

Full Size Page 1 & 2 of the
Talcott Engineering Design

Site Plans

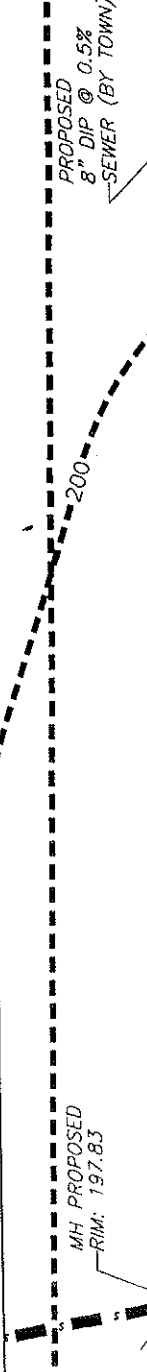
Dated 11-28-12 for
34 Plank Road (84-2-1.1)
Gjurashaj ZBA application

are available for viewing at the

Zoning Board of Appeals
Office located at
308 Gardnertown Road,
Newburgh, NY

ZONE
ZONE

STONE STREET



MH PROPOSED RIM: 197.83

30MPH

200'

24.00'

5.00'(TYP.)

861

RAIL

6" SIDEWALK PROPOSED CURB

861

F.F.E.=198.0

F.F. GARAGE=197.3

"HANDICAP PARKING" SIGN

RAILING

18.00'(TYP.)

9.00'(TYP.)

PROPOSED 6" CONCRETE CURB(TYP.)

EDGE OF NEW 63.96'

MOUNTABLE CURB

EDGE OF EXISTING ASPHALT

ASPHALT PARKING AREA

CHAIN LINK FENCE

NOTE PARKING AS PER AGREEMENT IN L. 2033, P.736

MH RIM=197.2

TAX LOT 84-2-1.2

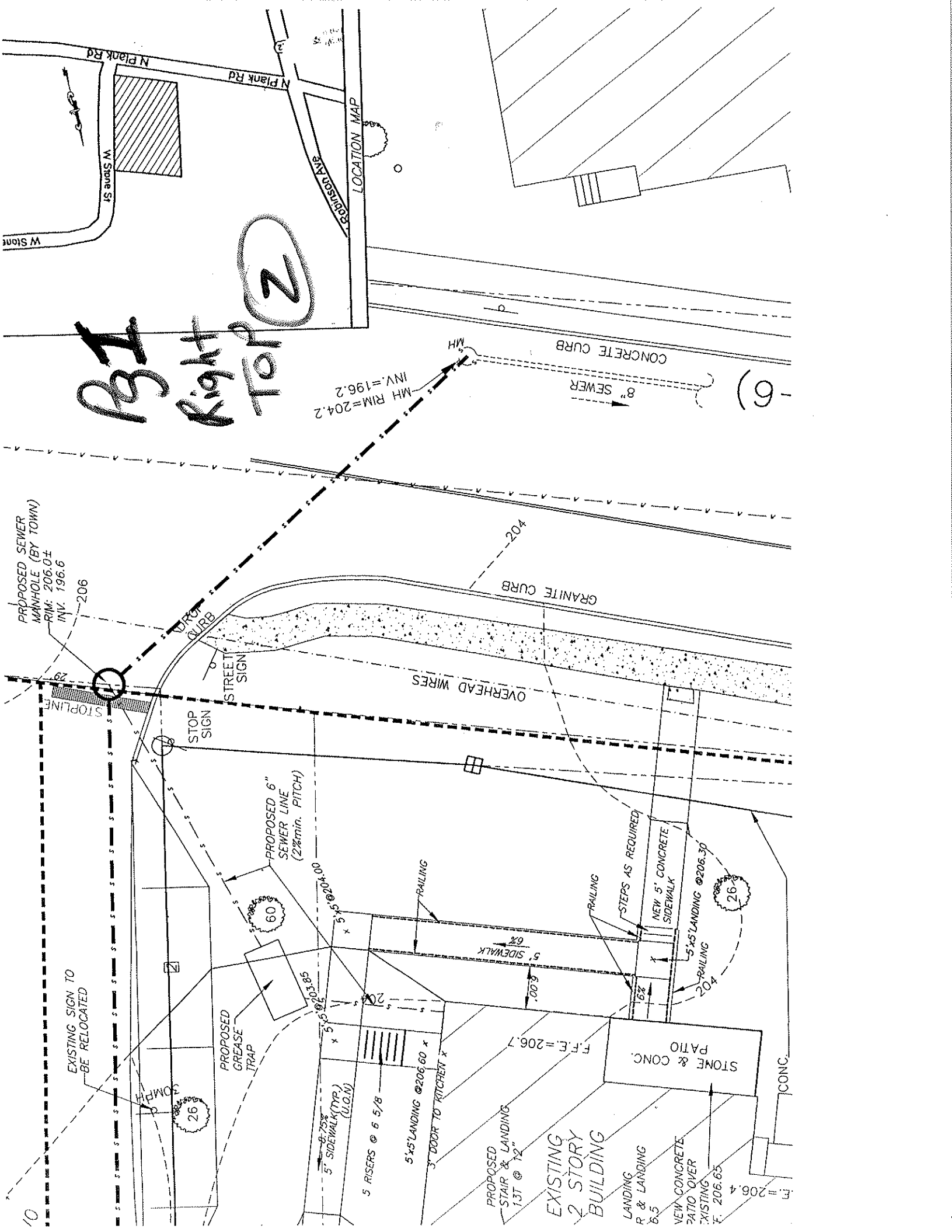
N/F L G & T REALTY COMPANY L.3412 P.66

MH RIM=196.8

201

1

10/21/08



B31
Right
TOP 2

-6-

LOCATION MAP

PROPOSED SEWER MANHOLE (BY TOWN)
 RIM: 206.0±
 INV. 196.6

MH
 INV. = 196.2
 MH RIM = 204.2

8" SEWER
 CONCRETE CURB

GRANITE CURB

OVERHEAD WIRES

STOP SIGN
 STREET SIGN

PROPOSED 6" SEWER LINE
 (2%min. PITCH)

STEPS AS REQUIRED
 NEW 5" CONCRETE SIDEWALK

STONE & CONC. PATIO

EXISTING 2 STORY BUILDING

EXISTING SIGN TO BE RELOCATED

PROPOSED GREASE TRAP

PROPOSED STAIR & LANDING
 7.3T @ 12"

LANDING R & LANDING

NEW CONCRETE PATIO OVER EXISTING

F. = 206.4

F. = 206.7

CONC.

