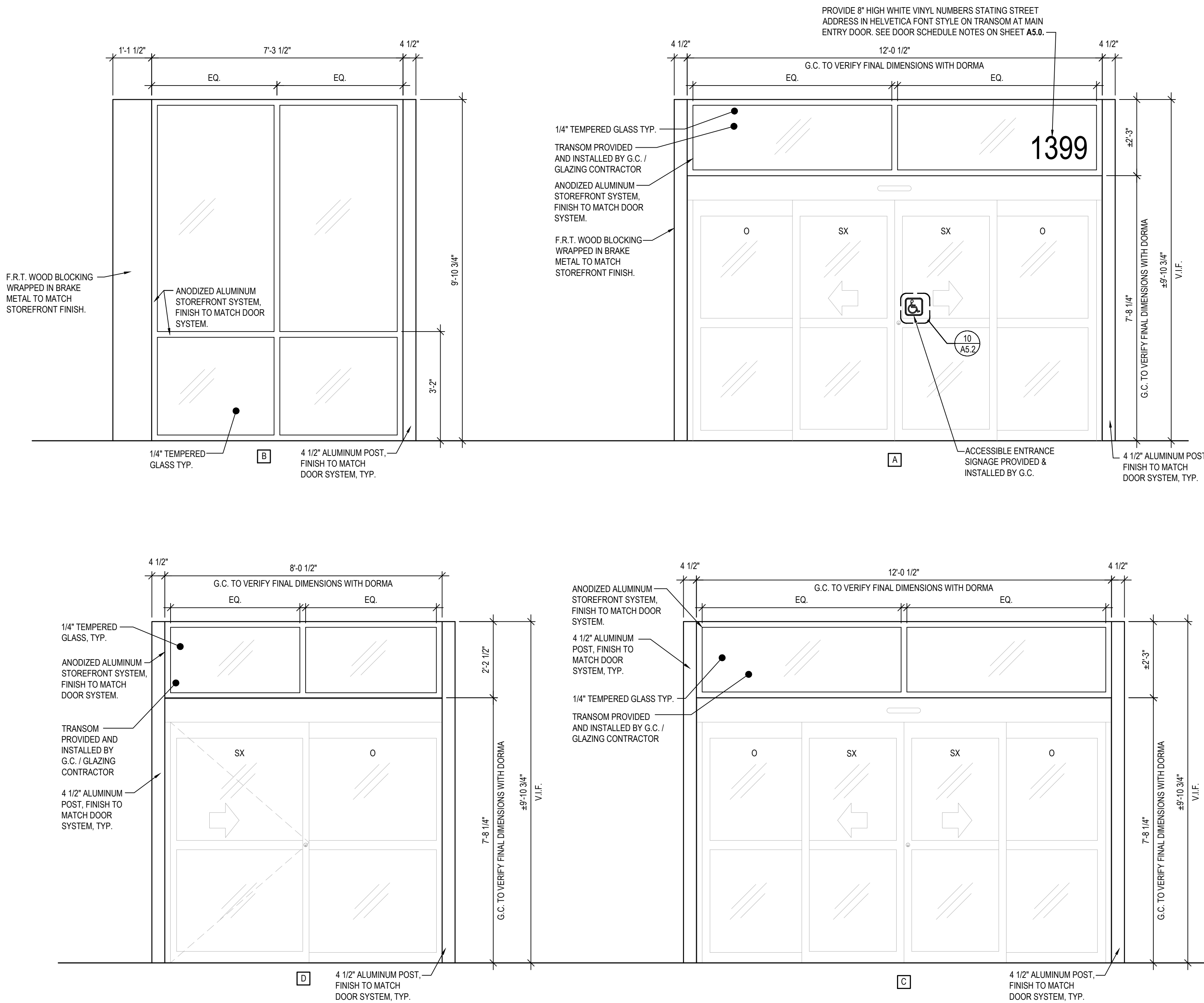


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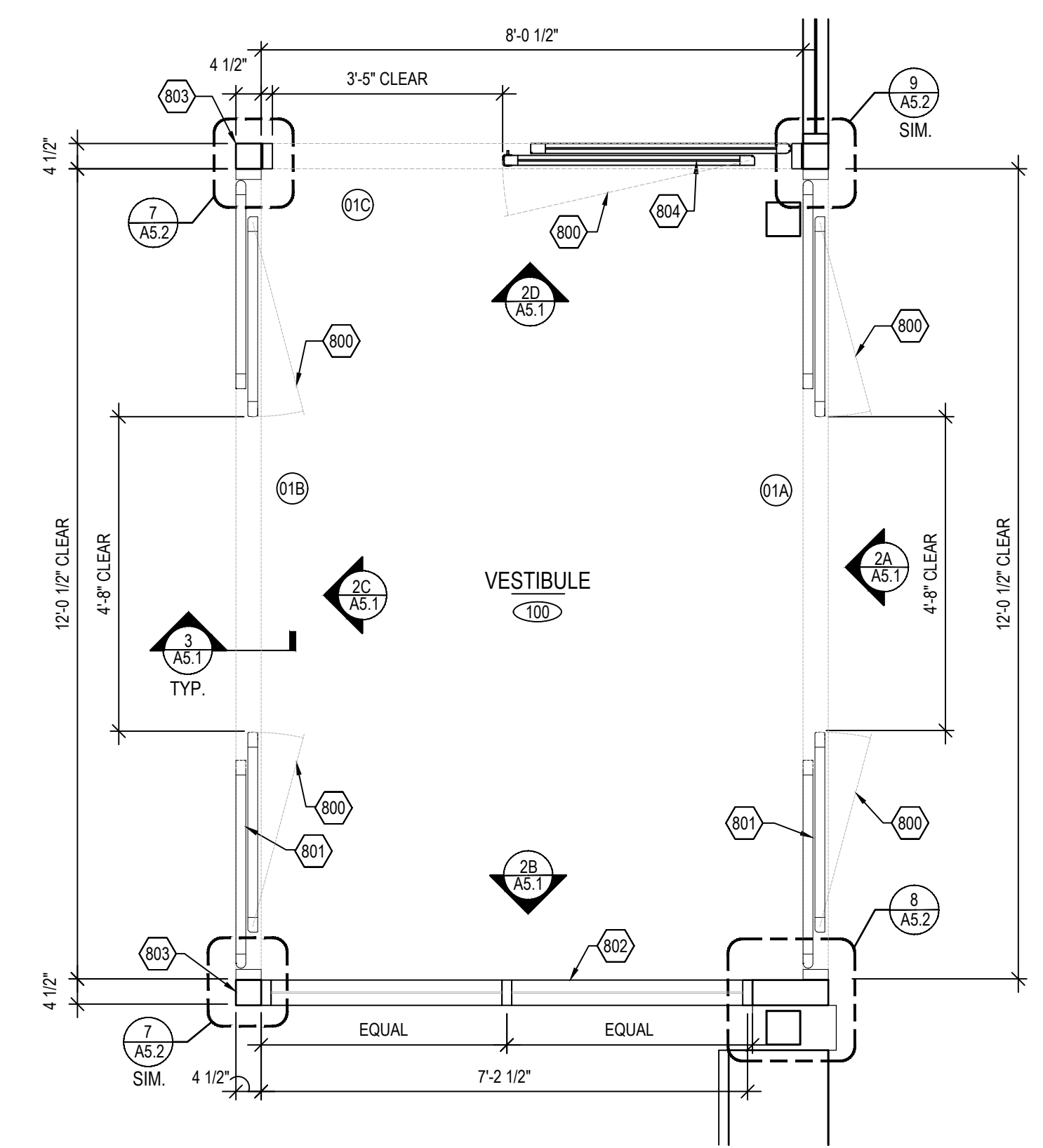


