



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: GARDNERTOWN COMMONS
PROJECT NO.: 2016-03
PROJECT LOCATION: SECTION 75, BLOCK 1, LOT 21
REVIEW DATE: 6 APRIL 2017
MEETING DATE: 6 APRIL 2017
PROJECT REPRESENTATIVE: JCM PLANNING ENGINEERING

1. The Project has been redesigned to modify the stormwater management system on the project. Previously two stormwater detention ponds were located along the south and east property lines. The stormwater management has been redesigned to provide for a single, large facility along the eastern portion of the site.
2. The revised stormwater management plan must be developed into a Stormwater Pollution Prevention Plan prior to final approval.
3. Extensive retaining walls have been proposed based on modified grading on the site. Vehicle protection and fencing must be depicted on the details.
4. The easterly most structures on the site are accessed only via starways. Gerry Canfields comments regarding required accessibility to these apartments should be received.
5. The lighting plan identifies lighting on the southeasterly portion of the site below 8 foot retaining walls. Placement of the lighting in this area should be evaluated. Light poles are noted to be 15 ft. high on the details.
6. This project involves a lot consolidation in order to make a single lot from the previously proposed Homeowner Association lots.
7. Based on public comments test bores were performed throughout the site to identify depth to Bed Rock. It is noted that blasting may be required by the Geotechnical Engineer. The Applicant's representative are requested to discuss the use of blasting on the project site.

8. The Applicant's representative's are requested to discuss the timing of construction of off site improvements.
9. Infiltration testing within the proposed infiltration basin must be performed in compliance with NYSDEC guidelines.
10. Construction Phasing should be discussed with the Planning Board.
11. Applicants representative are requested to meet with the Town Engineer and Sewer Department regarding drop man hole connection in Creek Run Road. Discussion should be held whether the drop man hole should be constructed at SMH-A-1 rather than within the Town roadway.
12. The following comments will be on the supplemental Stormwater Pollution Prevention Plan submitted:
 - a) Page 1 identifies incorrect Apt. Units.
 - b) Information pertaining to soil surveys are identified on Page 15. This information is missing.
 - c) Page 13.02 identifies the elevation of the outlook control structure emergency spill way as 258, while the plans identify it as 257.5. A weir length of 16 feet is identified, this should be further evaluated.
 - d) Structure ID-WO identifying an elevation of 256.35 is identified with a similar 16 ft. weir length. It appears from the detail that this is a 16 in. +/- weir length identified at 1.4 ft. in the outlet control structure detail.
 - e) Applicants representative are requested to meet with the Town Engineer and Sewer Department regarding drop man hole connection in Creek Run Road. Discussion should be held whether the drop man hole should be constructed at SMH-A-1 rather than within the Town roadway.
 - f) The stormwater model contains seven- 6 in. diameter orifices located at 252.3. These orifices are not depicted in the detail. The detail depicts a 1.4 ft. weir at that elevation.
 - g) We did not identify an ex filtration component in the discharge modeling for the infiltration basin.
 - h) Sheet SP-5OCS-F4 identifies the top elevation at 257 while the detail identifies Grate A at 257.5. This should be further reviewed and cross checked with the discharge in the stormwater model.
 - i) Calculations supporting the design of the sediment traps during construction should be provided depicting meeting the requirements of 3,600 cubic ft. per acre.
 - j) Anti vortex riser detail references a table for sizing of the devices. Location of this table should be noted.

- k) Temporary sediment basin detail requires additional information. Also references Erosion and Sediment Control Plan as SP5 which should reference SP7.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**



Patrick J. Pines
Principal

SITE PLAN APPROVAL DRAWINGS

GARDNERTOWN COMMONS

TAX MAP SECTION 75 | BLOCK 1 | LOT 21
ORANGE COUNTY
GARDNERTOWN ROAD
TOWN OF NEWBURGH, NY

Owner/Applicant:
FARRELL BUILDING COMPANY, LLC
1601 VETERANS MEMORIAL HIGHWAY
ISLANDIA, NY 11749
631.549.9800

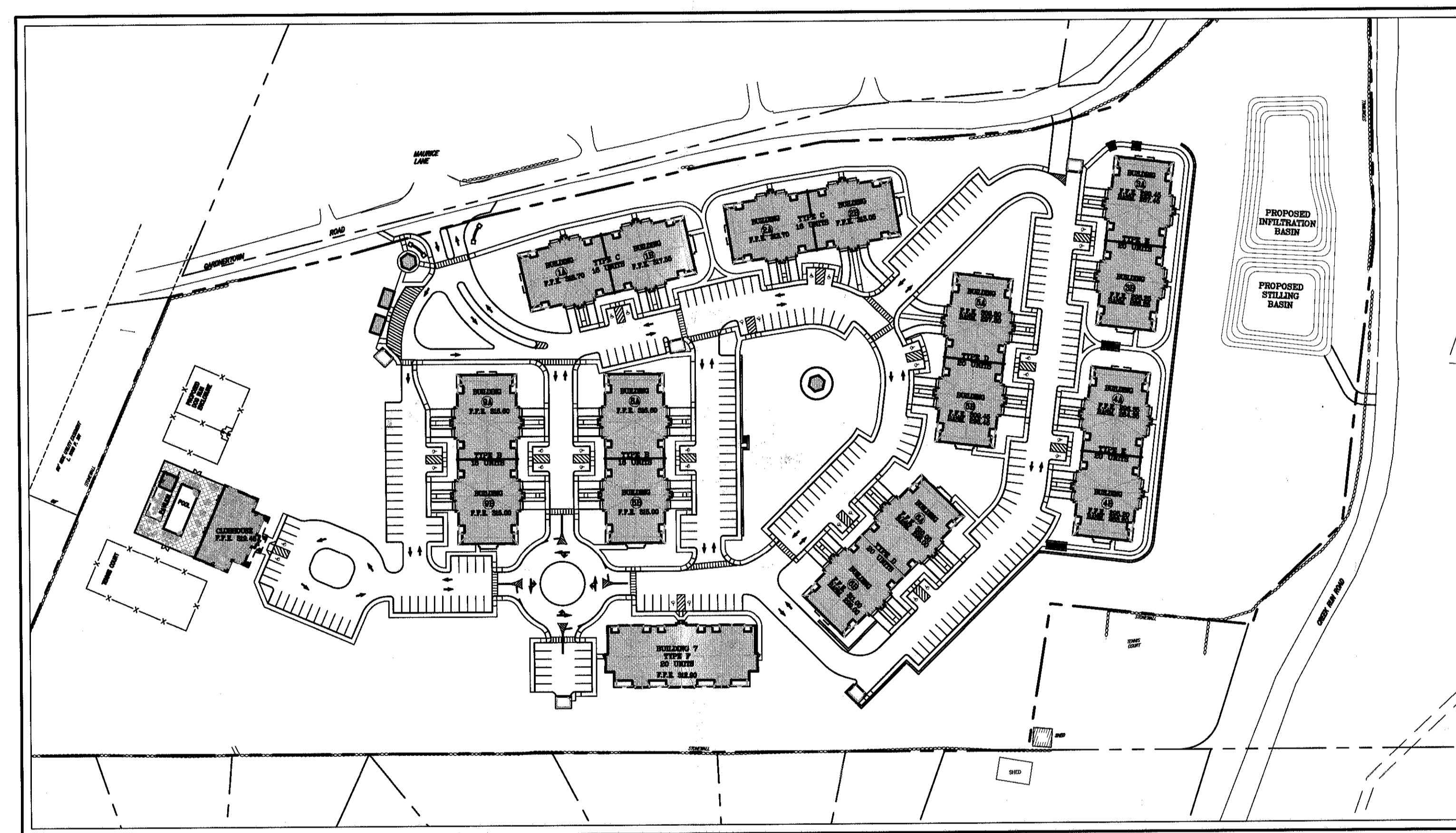
Architect:
MAURI ARCHITECTS PC
303 MILL STREET
POUGHKEEPSIE, NY 12601
845.452.1030

Attorney:
HANIG & SCHUTZMAN
61 S MAIN STREET
SUITE 5 - 2ND FLOOR
NEW CITY, NY 10956
845.600.8529

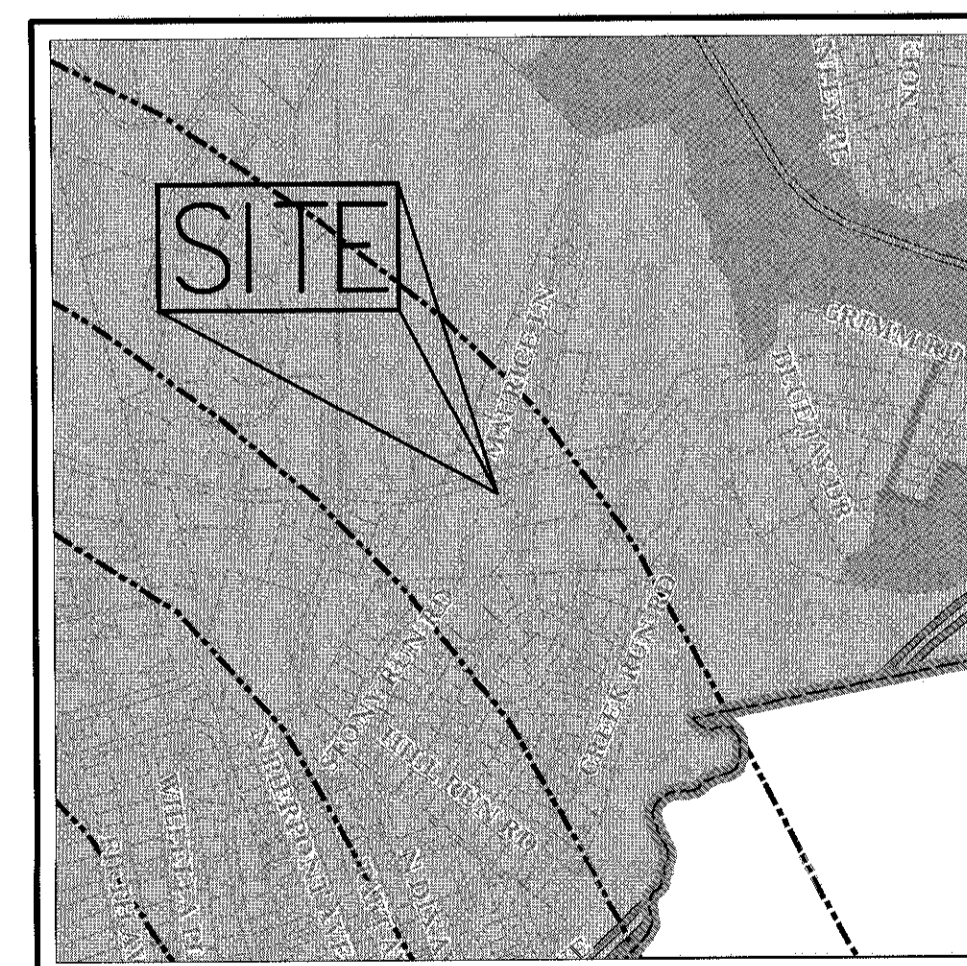
**JMC Site Planner, Civil & Traffic Engineer,
and Landscape Architect:**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Surveyor:
LANC & TULLY, P.C.
PO BOX 697, RT 207
GOSHEN, NY 10924
845.294.3700

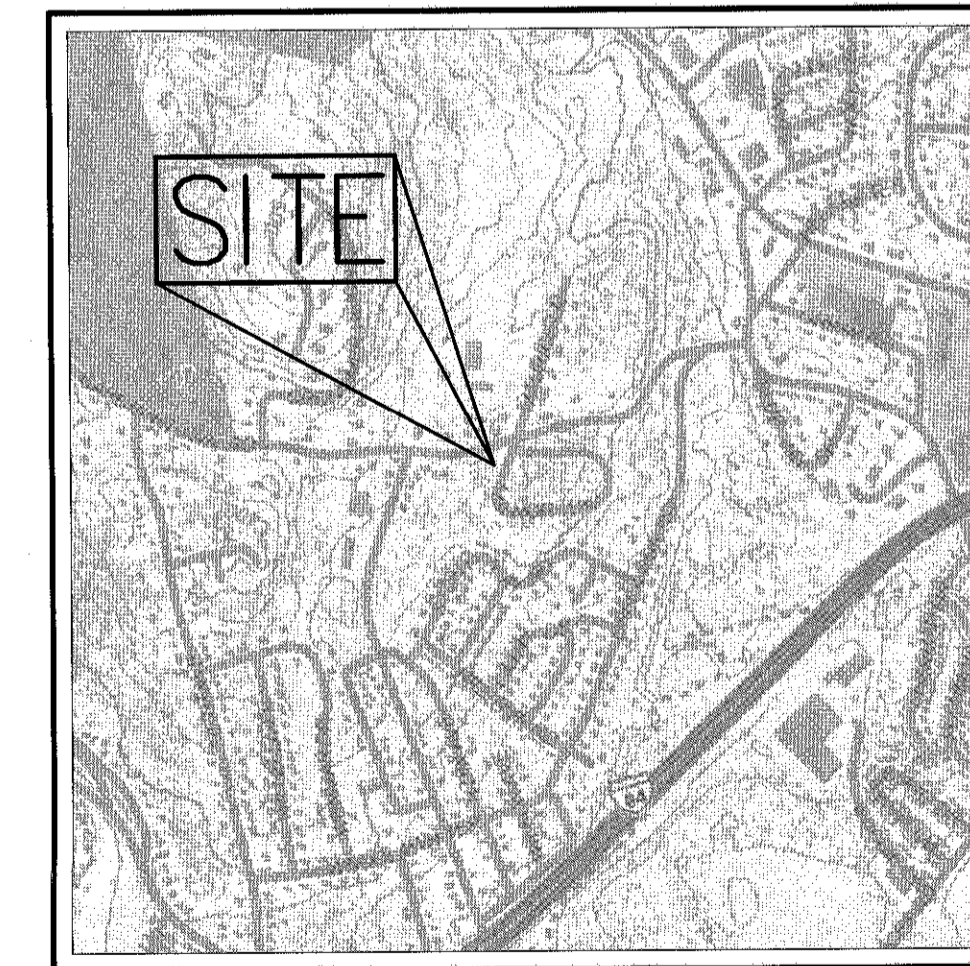
Geotechnical Engineer:
Carlin-Simpson & Associates
61-67 Main Street
Sayreville, NJ 08872
732.432.5757



AREA MAP
SCALE: 1" = 100'
SOURCE: TITLE / YEAR



ZONING MAP
SCALE: 1" = 1000'
SOURCE: TITLE / YEAR



VICINITY MAP
SCALE: 1" = 1,000'
SOURCE: TITLE / YEAR

JMC Drawing List:

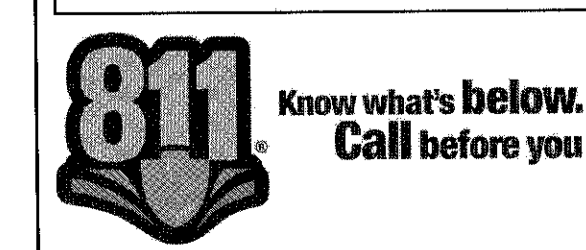
- SP-1 COVER SHEET**
- SP-2 SITE EXISTING CONDITIONS**
- SP-3 LOT CONSOLIDATION MAP**
- SP-4 SITE LAYOUT PLAN**
- SP-5 SITE GRADING PLAN**
- SP-6 SITE UTILITIES PLAN**
- SP-7 SITE EROSION AND SEDIMENT CONTROL PLAN**
- SP-8 SITE LANDSCAPING PLAN**
- SP-9 SITE LIGHTING PLAN**
- SP-10 FIRE-TRUCK TURNING PLAN**
- SP-11 CONSTRUCTION DETAILS**
- SP-12 CONSTRUCTION DETAILS**
- SP-13 CONSTRUCTION DETAILS**
- SP-14 CONSTRUCTION DETAILS**
- RP-1 ROADWAY LAYOUT PLAN**
- RP-2 ROADWAY GRADING & UTILITIES PLAN**

TABLE OF LAND USE		
ZONING DISTRICT	PERMITTED/REQUIRED	PROPOSED
R-3	4.00 AC./174,240 S.F.	19.77 AC./861,138 S.F.
LOT AREA MIN. (AC.)(S.F.)		
LOT WIDTH (FT.)	150	1,375
LOT DEPTH (FT.)	150	670
FRONT YARD (FT.)	40	50
REAR YARD (FT.)	50	50
1 SIDE YARD / BOTH (FT.)	25/50	50
NUMBER OF UNITS (UNITS PER ACRE)	174	164
REAR TO ADJACENT BUILDING (FT.)	75	83
SIDE TO SIDE OF ADJACENT BUILDING (FT.)	35	35
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1-BEDROOM 600 MIN. 2-BEDROOM 800 MIN. 3-BEDROOM 900 MIN.	1-BEDROOM = 860 SF 2-BEDROOM = 1610 SF 3-BEDROOM = 1845 SF
SENIOR UNIT HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1,000 MAX. SEC 185.48 B (4)	1-BEDROOM = 695 SF 2-BEDROOM = 900 SF
LOT BUILDING COVERAGE (%)	35	14
BUILDING HEIGHT (FT.)	35	34'-11"
LOT SURFACE COVERAGE (%)	60	37
STANDARD PARKING 2 SP/UNIT	328	301
HANDICAP PARKING	-	28
TOTAL PARKING	328	329

NOTES:

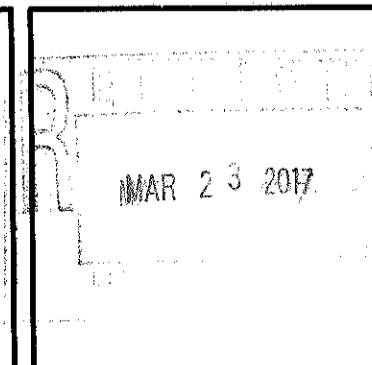
- BASE DENSITY CALCULATIONS**
BASE DENSITY = 6 DWELLING UNITS PER ACRE
SENIOR HOUSING DEVELOPMENT DENSITY = 9 DWELLING UNITS PER ACRE
1/3 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE GAINED DUE TO THE SENIOR HOUSING DEVELOPMENT PROVISION.
1/3 OF THE TOTAL NUMBER OF UNITS GAINED MUST BE SENIOR HOUSING.
THEREFORE: 1/3 OF THE TOTAL UNITS X 1/3 MUST BE SENIOR HOUSING = 1/9 OF THE TOTAL UNITS MUST BE SENIOR HOUSING OR 11%.
- NET PARCEL AREA CALCULATIONS**
19.77 GROSS ACRES
0.41 ACRES OF FEDERAL WETLANDS
11% OF 0.41 IS SUBTRACTED AT A RATE OF 75% = (0.11)(0.41)(0.75) = 0.034 AC.
89% OF 0.41 IS SUBTRACTED AT A RATE OF 100% = (0.89)(0.41)(1.00) = 0.365 AC.
TOTAL AREA COVERED BY WETLANDS FOR NET AREA CALC = (0.034)+(0.365) = 0.399 AC.
THEREFORE: (19.77 AC. - 0.399 AC.) = 19.37 AC.
19.37 AC. X 9 UNITS = 174 UNITS PERMITTED

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION ON COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1	REVISED PER TOWN COMMENTS	05/11/2016	MT
2	UPDATED SITE PLANS	02/14/2017	BWS
3	GENERAL REVISIONS	03/21/2017	MT

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.



JMC
JMC Planning, Engineering, Landscape Architecture & Land Surveying, P.L.L.C.
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcp LLC

Drawn	MT	Approved	JS
Scale	NOT TO SCALE		
Date	02/19/2016		
Project No.	15155		
Drawn By	COVER SP-1	Checked By	
Drawing No.	SP-1		

NOT FOR CONSTRUCTION

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE HIGGS NEIGHBOR LLC," PREPARED BY LANG & TULLY, P.C., DATED 11/17/2015.
 - EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-28-2015.

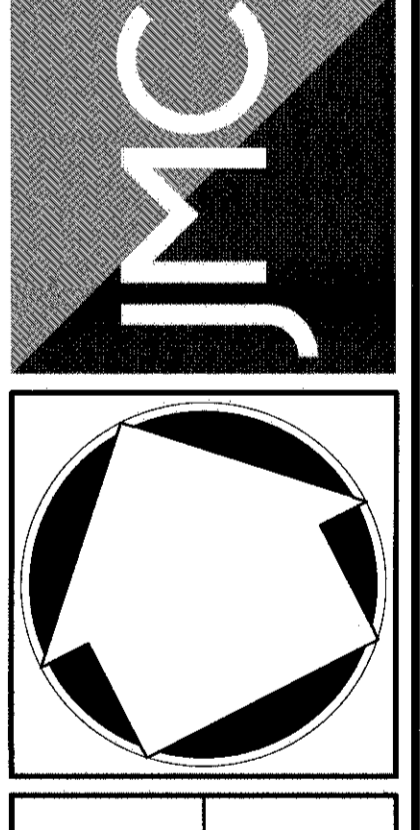


NOT FOR CONSTRUCTION

No.	Date	Revision
1	05/17/2016	REVISED PER TOWN COMMENTS
2	02/14/2017	UPDATED SITE PLANS
3	03/21/2017	GENERAL REVISIONS

PREPARED BY:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT:
MAURI ARCHITECTS PC
 POUGHKEEPSIE, NY 12601

CLIENT:
JMC Planning, Engineering, Landscape Architecture & Land Surveys, PLLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 PHONE 914-232-2225 - FAX 914-232-2102
 www.jmcpic.com



EXISTING MAP
CONDITIONS
GARDNERTOWN COMMONS
 TOWN OF NEIGHBOR, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Sheet	MT	Approved	JC
Scale	1" = 40'		
Date	02/19/2016		
Project No.	15155		
DESIGNER	EST 9-2	DIST. BY	
Drawing No.			

SP-2

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING METLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CENTERLINE
	EXISTING INDEX CENTERLINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING POINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

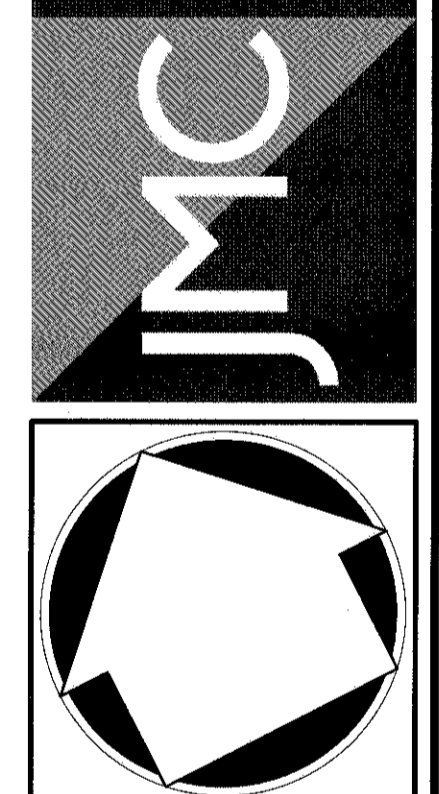
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FIELD "SURVEY PREPARED FOR THREE LOTS NEIGHBOR LLC" PREPARED BY LANC & TULLY, P.C., DATED 11/11/2015.
 - EXISTING METLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-28-2015.



Date	By	Revised
05/11/2016	MT	REVISED PRELIMINARY COMMENTS
02/11/2017	BS	UPDATED SITE PLANS
03/21/2017	MT	GENERAL REVISIONS

PREPARED BY:
FARRELL BUILDING COMPANY, LLC
 1801 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT:
MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601



LOT CONSOLIDATION MAP
 GARDNERTOWN COMMONS
 TOWN OF NEIGHBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Date: 02/19/2016
 Scale: 1" = 40'
 Project No: 15155
 Title: LOT SP-3
 County: SP-3

SP-3

NOT FOR CONSTRUCTION

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED EXPRESSED CURB AND SIDEWALK
- PROPOSED MOUNTABLE CURB
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL (DET XO)
- PROPOSED FENCE
- PROPOSED LIGHTING STANDARD
- PROPOSED 2'-4" WIDE YELLOW LINES #10.C
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 12" WIDE WHITE STOP LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES 1" O.C. #4
- PROPOSED ARROW MARKING ON PAVEMENT (DET XO)
- PROPOSED WORD MARKING ON PAVEMENT (DET XO)
- PROPOSED TRAFFIC SIGN LOCATION
- PEDESTRIAN CROSSING
- PROPOSED TREE LINE
- EXISTING FEATURE TO BE REMOVED

SIGN TABLE

DESCRIPTION	SIGN	SIZE	DESCRIPTION	MARKING TYPE	MARKING HEIGHT	REGULATORY	RECOMMENDED
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	51	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C	NO TURN ANY TIME	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
D	Yield	36"x36"x3/8"	RED ON WHITE	STEEL CHANNEL	7'-0"	R1-2	X
E	NO TRUCK ZONE	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYPI-2 (MODIFIED)	X
F	W1-3	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-3, W18-3P	X
G	NYPI	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYPI-2	X
H	W7	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-7	X
I	U	30"x30"	BLACK ON WHITE	STEEL CHANNEL	UNDER SIGN U	R6-5P	X

- NOTES**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, "DRIVER" PREPARED FOR THREE ROADS NEWBURGH LLC, PREPARED BY LANG & KELLY, P.C., DATED 11-11-2015.
 - EXISTING WETLAND DELINEATION SHOWN ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-26-2015.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAGES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
 - ALL LOADERS SHALL BE KEPT CLEAN OF ALL STORAGE MATERIAL TO MAINTAIN AVAILABILITY TO PARK A VEHICLE. THE LEADING DOCUMENTS WILL ALSO HAVE A SIMILAR CONDITION AND WILL BE POLICED BY THE PROJECT SUPERINTENDENT.



NOT FOR CONSTRUCTION

DATE: 02/19/2016
SCALE: 1" = 40'
PROJECT NO.: 15155
DRAWING NO.: LAY SP-4 LAY

REVISIONS:

No.	Description	Date
1	ISSUED FOR PERMITS	02/17/2016
2	ISSUED FOR PERMITS COMMENTS	02/17/2016
3	GENERAL REVISIONS	02/17/2017

OWNER: FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT: MAURI ARCHITECTS PC
 303 MILL STREET
 FOURCREEK, NY 12001

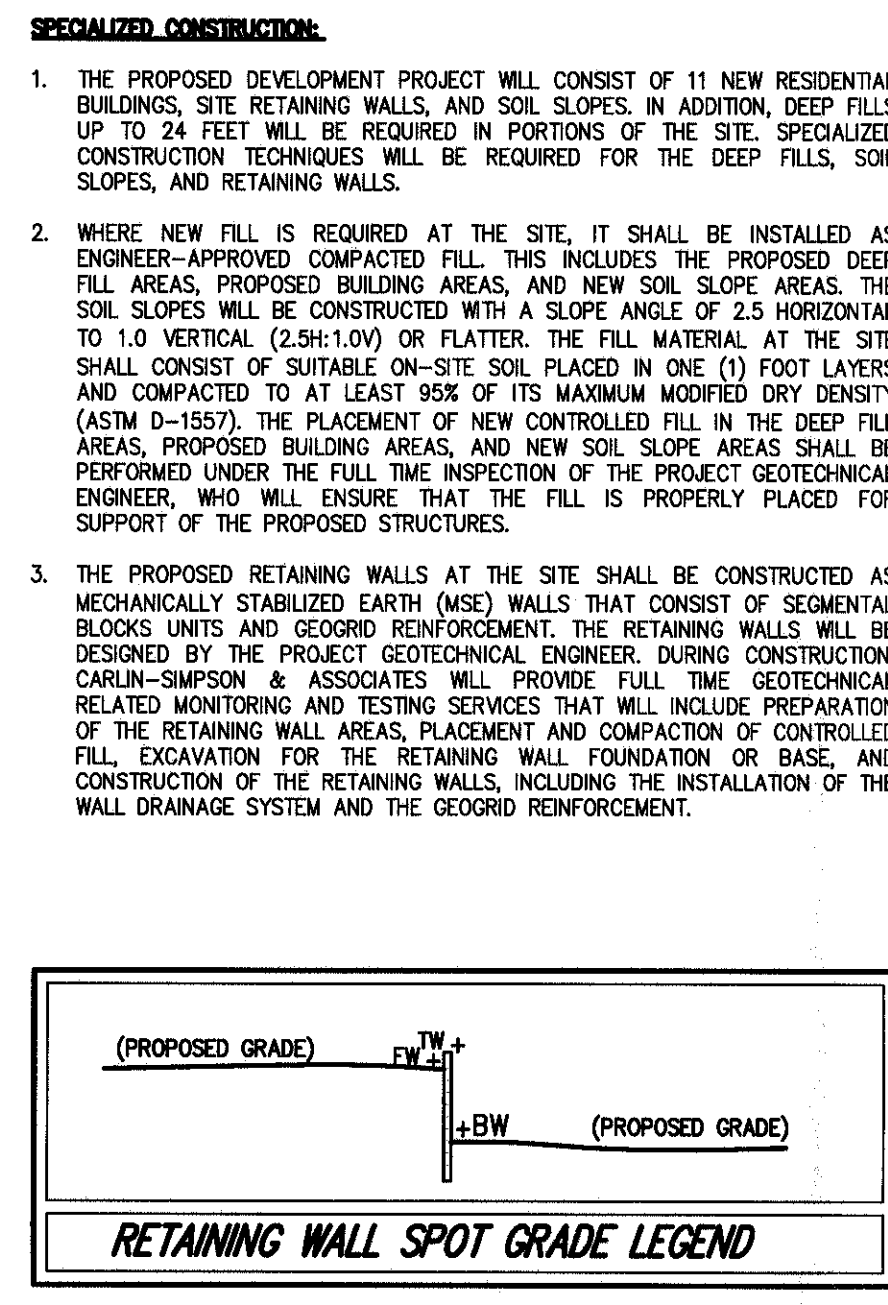
ENGINEER: JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
 John M. Joyce Consulting, Inc.
 128 BEFFORD ROAD - ARMONK, NY 10504
 REG. NO. 31423-0205 - 7 - IN 31423-0205
 www.jmc-pllc.com

SITE LAYOUT PLAN
 GARDERTOWN COMMONS
 TOWN OF NEWBURGH, NY

DATE: 02/19/2016
SCALE: 1" = 40'
PROJECT NO.: 15155
DRAWING NO.: LAY SP-4 LAY

SP-4

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE C DRAIN INLET
	PROPOSED TYPE D DRAIN INLET
	PROPOSED TRENCH DRAIN
	PROPOSED HEADWALL
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED DITCH OR SWALE
	PROPOSED RP-RAP
	EXISTING FEATURE TO BE REMOVED



SPECIALIZED CONSTRUCTION

- THE PROPOSED DEVELOPMENT PROJECT WILL CONSIST OF 11 NEW RESIDENTIAL BUILDINGS, SITE RETAINING WALLS, AND SOLE SLOPES. IN ADDITION, KEEP FILLS UP TO 24 FEET WILL BE REQUIRED IN PORTIONS OF THE SITE. SPECIALIZED CONSTRUCTION TECHNIQUES WILL BE REQUIRED FOR THE KEEP FILLS, SOLE SLOPES, AND RETAINING WALLS.
- WHERE NEW FILL IS REQUIRED AT THE SITE, IT SHALL BE INSTALLED AS ENGINEER-APPROVED COMPACTED FILL. THIS INCLUDES THE PROPOSED KEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOLE SLOPE AREAS. THE SOLE SLOPES WILL BE CONSTRUCTED WITH A SLOPE ANGLE OF 2:1 HORIZONTAL TO 1.0 VERTICAL (25%:100%) OR FLATTER. THE FILL MATERIAL AT THE SITE SHALL CONSIST OF SUITABLE ON-SITE SOIL PLACED IN ONE (1) FOOT LAYERS AND COMPACTED TO AT LEAST 80% OF ITS MAXIMUM MODIFIED DRY DENSITY (ASTM D-1557). THE PLACEMENT OF NEW CONTROLLED FILL IN THE KEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOLE SLOPE AREAS SHALL BE SUPERVISED UNDER THE FULL INSPECTION OF THE PROJECT GEOTECHNICAL ENGINEER, WHO WILL ENSURE THAT THE FILL IS PROPERLY PLACED FOR SUPPORT OF THE PROPOSED STRUCTURES.
- THE PROPOSED RETAINING WALLS AT THE SITE SHALL BE CONSTRUCTED AS MECHANICALLY STABILIZED EARTH (MSE) WALLS THAT CONSIST OF SECTORIAL BLOCKS UNITS AND GEOTEXTILE REINFORCEMENT. THE RETAINING WALLS WILL BE DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER. DURING CONSTRUCTION, CARBON-SUPSON & ASSOCIATES WILL PROVIDE FULL-TIME GEOTECHNICAL RELATED MONITORING AND TESTING SERVICES THAT WILL INCLUDE PREPARATION OF THE RETAINING WALL MEASUREMENT AND COMPARISON OF CONTROLLED FILL EXCAVATION FOR THE RETAINING WALL FOUNDATION OF BASE, AND CONSTRUCTION OF THE RETAINING WALLS, INCLUDING THE INSTALLATION OF THE WALL DRAINAGE SYSTEM AND THE GEOTEXTILE REINFORCEMENT.

SOIL MANAGEMENT NOTE

THE PROPERTY INVOLVED IN THIS SITE PLAN HAD PREVIOUSLY CONTAINED AN APPLE ORCHARD AND WAS EXPOSED TO THE APPLICATION OF PESTICIDES ASSOCIATED WITH THE NORMAL MAINTENANCE OF AN APPLE ORCHARD. SOIL SAMPLES WERE COLLECTED FROM SEVERAL AREAS ON THE SITE AND WERE ANALYZED BY A NYSDOH CERTIFIED LABORATORY ESTABLISHING THAT THE PESTICIDE CONCENTRATIONS EXCEEDED NUTRIENT GUIDELINES. THE SITE SPECIFIC SOIL REMEDIATION, AS OUTLINED IN A REPORT PREPARED BY WILLIAM L. GOMM & ASSOCIATES, INC. DATED SEPTEMBER 8, 2006, SHALL BE PERFORMED DURING THE DEVELOPMENT OF THIS SITE. THE REPORT PROPOSES THAT THE TOP 8-12 INCHES OF SOIL FROM AREAS THAT WILL BE RESTORED DURING CONSTRUCTION BE REMOVED AND STOCKPILED UNTIL BUILDINGS, DRIVEWAYS AND PARKING AREAS HAVE BEEN COMPLETED AND THAT THE STOCKPILED SOIL BE REDISTRIBUTED AND COVERED WITH 6 INCHES OF CLEAN LOAM AND SEEDED WITH GRASS SEED. RESTORATION BY CAPPING PESTICIDE-CONTAMINATED SOIL WITH CLEAN SOIL AND ESTABLISHMENT OF LAWN AND LANDSCAPING IS INTENDED TO PREVENT HUMAN CONTACT WITH PESTICIDES AND METALS. FINAL CAPPING MATERIAL SHALL BE DEMONSTRATED TO MEET CURRENT NEW YORK STATE DEPARTMENT OF HEALTH GUIDELINES. THIS TECHNIQUE IS ROUTINELY ACCEPTED BY NEW YORK STATE DEPARTMENT OF HEALTH.

NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE RODS NEWMURK LLC," PREPARED BY LANS & TRACY, P.C., DATED 11/7/2015.
- EXISTING METLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC, DATED 10-28-2015.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED EXCAVATION STRESS IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
- THE INFILTRATION BASIN SHALL MEET ALL REQUIRED INFILTRATION ELEMENTS AS OUTLINED BY THE NYSDOC STORMWATER MANAGEMENT DESIGN MANUAL.
- TO BE SUITABLE FOR INFILTRATION, UNDERLYING SOILS SHALL HAVE AN INFILTRATION RATE (IQ) OF AT LEAST 0.5 INCHES PER HOUR, AS INITIALLY DETERMINED FROM IN-SITU TESTS. CLASSIFICATION, AND SUBSEQUENTLY CONFIRMED BY FIELD GEOTECHNICAL TESTS (SEE APPROACH D). THE MINIMUM GEOTECHNICAL TESTING IS ONE TEST HOLE PER 5000 SF, WITH A MINIMUM OF TWO BORINGS PER FACILITY (EVEN WITHIN THE PROPOSED LIMITS OF THE FACILITY).
- SOILS SHALL ALSO HAVE A CLAY CONTENT OF LESS THAN 20% AND A SILT/CLAY CONTENT OF LESS THAN 40%.
- INFILTRATION PRACTICES CANNOT BE LOCATED ON AREAS WITH NATURAL SLOPES GREATER THAN 10%.
- INFILTRATION PRACTICES CANNOT BE LOCATED IN FILL SOILS, EXCEPT THE TOP QUARTER OF AN INFILTRATION TRENCH OR DRY WELL.
- TO PROTECT GROUNDWATER FROM POSSIBLE CONTAMINATION, RUNOFF FROM DESIGNATED WETSPOT LAND USES OR ACTIVITIES MUST NOT BE DIRECTED TO A FORMAL INFILTRATION FACILITY. IN CASES WHERE THIS IS IMPOSSIBLE (E.G. WHERE THE STORM DRAIN SYSTEM LEADS TO A LARGE REVERSE FACILITY DESIGNED FOR FLOOD CONTROL), RESONANT TREATMENT MUST BE PROVIDED BY APPLYING TWO OF THE PRACTICES LISTED IN TABLE S.1 IN SERIES, BOTH OF WHICH ARE SIZED TO TREAT THE ENTIRE RW.
- THE BOTTOM OF THE INFILTRATION FACILITY SHALL BE SEPARATED BY AT LEAST THREE FEET VERTICALLY FROM THE SEASONALLY HIGH WATER TABLE OR BEDROCK LAYERS, AS DOCUMENTED BY ON-SITE SOIL TESTING, FOUR FEET IN SOLE SOURCE AQUIFERS).
- INFILTRATION FACILITIES SHALL BE LOCATED AT LEAST 100 FEET HORIZONTALLY FROM ANY WATER SUPPLY WELL.
- INFILTRATION PRACTICES CANNOT BE PLACED IN LOCATIONS THAT CAUSE WATER PROBLEMS TO ADJACENT PROPERTIES. INFILTRATION TRENCHES AND BASINS SHALL BE SETBACK 25 FEET FROM ADJACENT PROPERTIES AND SEPTIC SYSTEMS. DRY WELLS SHALL BE SEPARATED A MINIMUM OF 10 FEET FROM STRUCTURES.



<p>FARRELL BUILDING COMPANY, LLC 1601 VETERANS MEMORIAL HIGHWAY ISLANDIA, NY 11749</p> <p>MAURI ARCHITECTS PC 303 WELLS STREET PO BOX 9162 ISLANDIA, NY 11749</p>	<p>JMC</p> <p>SITE GRADING PLAN GARDNERTOWN COMMONS TOWN OF NEWMURK, NY</p>	<p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.</p> <p>Scale: 1" = 40' Date: 02/19/2016 Project: 15155 Sheet: 040 of 5 Drawn: [Name] Checked: [Name]</p> <p>SP-5</p>
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LEGEND	
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING WETLAND LINE AND DELINEATION
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING FOUNDATION
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING SANITARY LINE AND SIZE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED DROP CURB AND RAMP
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM DRAIN MANHOLE
[Symbol]	PROPOSED TYPE C DRAIN INLET
[Symbol]	PROPOSED TYPE B DRAIN INLET
[Symbol]	PROPOSED TRENCH DRAIN
[Symbol]	PROPOSED HEADWALL
[Symbol]	PROPOSED OUTLET CONTROL STRUCTURE
[Symbol]	PROPOSED CLEANOUT
[Symbol]	PROPOSED HYDRANT
[Symbol]	PROPOSED STORM DRAIN LINE & SIZE
[Symbol]	PROPOSED SANITARY SEWER LINE & SIZE
[Symbol]	PROPOSED WATER LINE & SIZE
[Symbol]	PROPOSED GAS LINE
[Symbol]	PROPOSED ELECTRIC/TELEPHONE/CABLE
[Symbol]	PROPOSED WATER VALVE
[Symbol]	PROPOSED GAS VALVE
[Symbol]	PROPOSED RIP-RAP APRON
[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	PROPOSED TEMPORARY FENCE
[Symbol]	PROPOSED UTILITY POLE
[Symbol]	PROPOSED RIP-RAP

- NOTES:**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE MOSS NEWBURGH LLC," PREPARED BY LANC & TULLY, P.C., DATED 11/11/2015.
 - EXISTING WETLAND DELINEATION SHOWN ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-26-2015.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION RATE IN ACCORDANCE WITH ASTM F-2924. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC) SDR-35 WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CORNED-NEED DUCTILE IRON PIPE (DIP), CLASS 50, WITH MECHANICAL JOINTS IN ACCORDANCE WITH ASTM C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
 - ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE COUPLER LINES, CLASS 50, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.5-11 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
 - TRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. TRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINING CLAMPS. ALL FITTINGS AND VALVES SHALL BE INSTALLED WITH RETAINING CLAMPS FOR JOINT RESTRAINT. RETAINING CLAMPS SHALL BE EITHER IRON MECHANICAL SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
 - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C151/A21.5-11 FOR LATEST REVISION FOR DUCTILE IRON FITTINGS.
 - ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C200 OR LATEST REVISION SUCH AS MUELLER A-2200-22 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
 - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-610 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C200 SUCH AS MUELLER MODEL T-2302-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
 - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORROSION STOPPS SHALL BE MUELLER H-1000 FOR 1/2 AND 1 INCH, MUELLER H-1500 FOR 1 1/2 AND 2 INCH. CURB VALVES SHALL BE MUELLER H-1001 FOR 1/2 AND 1 INCH AND MUELLER B-2204 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1032 FOR 1/2 AND 1 INCH AND MUELLER H-1030 FOR 1 1/2 AND 2 INCH SIZES.
 - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
 - THE WATER MAIN SHALL BE TESTED, DISCONNECTED AND FLOWED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISSECTION AND FLOWING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.

- NOTES (CONTINUED):**
- TRUST RESTRAINT SHALL BE PROVIDED BY THE BIDDOR AND RETAINER BIDDING. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DIPA STANDARDS.
 - PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
 - DISSECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 - YEAR OF LATEST REVISION STANDARDS.
 - ALL WATER MAINS SHALL BE 8" CLASS 50, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
 - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
 - CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDDC AND THE TOWN OF NEWBURGH.
 - ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4" INCHES IN DIAMETER OR LARGER AND SHALL BE 50# PVC PIPE CONFORMING TO ASTM D-3034-88. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT. COORDINATION COMPLETE WITH THE PIPE.
 - THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
 - THIS PROJECT HAS INDICATED THE INTENT TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS AND IS THROUGHTFULLY DESIGNING THE NECESSARY FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
 - THE PROPOSED CUBHOUSE POOL DECK AND WATER SERVICE LINES SHALL BE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION. ALL WATER SERVICES TO THE PROPOSED POOL SHALL REQUIRE AN APPROPRIATE BACKFLOW PREVENTER DEVICE TO PREVENT CROSS CONNECTION TO THE PROPOSED DISTRIBUTION SYSTEM.
 - BACKFLOW PREVENTER DEVICES FOR BOTH THE 1/2" CONNECTIONS AND IF THE SERVICES TO BE APPROVED BY COOH AND ARE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND SHALL PERFORM ALL WORK REQUIRED IN CONNECTION WITH ALL THE TESTS AS SPECIFIED HEREIN. ALL PIPE SHALL BE TESTED BY HYDROSTATIC PRESSURE, FIFTY (50) PERCENT IN EXCESS OF THE NORMAL WORKING PRESSURE, BUT NOT LESS THAN 100 PSI OR MORE THAN THE DESIGN RATING OF THE PIPE APPURTENANCES, IN ACCORDANCE WITH AWWA SPECIFICATION C-600. THE TEST SHALL BE DETERMINED BY THE WATER AUTHORITY AND/OR OWNER'S FIELD REPRESENTATIVE. EACH SECTION TESTED SHALL BE SLOWLY FILLED WITH WATER, LEAKS BEING TAKEN TO EXCEL ALL AIR FROM THE PIPES. IF NECESSARY, THE PRESS SHALL BE TAPPED AT HIGH POINTS TO VENT THE AIR. REQUIRED PRESSURE, AS MEASURED AT THE POINT OF LOWEST ELEVATION, SHALL BE APPLIED FOR NOT LESS THAN TWO (2) HOURS, AND ALL PIPE FITTINGS, VALVES, HYDRANTS AND JOINTS SHALL BE CAREFULLY EXAMINED FOR DEFECTS. LEAKY JOINTS SHALL BE MADE WATER TIGHT.
 - IF THE SECTION BEING TESTED SHALL FAIL TO PASS THE PRESSURE TEST OR THE LEAKAGE TEST, OR BOTH, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO LOCATE, UNDERSTAND AND REPAIR OR REPLACE THE DEFECTIVE PIPE, FITTINGS AND JOINTS, AND ALL SUCH WORK SHALL BE DONE AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DISTRICT, HEALTH DEPARTMENT OR ANY OTHER AUTHORITY, THE CONTRACTOR SHALL FOLLOW THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
 - AFTER THE WATER LINE HAS PASSED THE REQUIRED PRESSURE AND LEAKAGE TESTS AND BEFORE BEING PLACED INTO SERVICE, THE ENTIRE LINE SHALL BE DISCONNECTED. ALL DISSECTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-600. ALL DISSECTION OPERATIONS AND PROCEDURES SHALL MEET WITH THE APPROVAL OF THE WATER AUTHORITY AND HEALTH DEPARTMENT.
 - IF THE INITIAL BACTERIOLOGICAL TESTS ARE NOT SATISFACTORY, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS, INCLUDING MAKING PROVISIONS TO ISOLATE SHORTER SECTIONS OF LINE TO LOCATE THE SOURCE OF CONTAMINATION. ALL WORK NECESSARY AND REQUIRED TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS SHALL BE AT THE CONTRACTORS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
 - THE DESIGN, CONSTRUCTION AND INSTALLATION OF THE WATER MAINS SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERAL ACCEPTED STANDARDS IN AFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE: "RECOMMENDED STANDARDS FOR WATER WORKS (RDW) STATUTE" "NATURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH" "NEW YORK STATE DEPARTMENT OF HEALTH AND ORANGE COUNTY DEPARTMENT OF HEALTH POLICES, PROCEDURES, AND STANDARDS"
 - UPON COMPLETION OF THE FACILITIES, THE FINISHED WORK SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE BY THE PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE PROFESSIONAL ENGINEER.
 - ALL WATER DISTRIBUTION SYSTEM PIPES AND APPURTENANCES SHALL CONFORM TO CURRENT TOWN OF NEWBURGH STANDARDS.
 - BACKFLOW PREVENTION DEVICE WILL BE LOCATED IN THE BUILDING APPLICATION FOR APPROVAL. SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE MECHANICAL ENGINEER/ARCHITECT.
 - UNDER INDUSTRIAL CODE 703, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT "MASTER LIST OF OPERATORS" ON FILE WITH THE CENTRAL RECORDS BY THE TOWN OF NEWBURGH AND VISIT PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE DAMAGED BY HIS OPERATIONS. THIS SHALL INCLUDE TRUE UTILITIES OR NOT, THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL LOCATE AND GUARANTEE THE LOCATION OF SUCH UTILITIES OR STRUCTURES THAT HE OR SHE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION TO UTILITY SERVICE.
 - POTABLE WATER PIPE NETWORKS MUST BE IN COMPLIANCE WITH THE "NO LEAD LAW," THE AMENDMENT TO THE SAFE DRINKING WATER ACT WHICH PROHIBITS THE USE OF BRASS PRODUCTS CONTAINING MORE THAN 0.2% LEAD. THE WATER SERVICE INSTALLATION MUST ALSO COMPLY WITH THE "NO LEAD LAW" THAT WENT INTO EFFECT JANUARY 4, 2014.

