



Steven M. Neuhaus
County Executive

Orange County Department of Planning
Submission Form for Mandatory Review of Local Planning Action
as per NYS General Municipal Law §239-l,m, & n

Referral ID#:
(County use only)

This form is to be completed by the local board having jurisdiction. Submittals from applicants will not be accepted unless coordinated with both the local board having jurisdiction and the County Department of Planning.

Please include all materials that are part of a "full statement" as defined by NYS GML §239-m (i.e. "all materials required by and submitted to the referring body as an application on a proposed action").

Municipality:	Town of Newburgh
Local Referring Board:	Zoning Board of Appeals
Applicant:	Zef Gjurashaj
Project Name:	VALON & VATAN RESTAURANT
Location of Project Site:	34 PLANK ROAD / Stone Road

Tax Map #:	84-2-1.1
Tax Map #:	
Tax Map #:	
Local File No.:	2549-16 A 2550-16 B
Size of Parcel*:	1.1 ACRES

*If more than one parcel, please include sum of all parcels.

Reason for County Review: within 500 FT. City of Newburgh & I 84

Current Zoning District (include any overlays): B

Type of Review:

Comprehensive Plan Update/Adoption

Zoning Amendment

Zoning District Change from _____ to _____

Ordinance Modification (cite section): _____

Local Law

Site Plan Sq. feet proposed (non-residential only): _____

Which approval is the applicant currently seeking? SKETCH / PRELIM / FINAL (circle one)

Subdivision Number of lots proposed: _____

Which approval is the applicant currently seeking? SKETCH / PRELIM / FINAL (circle one)

Special Use Permit

Lot Line Change

Variance AREA / USE (circle one) AREA closer than 15ft to streetline & MAXIMUM ALLOWED AMOUNT SIGNAGE

Other

Is this an update to a previously submitted referral? YES / NO (circle one)

Local board comments or elaboration:

Signature of local official: Date: 3/29/16 Chairperson Zoning Board of Appeals

Municipal Contact Phone Number: 845-566-4901 Title

If you would like the applicant to be cc'd on this letter, please provide the applicant's address:

Please return, along with full statement, to: Orange County Dept. of Planning 124 Main St. Goshen, NY 10924
Question or comments, call: 845-615-3840 or email: planning@orangecountygov.com



2550-16

(B)

1

TOWN OF NEWBURGH **Bull Statue**
Crossroads of the Northeast **(8'x6')**

ZONING BOARD OF APPEALS
OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

APPLICATION

OFFICE OF ZONING BOARD
(845) 566-4901

DATED: 02/23/16

TO: THE ZONING BOARD OF APPEALS
THE TOWN OF NEWBURGH, NEW YORK 12550

I (WE) Zef Gjurashaj PRESENTLY

RESIDING AT NUMBER 126 Barbara Dr.

TELEPHONE NUMBER 718-930-3532

HEREBY MAKE APPLICATION TO THE ZONING BOARD OF APPEALS FOR
THE FOLLOWING:

- A USE VARIANCE
- AN AREA VARIANCE
- INTERPRETATION OF THE ORDINANCE
- SPECIAL PERMIT

1. LOCATION OF THE PROPERTY:

84-2-1.1 (TAX MAP DESIGNATION)

34 Plank Rd (STREET ADDRESS)

B (ZONING DISTRICT)

2. PROVISION OF THE ZONING LAW APPLICABLE, (INDICATE THE
SECTION AND SUBSECTION OF THE ZONING LAW APPLICABLE BY
NUMBER; DO NOT QUOTE THE LAW).

185-14-B-1-c



TOWN OF NEWBURGH

Crossroads of the Northeast

ZONING BOARD OF APPEALS
OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

3. IF VARIANCE TO THE ZONING LAW IS REQUESTED:

- a) APPEAL IS MADE FROM DISAPPROVAL BY THE TOWN BUILDING INSPECTOR OR BUILDING PERMIT APPLICATION. SEE ACCOMPANYING NOTICE DATED: 02/17/16
- b) OR DENIAL (REFERRAL) BY THE PLANNING BOARD OF THE TOWN OF NEWBURGH OF AN APPLICATION TO THE BOARD, SEE ACCOMPANYING NOTICE DATED: _____

4. DESCRIPTION OF VARIANCE SOUGHT: Bull sign located 3.39' from Plank Rd, 15' required (11.61' variance). Total sign area 200.73sf, 122.25sf maximum (78.48 variance)