**2 STOREFRONT ELEVATIONS**  
SCALE: 1/2" = 1'-0"

NOTE: G.C. TO FIELD VERIFY ALL EXISTING DIMENSIONS AND COORDINATE WITH DORMA DOOR BEFORE ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

NOTE: ALL NEW ALUMINUM STOREFRONT FINISH TO MATCH DOOR SYSTEM IN DOOR SCHEDULE ON SHEET A5.0 (FINISH: CLEAR ANODIZED)

- GENERAL NOTES**
- ALL GLAZING TO BE 1/4" TEMPERED.
  - ALL WORK TO BE DONE BY HFT G.C. U.N.O.
  - ALL STOREFRONT AND VESTIBULE MULLIONS TO ALIGN WITH EXISTING STOREFRONT MULLIONS AS APPLICABLE.
- 800 SERIES VESTIBULE KEY NOTES**
- DENOTES EMERGENCY DOOR BREAK OUT.
  - DENOTES DORMA BI-PARTING ENTRY DOOR PACKAGE. TO BE CONSTRUCTED BY DORMA.
  - STOREFRONT SYSTEM TO MATCH EXISTING STOREFRONT FINISH.
  - 4-1/2" ALUMINUM POST, FINISH TO MATCH DOOR SYSTEM, TYP.
  - DENOTES DORMA SINGLE SLIDING ENTRY DOOR PACKAGE. TO BE CONSTRUCTED BY DORMA.



**1 VESTIBULE PLAN DETAIL**  
SCALE: 1/2" = 1'-0"

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REVISIONS	
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ENLARGED  
VESTIBULE PLAN  
& DETAILS

DATE 12/08/23  
JOB NO. 23322

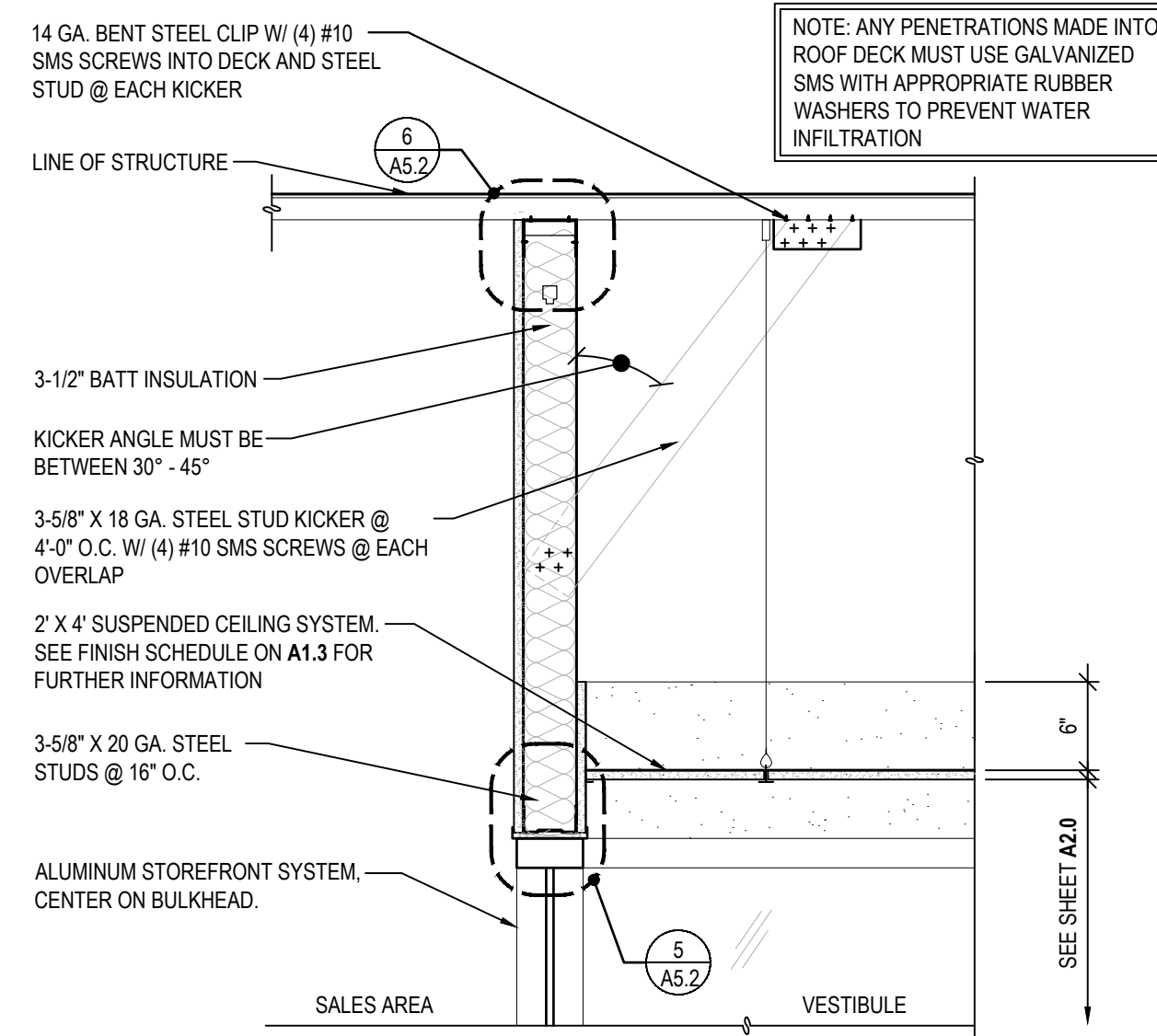
**A5.1**  
SHEET NO.