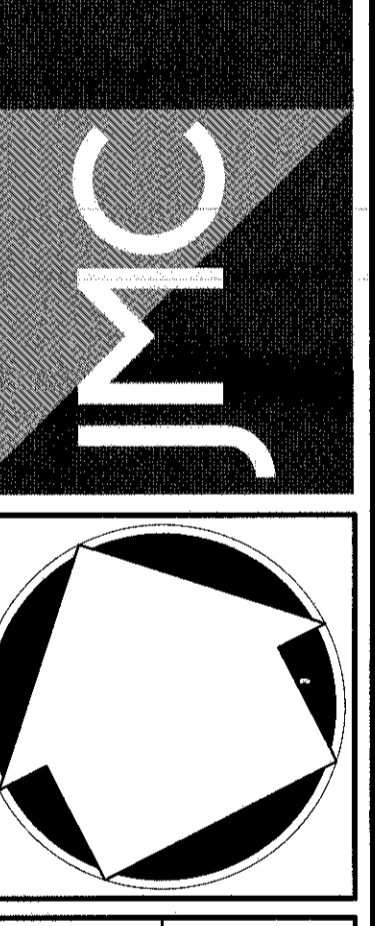
- NOTES (CONTINUED):**
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 - UNDER INDUSTRIAL CODE 703, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT "MASTER LIST OF OPERATORS" ON FILE WITH THE CENTRAL RECORDS BY THE TOWN OF NEWBURGH AND VISIT PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE DAMAGED BY HIS OPERATIONS. THIS SHALL INCLUDE TRUE UTILITIES OR NOT, THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL LOCATE AND GUARANTEE THE LOCATION OF SUCH UTILITIES OR STRUCTURES THAT HE OR SHE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION TO UTILITY SERVICE.
 - POTABLE WATER PIPE NETWORKS MUST BE IN COMPLIANCE WITH THE "NO LEAD LAW," THE AMENDMENT TO THE SAFE DRINKING WATER ACT WHICH PROHIBITS THE USE OF BRASS PRODUCTS CONTAINING MORE THAN 0.2% LEAD. THE WATER SERVICE INSTALLATION MUST ALSO COMPLY WITH THE "NO LEAD LAW" THAT WENT INTO EFFECT JANUARY 4, 2014.



No.	Revision	Date
1	REVISED PER TOWN COMMENTS	05/17/2016
2	UPDATED SITE PLANS	02/14/2017
3	GENERAL REVISIONS	03/27/2017

PREPARED BY: **FARRELL BUILDING COMPANY, LLC**
 ARCHITECT: **MAURI ARCHITECTS PC**
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 Poughkeepsie, NY 12601

JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, PLLC
 JMS Site Development Consultants, LLC
 John Myer Consulting, Inc.



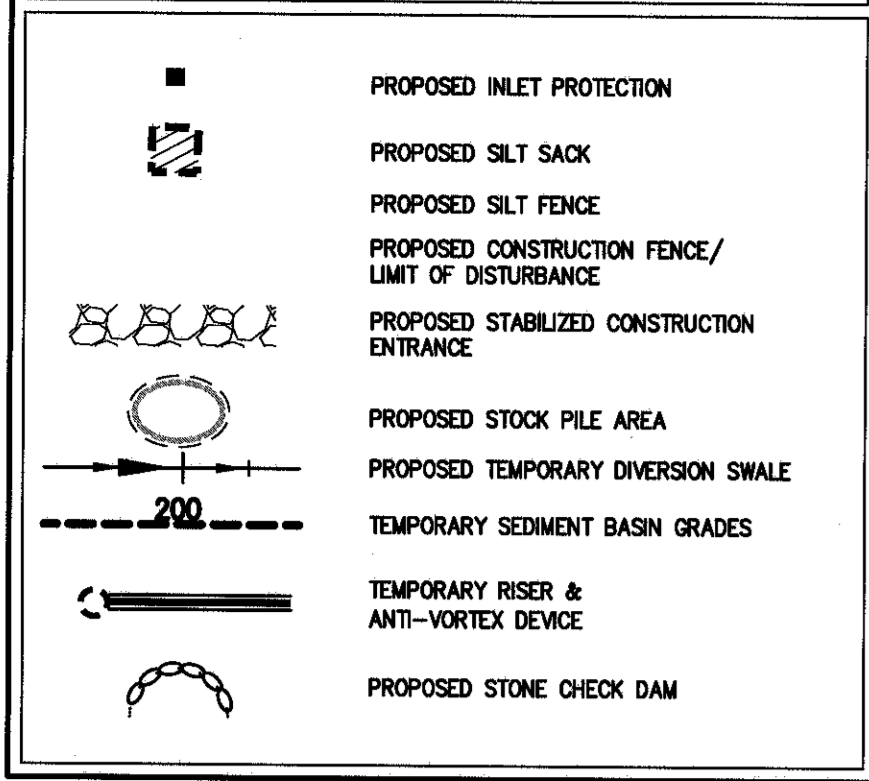
SITE UTILITIES PLAN
GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 1209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 1209, SUBSECTION 2.

Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	02/19/2016		
Project No.	15155		
Sheet No.	UL-9-4	Of	UL-9
SP-6			

NOT FOR CONSTRUCTION

LEGEND

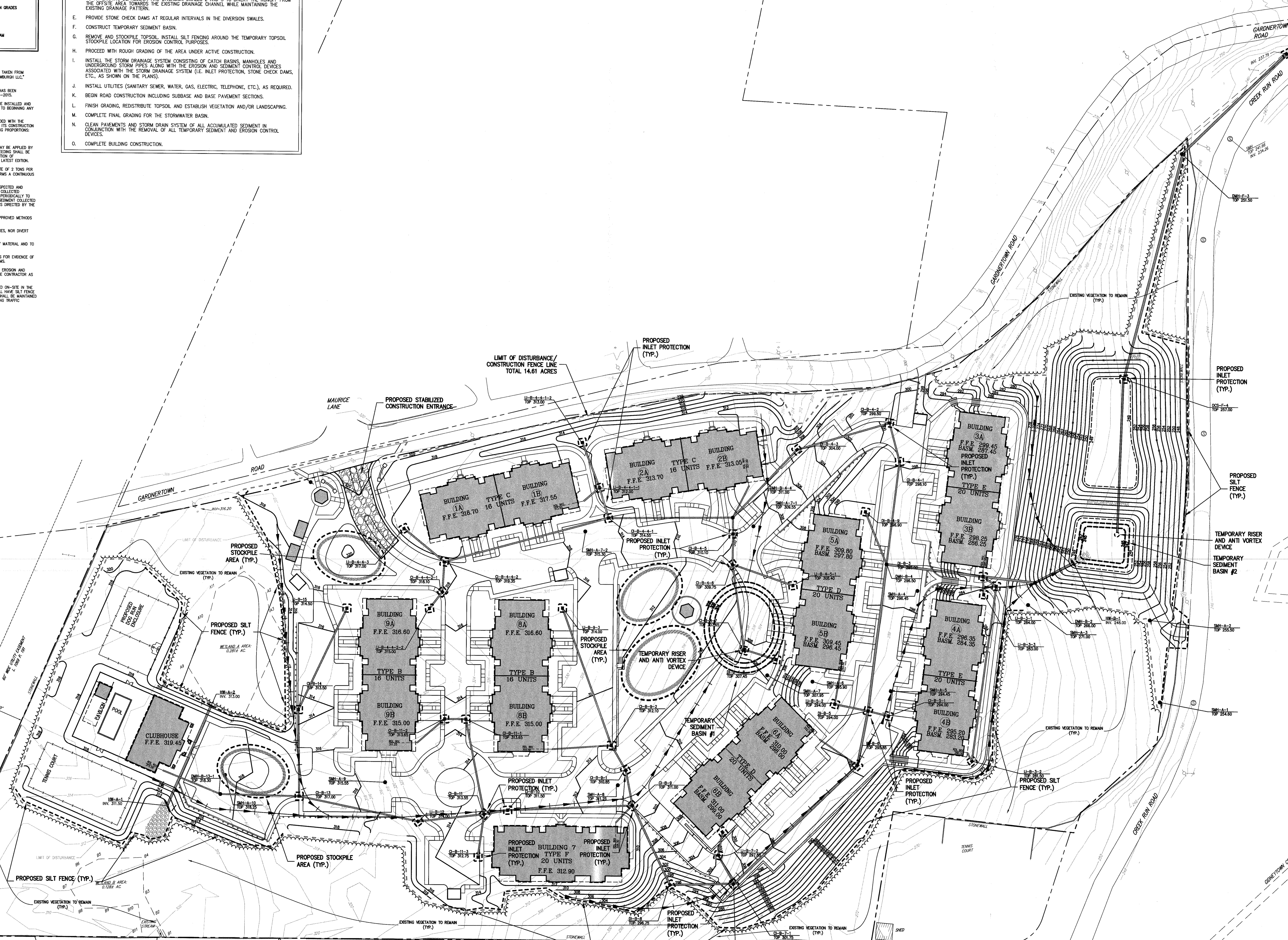


SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
A. STAKE LIMIT OF DISTURBANCE BOUNDARY WITH ORANGE CONSTRUCTION FENCE. INSTALL A STABILIZED CONSTRUCTION ENTRANCE. CLEAR THE AREA TO BE DEVELOPED.
B. INSTALL ALL SILT FENCES.
C. GRUB THE AREA TO BE CONSTRUCTED.
D. CONSTRUCT DIVERSION SWALE 1 TO DIVERT THE OFFSITE AREA DRAINING TOWARDS THE SITE TO AN EXISTING DEPRESSION AND DIVERSION SWALES 2 AND 3 TO DIVERT THE RUNOFF FROM THE OFFSITE AREA TOWARDS THE EXISTING DRAINAGE CHANNEL WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN.
E. PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALES.
F. CONSTRUCT TEMPORARY SEDIMENT BASIN.
G. REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY TOPSOIL STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
H. PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
I. INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF GATCH BASINS, MANHOLES AND UNDERGROUND STORM PIPES ALONG WITH THE EROSION AND SEDIMENT CONTROL DEVICES ASSOCIATED WITH THE STORM DRAINAGE SYSTEM (I.E. INLET PROTECTION, STONE CHECK DAMS, ETC., AS SHOWN ON THE PLANS).
J. INSTALL UTILITIES (SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, ETC.), AS REQUIRED.
K. BEGIN ROAD CONSTRUCTION INCLUDING SUBBASE AND BASE PAVEMENT SECTIONS.
L. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
M. COMPLETE FINAL GRADING FOR THE STORMWATER BASIN.
N. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
O. COMPLETE BUILDING CONSTRUCTION.

NOTES

- 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES "SURVEY PREPARED FOR THREE KINGS NEWBURGH LLC" PREPARED BY LANC & TULLY, P.C., DATED 10/28/2015.
2. EXISTING METAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC, DATED 10-28-2015.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
4. EXPOSED SOILS AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 2 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS: PERENNIAL RYE GRASS 70% CRACKING RED FESCUE 30%
5. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
6. SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT TRAPBERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
8. MUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
9. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
10. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
11. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION OR A MEASLY BASIS AND AFTER RAINSTORMS.
12. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
13. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO INTERFERE ON EXISTING TRAFFIC CIRCULATION ROUTES.



NOT FOR CONSTRUCTION

Table with columns: No., Date, Description, By, and a grid for revision tracking. Includes project information for FARRELL BUILDING COMPANY, LLC and MAURI ARCHITECTS PC.

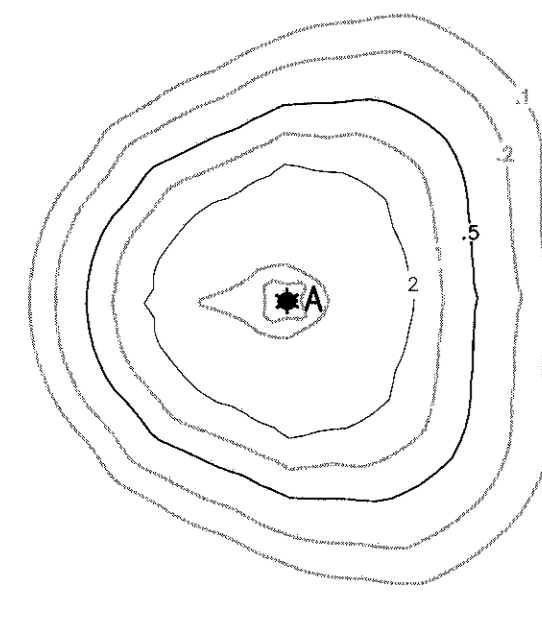
JMC logo and contact information for JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC. Includes address: 120 BERGEMUND ROAD - BAINBRIDGE, NY 10604.

EROSION AND SEDIMENT CONTROL PLAN
GARDNERTOWN COMMONS
TOWN OF NEWBURGH, NY

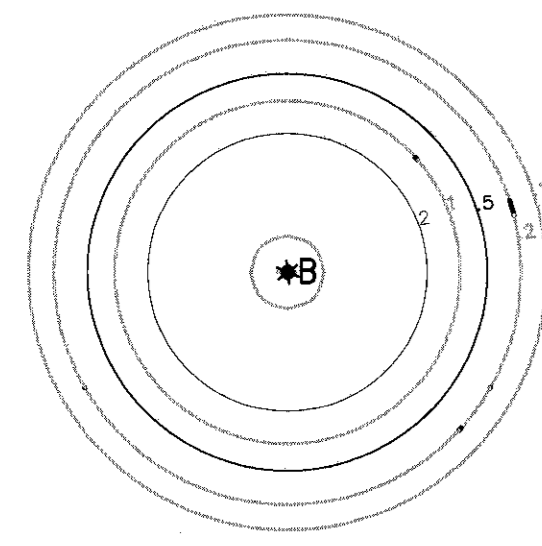
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LEGEND

- EXISTING UTILITY POLE
- ⊕ EXISTING LIGHT POLE
- ★ PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
- ▲ PROPOSED SITE LIGHTING (WALL MOUNTED)
- ⊙ PROPOSED BOLLARD LIGHTING STANDARD
- ⊖ PROPOSED ILLUMINANCE IN FOOT-CANDLES



PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE A: LIGHT COOPER LIGHTING - MCGRAW-EDISON GAT-150-MP-X-3C-X-X ARCHITECTURAL POST TOP LUMINAIRE - TYPE III CUTOFF 150 WATT PULSE-START CLEAR ED-28 VBD BURN



PROPOSED STANDARD LIGHTING AND ISOLUX PATTERNS FOR TYPE B LIGHT: COOPER LIGHTING - MCGRAW-EDISON GAT-150-MP-X-3C-X-X ARCHITECTURAL POST TOP LUMINAIRE - TYPE V CUTOFF 150 WATT PULSE-START CLEAR ED-28 VBD BURN

NOTES:

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
2. CIRCUIT WIRING SHALL BE PER ORANGE AND ROCKLAND UTILITY REQUIREMENTS.



No.	Revisions	Date	By
1	REMOVED PER TOWN COMMENTS	05/17/2016	MT
2	UPDATED SITE PLANS	02/14/2017	BIS
3	GENERAL REVISIONS	03/21/2017	MT

PROJECT OWNER:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT:
MAURI ARCHITECTS PC
 1000 STATE STREET
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Moran Consulting, Inc.
 120 ESPERON ROAD • ARMONK, NY 10504
 914.472.3225 • 914.472.3102
 www.jmcpllc.com



SITE LIGHTING PLAN
 GARDNERTOWN COMMONS
 GARDNERTOWN CREEK
 TOWN OF NEWBURGH, NY

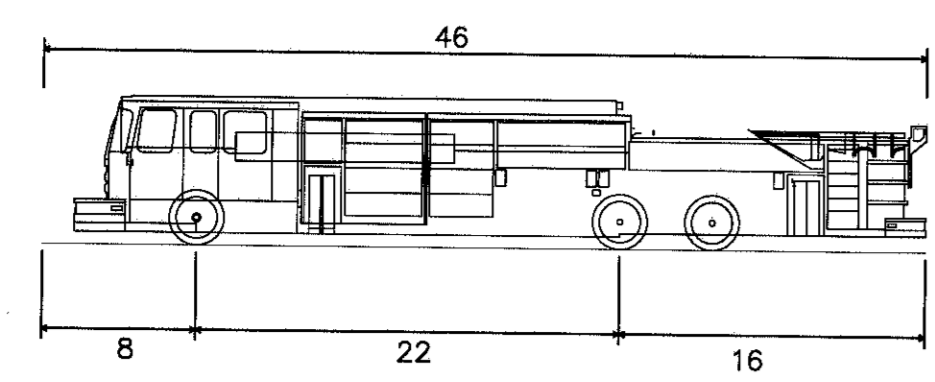
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: MT	Approved: JS
Scale: 1" = 40'	
Date: 02/16/2016	
Project No: 15155	
100-SL LIGHTING 9-a	LIGHTING
Drawing No:	SP-9

NOT FOR CONSTRUCTION

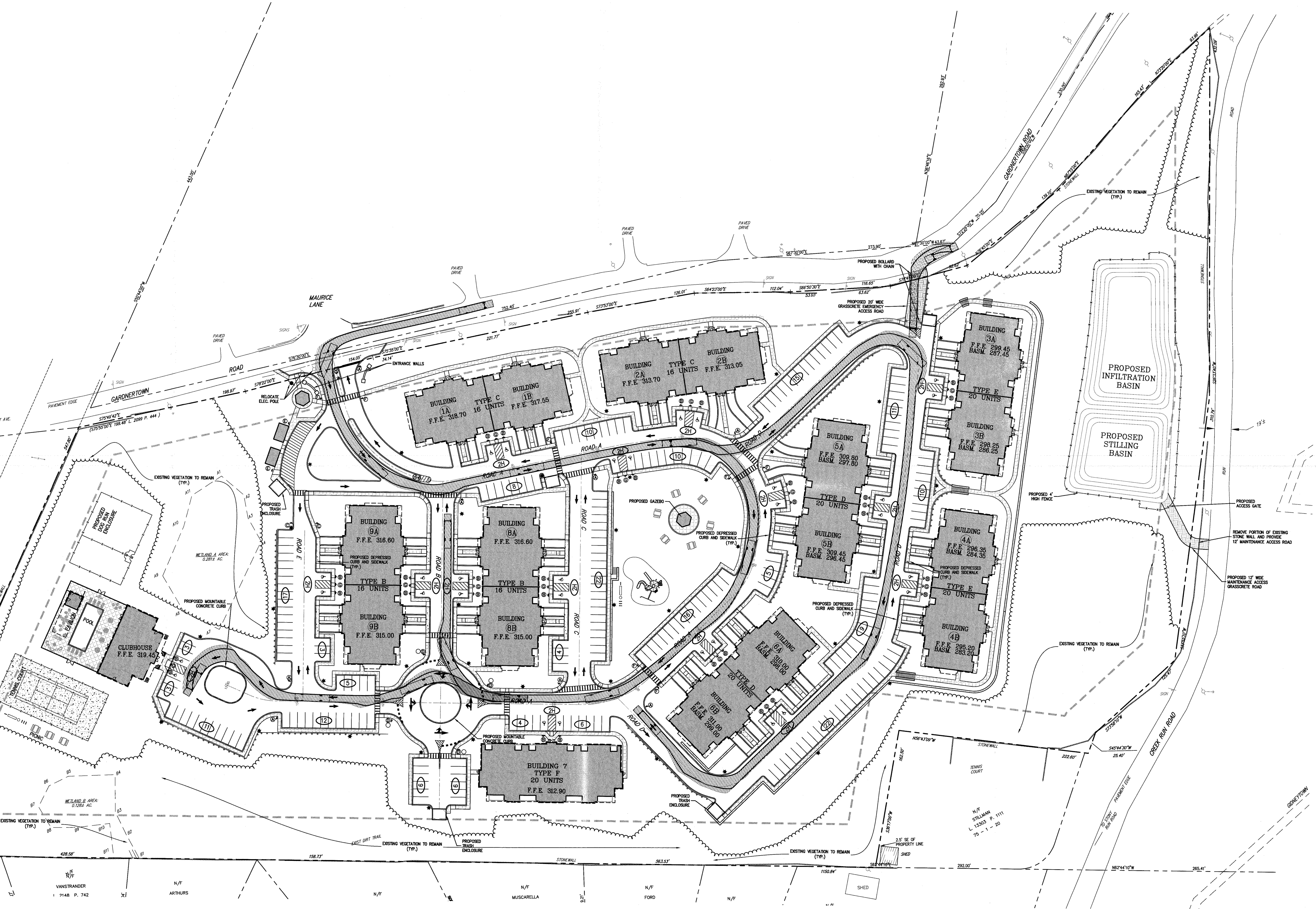
LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING CURB
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED DEPRESSED CURB AND SIDEWALK
	PROPOSED MOUNTABLE CURB
	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GLUE RAIL (DET 100)
	PROPOSED FENCE
	PROPOSED LIGHTING STANDARD
	PROPOSED 2-4" WIDE YELLOW LINES (P.C.)
	PROPOSED 1-4" WIDE WHITE LINE
	PROPOSED 12" WIDE WHITE STOP LINE
	PROPOSED 4" WIDE YELLOW HATCH LINES 1/2" O.C. @ 45°
	PROPOSED WORD MARKING ON PAVEMENT (DET 100)
	PROPOSED ARROW MARKING ON PAVEMENT (DET 100)
	PROPOSED TRAFFIC SIGN LOCATION & DESIGN
	PEDESTRIAN CROSSING
	PROPOSED TREE LINE
	EXISTING FEATURE TO BE REMOVED



Newburgh Fire Truck
 Overall Length 46.000ft
 Overall Width 8.000ft
 Overall Body Height 22.000ft
 Min. Body Ground Clearance 16.000ft
 Track Width 16.000ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, SURVEY PREPARED FOR "HARRIS HODS NEWBURGH LLC," PREPARED BY LANC & PAULY, P.C., DATED 11-11-2016.
 - EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-26-2015.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.
 - ALL GARAGES SHALL BE KEPT CLEAN OF ALL STORAGE MATERIAL TO MAINTAIN AVAILABILITY TO PARK & REMOVE THE LEASING DOCUMENTS WILL ALSO HAVE A SIMILAR CONDITION AND WILL BE PROVIDED BY THE PROJECT SUPERINTENDENT.



DATE	05/11/2016	BY	MT
REVISION	02/19/2016	MT	
NO.	1	REVISOR	BMS
	2	GENERAL REVISION	MT
	3	GENERAL REVISION	MT

PREPARED BY: FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

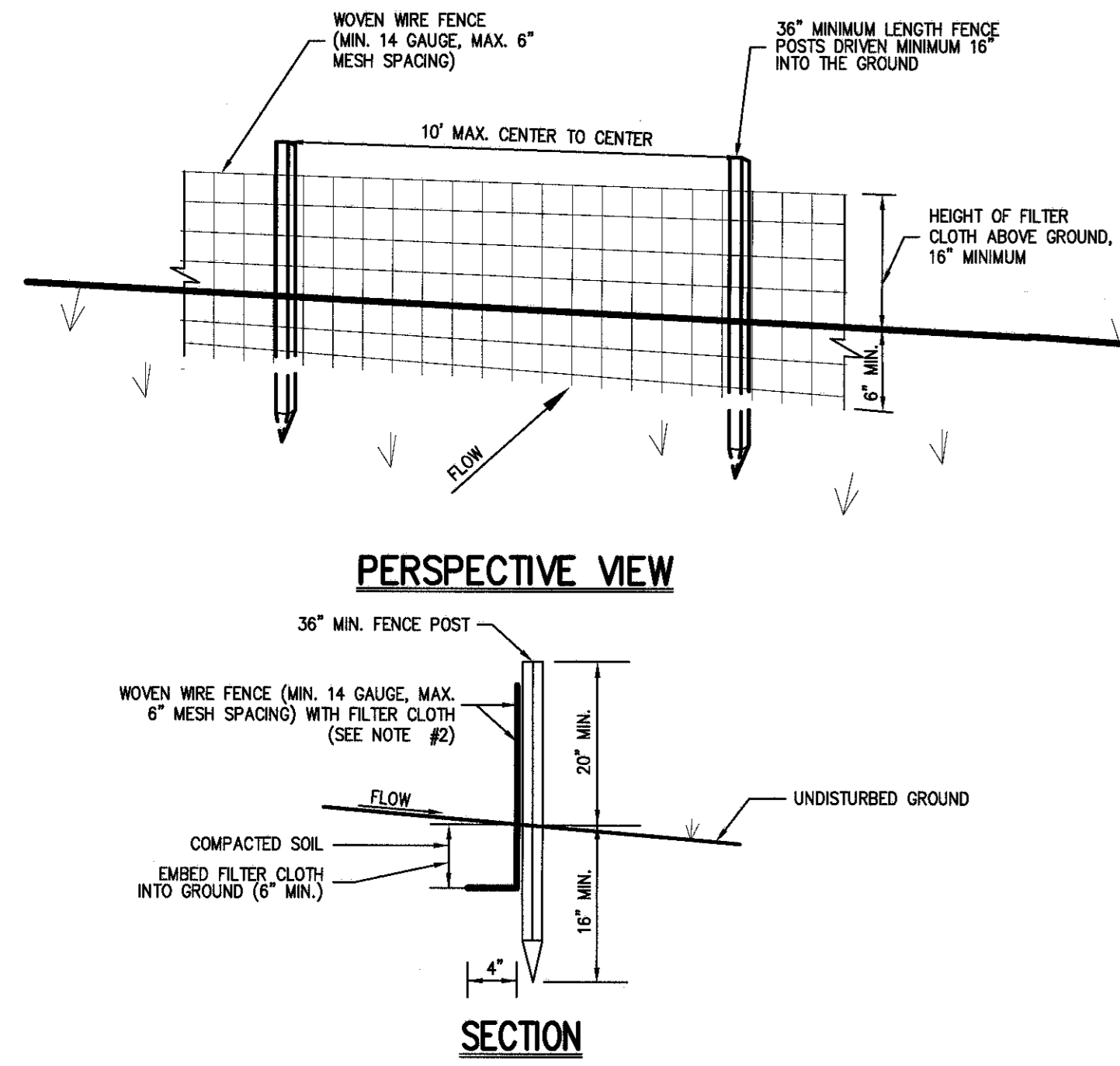
ARCHITECT: MAURI ARCHITECTS PC
 303 MILL STREET
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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 120 BELMONT ROAD - ARMONK, NY 10504
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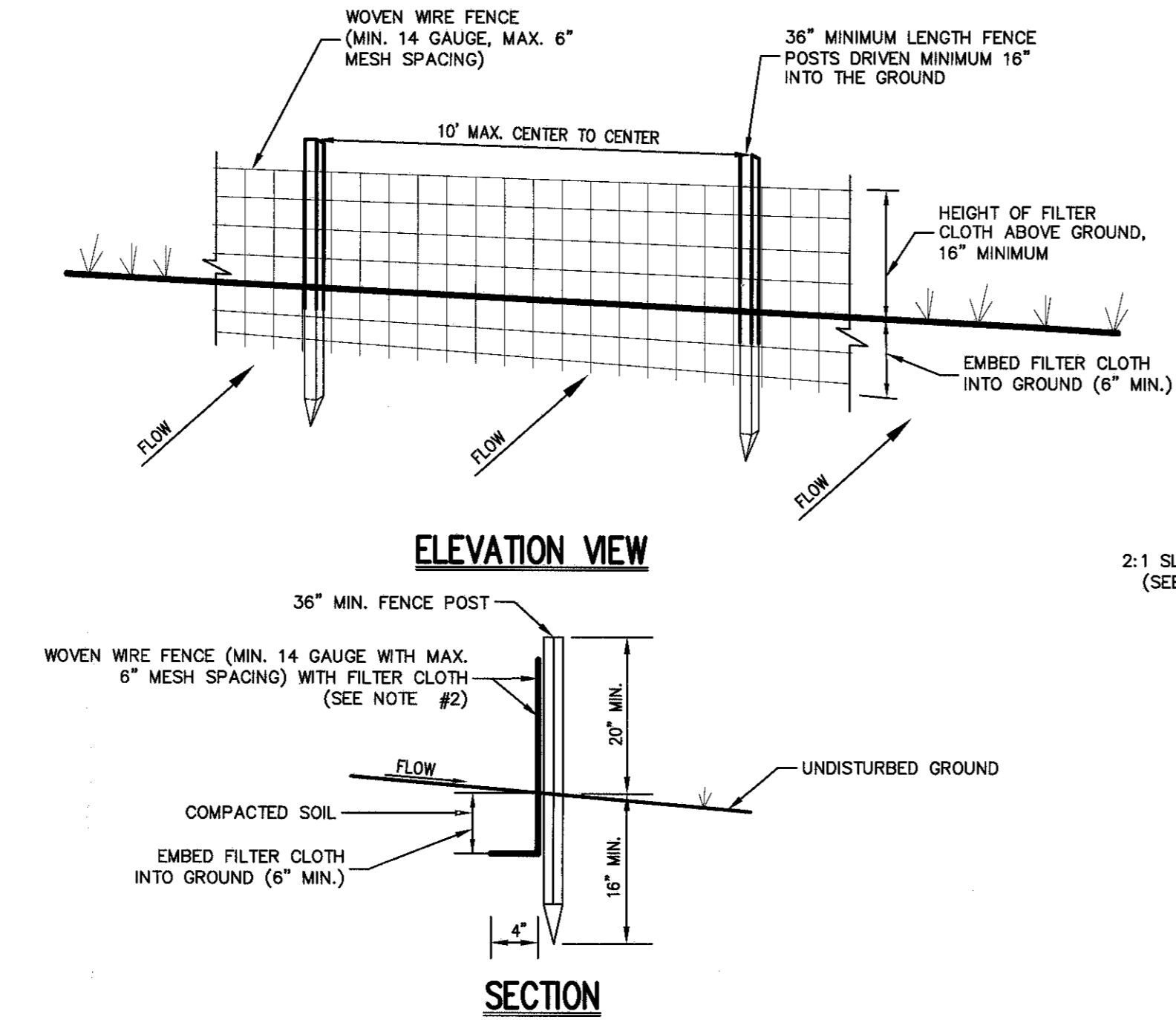
FIRE TRUCK - TURNING PLAN
 GARDNERTOWN COMMONS
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

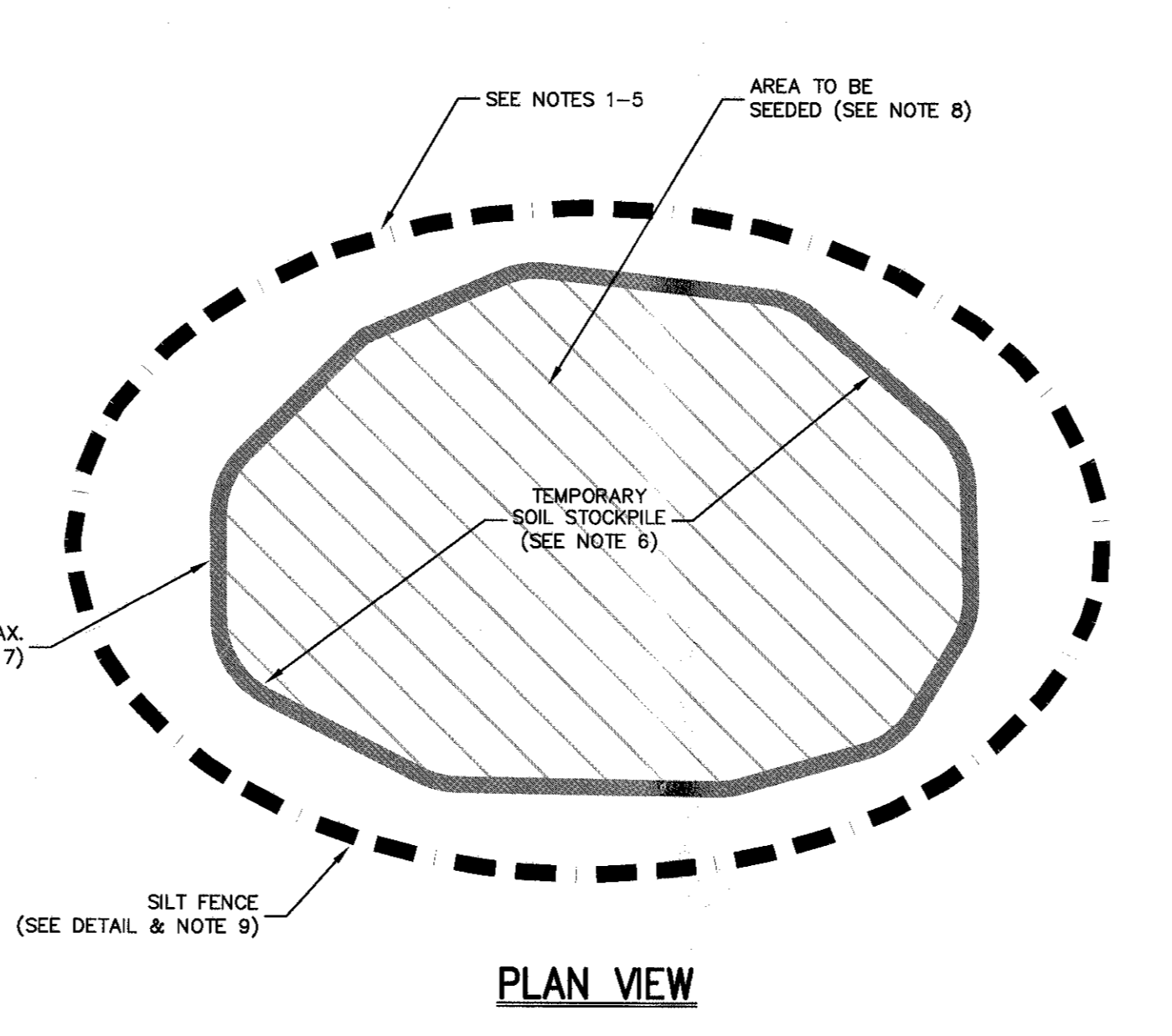
Drawn	MT	Approved	AS
Scale	1" = 40'		
Date	02/19/2016		
Project No.	15155		
Drawn By	TRUCK SP-10	TRUCK	SP-10



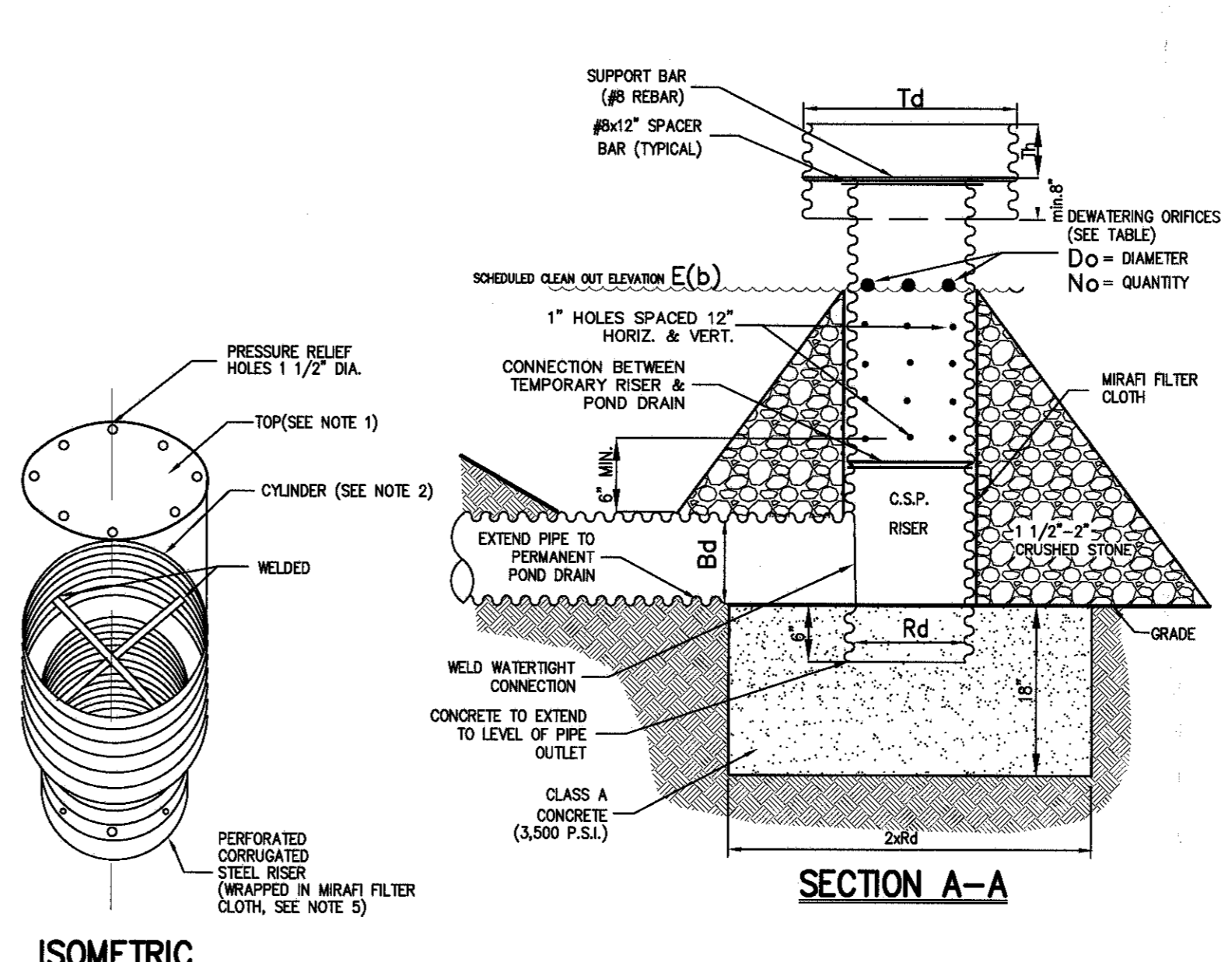
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MHWAT TOOL, STABILINA THIN, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAF, ENVIRONMENTAL, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



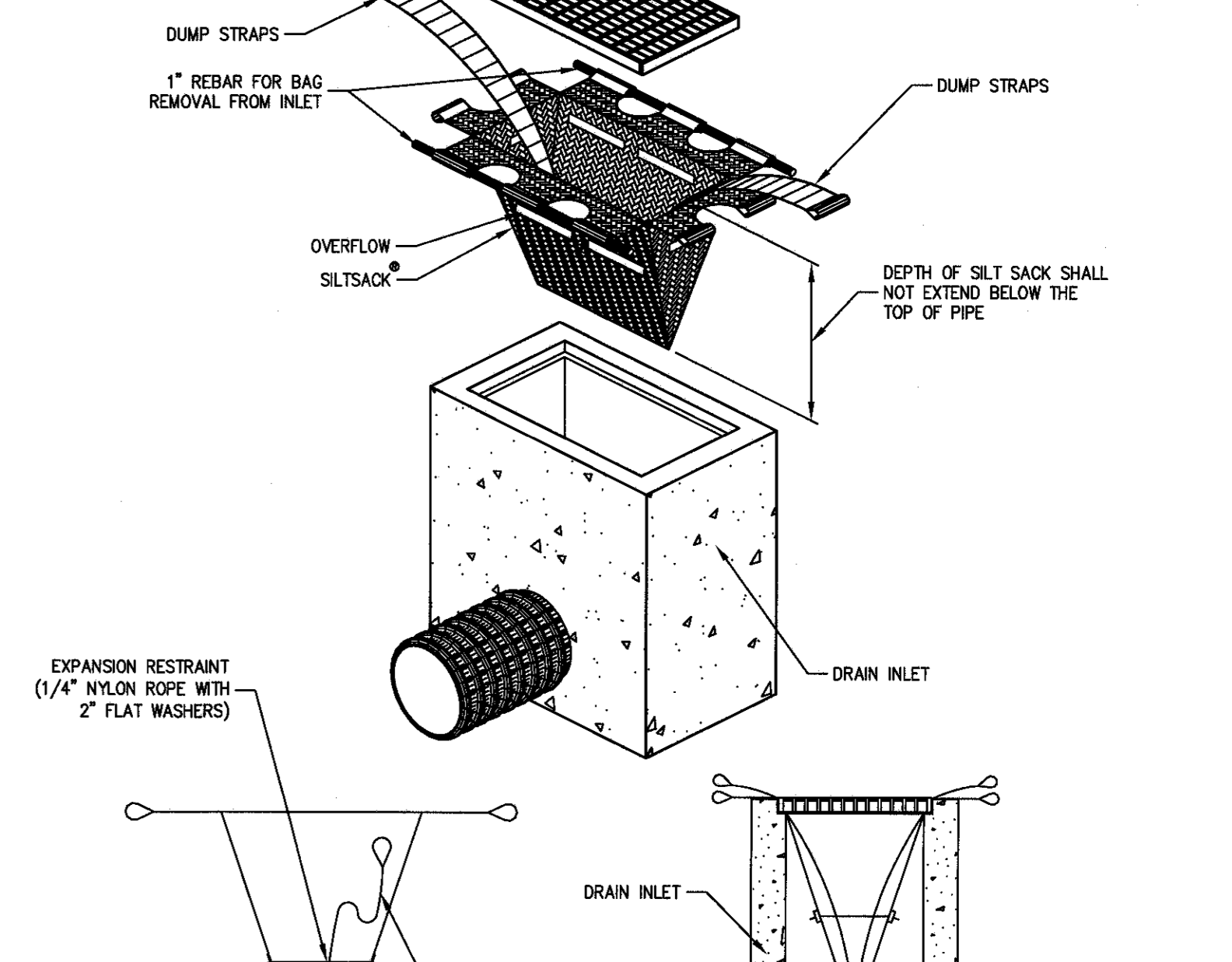
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
 2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MHWAT TOOL, STABILINA THIN, OR APPROVED EQUAL.
 4. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIRONMENTAL, OR APPROVED EQUAL.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



- NOTES:**
1. THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 2. ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILES, EACH PILE SHALL BE SEEDING WITHIN 24 HOURS. PERENNIAL OR ANNUAL PROGRESS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



- NOTES:**
1. TOP SHALL BE 12 GAUGE CORRUGATED STEEL OR 1/4\"/>
 - 2. CYLINDER SHALL BE 14 GAUGE CORRUGATED STEEL PIPE OR FABRICATED FROM 1/4\"/>
 - 3. SUPPORT BARS SHALL BE WELDED TO THE TOP OF THE RISE AS SHOWN BY STRAPS BOLD TO THE TOP OF THE RISE.
 - 4. TEMPORARY RISER AND ANTI-VORTEX DEVICE SHALL BE REMOVED UPON COMPLETION OF FILL PLACEMENT AND RECONSTRUCTION WITH 1\"/>



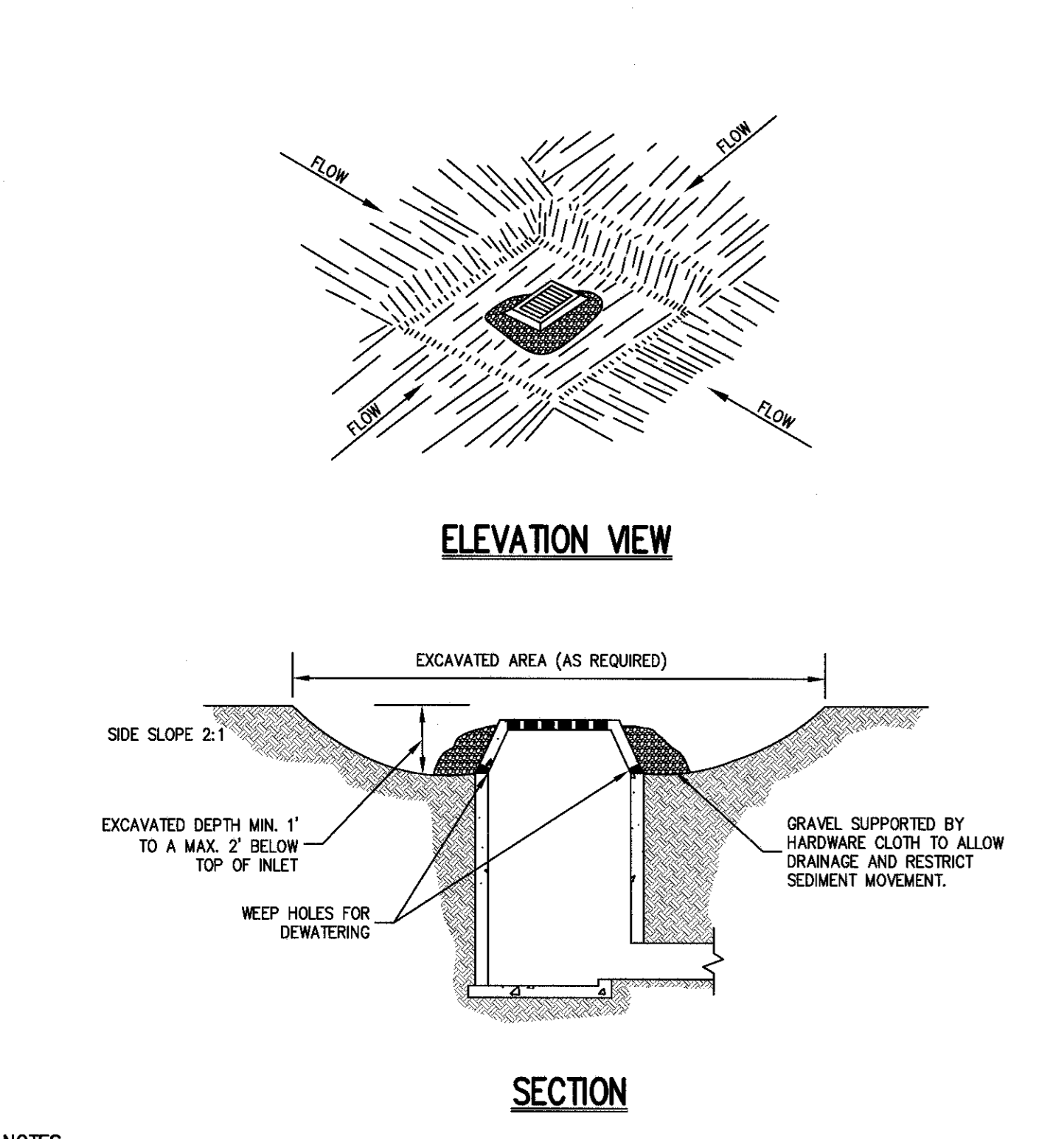
- NOTES:**
1. SILT SACK SHALL BE CLEANED AFTER EVERY RAIN EVENT AND INSPECTED EVERY 2 WEEKS.