10

STOPLINE

UPPER CURB

206
 206
 206

204

60

26

26

5' SIDEWALK (TYP.) (U.O.N.)

5 RISERS @ 6 5/8"

5'x5' LANDING @ 206.60 x

3' DOOR TO KITCHEN x

RAILING

5' SIDEWALK

RAILING

5'x5' LANDING @ 206.30

RAILING

4'-0"

6"

6"

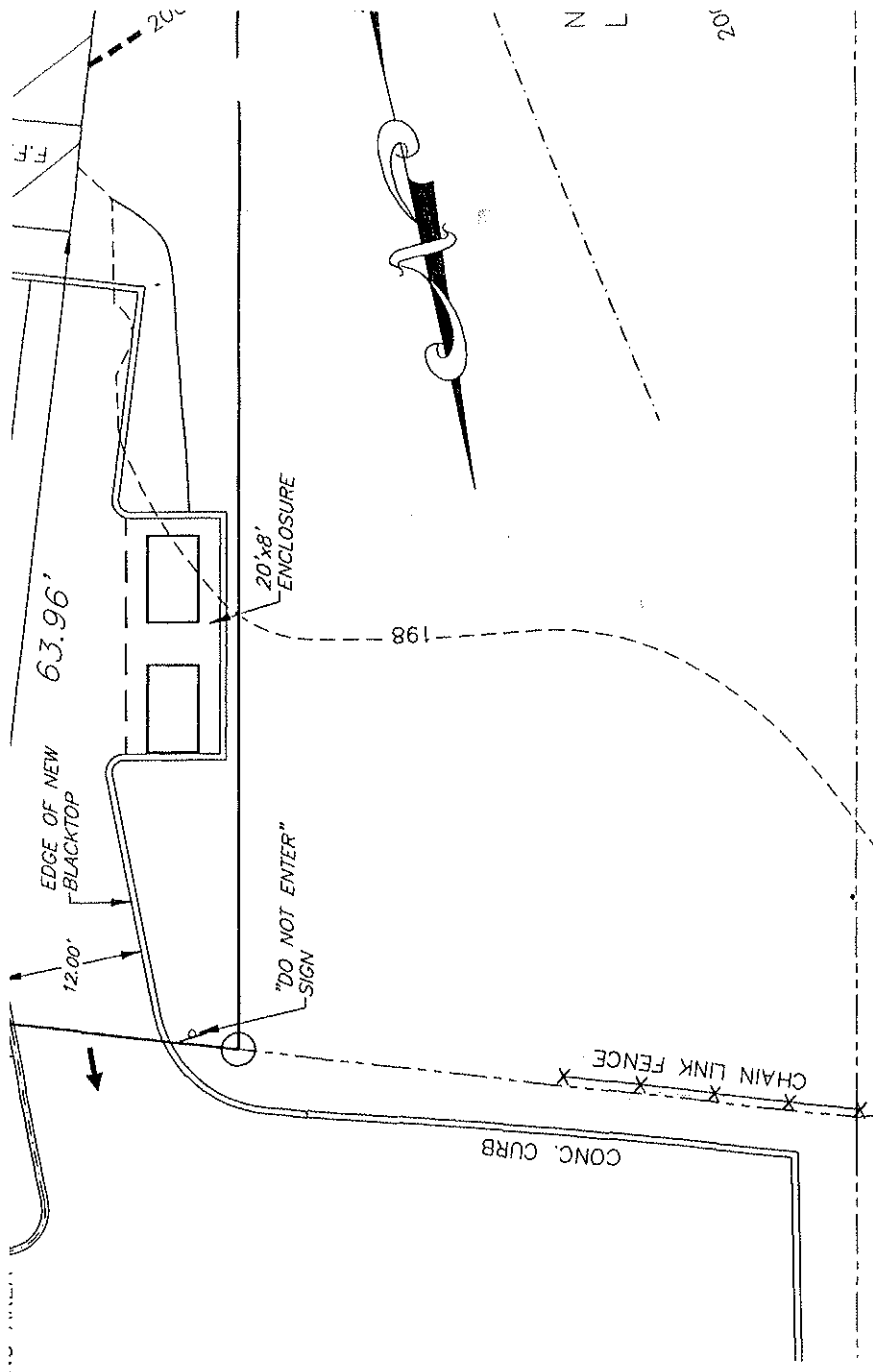
6"

6"

6"

6"

6"



LEGEND

- PROPERTY LINE EXISTING
- — — — — PROPERTY LINE ADJOINING
- - - - - EXISTING CONTOURS (2')
- - - - - EXISTING CONTOURS (10')
- — — — — CONTOURS PROPOSED (2')
- — — — — CONTOURS PROPOSED (10')
- — — — — EASEMENT
- - - - - SEWER LINE
- - - - - WATERLINE