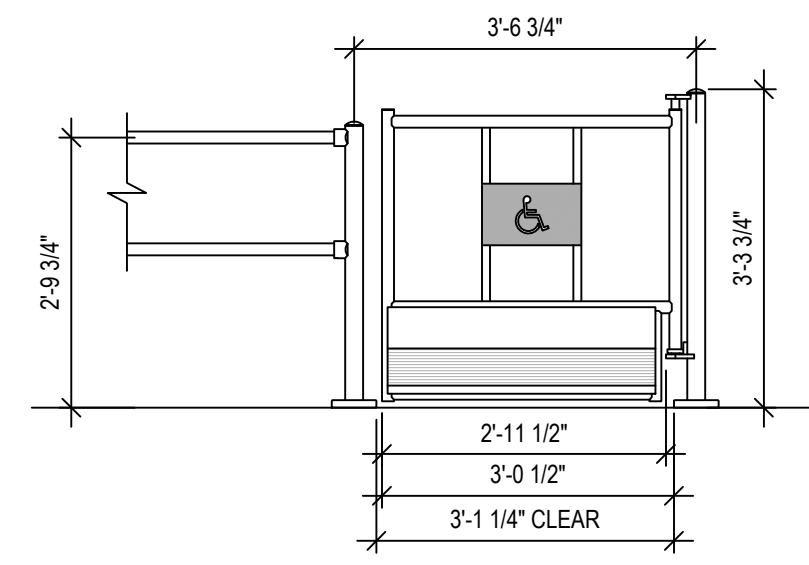


**GENERAL NOTES**

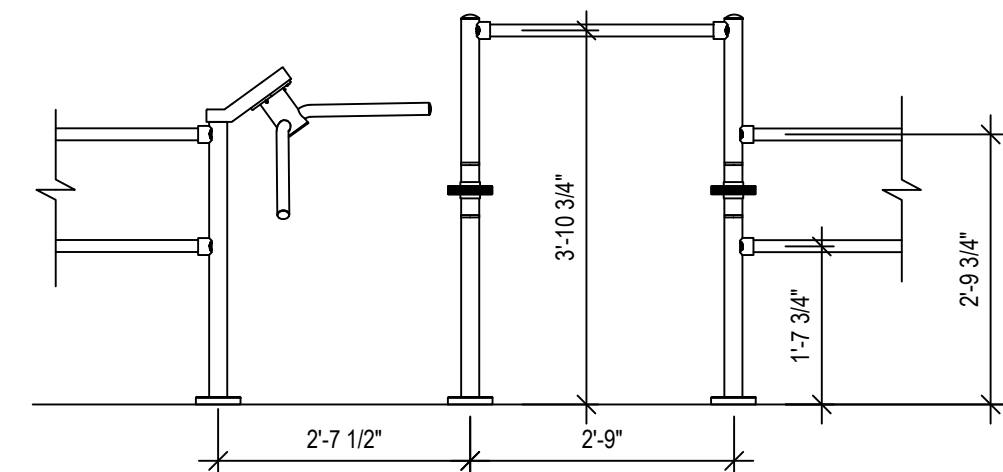
1. ALL TURNSTILE COMPONENTS TO BE SUPPLIED BY HFT, U.N.O.
2. ALL WORK TO BE DONE BY G.C., U.N.O.
3. SEE SHEET A0.0 FOR ADDITIONAL INFORMATION.



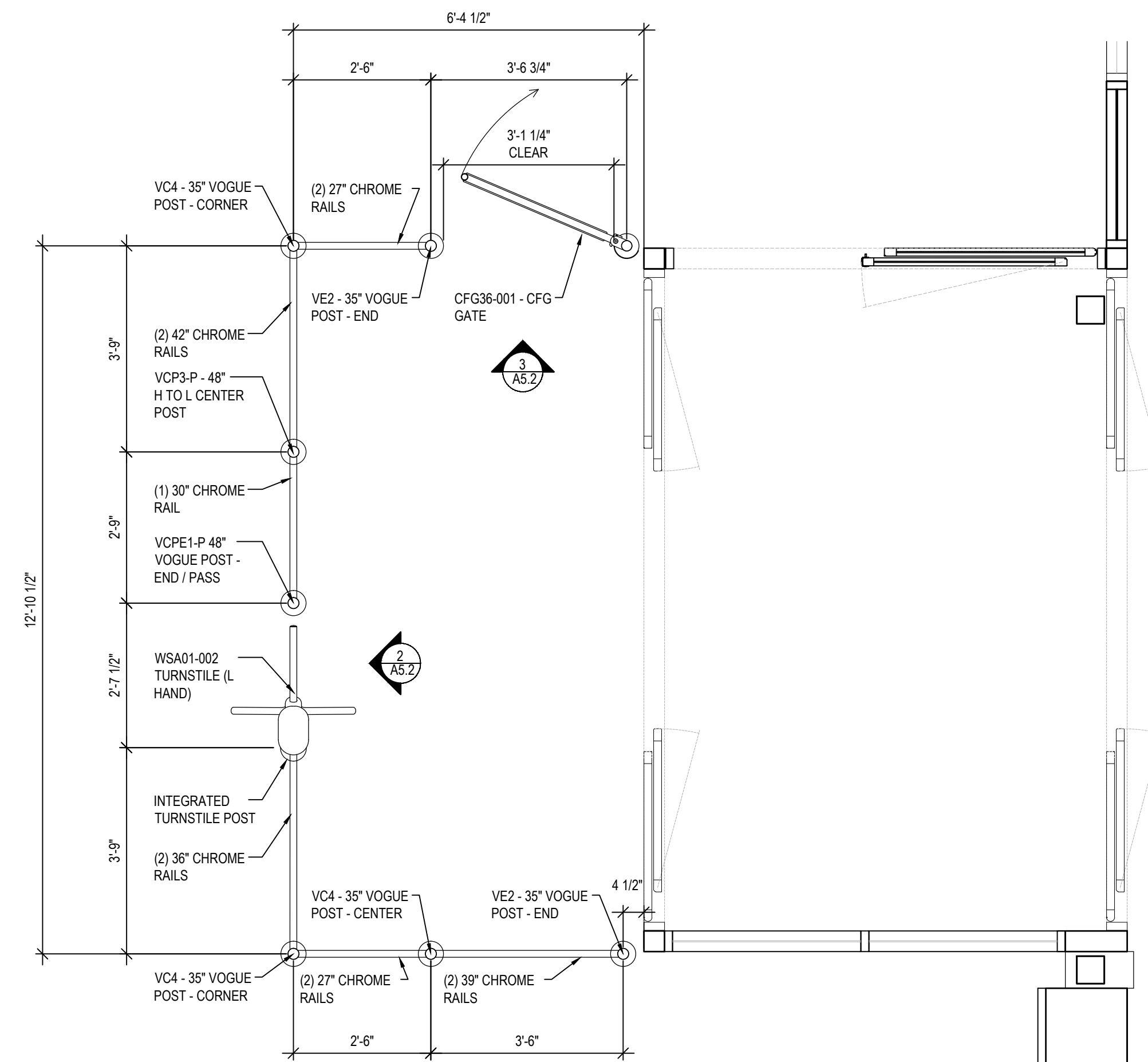
**4 VESTIBULE BULKHEAD SECTION**  
A5.2 SCALE: 1" = 1'-0"



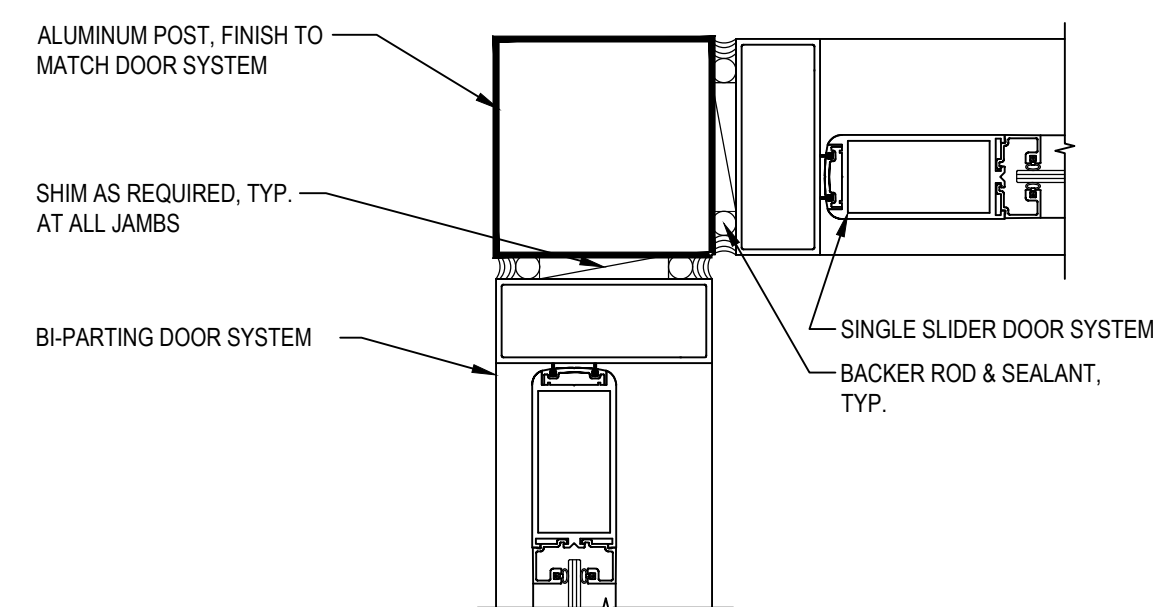
**3 GATE ELEVATION**  
A5.2 SCALE: 1/2" = 1'-0"



