

# ZONING CHART

1413 UNION AVENUE (SECTION 60, BLOCK 3, LOTS 40 AND 41.22)  
 ZONE: INTERCHANGE BUSINESS (IB)

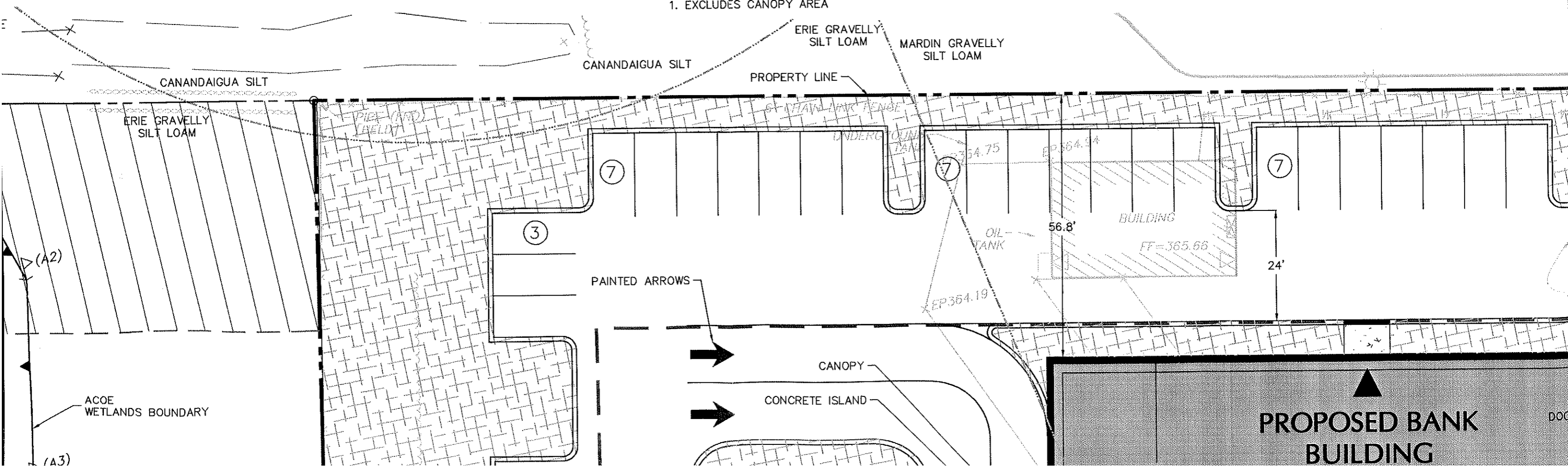
ITEM	REQUIRED	PROPOSED	SECTION
USES FUELING FACILITY TIRE SERVICE CENTER CREDIT UNION/BANK			
LOT/BUILDING			
MINIMUM LOT AREA	40,000 SF	131,997 SF	SCHEDULE 8
MINIMUM LOT WIDTH	150'	288'	SCHEDULE 8
MINIMUM FRONT YARD	60'	74'	185-18.C.4.B
MINIMUM SIDE YARD			
FUELING FACILITY	30' (ONE), 80'(BOTH)	36', 218'	SCHEDULE 8
TIRE SERVICE CENTER	30' (ONE), 80'(BOTH)	32', 200'	SCHEDULE 8
CREDIT UNION/BANK	30' (ONE), 80'(BOTH)	56', 199'	SCHEDULE 8
MINIMUM REAR YARD	60'	137'	SCHEDULE 8
MAXIMUM LOT BUILDING COVERAGE	40%	9.5% <sup>1</sup>	SCHEDULE 8
MAXIMUM LOT SURFACE COVERAGE	80%	70%	SCHEDULE 8
MAXIMUM HEIGHT	35'	<35'	SCHEDULE 8
PARKING LOT INTERIOR LANDSCAPING	5%	9%	185-13.D.9.A
PARKING			
OFF-STREET PARKING REQUIREMENT FUELING FACILITY		1 SPACE PER SERVICED VEHICLE, PLUS 5=15	185-13.C.b
TIRE SERVICE CENTER		1 SPACE PER SERVICED VEHICLE, PLUS 5=12	185-13.C.b
CREDIT UNION/BANK		1 SPACE / 150 SF GROSS FLOOR AREA PLUS 3 PER DRIVE-THRU LANE =53	185-13.C.b/ 184-42.A.3
		TOTAL = 80	TOTAL = 107
MINIMUM PARKING SPACE DIMENSIONS (90° PARKING)	9'X18'	9'X18'	185-13.d.5
MINIMUM NUMBER OF ACCESSIBLE SPACES	5	5	



