

**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mhenry@mhepc.com

Principal Emeritus:
RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**


PROJECT: GARDNERTOWN COMMONS
PROJECT NO.: 2016-03
PROJECT LOCATION: SECTION 75, BLOCK 1, LOT 21
REVIEW DATE: 25 FEBRUARY 2016
MEETING DATE: 3 MARCH 2016
PROJECT REPRESENTATIVE: JMC PLANNING ENGINEERING

1. The Applicant is seeking Planning Board referral to the Town Board for a mixed use Senior Housing Complex. Project will consist of both market rate and Senior Citizen housing.
2. The net parcel area calculations for usable area should be discussed. Percentages of the wetlands are taken off at 75 and or 100%. It is unclear where these percentages are utilized. Zoning ordinance requires all Environmental sensitive areas to be deducted from the useable area.
3. Previous traffic impacts were assessed to the project when it had a reduced number of units. The Traffic Study and Financial apportionment may require adjustment. Ken Wersted's comments on this should be received.
4. City of Newburgh Flow Acceptance Letter must be revised based on increased unit count.
5. Previous approvals had Health Department required mitigation as the site contained an orchard in the past. A Chemical Residue Mitigation Plan was incorporated in previous approvals.
6. General Construction Note 8 should be removed from the plans as the deferment of recreation fees is no longer valid for the project.
7. The Surveyor of record is identified as Lanc and Tully, PC however no survey plan prepared by Lanc and Tully is incorporated in the set.

8. Stormwater Management report identifies storage within the 2 detention ponds below the low flow orifice in the model. This storage should be removed from the model as it will be full after construction of the pond.
9. Confirm capacity of swale at discharge from proposed Stormwater Management pond #1. previous Public Hearing concerns regarding ultimate discharge from this site were received and should be further evaluated.
10. Emergency spillway should be provided for all Stormwater Management ponds.
11. Additional details of the Stormwater Pollution Prevention Plan are under review by this office.
12. The Planning Board should review the number of dumpster enclosures provided and distance between structures for dumpster enclosures.
13. The Applicants are requested to check velocities at discharge piping as very steep slopes exist into Stormwater Management pond #2.
14. Plans should identify any required grading at the discharge from Stormwater pond #2 in the vicinity of Creek Run/Gardnertown Road. Pipe sizing at this intersection should be evaluated in order to convey the point discharge tributary to it.
15. A dog run enclosure has been added in the vicinity of the Club House. Planning Board review of the location of the dog run along with any existing and proposed screening should be evaluated. Details of the dog run should be included in project plans.
16. Detail of the Club House pool and other recreational facilities should be provided on a separate small scale plan.
17. Mike Donnelly's comments regarding restrictions, covenants and deeds required to establish the Senior Housing should be received.
18. Language should be included in the site plan and leases requiring the availability of the garage spaces for parking of vehicles. Any other use of the garages should be restricted as required parking is included in the garaged parking spaces.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.


Patrick J. Hines
Principal

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name): _____
Gardnertown Commons

2. Owner of Lands to be reviewed:
Name Farrell Building Company, Inc.
Address 1601 Veterans Memorial Highway
Islandia, NY 11749
Phone (631) 549-9800

3. Applicant Information (If different than owner):
Name _____
Address _____

Representative _____
Phone _____
Fax _____
Email _____

4. Subdivision/Site Plan prepared by:
Name JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC
Address 120 Bedford Road
Armonk, NY 10504
Phone/Fax (914) 273-5225

5. Location of lands to be reviewed:
Gardnertown Road

6. Zone R-3 **Fire District** Orange Lake Fire District
Acreage 31.62 **School District** Newburgh Central School District

7. Tax Map: Section 75 **Block** 1 **Lot** 21

8. Project Description and Purpose of Review:
Number of existing lots 5 Number of proposed lots 1
Lot line change Merger of Lots
Site plan review To locate rental apartment complex with senior housing
Clearing and grading 16.5 AC
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:
(Describe generally) Federal Wetlands

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature Finkel/Bauling Company, Inc. Title _____
By: Joseph Ferrell
Date: _____

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

STANLEY A. SCHUTZMAN, P.C.
ATTORNEY AT LAW

STANLEY A. SCHUTZMAN

Legal Assistant:
DIANA E. FRAILLEY

*Please mail correspondence
to Rockland Office.*

ROCKLAND OFFICE:
61 South Main Street
Suite 1 – 2nd floor
New City, N.Y. 10956

VISIT US AT:

DUTCHESS OFFICE:

P.O. Box 969
Poughkeepsie, N.Y. 12602

Email: Schutzmanlaw@aol.com

Phone: (845) 600-8LAW (8529)
Fax: (845) 600-1LAW (1529)

February 24, 2016

Mr. John Ewasutyn
Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Application for Amended Site Plan and Subdivision Approval -
New Project # 2016-03 (formerly # 2009-12)

Dear Chairman Ewasutyn:

I am writing you as counsel for Farrell Building Company, the Owner and Applicant in respect of the above referenced. Further in that connection I am pleased to enclose 13 sets of the following in regard to my client's above referenced Application for Amended Site Plan and Subdivision Approval with respect to the merger of 5 lots and covering the planned construction of a total of 164 market rate residential apartment housing units of which 20 are being designated for Senior market rate housing in accordance with the requirements of Town of Newburgh Code Section 185-48. I understand that this matter will be scheduled for discussion before the Planning Board at its regularly scheduled meeting on March 3, 2016.

1. Narrative.
2. Long Form EAF.
3. Town Site Plan check list.
4. Architectural Review form.

5. The following Plans which are all dated 02/19/2016.

SP-1 COVER SHEET
SP-2 SITE EXISTING CONDITIONS
SP-3 LOT CONSOLIDATION PLAN
SP-4 SITE LAYOUT PLAN
SP-5 SITE GRADING PLAN
SP-6 SITE UTILITIES PLAN
SP-7 SITE EROSION AND SEDIMENT CONTROL PLAN
SP-8 SITE LANDSCAPING PLAN
SP-9 LIGHTING PLAN
SP-10 FIRE-TRUCK TURNING PLAN
SP-11 CONSTRUCTION DETAILS
SP-12 CONSTRUCTION DETAILS
SP-13 CONSTRUCTION DETAILS
SP-14 CONSTRUCTION DETAILS
SP-15 CONSTRUCTION DETAILS
RP-1 ROADWAY LAYOUT PLAN
RP-2 ROADWAY GRADING & UTILITIES PLAN

PB-1 Typical Floor Plan
PB-2 Senior Building Floor Plan
PB-3 Typical Elevations

6. Town of Newburgh Disclosure Addendum Statement to Application Petition and Request.
7. Town of Newburgh Planning Board Disclaimer Statement to Applicants.
8. Town of Newburgh Application for Subdivision /Site Plan Review.
9. Town of Newburgh Fee Acknowledgement.
10. Town of Newburgh Proxy.
11. Stormwater Pollution Prevention Report dated 02/22/2016.
12. Also enclosed are the following checks:
 - a. Application Fee: \$19,000 (\$4,000, plus \$250 per additional dwelling units [60 units]);
 - b. Escrow fee for Planning Board professionals: \$15,000 (\$250 per additional dwelling units [60 units]);
 - c. Public Hearing Fee: \$150; and
 - d. Long Form EAF fee: \$2,000.

Please note that the "List of Adjacent Property Owners" will be submitted under separate cover. Kindly let me know if there is any additional information that my client can provide at this time. Thanking you and the Planning Board members and its consultants for your due consideration of my client's above referenced Application for Amended Site Plan/Subdivision Approval, I am

Sincerely yours,

Stan Schutzman

Stanley A. Schutzman

Enclosures

Copies to: Mr. Pat Hines	(with enclosures)
Michael H. Donnelly, Esq.	(with enclosures)
Mr. Ken Wersted	(with enclosures)
client	

Narrative

(2/24/2016)

RE: Project Name: Amended Site Plan and Subdivision Approval
GARDNERTOWN COMMOMS (PB # 2016-03, formerly # 2009- 12)
Premises: Gardnertown Road / Project Owner: Farrell Building Company Inc.

This narrative is to be incorporated by reference into the Application for Amended Site Plan and Subdivision Approval made by the Owner, Farrell Building Company Inc., to the Town of Newburgh in respect of the above named Project.

On or about April 2, 2015 the Town of Newburgh Planning Board approved the Applicant's request for a one year extension, to May 19, 2016, of Conditional Final Site Plan Approval of the Gardnertown Commons project. That site plan approval provides for the construction of 103 market value residential units on the basis of a 4 phase construction schedule.

The Applicant has now filed an application with the Planning Board for an Amended Site Plan and Subdivision Approval with respect to the merger of 5 lots and covering the planned construction of a total of 164 market rate residential apartment housing units of which 20 are being designated for Senior market rate housing in accordance with the requirements of Town of Newburgh Code Section 185-48. Further in that connection the Applicant requests a referral from the Planning Board to the Town Board of the Town of Newburgh to pursue the necessary in order to obtain the increased residential housing unit density bonus which is the subject of this Amended Site Plan and Subdivision Application; all as provided by the aforesaid allocation for residential senior housing units in accordance with the requirements of the Newburgh Town Code as part of this project.

In view of the fact that many of the non-senior housing units will likely be occupied by families with children of all ages, ranging from infants, toddlers and teenagers, and in view of the fact that the seniors occupying the senior housing units will likely be desirous of being as isolated, separated and apart from the influence of such children as far as is practical, in light of the other residential occupancy of the project the Owner plans to house all 20 senior units in one building . In this way the seniors will have as much isolation from the rest of the Project as is possible.

Although the Owner is planning at this time for a full build out of the project, subject to various factors and economic conditions and circumstances which exist from time to time throughout the build out of the Project, including without limitation the value of market rents, the ability of the Owner to finance the development and construction of the Project, the percent of occupancy of the units, etc., the Owner anticipates that the construction of the Project might be accomplished in phases . In any event the Owner anticipates that the applicable certificate(s) of occupancy for the senior housing component would be in place prior to the residential unit build out in excess of the 103 residential units approved under the existing conditional site plan approval .

TOWN OF NEWBURGH PLANNING BOARD

Gardnertown Commons

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

- 1. Environmental Assessment Form As Required
- 2. Proxy Statement
- 3. Application Fees
- 4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

- 1. Name and address of applicant
- 2. Name and address of owner (if different from applicant)
- 3. Subdivision or Site Plan and Location
- 4. Tax Map Data (Section-Block-Lot)
- 5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
- 6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
- 7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
- 8. Date of plan preparation and/or plan revisions
- 9. Scale the plan is drawn to (Max 1" = 100')
- 10. North Arrow pointing generally up

11. ___ Surveyor's Certification
12. ___ Surveyor's seal and signature
13. ___x ___ Name of adjoining owners
14. ___x ___ Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. ___N/AFlood plain boundaries
16. ___ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. ___x ___ Metes and bounds of all lots
18. ___x ___ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. ___x ___ Show existing or proposed easements (note restrictions) (survey)
20. ___x ___ Right-of-way width and Rights of Access and Utility Placement
21. ___ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. ___x ___ Lot area (in sq. ft. for each lot less than 2 acres)
23. ___N/A Number of lots including residual lot
24. ___x ___ Show any existing waterways
25. ___N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. ___N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. ___x ___ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. ___N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. ___x ___ Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number

31. X If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed

32. X Number of acres to be cleared or timber harvested

33. TBD Estimated or known cubic yards of material to be excavated and removed from the site

34. X Estimated or known cubic yards of fill required

35. X The amount of grading expected or known to be required to bring the site to readiness

36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.
JMC Planning Engineering Landscape Architecture &
Land Surveying, PLLC

By: 
Joseph Sarchino Licensed Professional

Date: 2/23/16

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 19 February 2016 _____

NAME OF PROJECT: Gardnertown Commons _____

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Simulated Stone Veneer and Vinyl Siding (lap siding / simulated shake siding) _____

COLOR OF THE EXTERIOR OF BUILDING:

Classic Cream / Scottish Thistle / Pebblestone Clay _____

ACCENT TRIM:

Location: Window/ Door Casing, Frieze Trim, Gable pediments _____

Color: White _____

Type (material): Vinyl / PVC _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

Not Applicable _____

ROOF:

Type (gabled, flat, etc.): Gabled _____

Material (shingles, metal, tar & sand, etc.): Shingles / Metal accent roofs _____

Color: Weathered Wood shingles / Bordeaux metal accent roof _____

WINDOWS/SHUTTERS:

Color (also trim if different): White

Type: Double Hung

DOORS:

Color: Bordeaux

Type (if different than standard door entrée): Standard, w/sidelites

SIGN:

Color: To Be Determined

Material: To Be Determined

Square footage of signage of site: To Be Determined

Jay Diesing RA, AIA - Architect

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Jay Diesing

Signature

*Full Environmental Assessment Form
Part 1 - Project and Setting*

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Gardhertown Commons	
Project Location (describe, and attach a general location map): Gardhertown Road	
Brief Description of Proposed Action (include purpose or need): Amended Site Plan Approval for this development, which was previously approved as a 104 unit townhouse development on the 19.77 acre property. The Amended Site Plan Approval is for 164 market rate rental apartments, which will include 20 age-restricted senior units. The project also includes the previously approved proposed highway improvements at the intersection of Gardhertown Road and Gidney Avenue.	
Name of Applicant/Sponsor: Farrell Building Company	
Address: 1601 Veterans Memorial Highway	
City/PO: Islandia	State: NY Zip Code: 11749
Project Contact (if not same as sponsor; give name and title/role): JMC	
E-Mail: jbalducci@jmcplc.com	
Address: 120 Bedford Road	
City/PO: Armonk	State: NY Zip Code: 10504
Property Owner (if not same as sponsor):	
E-Mail:	
Address:	
City/PO:	State: Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amended Site Plan Approval	March 2016
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies City of Newburgh <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Flow Acceptance Letter; Sanitary Main Extension & Connection; Building Permit	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Water Main Extension & Connection, Internal Sprinkler System	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amended SPDES General Permit GP-0-15-002	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
l. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R-3 Residence District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,

i. What is the proposed new zoning for the site? N/A

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Central School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Dept.

c. Which fire protection and emergency medical services serve the project site?
Orange Lake Fire District

d. What parks serve the project site?
Algonquin Park; Cronomer Hill County Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 19.77 acres
b. Total acreage to be physically disturbed? 16.31 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 19.77 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Lot Merger Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____ Minimum _____ Maximum _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
e. Will proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 18-24 months

ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				164 (60 above 104 approved)
At completion of all phases				164 (60 above 104 approved)

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe: _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres.

iii. Will proposed action cause or result in disturbance to bottom sediments?

If Yes, describe: _____

Yes No

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

If Yes:

Yes No

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

- proposed method of plant removal: _____
 - if chemical/herbicide treatment will be used, specify product(s): _____
- v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water?

Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____

37,100 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

Yes No

If Yes:

- Name of district or service area: Town of Newburgh Consolidated Water District
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project?

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

Yes No

d. Will the proposed action generate liquid wastes?

If Yes:

i. Total anticipated liquid waste generation per day: _____ 37,100 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

sanitary wastewater _____

Yes No

iii. Will the proposed action use any existing public wastewater treatment facilities?

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh Treatment Plant Yes No
- Name of district: City of Newburgh Yes No
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes: _____

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes: _____

- Applicant/sponsor for new district: _____
 - Date application submitted or anticipated: _____
 - What is the receiving water for the wastewater discharge? _____
- v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 None _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, cuts, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 341,946 Square feet or 7.85 acres (impervious surface)
 861,181 Square feet or 19.77 acres (parcel size)
- ii. Describe types of new point sources: pipes and swales _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 On-site stormwater facilities/structures _____

- If to surface waters, identify receiving water bodies or wetlands: _____
 N/A _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? (Previously approved 104 units) Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend

Randomly between hours of _____ to _____

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ Proposed _____ Net increase/decrease _____

iii. Parking spaces: Existing _____ Proposed _____ Yes No

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

Typical household requirements

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

Local utility _____ Yes No

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 7-7
- Saturday: _____ 9-5
- Sunday: _____ None
- Holidays: _____ None

ii. During Operations:

- Monday - Friday: _____ 24/7
- Saturday: _____ 24/7
- Sunday: _____ 24/7
- Holidays: _____ 24/7

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Construction equipment during construction process, 7AM-7PM M-F, 9AM-5PM Sat.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?
Describe: Yes No

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Low level residential lighting. On-site roadways and walkways will be lit with sharp cut off fixtures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?
Describe: Yes No

o. Does the proposed action have the potential to produce odors for more than one hour per day?
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: Yes No

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____ per unit time _____ (e.g., month, year)

ii. Volume(s) _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):
Typical landscape treatment as required to maintain the lawns and plant material.

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

• Construction: _____ tons per _____ (unit of time)

• Operation: _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

• Construction: _____

• Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

• Construction: _____

• Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site:

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	7.85	+7.85
• Forested	18.62	3.53	-15.09
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	1.15	1.15	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: Landscaping	0	7.24	7.24

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes - Spills Incidents database
 Yes - Environmental Site Remediation database
 Neither database
Provide DEC ID number(s): _____
Provide DEC ID number(s): _____
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): V00118 , 336063 , C336085
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
V00118 - Remediation complete
336063 - Contact with contaminated soil or groundwater is unlikely. Groundwater is not used for drinking or other purposes.
C336085 - A remedial investigation is underway. Sampling indicates soil vapor intrusion is not a concern for on-site buildings.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____ Yes No
- Will the project affect the institutional or engineering controls in place? Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 1.5 or more feet

b. Are there bedrock outcroppings on the project site? Yes No

If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Farmington Silt Loam, 8-15% Slopes	66 %
Pittsfield Gravelly Loam, 8-15%	18 %
Alden Silt Loam	9 %

d. What is the average depth to the water table on the project site? Average: _____ >6.5 feet

e. Drainage status of project site soils: Well Drained: _____ 2 % of site
 Moderately Well Drained: _____ 23 % of site
 Poorly Drained _____ 75 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 50 % of site
 10-15%: _____ 33 % of site
 15% or greater: _____ 17 % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

• Streams:	Name _____	Classification _____
• Lakes or Ponds:	Name _____	Classification _____
• Wetlands:	Name _____ Federal Waters _____	Approximate Size _____ 1.15 AC
• Wetland No. (if regulated by DEC)	_____	

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____ Principal Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
Typical suburban species _____

n. Does the project site contain a designated significant natural community? Yes No

If Yes:
i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat: _____ acres

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No

If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No

If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No

i. If Yes: acreage(s) on project site? _____

ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No

If Yes:

i. Nature of the natural landmark: Biological Community Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No

If Yes:

i. CEA name: _____

ii. Basis for designation: _____

iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? Yes No

If Yes:
i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
ii. Name: _____
iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?
If Yes: Yes No
i. Describe possible resource(s): _____
ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No
If Yes: _____

i. Identify resource: _____
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles. Yes No

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No
If Yes: _____
i. Identify the name of the river and its designation: _____
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

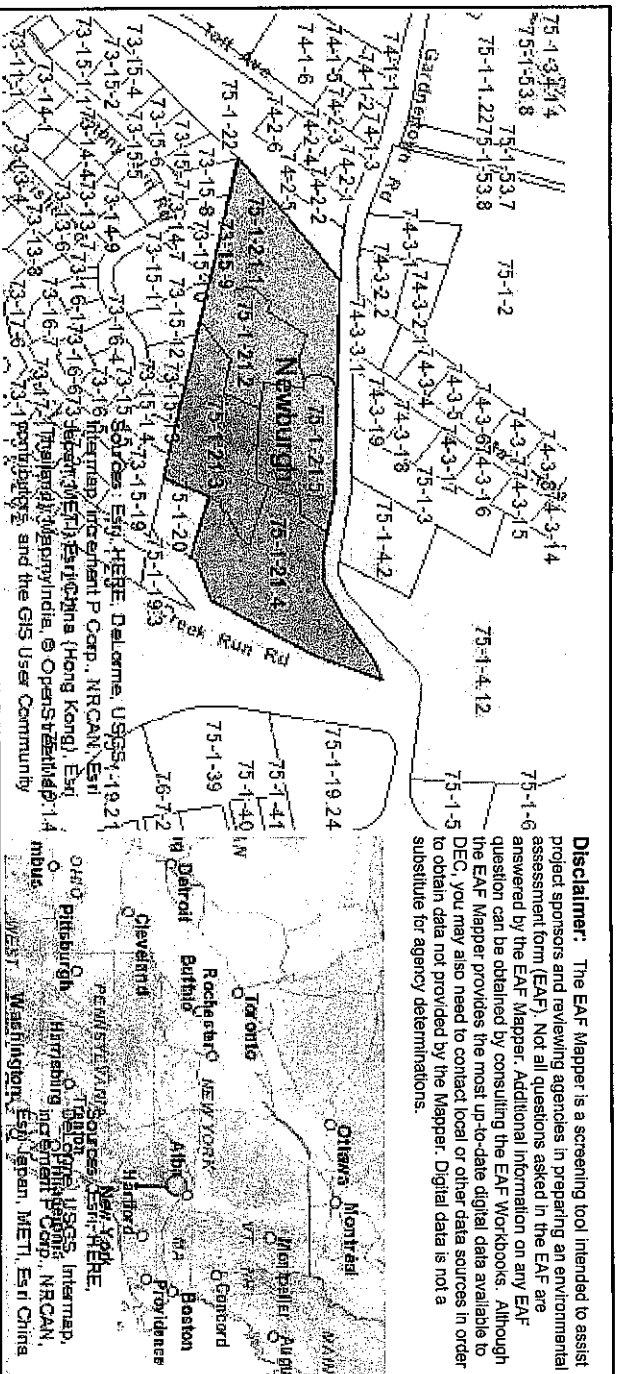
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name JMC, PLLC Date 2/19/14

Signature [Signature] Title V.P.

PRINT FORM



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00118 , 336063 , C336085
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes

	Principal Aquifer
E.2.1. [Aquifer Names]	
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d. [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X NONE

NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

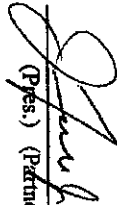
This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- _____
TOWN BOARD
- X _____
PLANNING BOARD
- _____
ZONING BOARD OF APPEALS
- _____
ZONING ENFORCEMENT OFFICER
- _____
BUILDING INSPECTOR
- _____
OTHER

2/24/16
DATED

INDIVIDUAL APPLICANT

Farrell Building Company, Inc.
CORPORATE OR PARTNERSHIP APPLICANT

BY: 
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)
Nicholas Mincio, Managing Member

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

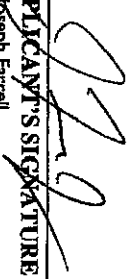
The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

2/24/16
DATED

Farrell Building Company, Inc.
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE
By: Joseph Farrell

PROXY

(OWNER) Joseph Farrell, DEPOSES AND SAYS THAT HE/SHE is Managing Member of
Farrell Building Company which has an office at
RESIDES AT 1601 Veterans Memorial Highway

IN THE COUNTY OF Suffolk
AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF _____
Gardnertown Commons

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Hanig & Schuzman IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 2/24/16

OWNERS SIGNATURE

JMC Planning Engineering Landscape Architecture &
Land Surveying, PLLC

Farrell Building Company, Inc.

by: Joseph Farrell
OWNERS NAME (printed)


WITNESS' SIGNATURE

JOSEPH A SAECHANO
STAN SCHUTZMAN

NAMES OF ADDITIONAL
REPRESENTATIVES

Joseph Saechano
WITNESS' NAME (printed)

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Farrell Building Company, Inc.