SILT FENCE 1

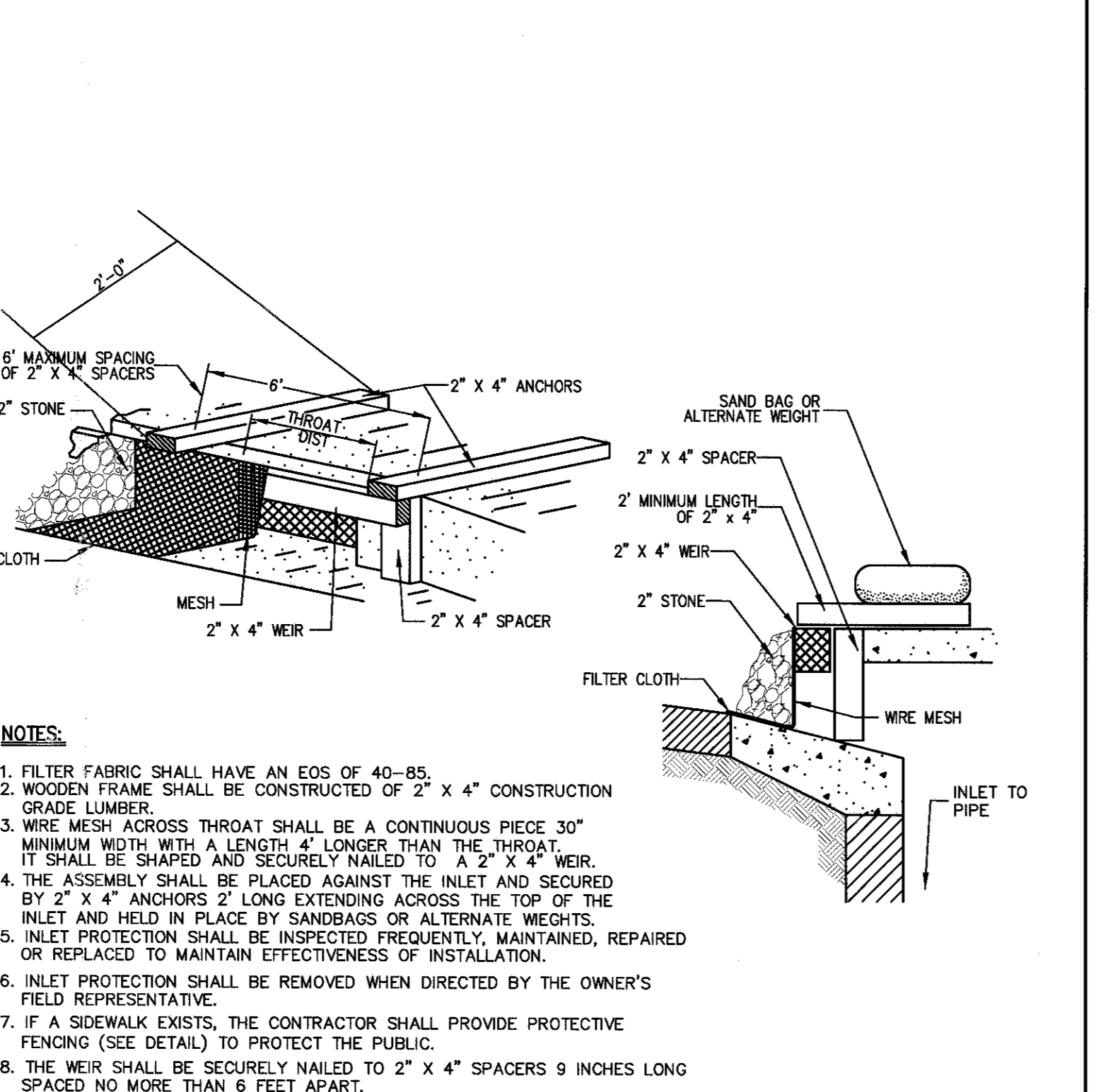
TEMPORARY SOIL STOCKPILE WITH SILT FENCE 2

TEMPORARY RISER & ANTI-VORTEX DEVICE 3

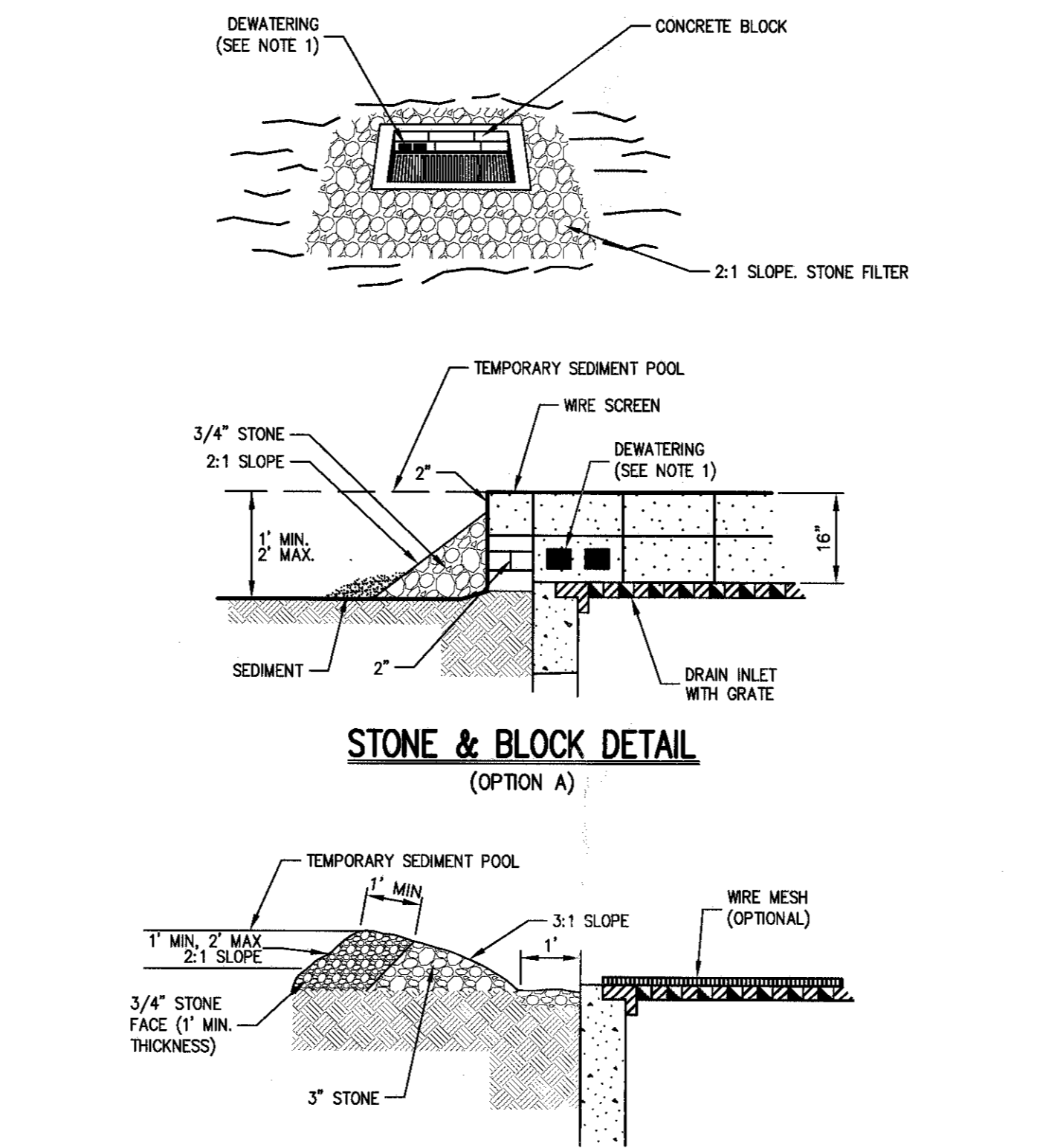
SILT SACK (ONLY IN EXISTING ROADWAYS) 4



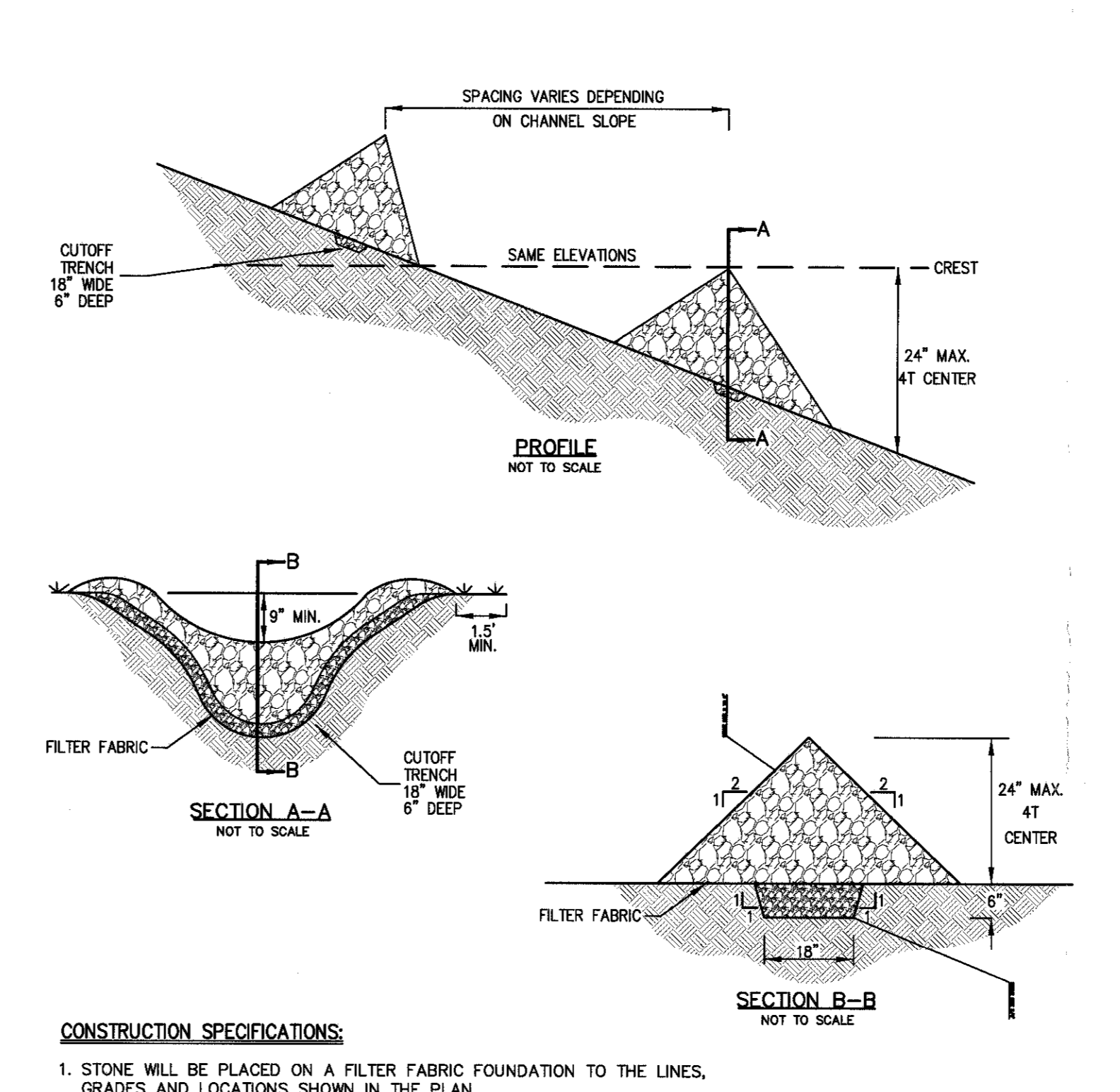
- NOTES:**
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL UNDER EXCAVATION.
 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 3. WEED HOLES SHALL BE PROTECTED BY GRASS.
 4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
 5. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES FULL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



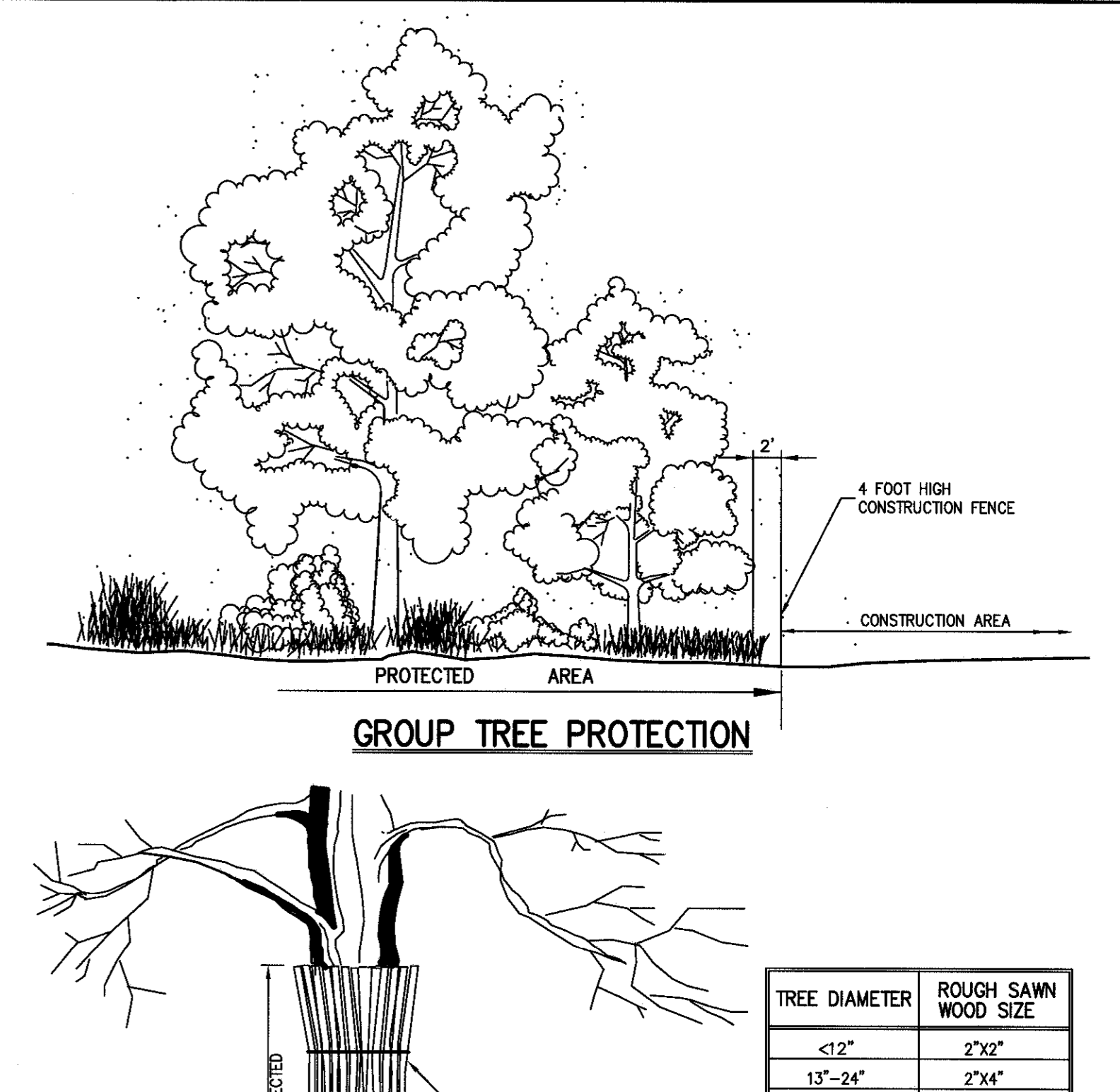
- NOTES:**
1. FILTER FABRIC SHALL HAVE AN EGS OF 40-85.
 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>
 - 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30\"/>
 - 4. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2\"/>
 - 5. INLET PROTECTION SHALL BE INSPECTED FREQUENTLY, MAINTAINED, REPAIRED OR REPLACED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
 - 6. INLET PROTECTION SHALL BE REMOVED WHEN DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - 7. IF A SIDEWALK EXISTS, THE CONTRACTOR SHALL PROVIDE PROTECTIVE FENCING (SEE DETAIL) TO PROTECT THE PUBLIC.
 - 8. THE WIRE SHALL BE SECURELY WELDED TO 2\"/>



- NOTES:**
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DOWELING. BOTTOM OF BLOCK SHALL BE 2 INCHES MINIMUM BELOW THE CREST OF INLET. BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 2. HARDWARE CLOTH OR 1/2\"/>
 - 3. USE CLEAN 3/4\"/>
 - 4. FOR STONE STRUCTURES ONLY (OPTION B), A 1 FOOT THICK LAYER OF THE 3/4\"/>



- CONSTRUCTION SPECIFICATIONS:**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL, DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRIES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.