3

Don Lettston

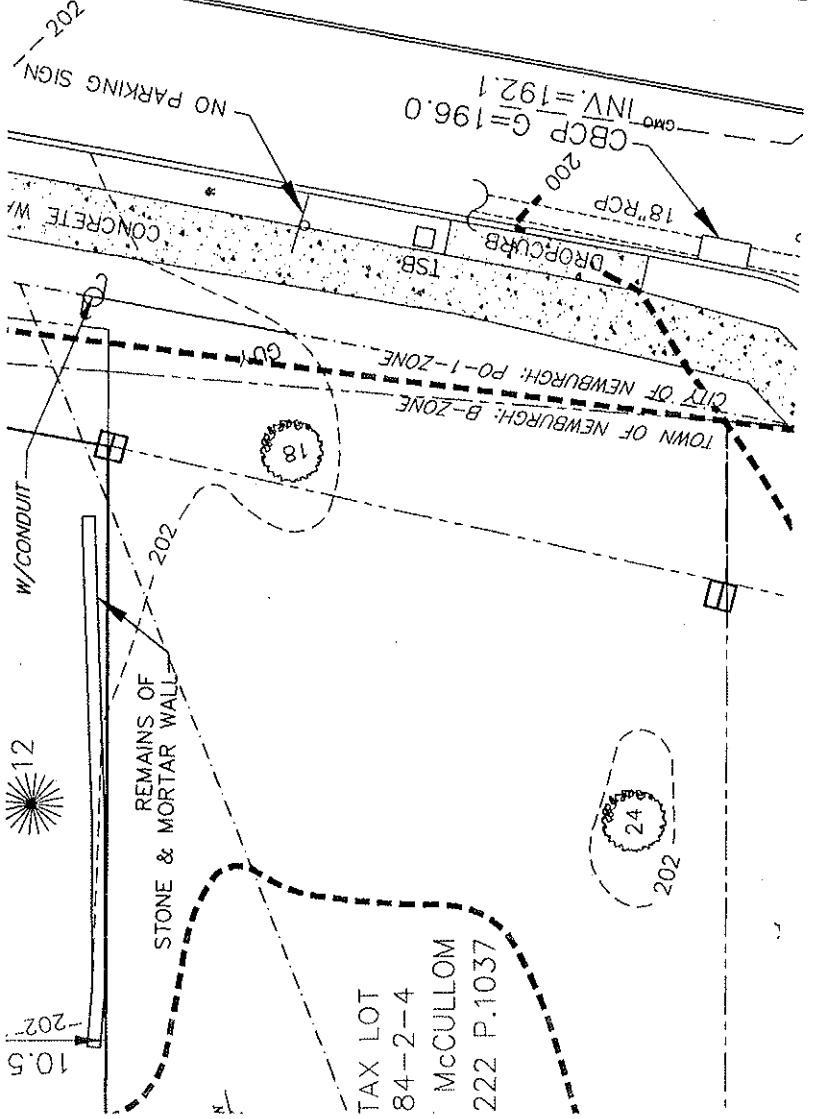
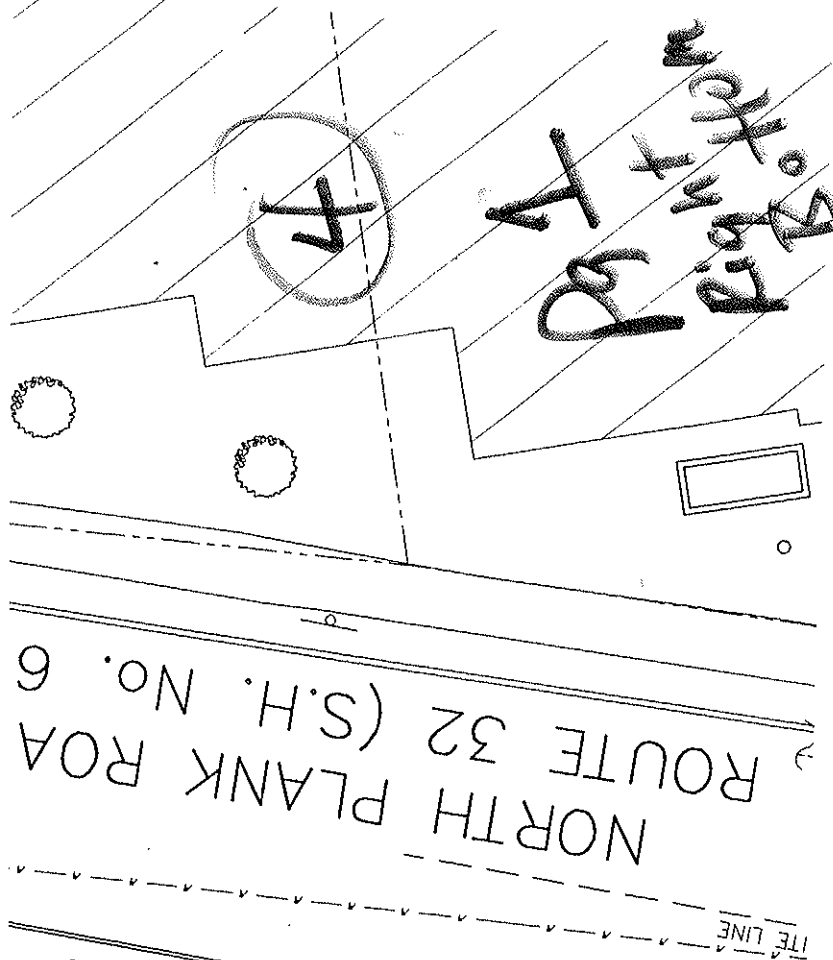
ZONING SCHEDULE

B ZONE: USE D.15. RESTAURANT

REQUIRED

PROPOSED

MINIMUM LOT AREA	MINIMUM YARDS (feet)	MINIMUM LOT WIDTH (feet)	MINIMUM LOT DEPTH (feet)	MAXIMUM BUILDING COVERAGE (%)	MAXIMUM SURFACE COVERAGE (%)	MAXIMUM HEIGHT
40,000sf.	50'	50'	50'	40%	80%	35'
*14,218sf.	50'	50'	50'	40%	80%	35'
*31.3'±(N. PLANNING)	50'	50'	50'	40%	80%	35'
*32.4'±(STONE)	50'	50'	50'	40%	80%	35'
64'±	30'	30'	30'	40%	80%	35'
*10.5'±	15'	15'	15'	40%	80%	35'
N/A	30'	30'	30'	40%	80%	35'
*100.4'±	150'	150'	150'	40%	80%	35'
*141.4'±	150'	150'	150'	40%	80%	35'
14% ±	40%	40%	40%	40%	80%	35'
65% ±	80%	80%	80%	40%	80%	35'
<35'	75'	75'	75'	40%	80%	35'



10.5
-202

STONE & MORTAR WALL

REMAINS OF

W/CONDUIT

TAX LOT
84-2-4
McCULLOM
222 P.1037

NO PARKING SIGN

CONCRETE W.