By: Joseph Farrell

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be placed on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

SITE PLAN APPROVAL DRAWINGS

GARDNERTOWN COMMONS

TAX MAP SECTION 75 | BLOCK 1 | LOT 21
 ORANGE COUNTY
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

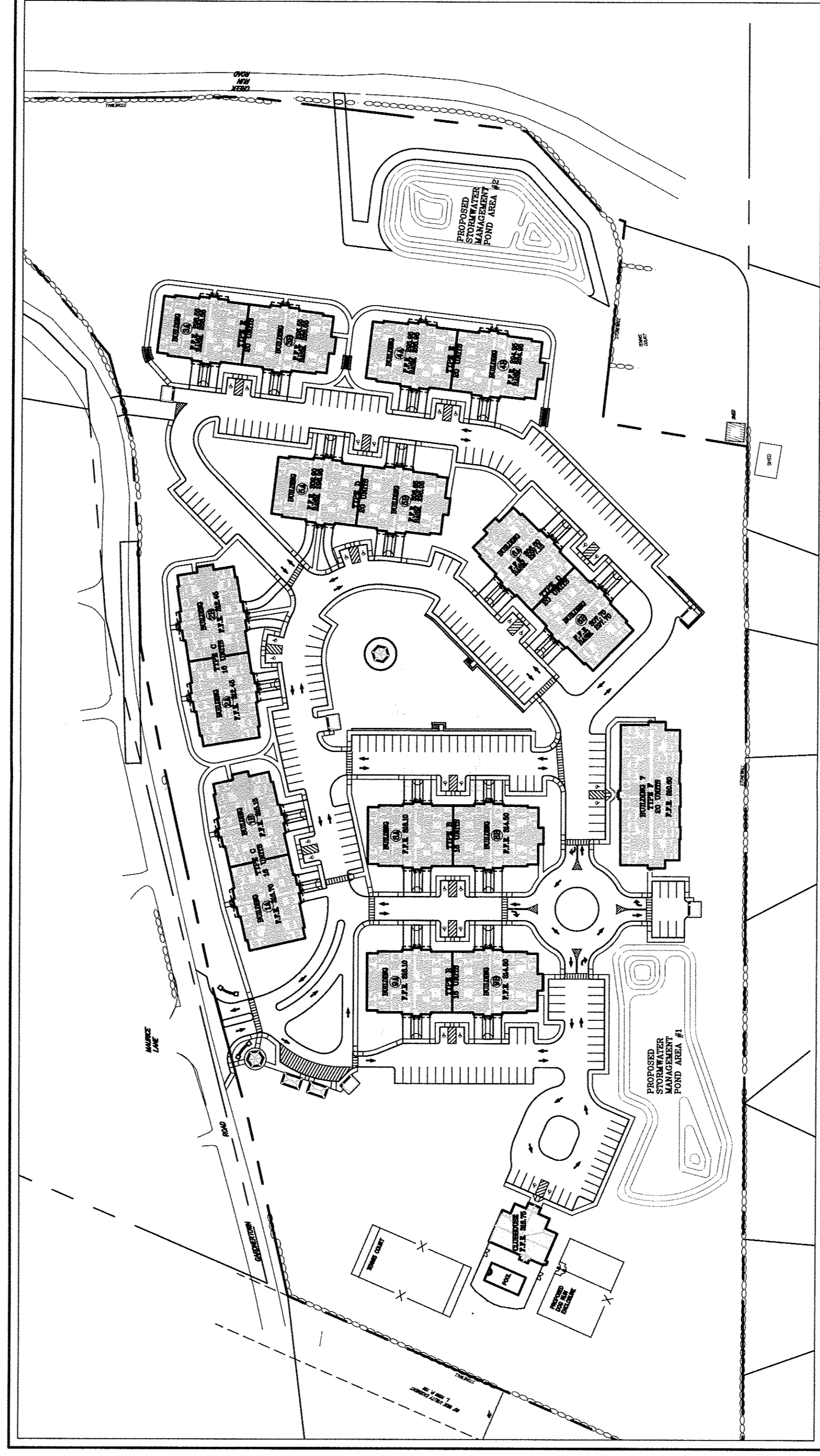
Owner/Applicant:
FARRELL BUILDING COMPANY, LLC
 1607 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 631.549.9800

Architect:
MAURI ARCHITECTS PC
 303 MILL STREET
 POUGHKEEPSIE, NY 12601
 845.452.1030

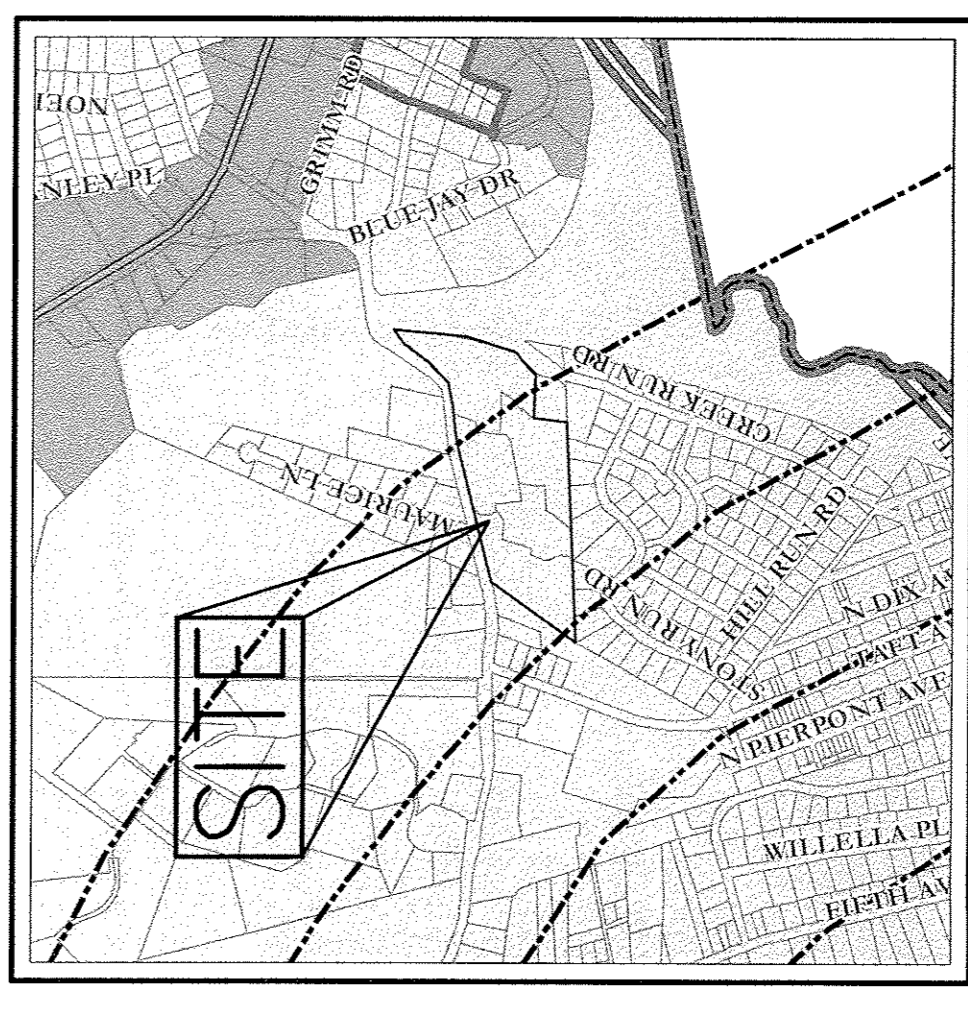
Attorney:
HANIG & SCHUTZMAN
 61 S MAIN STREET
 SUITE 5 - 2ND FLOOR
 NEW CITY, NY 10956
 845.600.6529

**Site Planner, Civil & Traffic Engineer,
 and Landscape Architect:**
JMC
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225

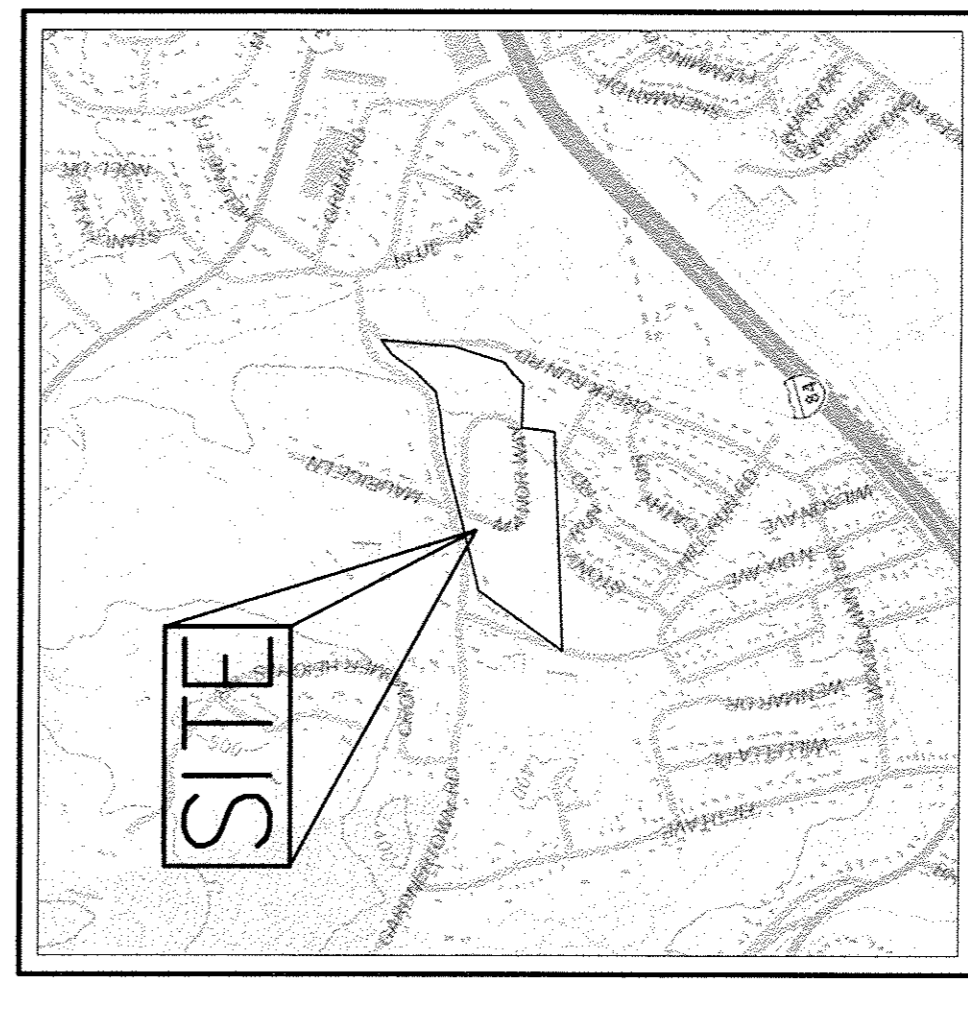
Surveyor:
LANC & TULLY, P.C.
 PO BOX 687, RT 207
 GOSHEN, NY 10924
 845.294.3700



AREA MAP
 SCALE: 1" = 100'
 SOURCE: TITLE / YEAR



VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: TITLE / YEAR



ZONING MAP
 SCALE: 1" = 1,000'
 SOURCE: TITLE / YEAR

JMC Drawing List:

- SP-1 COVER SHEET
- SP-2 SITE EXISTING CONDITIONS
- SP-3 LOT CONSOLIDATION MAP
- SP-4 SITE LAYOUT PLAN
- SP-5 SITE GRADING PLAN
- SP-6 SITE UTILITIES PLAN
- SP-7 SITE EROSION AND SEDIMENT CONTROL PLAN
- SP-8 SITE LANDSCAPING PLAN
- SP-9 SITE LIGHTING PLAN
- SP-10 FIRE-TRUCK TURNING PLAN
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 CONSTRUCTION DETAILS
- RP-1 ROADWAY LAYOUT PLAN
- RP-2 ROADWAY GRADING & UTILITIES PLAN

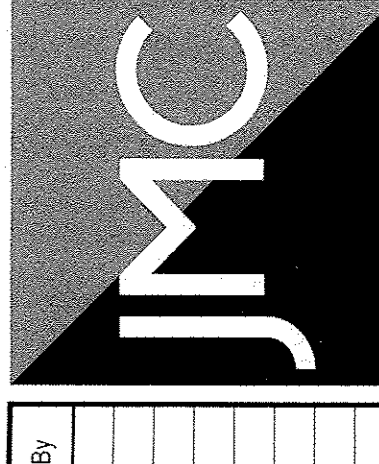
ZONING DISTRICT	PERMITTED/REQUIRED	PROPOSED
LOT AREA MIN. (AC.)(S.F.)	4.00 AC./174,240 S.F.	19.77 AC./861,138 S.F.
LOT WIDTH (FT.)	150	1,375
LOT DEPTH (FT.)	150	670
FRONT YARD (FT.)	40	40
REAR YARD (FT.)	50	50
1 SIDE YARD / BOTH (FT.)	25/20	50
NUMBER OF UNITS	168	164
REAR TO ADJACENT BUILDING (FT.)	75	83
SIDE TO SIDE OF ADJACENT BUILDING (FT.)	35	35
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	1-BEDROOM 600 MIN. 2-BEDROOM 900 MIN.	1-BEDROOM = 800 S.F. 2-BEDROOM = 845 S.F.
SMOKE UNIT INSTALLATION PER DWELLING UNIT (S.F.)	1,000 MAX.	1-BEDROOM = 685 S.F. 2-BEDROOM = 900 S.F.
LOT BUILDING COVERAGE (%)	35	14
BUILDING HEIGHT (FT.)	35	34'-11"
LOT SURFACE COVERAGE (%)	60	37
STANDSTILL PARKING	308	301
HANDICAP PARKING	-	28
TOTAL PARKING	308	329

NOTES:

- BASE DENSITY CALCULATIONS:
 SENIOR HOUSING DEVELOPMENT DENSITY = 6 DWELLING UNITS PER ACRE
 1/2 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE GAINED DUE TO THE SENIOR HOUSING DEVELOPMENT PROVISION.
 THEREFORE, 1/2 OF THE TOTAL UNITS X 1/23 MUST BE SENIOR HOUSING = 1/9 OF THE TOTAL UNITS MUST BE SENIOR HOUSING OR 11%
 THEREFORE: 168.5 AC. X 9 UNITS = 1,516.5 UNITS PERMITTED
- NET PARCEL AREA CALCULATIONS:
 19.77 GROSS ACRES
 1.19 ACRES OF FEDERAL WETLANDS
 1.19 ACRES OF FEDERAL WETLANDS AT A RATE OF 100% = (0.11)(1.19) = 0.1308 AS
 8% OF 1.13 IS SUBTRACTED AT A RATE OF 100% = (0.09)(1.13) = 0.1017 AC.
 TOTAL AREA COVERED BY WETLANDS FOR NET AREA CALC. = (0.095)(1.02) = 0.1119 AC.
 THEREFORE: 18.57 AC. - 1.19 AC. = 17.38 AC.
 17.38 AC. X 9 UNITS = 156.42 UNITS PERMITTED

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-882-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 233 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENCOMPASSED BY THE CONTRACTOR'S OPERATIONS, THIS SHALL ADD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT TO BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNNECESSARY INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE COMMENCEMENT OF WORK. NO WORK SHALL COMMENCE UNTIL ALL OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES IF CONFLICTS ARE PRESENT. THE OWNER'S FIELD REPRESENTATIVE, JMC, FILED AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE ISSUED BY JMC, FILED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.



JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 phone 914.273.5225 - fax 914.273.2102
 www.jmcplic.com



811
 Know what's below.
 Call before you dig.



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING SETBACK LINE AND EASEMENT
 - EXISTING BUILDING LINE
 - EXISTING PARKING DRIVE
 - EXISTING CURB LINE
 - EXISTING DRIVEWAY
 - EXISTING DRIVE WALL
 - EXISTING DRIVE
 - EXISTING FENCE
 - EXISTING TREE AND RESERVATION
 - EXISTING TREE LINE
 - EXISTING DIRECTIONAL ARROWS
 - EXISTING PAINT
 - EXISTING STORM DRAIN LINE AND SIZE
 - EXISTING SANITARY LINE AND SIZE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD WIRE
 - EXISTING DRAIN UNIT
 - EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS VALVE
 - EXISTING WATER VALVE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING EXHAUST TO BE REMOVED

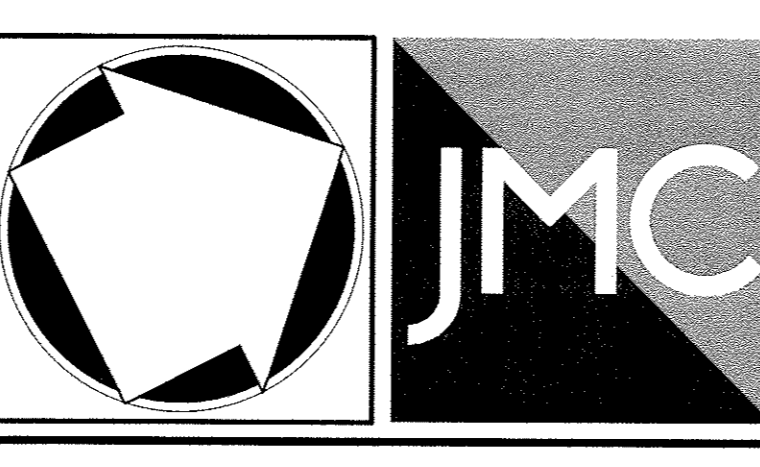
- NOTES**
1. EXISTING CONDITIONS SHOWN BY THIS MAP HAVE BEEN FIELD VERIFIED BY JMC AND FOUND TO BE ACCURATE.
 2. EXISTING CONDITIONS NOT SHOWN BY THIS MAP HAVE BEEN FIELD VERIFIED BY JMC AND FOUND TO BE ACCURATE.

SP-2

DATE	DESCRIPTION	BY
02/19/2015	ISSUED	JMC
02/19/2015	REVISED	JMC

ANY ALTERATION OF THIS MAP, WITHOUT THE WRITTEN PERMISSION OF JMC, IS PROHIBITED. THE USER OF THIS MAP IS ADVISED THAT THE USER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND THAT THE USER SHOULD CONSULT WITH THE APPROPRIATE AUTHORITIES FOR THE MOST CURRENT INFORMATION.

EXISTING CONDITIONS MAP
GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY



JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

APPLICANT OWNER:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT:
MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601

No	Revision	Date	By

LEGEND	
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING WETLAND LINE AND DELINEATION
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING TREE AND DESIGNATION
[Symbol]	EXISTING TREE LINE
[Symbol]	EXISTING DIRECTIONAL ARROWS
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING SANITARY LINE AND SIZE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING FEATURE TO BE REMOVED

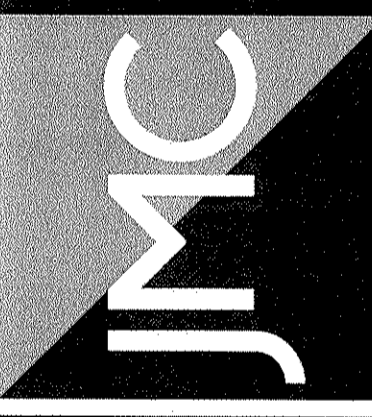
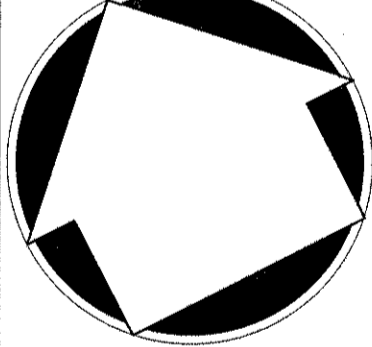
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE WOODS NEIGHBORHOOD," PREPARED BY LANC & TULLY, P.C., DATED 11/11/2015.
 - EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC, DATED 10-28-2015.



By	
Date	
Revision	
No.	

PREPARED BY:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT:
MAURI ARCHITECTS PC
 30.5 MILL STREET
 Poughkeepsie, NY 12601

JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, LLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 133 BEESFORD ROAD - ARMONK, NY 10504
 voice 914.233.5225 • fax 914.233.2192
 www.jmcplc.com

LOT CONSOLIDATION MAP
 GARDERTOWN COMMONS
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

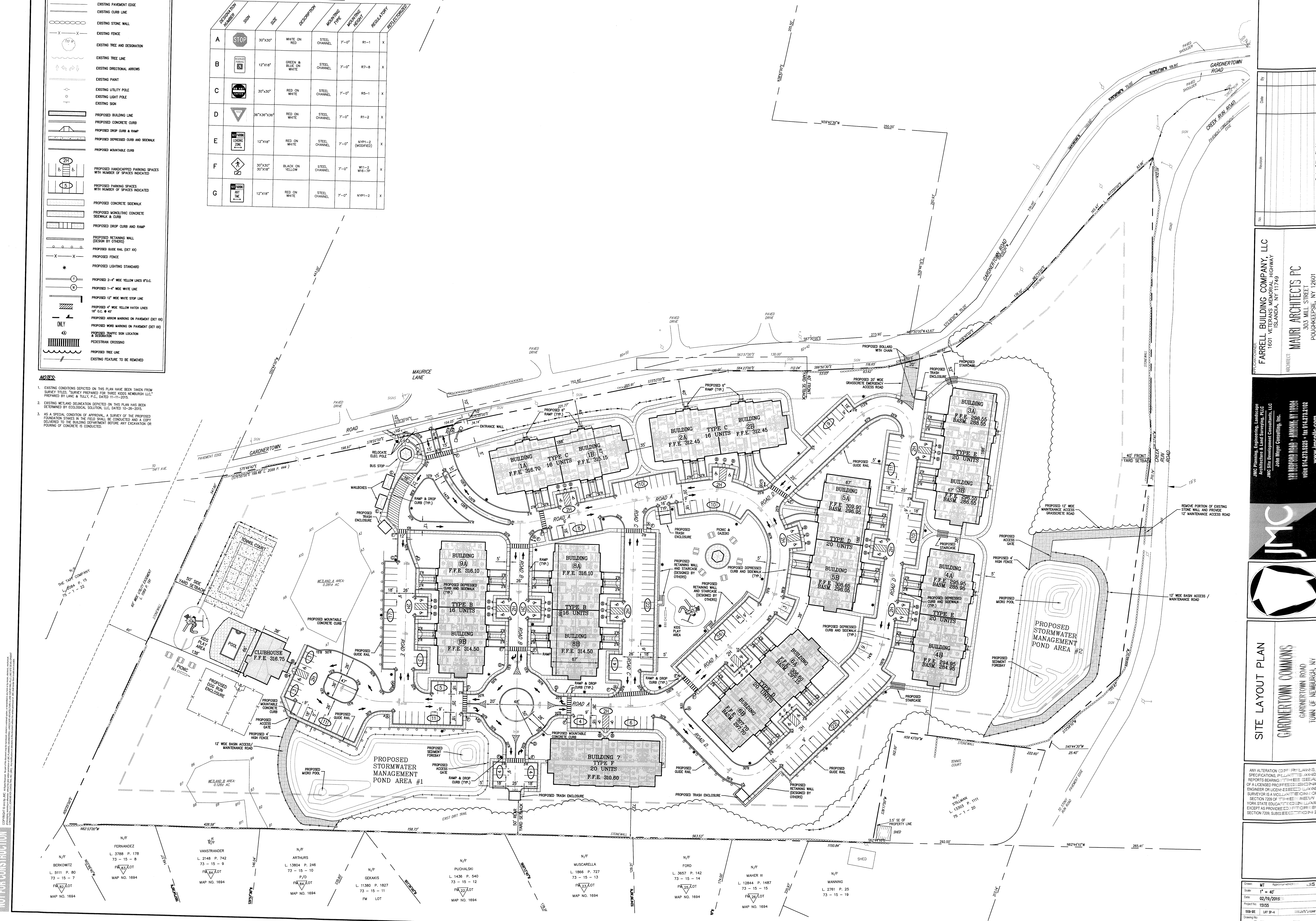
Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	02/19/2016		
Project No.	15155		
Sheet	LOT 2-3	EXT	1st
Drawn			

SP-3

SYMBOL	DESCRIPTION
---	ADJACENT PROPERTY LINE
---	EXISTING PROPERTY LINE
---	EXISTING SETBACK LINE
---	EXISTING WETLAND LINE AND DELINEATION
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING STONE WALL
---	EXISTING FENCE
---	EXISTING TREE AND DESIGNATION
---	EXISTING TREE LINE
---	EXISTING DIRECTIONAL ARROWS
---	EXISTING PAINT
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	PROPOSED DROP CURB & RAMP
---	PROPOSED DEPRESSION CURB AND SIDEWALK
---	PROPOSED MOUNTABLE CURB
---	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
---	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
---	PROPOSED DROP CURB AND RAMP
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED GUIDE RAIL (DET XO)
---	PROPOSED FENCE
---	PROPOSED LIGHTING STANDARD
---	PROPOSED 2'-4" WIDE YELLOW LINES (F.O.C.)
---	PROPOSED 1'-4" WIDE WHITE LINE
---	PROPOSED 12" WIDE WHITE STOP LINE
---	PROPOSED 4" WIDE YELLOW HATCH LINES 18" O.C. @ 45°
---	PROPOSED ARROW MARKING ON PAVEMENT (DET XO)
---	PROPOSED WORD MARKING ON PAVEMENT (DET XO)
---	PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION
---	PEDESTRIAN CROSSING
---	PROPOSED TREE LINE
---	EXISTING FEATURE TO BE REMOVED

DESIGNATION NUMBER	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
D	36"x36"x36"	RED ON WHITE	STEEL CHANNEL	7'-0"	R1-2	X
E	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2 (MODIFIED)	X
F	30"x30" 30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 W6-2P	X
G	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X

- NOTES:**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE KINGS NETWORK LLC, PREPARED BY LANC & TULLY, P.C., DATED 11-11-2015.
 - EXISTING WETLAND DELINEATION SHOWN ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 05-28-2016.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.



NOT FOR CONSTRUCTION

SITE LAYOUT PLAN

GARDERTOWN COMMONS

GARDERTOWN ROAD
TOWN OF NEWBURGH, NY

ANY ALTERATION OF THIS PLAN IS SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER. THE ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID. THE ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID. THE ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID.

Scale: 1" = 40'

Date: 02/19/2016

Project: 15155

Sheet: 1 of 4

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

FARRELL BUILDING COMPANY, LLC
1601 VANDERBILT MEMORIAL HIGHWAY
ISLANDIA, NY 11749

MAURI ARCHITECTS PC
303 MILL STREET
POUGHKEEPSIE, NY 12601

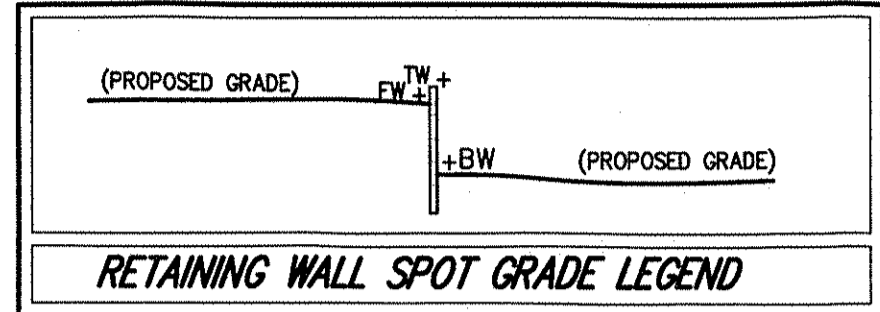
JMC

www.jmc-ny.com

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE C DRAIN INLET
	PROPOSED TYPE D DRAIN INLET
	PROPOSED TRENCH DRAIN
	PROPOSED HEADWALL
	PROPOSED HYDRANT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED DITCH OR SWALE
	PROPOSED RIP-RAP
	EXISTING FEATURE TO BE REMOVED

SPECIALIZED CONSTRUCTION:

- THE PROPOSED DEVELOPMENT PROJECT WILL CONSIST OF 11 NEW RESIDENTIAL BUILDINGS, SITE RETAINING WALLS AND SOIL SLOPES. IN ADDITION, DEEP FILLS UP TO 24 FEET WILL BE REQUIRED IN PORTIONS OF THE SITE. SPECIALIZED CONSTRUCTION TECHNIQUES WILL BE REQUIRED FOR THE DEEP FILLS, SOIL SLOPES, AND RETAINING WALLS.
- WHERE NEW FILL IS REQUIRED AT THE SITE, IT SHALL BE INSTALLED AS ENGINEER-APPROVED COMPACTED FILL. THIS INCLUDES THE PROPOSED DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPE AREAS. THE SOIL SLOPES WILL BE CONSTRUCTED WITH A SLOPE ANGLE OF 2:1 HORIZONTAL TO 1:0 VERTICAL (25% SLOPE) OR FLATTER. THE FILL MATERIAL AT THE SITE SHALL CONSIST OF SUITABLE ON-SITE SOIL PLACED IN ONE (1) FOOT LAYERS AND COMPACTED TO AT LEAST 90% OF ITS MAXIMUM MODIFIED DRY DENSITY (ASTM D-1557). THE PLACEMENT OF NEW CONTROLLED FILL IN THE DEEP FILL AREAS, PROPOSED BUILDING AREAS, AND NEW SOIL SLOPE AREAS SHALL BE PERFORMED UNDER THE FULL TIME INSPECTION OF THE PROJECT GEOTECHNICAL ENGINEER, WHO WILL ENSURE THAT THE FILL IS PROPERLY PLACED FOR SUPPORT OF THE PROPOSED STRUCTURES.
- THE PROPOSED RETAINING WALLS AT THE SITE SHALL BE CONSTRUCTED AS MECHANICALLY STABILIZED EARTH (MSE) WALLS THAT CONSIST OF SEGMENTAL BLOCKS (UNITS) AND GEOTEXTILE REINFORCEMENT. THE RETAINING WALLS WILL BE DESIGNED BY THE PROJECT GEOTECHNICAL ENGINEER. DURING CONSTRUCTION, CARIN-HANSON & ASSOCIATES WILL PROVIDE FILL, THE GEOTECHNICAL RELATED MONITORING AND TESTING SERVICES THAT WILL INCLUDE PREPARATION OF THE RETAINING WALL AREAS, PLACEMENT AND COMPACTING OF CONTROLLED FILL, EXCAVATION FOR THE RETAINING WALL FOUNDATION OR BASE, AND CONSTRUCTION OF THE RETAINING WALLS, INCLUDING THE INSTALLATION OF THE WALL DRAINAGE SYSTEM AND THE GEOTEXTILE REINFORCEMENT.