N/A

5. IF A USE VARIANCE IS REQUESTED: STRICT APPLICATION OF THE ZONING LAW WOULD PRODUCE UNNECESSARY HARDSHIP IN THAT:

- a) UNDER APPLICABLE ZONING REGULATIONS THE APPLICANT IS DEPRIVED OF ALL ECONOMIC USE OR BENEFIT FROM THE PROPERTY IN QUESTION BECAUSE:

(ATTACH WITH THIS APPLICATION COMPETENT FINANCIAL EVIDENCE ESTABLISHING SUCH DEPRIVATION)

- b) THE HARDSHIP IS UNIQUE AND DOES NOT APPLY TO A SUBSTANTIAL PORTION OF THE DISTRICT OR NEIGHBORHOOD BECAUSE:

- c) THE VARIANCE WOULD NOT ALTER THE ESSENTIAL CHARACTER OF THE NEIGHBORHOOD BECAUSE:



TOWN OF NEWBURGH

Crossroads of the Northeast

ZONING BOARD OF APPEALS
OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

d) THE HARDSHIP HAS NOT BEEN SELF-CREATED BECAUSE:

6. IF AN AREA VARIANCE IS REQUESTED:

a) THE VARIANCE WILL NOT PRODUCE AN UNDESIRABLE CHANGE IN THE CHARACTER OF THE NEIGHBORHOOD OR A DETRIMENT TO NEARBY PROPERTIES BECAUSE:

THE BULL IS A SCALED REPLICA OF THE WALL ST. BULL AND SHOULD BE CONSIDERED LAWN ART

b) THE BENEFIT SOUGHT BY THE APPLICANT CAN NOT BE ACHIEVED BY SOME METHOD, FEASIBLE FOR THE APPLICANT TO PURSUE, OTHER THAN AN AREA VARIANCE, BECAUSE:

THE TOWN CONSIDERS A STATUE AS A SIGN. AND TWO SIDED AS THAT.

c) THE REQUESTED AREA VARIANCE IS NOT SUBSTANTIAL BECAUSE:

THE PROPOSED BULL IS SMALLER THAN SIGNS ON COMMERCIAL PROPERTIES IN THE AREA.

d) THE PROPOSED VARIANCE WILL NOT HAVE AN ADVERSE EFFECT OR IMPACT ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS IN THE NEIGHBORHOOD OR DISTRICT BECAUSE:

IT IS ARTISTIC. A STATUE OF A BULL.

e) THE HARDSHIP HAS NOT BEEN SELF-CREATED BECAUSE:

THE OWNER DID NOT KNOW THAT THE BULL WAS CONSIDERED A SIGN.



TOWN OF NEWBURGH

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ZONING BOARD OF APPEALS
OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

OFFICE OF ZONING BOARD
(845) 566-4901

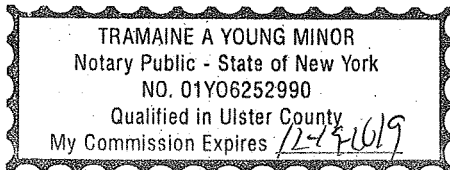
7. ADDITIONAL REASONS (IF PERTINENT):

PETITIONER (S) SIGNATURE

STATE OF NEW YORK: COUNTY OF ORANGE:

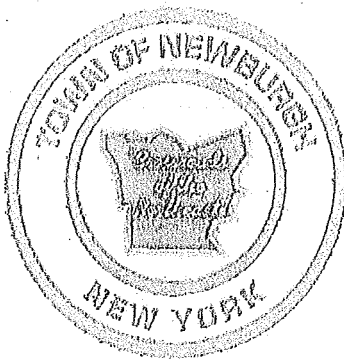
SWORN TO THIS 29th DAY OF Feb 2016

NOTARY PUBLIC



NOTE: NYS GML Section 239-m (3) for proposed actions that are within 500 feet of the properties or thresholds listed in the statute the Zoning Board of Appeals is required to send a copy of the complete application to the Orange County Department of Planning to be reviewed prior to Zoning Board of Appeals decision. And also NYS GML Section 239-NN requires notification for any proposed actions, to the Municipal Clerk, within 500 feet of the Border of that adjoining County, Town or City.
(ALL MATERIALS REGARDING THE APPLICATION MUST BE SUBMITTED TO THE ZONING BOARD OFFICE FOR REVIEW NO LATER THAN 10 DAYS PRIOR TO THE HEARING DATE OR THEY MAY NOT BE CONSIDERED THE NIGHT OF THE MEETING).