**SITE LOCATION MAP**

Top Left

NOTES:  
 1. EXCLUDES CANOPY AREA

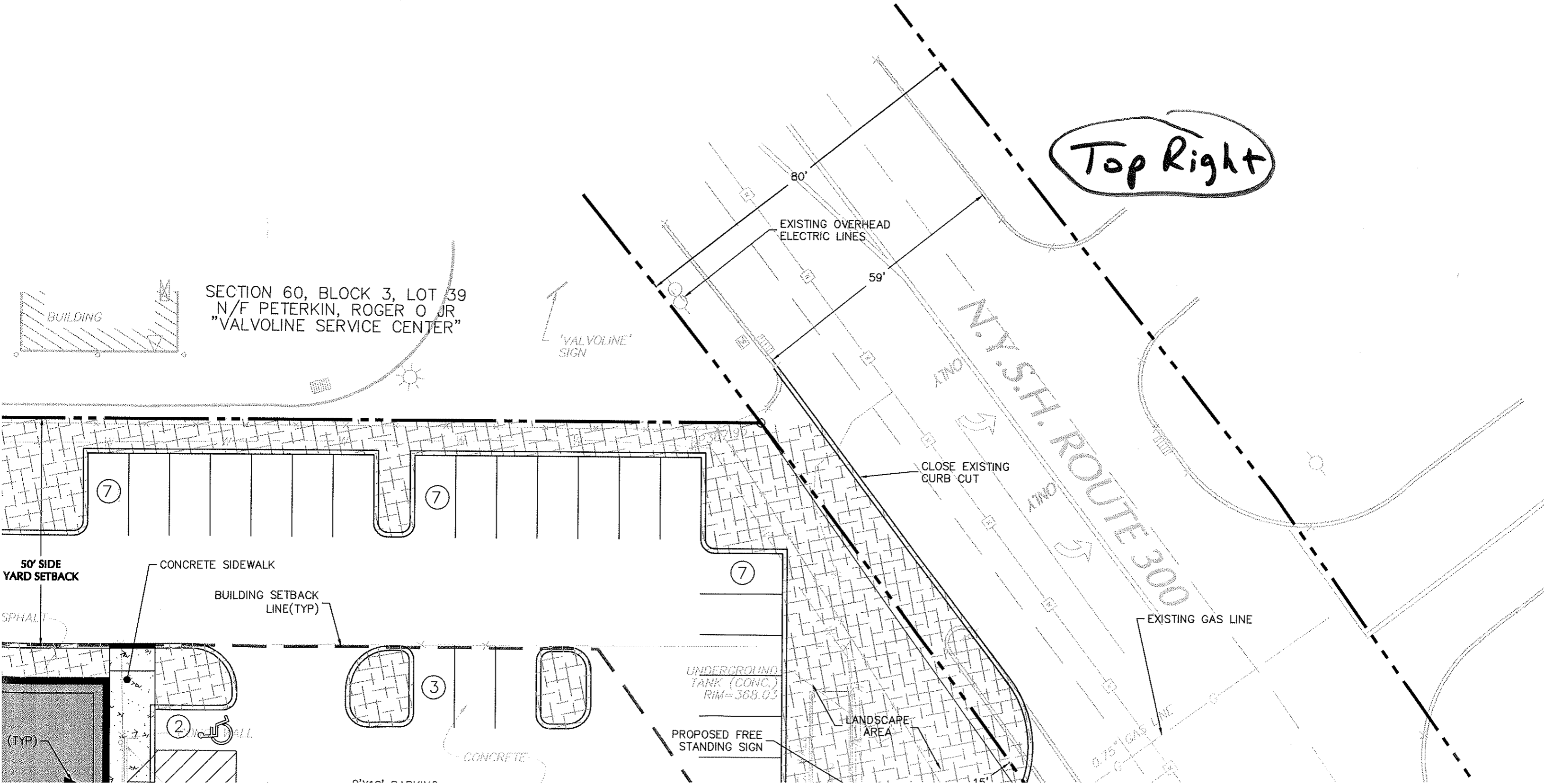


# GENERAL NOTES

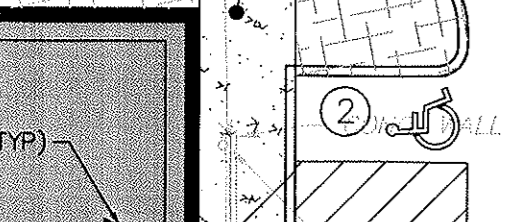
1. BOUNDARY AND TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, DATED 11/10/11.
2. THE PROPERTY IS KNOWN AS LOTS 40 AND 41.22 OF SECTION 60, BLOCK 3 ON ORANGE COUNTY TAX MAPS.
3. THE PROPERTY IS LOCATED IN THE INTERCHANGE BUSINESS (IB).
4. THE SITE IS LOCATED IN FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP PANEL 139 OF 630, COMMUNITY NUMBER 360627, REVISED 08/03/09.
5. THE SITE IS CURRENTLY OWNED BY JR & RAY LLC, 5020 ROUTE 9W, NEWBURGH, NY 12550
6. THE APPLICANT IS GD NEWBURGH, LLC, 140 BOXWOOD LANE, BRIDGEWATER, MA 02324