TOWN OF NEWBURGH: B-ZONE
CITY OF NEWBURGH: PO-1-ZONE

CBCP G=196.0
GMO INV.=192.1

24
202

18
202

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

TALCOTT ENGINEERING DESIGN PLLC

1 GARDNERTOWN ROAD
NEWBURGH, NY 12550
(845)-569-8400
(FAX)(845)-569-4583
TALCOTTDESIGN12@GMAIL.COM

ENGINEER



CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

SITE PLAN FOR:
VALON & VATAN
34 NORTH PLANK RD, 84-2-1.1
TOWN NEWBURGH, ORANGE COUNTY NY

APPLICANT:

ZEF GUJRASHAJ
126 BARBARA DRIVE
NEWBURGH, NY 12550

RECORD OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNERS OF THE PROPERTY HERON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

ZEF GUJRASHAJ
126 BARBARA DRIVE
NEWBURGH, NY 12550

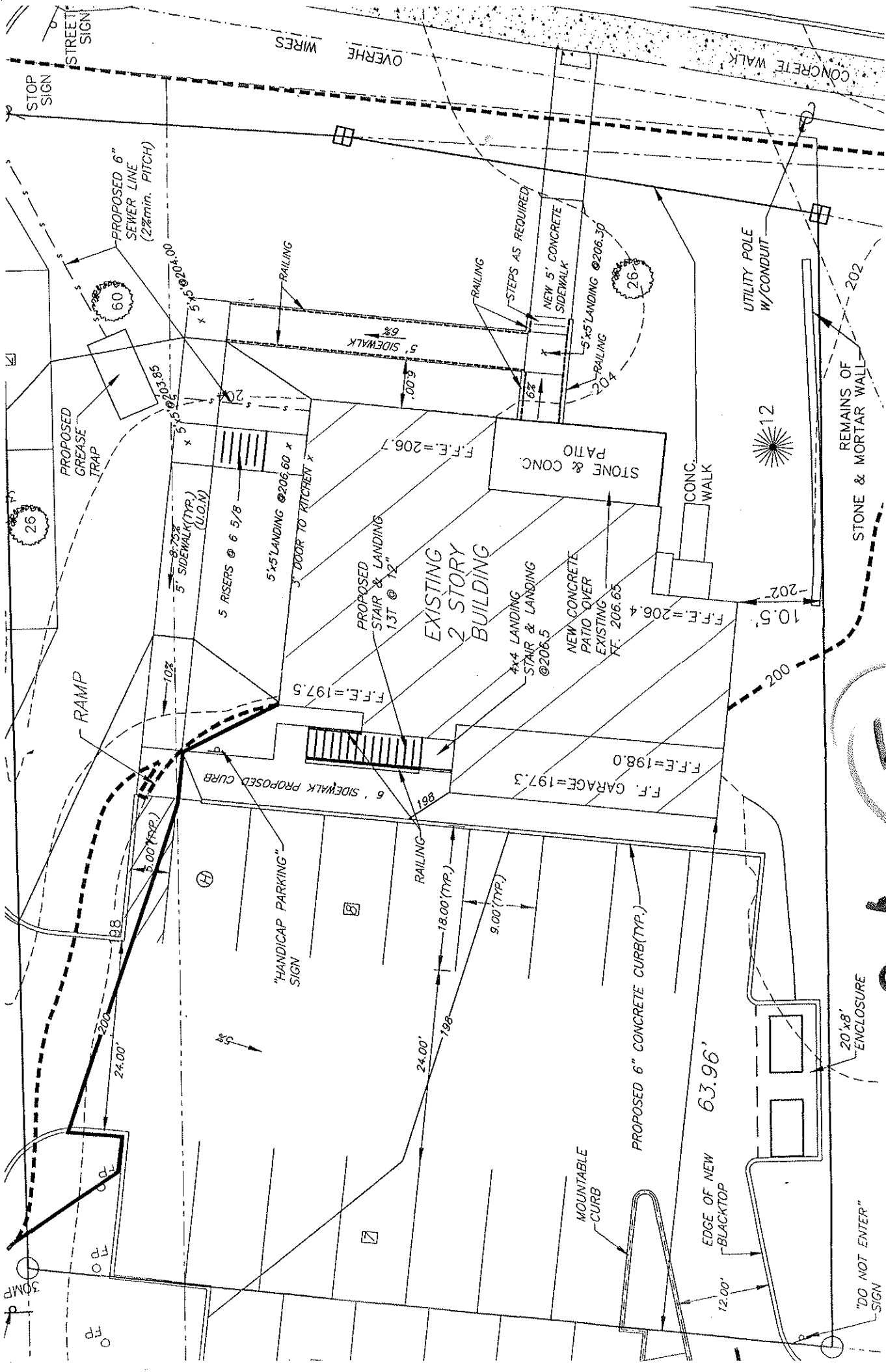
RECORD OWNER'S SIGNATURE

NOTE
PROPOSED IMPERVIOUS AREA IS 9,263sf.
(INCREASE OF 4,608sf.)

PARKING TABLE
80 SEATS / 1 SPACE PER 4 SEATS= 20 SPACES REQUIRED
22 SPACES PROVIDED INCLUDING 1 HANDICAPPED

REVISIONS

REV.	DATE	BY	DESCRIPTION



Centered

5

Part

ENCLOSURE

"DO NOT ENTER" SIGN

20' x 8'

63.96'

EDGE OF NEW BLACKTOP

12.00'

MOUNTABLE CURB

PROPOSED 6" CONCRETE CURB (TYP.)