NOTES:

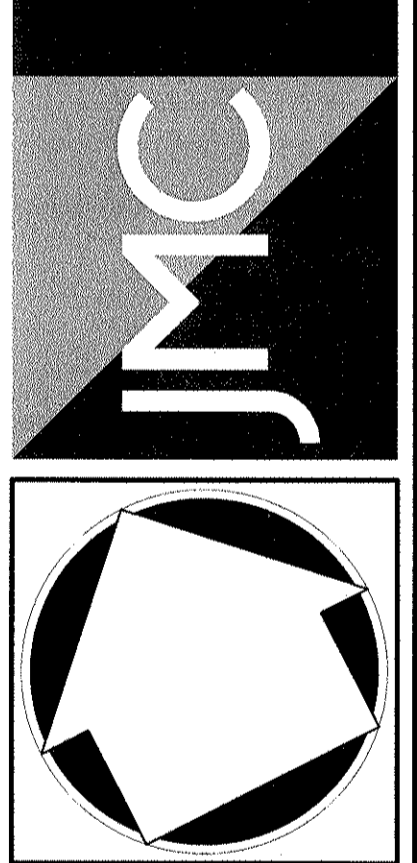
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE KINGS RESEARCH, LLC," PREPARED BY LANC & TULLY, P.C., DATED 11/11/2015.
- EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-09-2016.
- AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAGES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.



NOT FOR CONSTRUCTION

PREPARED BY: **FARRELL BUILDING COMPANY, LLC**
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT: **MAURI ARCHITECTS PC**
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, LLC
 JMC Site Development Consultants, LLC
 John Reyes Consulting, Inc.
 120 BEAUFORT ROAD - HARMON, NY 10564
 TEL: 845.743.9235 - FAX: 845.743.9202
 www.jmcplanning.com



SITE GRADING PLAN
GARDNERTOWN COMMONS
 TOWN OF NEWMURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

EPOCH: MT Approved JS
 SCALE: 1" = 40'
 DATE: 02/19/2016
 PROJECT: 15155
 SHEET: 090 01-8 0901.01
SP-5

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING CONCRETE EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE C DRAIN INLET
	PROPOSED TYPE D DRAIN INLET
	PROPOSED HEADWALL
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RIP-RAP APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED UTILITY POLE
	PROPOSED TEMPORARY SKALE
	PROPOSED RIP-RAP

NOTES:

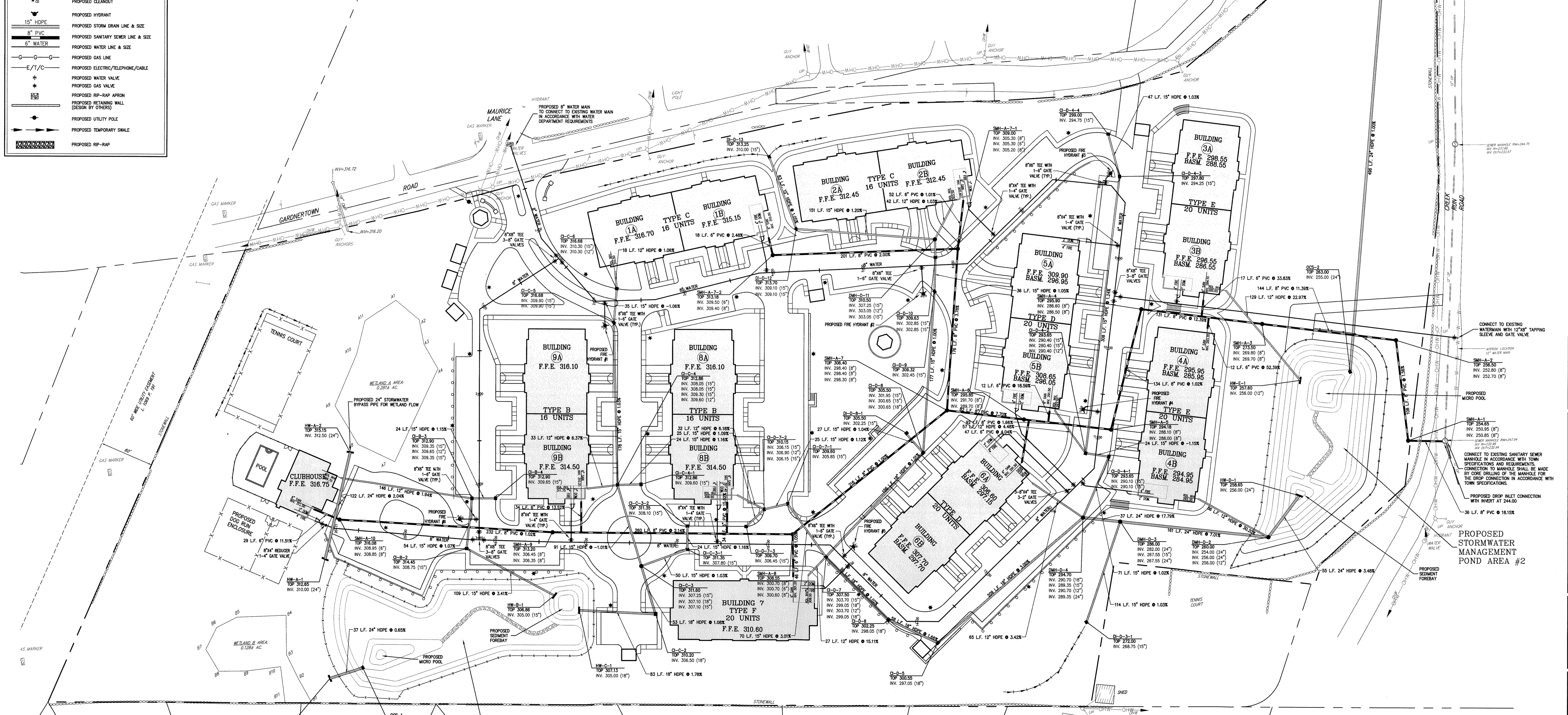
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "SURVEY PREPARED FOR THREE ACRES NEARBY LUCY, PREPARED BY LANC & TULLY, P.C., DATED 11/17/2015.
- EXISTING METLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC DATED 02-28-2016.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRELATIONS IN ACCORDANCE WITH ASTM D-3048. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYETHYLENE PIPE (PE) WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CONCRETE-LINED DUCTILE IRON PIPE (DIP), CLASS 50, WITH MECHANICAL JOINTS IN ACCORDANCE WITH ASTM C-100, C-115, C-104 AND C-111.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONJUNCTION WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE COINLET LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.5-98 OR LATEST REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THURST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THURST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON METALGAL SERIES 100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 520 AND CONFORM TO ANSI/AWWA C151/A21.5-98 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.5-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES ALL CONFORMING TO ANSI/AWWA C500 OR LATEST REVISION SUCH AS MULLER H-2000-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCK WISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MULLER H-615 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVE CONFORMING TO ANSI/AWWA C500 SUCH AS MULLER MODEL H-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. COPPERATION COPS SHALL BE MULLER H-1000 FOR 1/2 AND 1 INCH, MULLER H-1000 OR B-2500 FOR 1 1/8 OR 2 INCH SIZES. CURB VALVES SHALL BE MULLER H-1000 FOR 1/2 AND 1 INCH AND MULLER B-2500 FOR 1 1/8 AND 2 INCH SIZES. CURB BOXES SHALL BE MULLER H-1032 FOR 1/2 AND 1 INCH AND MULLER H-1030 FOR 1 1/8 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CONTROLLED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.

NOTES (CONTINUED):

- THURST RESTRAINT SHALL BE PROVIDED BY THE ROSS AND RETAINER GLANDS. THE LENGTH OF RETAINER GLANDS SHALL BE DETERMINED BASED ON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO OSHA STANDARDS.
- PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 - YEAR OF BURYING NEW STANDARDS.
- ALL WATER MAINS SHALL BE 8" CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE CONNECTION, APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE 35-35 PVC PIPE CONFORMING TO ASTM D-3034-98. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC PIPE GASKET CONFORMING ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPOOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE CONNECTION, APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- ALL SECTIONS OF WATER MAINS WITH LESS THAN 4" COVER SHALL BE PERMA-PIPE DUAL-GUARD PRESSTABILIZED PIPE WITH REINFORCED CONCRETE ENCASING. THE PVC INSULATING GASKET SHALL BE 1/4" WITH A 2.55 POLYURETHANE INSULATION THICKNESS. PVC JOINTS SHALL BE FULLY MOLDED.
- THIS PROJECT HAS INDICATED THE INTENT TO PROVIDE ADEQUATE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS THEREFORE, EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- THE PROPOSED CLUBHOUSE POOL DESIGN AND WATER SERVICE LINES SHALL BE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION. ALL WATER SERVICES TO THE PROPOSED POOL SHALL REQUIRE AN APPROPRIATE BACKFLOW PREVENTER DEVICE TO PREVENT CROSS CONNECTION TO THE PROPOSED DISTRIBUTION SYSTEM.
- BACKFLOW PREVENTION DEVICES FOR BOTH THE 2" DOMESTICS AND 4" FIRE SERVICES TO BE APPROVED BY OGDH AND ARE DESIGNED BY OTHERS UNDER A SEPARATE APPLICATION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND SHALL PERFORM ALL WORK REQUIRED IN CONNECTION WITH ALL THE TESTS AS SPECIFIED HEREIN. ALL PIPE SHALL BE TESTED BY HYDROSTATIC PRESSURE, BUT NOT LESS THAN 150 PSI OR MORE. 300 PSI TO BE TESTED BY THE PIPE APPURTENANCES. IN ACCORDANCE WITH AWWA SPECIFICATION C-600, THE TEST SHALL BE DETERMINED BY THE WATER AUTHORITY AND/OR OWNER'S FIELD REPRESENTATIVE. EACH SECTION TESTED SHALL BE SLOWLY FILLED WITH WATER, CARE BEING TAKEN TO EXCEL AIR FROM THE PIPES. IF NECESSARY, THE PRESS SHALL BE TAPPED AT HIGH POINTS TO VENT THE AIR. REQUIRED PRESSURE, AS MEASURED AT THE POINT OF LOWEST ELEVATION, SHALL BE MAINTAINED FOR NOT LESS THAN TWO (2) HOURS, AND ALL PIPE, FITTINGS, VALVES, HYDRANTS AND JOINTS SHALL BE CAREFULLY EXAMINED FOR DEFECTS. LEAKY JOINTS SHALL BE MADE WATER-TIGHT.

NOTES (CONTINUED):

- IF THE SECTION BEING TESTED SHALL FAIL TO PASS THE PRESSURE TEST OR THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DISTRICT HEALTH DEPARTMENT, THE CONTRACTOR SHALL DO THE NECESSARY REPAIRS TO THE SECTION. UNCOVER AND REPAIR OR REPLACE THE DEFECTIVE PIPE, FITTINGS OR JOINTS. ALL WORK SHALL BE DONE AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN THE TESTS SPECIFIED HEREIN AND THE TEST REQUIREMENTS OF THE TOWN OF NEWBURGH WATER DISTRICT HEALTH DEPARTMENT OR ANY OTHER AUTHORITY HAVING JURISDICTION OVER ALL OR ANY PORTION OF THE WATER LINES INSTALLED UNDER THIS CONTRACT, THE MORE RESTRICTIVE REQUIREMENTS SHALL GOVERN.
- AFTER THE WATER LINE HAS PASSED THE REQUIRED PRESSURE AND LEAKAGE TESTS AND BEFORE BEING PLACED INTO SERVICE, THE ENTIRE LINE SHALL BE DISINFECTED. ALL DISINFECTING METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-651. ALL DISINFECTION OPERATIONS AND PROCEDURES SHALL MEET WITH THE APPROVAL OF THE WATER AUTHORITY AND HEALTH DEPARTMENT.
- IF THE INITIAL BACTERIOLOGICAL TESTS ARE NOT SATISFACTORY, THE CONTRACTOR SHALL DO EVERYTHING NECESSARY TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS, INCLUDING MAKING PROVISIONS TO LOCATE SHORTER SECTIONS OF LINE TO LOCATE THE SOURCE OF CONTAMINATION. ALL WORK NECESSARY AND REQUIRED TO OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS SHALL BE AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- THE DESIGN, CONSTRUCTION AND INSTALLATION OF THE WATER MAINS SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
 - "RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)"
 - "TRIAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH"
 - "NEW YORK STATE DEPARTMENT OF HEALTH AND ORANGE COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES, AND STANDARDS."
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE BY THE PROFESSIONAL ENGINEER SERVICE UNITS, ACCEPTED BY THE PROFESSIONAL ENGINEER.
- ALL WATER DISTRIBUTION SYSTEM PIPES AND APPURTENANCES SHALL CONFORM TO CURRENT TOWN OF NEWBURGH STANDARDS.
- BACKFLOW PREVENTION DEVICES WILL BE LOCATED IN THE BUILDING APPLICATION FOR APPROVAL SHALL BE SUBMITTED UNDER SEPARATE COVER BY THE MECHANICAL ENGINEER/ARCHITECT.
- UNDER INDUSTRIAL CODE 753, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL OPERATORS OF UTILITIES LISTED ON THE CURRENT "MASTER LIST OF OPERATORS" ON FILE WITH THE CENTRAL REGISTRY AS WELL AS THE TOWN OF NEWBURGH AND NYSDOT PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENHANCED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION IS DERIVED FROM THE BEST AVAILABLE SOURCES. THE CONTRACTOR SHALL, AT HIS OR HER OWN EXPENSE, REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE OR SHE DAMAGES, AND SHALL CONSIDER PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION TO UTILITY SERVICE.

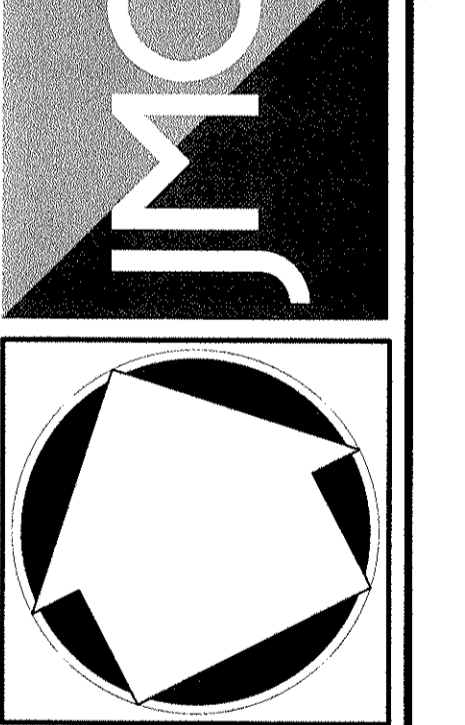


DATE: 02/19/2016
 DRAWN BY: VRL-4
 CHECKED BY: VRL-4
 PROJECT NO: 15155
 SHEET NO: VRL-4
 VLL-AR
 DRAWING TITLE: SITE UTILITIES PLAN

CLIENT: FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

ARCHITECT: MAURI ARCHITECTS PC
 300 WALL STREET
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 John Meyer Consulting, Inc.
 120 BERNARD ROAD • ARMONK, NY 10504
 PH: 914.273.5295 • FAX: 914.273.2102
 www.jmcpllc.com



SITE UTILITIES PLAN
 GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

Drawn: MT Approved: JS
 Date: 02/19/2016
 Project No: 15155
 Sheet No: VRL-4 VLL-AR
 Drawing Title: SP-6

NOT FOR CONSTRUCTION

LEGEND

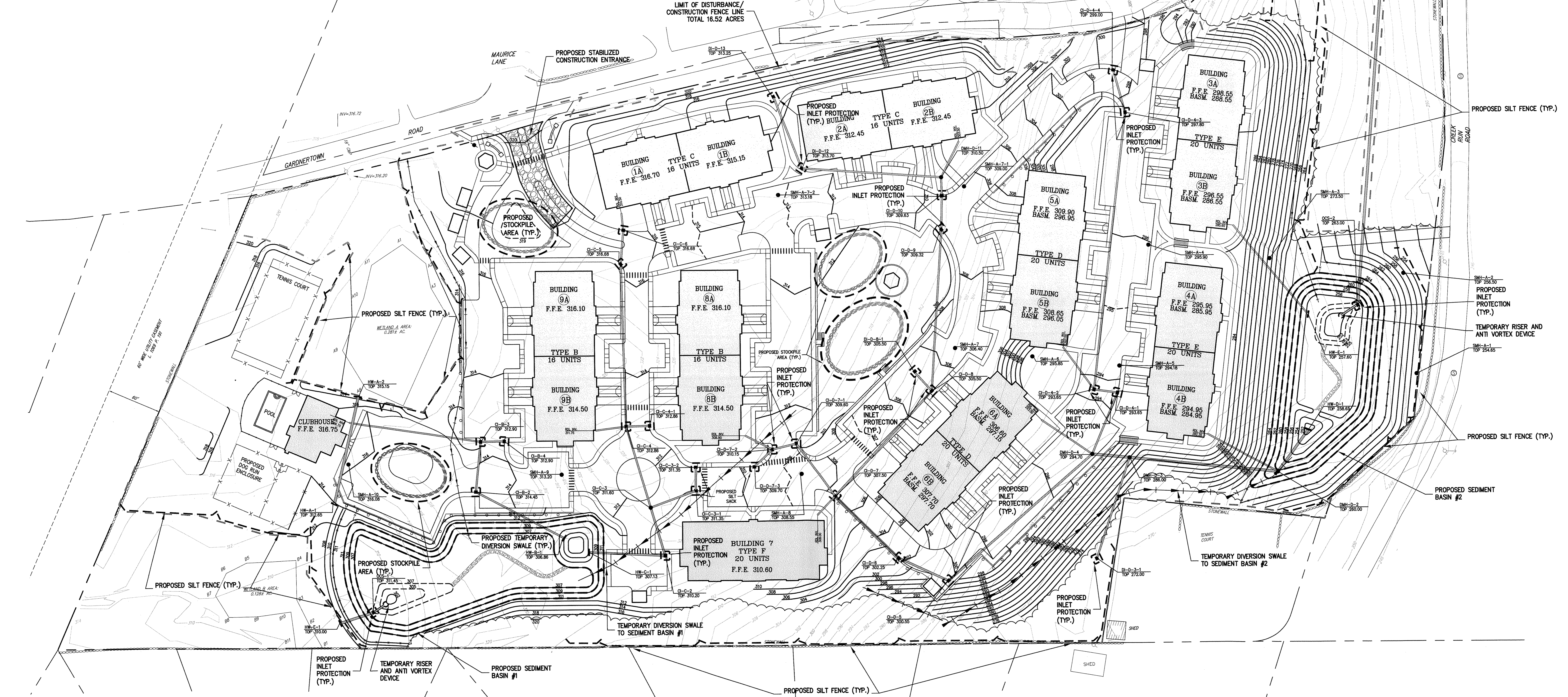
- PROPOSED INLET PROTECTION
- PROPOSED SILT SACK
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE/ LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED STOCKPILE AREA
- PROPOSED TEMPORARY DIVERSION SWALE
- TEMPORARY SEDIMENT BASIN GRADES
- TEMPORARY BESS & ANTI-VORTEX DEVICE
- PROPOSED STONE CHECK DAM

SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- A. STAKE LIMIT OF DISTURBANCE BOUNDARY WITH ORANGE CONSTRUCTION FENCE. INSTALL A STABILIZED CONSTRUCTION ENTRANCE. CLEAR THE AREA TO BE DEVELOPED.
- B. INSTALL ALL SILT FENCES.
- C. GRUB THE AREA TO BE CONSTRUCTED.
- D. CONSTRUCT DIVERSION SWALE 1 TO DIVERT THE OFFSITE AREA DRAINING TOWARDS THE SITE TO AN EXISTING DEPRESSION AND DIVERSION SWALES 2 AND 3 TO DIVERT THE RUNOFF FROM THE OFFSITE AREA TOWARDS THE EXISTING DRAINAGE CHANNEL WHILE MAINTAINING THE EXISTING DRAINAGE PATTERN.
- E. PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALES.
- F. CONSTRUCT TEMPORARY SEDIMENT BASIN.
- G. REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY TOPSOIL STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
- H. PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
- I. INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF CATCH BASINS, MANHOLES AND UNDERGROUND STORM PIPES ALONG WITH THE EROSION AND SEDIMENT CONTROL DEVICES ASSOCIATED WITH THE STORM DRAINAGE SYSTEM (I.E. INLET PROTECTION, STONE CHECK DAMS, ETC., AS SHOWN ON THE PLANS).
- J. INSTALL UTILITIES (SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, ETC.), AS REQUIRED.
- K. BEGIN ROAD CONSTRUCTION INCLUDING SUBBASE AND BASE PAVEMENT SECTIONS.
- L. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- M. COMPLETE FINAL GRADING FOR THE STORMWATER BASIN.
- N. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- O. COMPLETE BUILDING CONSTRUCTION.

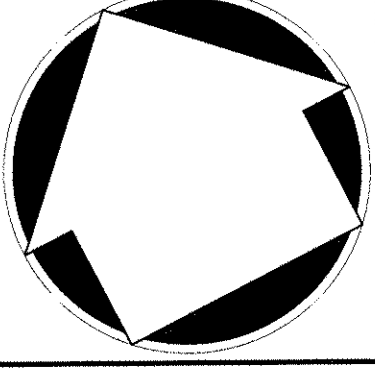
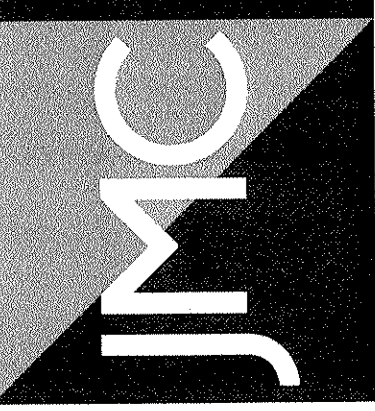
- NOTES:**
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FILED "SURVEY PREPARED FOR THREE ACRES HARBORHILL LLC" PREPARED BY LANC & TULLY, P.C., DATED 11/11/2015.
 2. EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-26-2015.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 4. EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 4 POUNDS PER 1000 SF IN THE FOLLOWING PROPORTIONS:
CRESPING RED FESCUE 50 %
PERENNIAL RYE GRASS 70 %
 5. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 6. SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (60 LBS. PER 1,000 SF), SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE RESPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 8. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
 9. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
 10. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 11. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 12. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 13. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPED ON EXISTING TRAFFIC CIRCULATION ROUTES.



FARRELL BUILDING COMPANY, LLC
 1801 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749

MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601

JMC
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARDINK, NY 11504
 phone: 914.233.5223 • fax: 914.233.1102
 www.jmcplc.com



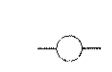
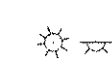




EROSION AND SEDIMENT CONTROL PLAN
 GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

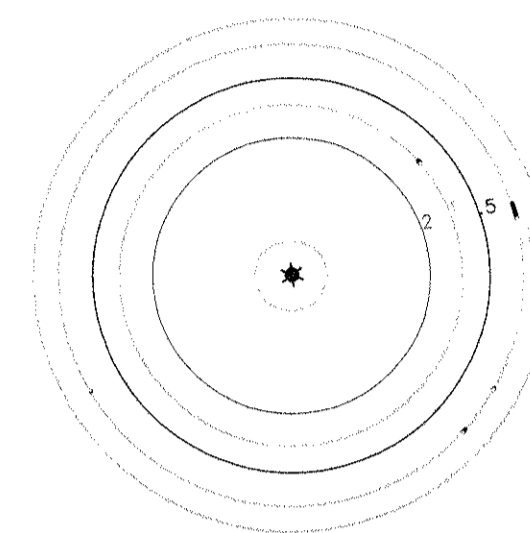
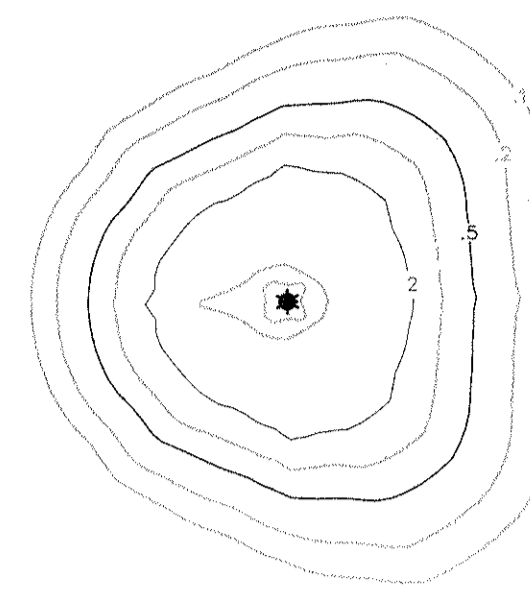
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 209.6, SUBSECTION 4.