Top Right

SECTION 60, BLOCK 3, LOT 39  
N/F PETERKIN, ROGER O JR  
"VALVOLINE SERVICE CENTER"



50' SIDE YARD SETBACK  
CONCRETE SIDEWALK  
BUILDING SETBACK LINE(TYP)

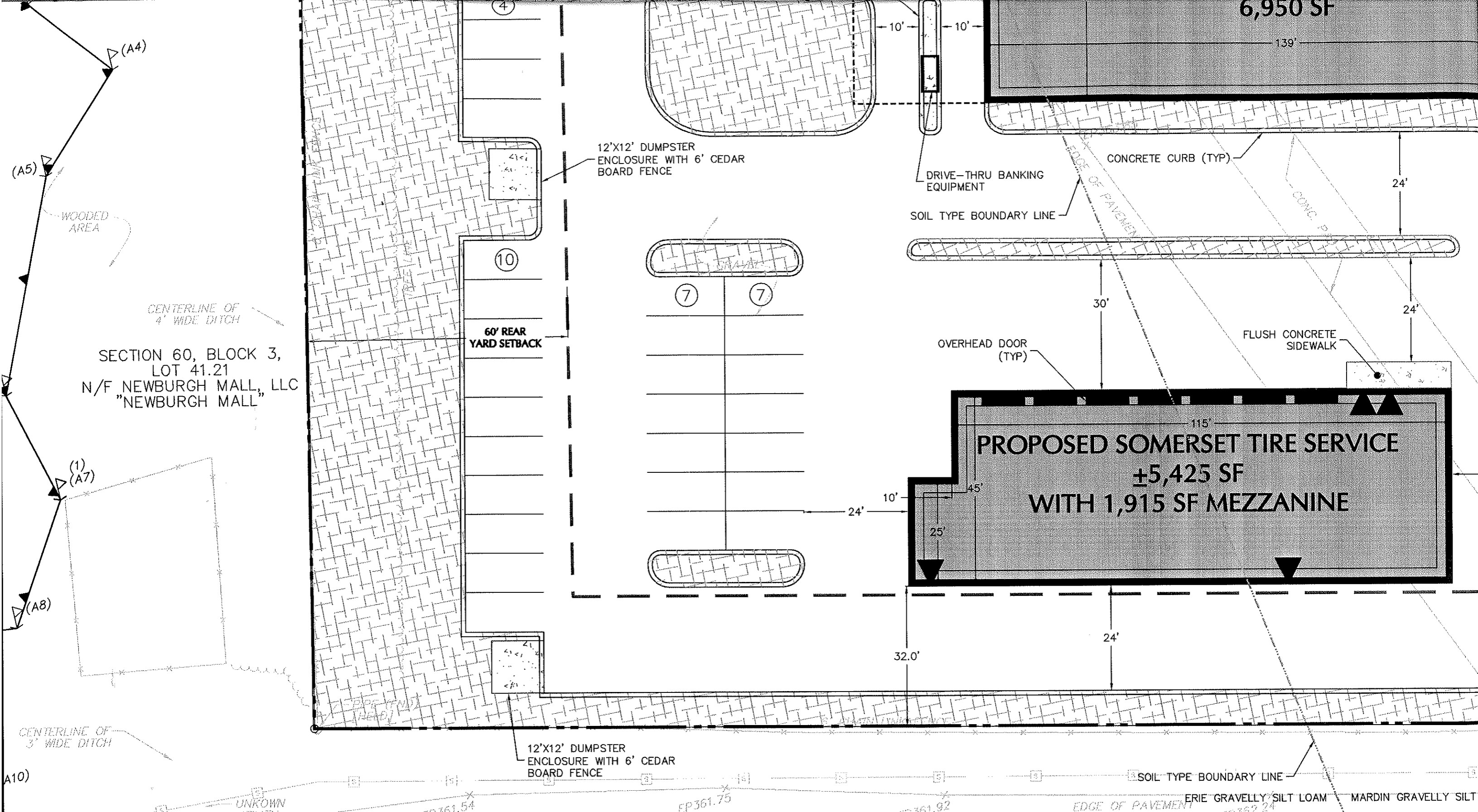


UNDERGROUND TANK (CONC.)  
RIM=368.03

PROPOSED FREE STANDING SIGN

LANDSCAPE AREA

EXISTING GAS LINE

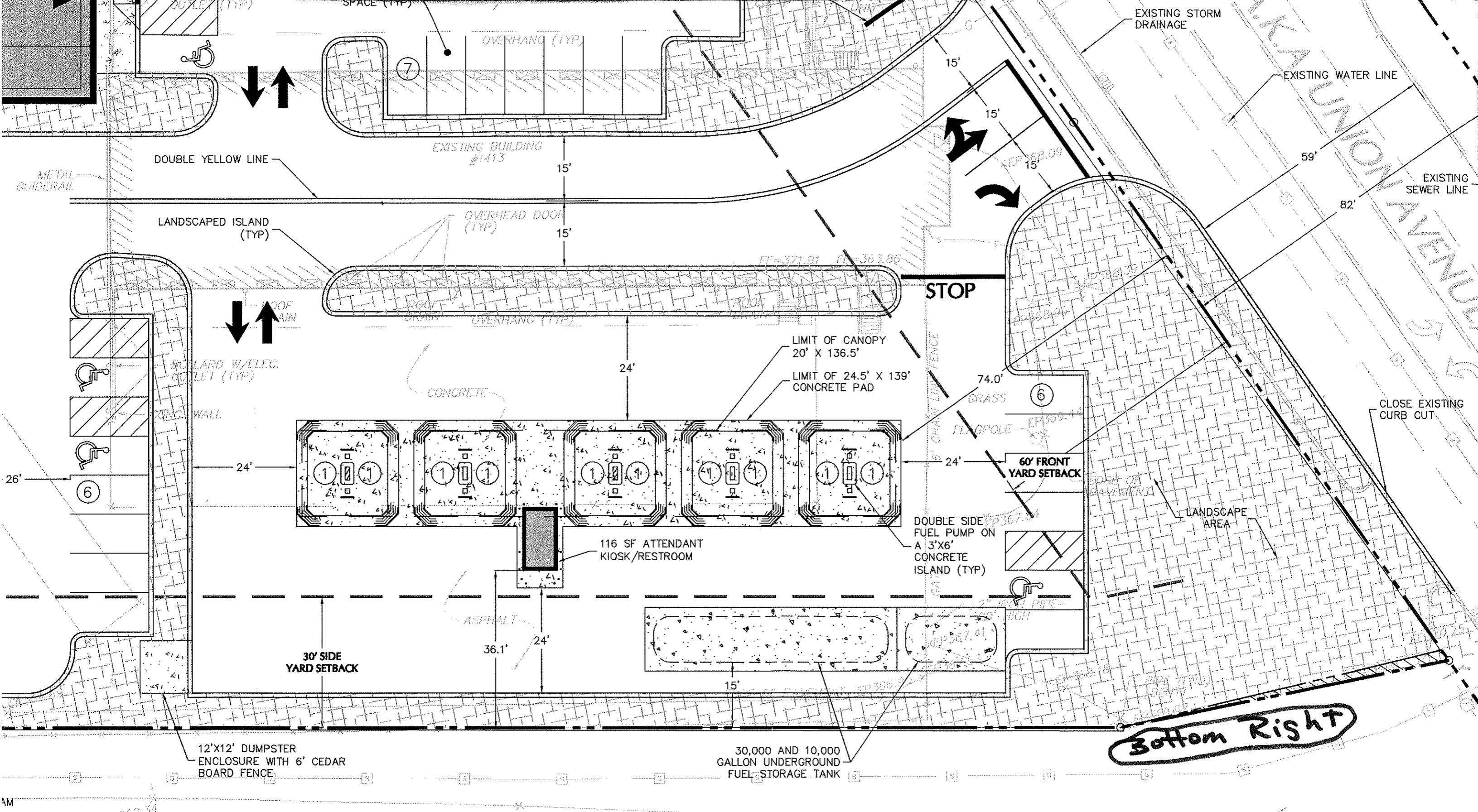


**Bottom left**

SECTION 60, BLOCK 3, LOT 41.21  
 N/F NEWBURGH MALL, LLC  
 "NEWBURGH MALL"



4/4/12	ZONING BOARD OF APPEALS SUBMISSION	2
4/3/12	MODIFIED STS TIRE	1



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Project

# ROUTE 300 CENTER

1413 UNION AVENUE

Drawing Title

# CONCEPTUAL SITE PLAN

Project No. 140059701

Date 2/1/12

Scale 1"=20'

Drn. By MWC

Drawing No.

CS101-010