RAILING

18.00' (TYP.)

9.00' (TYP.)

24.00'

198

"HANDICAP PARKING" SIGN

861

6' SIDEWALK PROPOSED CURB

5.00' (TYP.)

10%

5' SIDEWALK (TYP.) (U.O.I.N)

8-7/8"

5 RISERS @ 6 5/8"

5' x 5' LANDING @ 206.60

3' DOOR TO KITCHEN

5' x 5' LANDING @ 206.30

5' SIDEWALK

6%

RAILING

STEPS AS REQUIRED

NEW 5' CONCRETE SIDEWALK

5' x 5' LANDING @ 206.30

RAILING

STOP SIGN

STREET SIGN

OVERHEAD WIRES

CONCRETE WALK

UTILITY POLE W/ CONDUIT

202

REMAINS OF STONE & MORTAR WALL

202

STONE & CONC. PATIO

F.F.E. = 206.7

CONC. WALK

F.F.E. = 206.4

NEW CONCRETE PATIO OVER EXISTING

F.F. = 206.65

4x4 LANDING STAIR & LANDING @ 206.5

PROPOSED STAIR & LANDING 13T @ 12"

EXISTING 2 STORY BUILDING

F.F.E. = 197.5

4x4 LANDING STAIR & LANDING @ 206.5

NEW CONCRETE PATIO OVER EXISTING

F.F.E. = 198.0

F.F. GARAGE = 197.3

60

26

PROPOSED GREASE TRAP

PROPOSED 6" SEWER LINE (2% MIN. PITCH)

30MP

RAMP

24.00'

24.00'

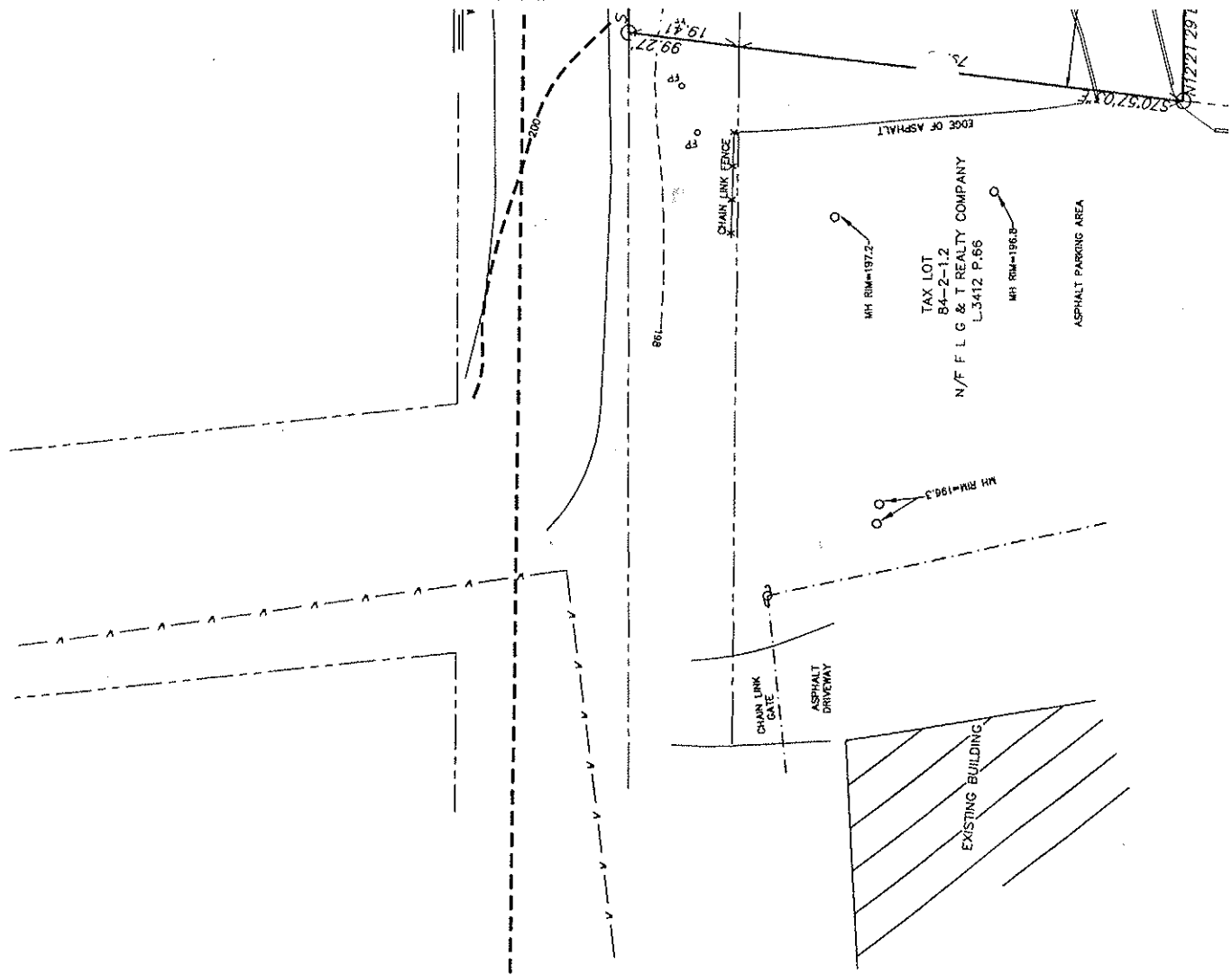
24.00'

24.00'

24.00'

24.00'