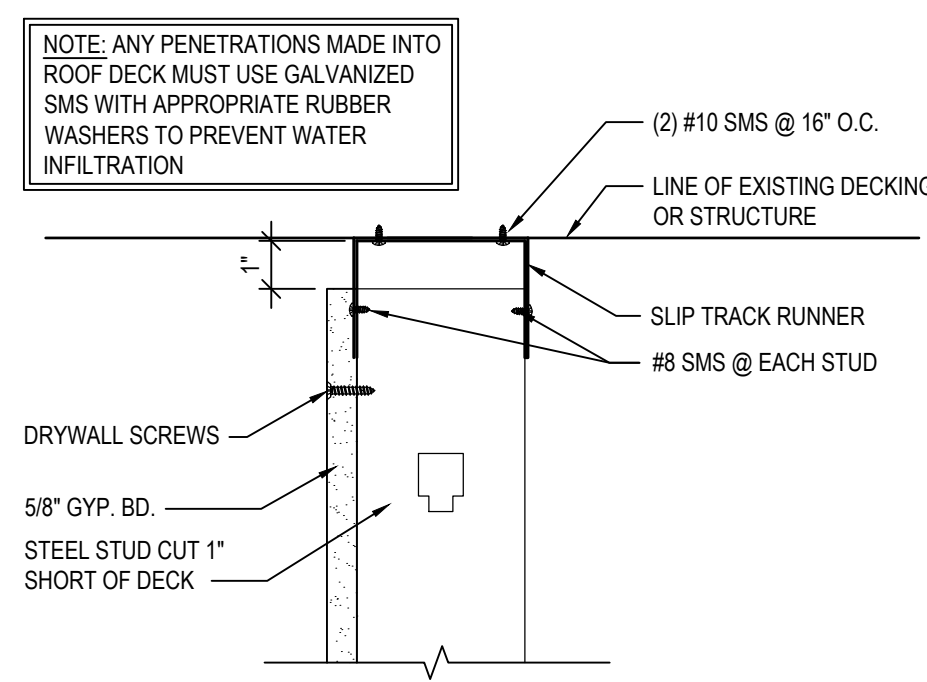
**2 TURNSTILE ELEVATION**  
A5.2 SCALE: 1/2" = 1'-0"



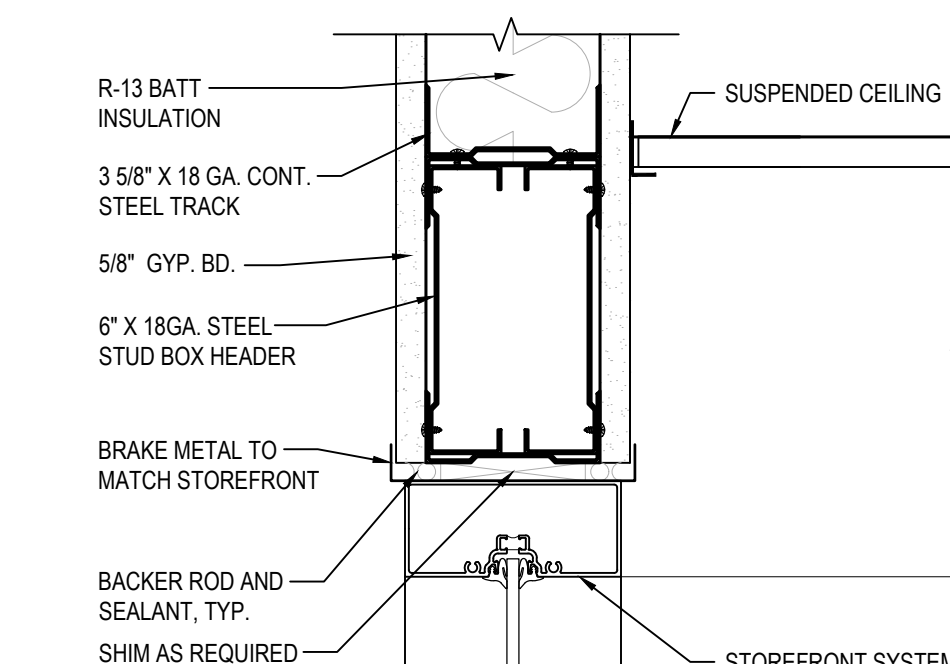
**1 TURNSTILE PLAN DETAIL**  
A5.2 SCALE: 1/2" = 1'-0"



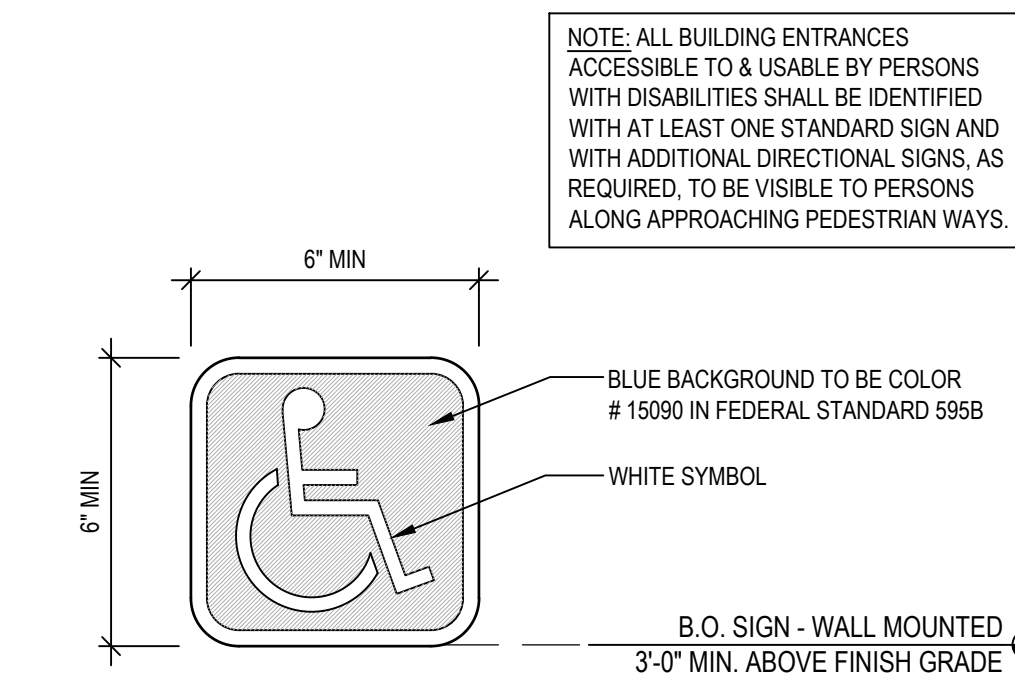
**7 STOREFRONT JAMB DETAIL**  
A5.2 SCALE: 3" = 1'-0"