Drawn: MT Approved: JS
 Scale: 1" = 40'
 Date: 02/19/2016
 Project: 15155
 Revision: 15-9-7
 Drawing No: SP-7

NOT FOR CONSTRUCTION

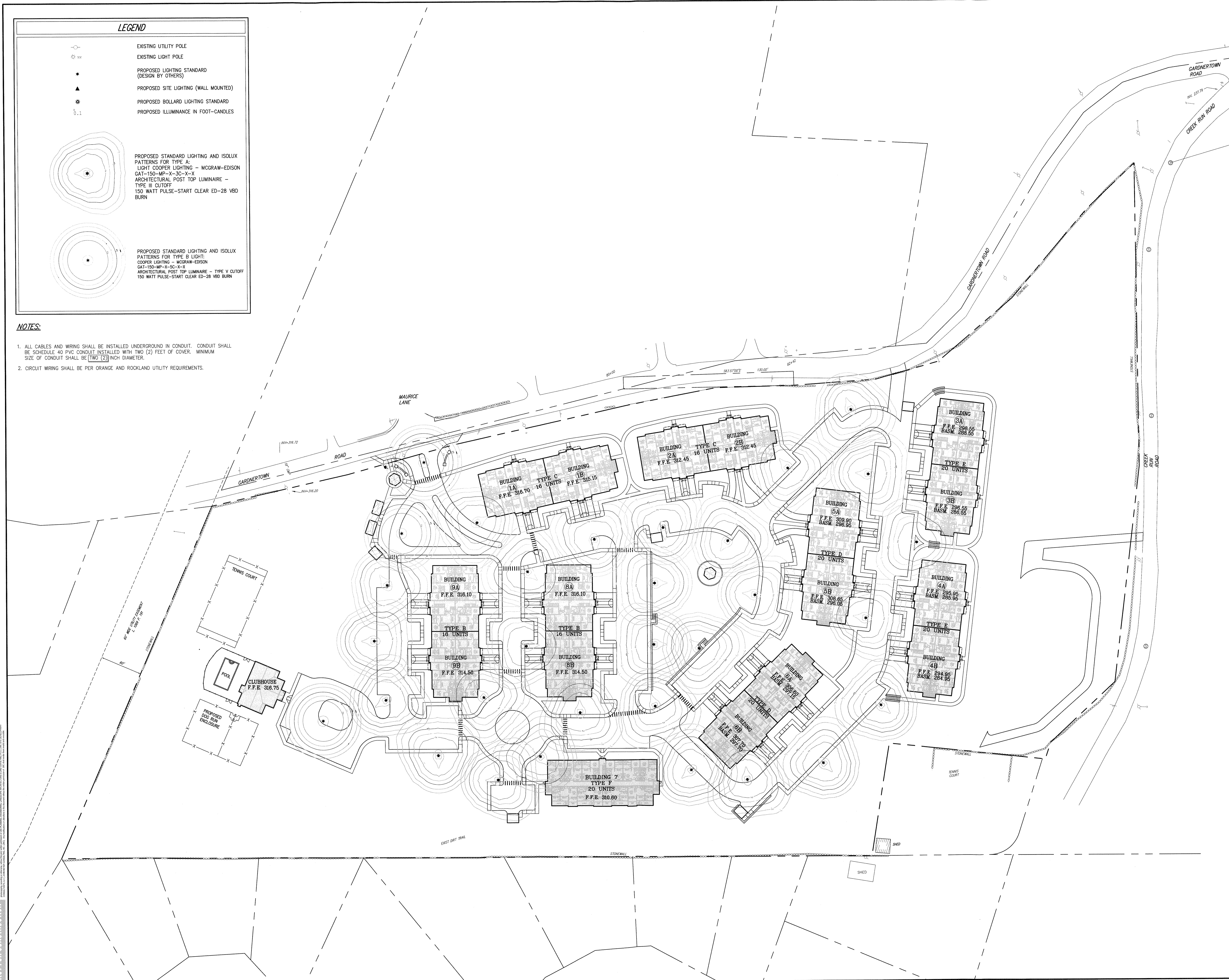
LEGEND

-  EXISTING UTILITY POLE
-  EXISTING LIGHT POLE
-  PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
-  PROPOSED SITE LIGHTING (WALL MOUNTED)
-  PROPOSED BOLLARD LIGHTING STANDARD
-  PROPOSED ILLUMINANCE IN FOOT-CANDLES



NOTES:

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
2. CIRCUIT WIRING SHALL BE PER ORANGE AND ROCKLAND UTILITY REQUIREMENTS.



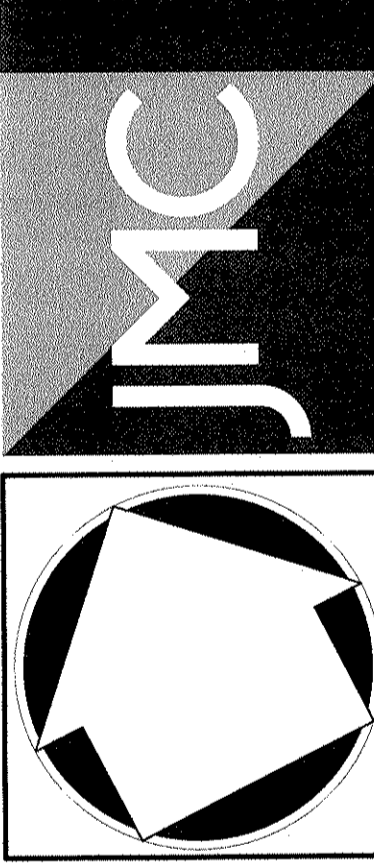
NOT FOR CONSTRUCTION

By	
Date	
Revision	
No.	

FARRELL BUILDING COMPANY, LLC
1601 W. ISLANDIA, NY 11749

MAURI ARCHITECTS PC
303 MILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consulting, Inc.
John J. Jacono, P.E.
1209 85th RD - ARMONK, NY 10804
voice 914.272.5225 fax 914.272.2102
www.jmcpllc.com

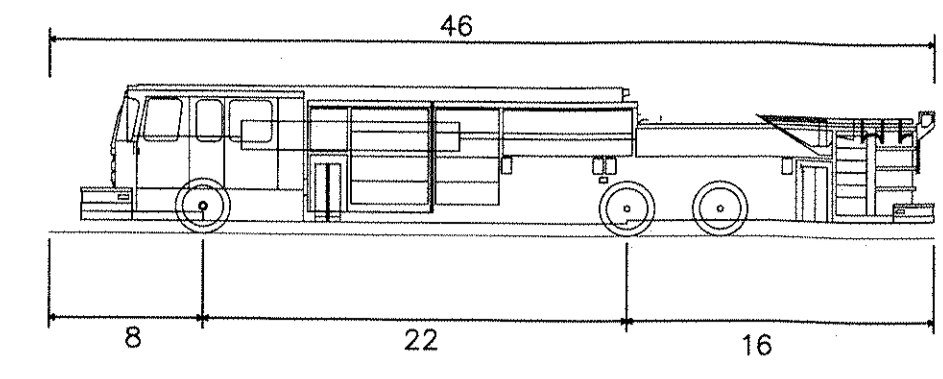


SITE LIGHTING PLAN
GARDERTOWN COMMONS
GARDERTOWN COMMONS
TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7208, SUBSECTION 2.

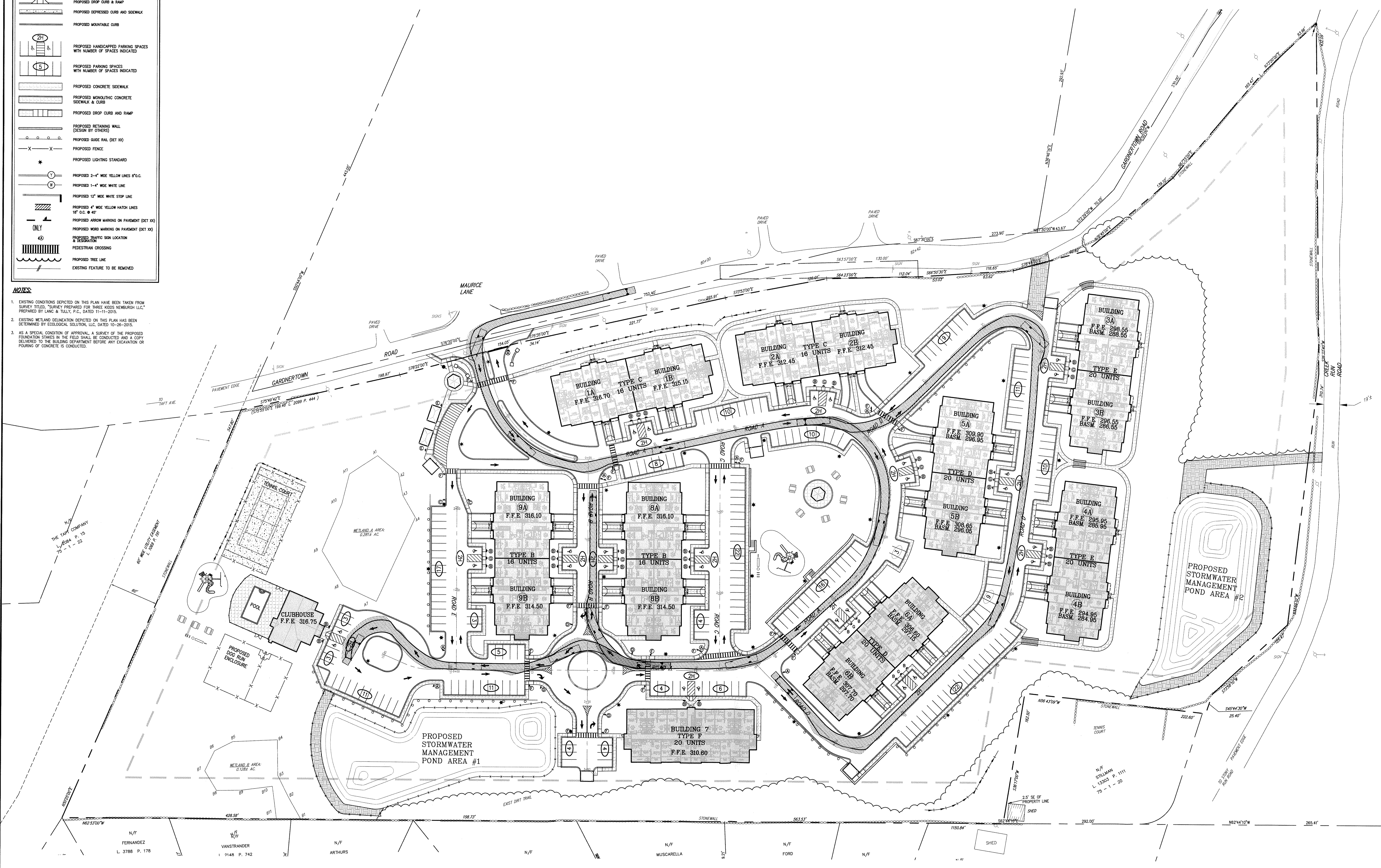
Drawn	MT	Approved	JS
Scale	1" = 40'		
Date	02/15/2016		
Project No.	6105		
1916-01	Lighting SP-1	LJK:az	
Drawing No.	SP-9		

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED DEPRESSED CURB AND SIDEWALK
	PROPOSED MOVABLE CURB
	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GRADE RAIL (DET XX)
	PROPOSED FENCE
	PROPOSED LIGHTING STANDARD
	PROPOSED 2-4" WIDE YELLOW LINES 8" O.C.
	PROPOSED 1-4" WIDE WHITE LINE
	PROPOSED 12" WIDE WHITE STOP LINE
	PROPOSED 4" WIDE YELLOW HATCH LINES 18" O.C. @ 45°
	PROPOSED ARROW MARKING ON PAVEMENT (DET XX)
	PROPOSED WORD MARKING ON PAVEMENT (DET XX)
	PROPOSED TRAFFIC SIGN LOCATION
	PROPOSED PEDESTRIAN CROSSING
	PROPOSED TREE LINE
	EXISTING FEATURE TO BE REMOVED



Newburgh Fire Truck
 Overall Length 46.00ft
 Overall Width 8.167ft
 Overall Body Height 22.00ft
 Min Body Ground Clearance 16.55ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

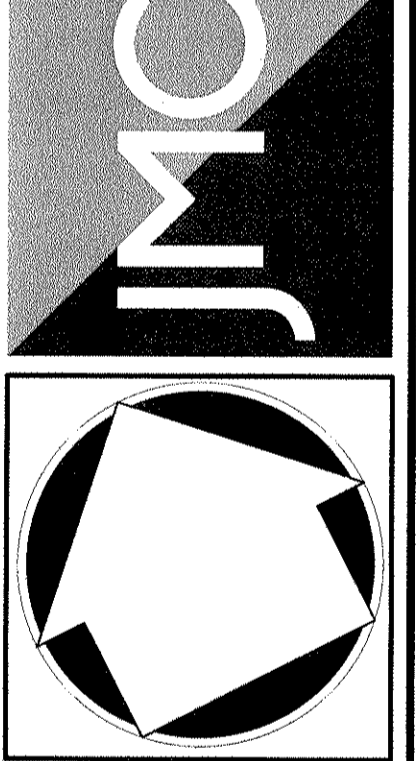
- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY PREPARED FOR THREE KINGS NEWBURGH LLC," PREPARED BY LANC & TULLY, P.C., DATED 11-11-2015.
 - EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTIONS, LLC, DATED 10-26-2015.
 - AS A SPECIAL CONDITION OF APPROVAL, A SURVEY OF THE PROPOSED FOUNDATION STAKES IN THE FIELD SHALL BE CONDUCTED AND A COPY DELIVERED TO THE BUILDING DEPARTMENT BEFORE ANY EXCAVATION OR POURING OF CONCRETE IS CONDUCTED.



DATE	
BY	
REVISIONS	
NO.	
DATE	
BY	
REVISIONS	
NO.	
DATE	
BY	
REVISIONS	
NO.	

PREPARED BY: FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT: MAURI ARCHITECTS PC
 POLICEVILLE, NY 12601

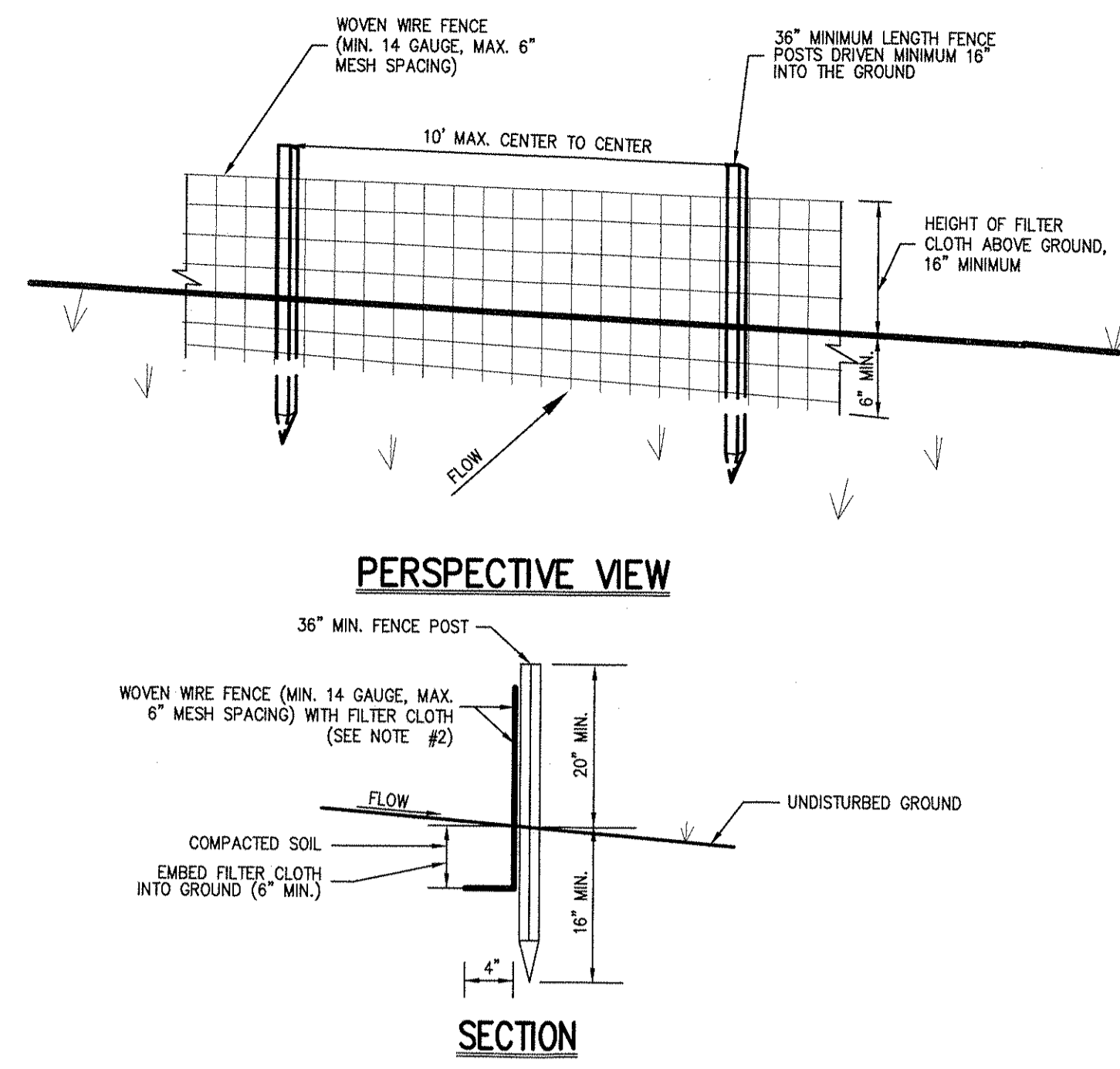
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Taylor Consulting, Inc.
 120 BEECHER ROAD • ARMONK, NY 10504
 VOICES 914.773.8235 • FAX 914.773.2102
 www.jmcpllc.com



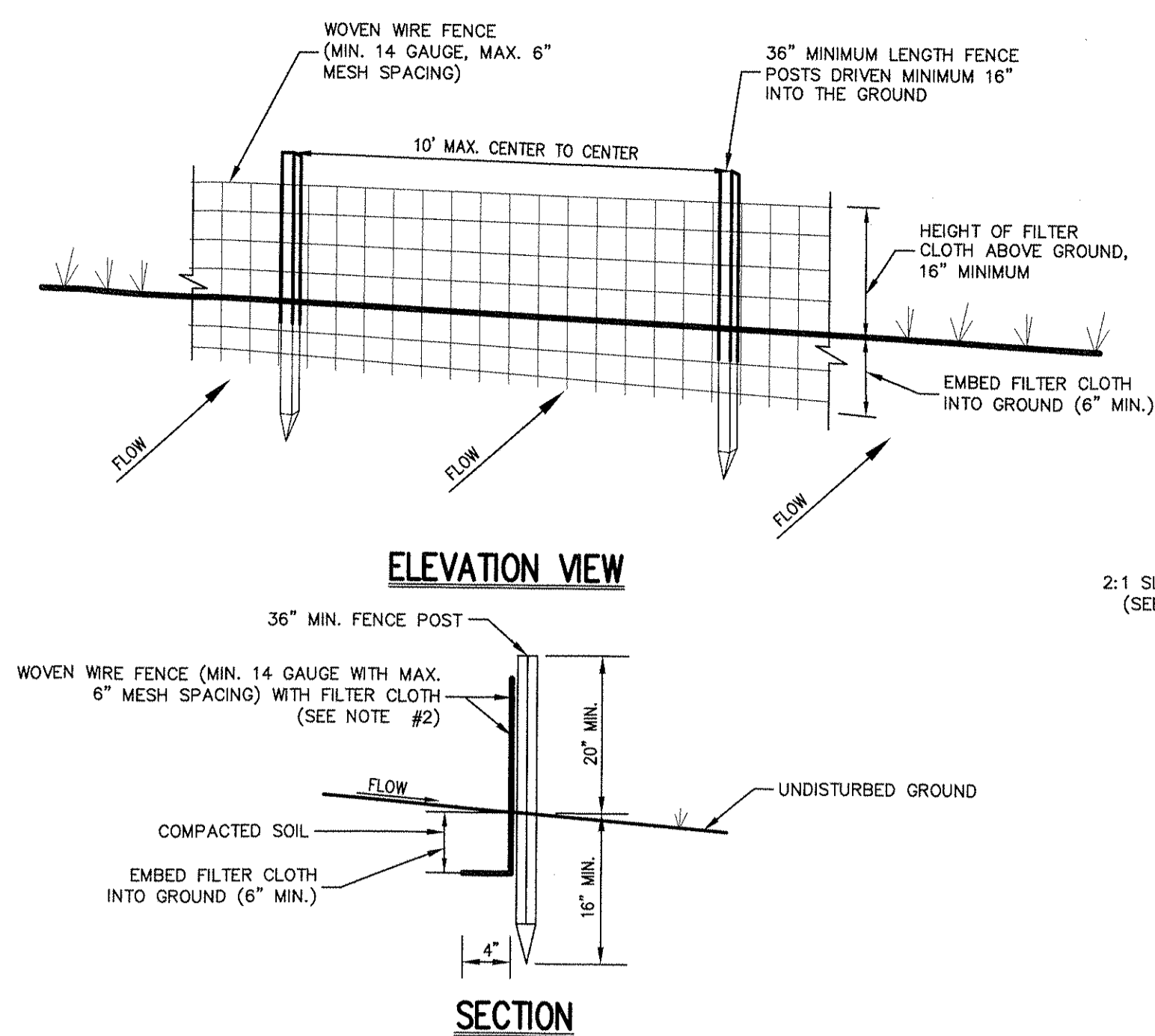
FIRE TRUCK - TURNING PLAN
 GARDERTOWN COMMONS
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

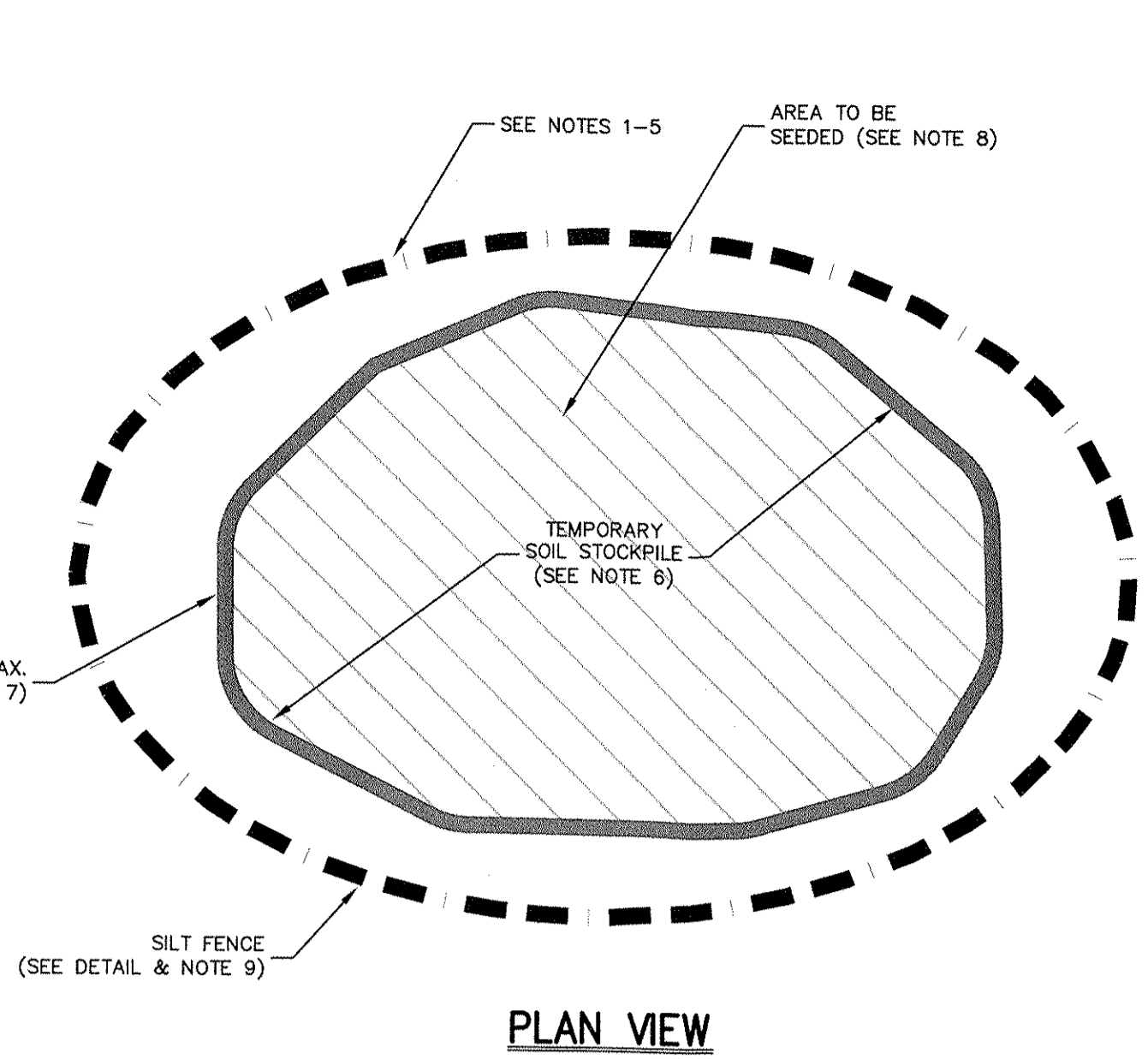
Drawn: MT	Approved: JS
Scale: 1" = 40'	
DWG: 02/19/2016	
Project No: 15155	
1500-01 TRUCK SP-10 TRUCK	
Drawing No: SP-10	