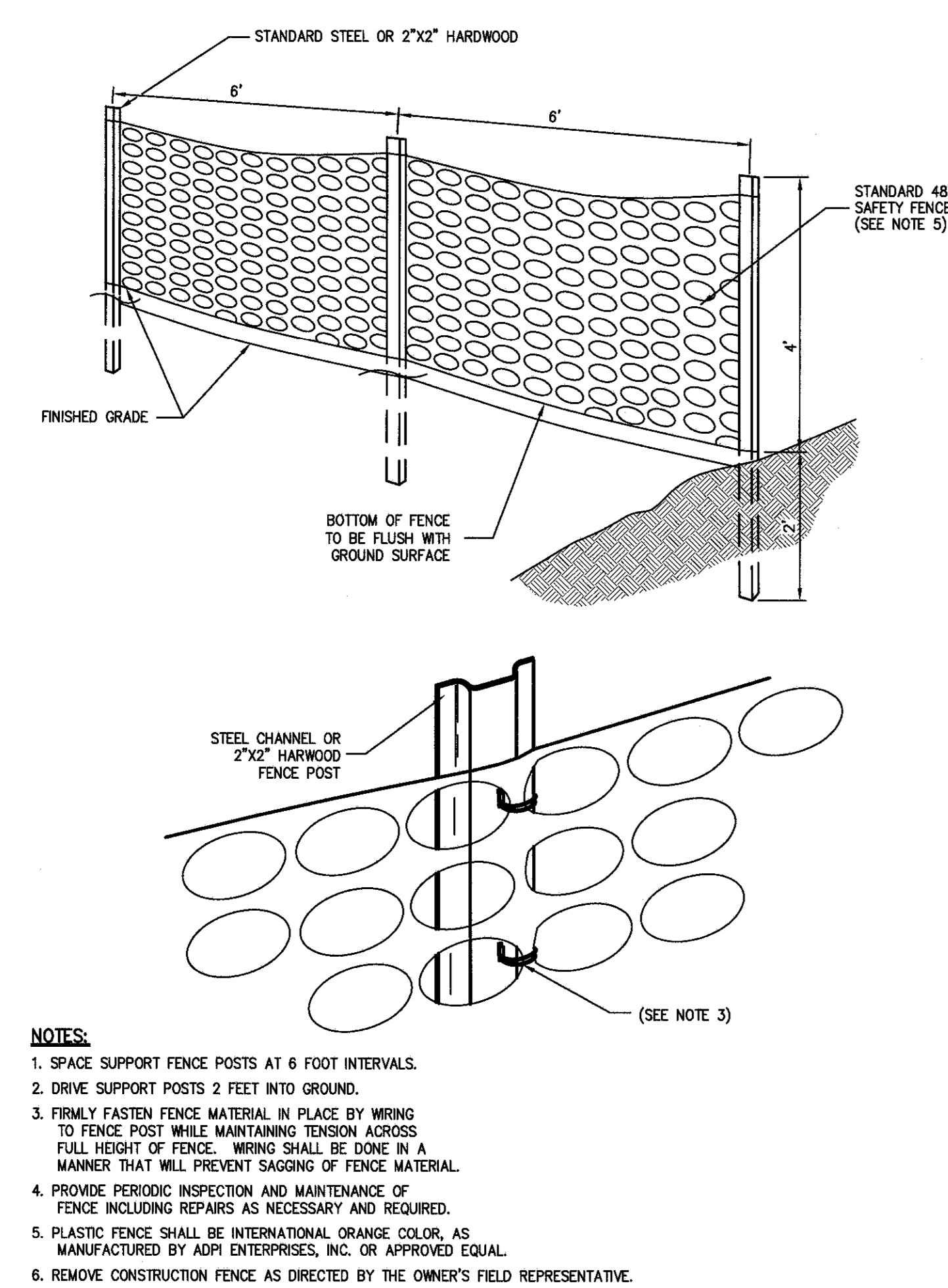
EXCAVATED DRAIN INLET PROTECTION 5

CURB DROP INLET PROTECTION STRUCTURE 6

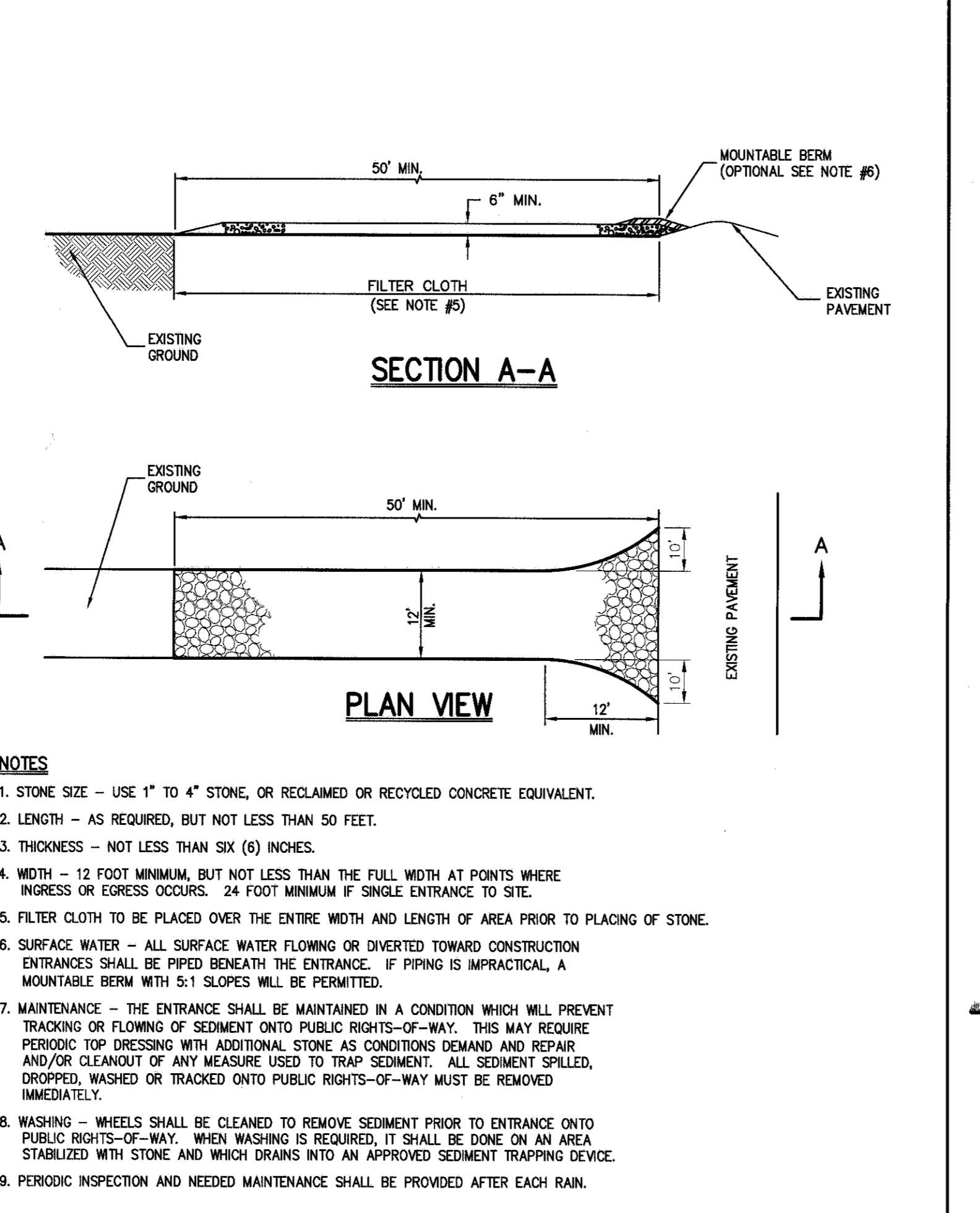
STONE & BLOCK DRAIN INLET PROTECTION 7

STONE CHECK DAM 8

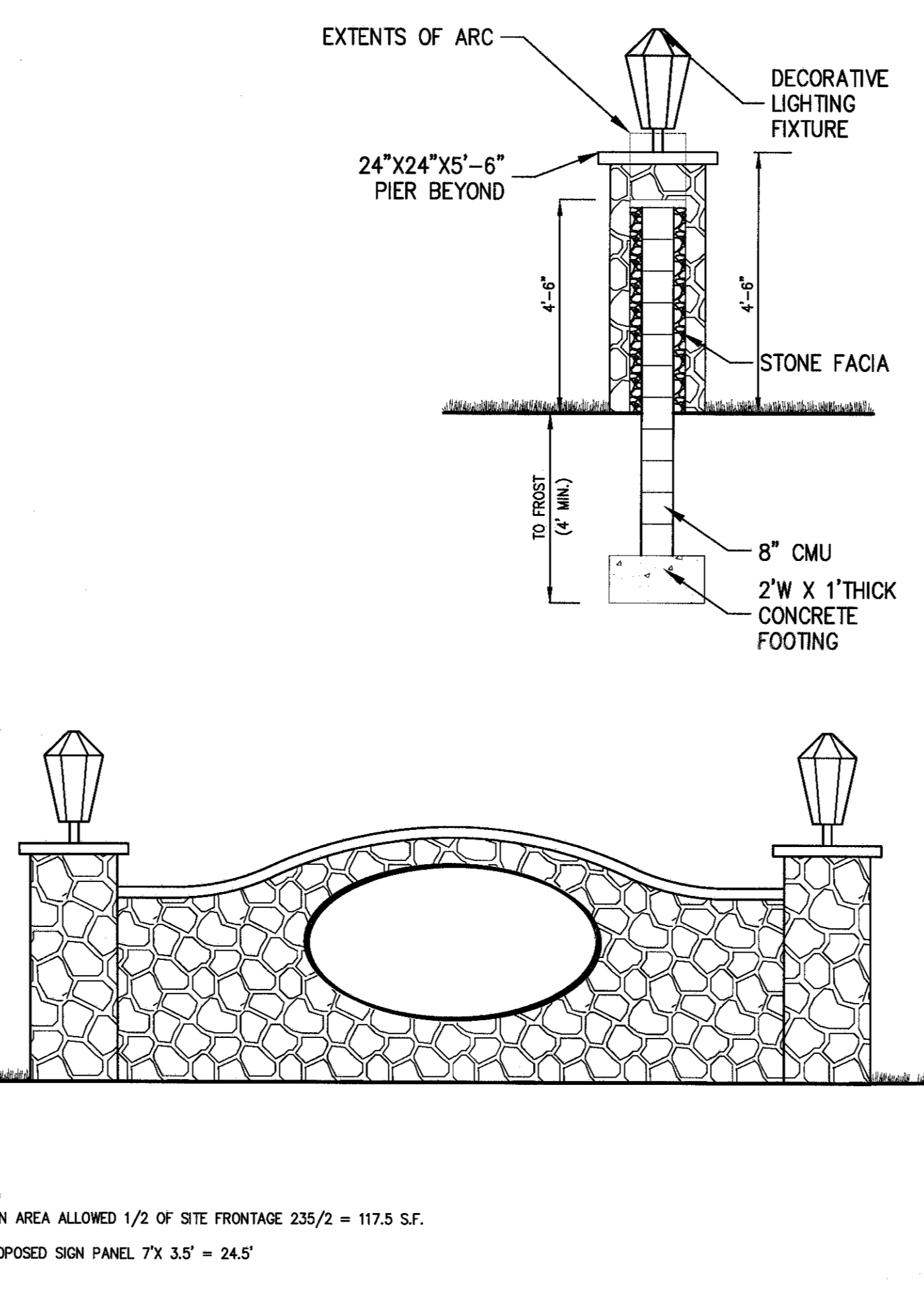
TREE PROTECTION 9



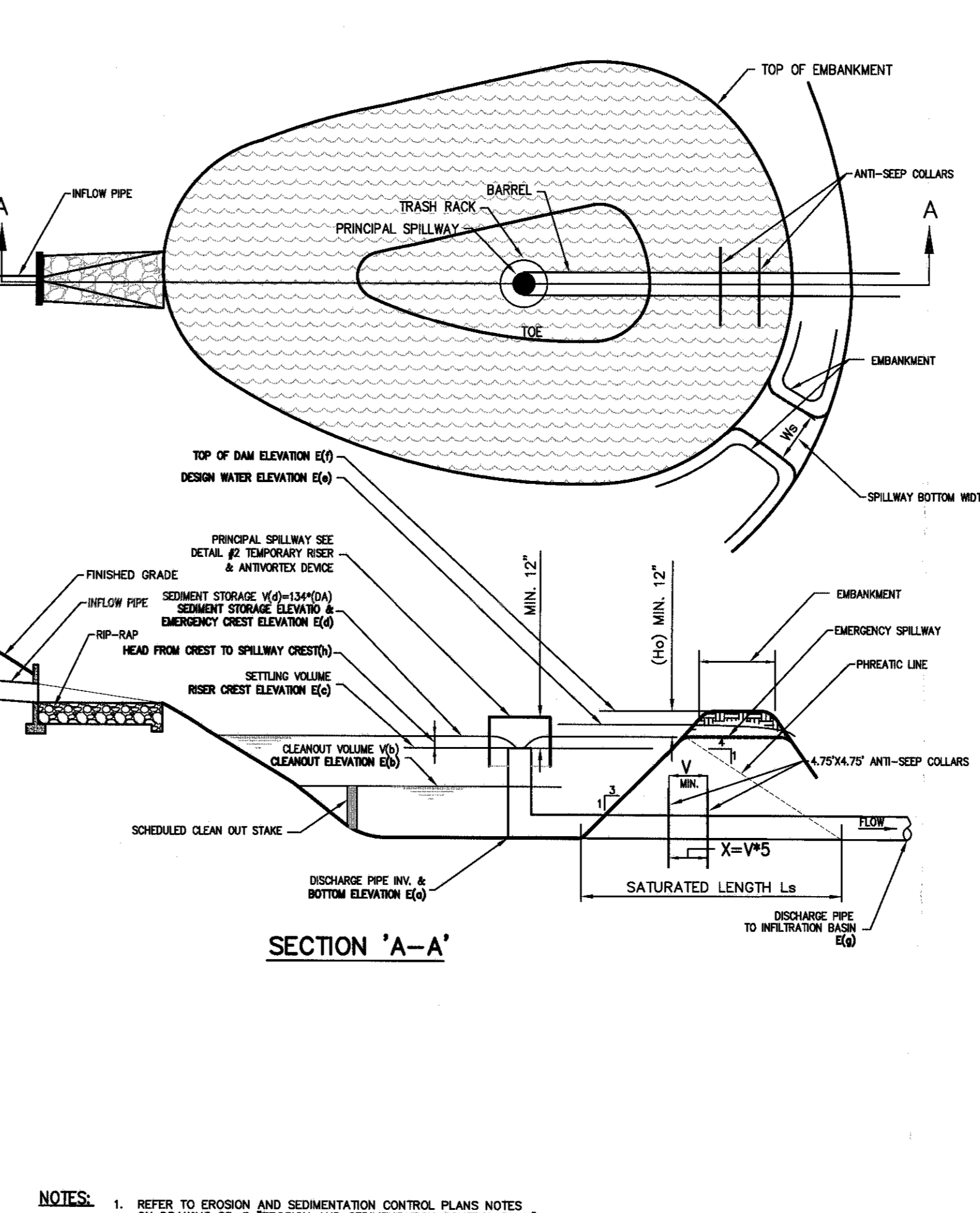
CONSTRUCTION FENCE 10



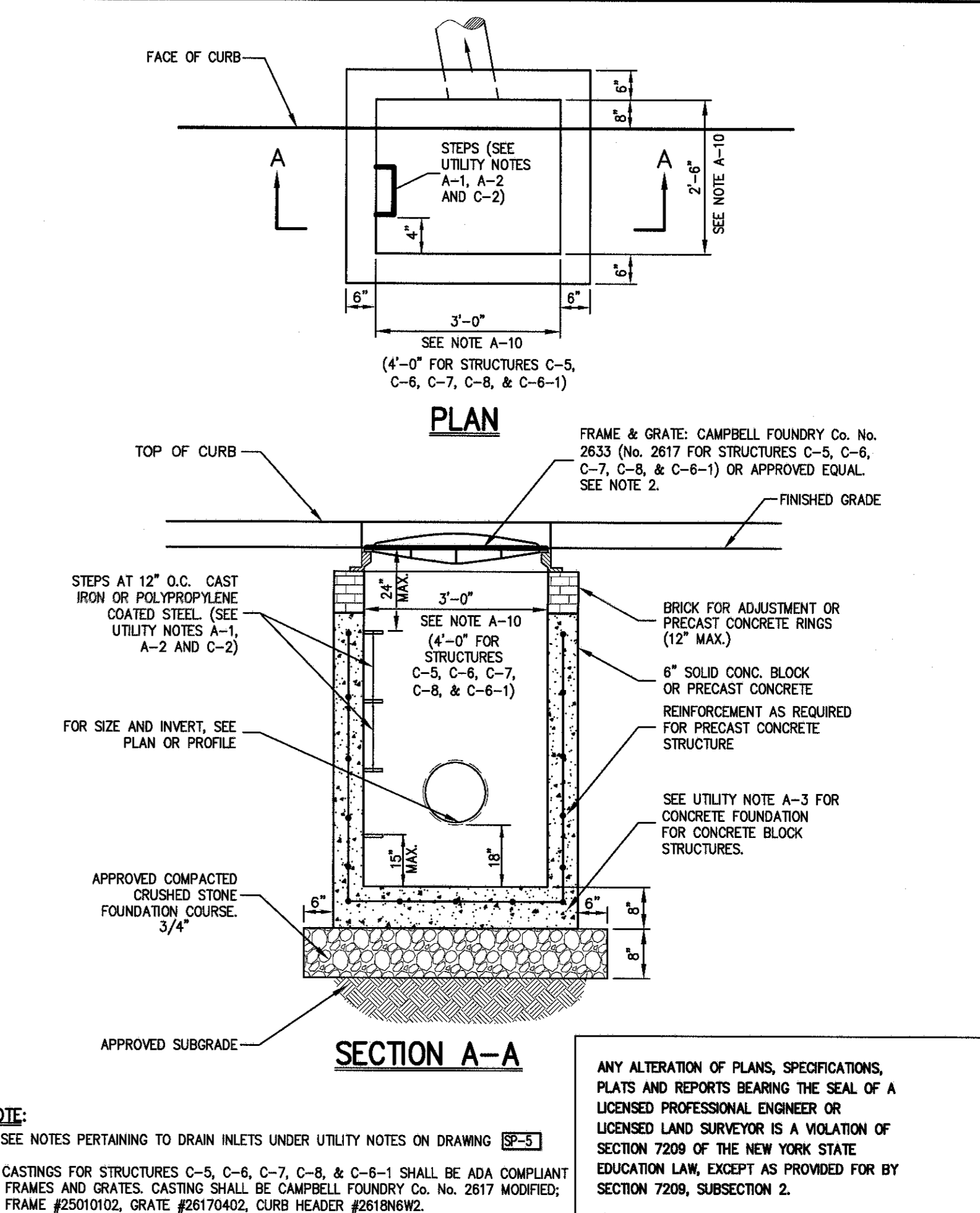
STABILIZED CONSTRUCTION ENTRANCE 11



DECORATIVE STONE WALL & PIERS 12



TEMPORARY SEDIMENT BASIN DETAIL 13

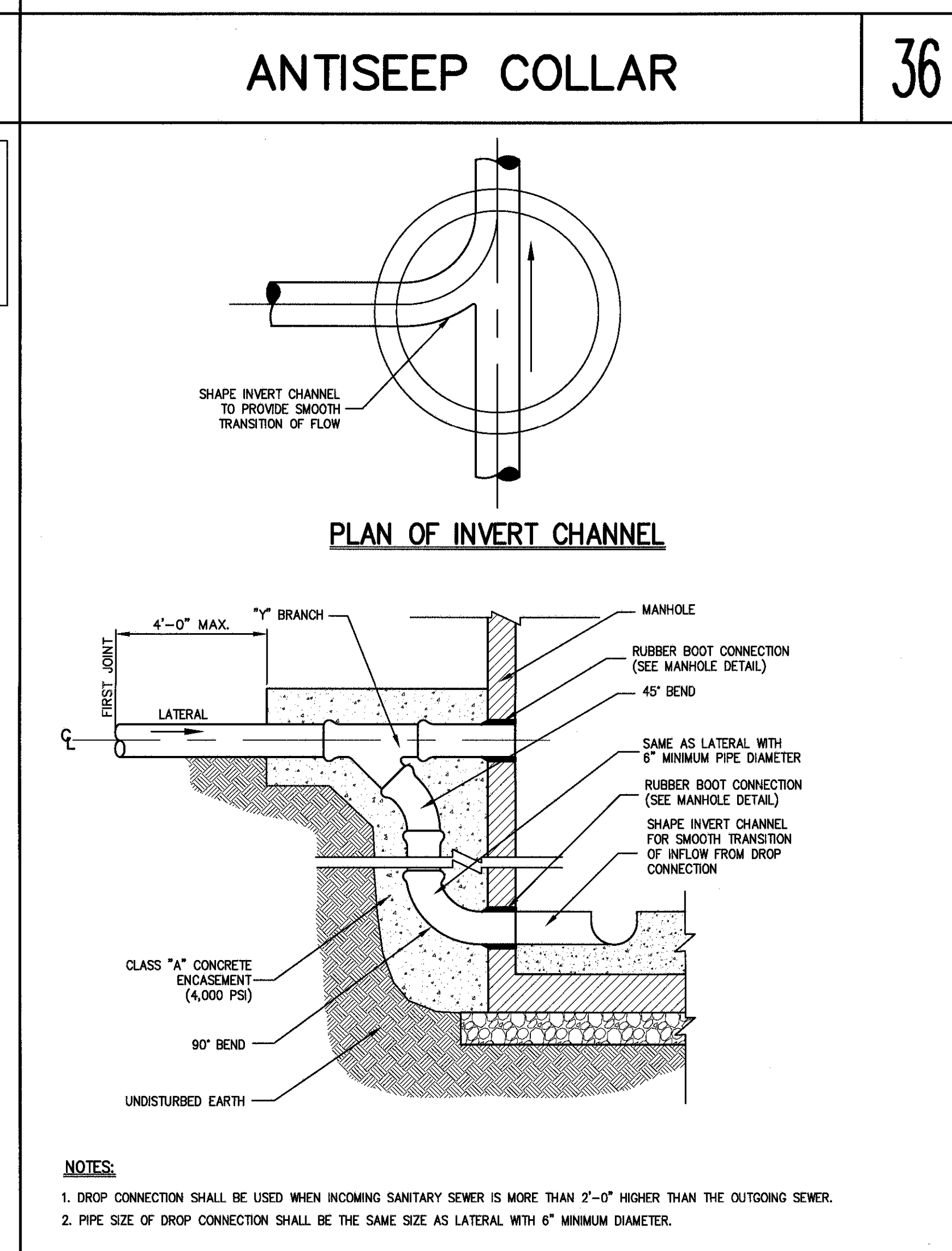
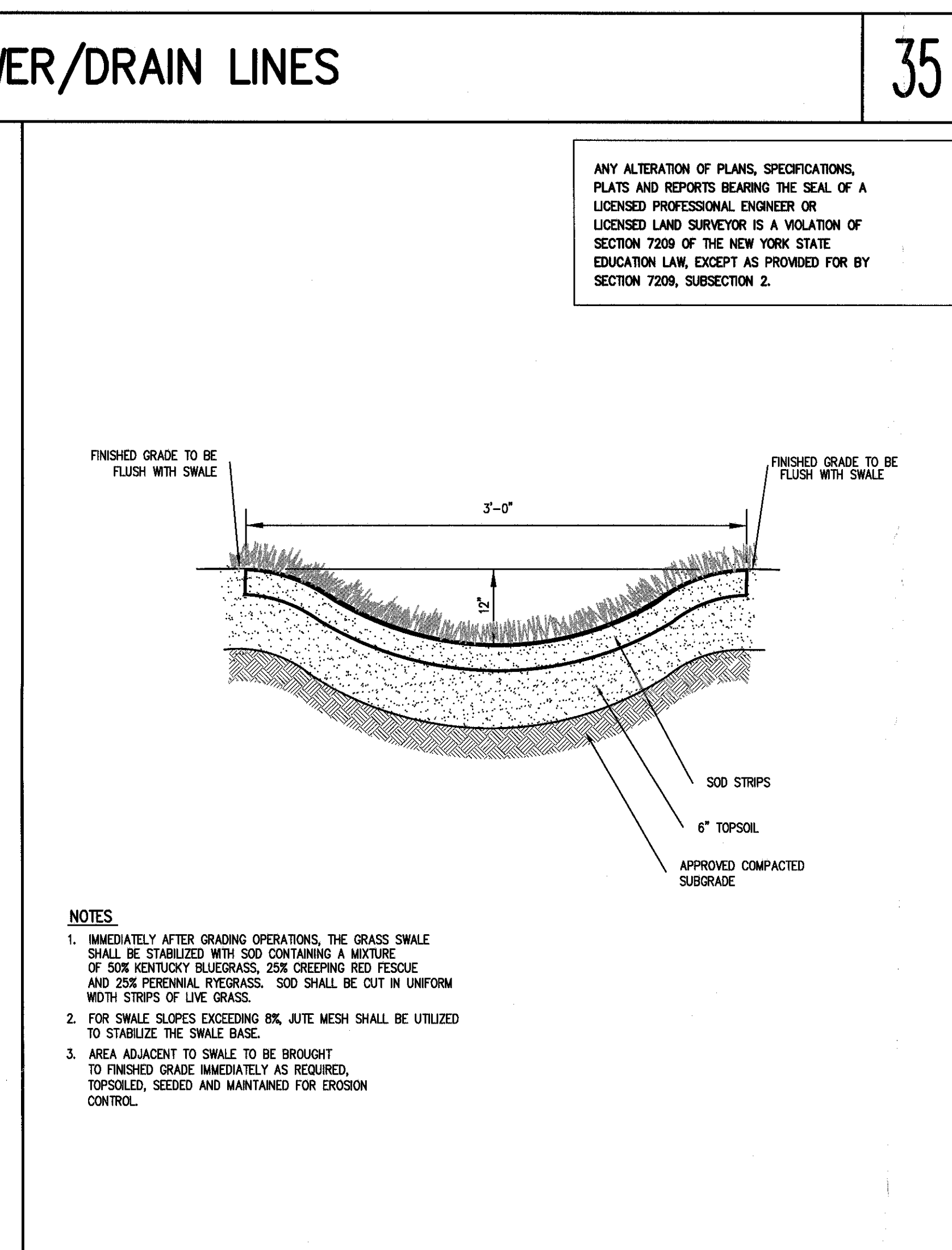
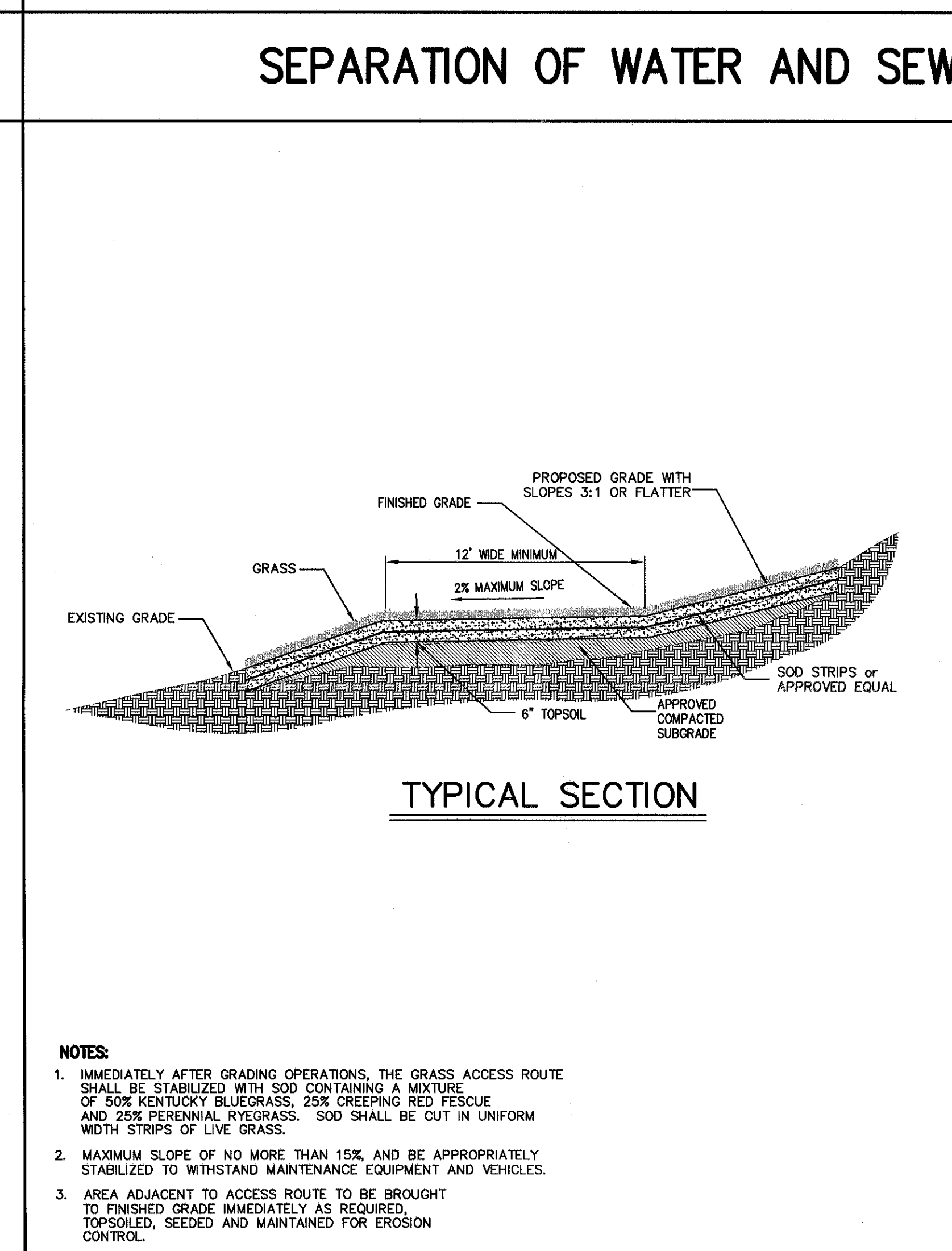
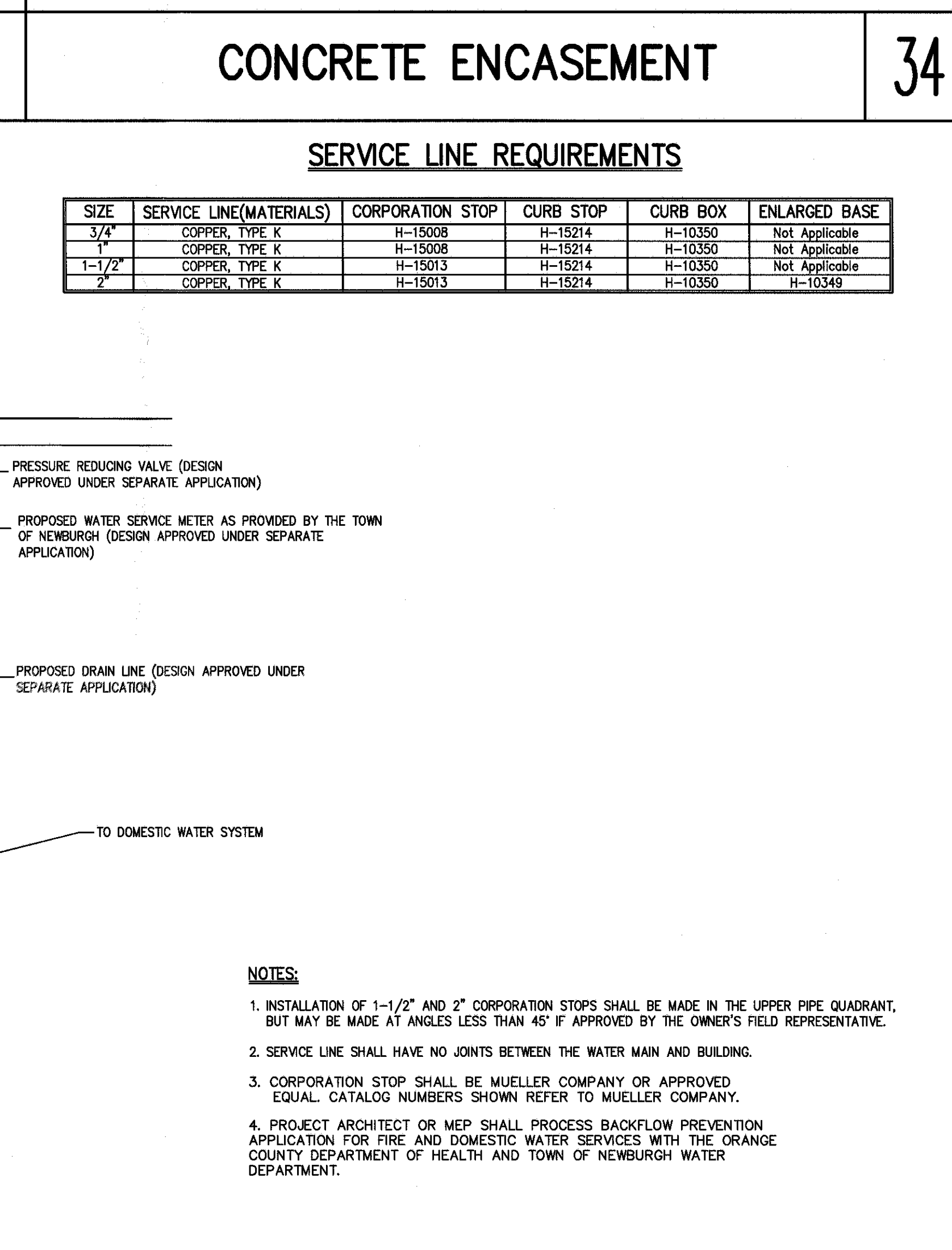
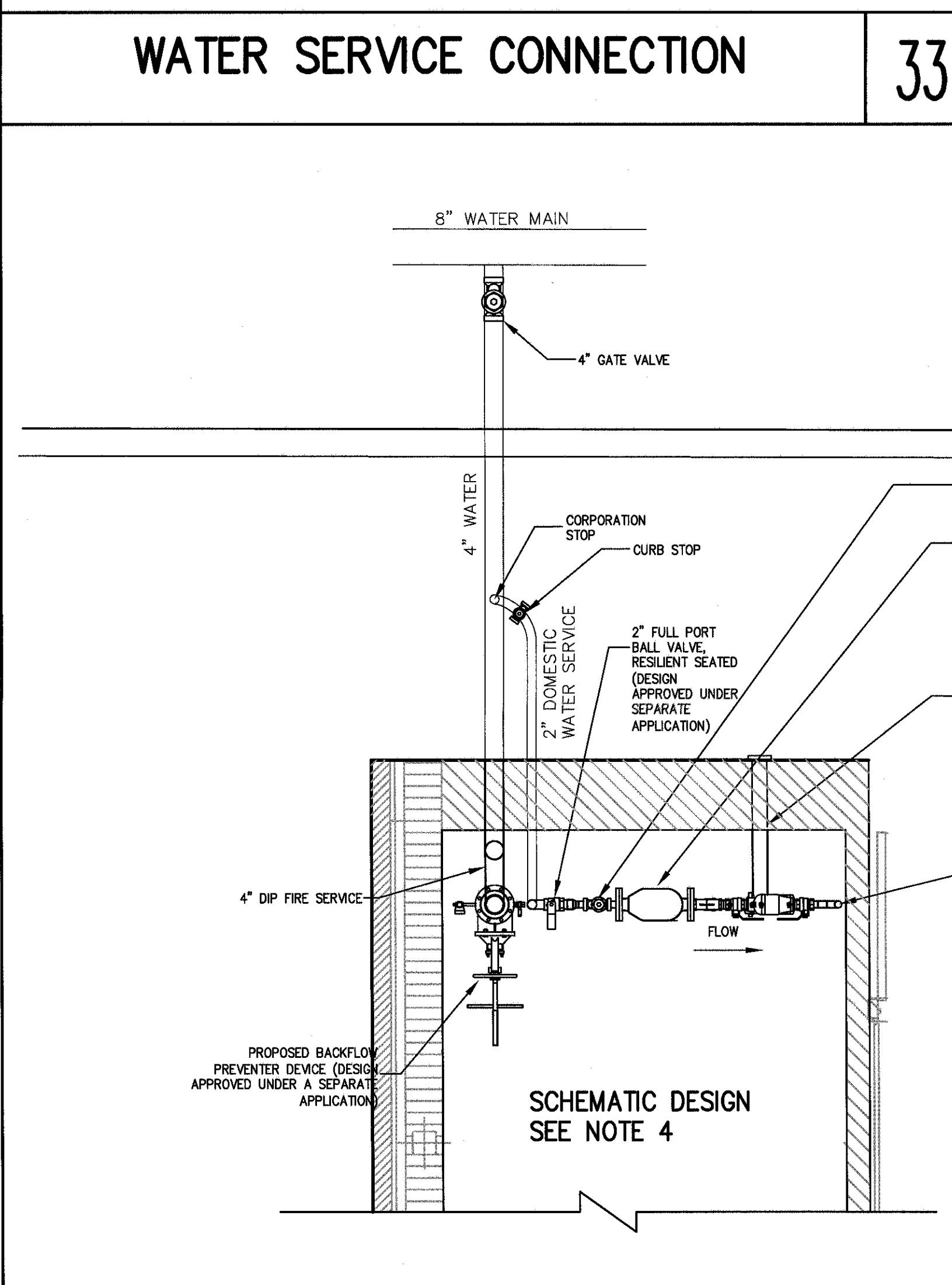
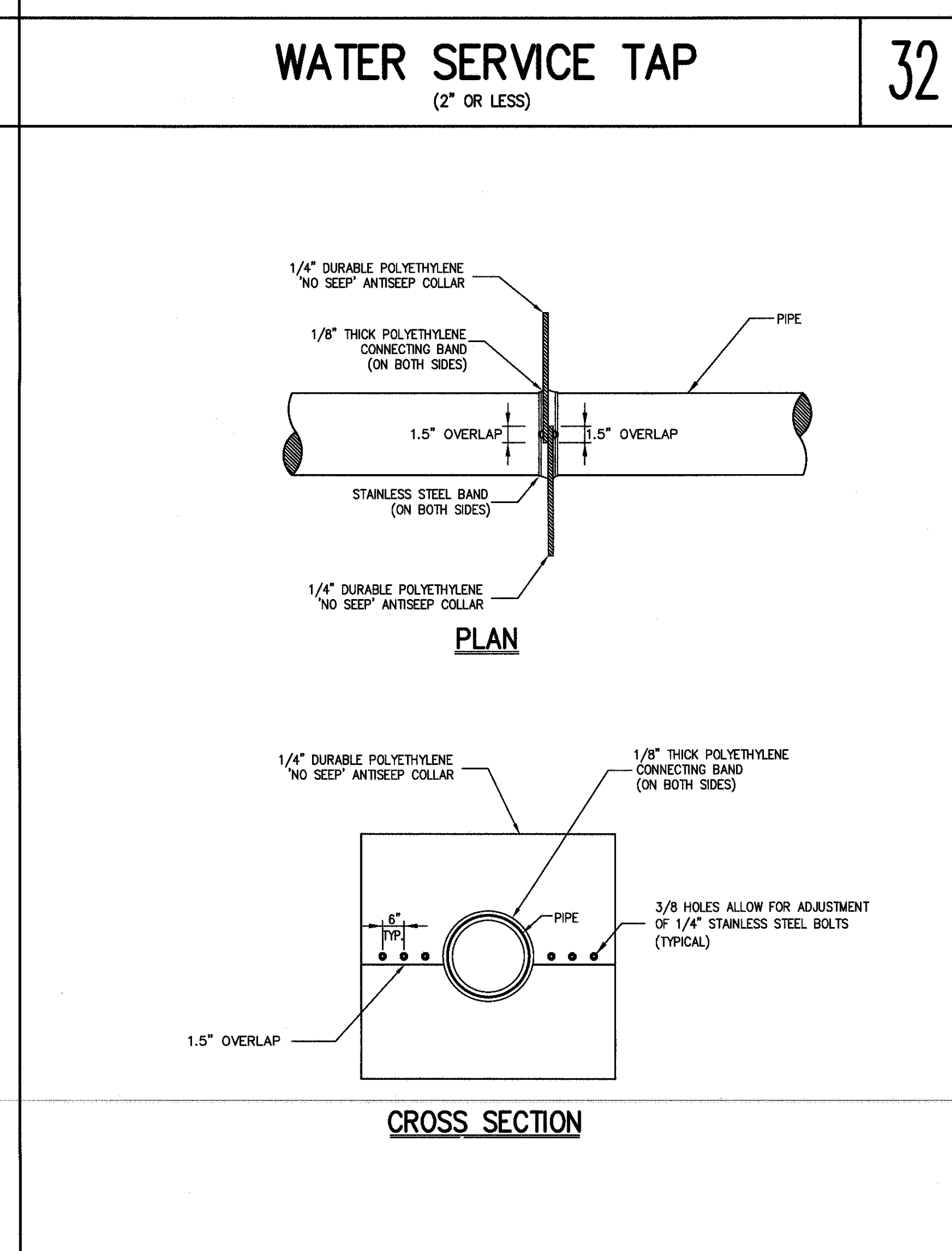
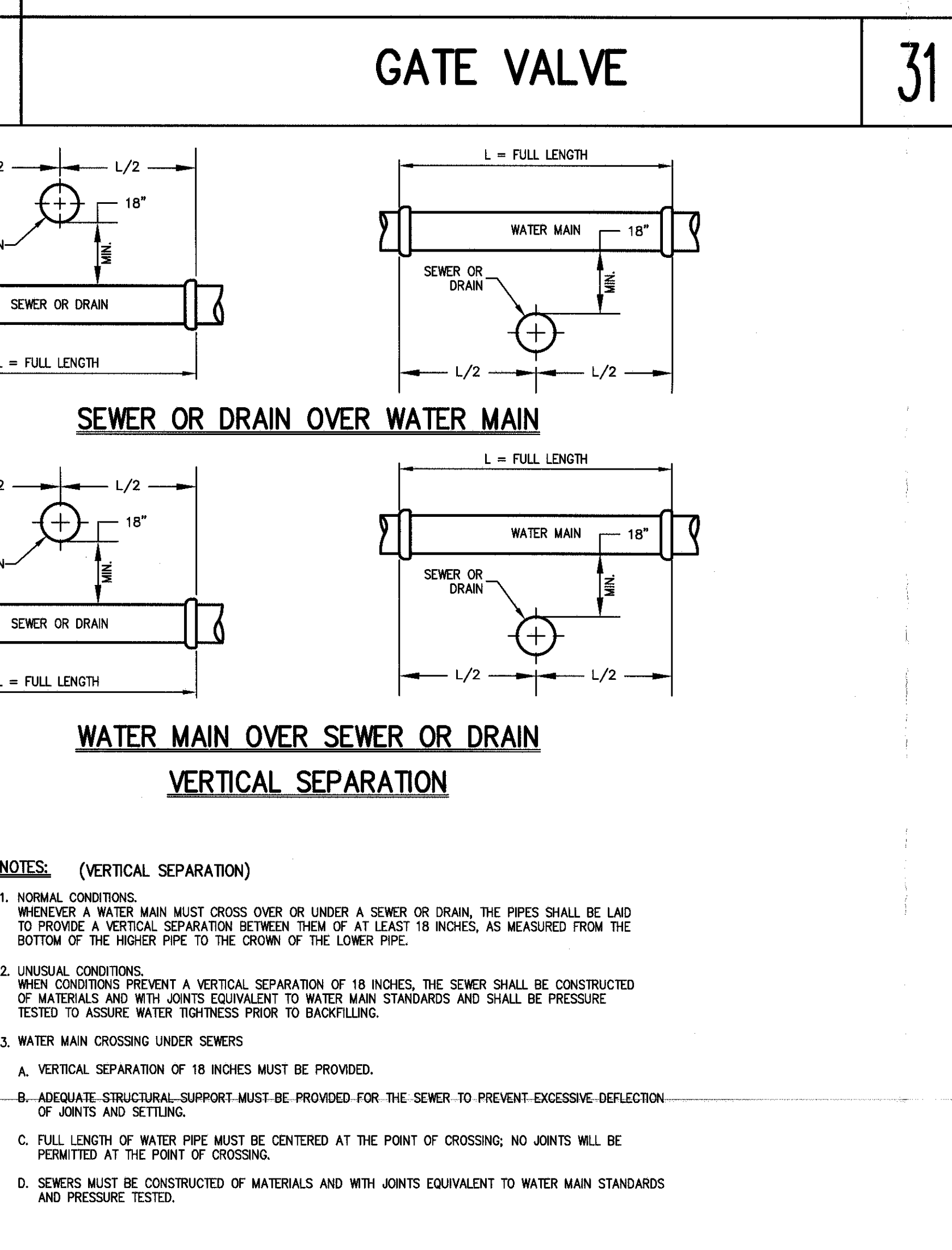
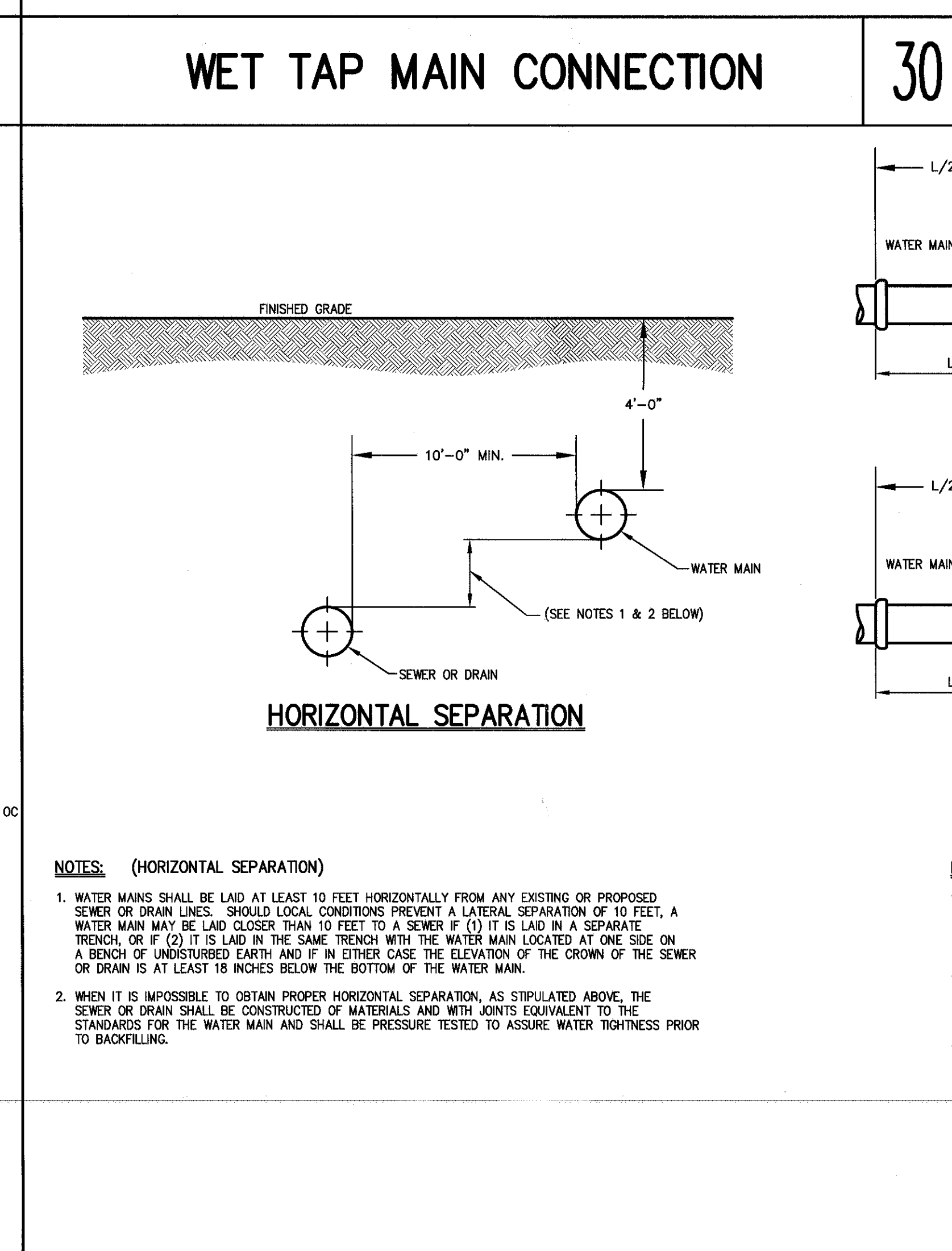
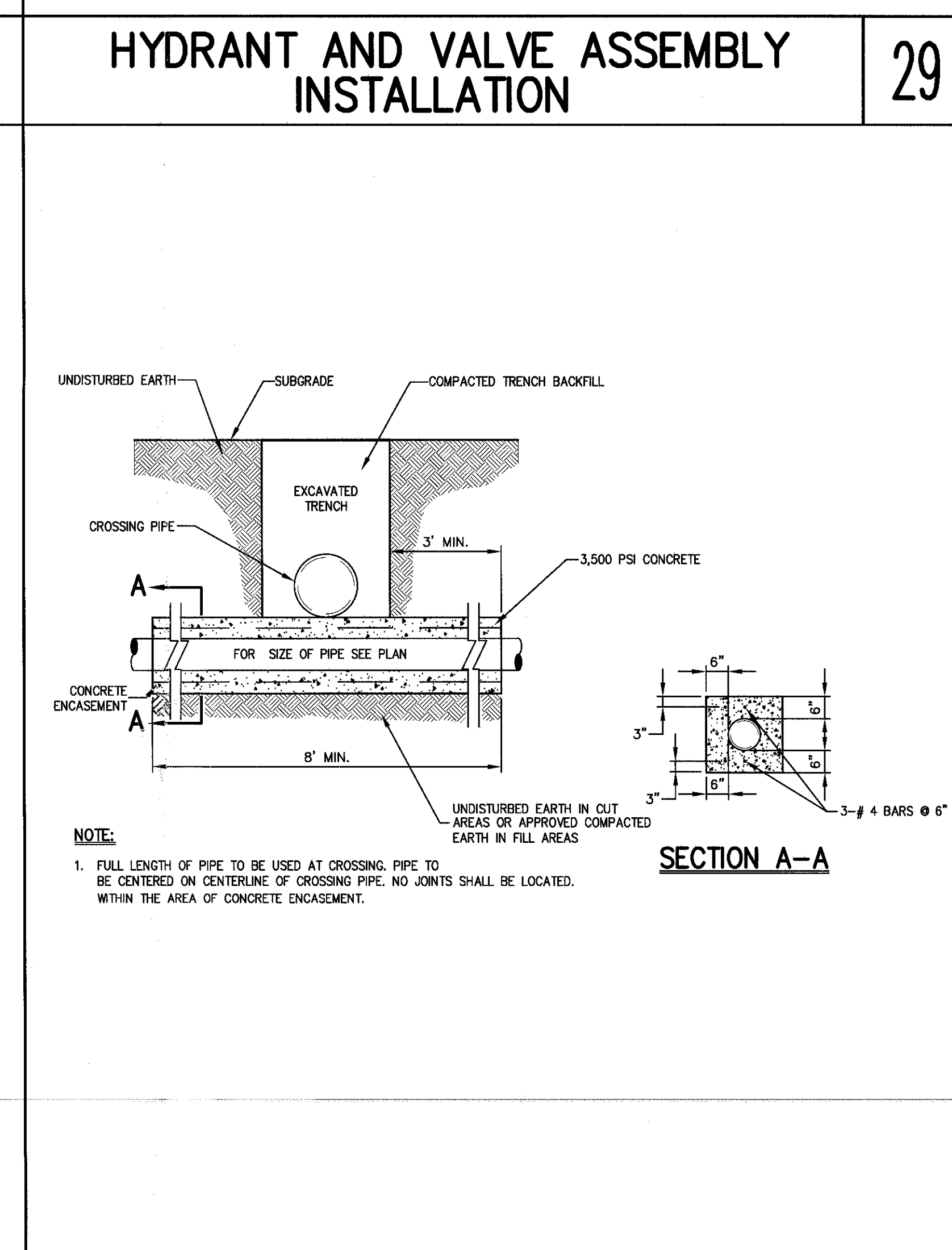
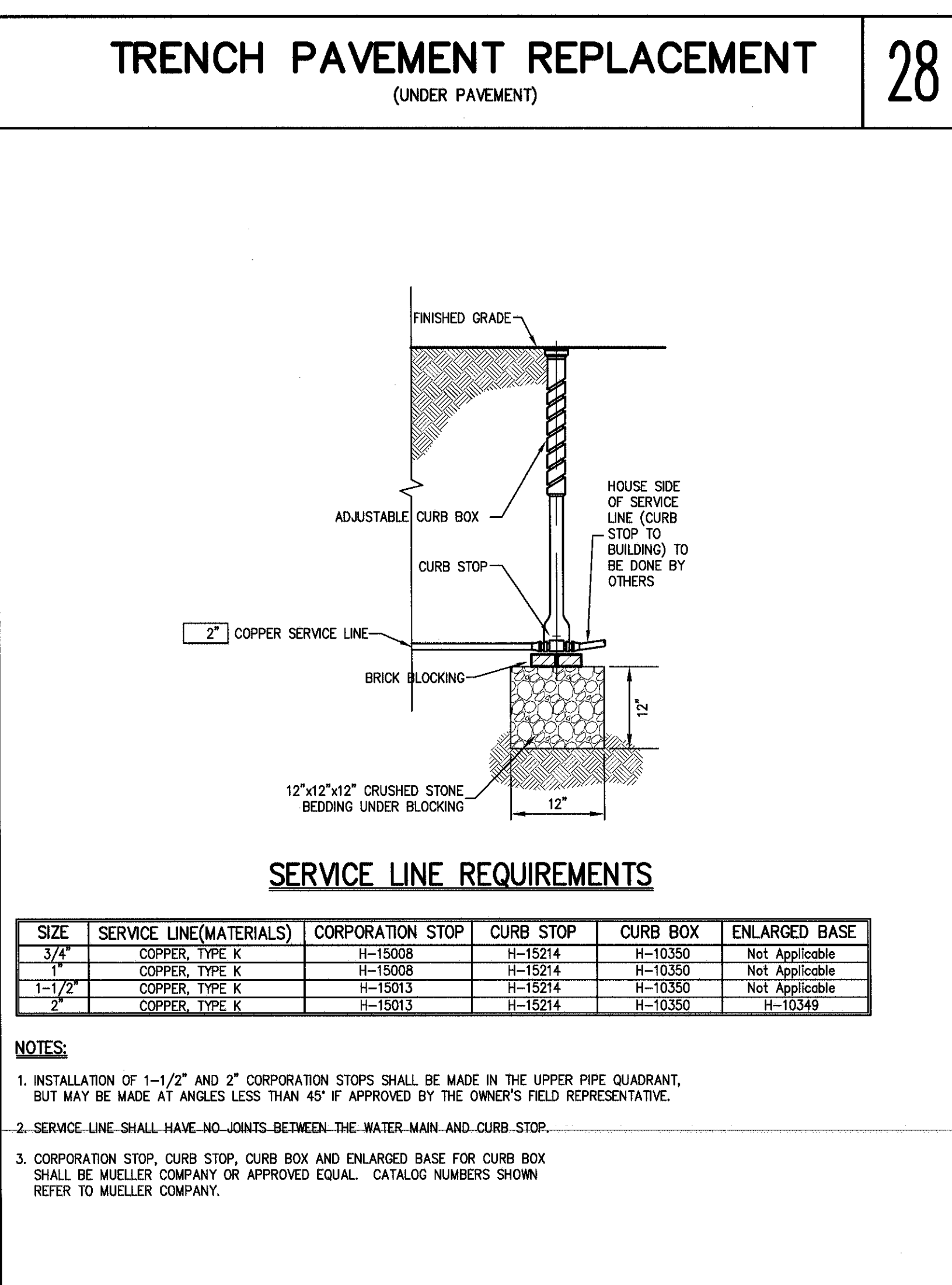
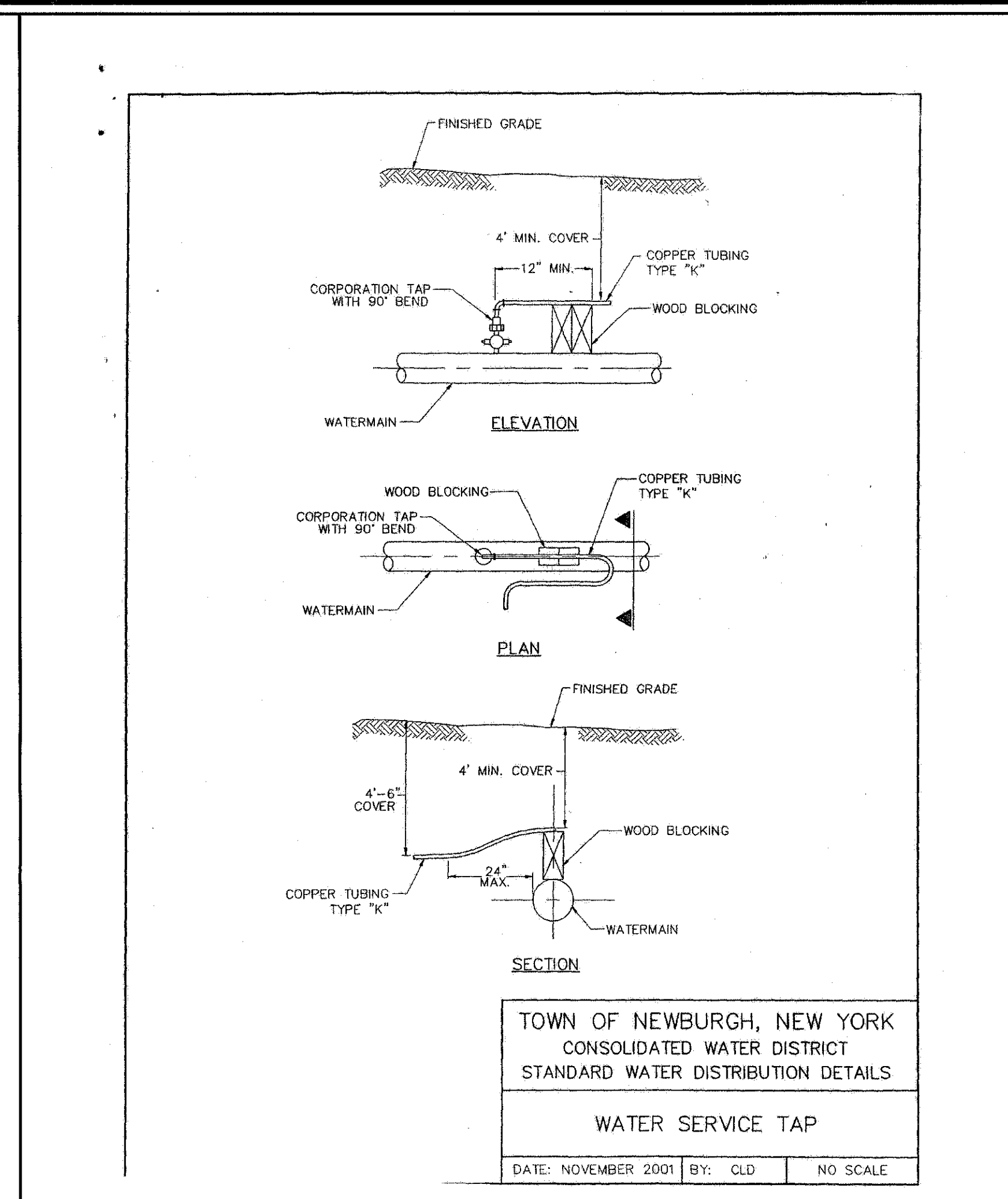
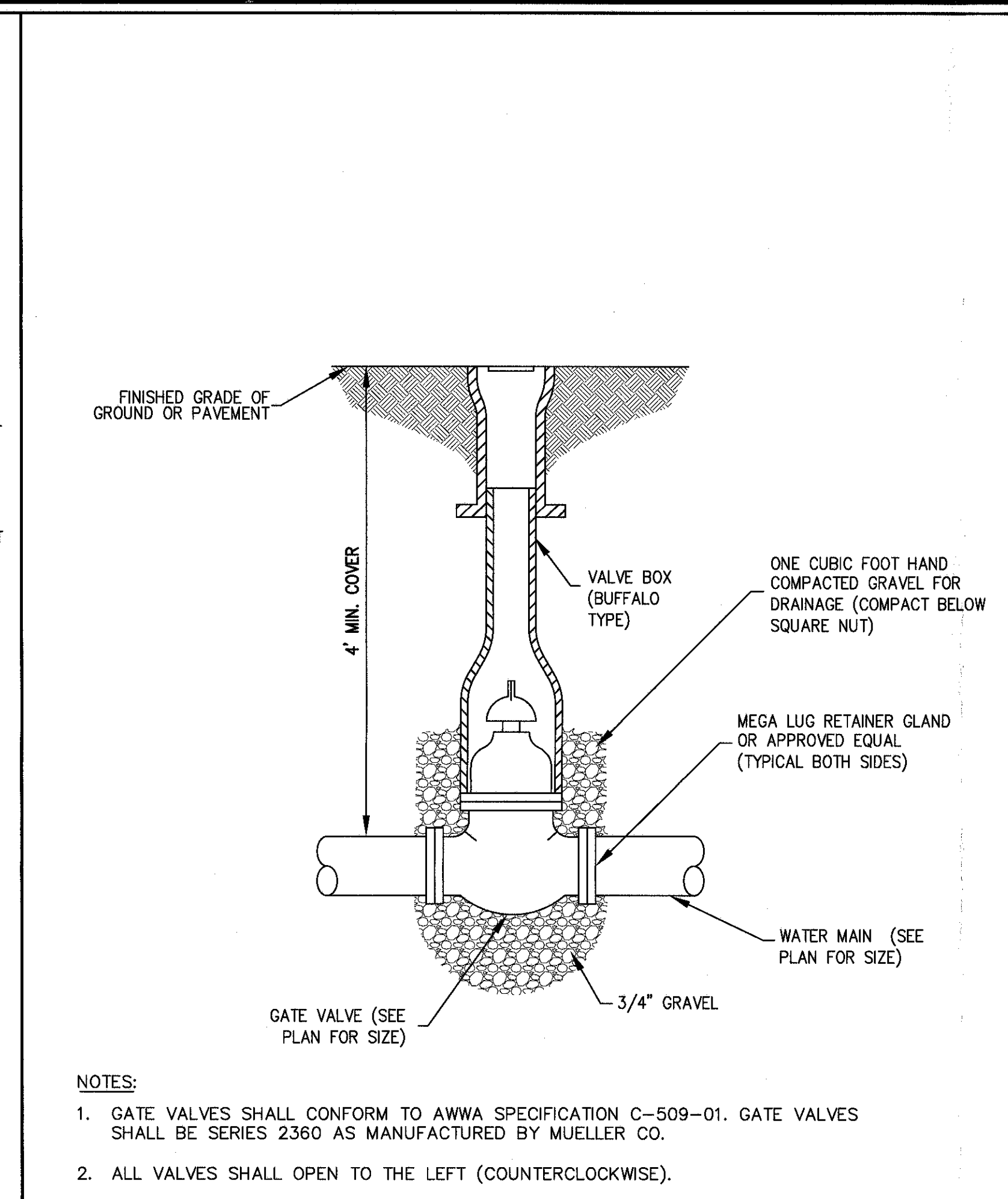
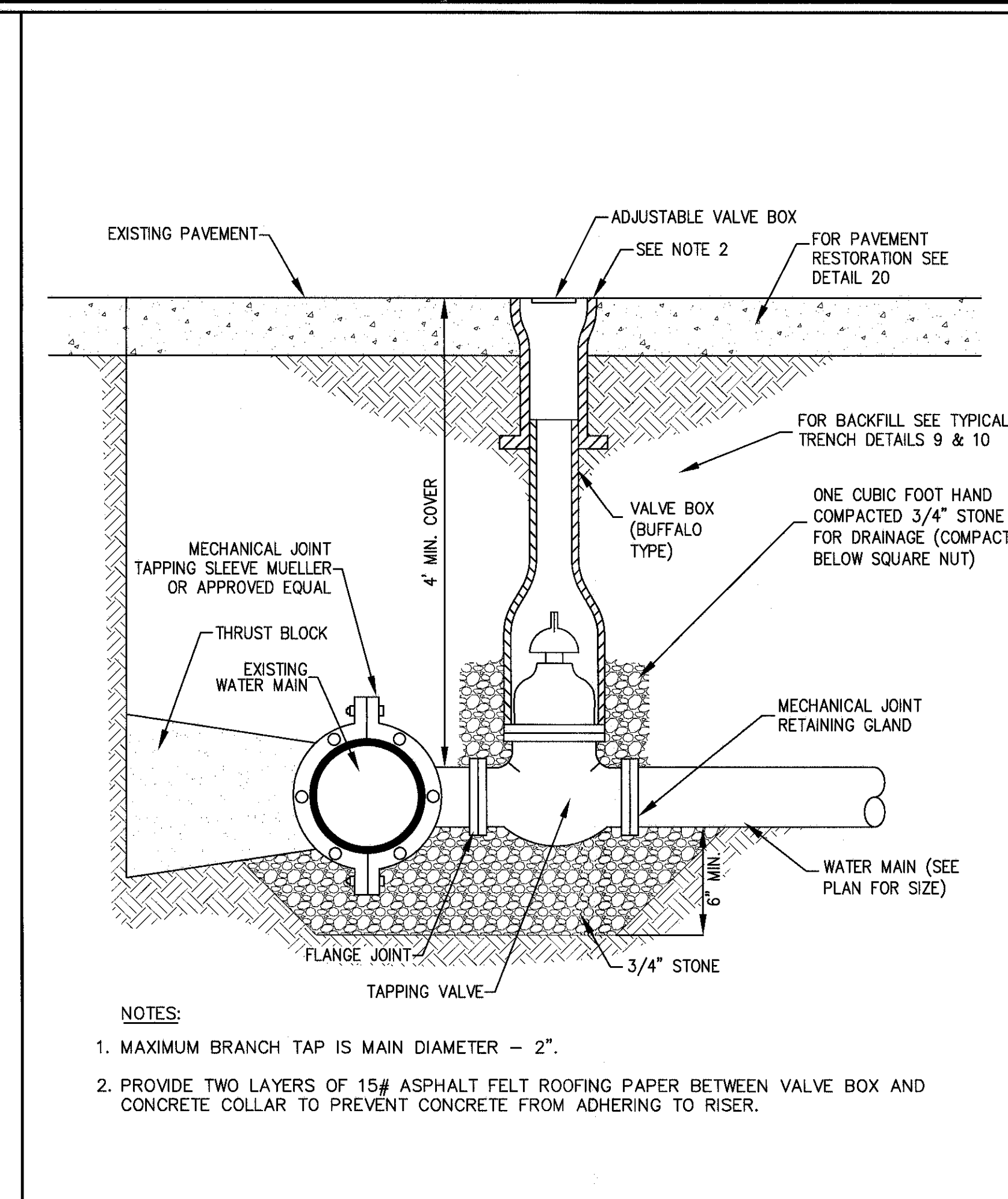
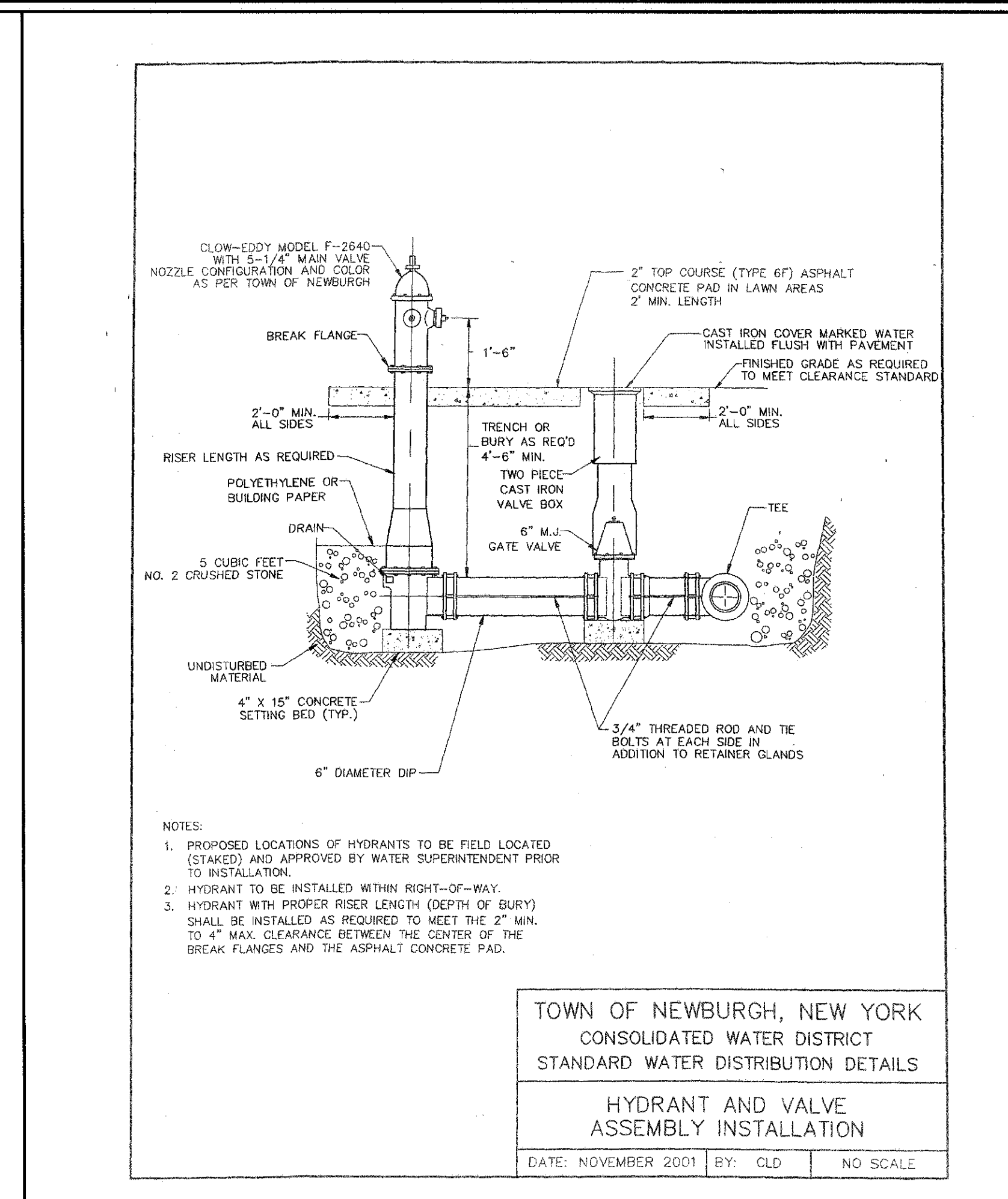
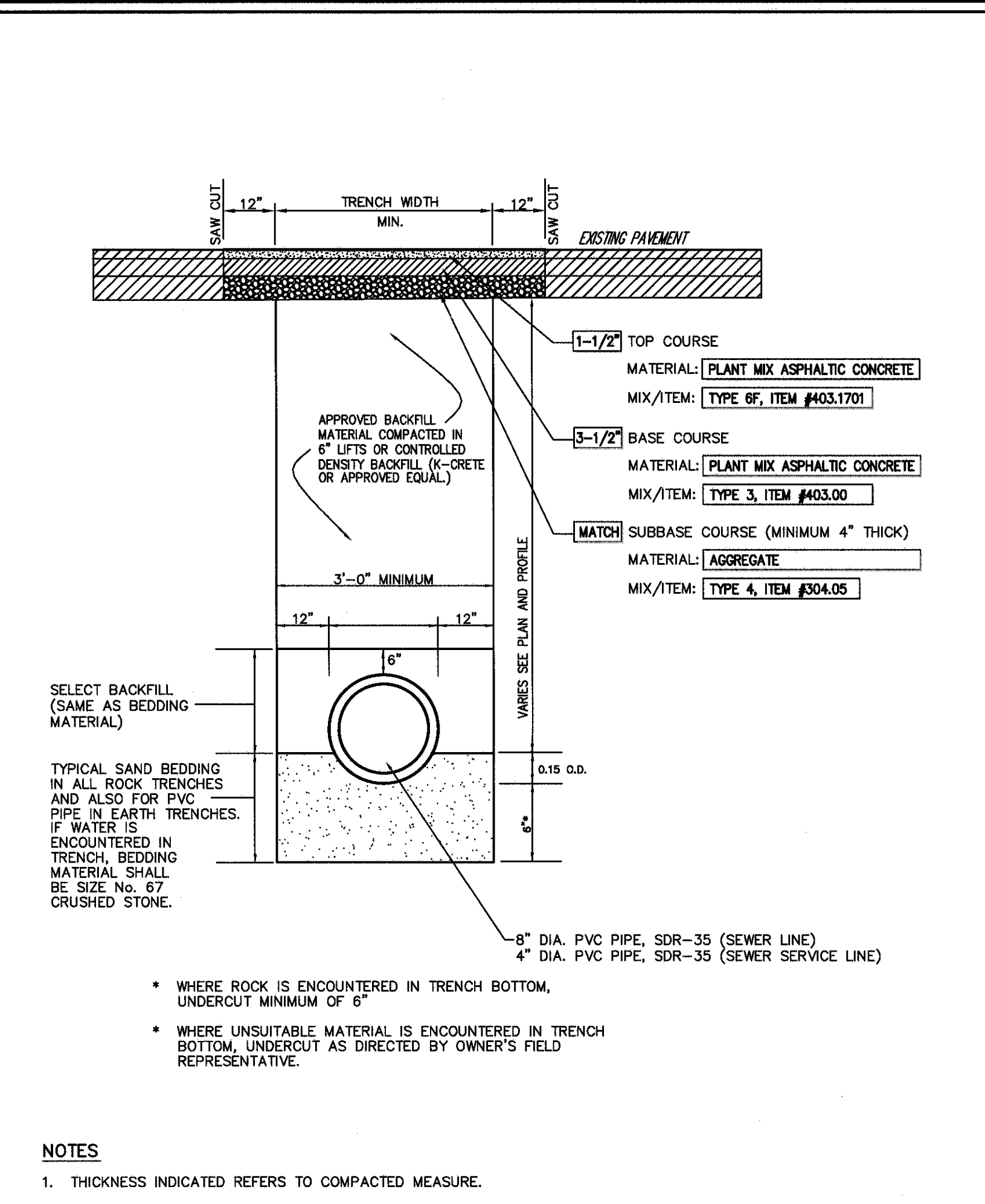