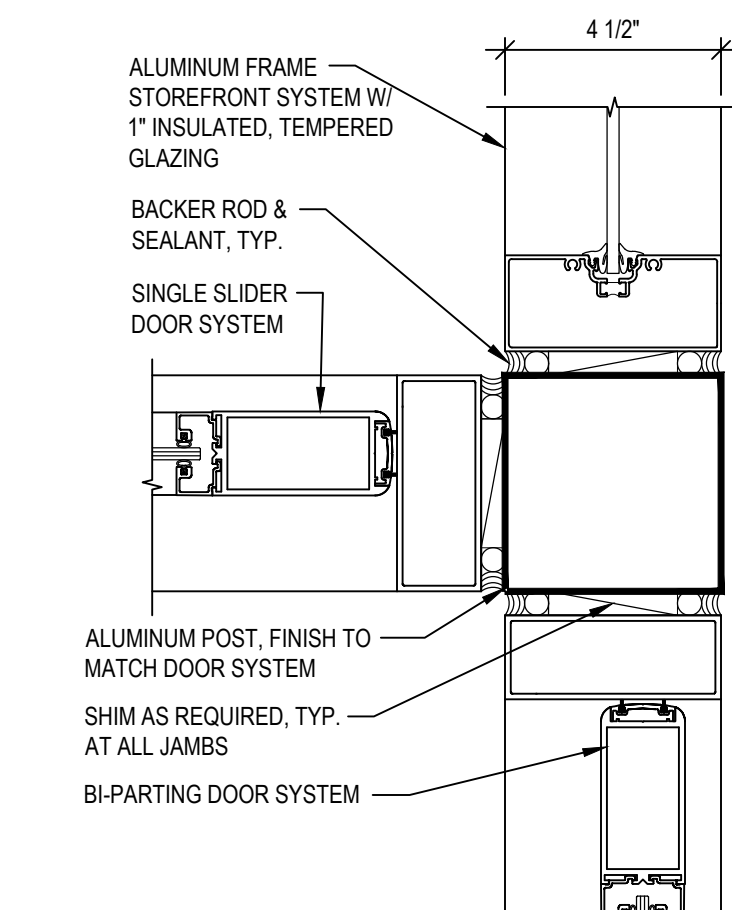
**6 TYPICAL SLIP TRACK DETAIL**  
A5.2 SCALE: 3" = 1'-0"



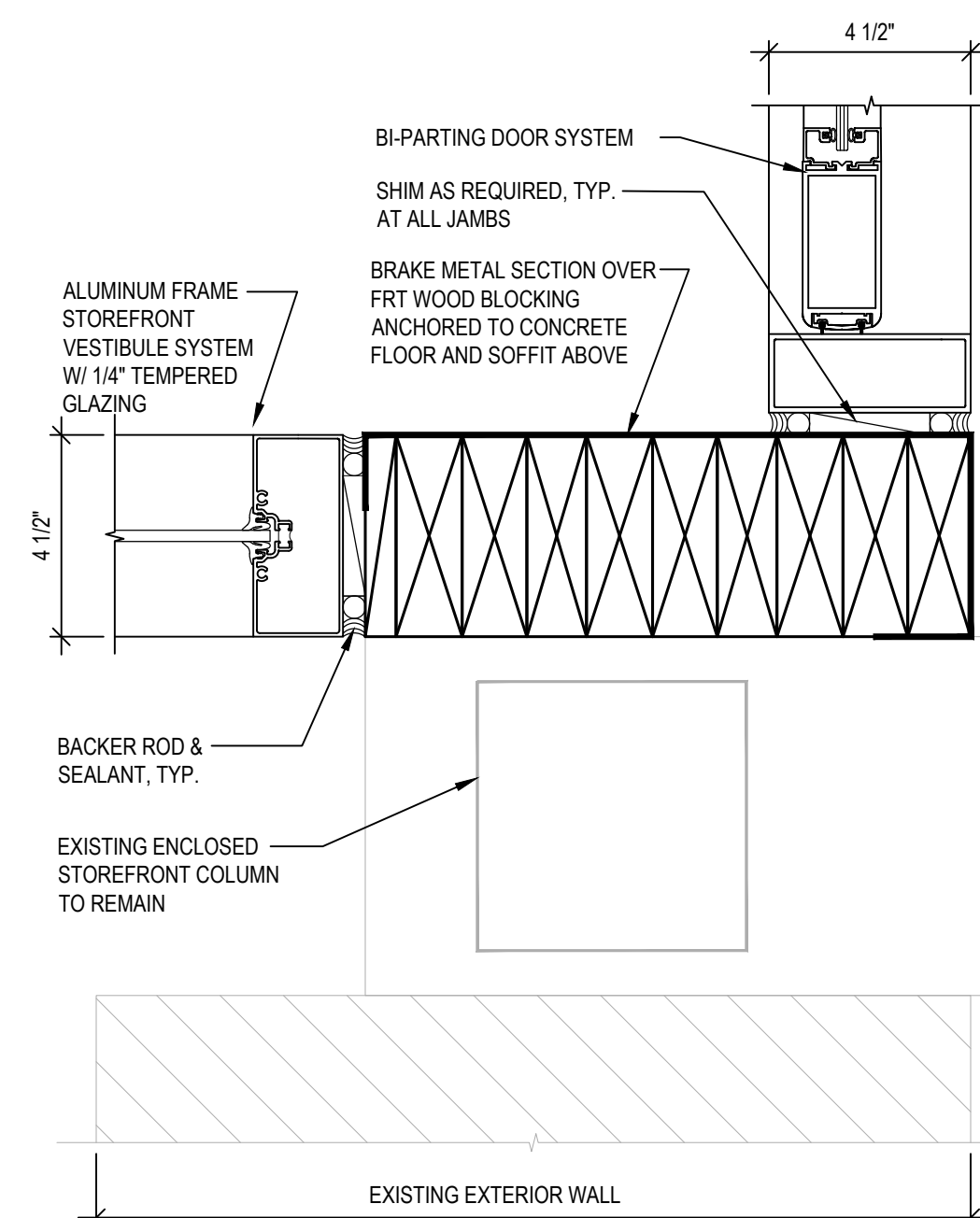
**5 VESTIBULE HEAD DETAIL**  
A5.2 SCALE: 3" = 1'-0"