(NOTE: BOARD MEMBERS MAKE SITE VISITS TO ALL THE PROPERTIES)



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ZONING BOARD OF APPEALS
OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

PROXY

Zef Gjurashaj, DEPOSES AND SAYS THAT
HE/SHE RESIDES AT 126 Barbara Dr Newburgh NY 12550
IN THE COUNTY OF Orange AND STATE OF NY
AND THAT HE/SHE IS THE OWNER IN FEE OF 34 Plank Rd

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICA-
TION AND THAT HE/SHE HAS AUTHORIZED Talcott Engineering Design
TO MAKE THE FOREGOING APPLICATION AS DESCRIBED THEREIN.

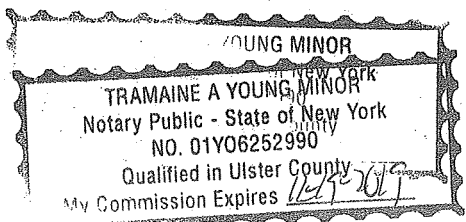
DATED: 2-19-16

OWNER'S SIGNATURE

WITNESS' SIGNATURE

STATE OF NEW YORK: COUNTY OF ORANGE:

SWORN TO THIS 19th DAY OF Feb 2016



NOTARY PUBLIC

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Valon & Vatan</i>			
Project Location (describe, and attach a location map): <i>34 Plank Rd SBL 84-2-1.1</i>			
Brief Description of Proposed Action: <i>Building permit for a two sided bull sign in the front yard "Plank Rd". Sign is under the required 15' minimum</i>			
Name of Applicant or Sponsor: <i>Zef Gjurashaj</i>		Telephone: <i>718-930-3532</i>	
		E-Mail: <i>Zpgj@aol.com</i>	
Address: <i>126 Barbara Dr.</i>			
City/PO: <i>Newburgh</i>		State: <i>NY</i>	Zip Code: <i>12550</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>0.33</i> acres	
b. Total acreage to be physically disturbed?		<i>0</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>0.33</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: CHARLES T. BROWN JR Date: 2/29/16
 Signature: [Signature]

Agency Use Only [If applicable]

Project:

Date:

Short Environmental Assessment Form
Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Agency Use Only [If applicable]

Project:	
Date:	

Short Environmental Assessment Form
Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
---------------------	------

Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
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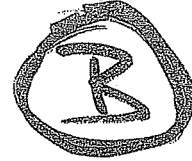
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)
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TOWN OF NEWBURGH

~Crossroads of the Northeast~

**CODE COMPLIANCE DEPARTMENT
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550**



TELEPHONE 845-564-7801
FAX LINE 845-564-7802

2550-16

NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

Date: 02/17/2016

Application No. 16-0058

**To: Zef Gjurashaj
126 Barbara Dr
Newburgh, NY 12550**

**SBL: 84-2-1.1
ADDRESS: 34 Plank Rd**

ZONE: B

PLEASE TAKE NOTICE that your application dated 01/29/2016 for permit to install an 8' x 6' bull statue on the premises located at 34 Plank Rd is returned herewith and disapproved on the following grounds:

Town of Newburgh Municipal Code Sections:

- 1) 185-14-B-1-c Shall not be closer than 15' from a street line.**
- 2) 185-14-B-1-c Total signage shall not exceed half the total road frontage.**


Joseph Mattina

**Cc: Town Clerk & Assessor (500')
File**

Town of Newburgh Code Compliance

OWNER INFORMATION

BUILT WITH OUT A PERMIT

NO



NAME: ZEF GJURASHAJ

ADDRESS: 126 BARBARA DR NEWBURGH NY 12550

PROJECT INFORMATION:

TYPE OF STRUCTURE: 8' X 6' BULL STATUE

SBL: 84-2-1.1 ZONE: B

TOWN WATER: YES / NO TOWN SEWER: YES / NO

	MINIMUM	EXISTING	PROPOSED	VARIANCE	VARIANCE PERCENTAGE
FRT STREET LINE (N PLANK)	15'		3.39'	11.61'	77.39%
TOTAL SIGNAGE SF					
LOT DEPTH	101.03 SF ALREADY ISSUED FOR SIGNAGE				
FRONT YARD	MAXIMUM ALLOWED SIGNAGE IS 122.25 SF				
TOTAL SIGNAGE SF	122.25 SF	101.03 SF	200.73 SF	78.48 SF	64.19%
SIDE YARD					
MAX. BUILDING HEIGHT					
BUILDING COVERAGE					
SURFACE COVERAGE					