DRAIN INLET (TYPE CI) 14

JMC Planning, Engineering, Landscaping, Architecture & Land Surveying, LLC
 120 BELLEVILLE ROAD - HIRSHKOPF, NY 10804
 PH: 516-223-2225 - FAX: 516-223-2202
 www.jmcinc.com

CONSTRUCTION DETAILS
 GARDENTOWN COMMONS
 AN EXISTING COMMONS
 TOWN OF NEUBURG, NY

Scale: NOT TO SCALE
 Date: 02/19/2016
 Project No: 15155
 Drawing No: DET 1
 SP-11



DATE: 06/17/2016 BY: MT
REUSED PER TOWN COMMENTS: 07/17/2017 BMS
UPDATED SITE PLANS: 05/17/2017 MT
GENERAL REVISIONS:

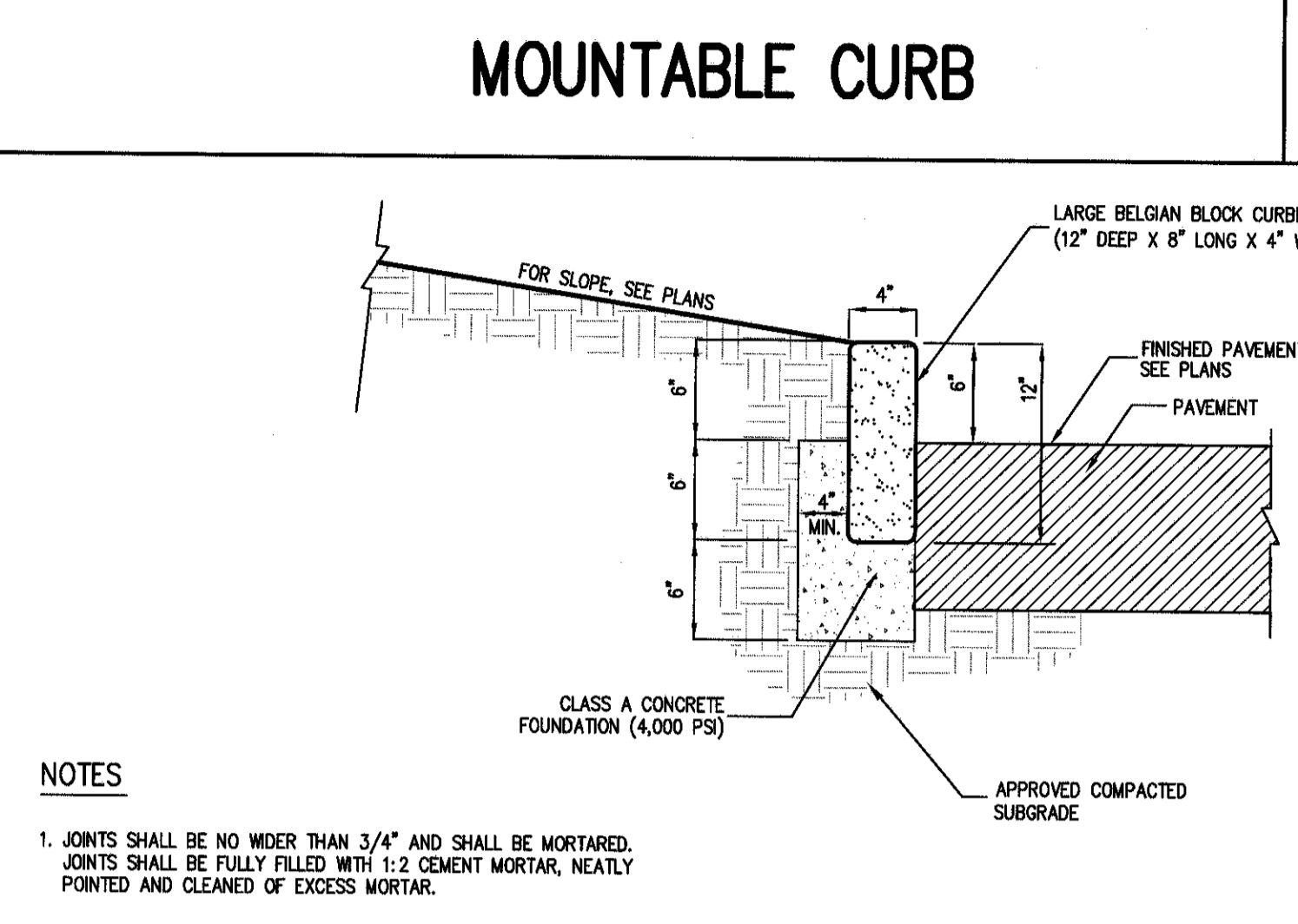
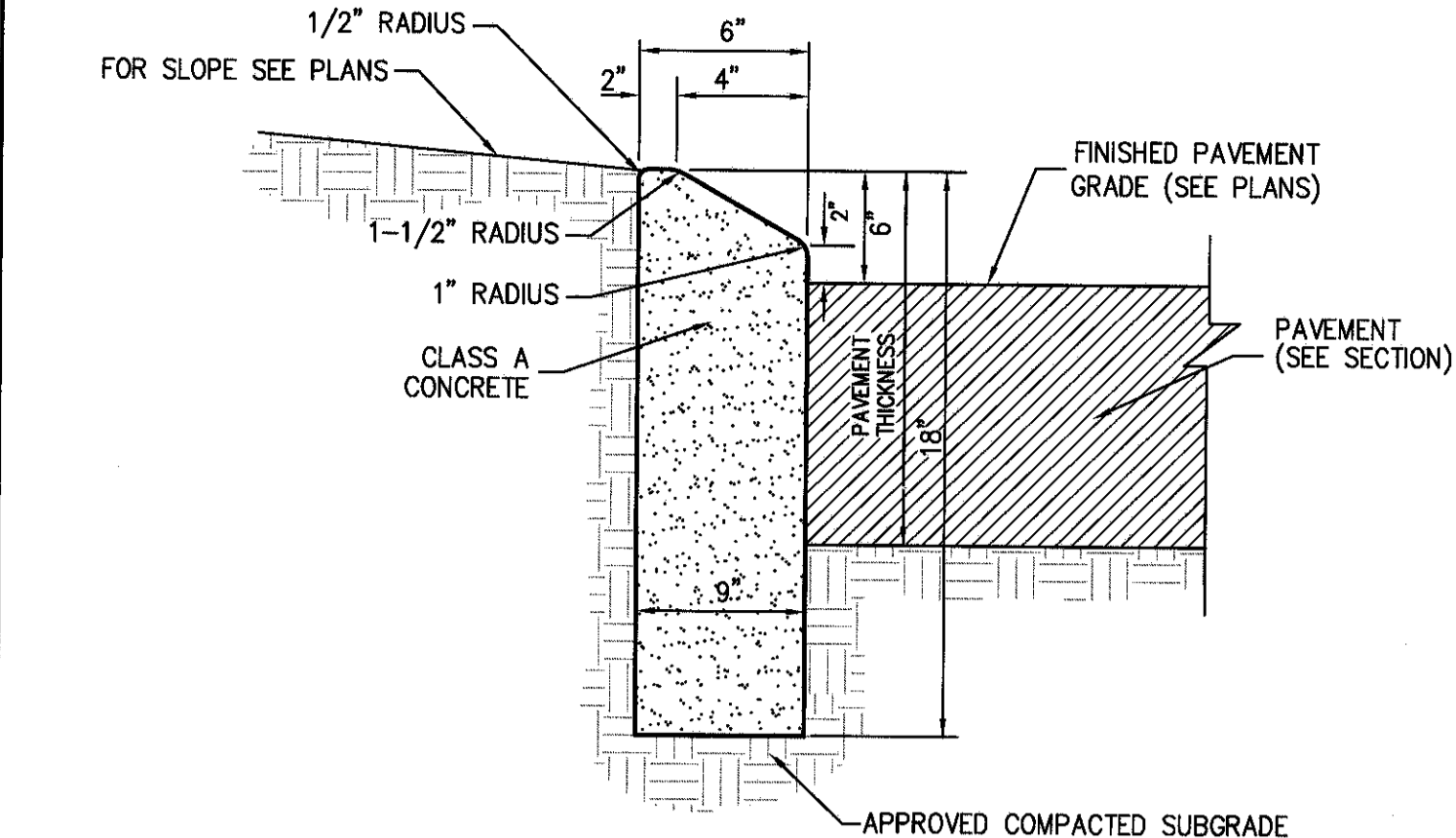
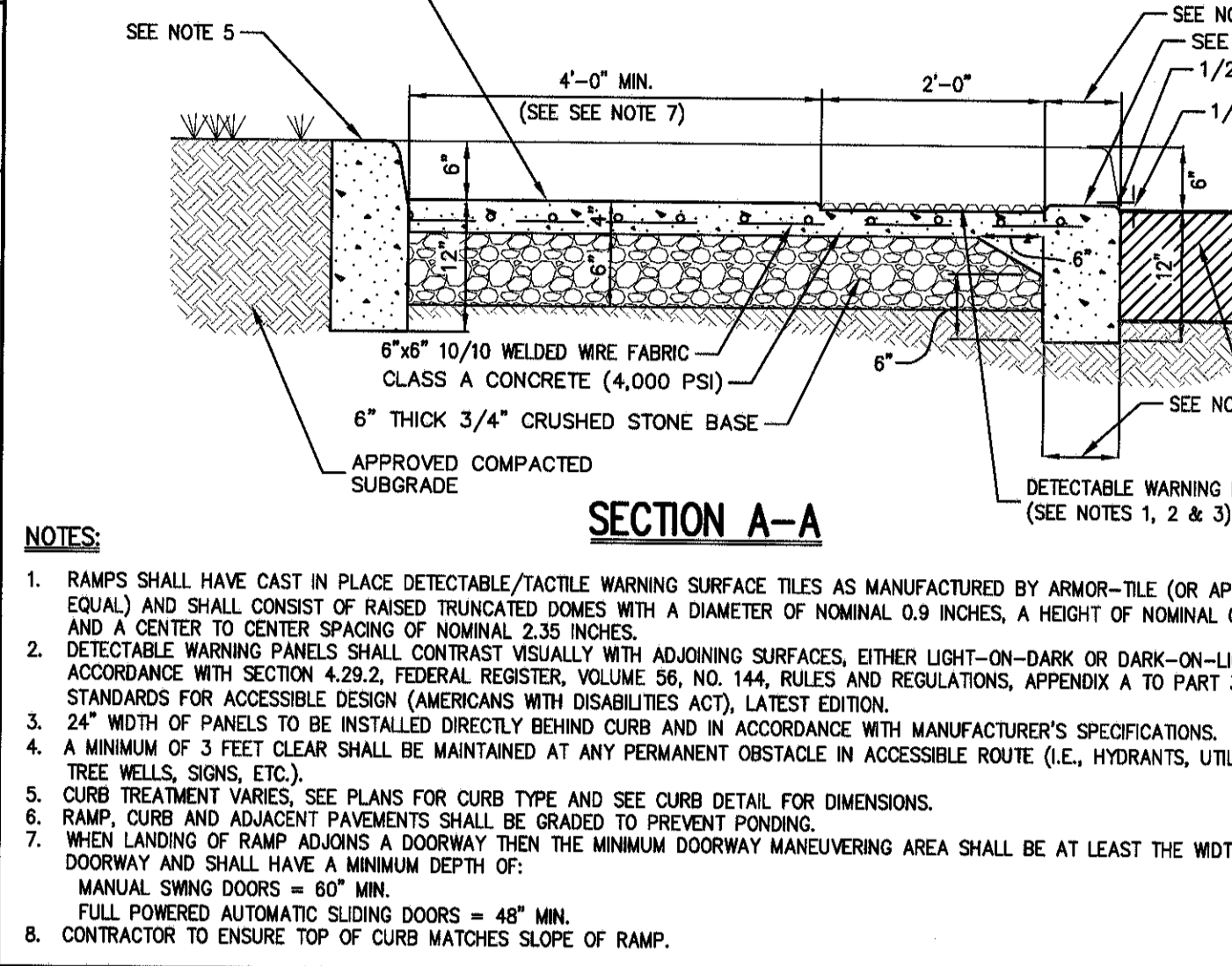
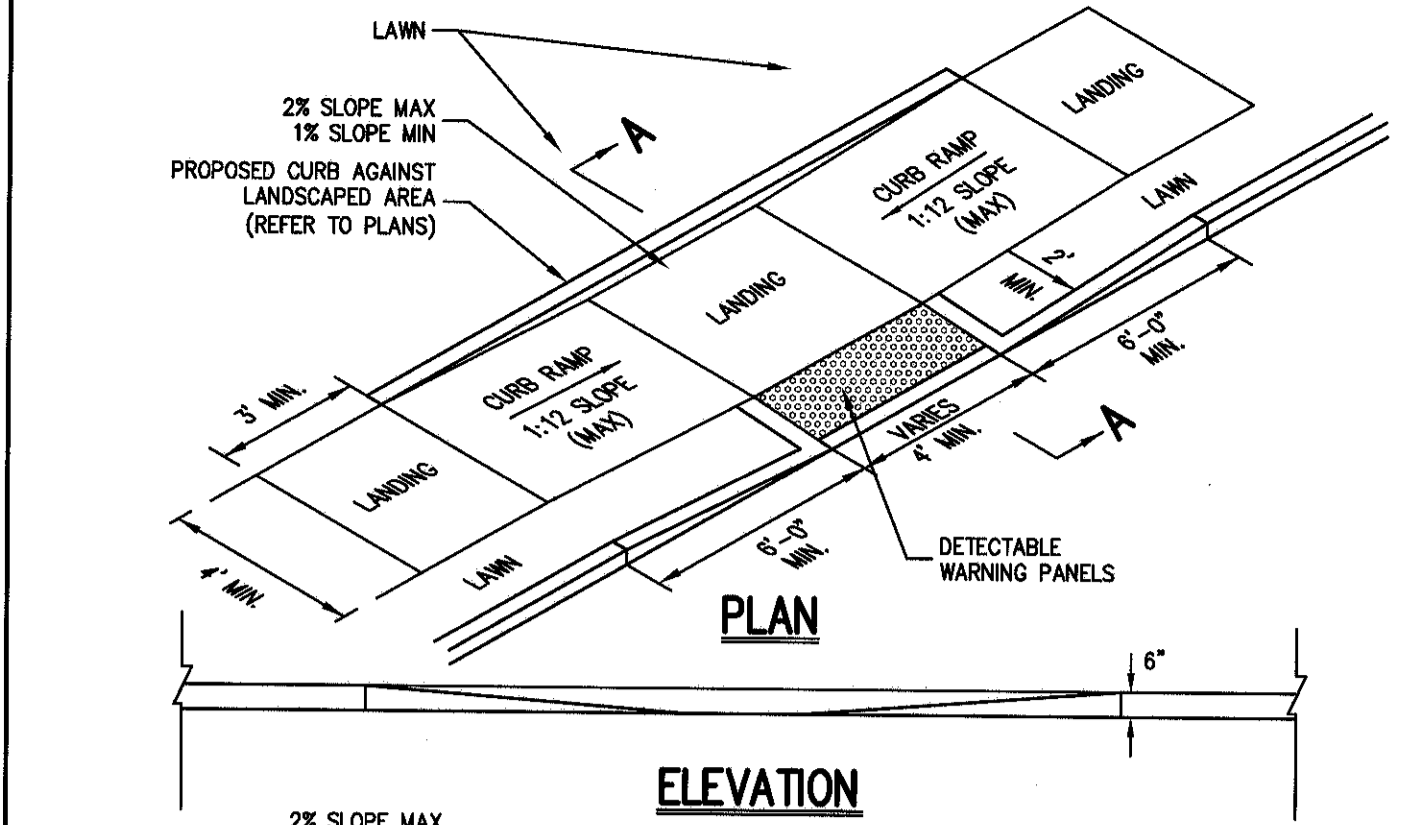
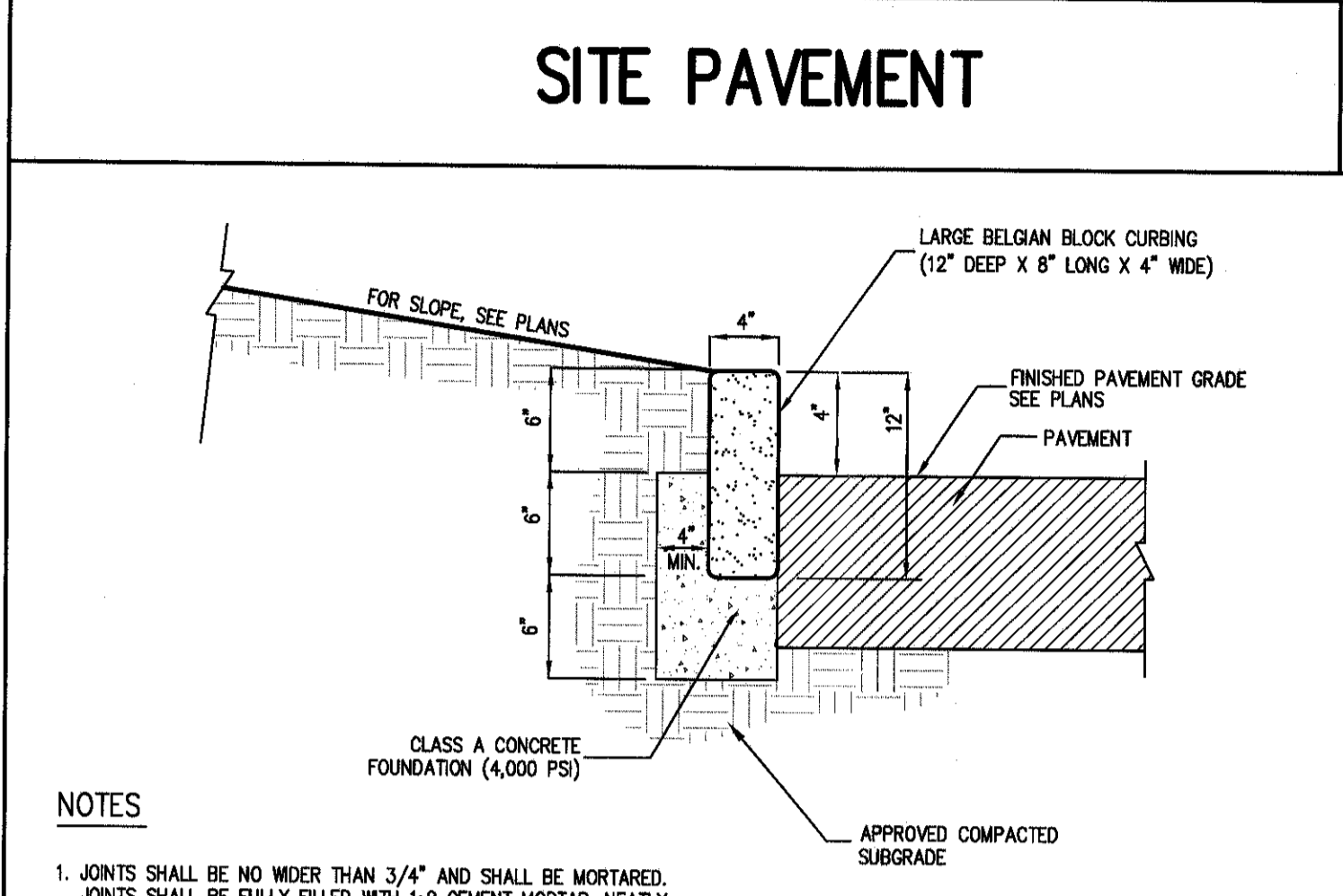
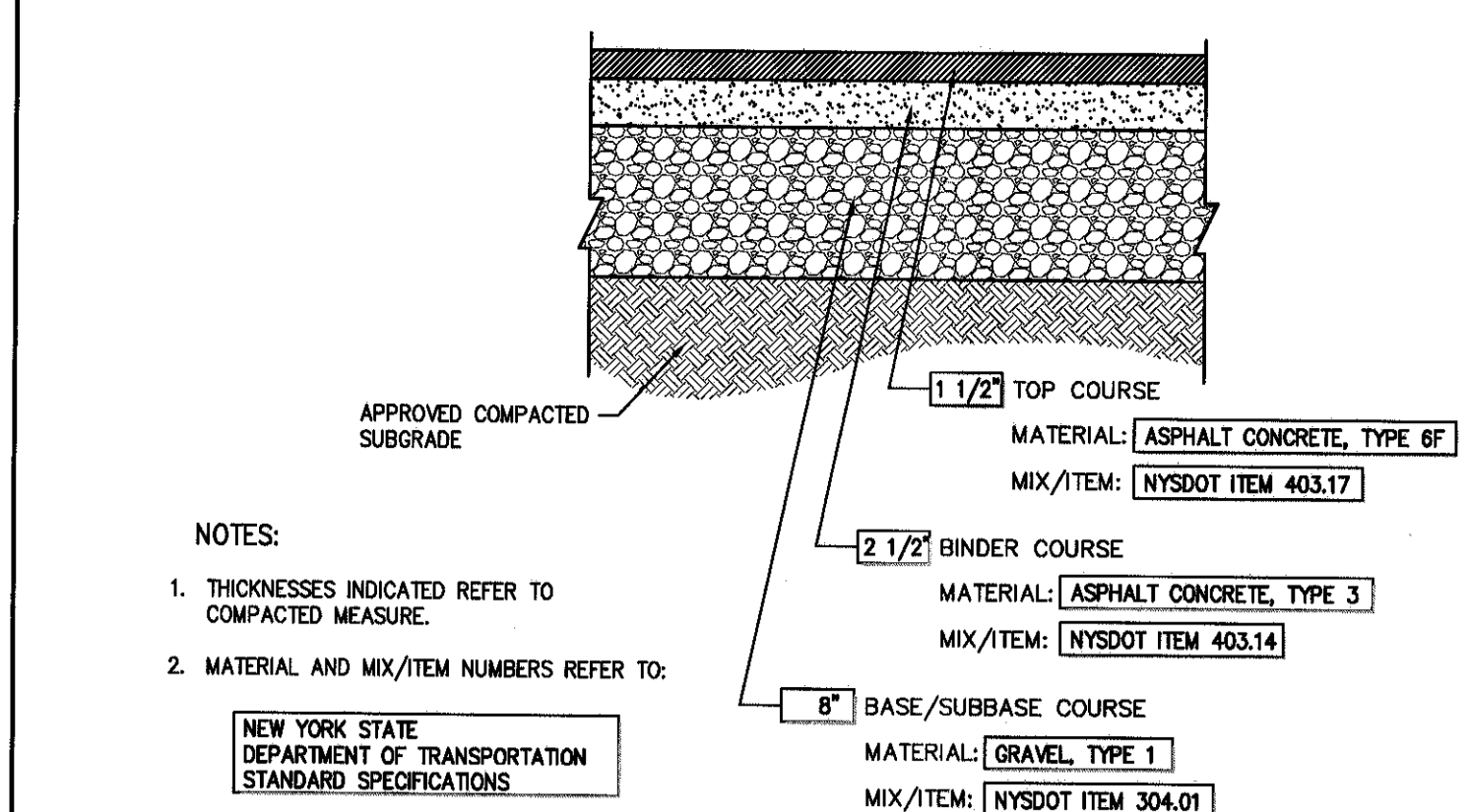
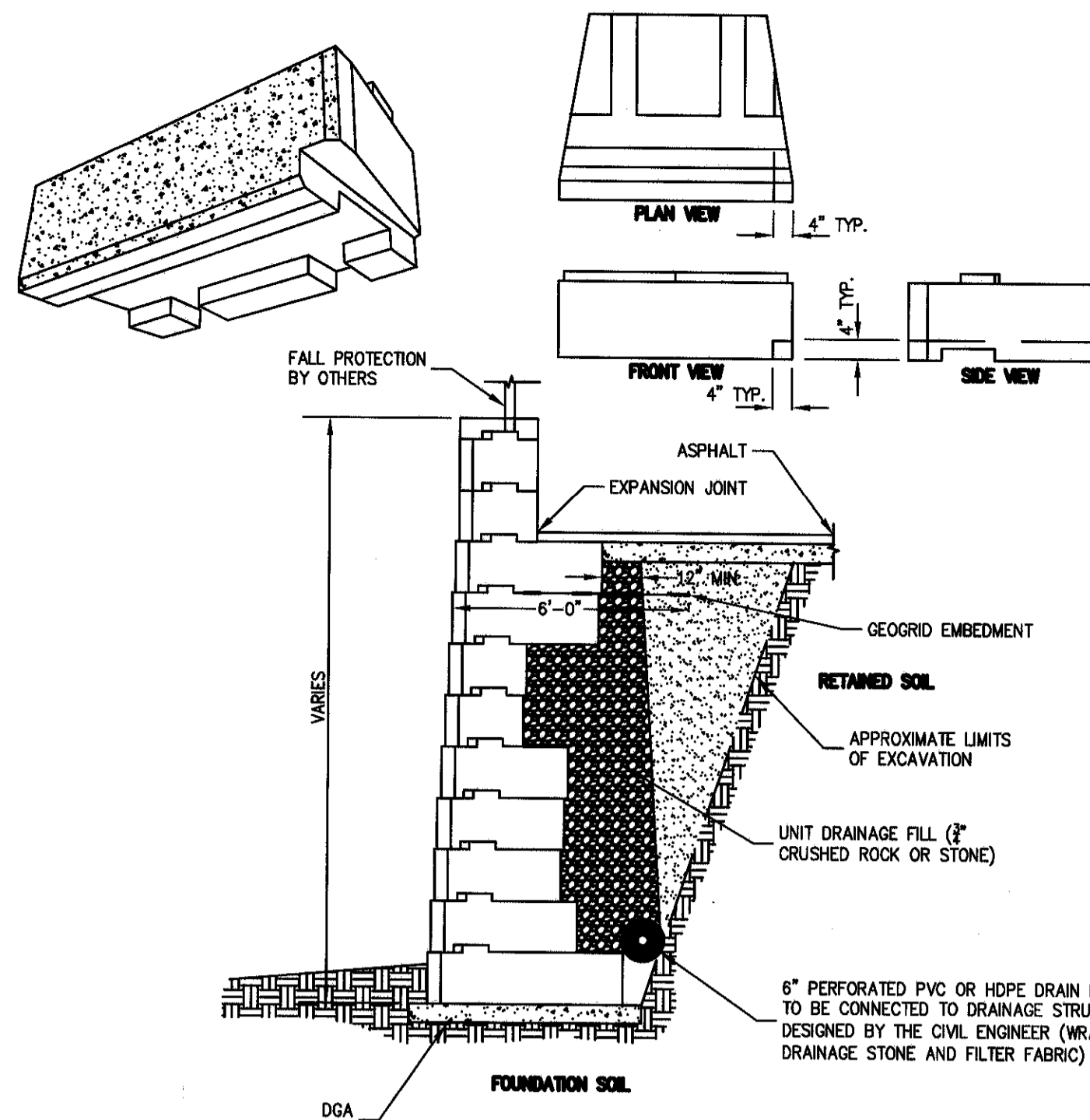
PREPARED BY: FARRELL BUILDING COMPANY, LLC
1601 VETERANS MEMORIAL HIGHWAY
ISLANDIA, NY 11749
ARCHITECT: MAURI ARCHITECTS PC
POUGHKEEPS, NY 12601

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JMS Site Development Consultants, LLC
John Barry Consulting, Inc.
100 BEDFORD ROAD - ARMONK, NY 10603
914.463.3333 - 914.463.3100
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CONSTRUCTION DETAILS
GARDERTOWN COMMONS
TOWN OF NEWBURGH, NY

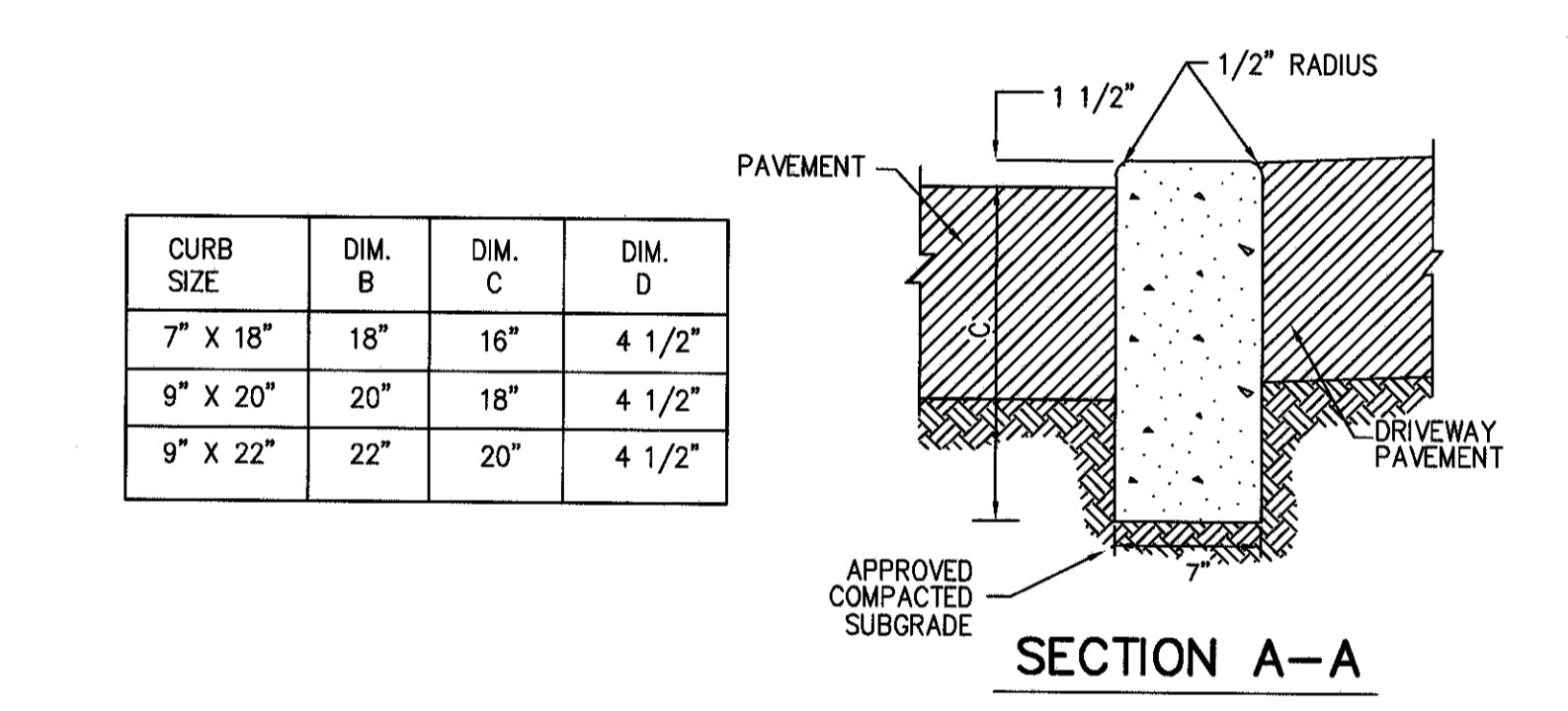
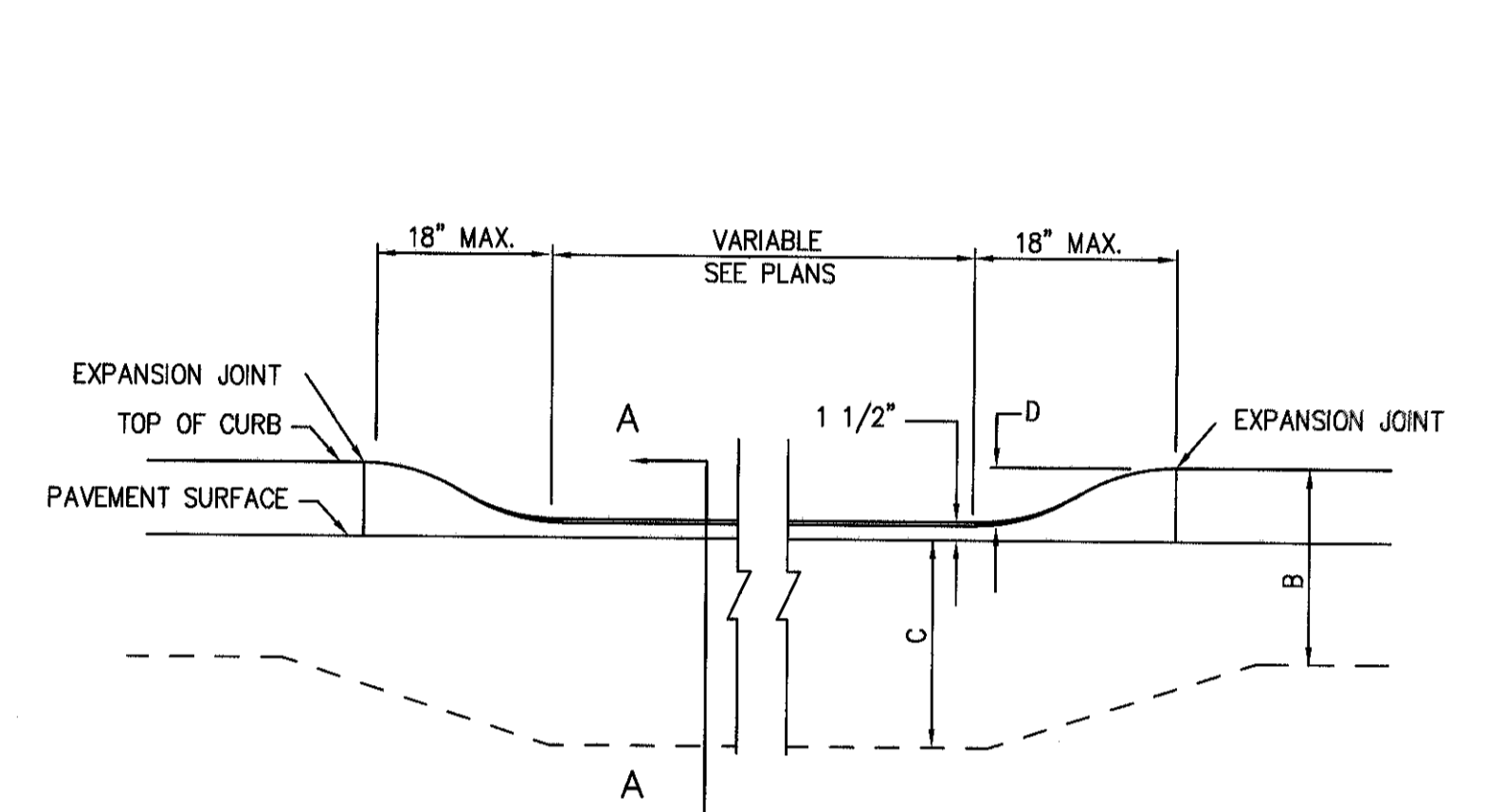
Scale: NOT TO SCALE
Date: 02/19/2016
Project No: 15155
SHEET NO: 38 OF 38

SP-13



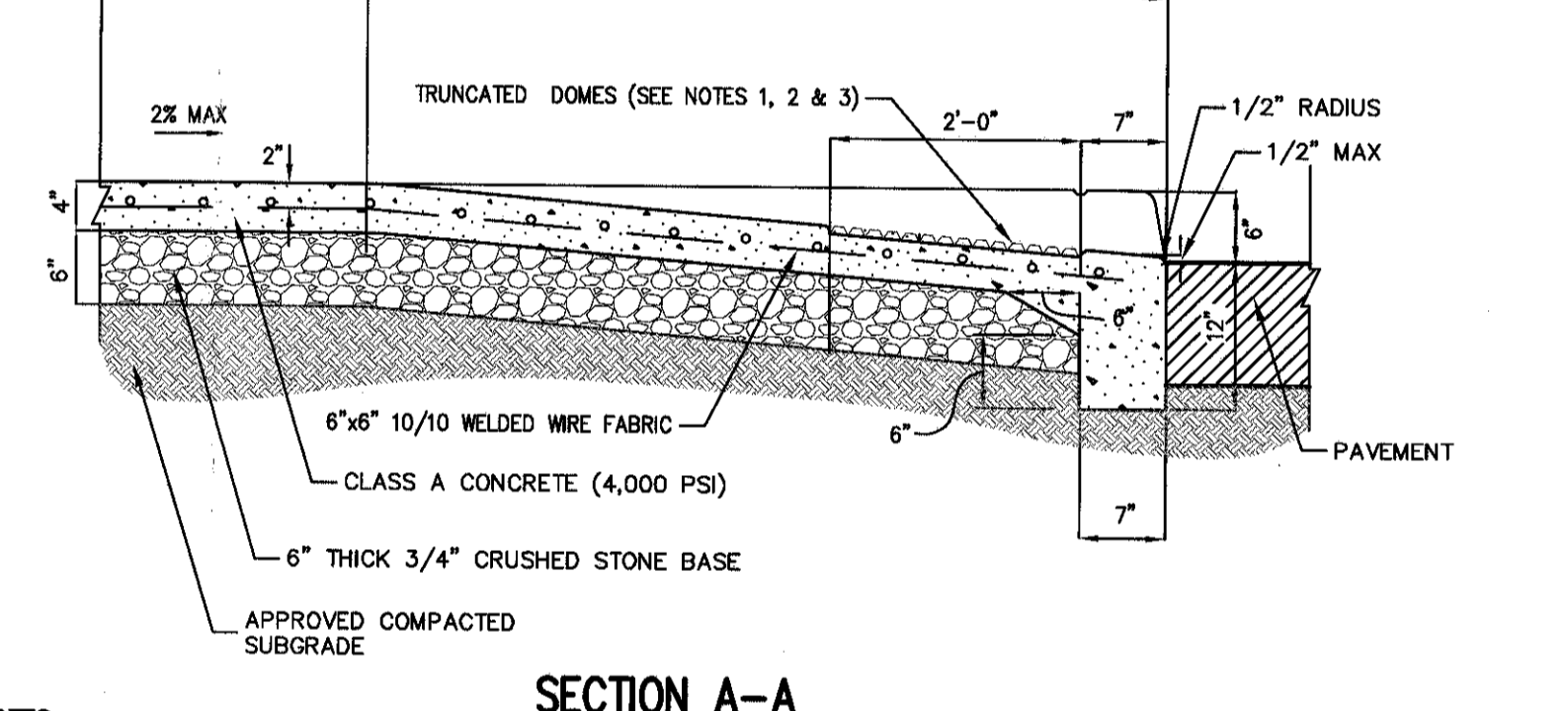
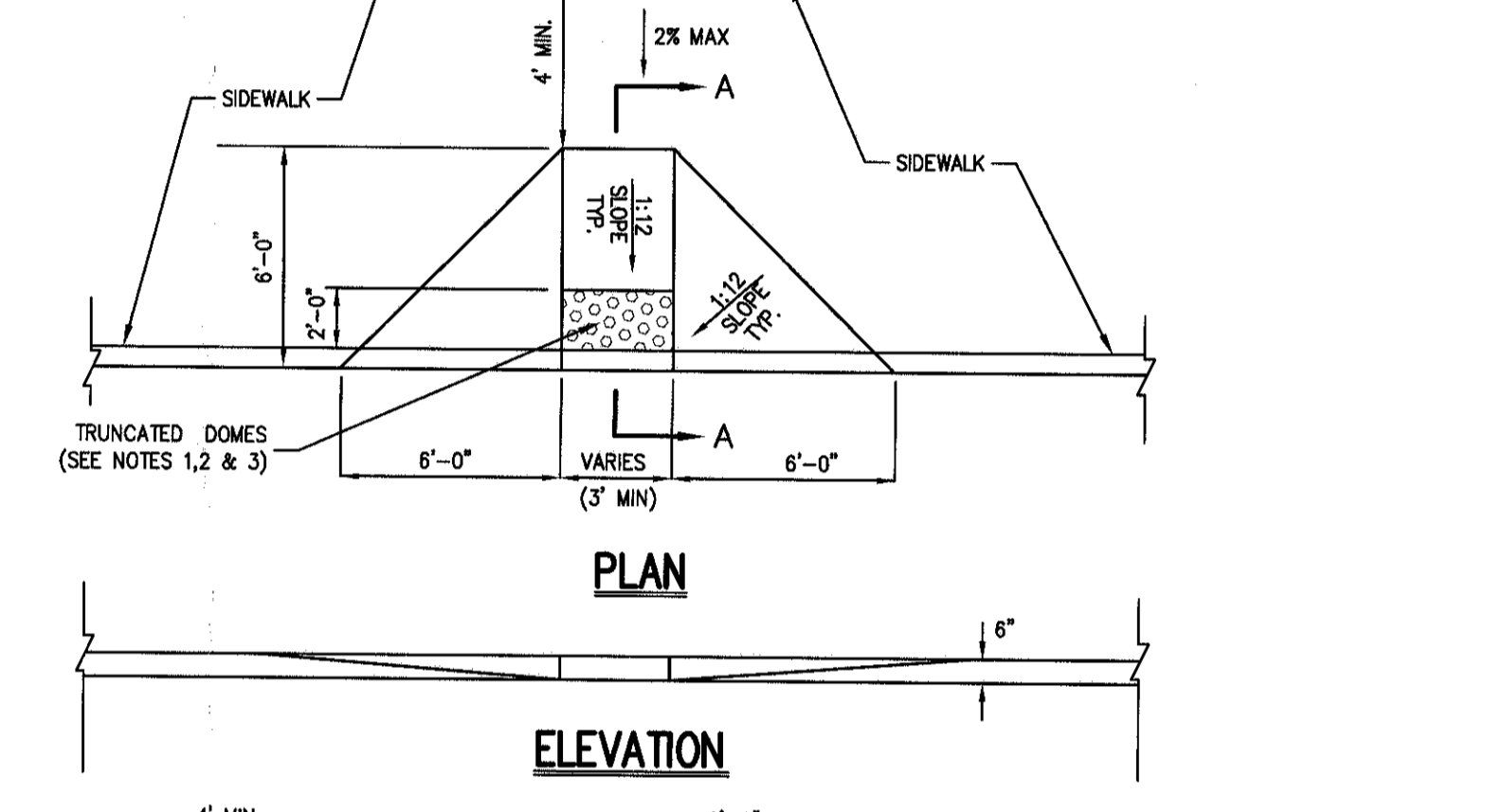
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