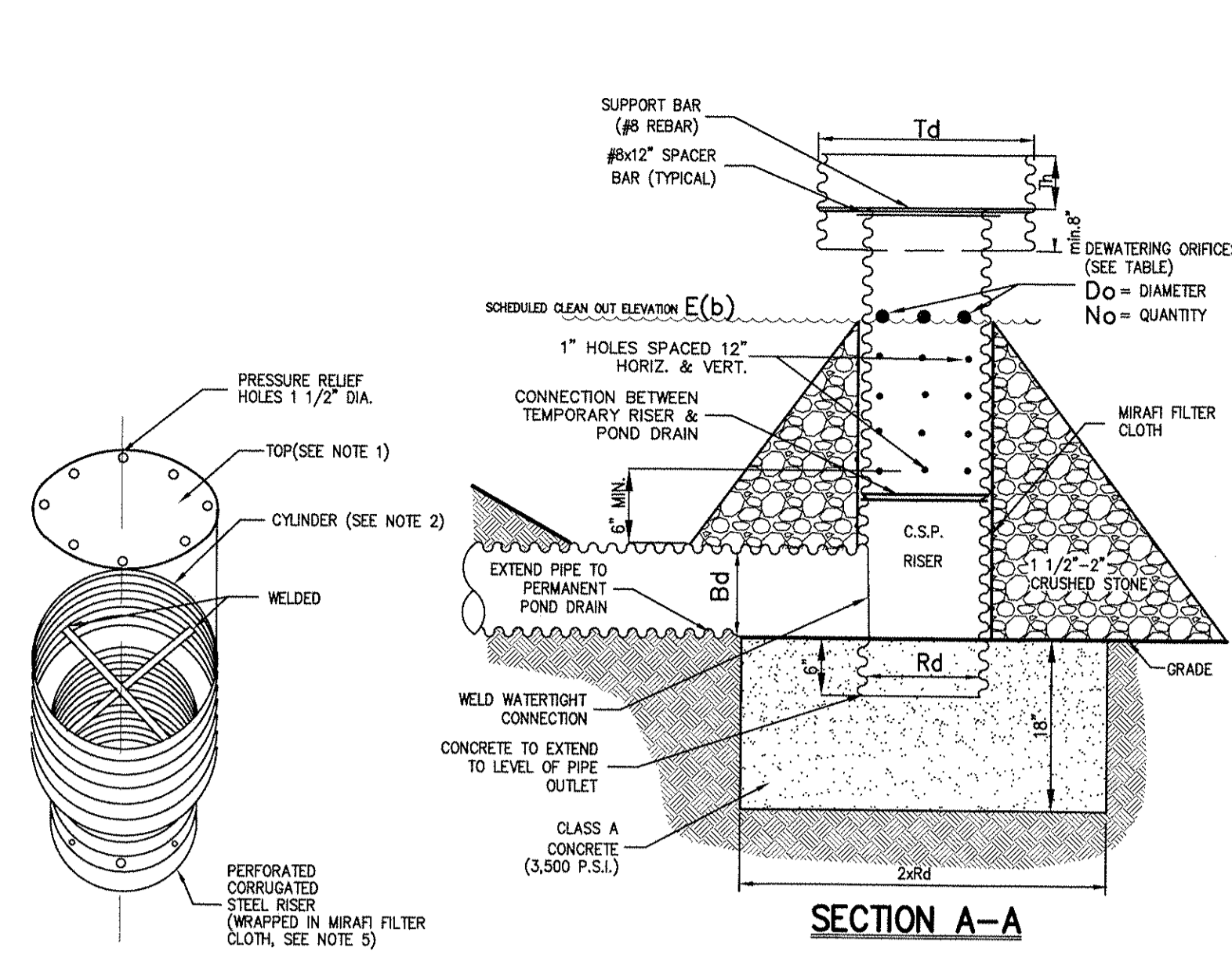
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>



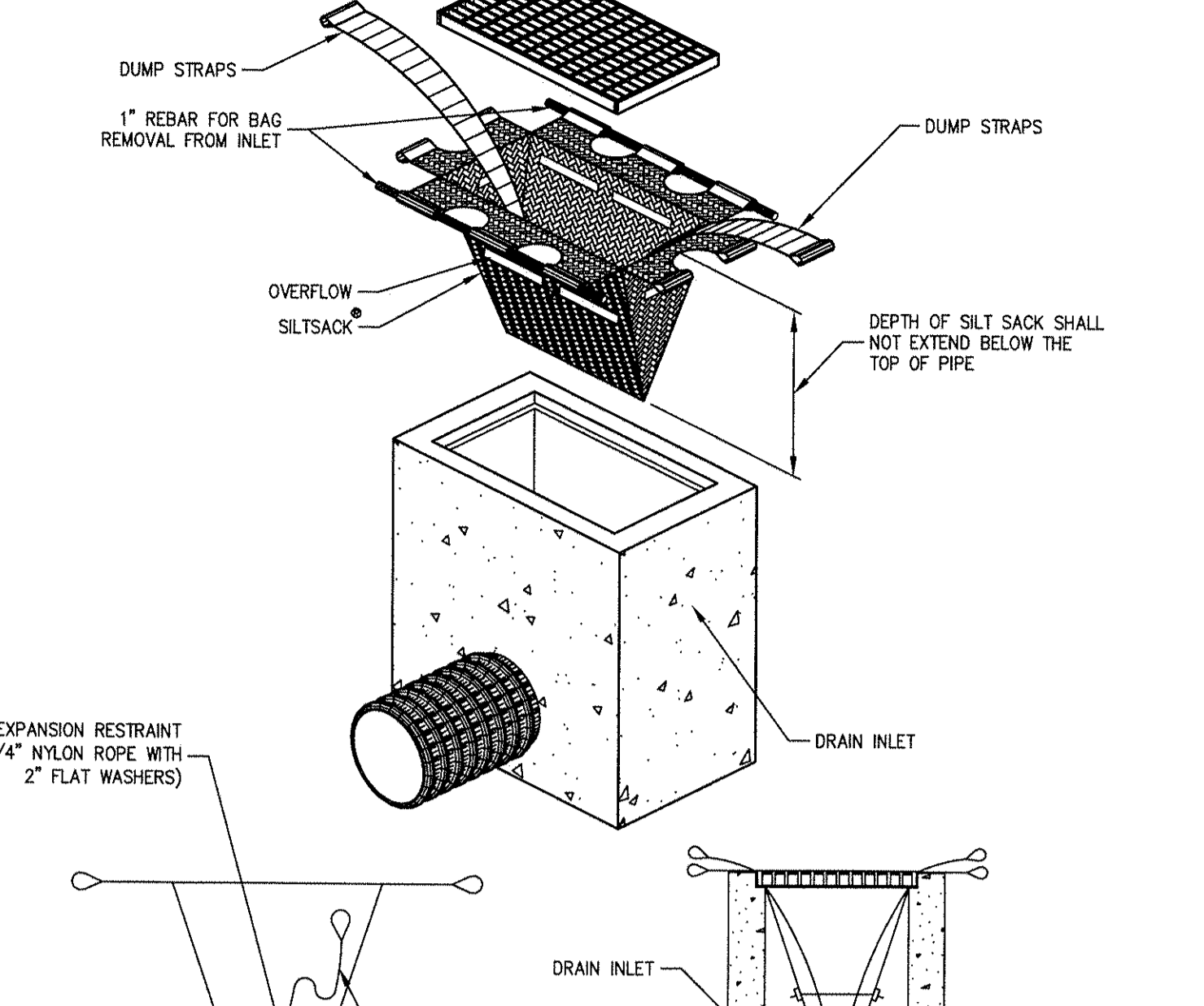
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>



- NOTES:**
- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
 - ALL STOCKPILES SHALL NOT EXCEED SLOPES GREATER THAN 2:1.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDING WITHIN 24 HOURS.
 - PERMANENT OR ANNUAL REVEGETATION SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CERIAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
 - ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



- NOTES:**
- TOP SHALL BE 12 GAUGE CORRUGATED STEEL ON 1/4\"/>



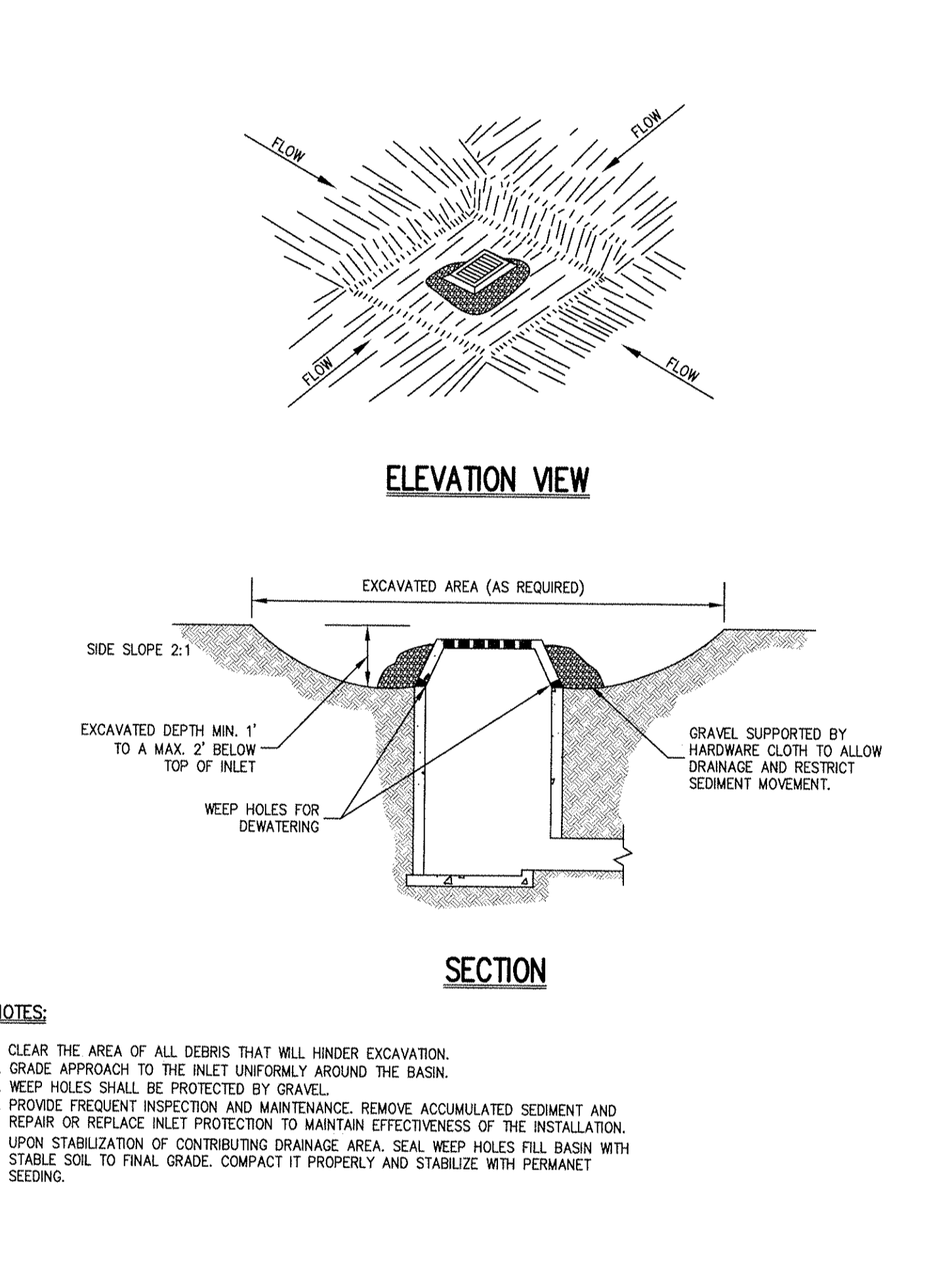
- NOTES:**
- SILT SACK SHALL BE CLEANED AFTER EVERY RAIN EVENT AND INSPECTED EVERY 2 WEEKS.

SILT FENCE

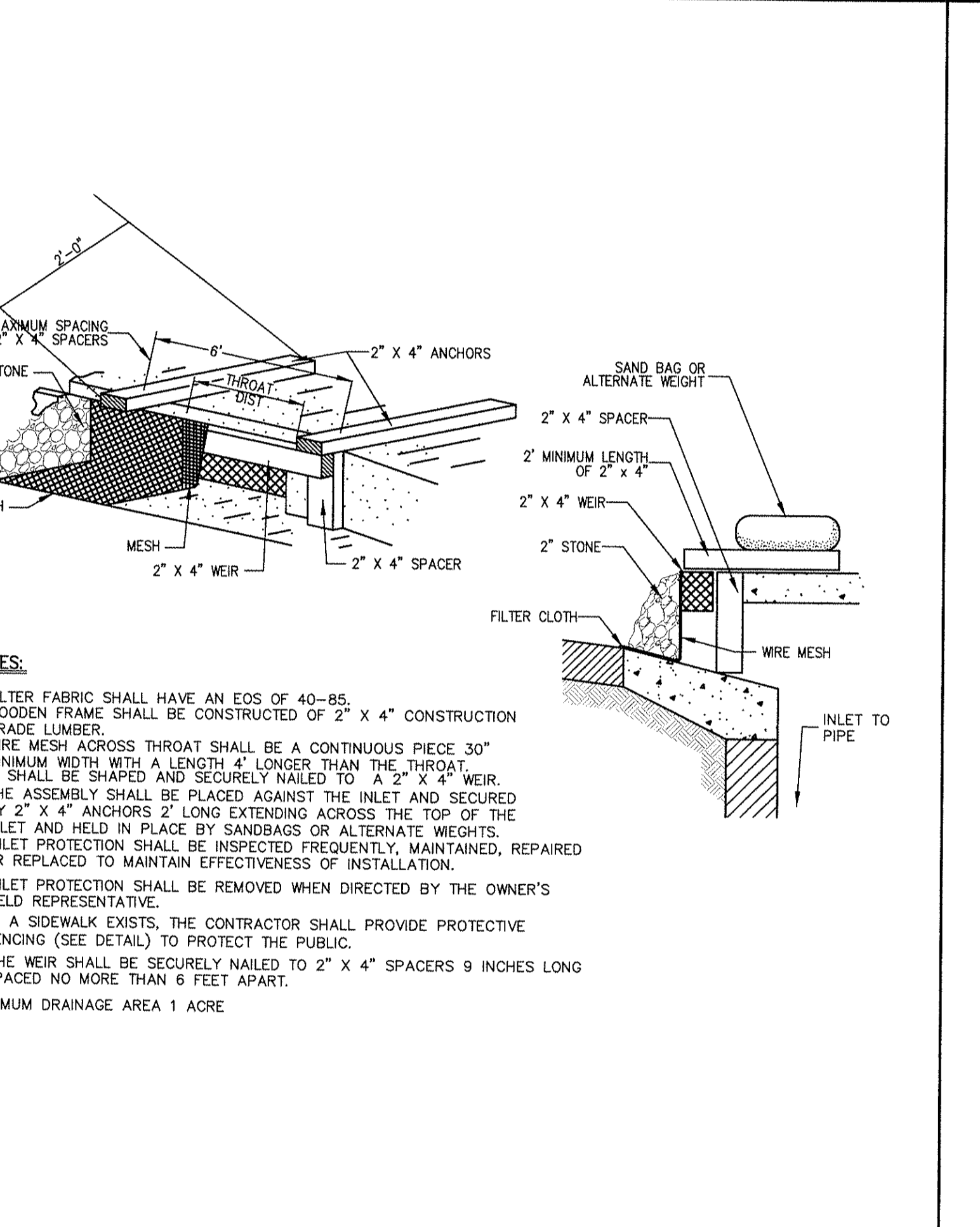
TEMPORARY SOIL STOCKPILE WITH SILT FENCE

TEMPORARY RISER & ANTI-VORTEX DEVICE

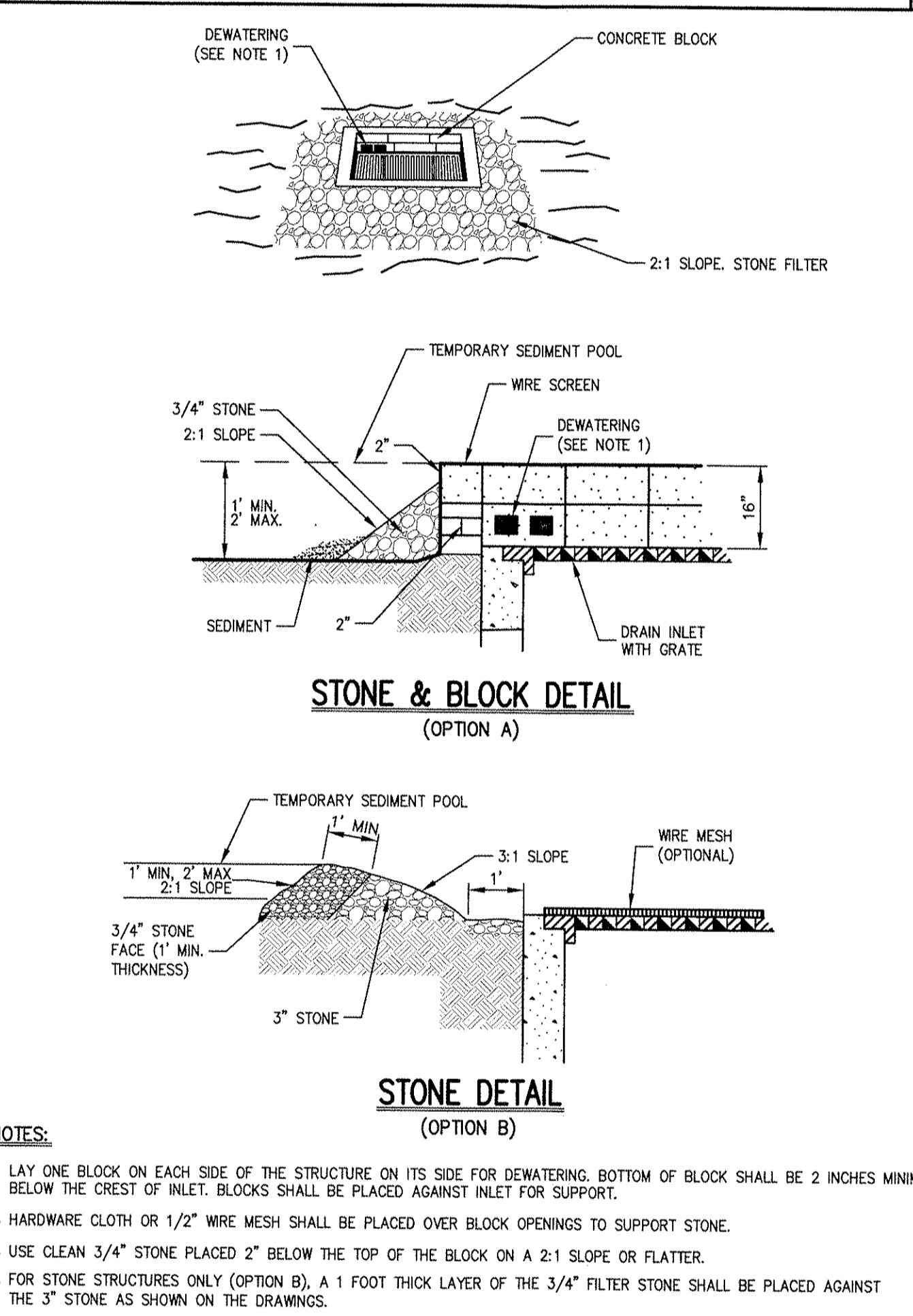
SILT SACK (ONLY IN EXISTING ROADWAYS)