INCREASING DEGREE OF NON-CONFORMITY - 185-19-C-1 ----- YES / NO
 2 OR MORE FRONT YARDS FOR THIS PROPERTY ----- YES / NO
 CORNER LOT - 185-17-A ----- YES

ACCESSORY STRUCTURE:

GREATER THEN 1000 S.F. OR BY FORMULA - 185-15-A-4 ----- YES / NO
 FRONT YARD - 185-15-A ----- YES / NO
 STORAGE OF MORE THEN 4 VEHICLES ----- YES / NO
 HEIGHT MAX. 15 FEET - 185-15-A-1 ----- YES / NO
 10% MAXIMUM YARD COVERAGE - 185-15-A-3 ----- YES / NO

NOTES: **STATUE DIMENSIONS 49.85 SF X 2 = 99.7 SF (DOUBLE SIDED)**

VARIANCE(S) REQUIRED:

- 1 185-14-B-1-C Maximum allowed signage is equal to half the road frontage.
- 2 185-14-B-1-C Shall not be closer than 15' to a street line.
- 3 _____
- 4 _____

REVIEWED BY: Joseph Mattina

DATE: 12-Feb-16

Percentage Calculator

Percentage Calculator is a free online tool to calculate percentages.

What is % of ?

is what percent of ? %

What is the percentage increase/decrease from to ? %

Tips: Use tab to move to the next field. Use shift-tab to move to the previous field. Press enter to calculate.

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Bull Signage
 49.85 x 2 sided = 99.7 S.F.

Percentage Calculator

Percentage Calculator is a free online tool to calculate percentages.

What is % of ?

is what percent of ? %

What is the percentage increase/decrease
from to ? %

Tips: Use tab to move to the next field. Use shift-tab to move to the previous field. Press enter to calculate.

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Street Line North Plank RD

1212K ALM

ORANGE COUNTY CLERK'S OFFICE RECORDING PAGE

THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE

TYPE IN BLACK INK:
NAME(S) OF PARTY(S) TO DOCUMENT

Zef Gjurashaj & Lula Gjurashaj

Valon & Vatan LLC

SECTION 84 BLOCK 2 LOT 1.1



RECORD AND RETURN TO:
(name and address)

Thomas J. Murphy Esq.
717 Broadway
Newburgh NY 12550

THIS IS PAGE ONE OF THE RECORDING

ATTACH THIS SHEET TO THE FIRST PAGE OF EACH
RECORDED INSTRUMENT ONLY

DO NOT WRITE BELOW THIS LINE

INSTRUMENT TYPE: DEED X MORTGAGE _____ SATISFACTION _____ ASSIGNMENT _____ OTHER _____

PROPERTY LOCATION

- 2089 BLOOMING GROVE (TN)
- 2001 WASHINGTONVILLE (VLG)
- 2003 SO. BLOOMING GROVE (VLG)
- 2289 CHESTER (TN)
- 2201 CHESTER (VLG)
- 2489 CORNWALL (TN)
- 2401 CORNWALL (VLG)
- 2600 CRAWFORD (TN)
- 2800 DEERPARK (TN)
- 3089 GOSHEN (TN)
- 3001 GOSHEN (VLG)
- 3003 FLORIDA (VLG)
- 3005 CHESTER (VLG)
- 3200 GREENVILLE (TN)
- 3489 HAMPTONBURGH (TN)
- 3401 MAYBROOK (VLG)
- 3689 HIGHLANDS (TN)
- 3601 HIGHLAND FALLS (VLG)
- 3889 MINISINK (TN)
- 3801 UNIONVILLE (VLG)
- 4089 MONROE (TN)
- 4001 MONROE (VLG)
- 4003 HARRIMAN (VLG)
- 4005 KIRYAS JOEL (VLG)
- 4289 MONTGOMERY (TN)
- 4201 MAYBROOK (VLG)
- 4203 MONTGOMERY (VLG)
- 4205 WALDEN (VLG)
- 4489 MOUNT HOPE (TN)
- 4401 OTISVILLE (VLG)
- X 4600 NEWBURGH (TN)
- 4800 NEW WINDSOR (TN)
- 5089 TUXEDO (TN)
- 5001 TUXEDO PARK (VLG)
- 5200 WALLKILL (TN)
- 5489 WARWICK (TN)
- 5401 FLORIDA (VLG)
- 5403 GREENWOOD LAKE (VLG)
- 5405 WARWICK (VLG)
- 5600 WAWAYANDA (TN)
- 5889 WOODBURY (TN)
- 5801 HARRIMAN (VLG)
- 5809 WOODBURY (VLG)
- CITIES
- 0900 MIDDLETOWN
- 1100 NEWBURGH
- 1300 PORT JERVIS
- 9999 HOLD