SEGMENTAL BLOCK EARTH RETENTION WALL (TO BE DESIGNED BY OTHERS) **41**



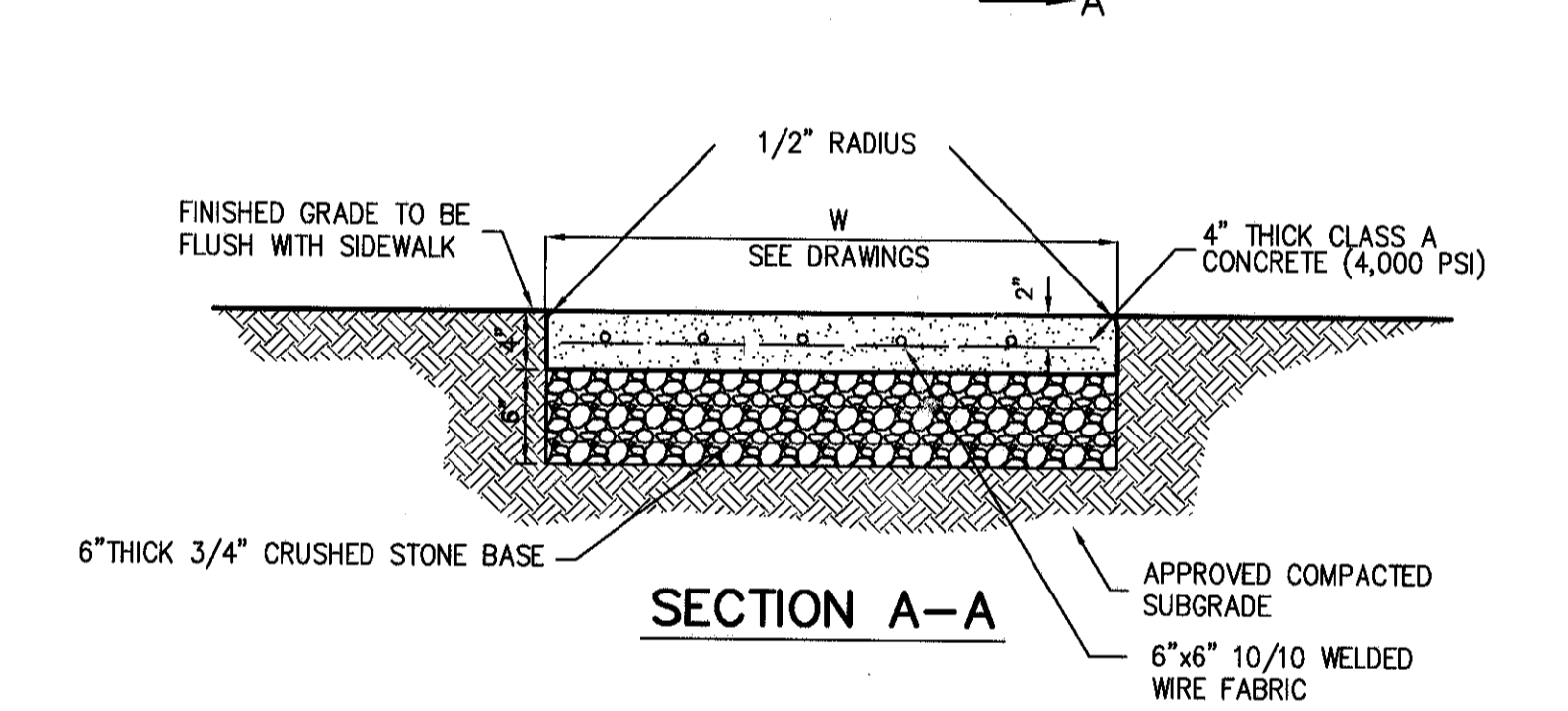
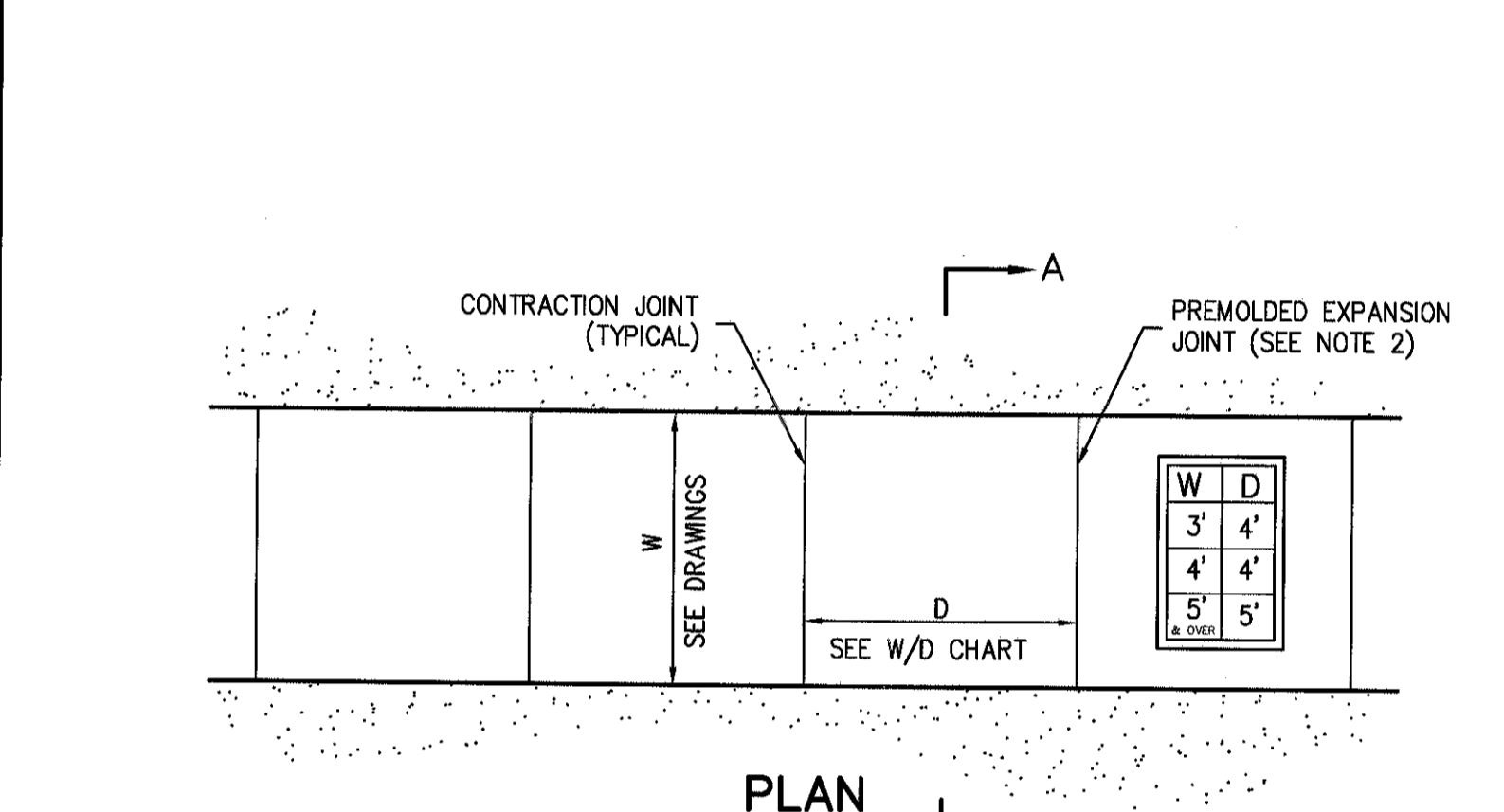
METHOD OF DEPRESSING CURB AT DRIVEWAYS

DRIVEWAY 4" HIGH STONE CURB (BELGIAN BLOCK) **43**



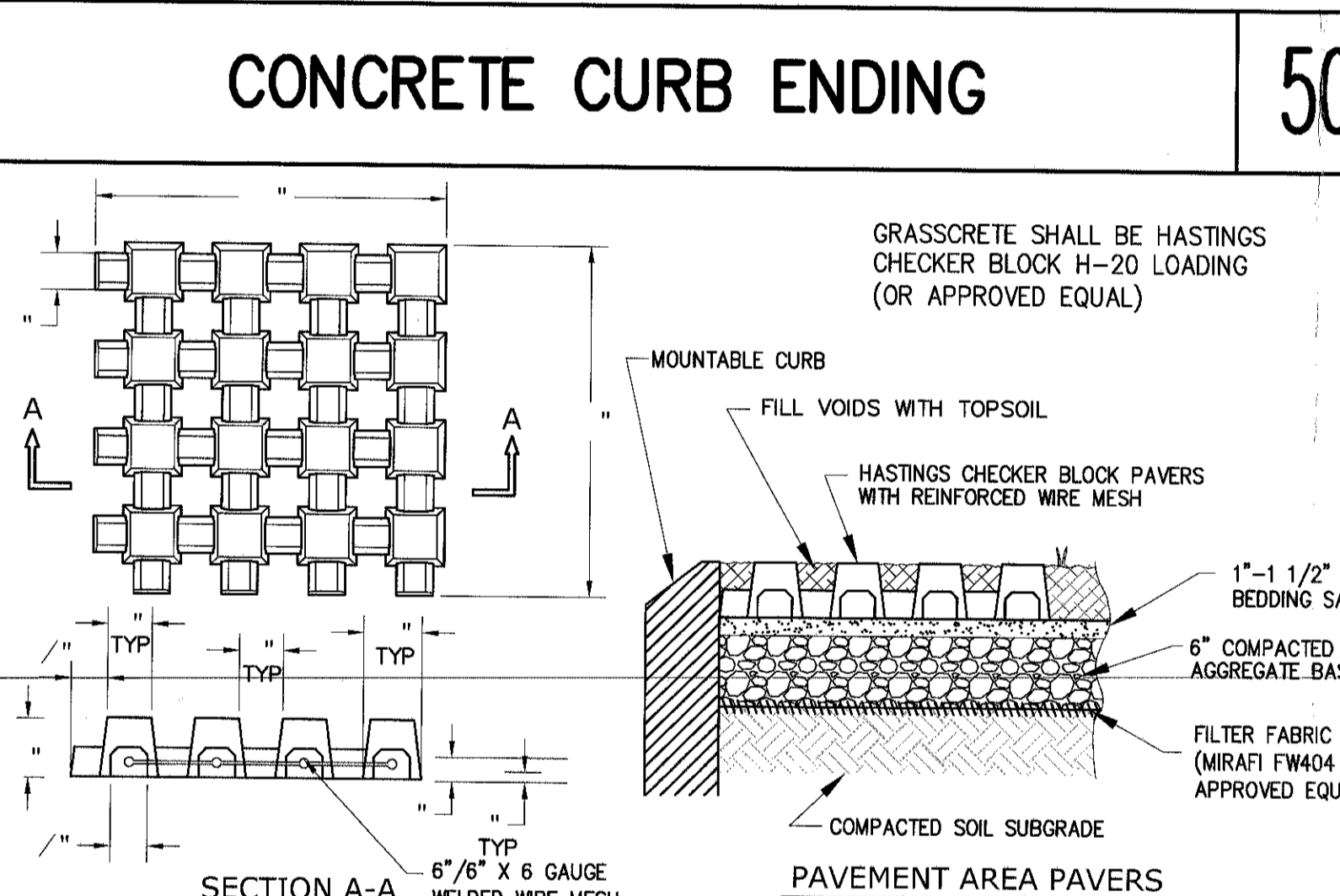
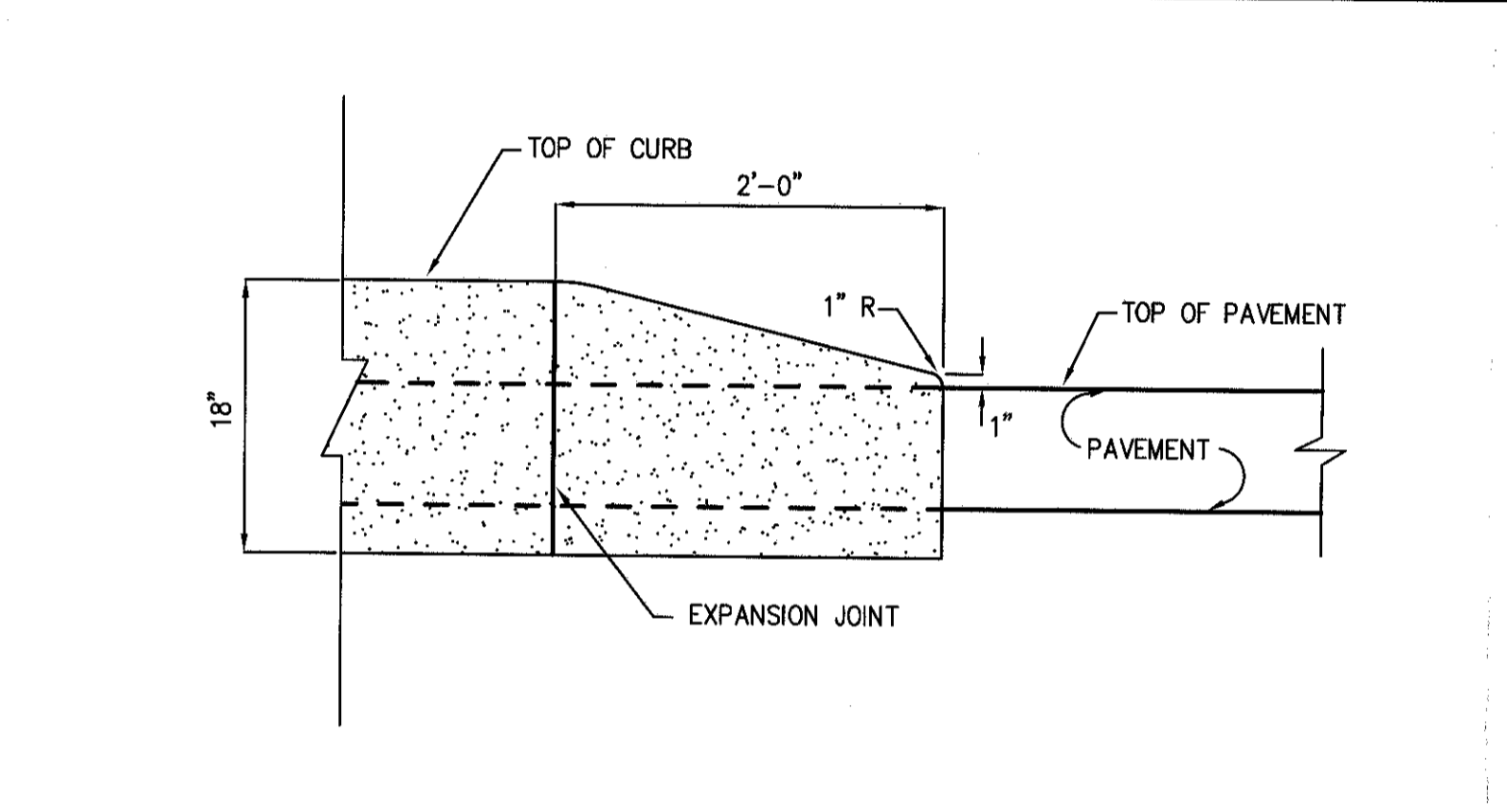
- NOTES:**
- RAMP AND SEE RAMP SHALL HAVE DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 - TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 409.2 FEDERAL RESISTANCE VOLUME 96, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT, LATEST EDITION).
 - 24" WIDTH OF TRUNCATED DOMES TO BE INSTALLED DIRECTLY BEHIND CURB.

DROP CURB & RAMP (TYPE C) WITH DETECTABLE WARNING **44**

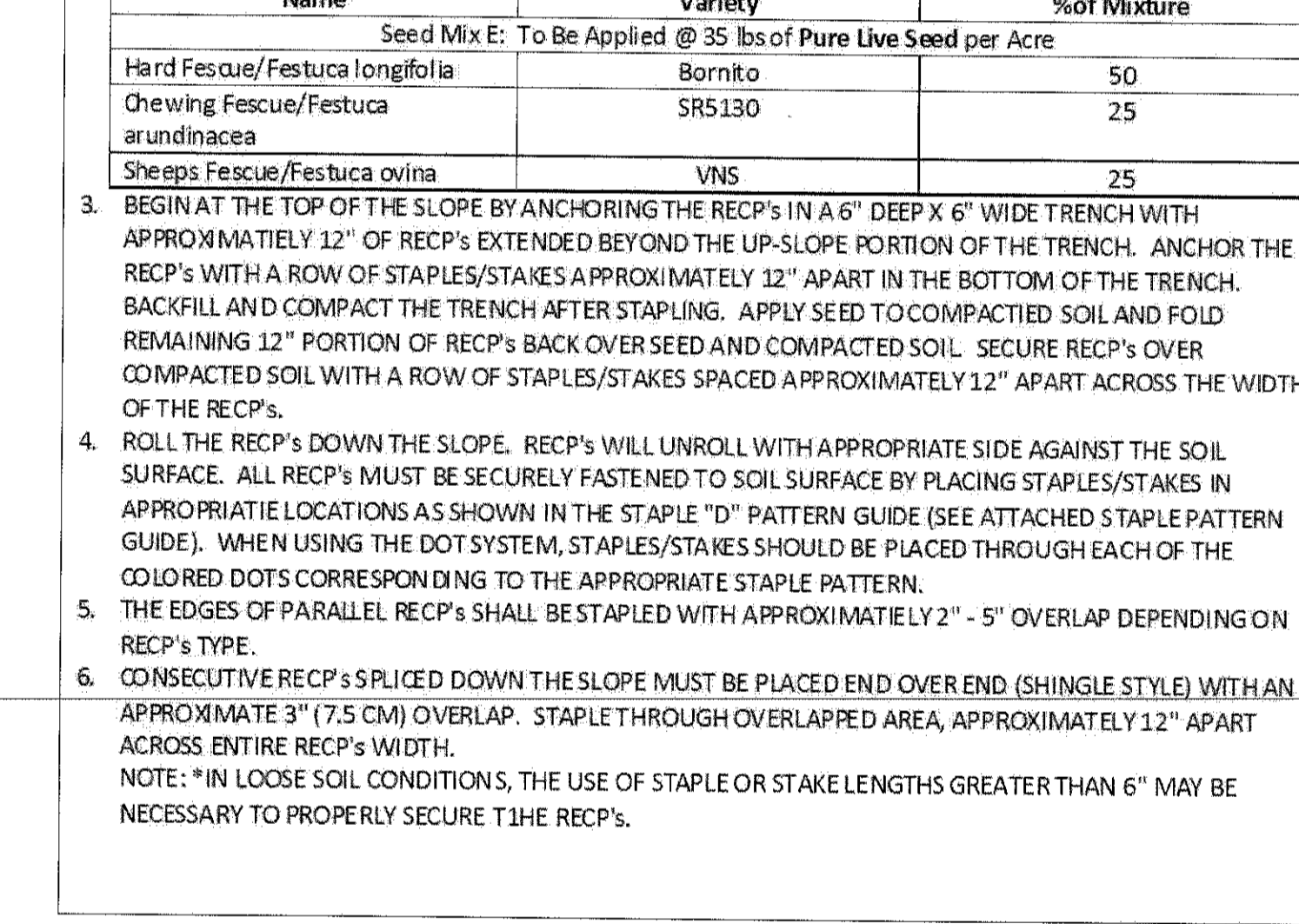
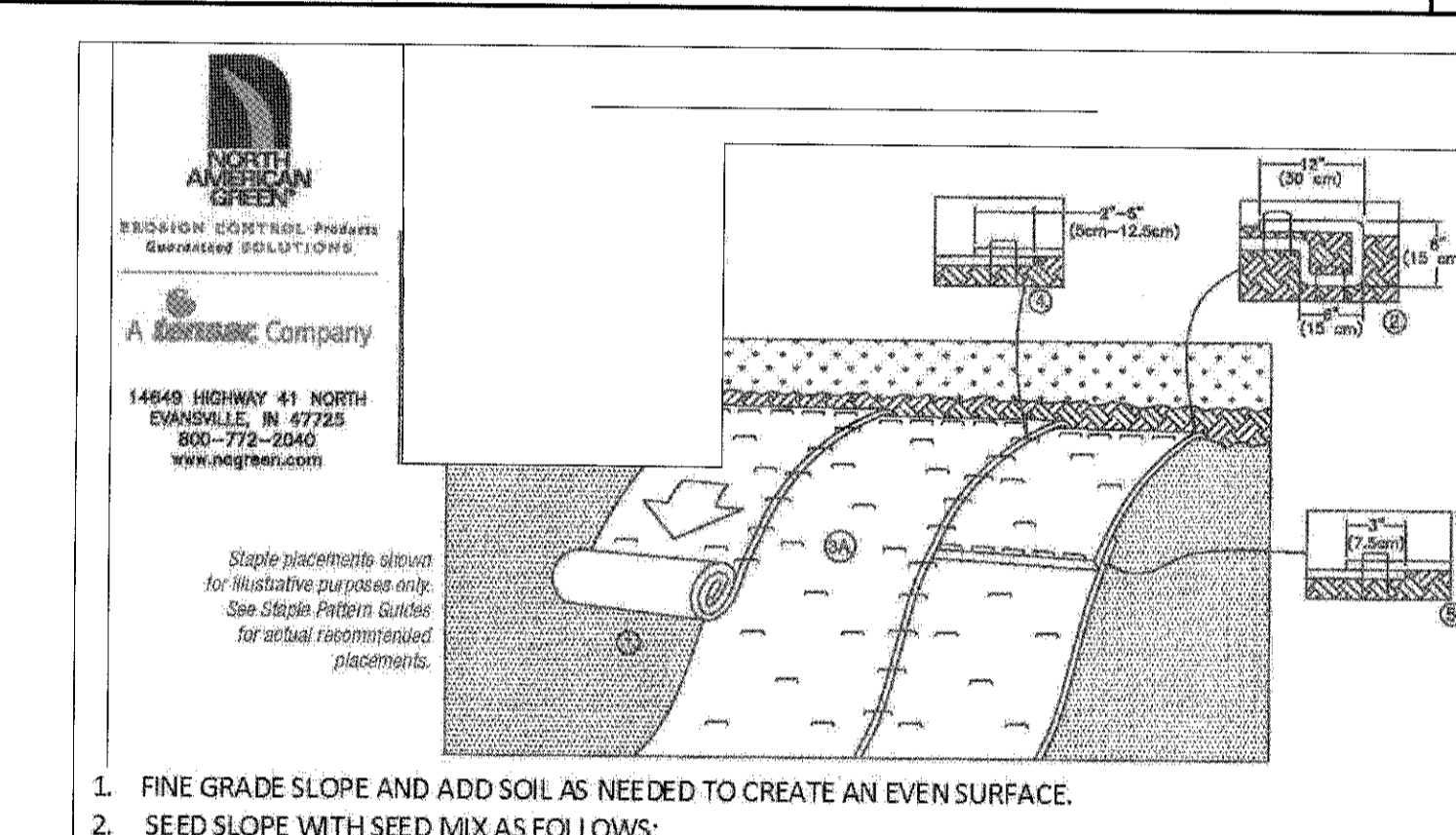


- NOTES:**
- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
 - PROVIDE 1/2" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 - REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 - SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

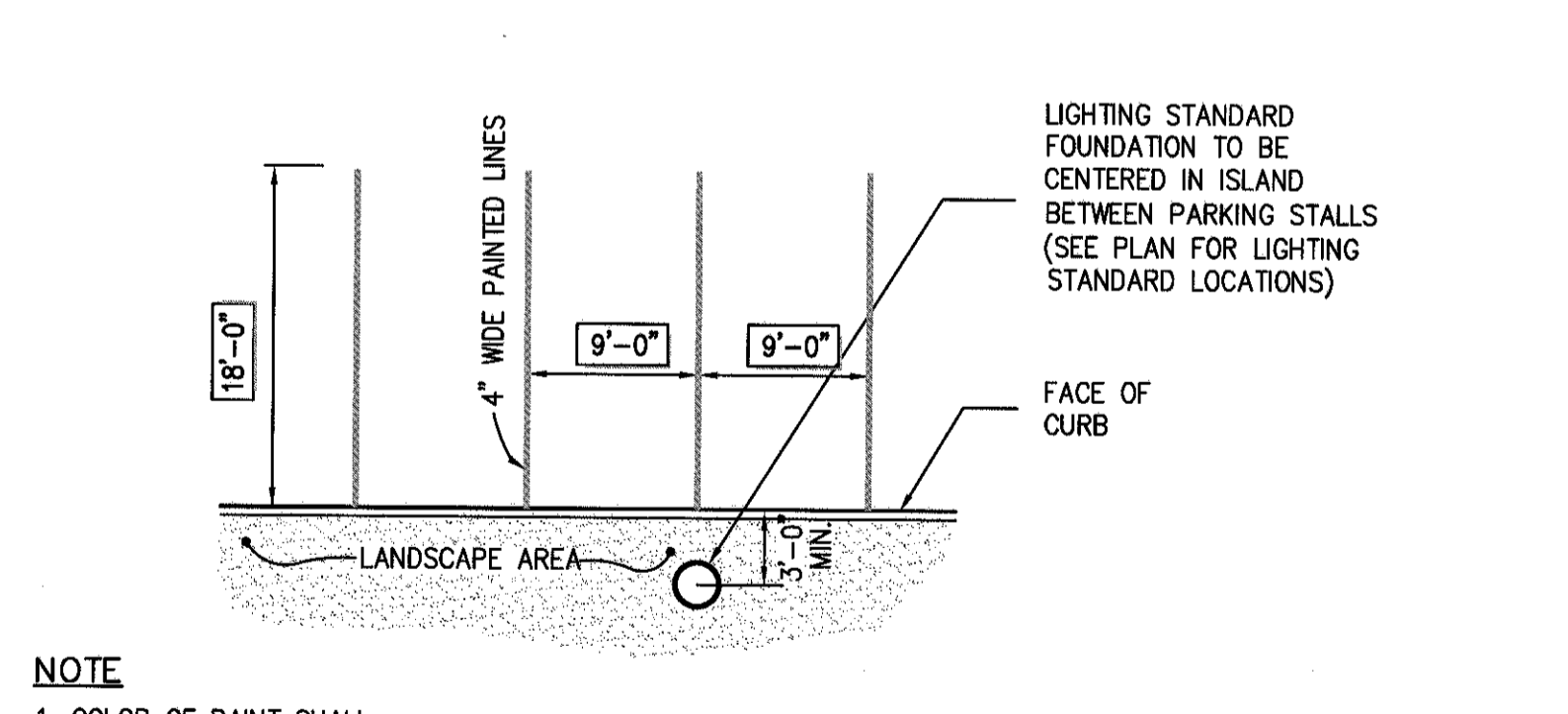
CONCRETE CURB ENDING **50**



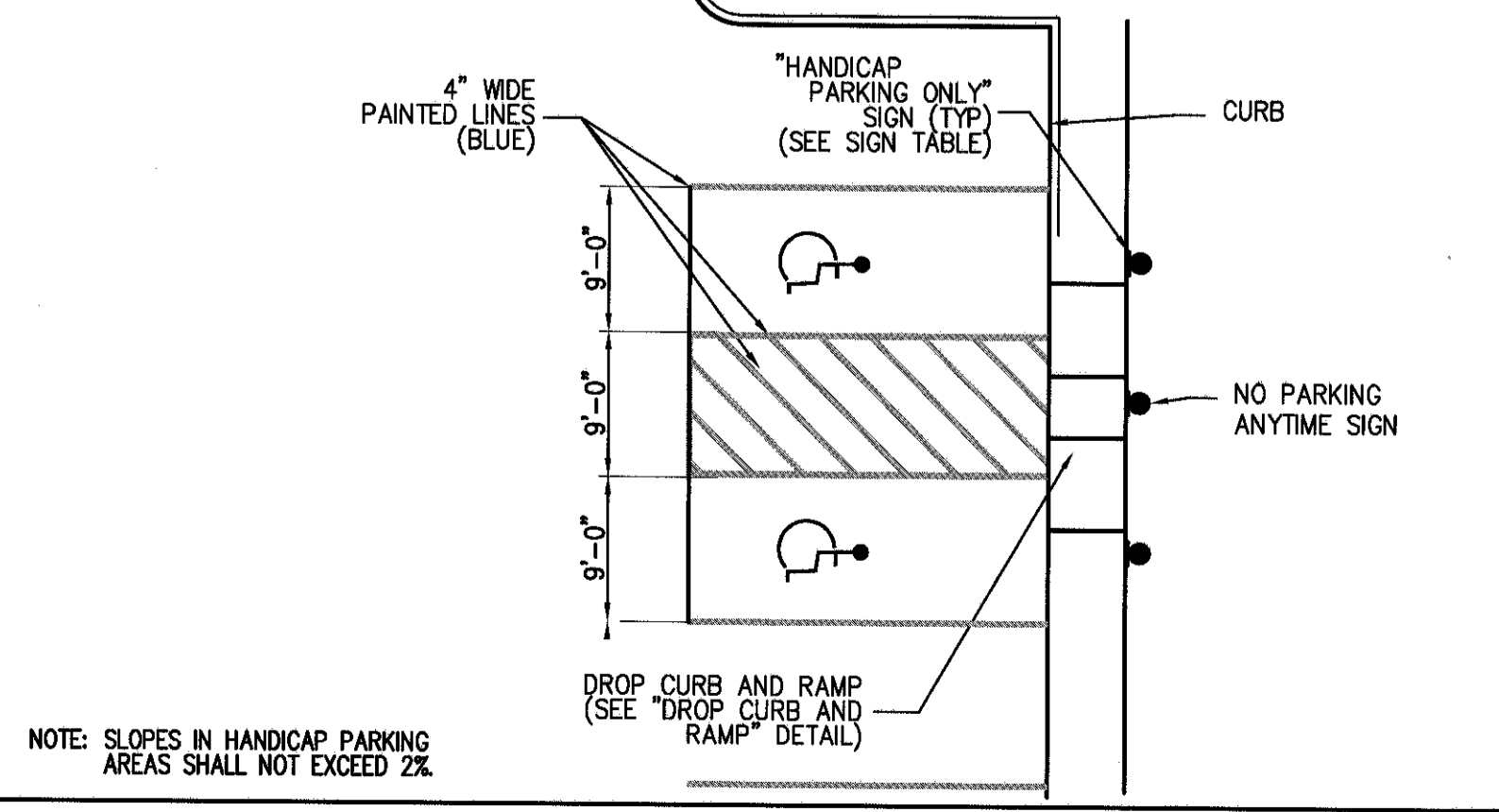
STREET STONE CURB (BELGIAN BLOCK) **46**



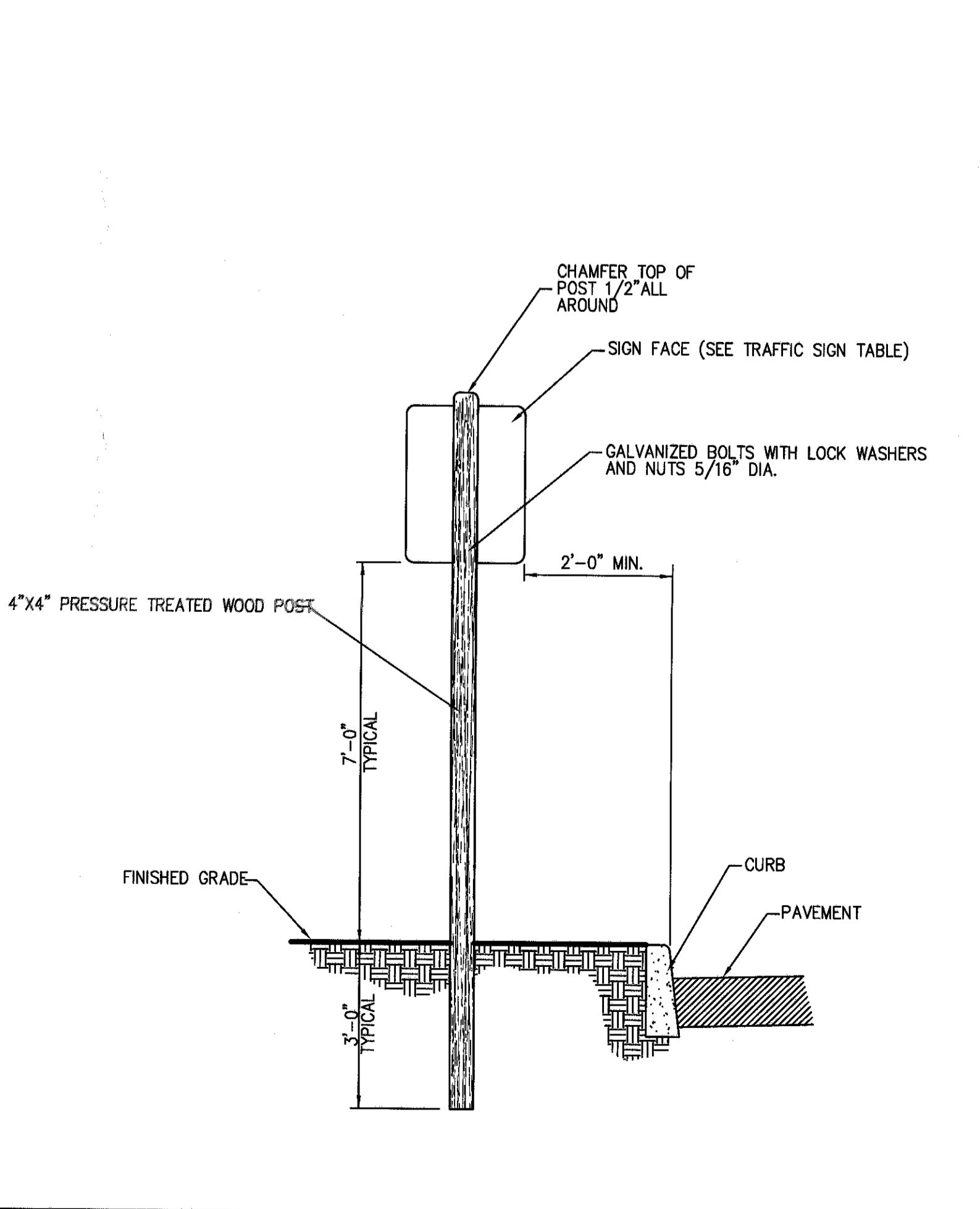
DEPRESSED CONCRETE CURB **47**



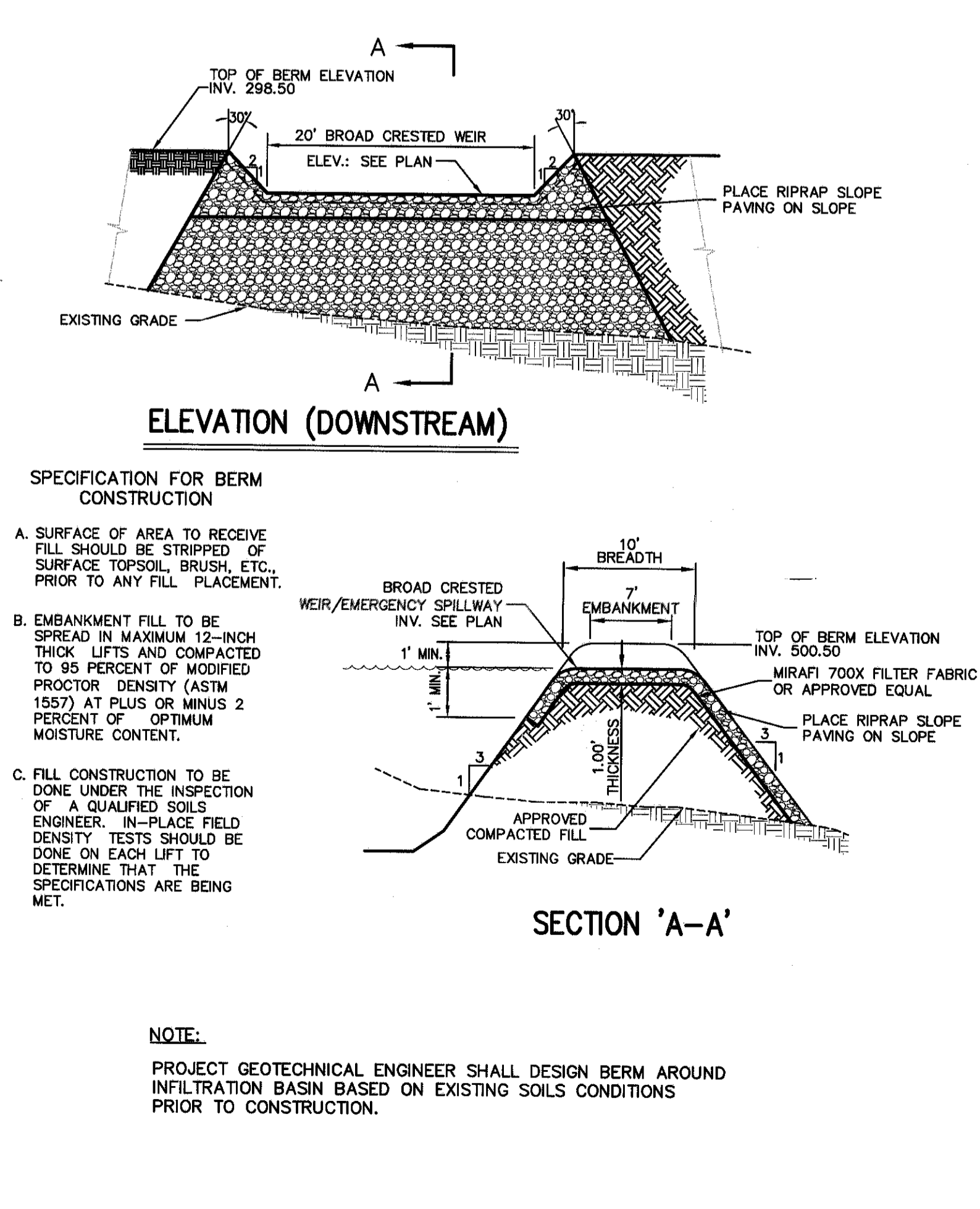
90° PARKING (SINGLE STRIPING - CURBED PERIMETER) **53**



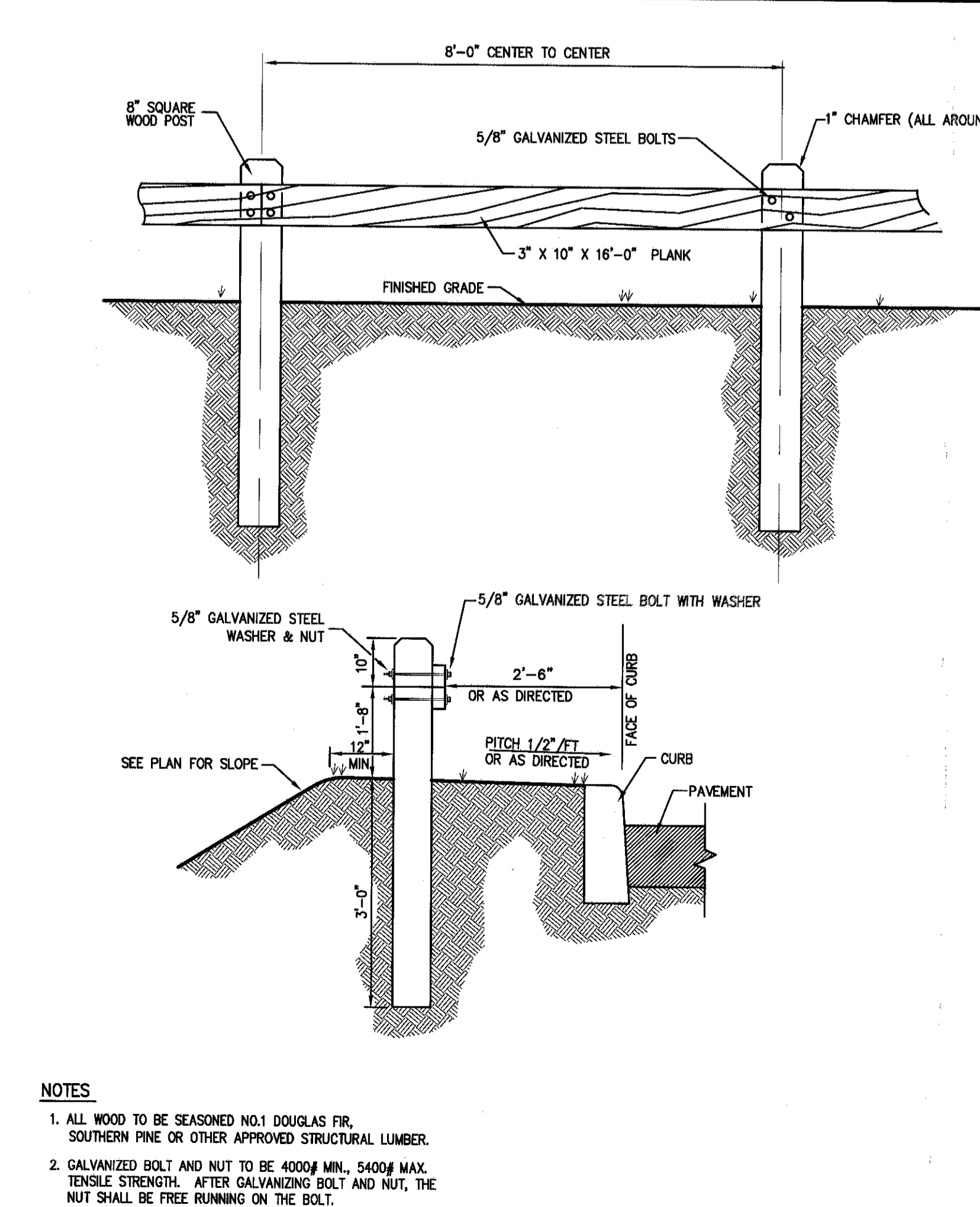
DROP CURB & RAMP **48**



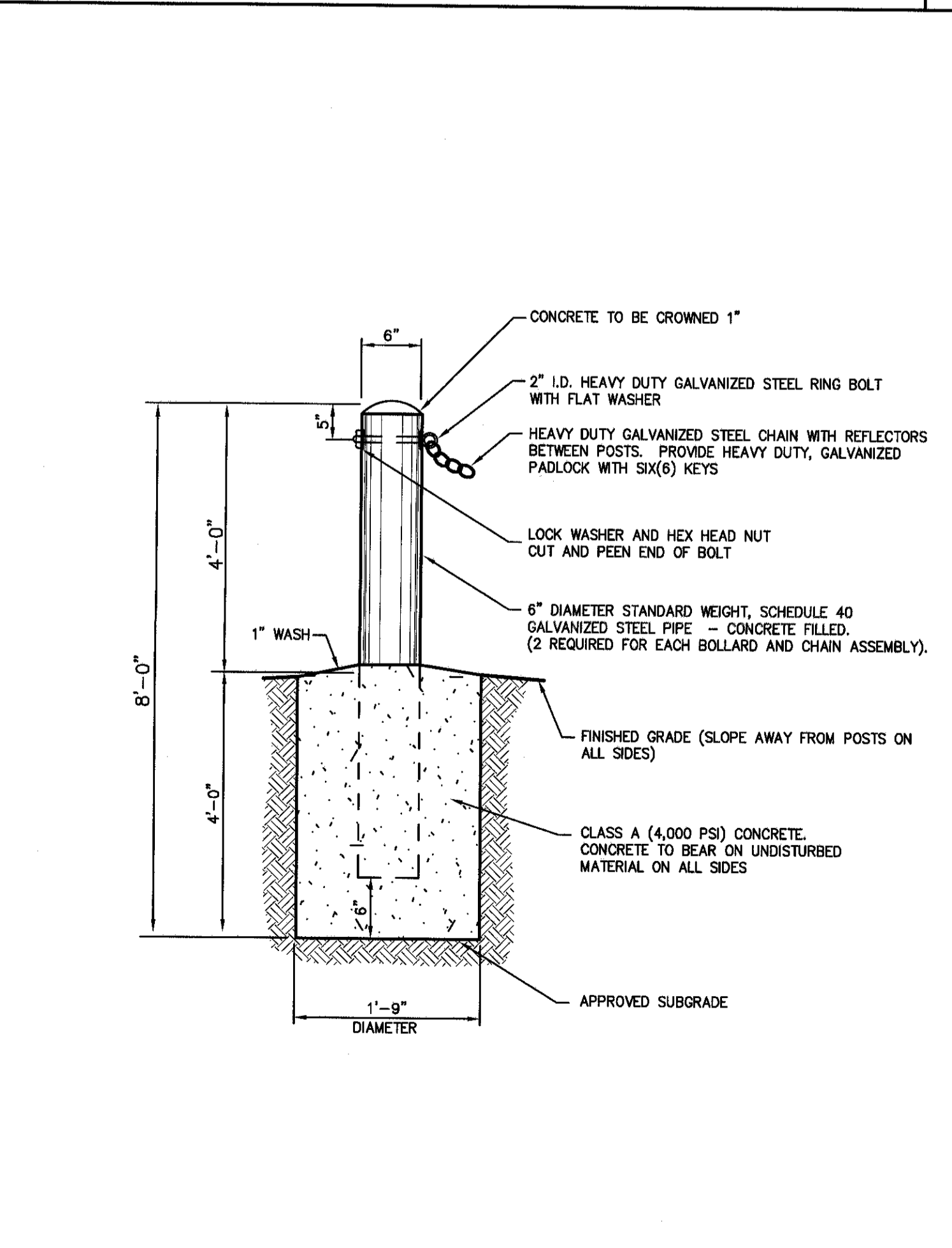
CONCRETE SIDEWALK **49**



GRASSCRETE EMERGENCY ACCESS AREAS **51**



STABILIZED SLOPE DETAIL **52**



HANDICAP PARKING **54**

TRAFFIC SIGN POST (WOOD) **55**

RIP-RAP EMERGENCY SPILLWAY **56**

WOOD GUIDE RAIL **57**

BOLLARD & CHAIN ASSEMBLY (STEEL PIPE) **58**

JMC
CONSTRUCTION DETAILS
GARDENTOWN COMMONS
 GARDENTOWN ROAD
 TOWN OF NEWBURGH, NY

FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

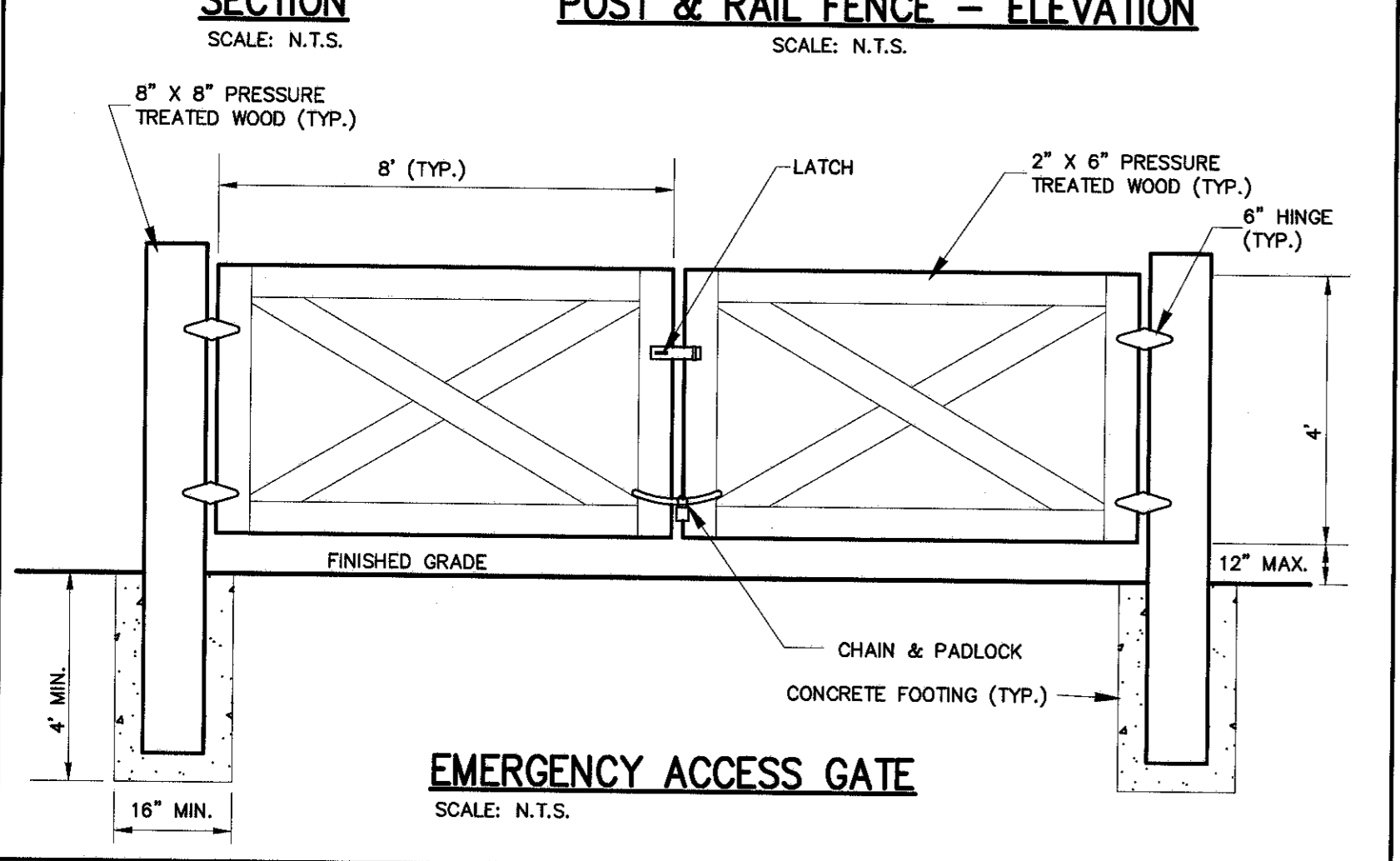
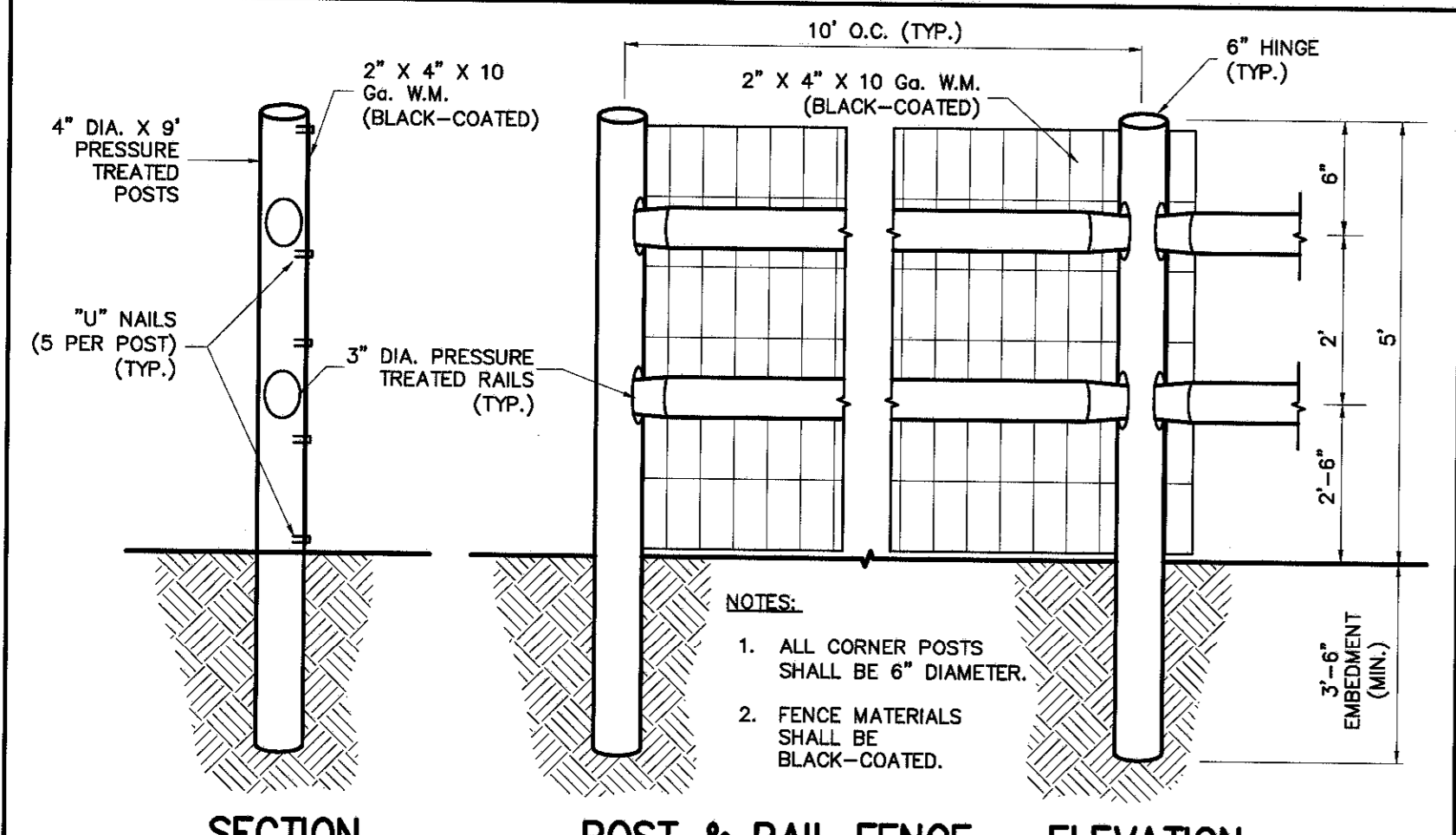
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 303 MILL STREET
 Poughkeepsie, NY 12601