**10 ACCESSIBLE ENTRANCE SIGNAGE**  
A5.2 SCALE: 3" = 1'-0"



**9 STOREFRONT JAMB DETAIL**  
A5.2 SCALE: 3" = 1'-0"



**8 STOREFRONT JAMB DETAIL**  
A5.2 SCALE: 3" = 1'-0"

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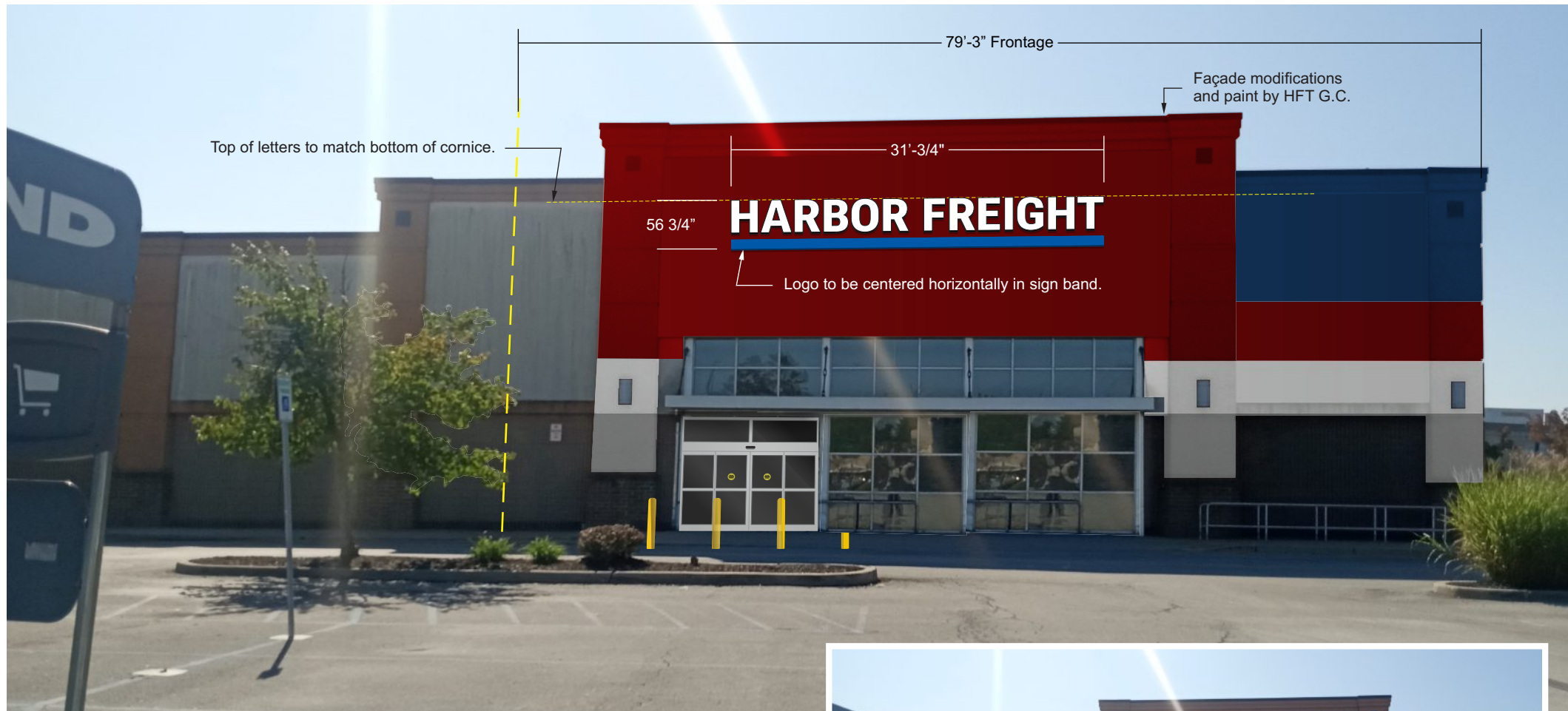
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ENLARGED  
TURNSTILE PLAN  
& DETAILS  
DATE 12/08/23  
JOB NO. 23322  
**A5.2**  
SHEET NO.



FRONT ELEVATION - Sign Type (A) (QTY:1)  
 Channel Letters on Wall  
 Scale: nts (146.90 sqft)



EXISTING CONDITIONS  
 Scale: NTS

Advance  
 your  
 brand.

610-522-5555  
 UrbanSignGroup.com  
 500 Pine St., Suite 3A  
 Holmes, PA 19043

Customer Approval
Signature _____
Date _____
Landlord Approval
Signature _____
Date _____
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SALES	JM	PM	SC
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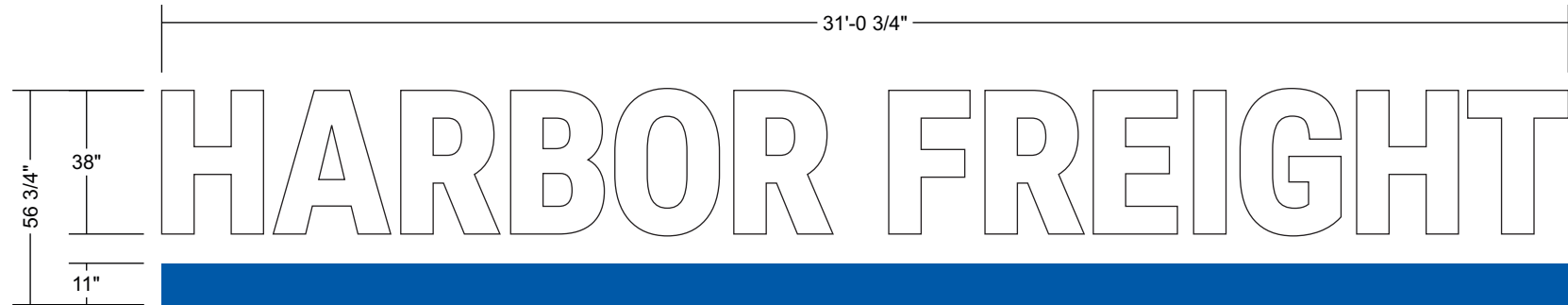
DATE 4/16/2024

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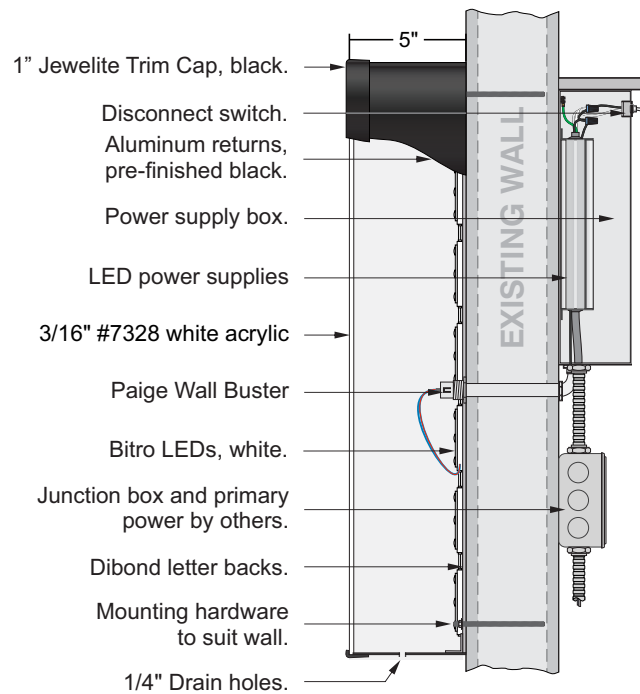
SHEET SIZE 8.5" X 14" PAGE 1

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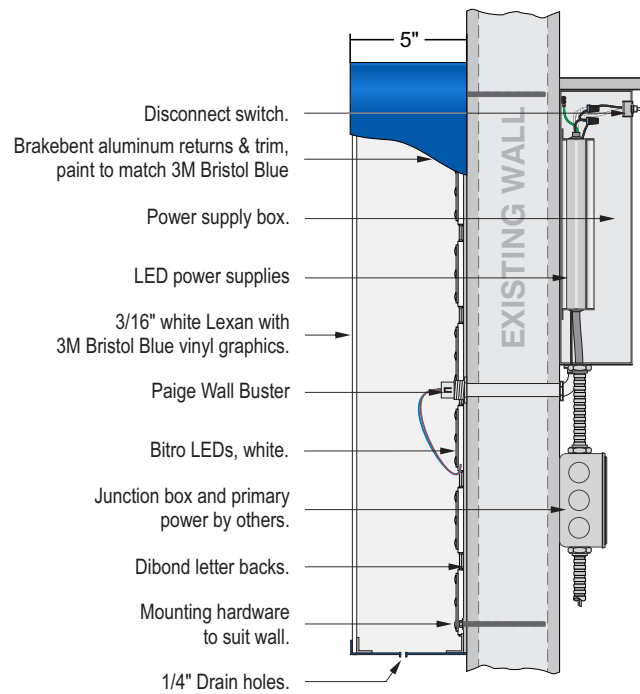
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**A CHANNEL LETTERS**  
Quantity: 1 (146.90 SQFT)  
Scale: 1/4" = 1'-0"