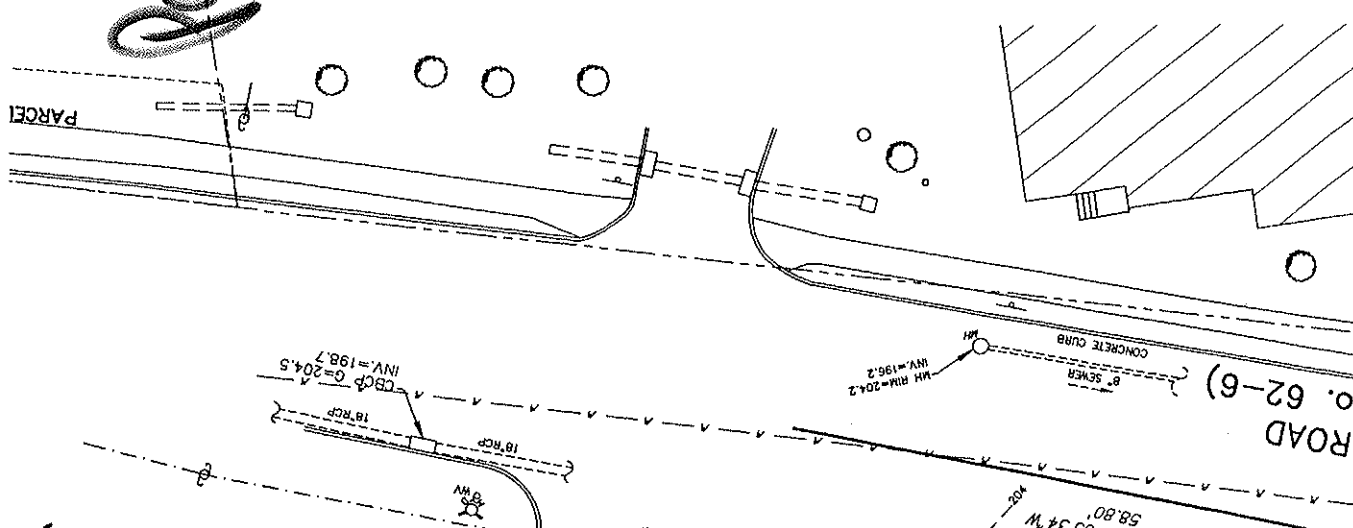
201
Left



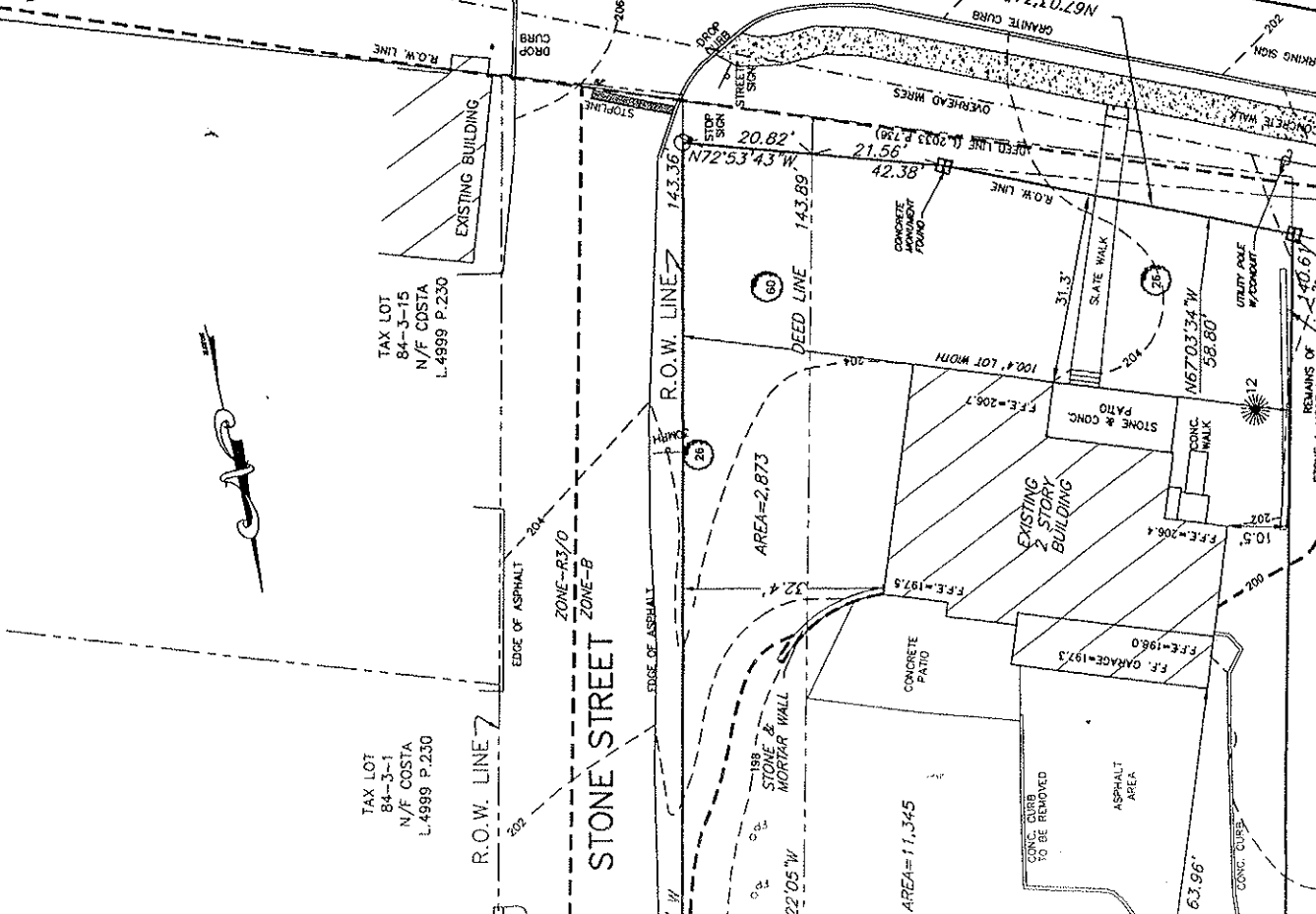
Part 2 (circled)