Revision: 05/17/2016
 02/14/2017
 03/27/2017

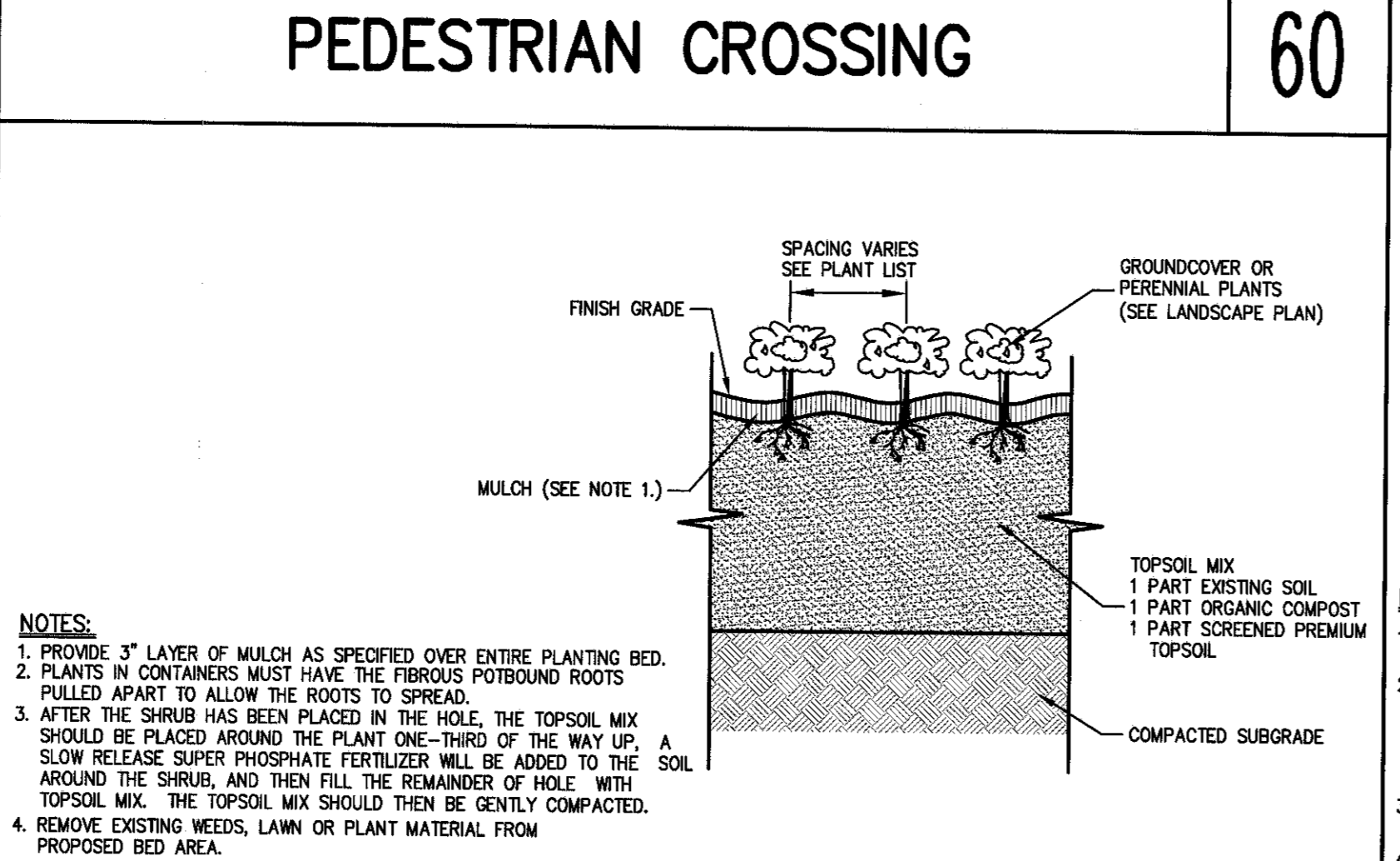
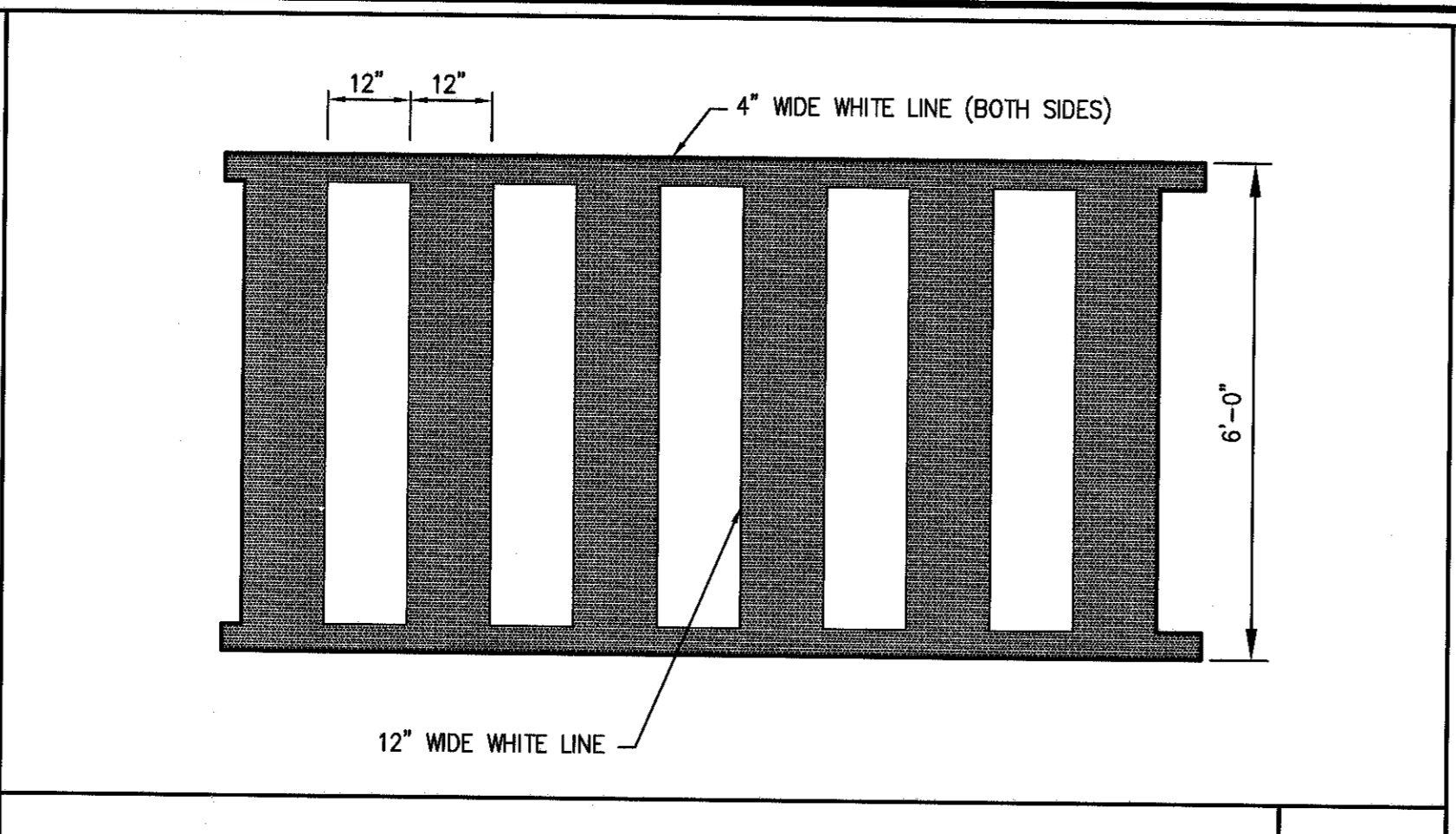
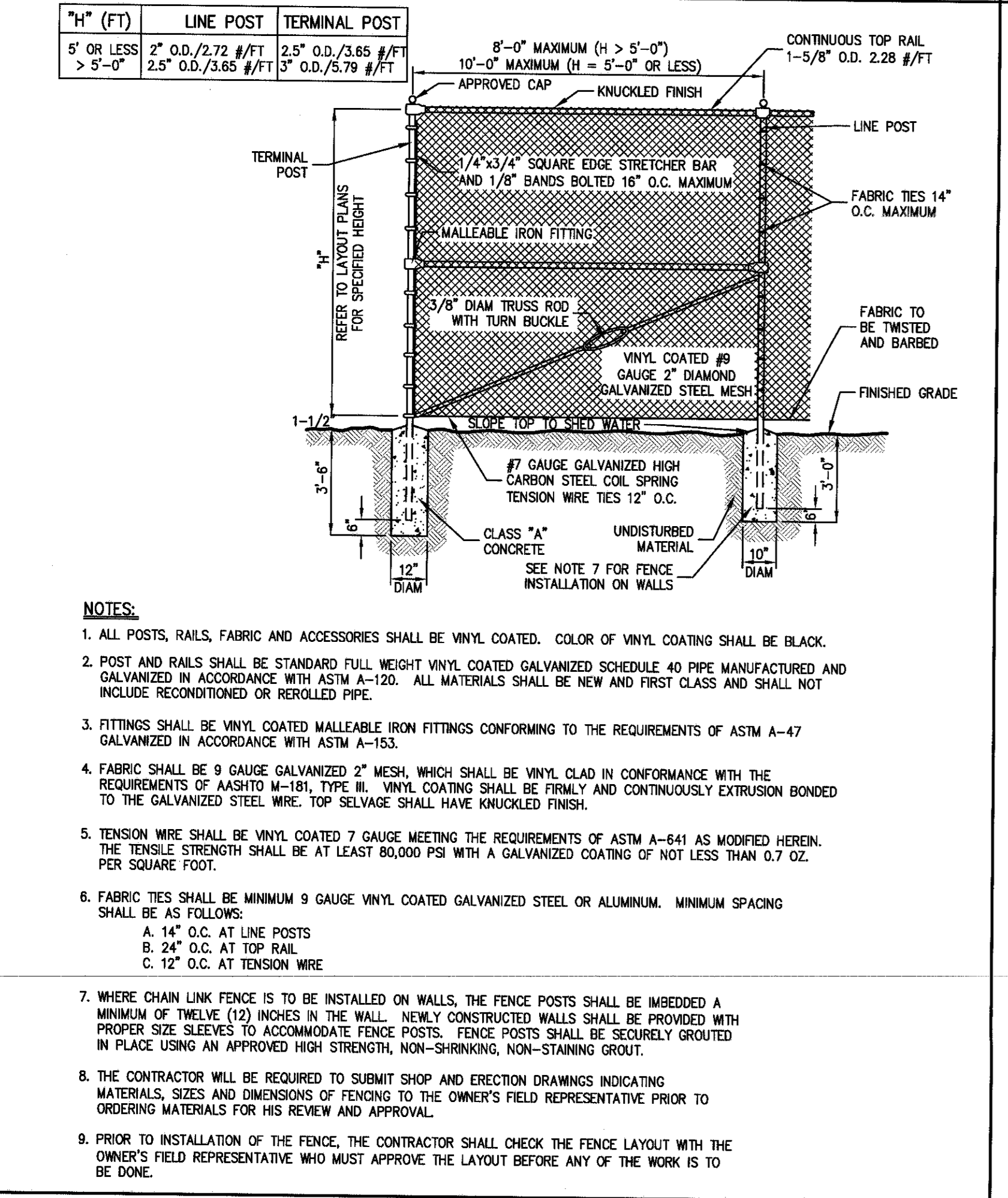
1. REVISED PER TOWN COMMENTS
 2. UPDATED SITE PLANS
 3. GENERAL REVISIONS

Scale: NOT TO SCALE
 Title: 02/19/2016
 Project No: 15155
 Drawing No: DET 4

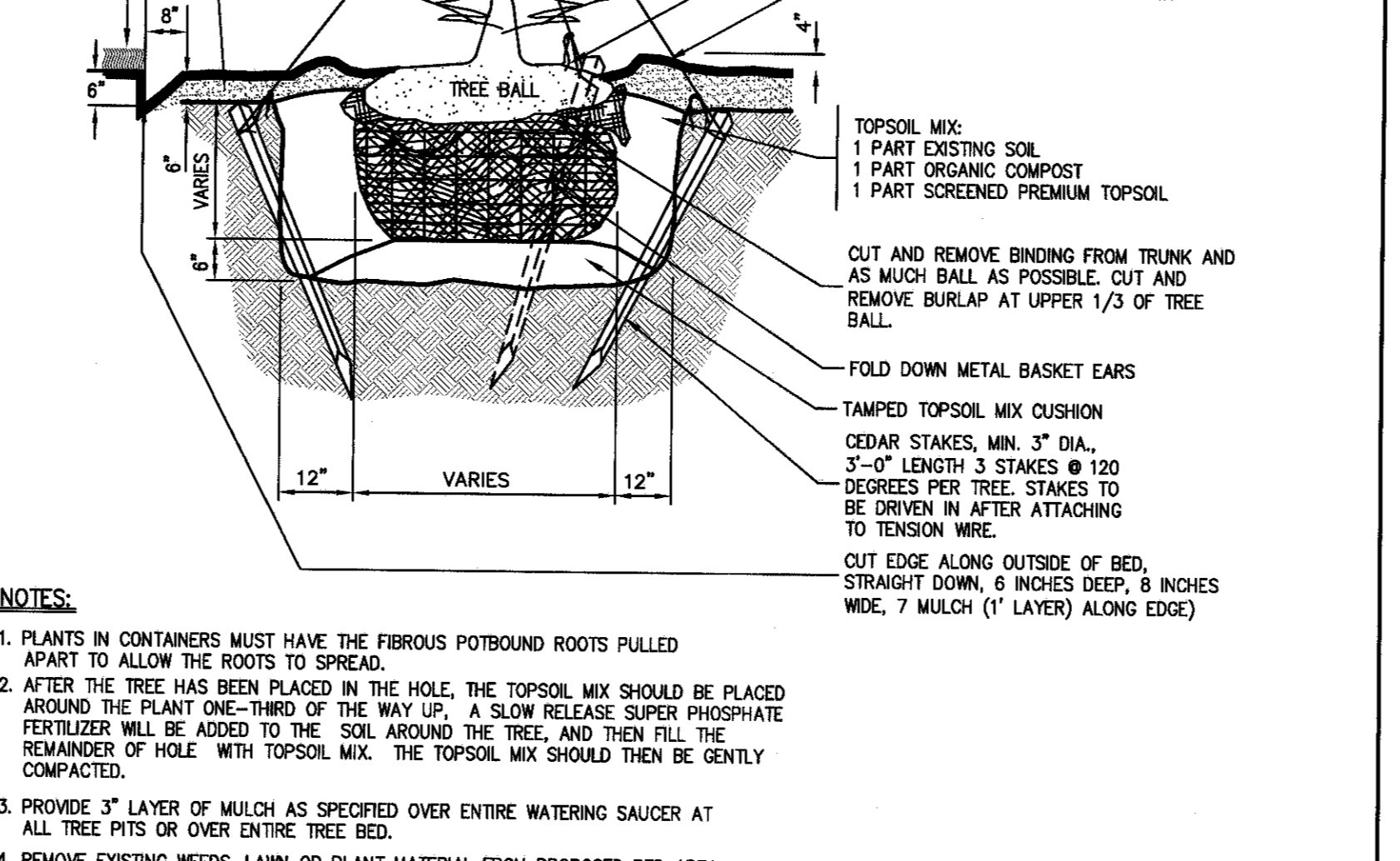
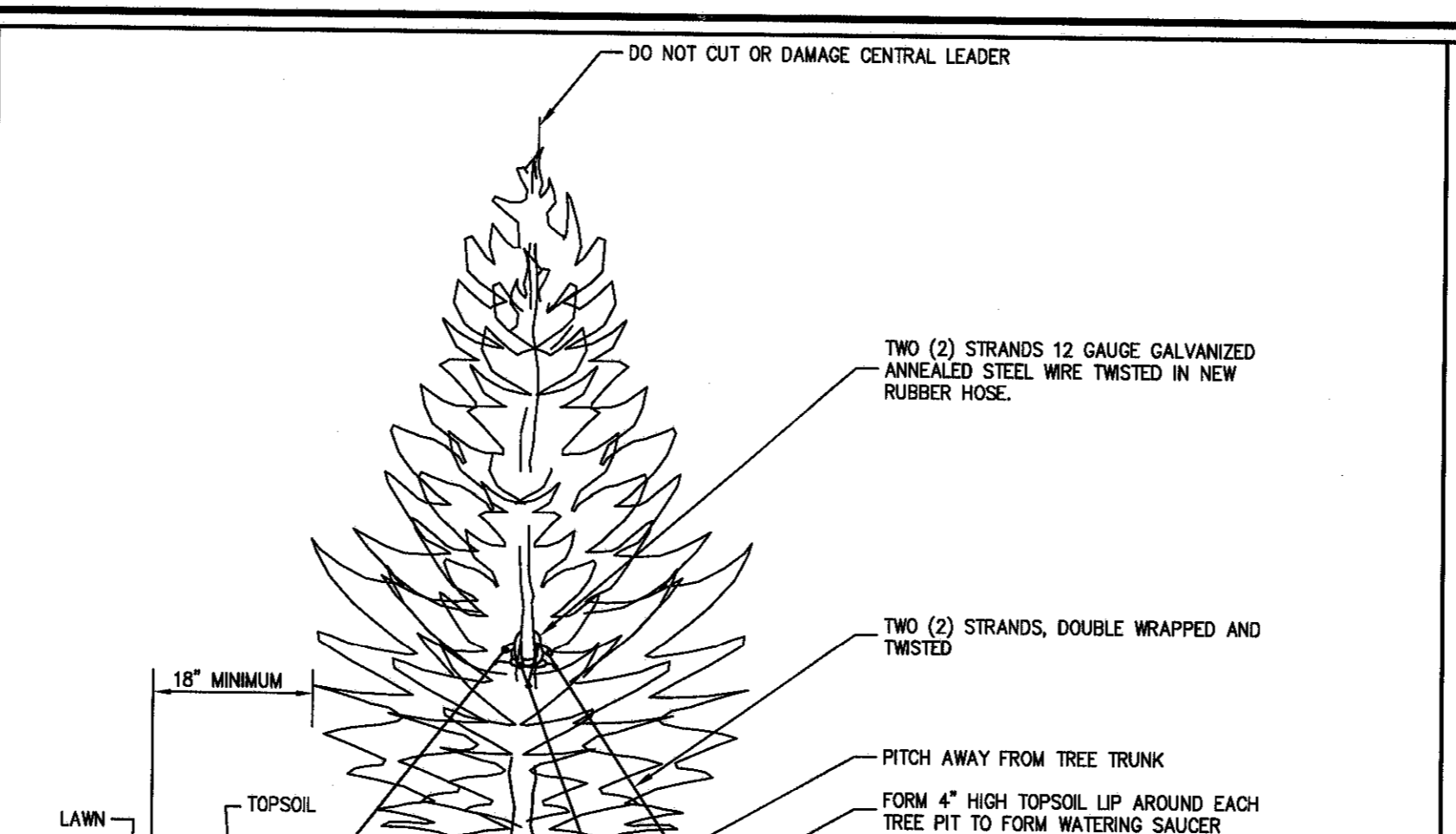
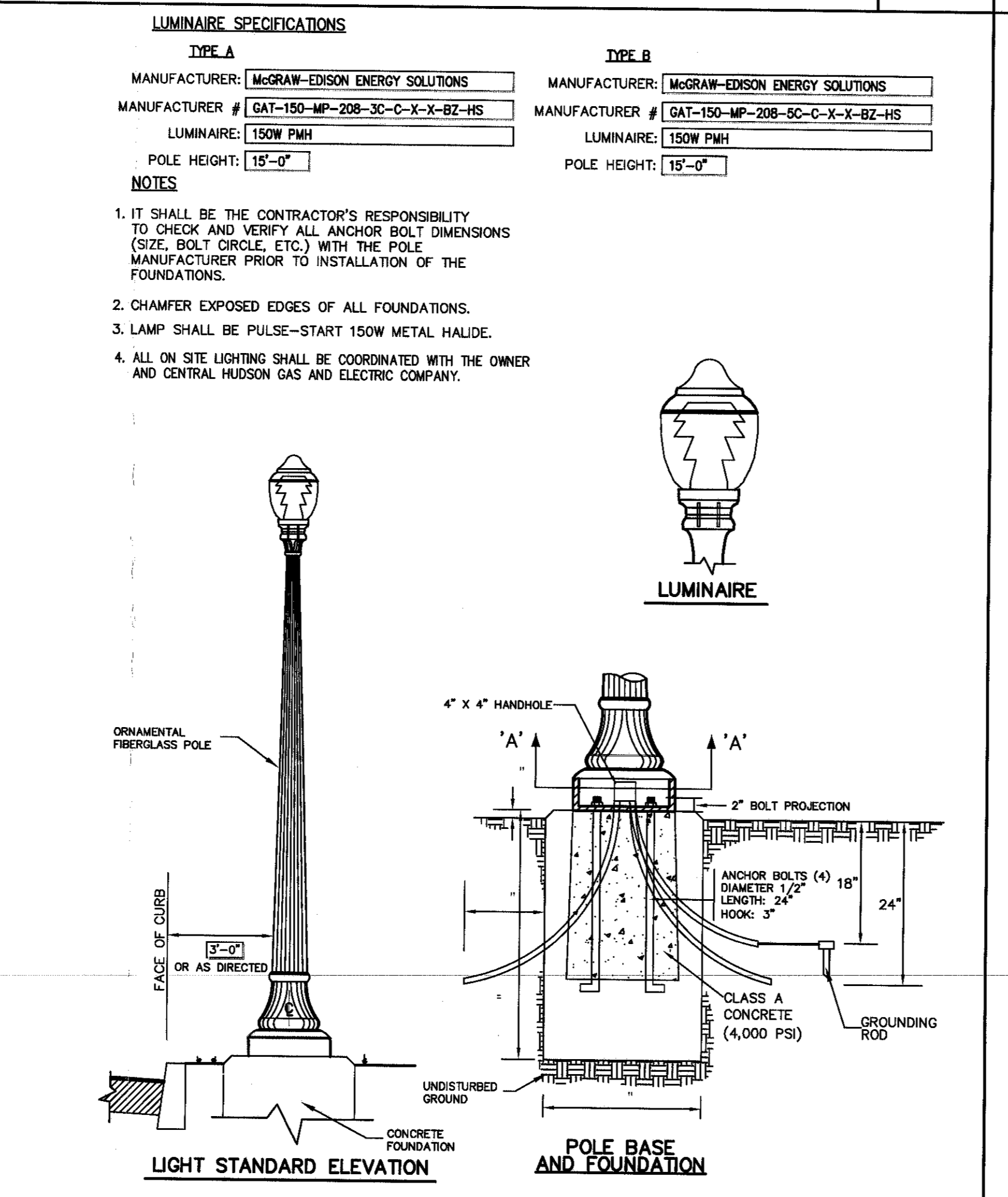
SP-14



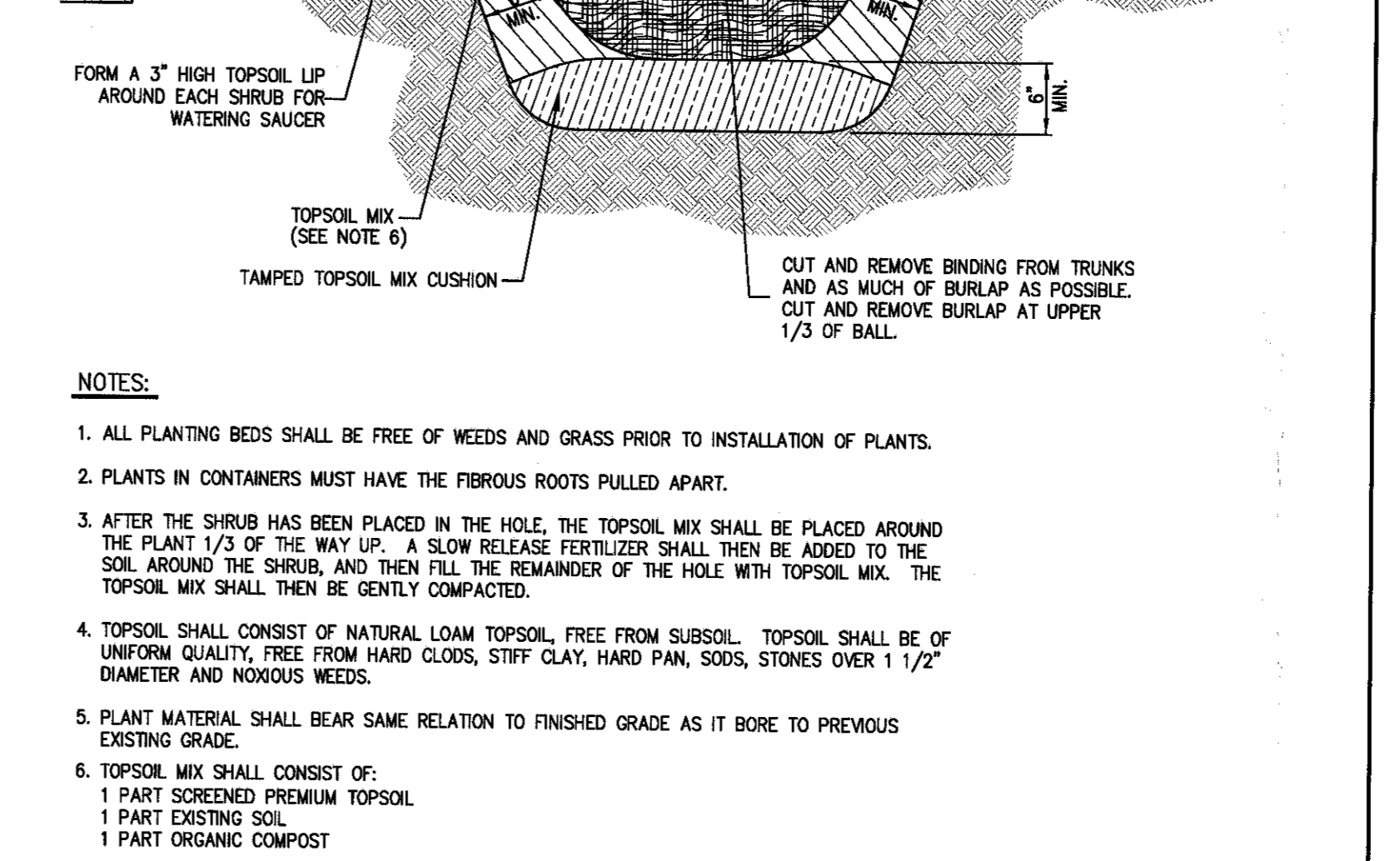
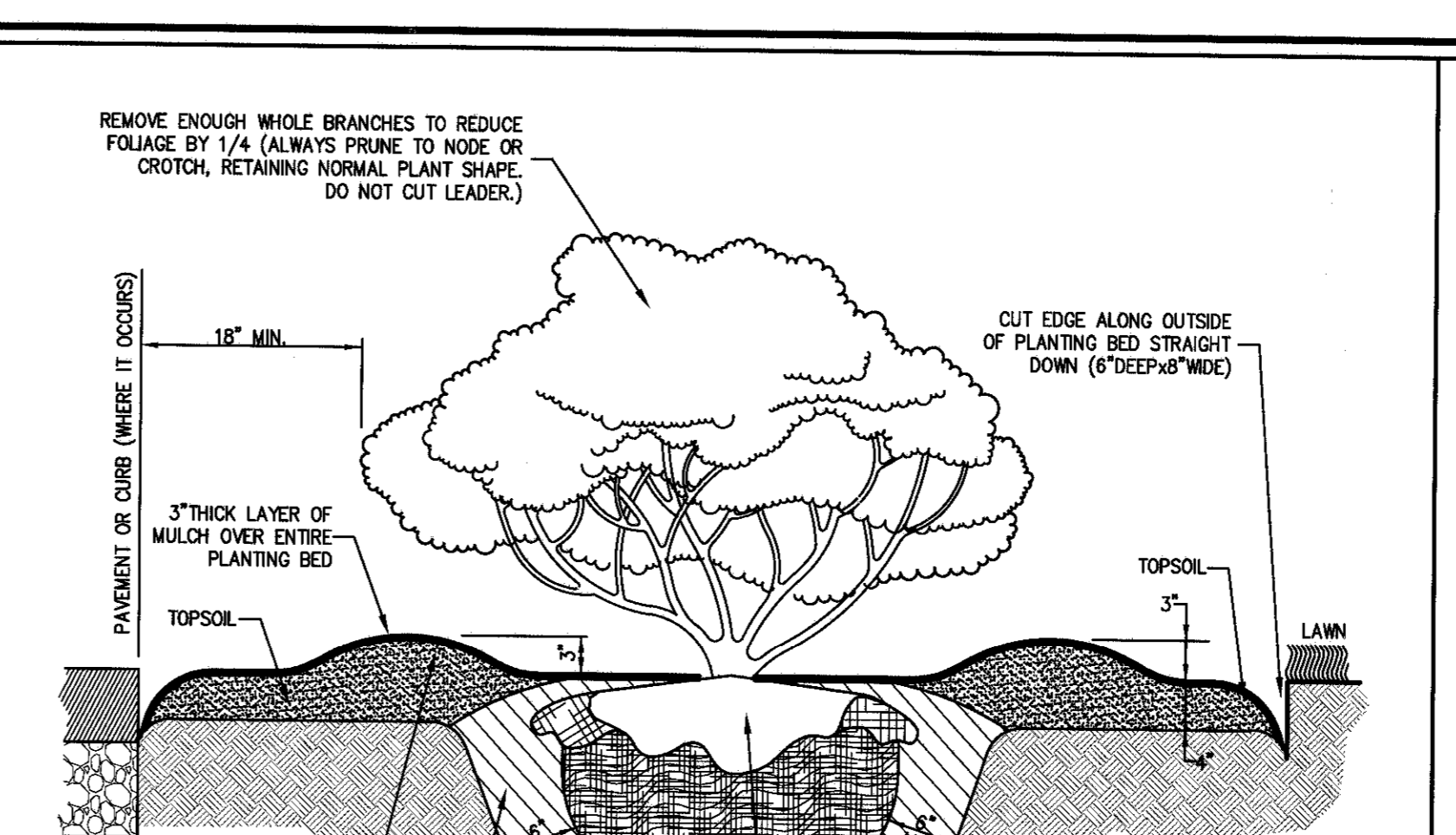
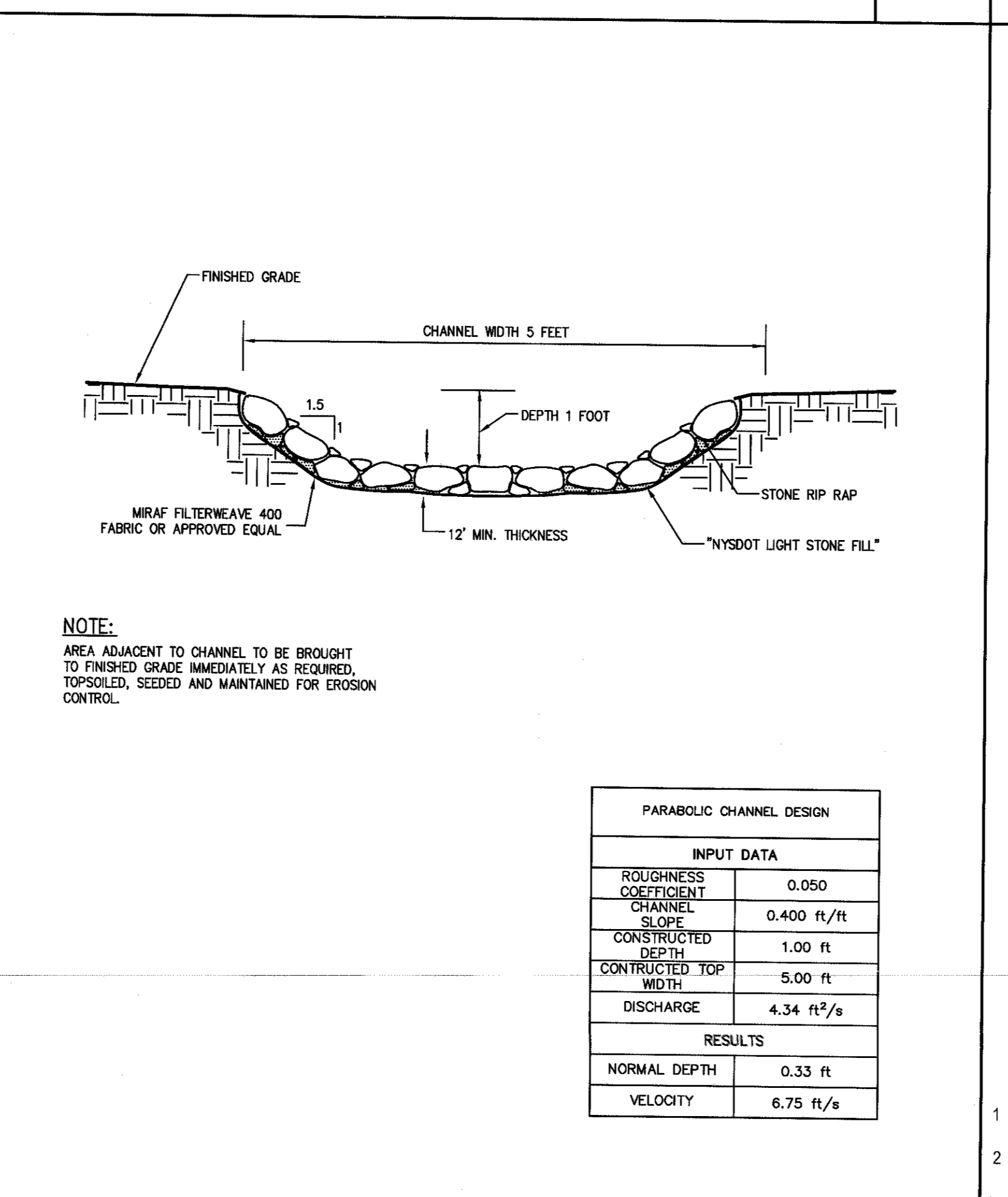
POST & RAIL FENCE (WITH GATE) 59



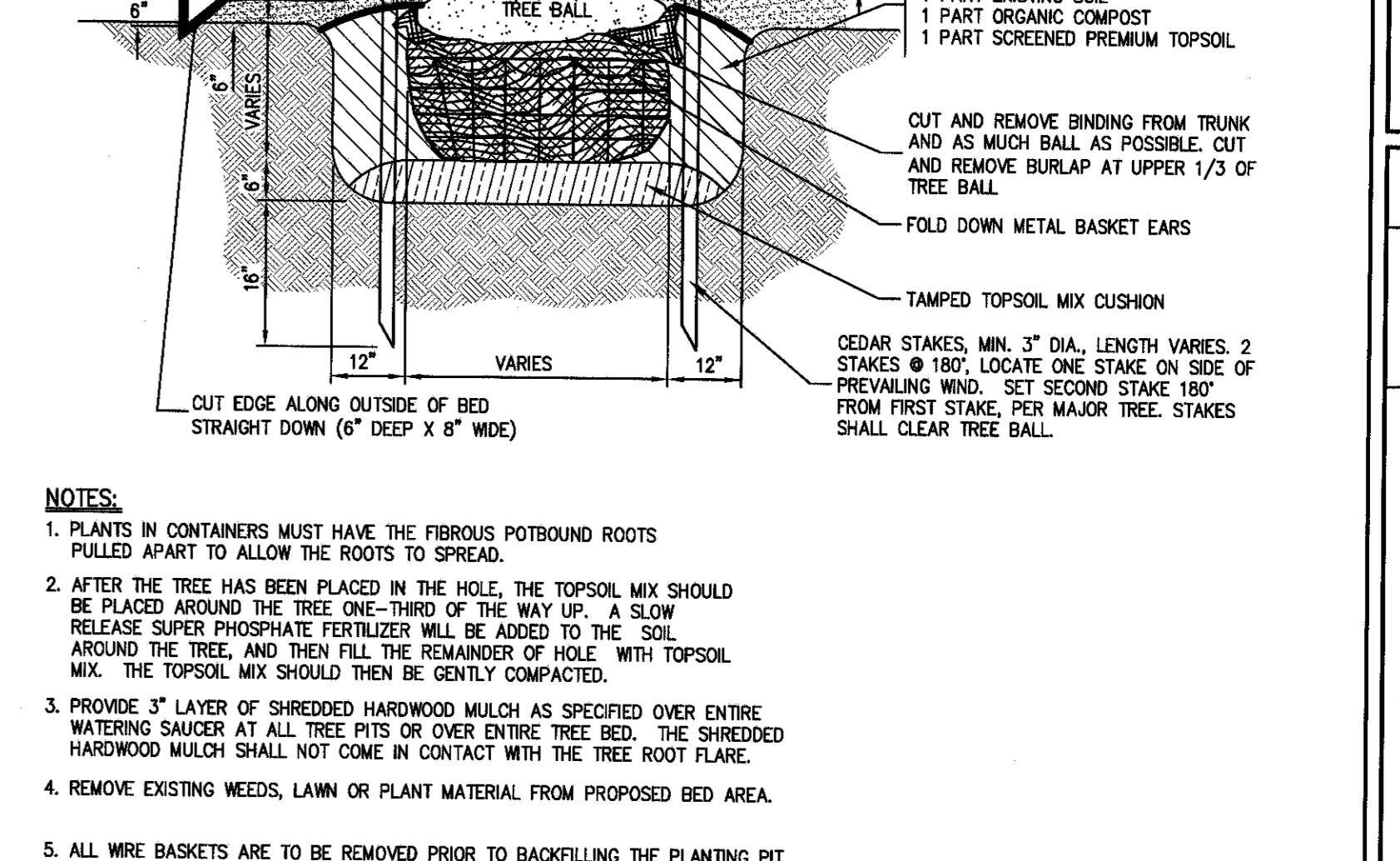
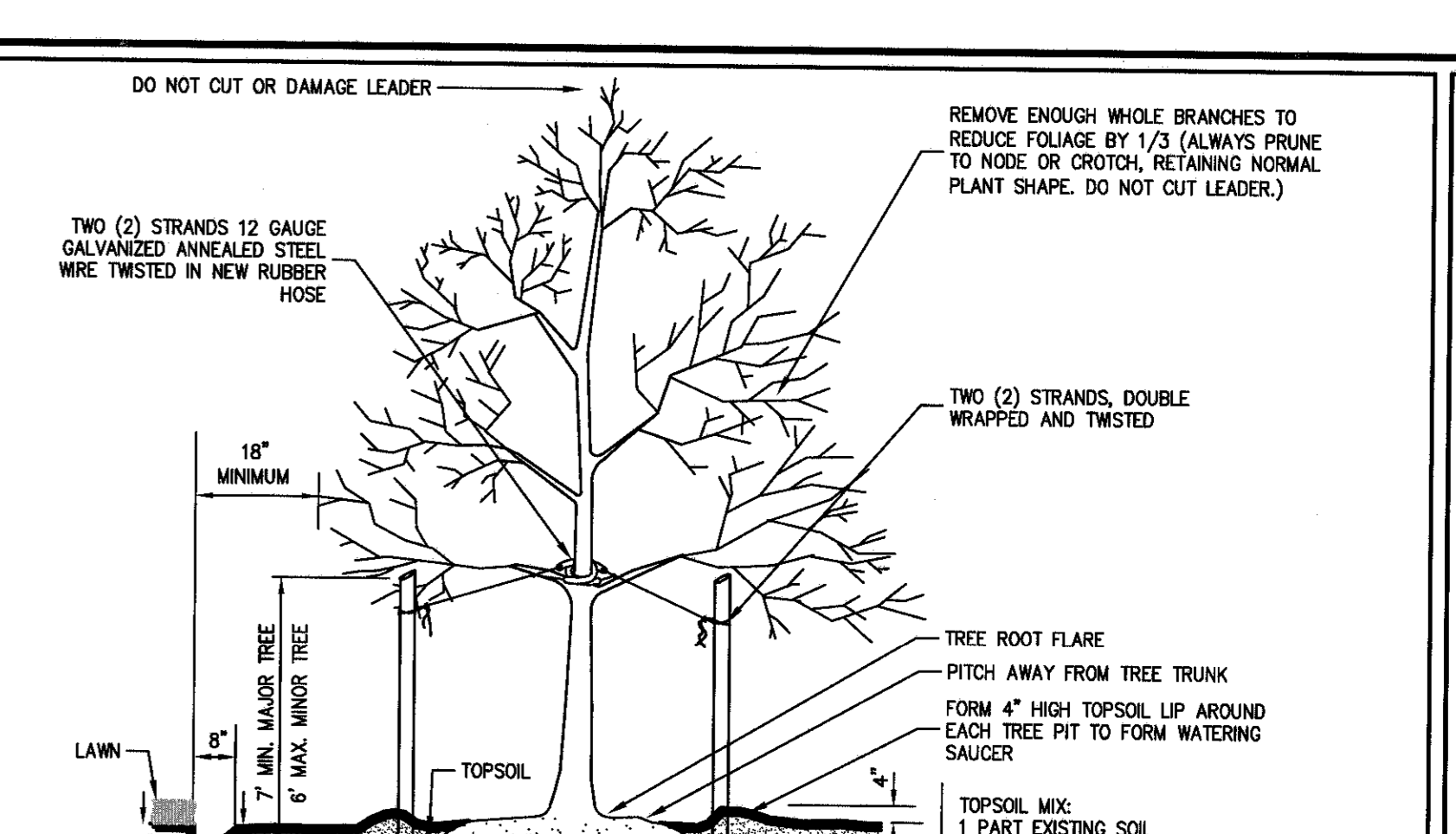
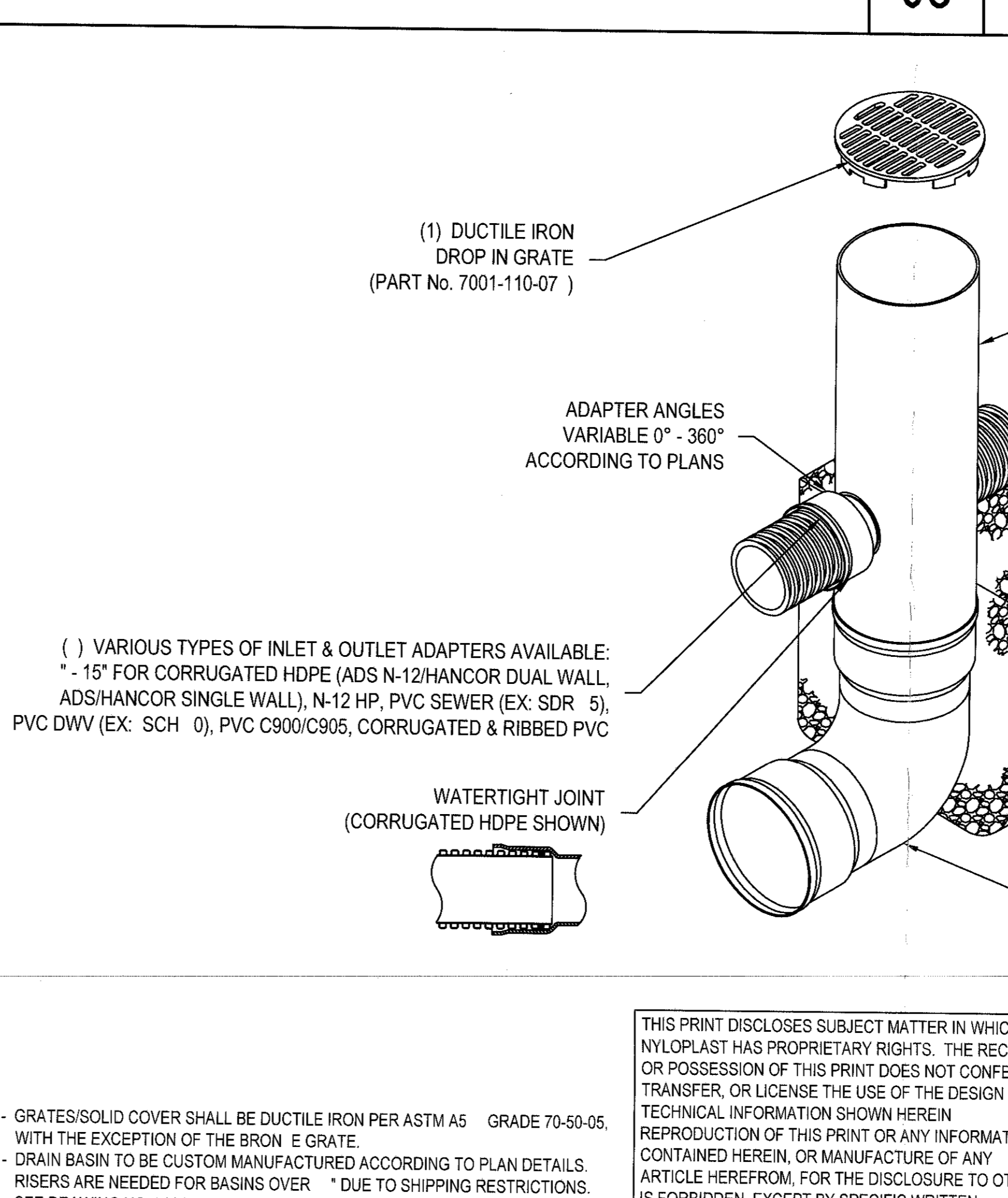
GROUNDCOVER PLANTING 61