NO. PAGES 4 CROSS REF. _____
CERT. COPY 1 ADD'L X-REF. _____
MAP# _____ PGS. _____
PAYMENT TYPE: CHECK X
CASH _____
CHARGE _____
NO FEE _____

Taxable
CONSIDERATION \$ -0-
TAX EXEMPT _____
Taxable
MORTGAGE AMT. \$ _____

MORTGAGE TAX TYPE:

- _____ (A) COMMERCIAL/FULL 1%
- _____ (B) 1 OR 2 FAMILY
- _____ (C) UNDER \$10,000
- _____ (E) EXEMPT
- _____ (F) 3 TO 6 UNITS
- _____ (I) NAT.PERSON/CR. UNION
- _____ (J) NAT.PER-CR.UN/1 OR 2
- _____ (K) CONDO

Donna L. Benson
DONNA L. BENSON
ORANGE COUNTY CLERK

Received From Thomas Murphy & Assoc

RECORDED/FILED
05/14/2013/ 14:23:48
DONNA L. BENSON
County Clerk
ORANGE COUNTY, NY
FILE#20130050255
DEED R / BK 13563PG 1685
RECORDING FEES 195.20
TTX# 005743 T TAX 0.00
Receipt#1604659 jbm

STATE OF NEW YORK (COUNTY OF ORANGE) SS:
I, ANN G. RABBITT, COUNTY CLERK AND CLERK OF THE SUPREME AND COUNTY COURTS,
ORANGE COUNTY, DO HEREBY CERTIFY THAT I HAVE COMPARED THIS COPY WITH THE
ORIGINAL THEREOF FILED OR RECORDED IN MY OFFICE ON May 14, 2013
AND THE SAME IS A CORRECT TRANSCRIPT THEREOF.
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL.

Ann G. Rabbitt February 23, 2016
COUNTY CLERK & CLERK OF THE SUPREME COUNTY COURTS, ORANGE COUNTY



QUITCLAIM DEED

THIS INDENTURE made the 22nd day of March, two thousand thirteen

BETWEEN ZEF GJURASHAJ and LULA GJURASHAJ
126 Barbara Drive
Newburgh, NY 12550

party of the first part, and

VALON & VATAN LLC
34 Plank Road
Newburgh, NY 12550

party of the second part,

WITNESSETH, that the party of the first part, in consideration of TEN (\$10.00) DOLLARS and other valuable consideration paid by the party of the second part, does hereby remise, release and quitclaim unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Newburgh, County of Orange and State of New York, more particularly described in *Schedule A* annexed hereto and made part hereof.

BEING AND INTENDED TO BE the same premises conveyed by Diether Fanz to Zef Gjurashaj and Lula Gjurashaj by deed dated July 31, 2012, and recorded in the Orange County Clerk's Office on August 8, 2012, in Book/Liber 13389 of Deeds at page 1539.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above-described premises to the center lines thereof;

TOGETHER with the appurtenances and all the estate and rights of the party of the first party in and to said premises;

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

Heritage Land Surveying, P.C.
(845)562-4148
Heritagesurvey@hotmail.com

P.O. Box 579, Plattekill, NY 12568 Phone
Darren J. Stridiron, P.L.S. Email:
Fax (845)565-1416

TAX LOT 84-2-1.1

All that certain plot, piece or parcel of land lying in the Town of Newburgh, County of Orange, State of New York; bounded and described as follows:

BEGINNING at a concrete monument at the intersection of the northerly bounds of North Plank Road (NYS Route 32) and the southeasterly corner of lands of McCullom (Tax lot 84-2-4); thence,

North 12 degrees 21 minutes 29 seconds East 140.61 feet along the easterly bounds of lands of McCullom (Tax lot 84-2-4); thence.