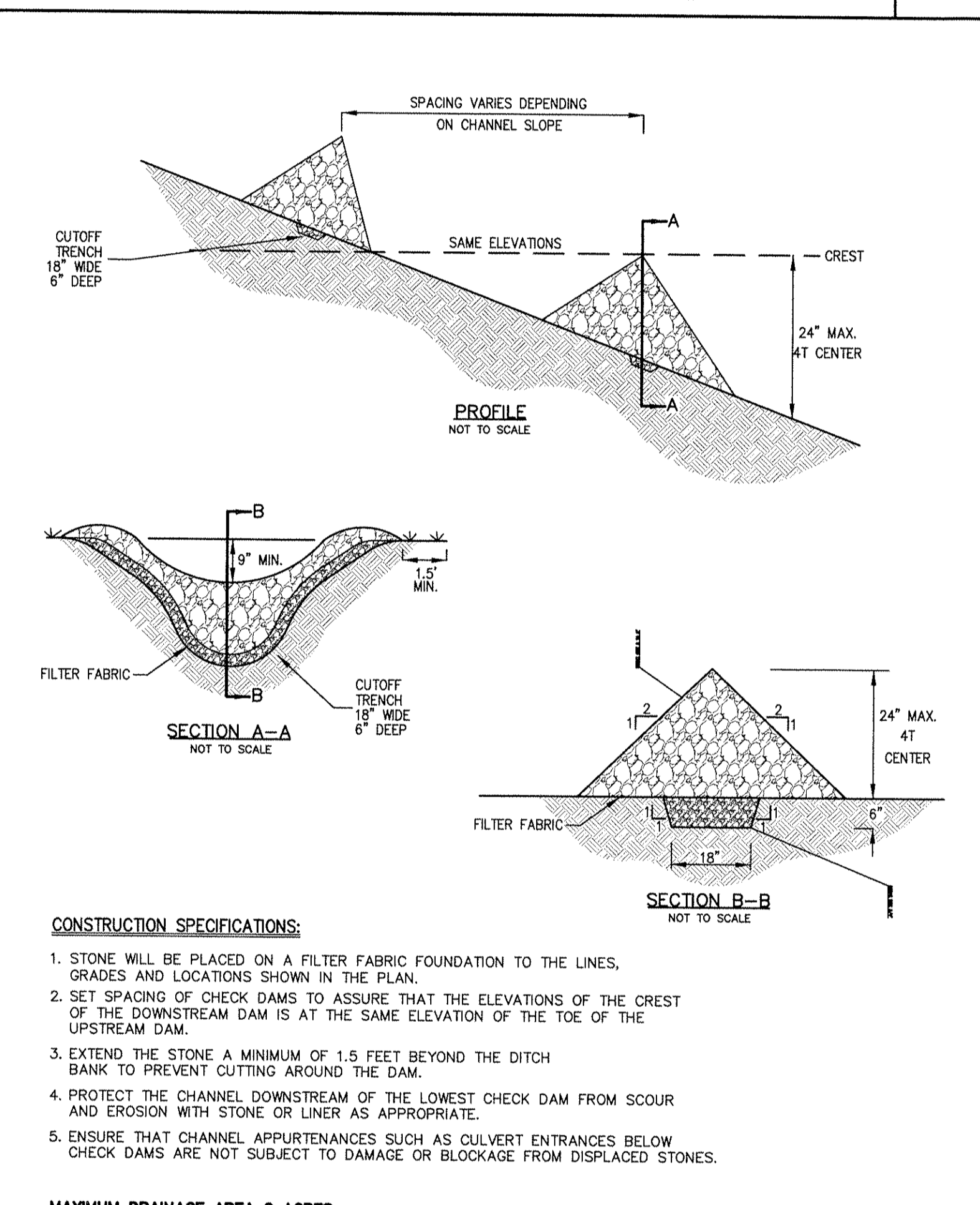
EXCAVATED DRAIN INLET PROTECTION



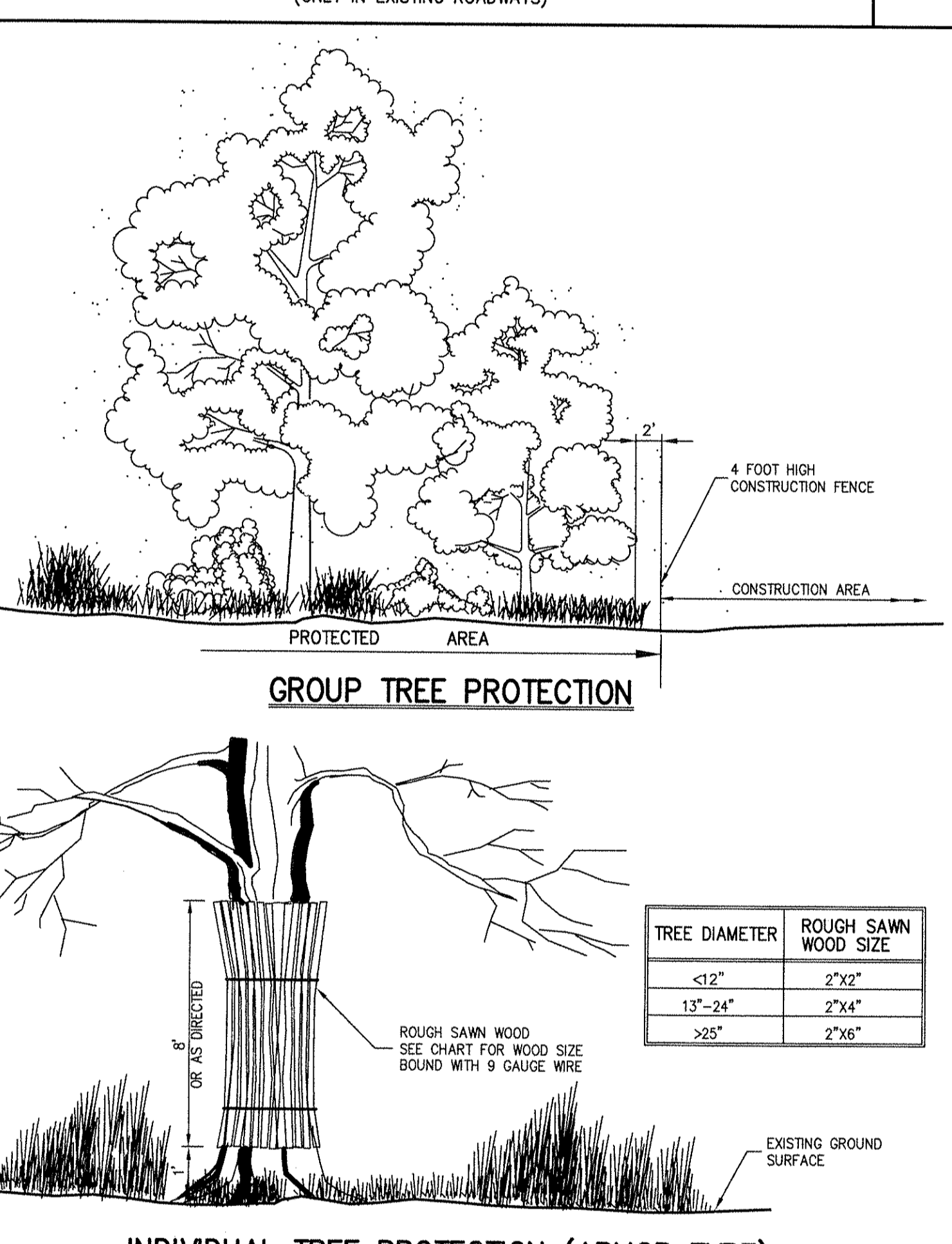
CURB DROP INLET PROTECTION STRUCTURE



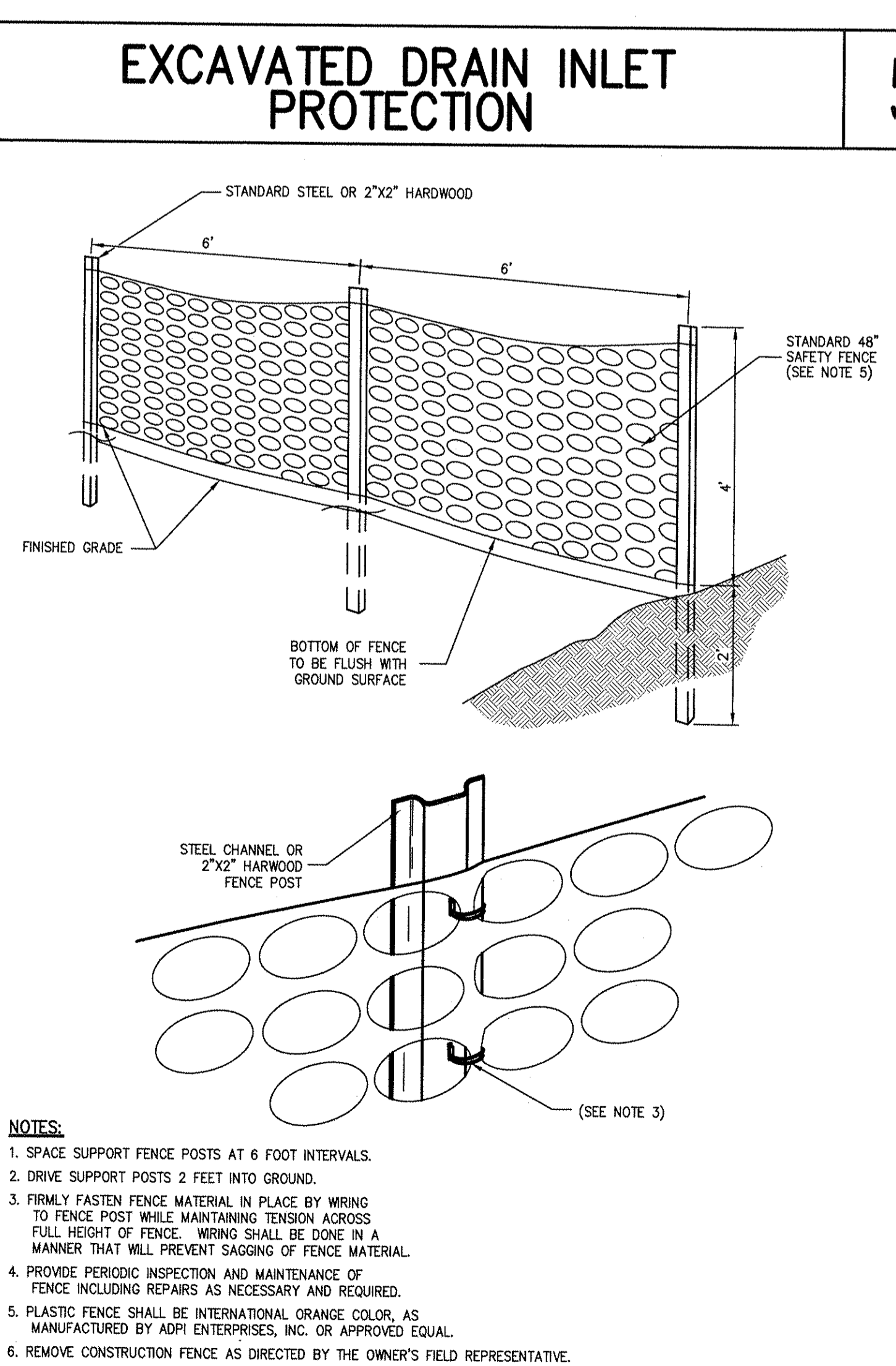
STONE & BLOCK DRAIN INLET PROTECTION



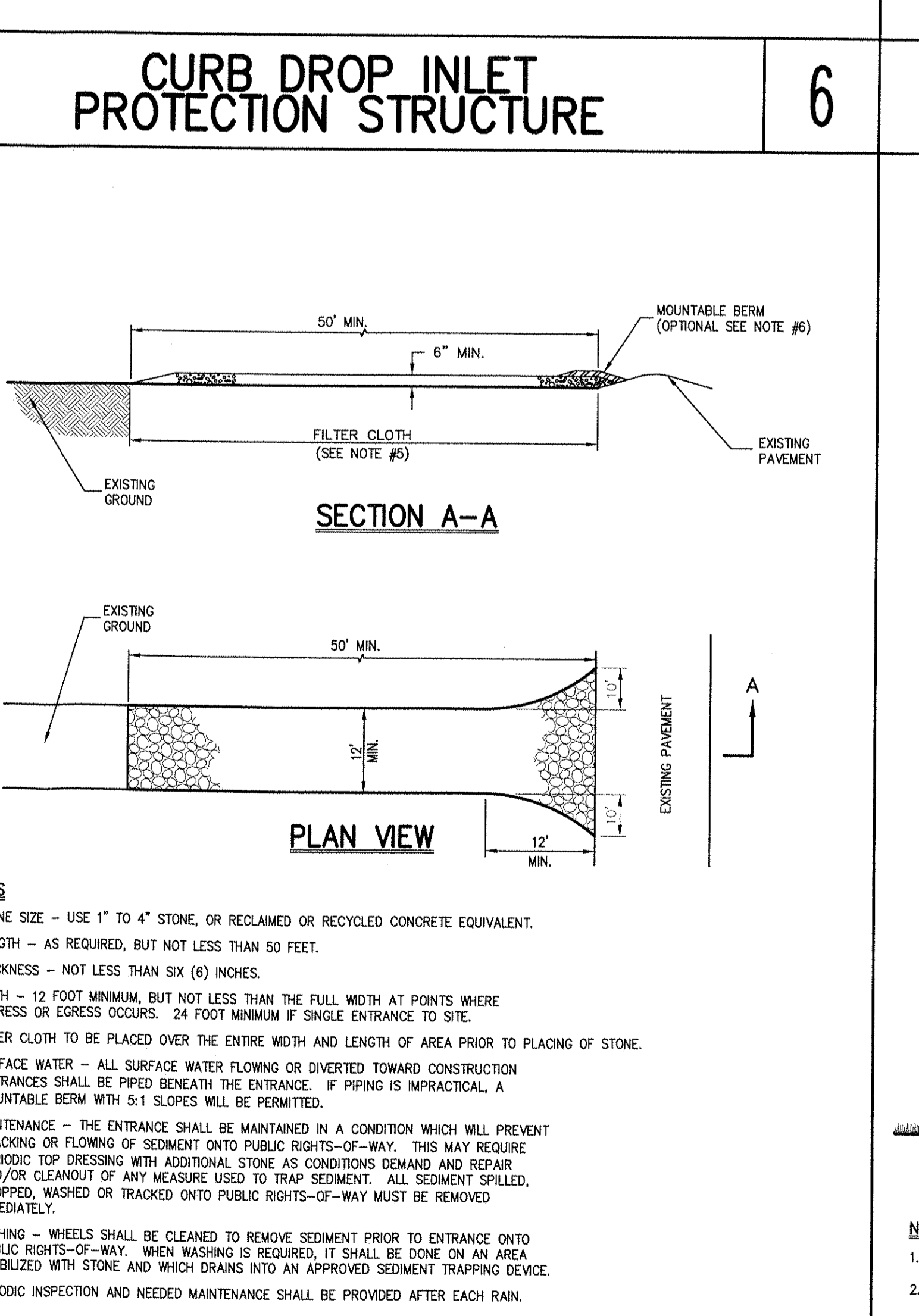
STONE CHECK DAM



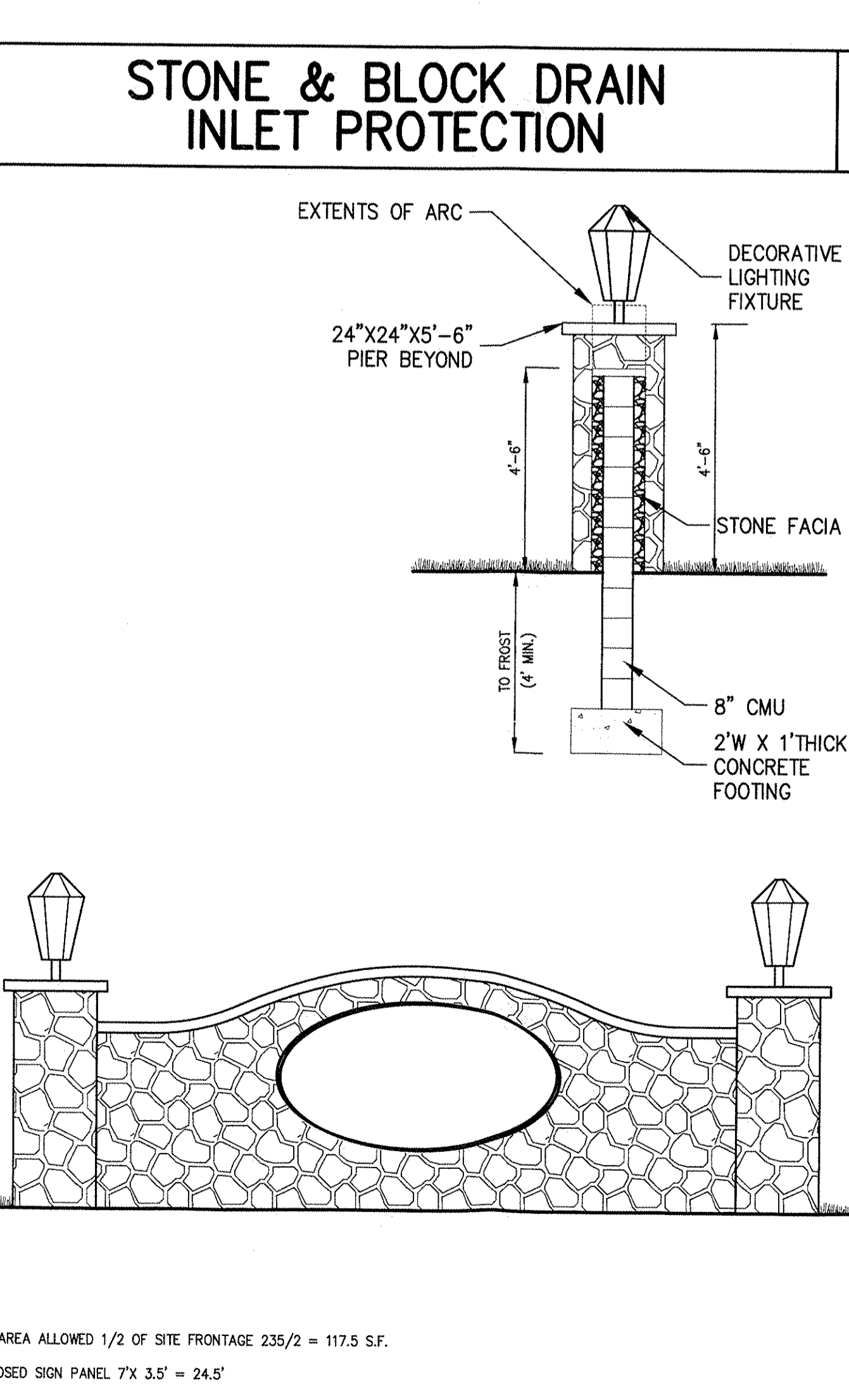
TREE PROTECTION



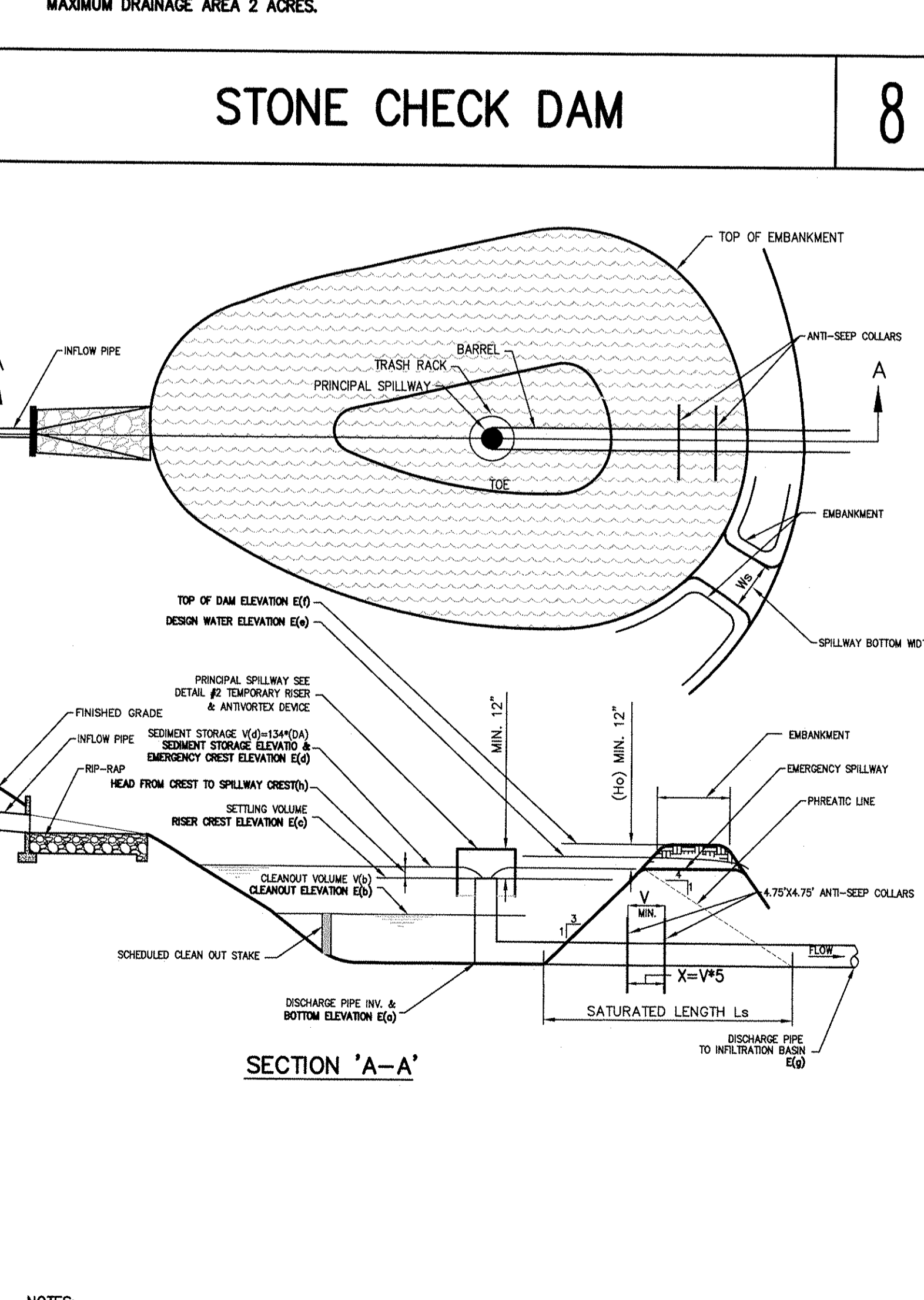
CONSTRUCTION FENCE



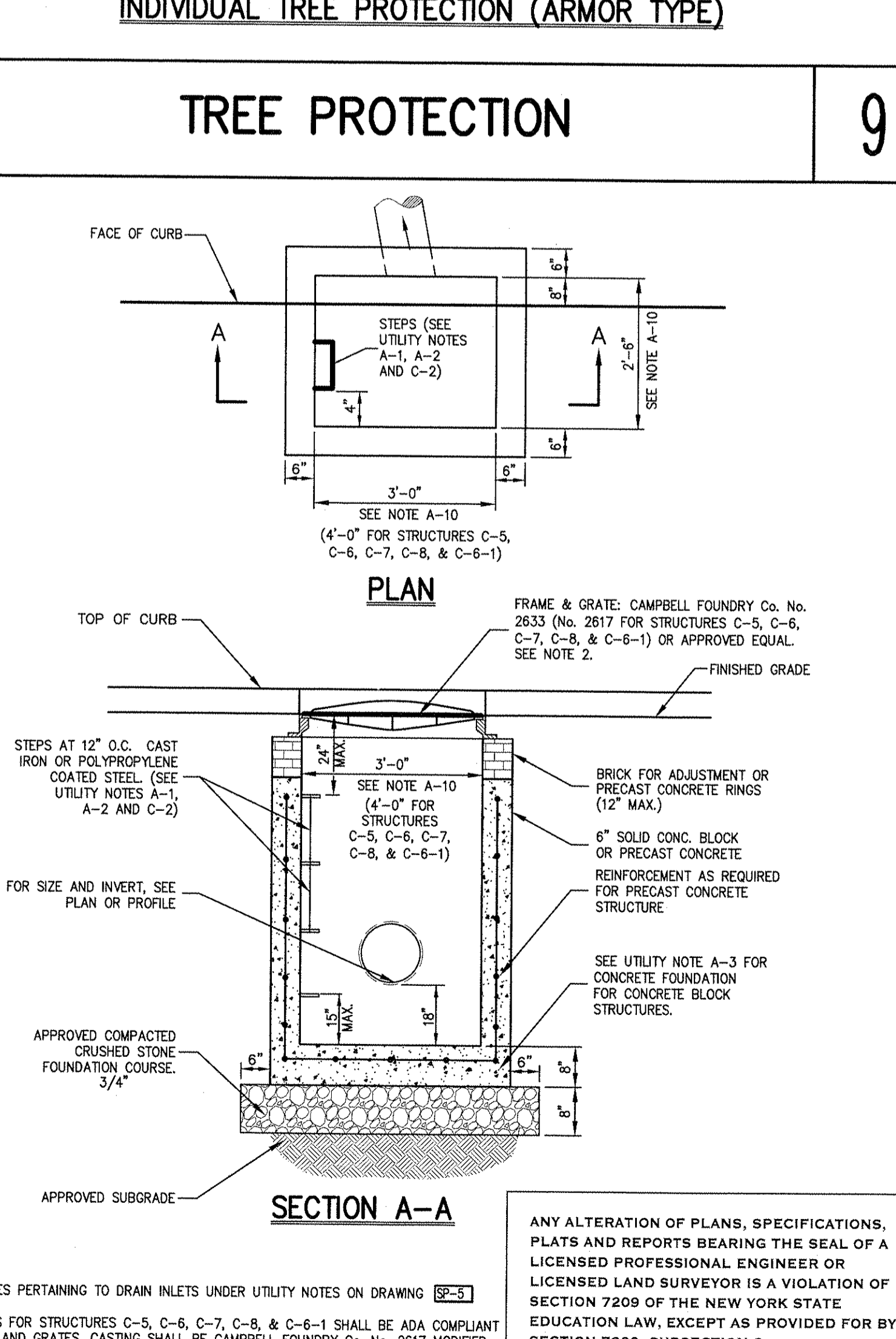
STABILIZED CONSTRUCTION ENTRANCE



DECORATIVE STONE WALL & PIERS



TEMPORARY SEDIMENT BASIN DETAIL



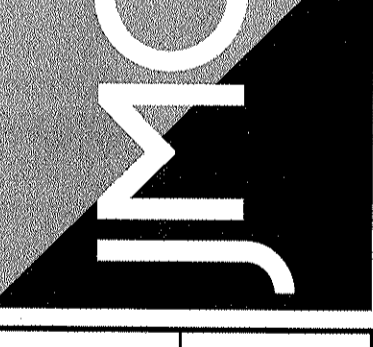
DRAIN INLET (TYPE CI)

Scale	MT	Approved	JS
Scale	NOT TO SCALE		
Date	02/19/2016		
Project No.	15155		
Sheet No.	DET 1		