**SECTION @ LETTERS**  
Scale: Not to scale.



**SECTION @ RULE LINE**  
Scale: Not to scale.



**Match**  
3M 3630-97  
Bristol Blue

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SHEET SIZE 8.5" X 14" PAGE 2

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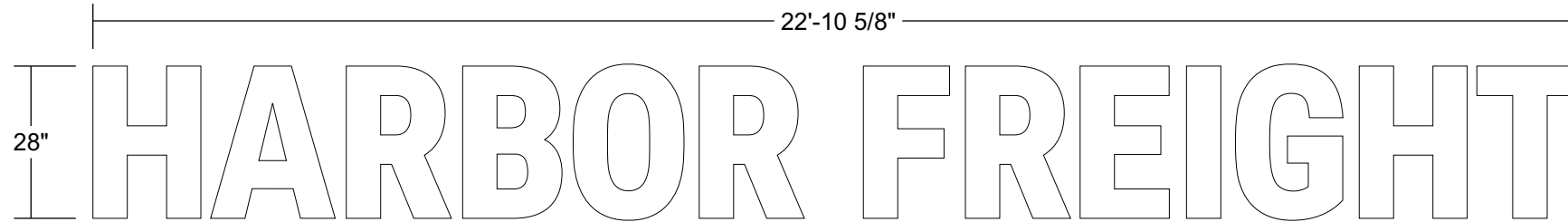
SHEET SIZE 8.5" X 14" PAGE 3



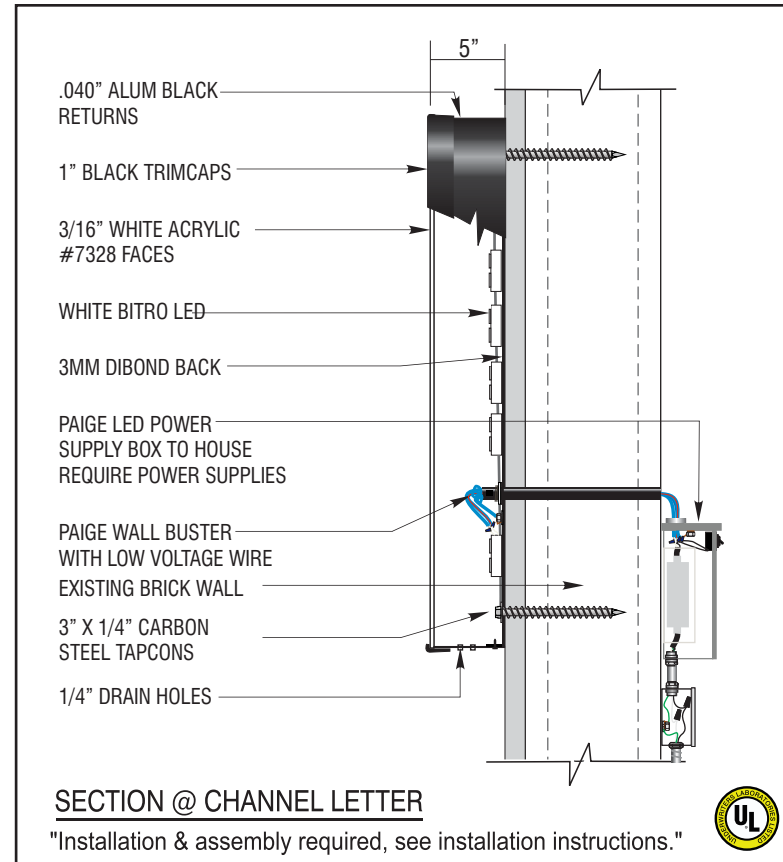
SIDE ELEVATION - Sign Type (B) (QTY:1)  
Channel Letters - Mounted To Wall  
Scale: 1/8" = 1'-0" = 1' (53.40 SQ FT)



EXISTING CONDITIONS  
Scale: NTS



SIDE ELEVATION - Sign Type (B) (QTY:1)  
 Channel Letters - Mounted To Wall  
 Scale: 3/8" = 1' (53.40 SQ FT)



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\_\_\_\_\_  
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Date

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SHEET SIZE 8.5" X 14" PAGE 5

V1 **LOW PRICES** That Can't Be Beat 25'-6 5/8" 18"

Individually cut white vinyl letters.

V2 **GREAT TOOLS** for Every Job 23'-4 3/8" 18" 20 3/4"

Individually cut white vinyl letters.

V3 **VALUE** for the Hardworking 21'-2 1/2" 18" 20 3/8"

Individually cut white vinyl letters.

V4 **QUALITY** You Can Trust 19'-0" 18" 21 1/4"

Individually cut white vinyl letters.

**V INTERIOR VINYL LETTERS - FRONT VIEW**

Quantity: 1 each  
Scale: 3/8" = 1'-0"





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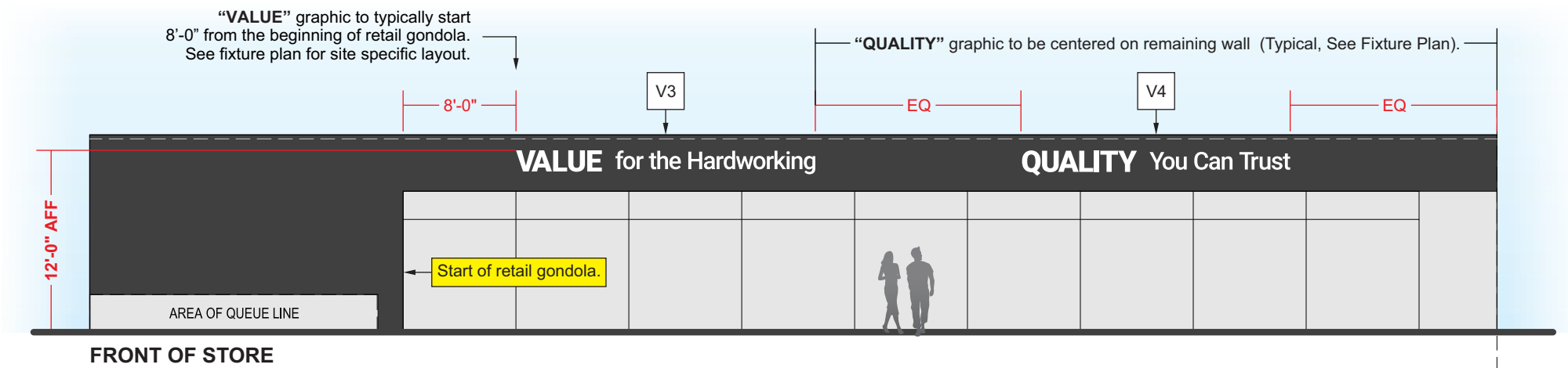
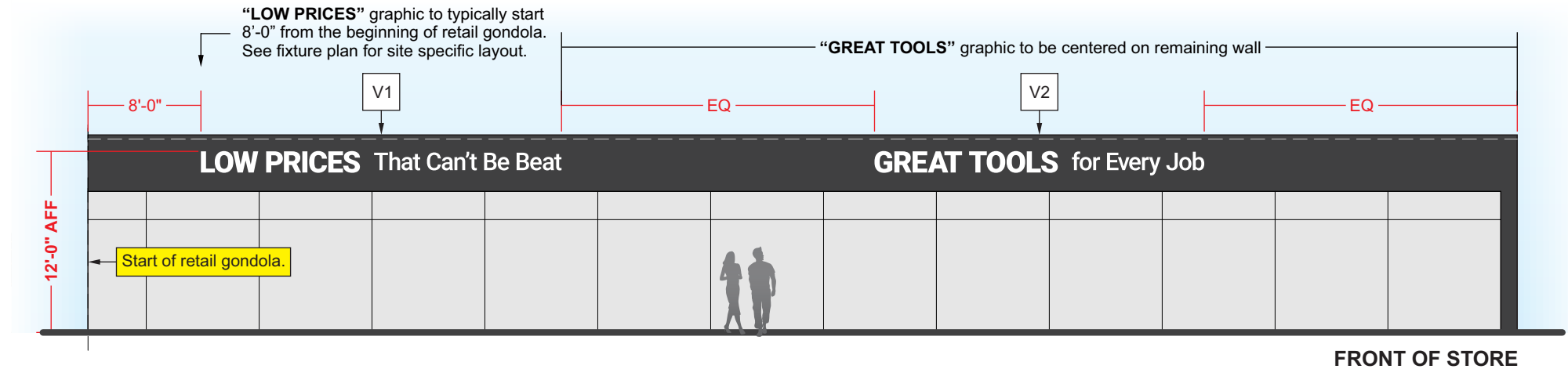
PROJECT 001569 Rev 03-V0