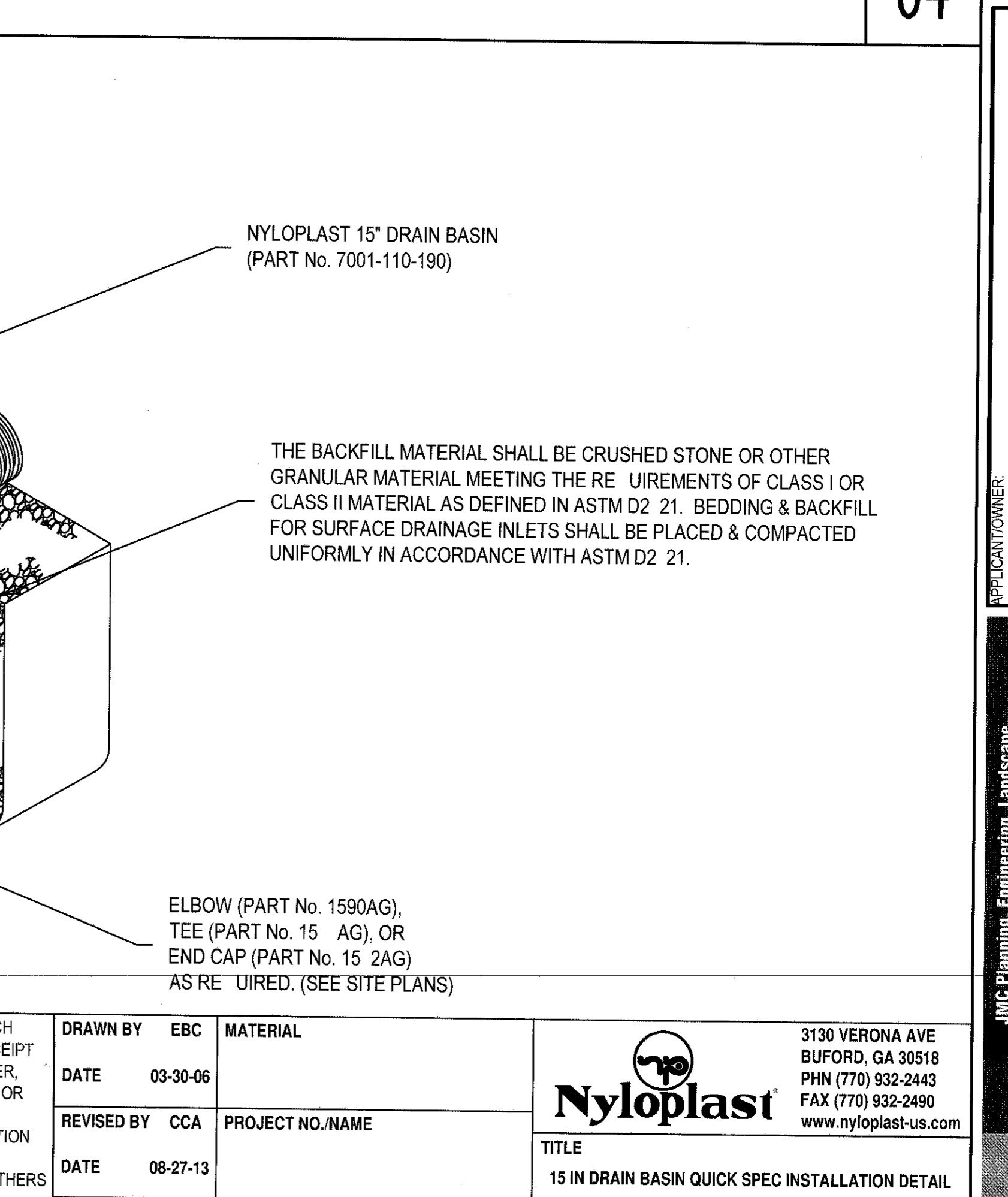
SHRUB PLANTING 63



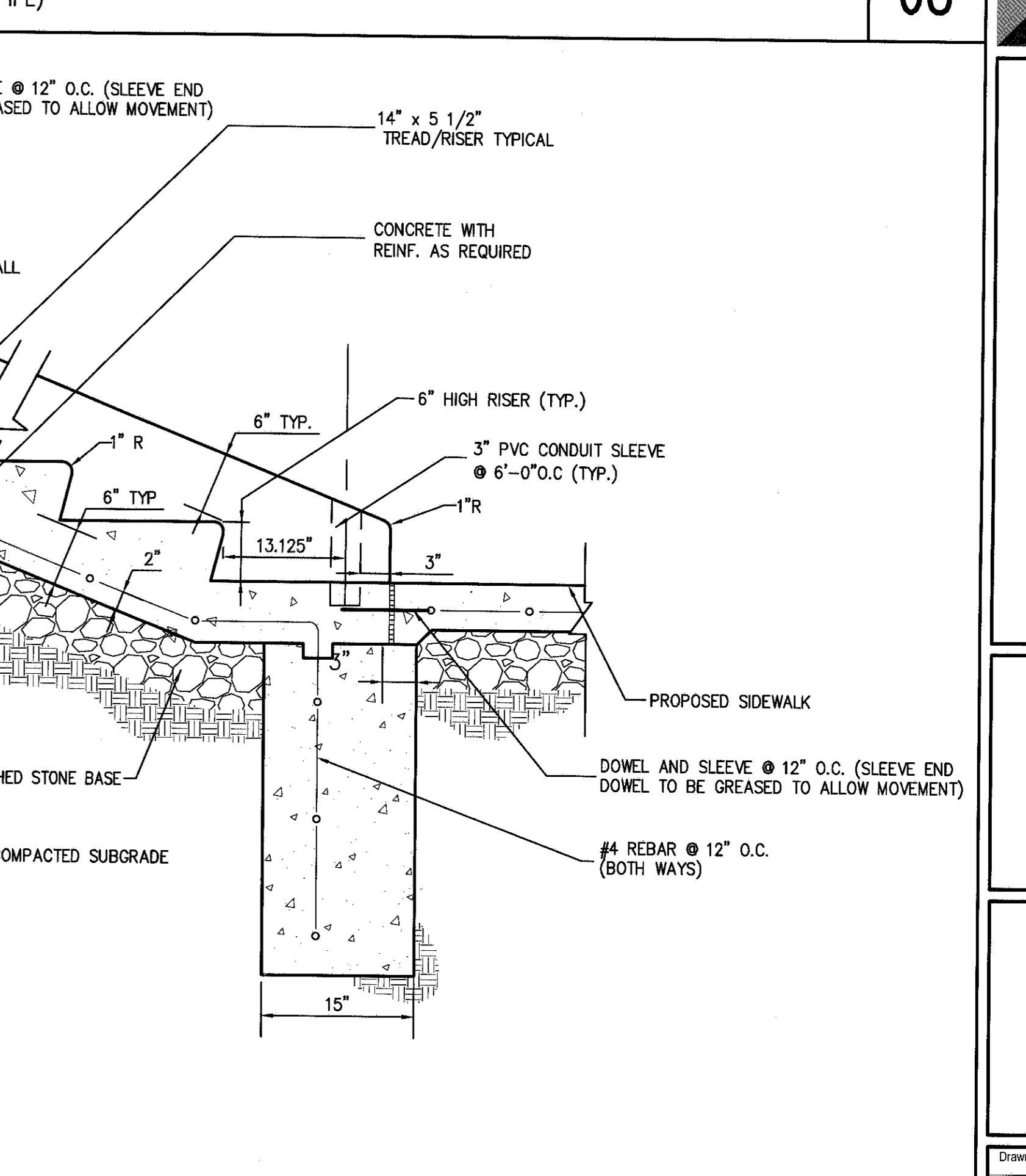
NYLOPLAST 15\"/>



GROUNDCOVER PLANTING 61

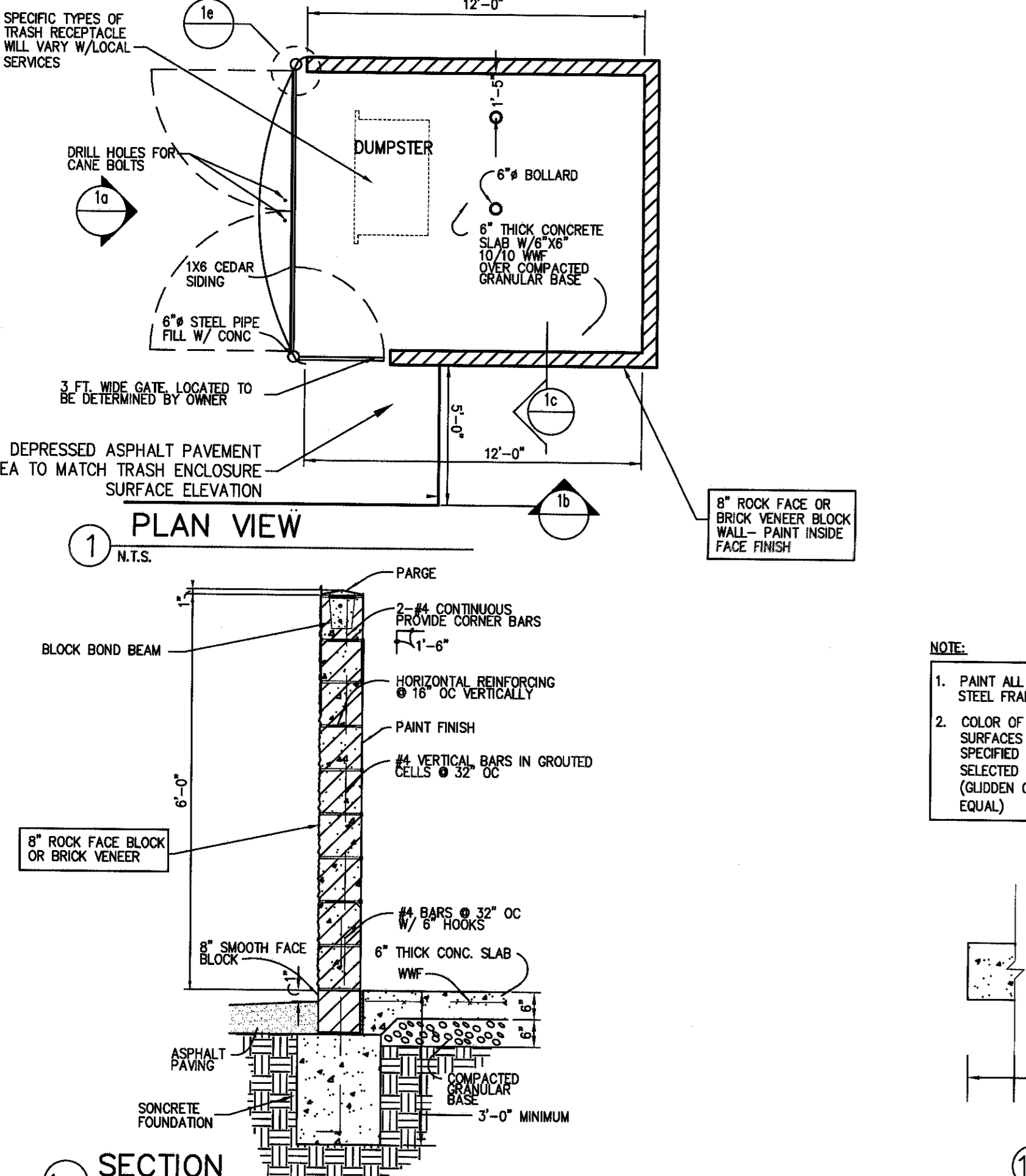


STONE RIP RAP CHANNEL 67

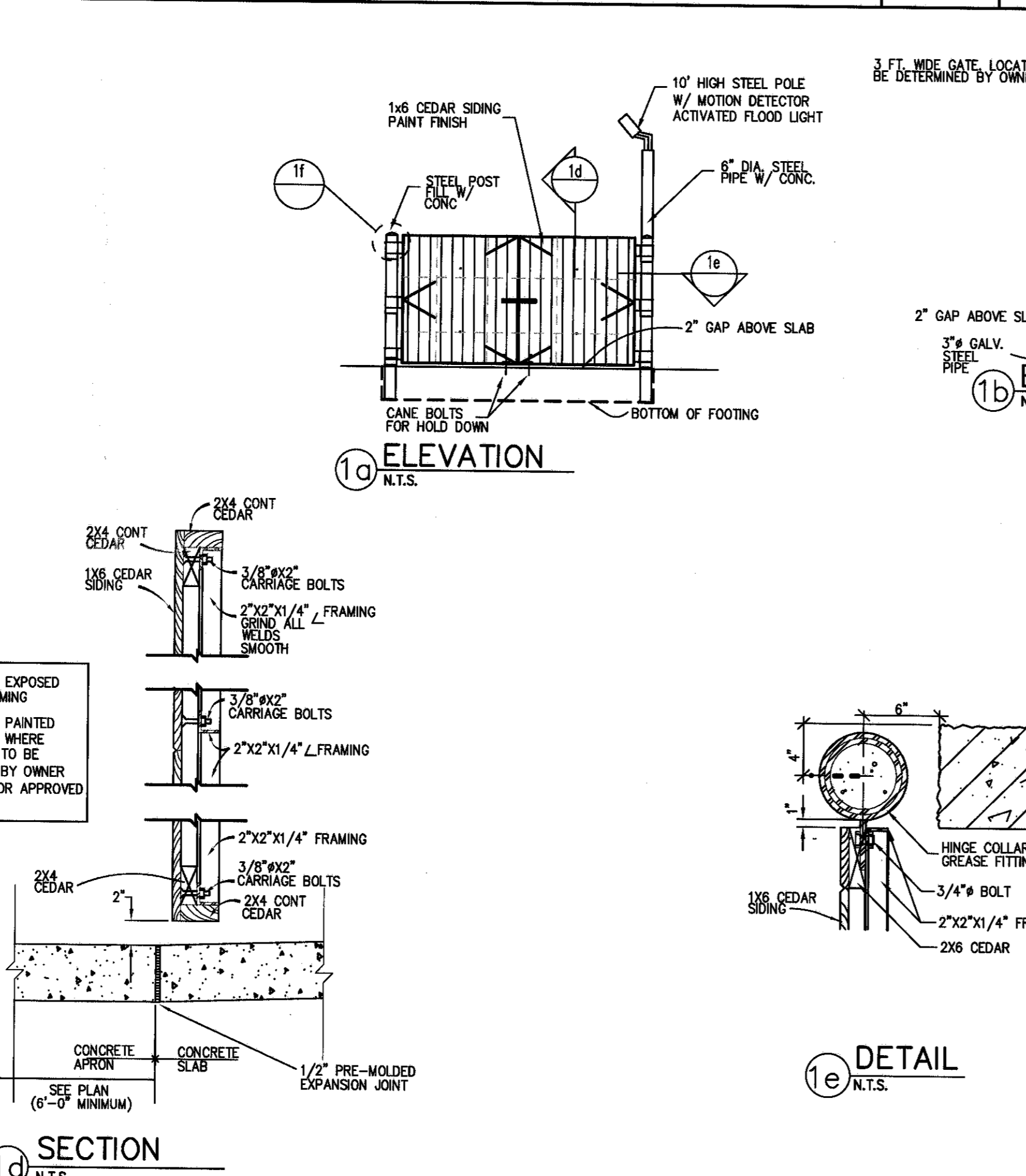


CONCRETE STEPS WITH CHEEK WALL 70

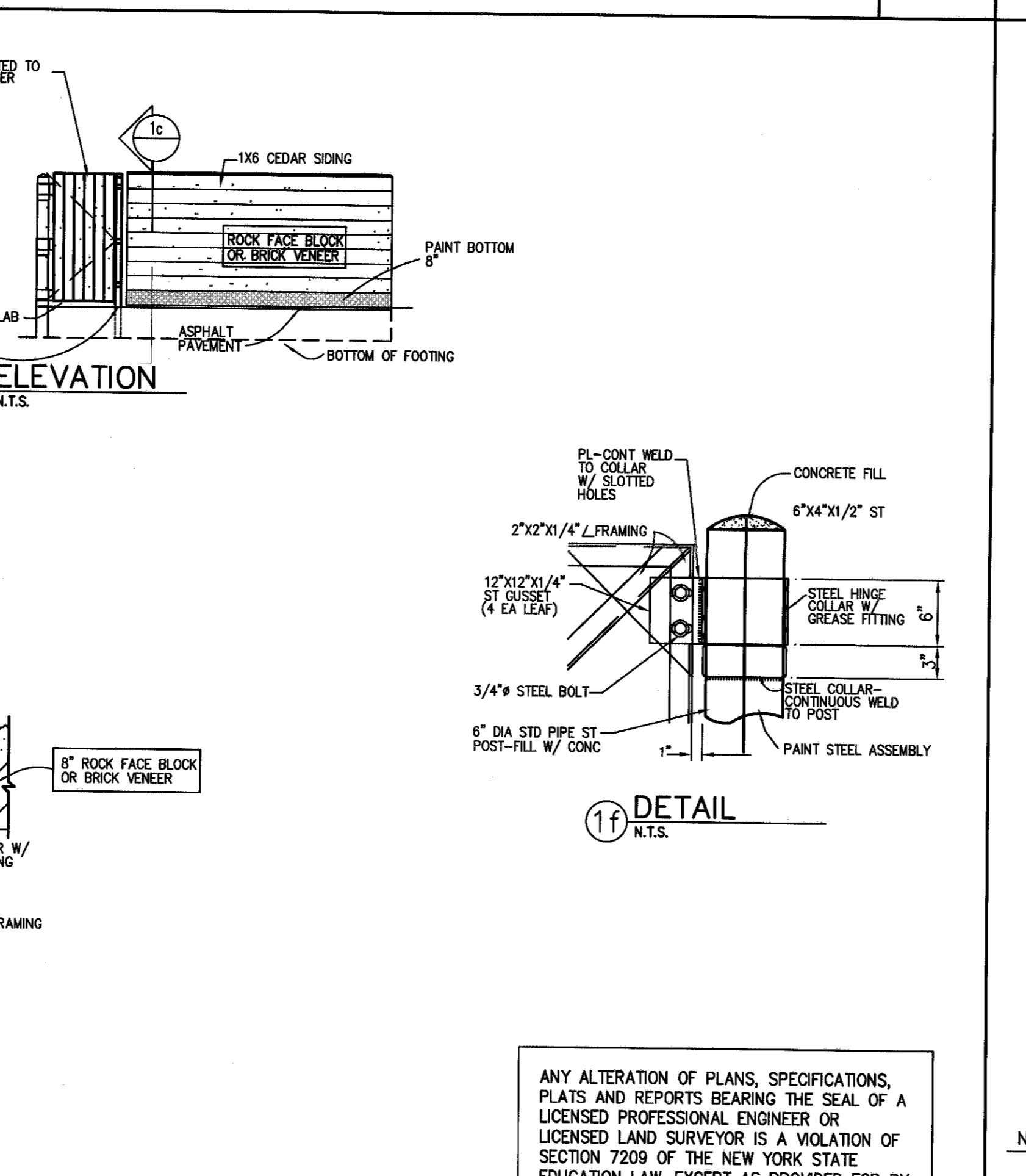
CHAIN LINK FENCE (VINYL COATED) 65



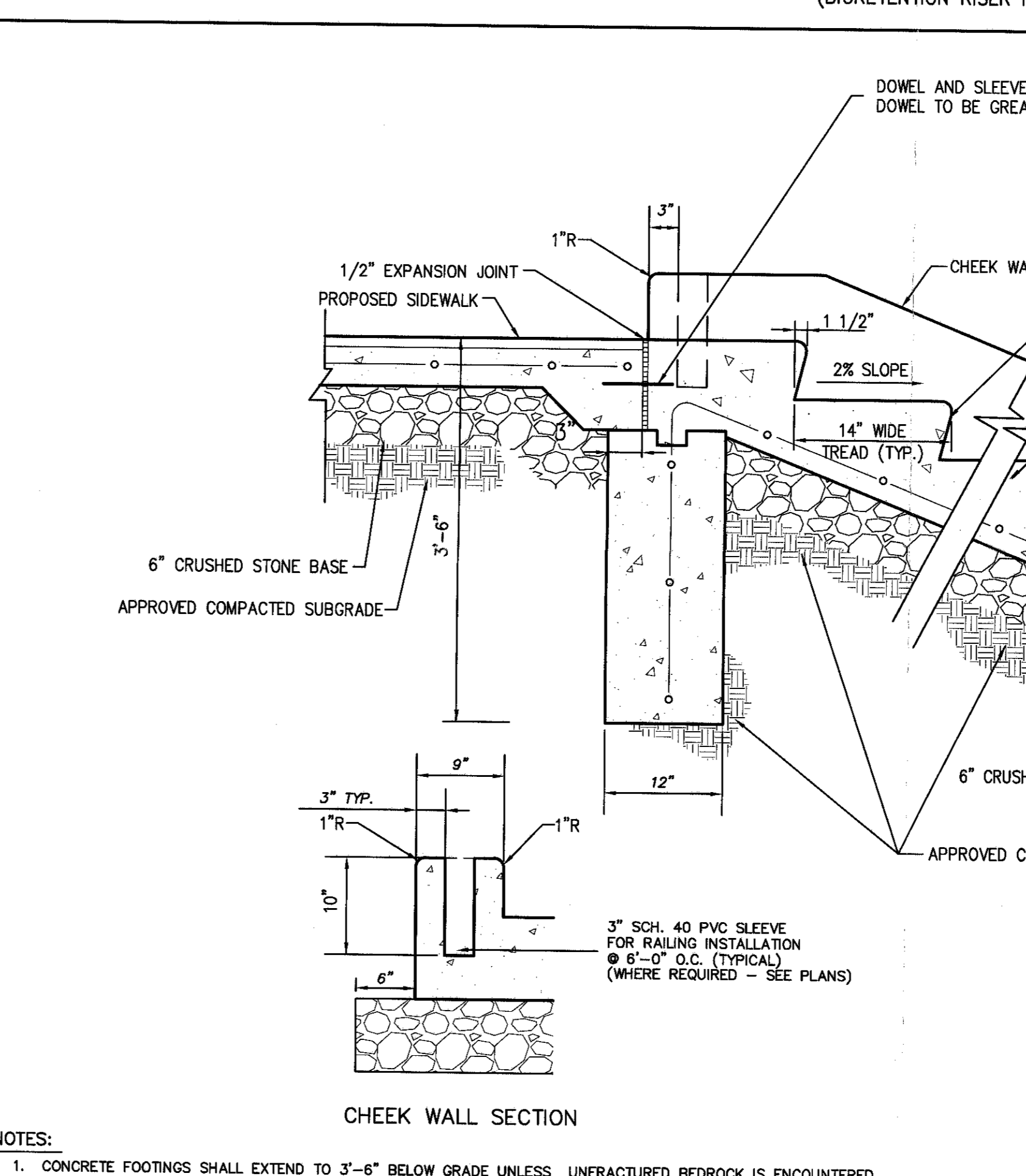
ACORN DECORATIVE LIGHT 66



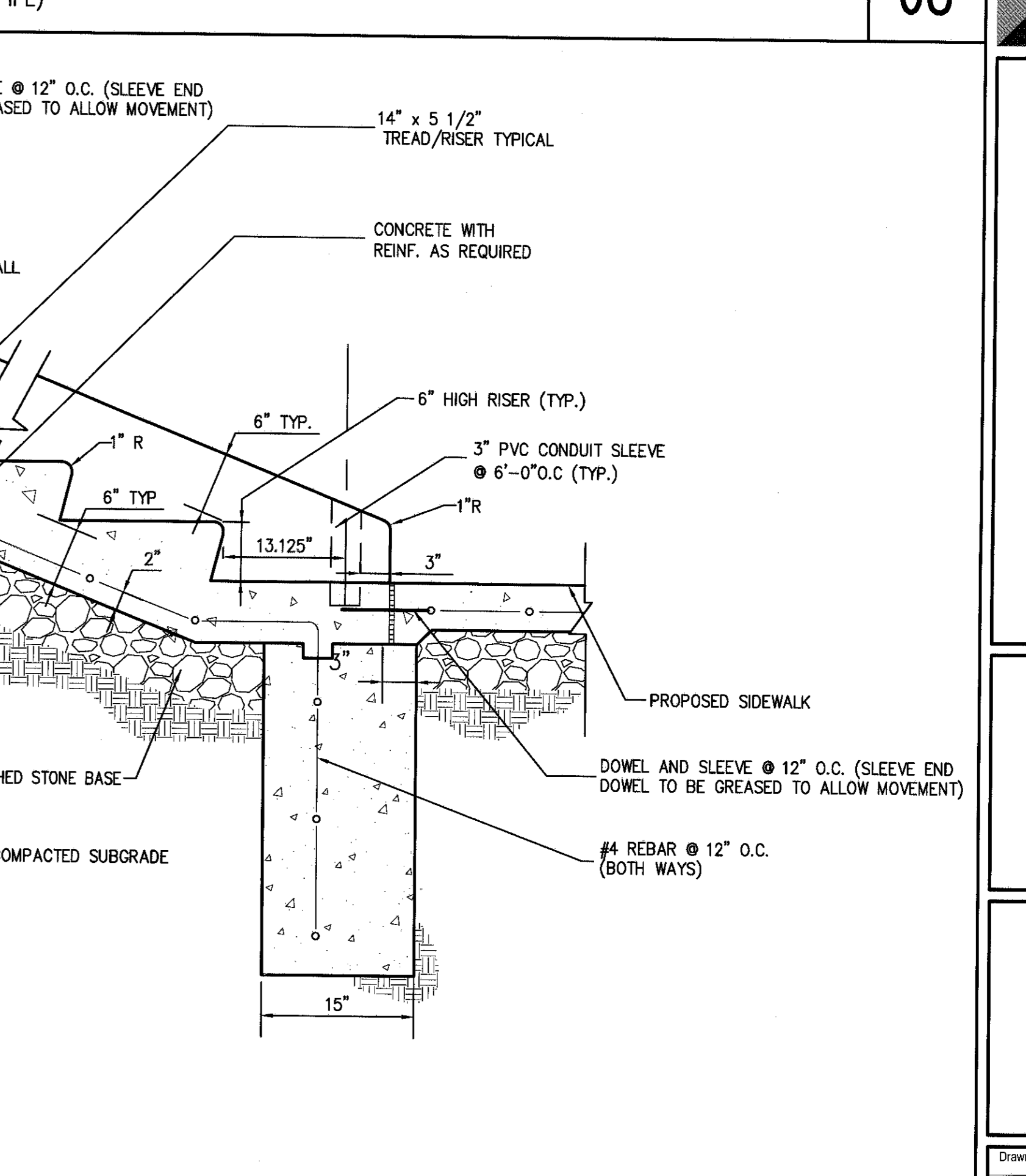
STONE RIP RAP CHANNEL 67



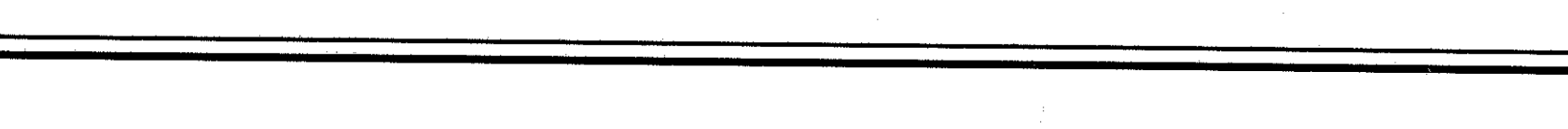
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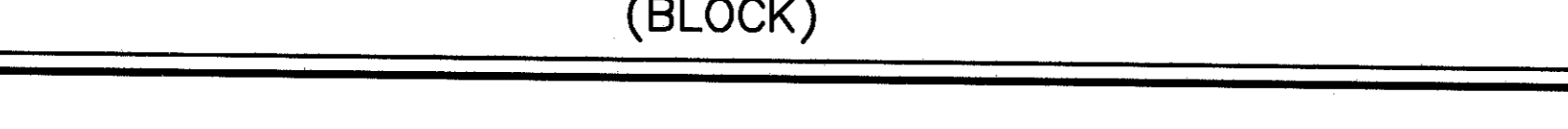
CONCRETE STEPS WITH CHEEK WALL 70



TRASH ENCLOSURE WITH CONCRETE PAD (BLOCK) 69



CONCRETE STEPS WITH CHEEK WALL 70



TRASH ENCLOSURE WITH CONCRETE PAD (BLOCK) 69



CONCRETE STEPS WITH CHEEK WALL 70



CONCRETE STEPS WITH CHEEK WALL 70



FARRELL BUILDING COMPANY, LLC
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ISLANDIA, NY 11749

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303 WILL STREET
POUGHKEEPSIE, NY 12601

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John Meyer Consulting, Inc.

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BURLINGTON, VT 05401
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FAX: (802) 244-4444
www.jmcpac.com

CONSTRUCTION DETAILS
GARDENTOWN COMMONS
GARDENTOWN ROAD
TOWN OF NEWBURGH, NY

Drawn: JMC
Scale: NOT TO SCALE
Date: 02/19/2016
Project No: 15155
Sheet No: SET 5
Drawing No: SP-15

SIGN TABLE

DESCRIPTION	SYMBOL	SIZE	DESCRIPTION	MARKING TYPE	MARKING COLOR	MARKING PATTERN
30"x30"		30"x30"	BLACK ON YELLOW	STREET CHANNEL	7'-0"	WS-3

ACRONYM LIST:

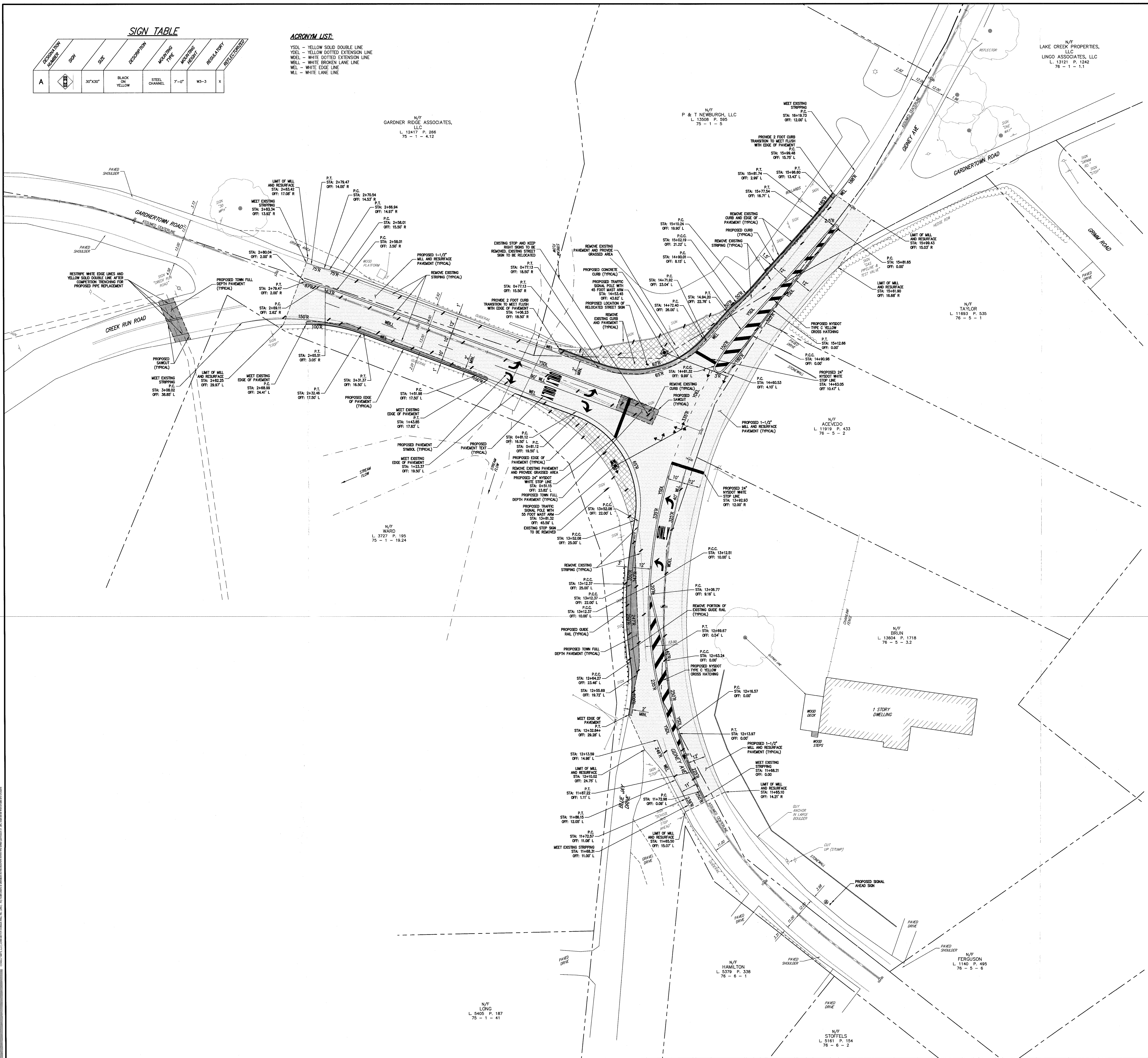
YSOL - YELLOW SOLID DOUBLE LINE
 YDEL - YELLOW DOTTED EXTENSION LINE
 WDEL - WHITE DOTTED EXTENSION LINE
 WBL - WHITE BROKEN LANE LINE
 WEL - WHITE EDGE LINE
 WLL - WHITE LANE LINE

LEGEND

	EXISTING PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING TREE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED TOWN FULL DEPTH PAVEMENT
	PROPOSED 1-1/2" MILL AND RESURFACE PAVEMENT
	REMOVE EXISTING PAVEMENT AND PROVIDE GRASSED AREA
	PROPOSED CONCRETE CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED GUIDE RAIL
	PROPOSED ARROW MARKING ON PAVEMENT
	PROPOSED WORD MARKING ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	EXISTING FEATURE TO BE REMOVED

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FILES, "CONEY AVE AND GARDNERTOWN ROAD", PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. DATED 11/11/2015.
- EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC DATED 10-26-2015.

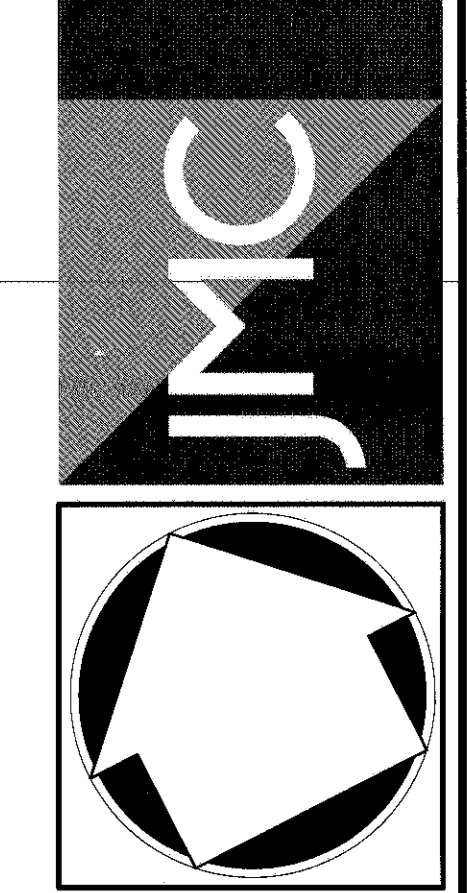


No.	Date	By	Revision
1	05/17/2016	MT	REVISED PRELIMINARY COMMENTS
2	02/14/2017	BMS	UPDATED SITE PLANS
3	03/21/2017	MT	GENERAL REVISIONS

PROPOSED BY:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT:
MAURI ARCHITECTS PC
 Poughkeepsie, NY 12601

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 John Mauri Consulting, Inc.
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 PHONE 914.733.2222 - FAX 914.733.2192
 www.jmcpllc.com



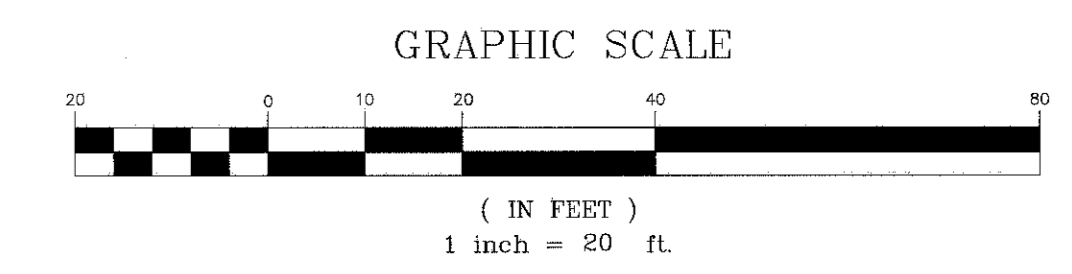
ROADWAY LAYOUT PLAN
 GARDNERTOWN COMMONS
 TOWN OF NEWBURGH, NY

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Drawn: **KSM** Approved: **JS**
 Scale: **1" = 20'**
 Date: **02/16/2016**
 Project No: **64505**

100-NEWB-1000-LAY-001-1P-1/16/17
 Drawing No: **RP-1**

NOT FOR CONSTRUCTION



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N/F LONG
 L. 5405 P. 187
 75 - 1 - 41

N/F HAMILTON
 L. 5379 P. 338
 76 - 6 - 1

N/F STOFFELS
 L. 5161 P. 154
 76 - 6 - 2

N/F FERGOUSON
 L. 1140 P. 495
 76 - 5 - 6

N/F BRUJIN
 L. 13804 P. 1718
 76 - 5 - 3.2

N/F ACEVEDO
 L. 11919 P. 433
 76 - 5 - 2

N/F TAYLOR
 L. 11693 P. 535
 76 - 5 - 1

N/F LAKE CREEK PROPERTIES,
 LINGO ASSOCIATES, LLC
 L. 13121 P. 1242
 76 - 1 - 1.1

N/F GARDNER RIDGE ASSOCIATES,
 LLC
 L. 12417 P. 266
 75 - 1 - 4.12

N/F P & T NEWBURGH, LLC
 L. 13508 P. 595
 75 - 1 - 5

NOT FOR CONSTRUCTION



LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING SANITARY LINE AND SIZE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED GUIDE RAIL
[Symbol]	PROPOSED FINISHED GRADE

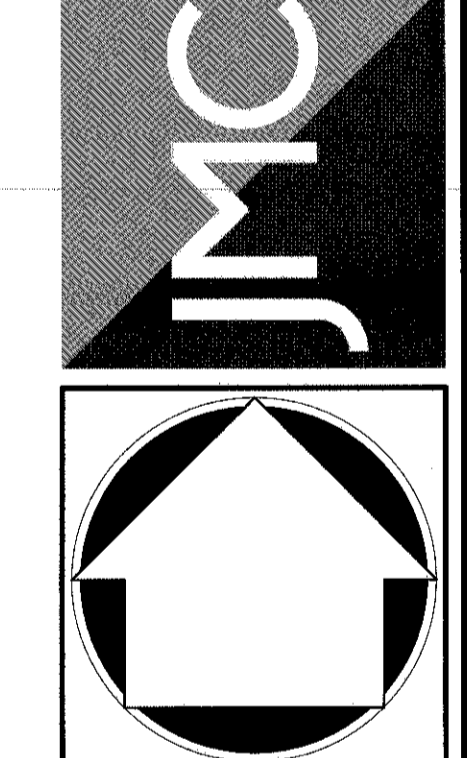
NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, "GONYAK AVE. AND GARDERTOWN ROAD," PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. DATED 11/11/2015.
- EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC DATED 10-28-2015.

No.	Revision	Date	By	MT
1	REVISED PER TOWN COMMENTS	05/11/2016		
2	UPDATED SITE PLANS	02/14/2017		
3	GENERAL REVISIONS	03/21/2017		

PROJECT OWNER:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT:
MAURI ARCHITECTS PC
 Poughkeepsie, NY 12601

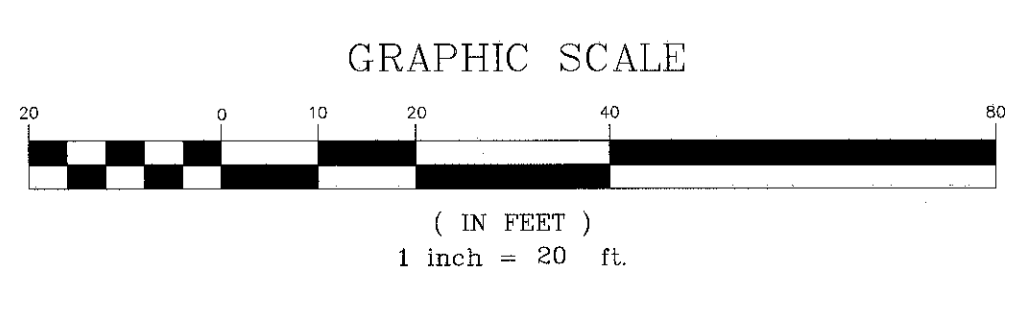
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
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ROADWAY GRADING, AND UTILITIES, EROSION AND SEDIMENT CONTROL PLAN
 GARDERTOWN COMMONS
 GARDERTOWN ROAD
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	KWM	Approved:	JS
Scale:	1" = 20'		
Date:	02/19/2016		
Project No.:	15155		
Sheet No.:	RP-2		



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 LONG
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 75 - 1 - 41

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N/F
 FERGUSON
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 BRUN
 L. 13604 P. 1718
 76 - 5 - 3.2

N/F
 ACEVEDO
 L. 11919 P. 433
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