Right Top

TAX LOT 3-4-2.2
N/F F. L. G. & T. REALTY CO.
L.2913 P.39



ROAD 0.62-6



TAX LOT 84-3-15
N/F COSTA
L.4999 P.230

TAX LOT 84-3-1
N/F COSTA
L.4999 P.230

AREA=11,345

AREA=2,873

STONE & CONC PATIO
F.F.E.=206.7

EXISTING 2 STORY BUILDING
F.F.E.=197.5

CONC PATIO
F.F.E.=198.0

F.F. GARAGE=197.5

CONC. CURB TO BE REMOVED
ASPHALT AREA

63.96'



REMAINING OF 140.6'

EDGE OF ASPHALT

STONE STREET

R.O.W. LINE

EDGE OF ASPHALT

ZONE-R3/D

ZONE-B

DROP CURB

R.O.W. LINE

18" RCP

CONCRETE MONUMENT FOUND

CONCRETE CURB

MARKING SIGN

OVERHEAD MRES

STREET SWICH

18" RCP

CONCRETE CURB

8" SEWER

CONCRETE CURB

MARKING SIGN

OVERHEAD MRES

STREET SWICH

18" RCP

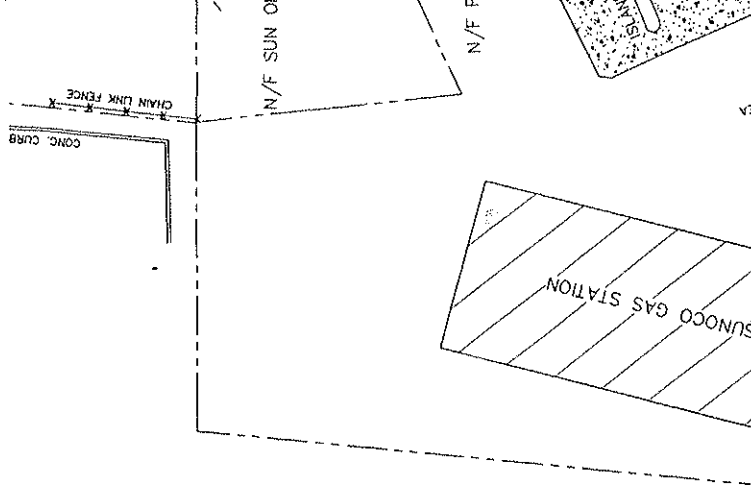
CONCRETE CURB

8" SEWER

CONCRETE CURB

MARKING SIGN

Handwritten notes:
 1083
 251051054



LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- - - EXISTING CONTOURS (2')
- - - EXISTING CONTOURS (10')
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')
- - - EASEMENT
- s — s — SEMER LINE
- v — v — WATERLINE

ZONING SCHEDULE

B ZONE: USE D.15. RESTAURANT

	REQUIRED	EXISTING
MINIMUM LOT AREA	40,000sf.	*14,218sf. TOTAL
MINIMUM YARDS (feet)		
FRONT	50'	*31.3'±(N. PLANK R.)
REAR	50'	*32.4'±(STONE ST)
SIDE	30'	64'±
ONE	15'	*10.5'±
BOTH	30'	N/A
MINIMUM LOT WIDTH (feet)	150'	*100.4'±
MINIMUM LOT DEPTH (feet)	150'	*141.4'±
MAXIMUM BUILDING COVERAGE (%)	40%	14%±
MAXIMUM SURFACE COVERAGE (%)	80%	33%±
MAXIMUM HEIGHT	35'	<35'

CALL BEFORE YOU DIG... IT'S THE LAW

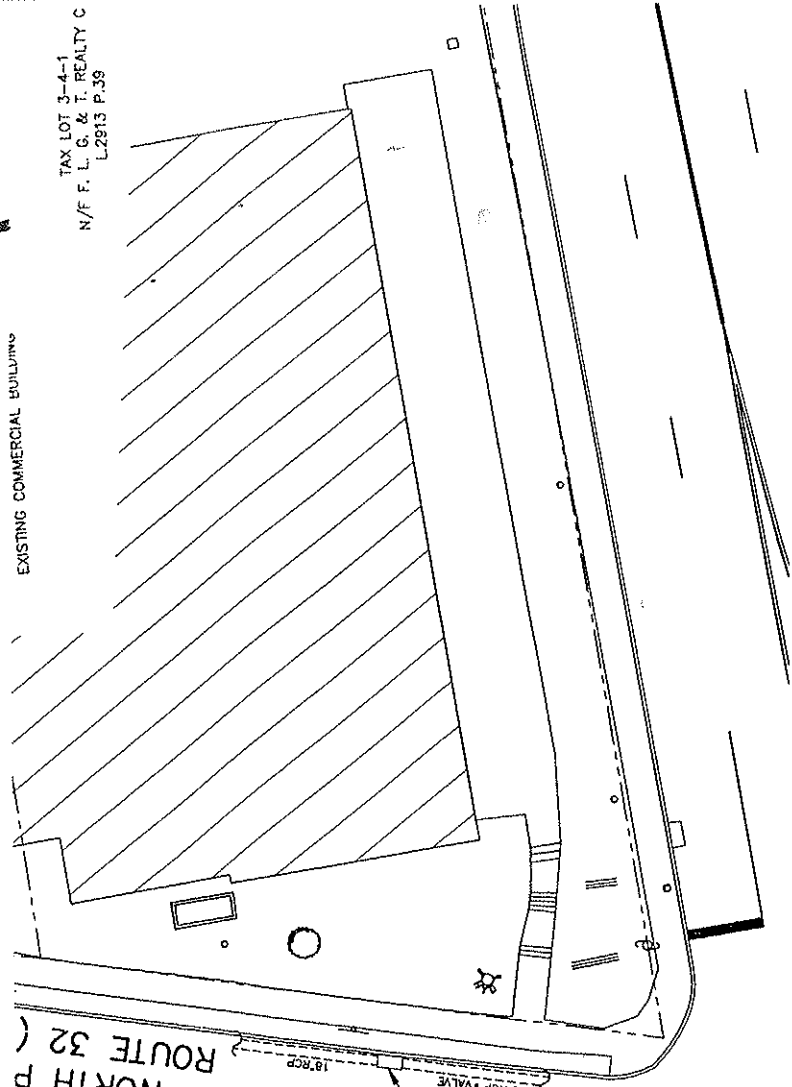
WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS & COSTLY— TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 1.800.272-4480 (IN ALL OTHER AREAS OF THE STATE.)