FARRELL BUILDING COMPANY, LLC
1607 VETERANS MEMORIAL HIGHWAY
ISLANDIA, NY 11749

MAURI ARCHITECTS PC
303 MILL STREET
POUGHKEEPSIE, NY 12601

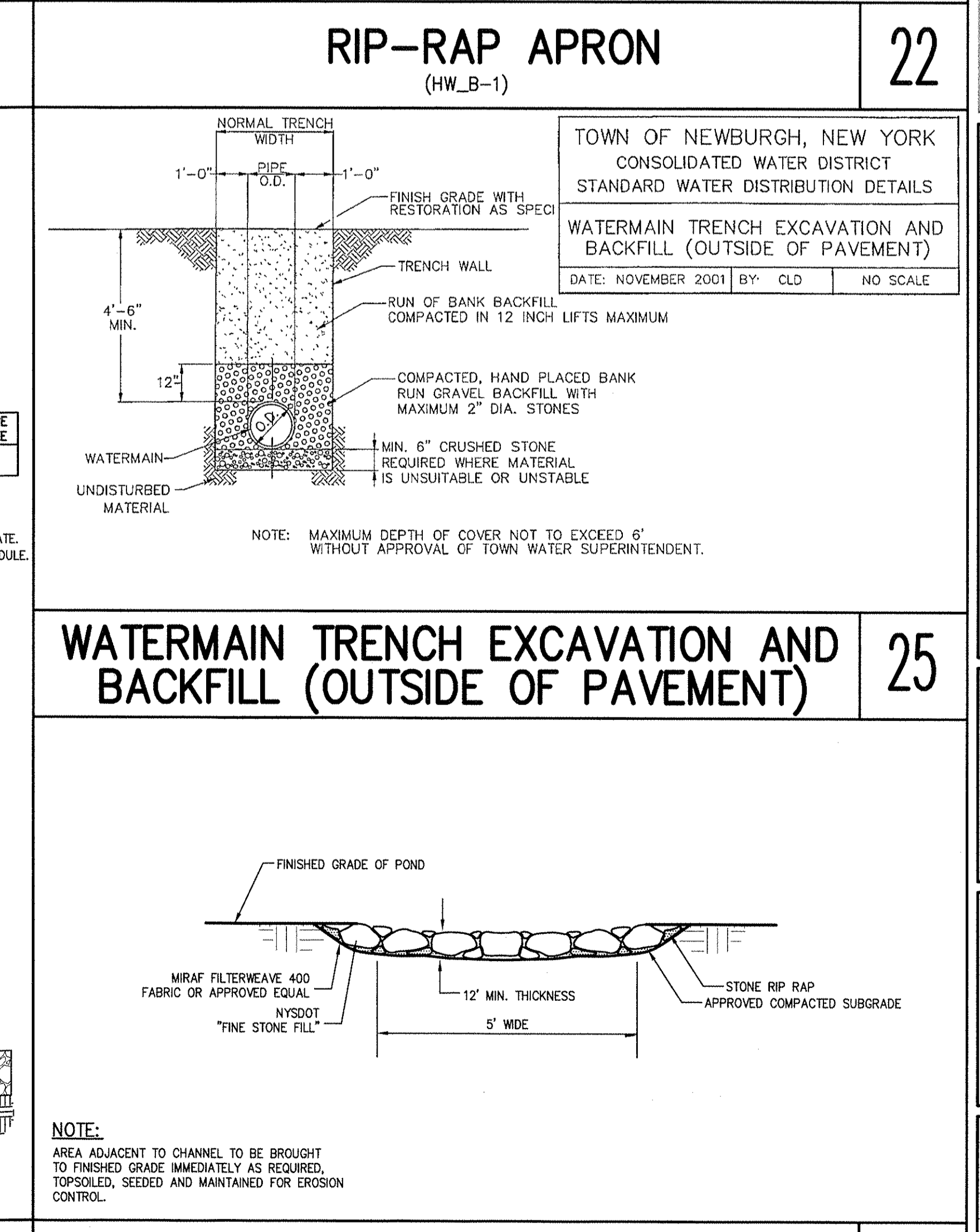
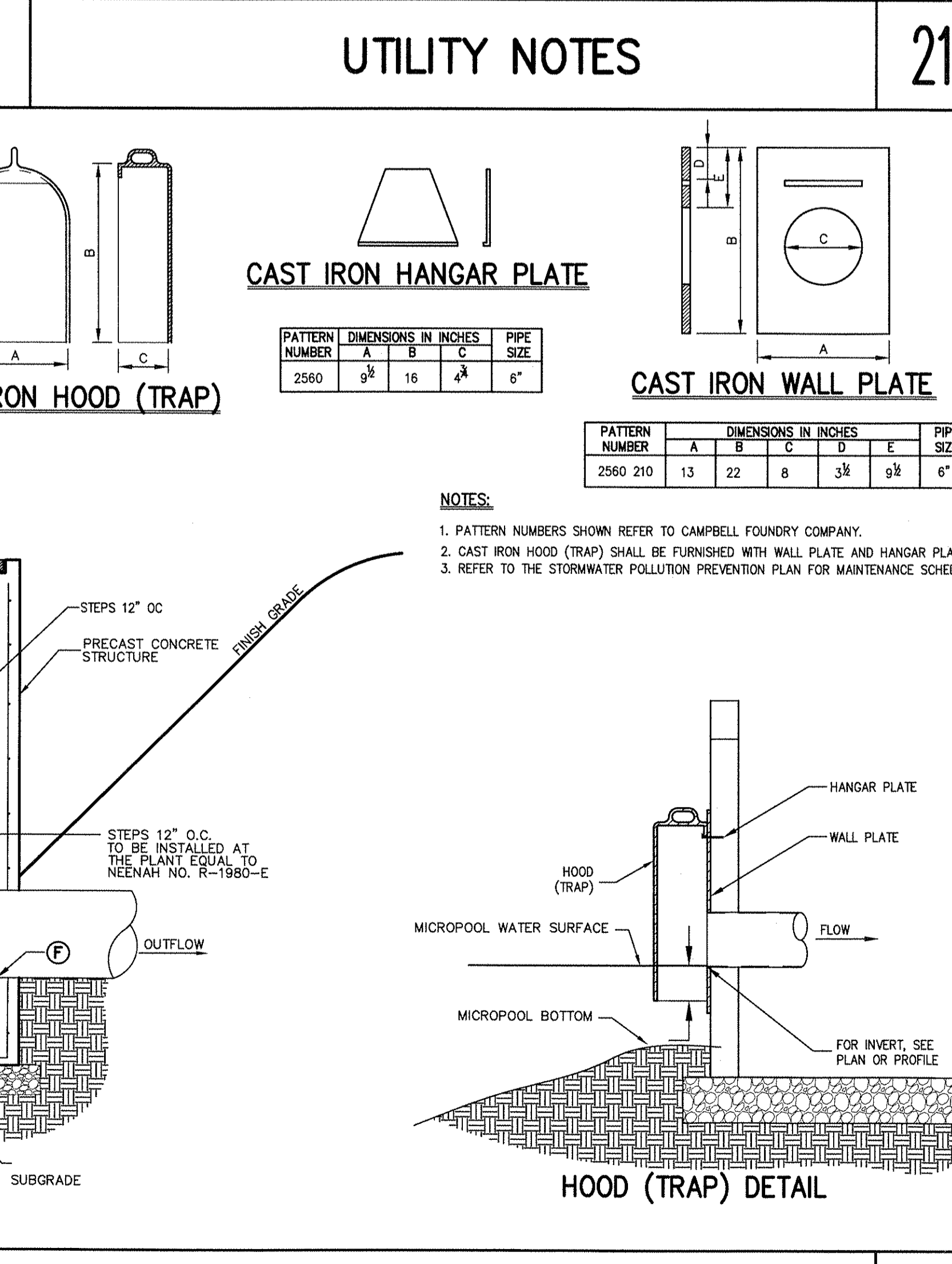
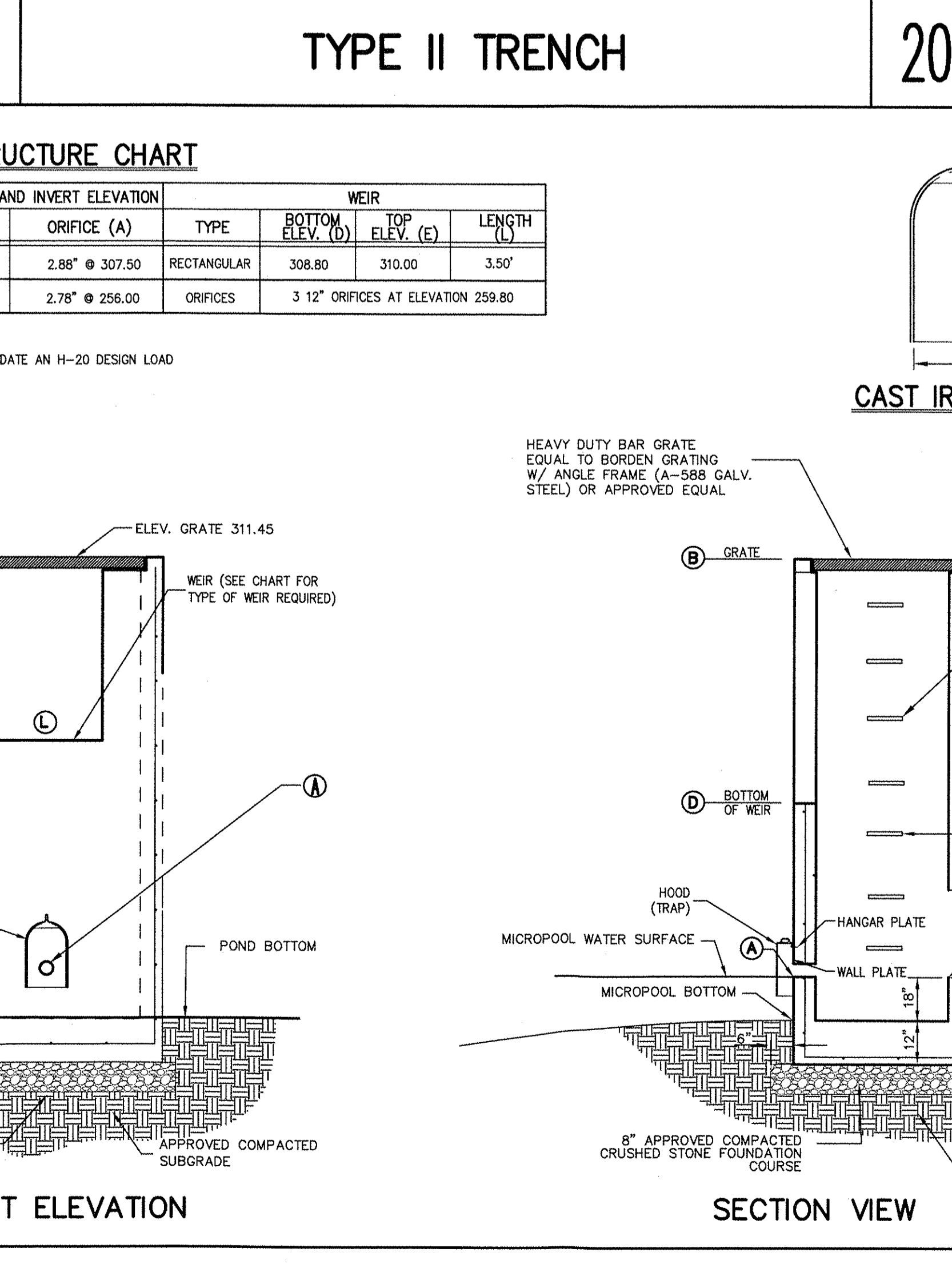
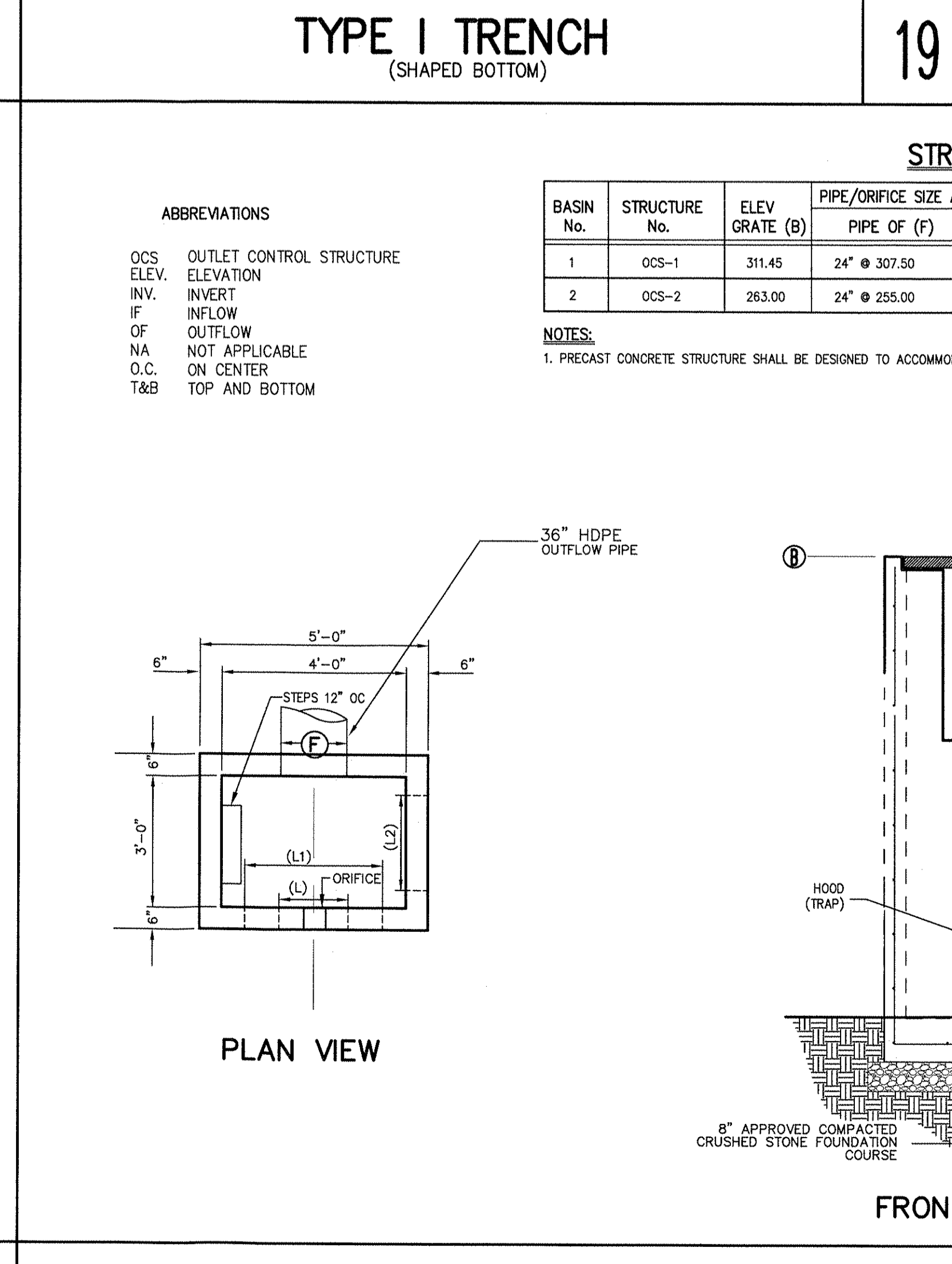
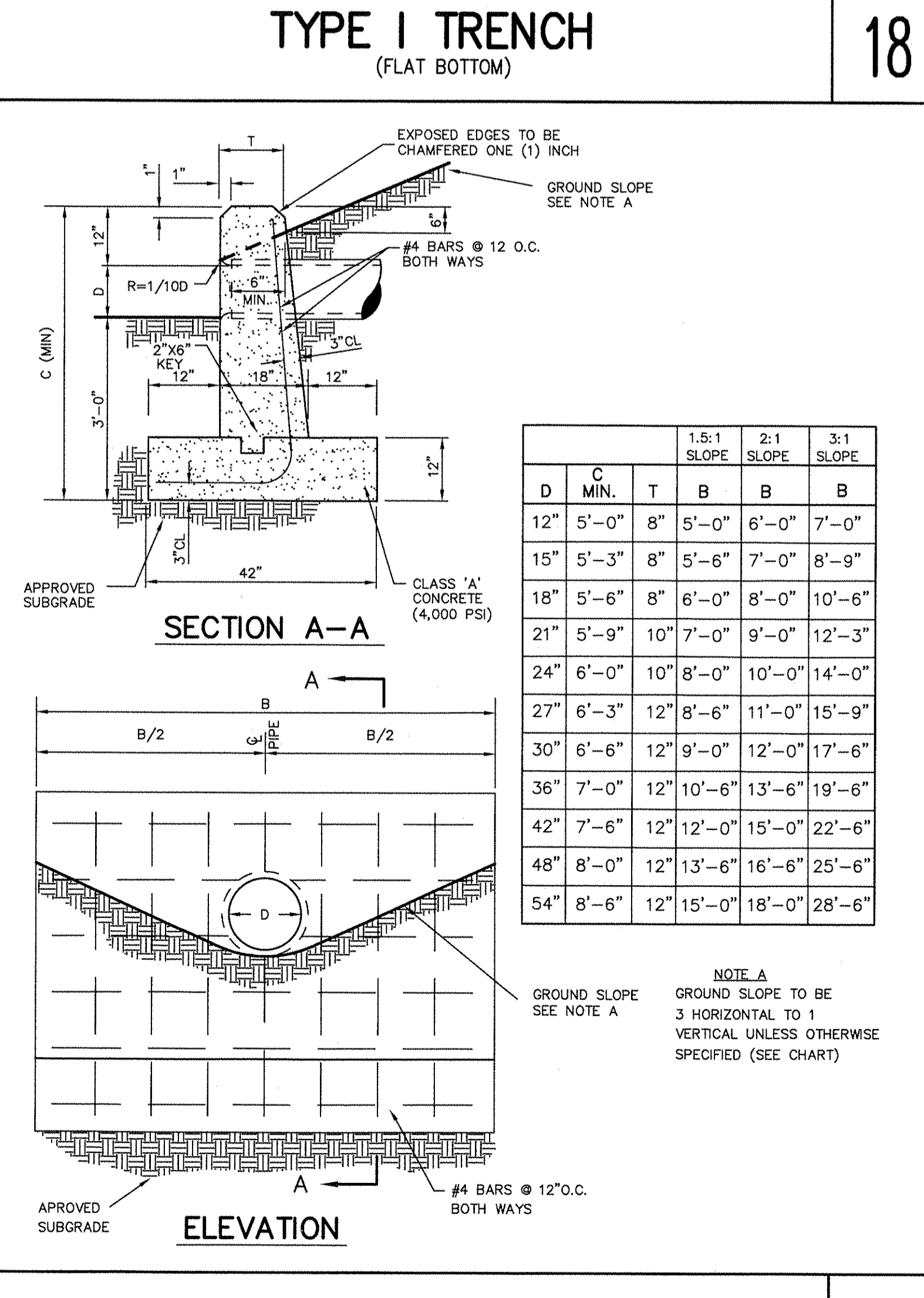
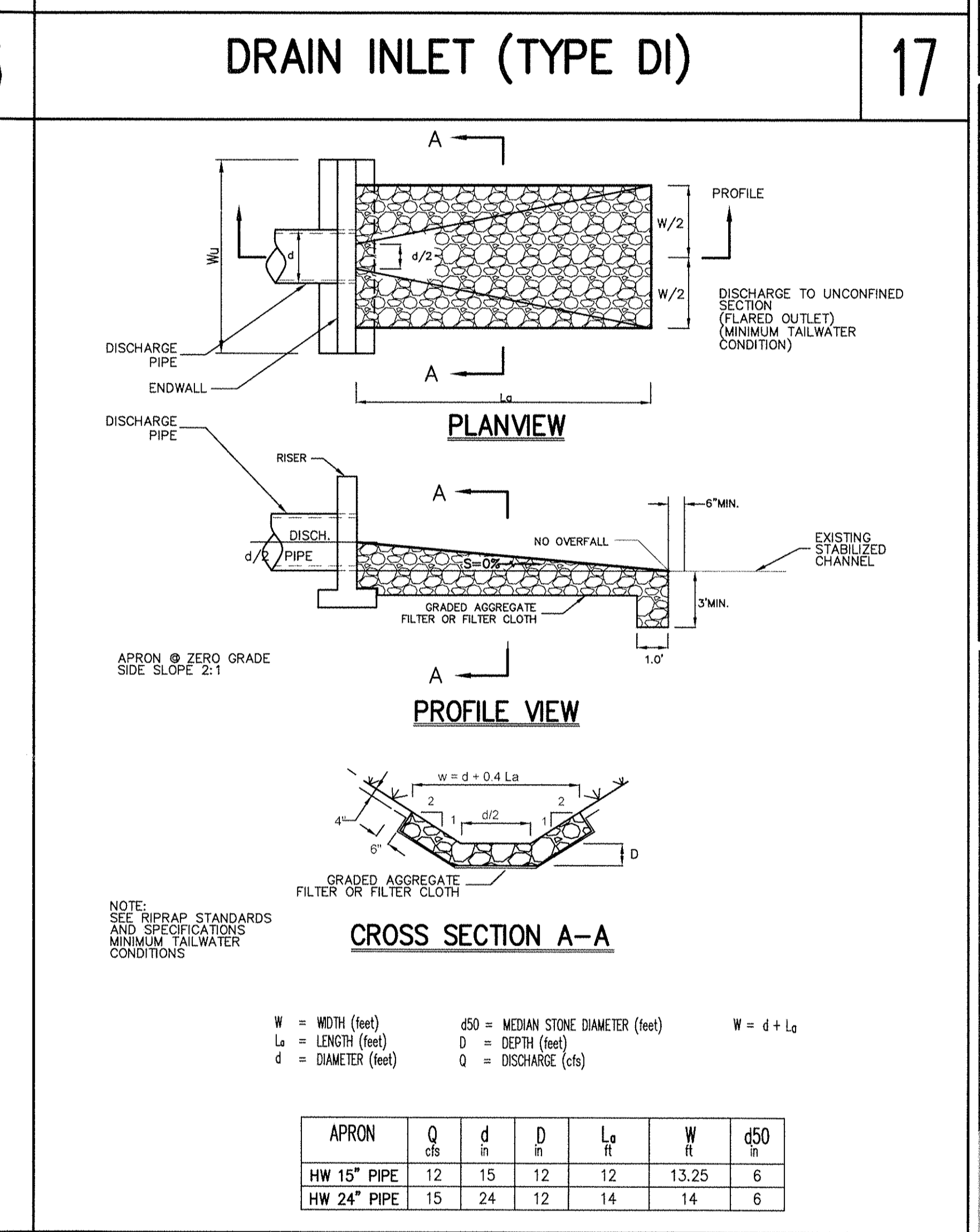
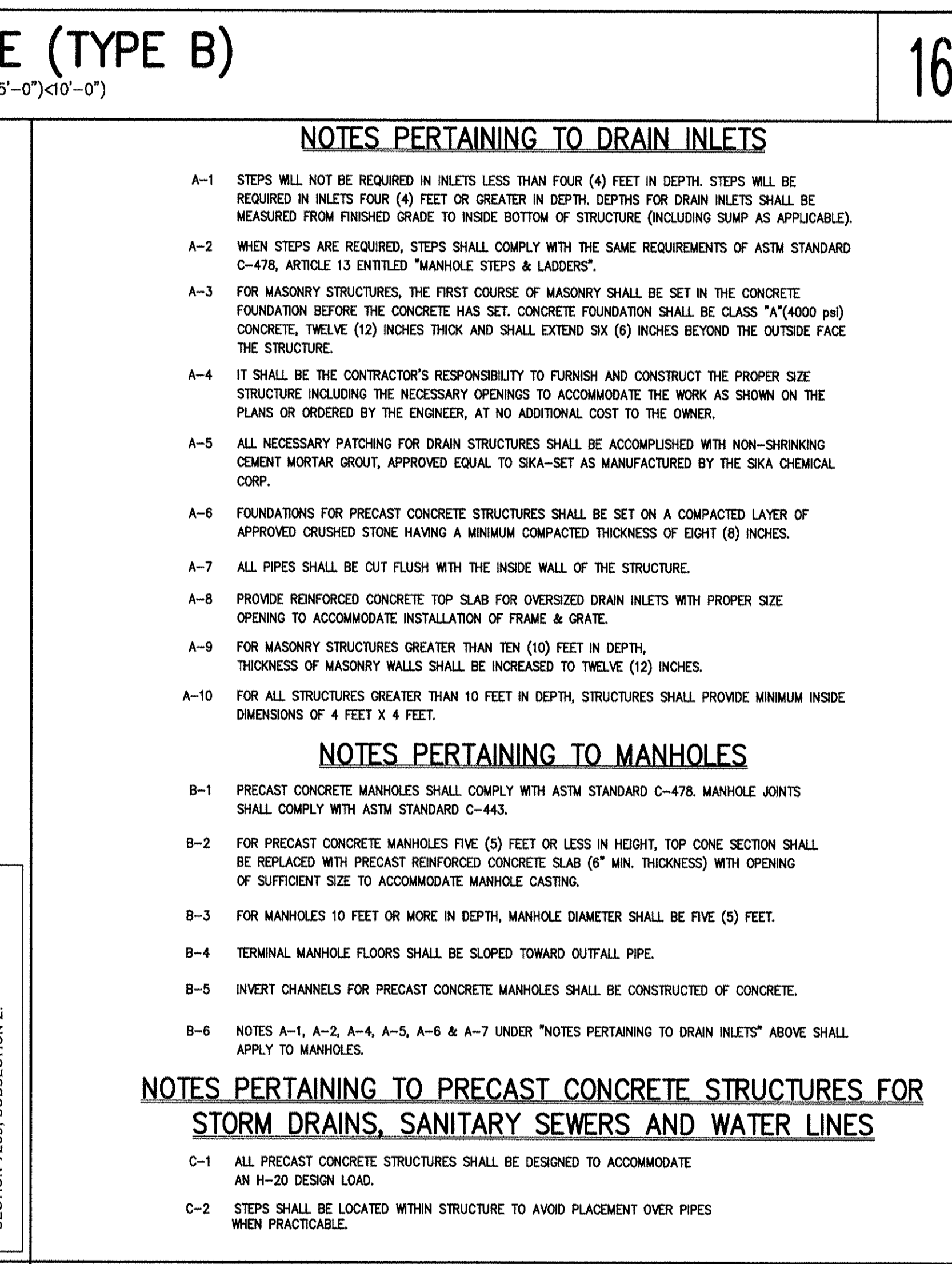
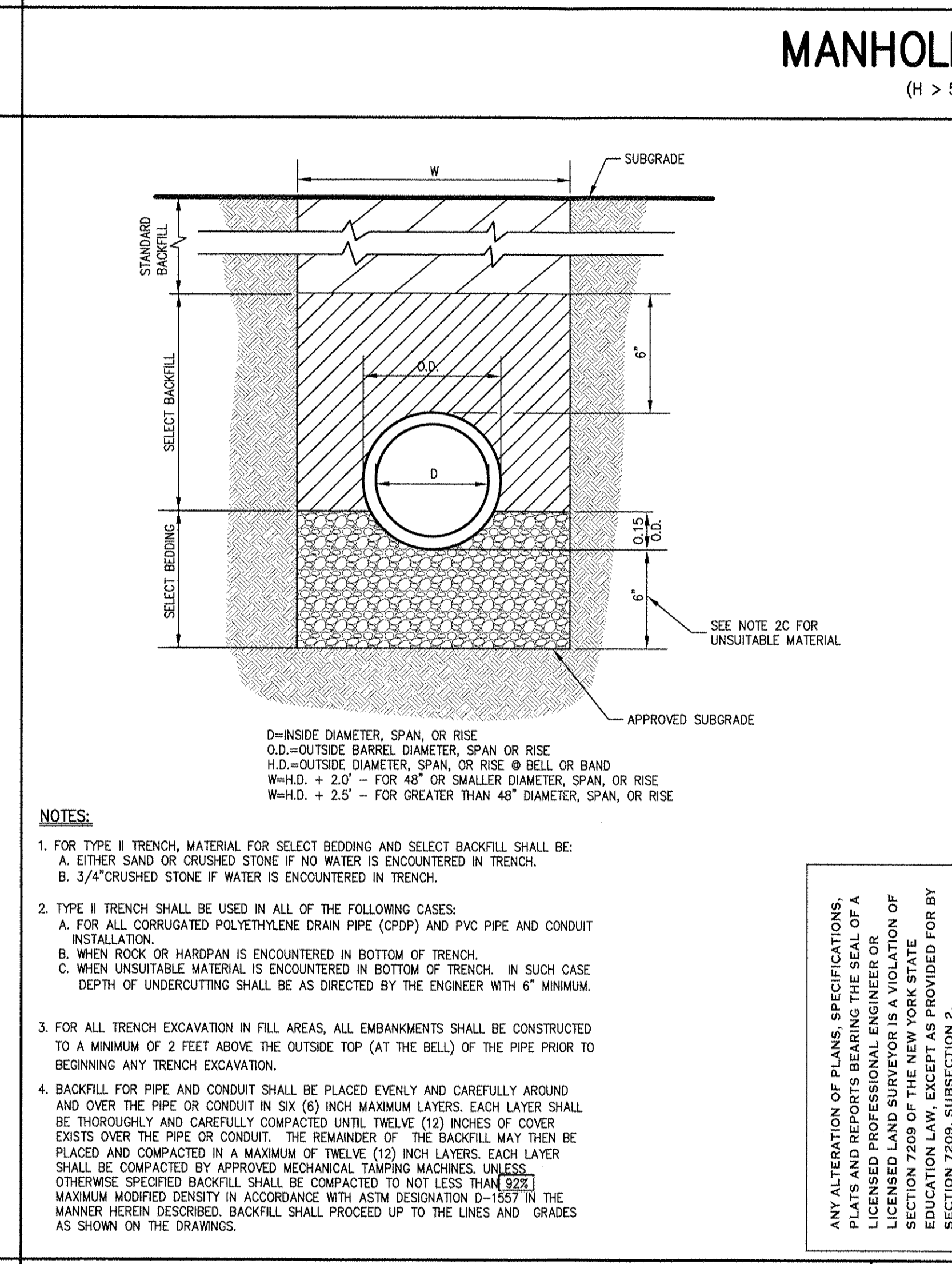
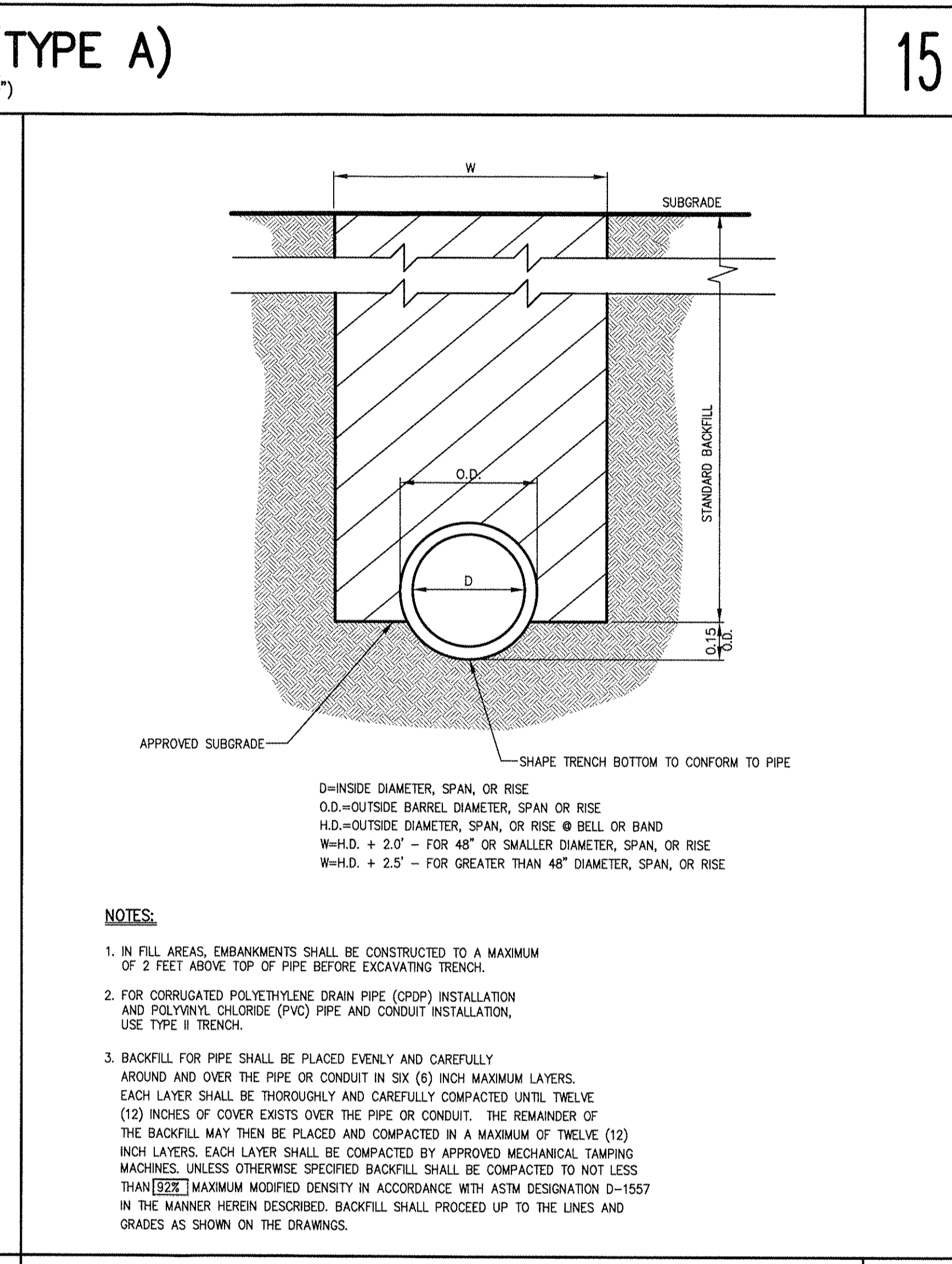
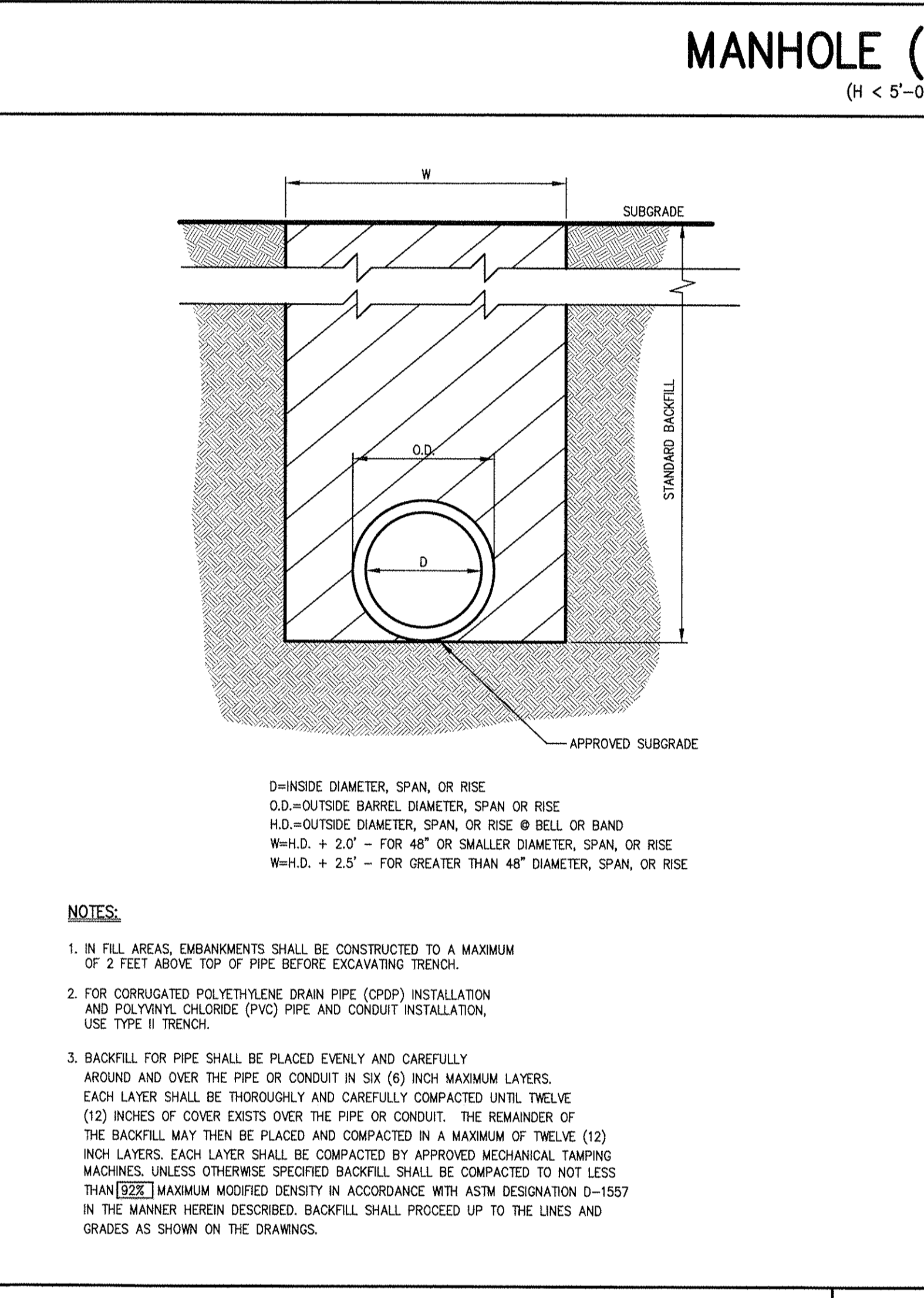
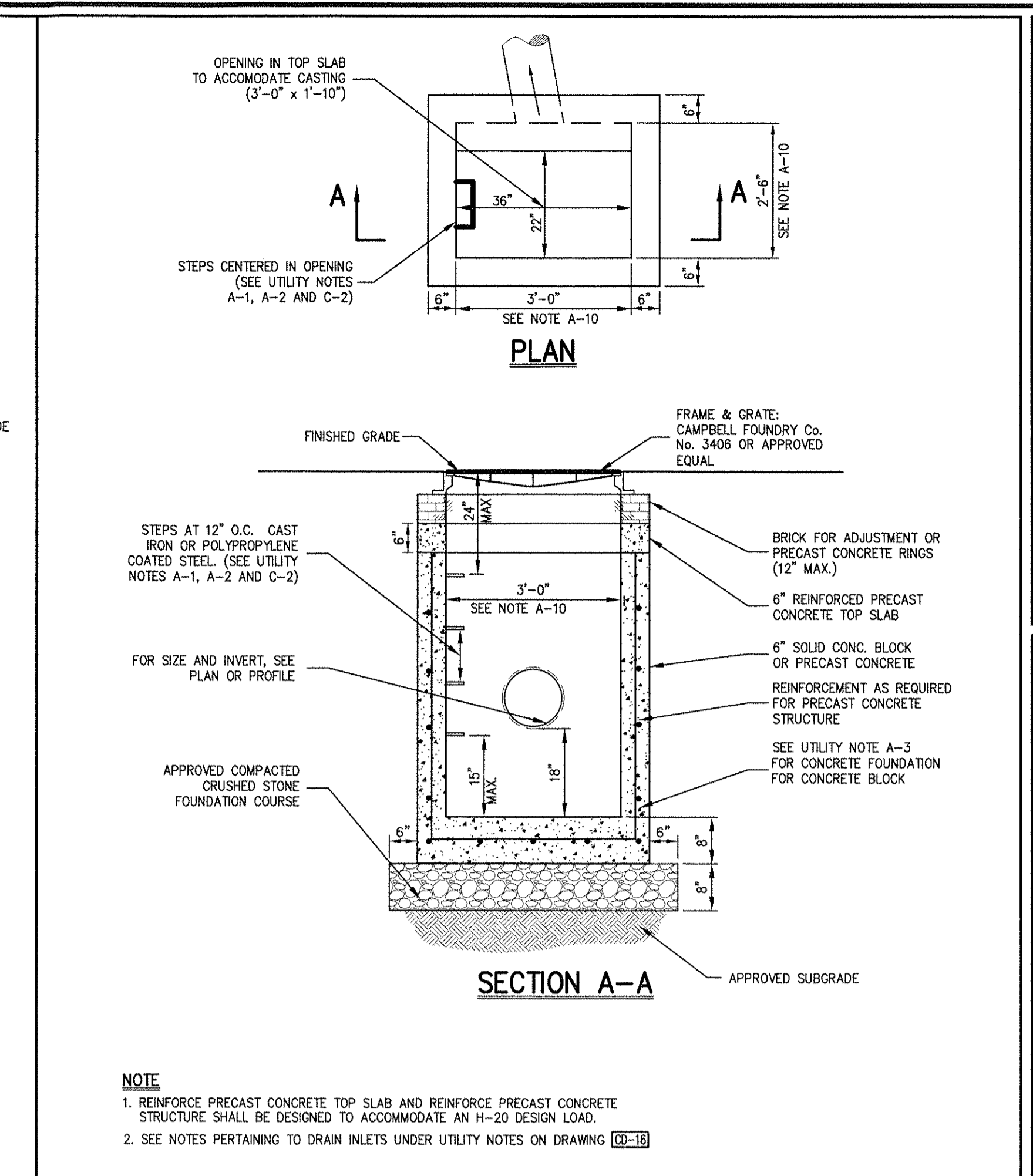
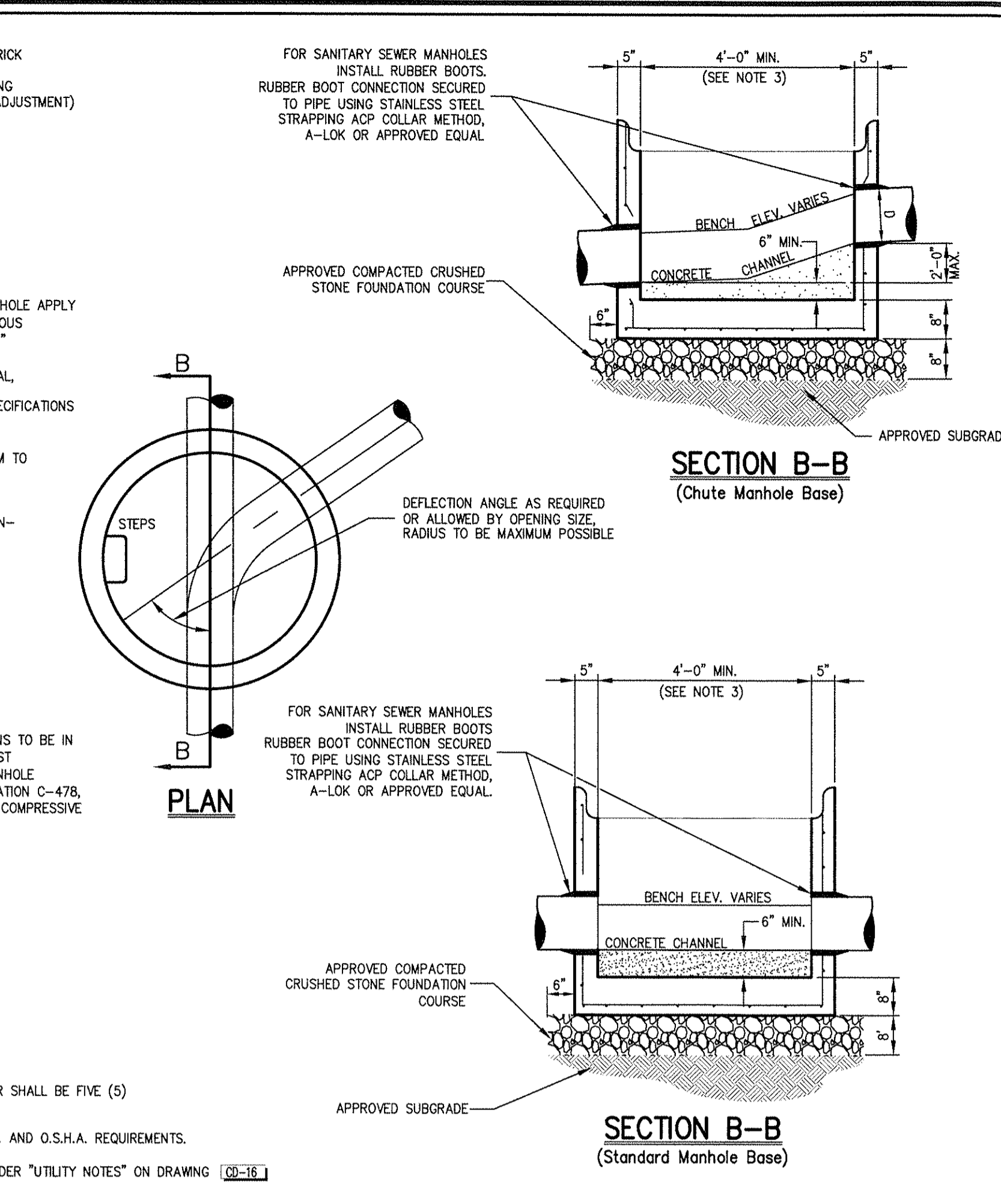
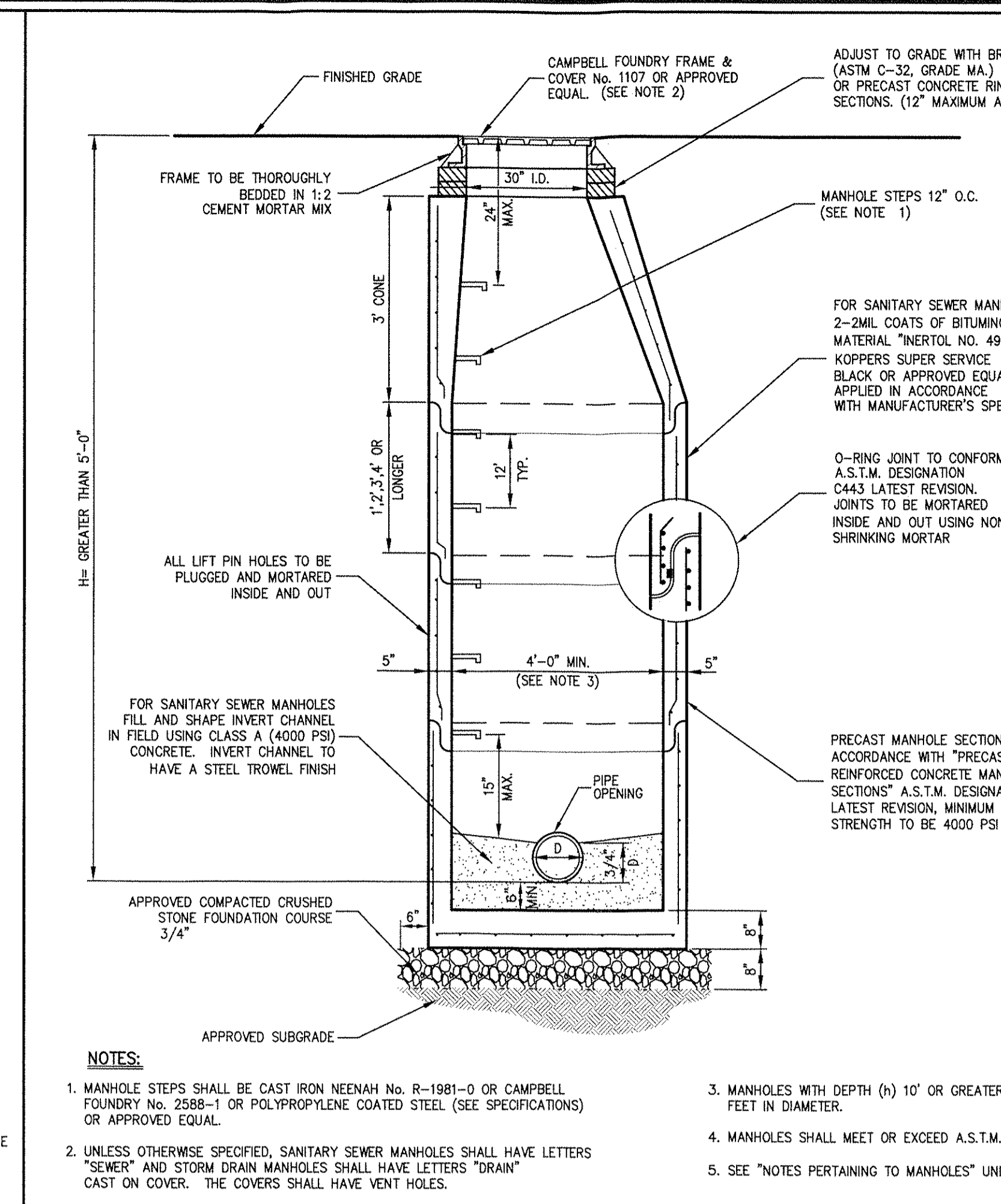
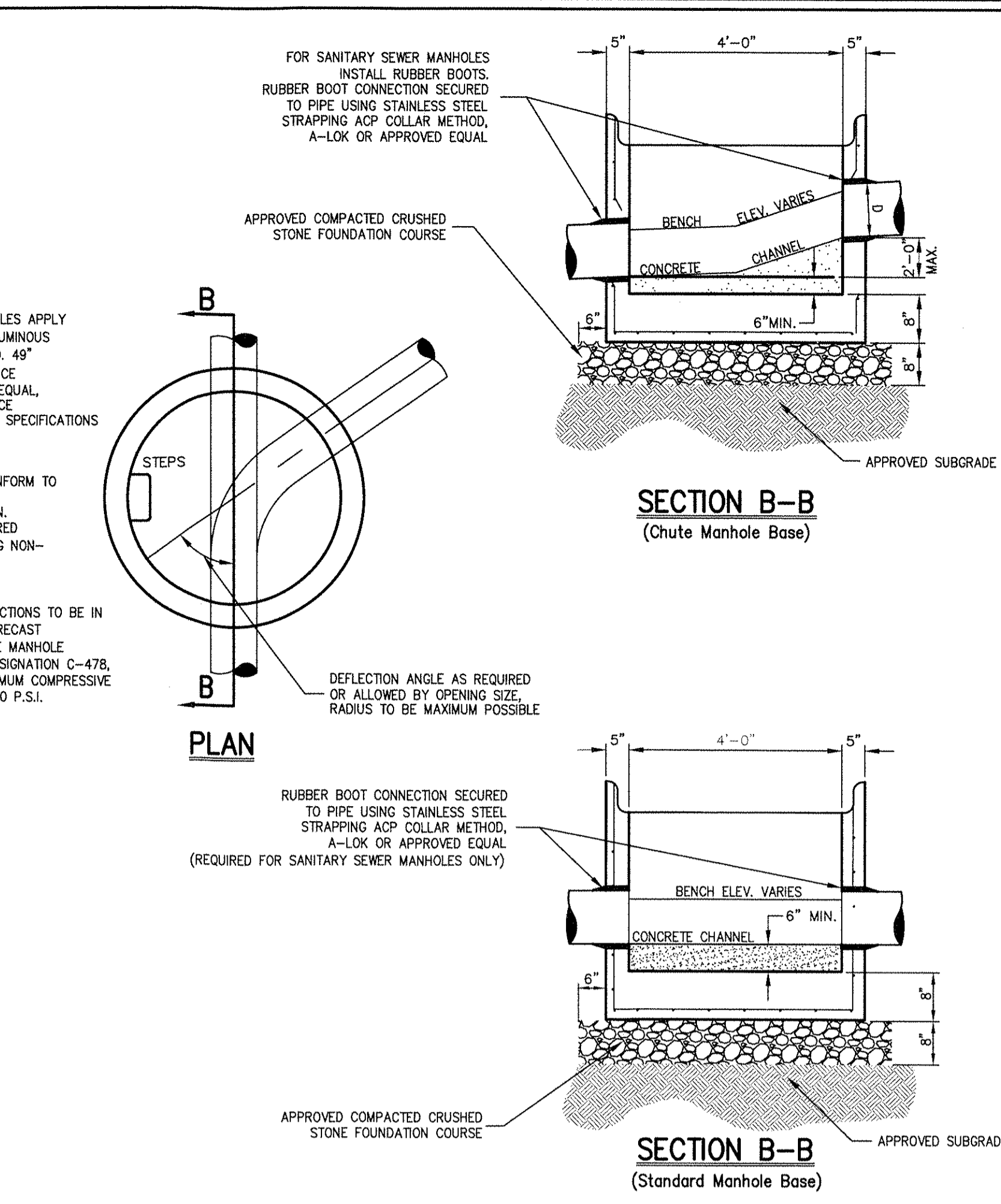
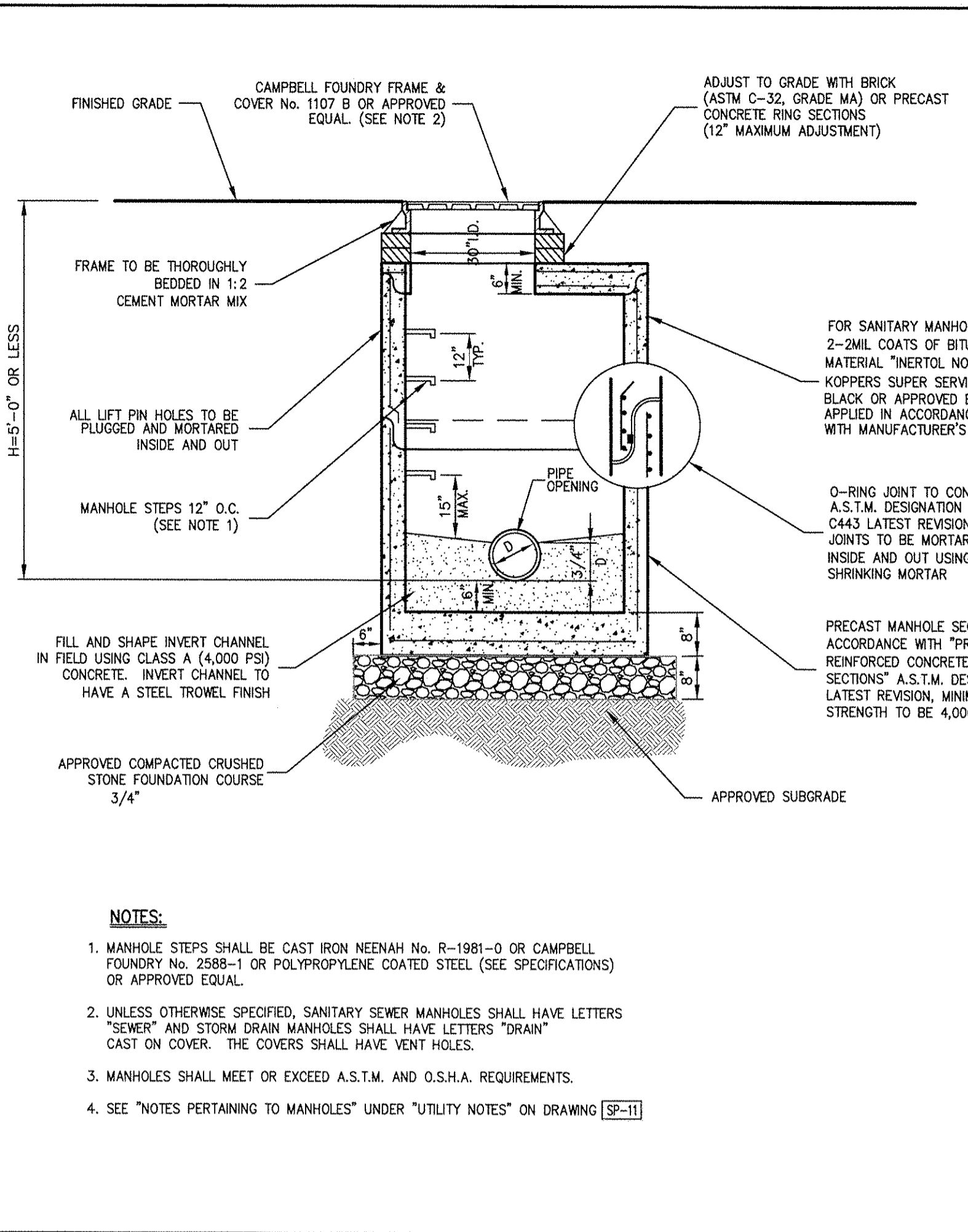
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
JMC Site Development Consulting, Inc.
John J. Mauri Consulting, Inc.
1202 BEERFORD ROAD - ARMONK, NY 10904
voice 814.273.5235 - fax 814.273.2102
www.jmcplic.com