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SHEET SIZE 8.5" X 14" PAGE 7

Typical layout and spacing shown, see **Fixture Plan** for site specific layouts.



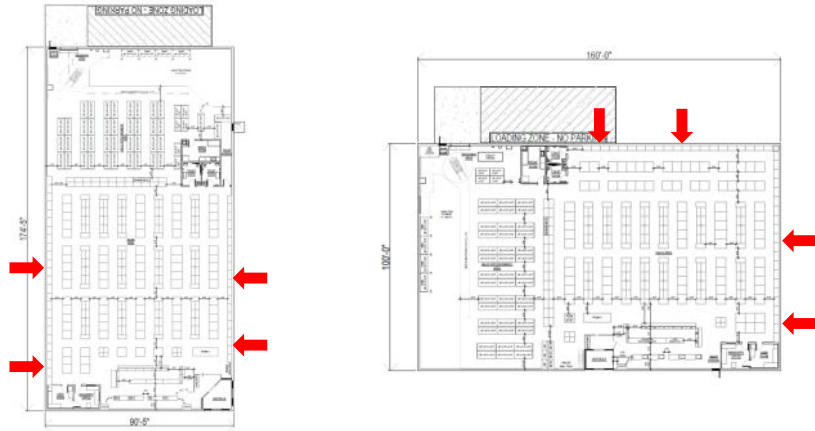
**Note:** Interior elevations are for *illustrative purposes* only and are not intended to represent site conditions.

V INTERIOR VINYL LETTERS - TYPICAL ELEVATION  
Scale: 3/32" = 1'-0"



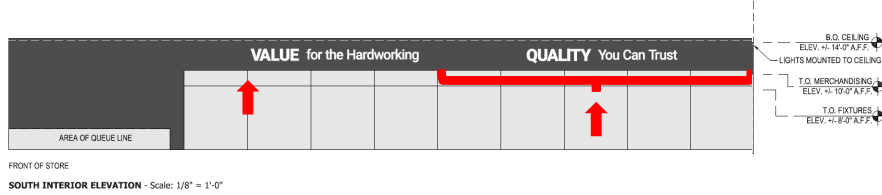
# Value Statements Placement

Value statement wall graphics should be placed on the interior side walls if ceiling heights permits - **Bottom of deck Ideal height is equal to or greater than 12'.** Value statements will be placed in equal distances on two of the interior walls. The top of sign at 12'-0 High. The ideal location is to be placed on either side walls. For stores that have a wall fixture dividing wall on the side the value statements will be relocated to the back wall. See example layouts below:

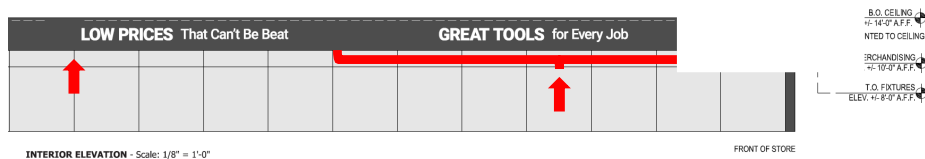


After determining the two walls that will receive the Value statements, use the existing wall fixture placement to determine the spacing. The first Value Statement will start after the first 8' Section. The Second Value Statement will be centered above the remaining sections.

**Example 9 Wall Sections: Start after first 8' Section- Then center over the remaining.**



**Example 12 Wall Sections: Start after first 8' Section- Then center over**



# Vinyl Installation Guide

## Materials

- 2" wide medium tack masking or painter's tape.
- Plastic squeegee
- Sharp blade; utility blade or X-Acto Knife
- Cleaning fluid (see below)
- Lint-free cloth.

## Preparation

Surfaces must be cleaned thoroughly with a **non-ammonia based household cleaner** or a 50/50 mix of 70% isopropyl alcohol and water Once cleaned wipe dry with a lint-free cloth.

**Note:** Do **NOT** use any glass cleaners when preparing application surface.

## Installation Conditions



**Fresh Paint**  
Wait at least 72 hours



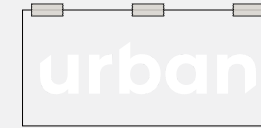
**Temperature**  
Between 45°F - 90°F



**Humidity**  
Below 90%

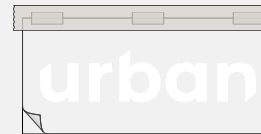
**1**

Using small pieces of tape along the top edge position the graphic ensuring its location is correct and it is level.



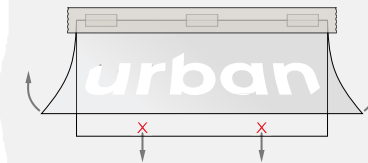
**2**

Using a continuous piece of tape across the top of the graphic. The tape should be half on the graphic liner and half on the surface the graphic is being applied to.



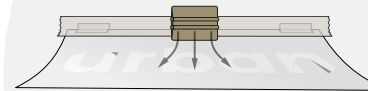
**3**

Lift the mask and graphic up and away from the wall surface using the tape hinge created in Step 2 to keep the graphic affixed to the wall.



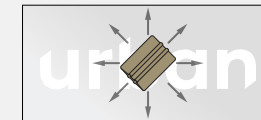
**4**

Holding the masked graphic use the squeegee to press it onto the wall. Use smooth strokes, apply gentle pressure, work from top to bottom. If creases or large bubbles appear gently lift graphic and reapply.



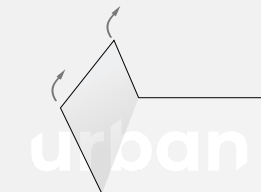
**5**

Once the masked graphic is on the wall use a squeegee, with firm but yielding pressure and working outward from the center, to carefully remove air and adhere the individual graphic pieces to the wall.



**6**

Gently lift and remove the graphic mask and all tape.



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### Customer Approval

Signature \_\_\_\_\_  
Date \_\_\_\_\_

### Landlord Approval

Signature \_\_\_\_\_  
Date \_\_\_\_\_

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