* EXISTING NON-CONFORMING

Copy of Battery

EXISTING COMMERCIAL BUILDINGS

TAX LOT 3-4-1
N/F F. L. G. & T. REALTY C
L2913 P.39



THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

TALCOTT ENGINEERING DESIGN PLLC

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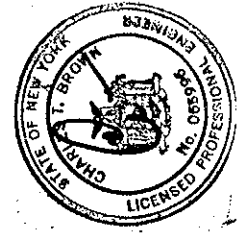
CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

EXISTING FEATURES
VALON & VATAN RESTAURANT
34 NORTH PLANK RD, 84-2-1.1
TOWN NEWBURGH, ORANGE COUNTY NY

DATE 11/28/12 SCALE 1"=20'
JOB NUMBER 12126-ADM SHEET NUMBER 2 OF 2

ENGINEER



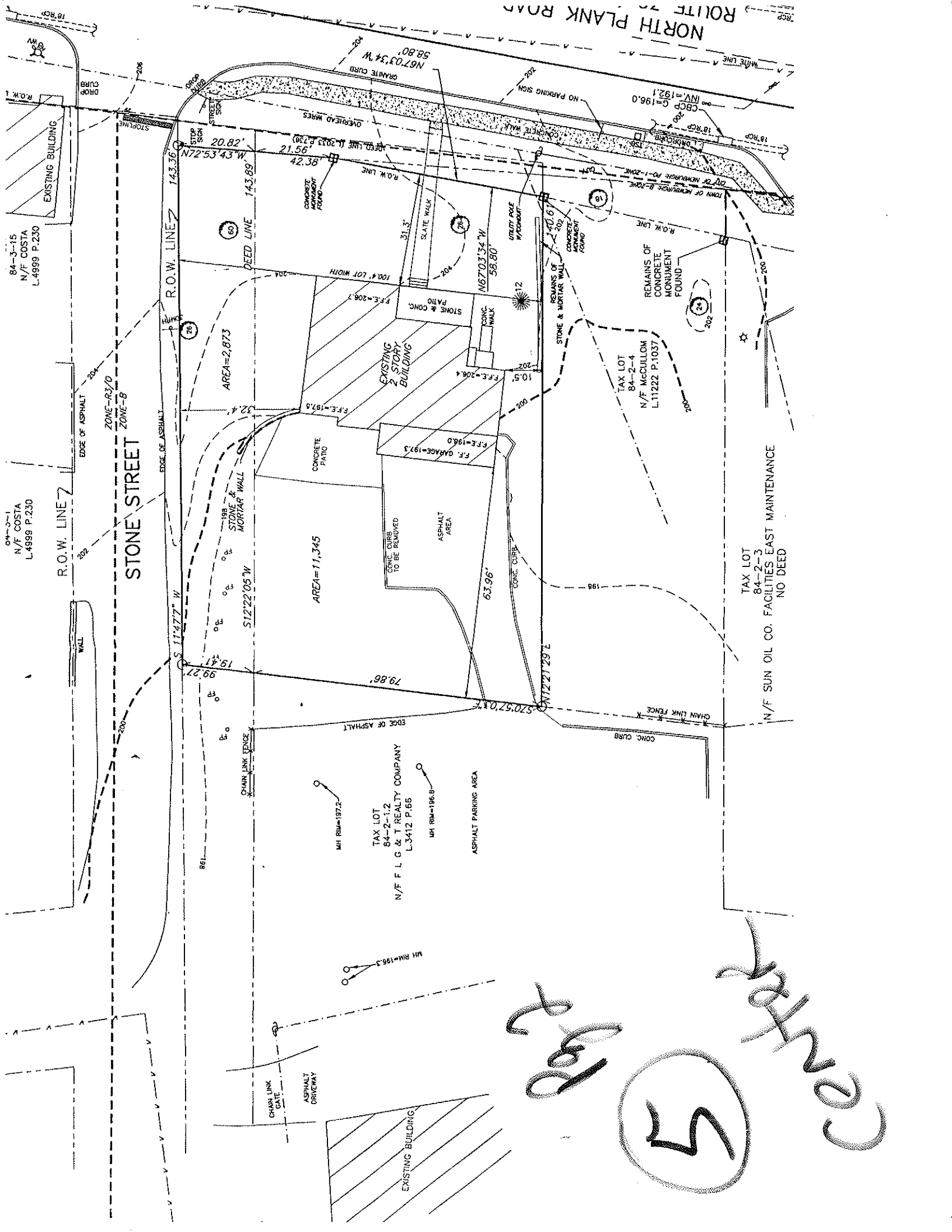
SURVEYOR



MAP REFERENCE
EXISTING FEATURES INCLUDING PROPERTY LINES BUILDINGS AND ROADWAYS
PER A SURVEY PERFORMED BY DARREN J. STRIDIRON, P.L.S. ENTITLED
"SURVEY OF PROPERTY LOCATED AT TAX LOT 84-2-1.1, LAST REVISED
NOVEMBER 2012"

NOTE
EXISTING LOT IMPERVIOUS AREA IS 4,655sf.

REV.	DATE	BY	DESCRIPTION
2	12/04/12	RBM	REVISED PER SURVEYOR



2092

5

CONTRACT

84-3-15
N/F COSTA
L.4999 P.230

84-2-3
N/F COSTA
L.4999 P.230

84-2-1.2
N/F F L G & T REALTY COMPANY
L.3412 P.65

84-2-4
N/F McCULLOM
L.11222 P.1037

84-2-5
N/F SUN OIL CO. FACILITIES EAST MAINTENANCE
NO DEED

84-3-1
N/F COSTA
L.4999 P.230