South 70 degrees 57 minutes 03 seconds East 99.27 feet along the southerly bounds of lands of F L G & T Realty Company (Tax lot 84-2-1.2) to the westerly line of Stone Street; thence,

South 11 degrees 47 minutes 07 seconds West 143.36 feet along the westerly bounds of Stone Street; thence,

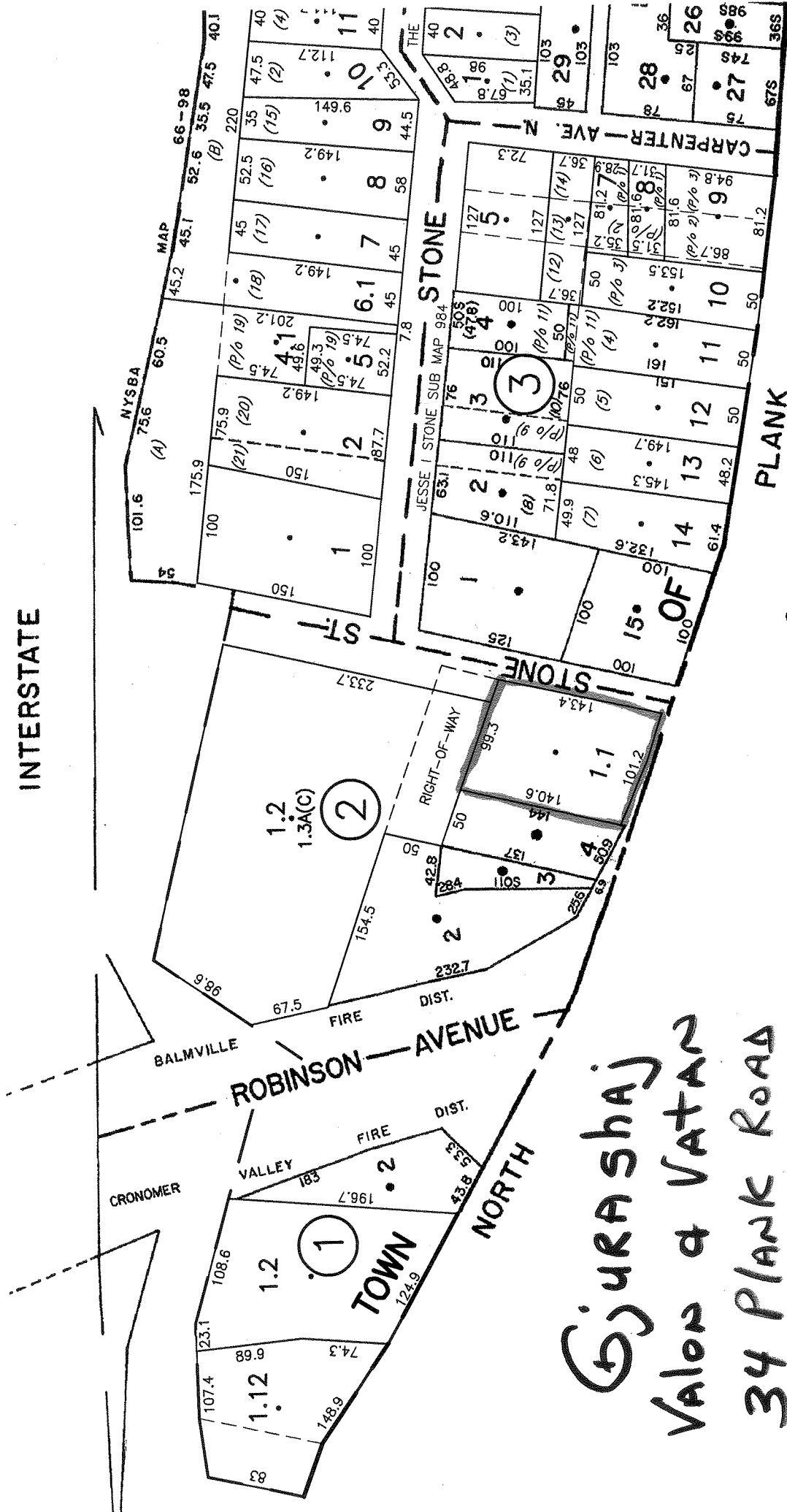
Along the northerly line of North Plank Road (NYS Route 32) the following two (2) courses:

North 72 degrees 53 minutes 43 seconds West 42.38 feet to a concrete monument; thence,

North 67 degrees 03 minutes 34 seconds West 58.80 feet to the point or place of **BEGINNING**.

Containing 14,218 square feet or 0.33 acres of land, more or less.

INTERSTATE



PLANK

City of Newburgh

Gjura Shaj
 Valon & Vatan
 34 Plank Road
 (84-2-1.1)