CONSTRUCTION DETAILS

GARDNERTOWN COMMONS
GARDNERTOWN ROAD
TOWN OF NEWBURGH, NY

SP-11



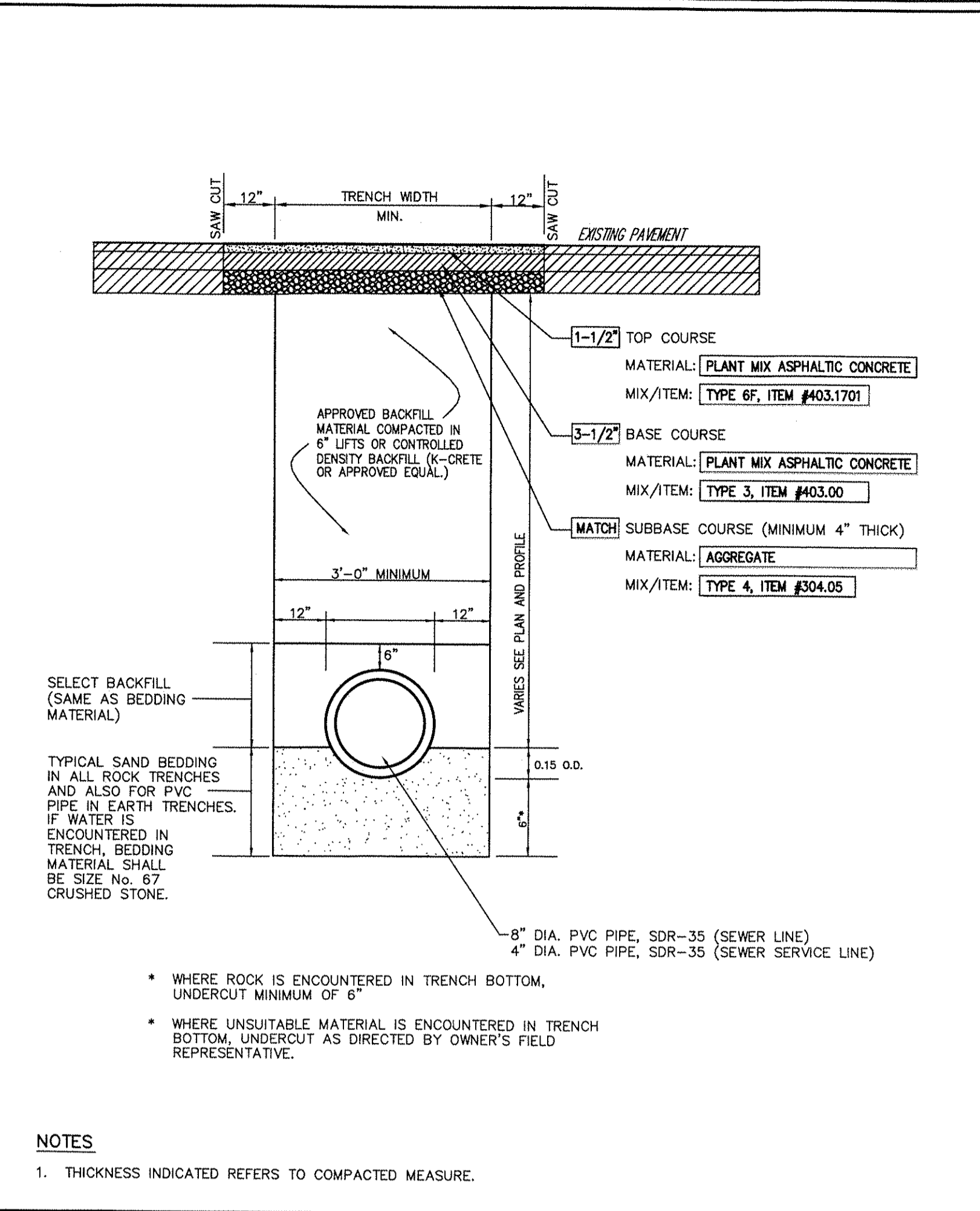
FARRELL BUILDING COMPANY, LLC
1601 VETERANS MEMORIAL HIGHWAY
ISLANDIA, NY 11749

MAURI ARCHITECTS PC
303 MILL STREET
POUGHKEEPSIE, NY 12601

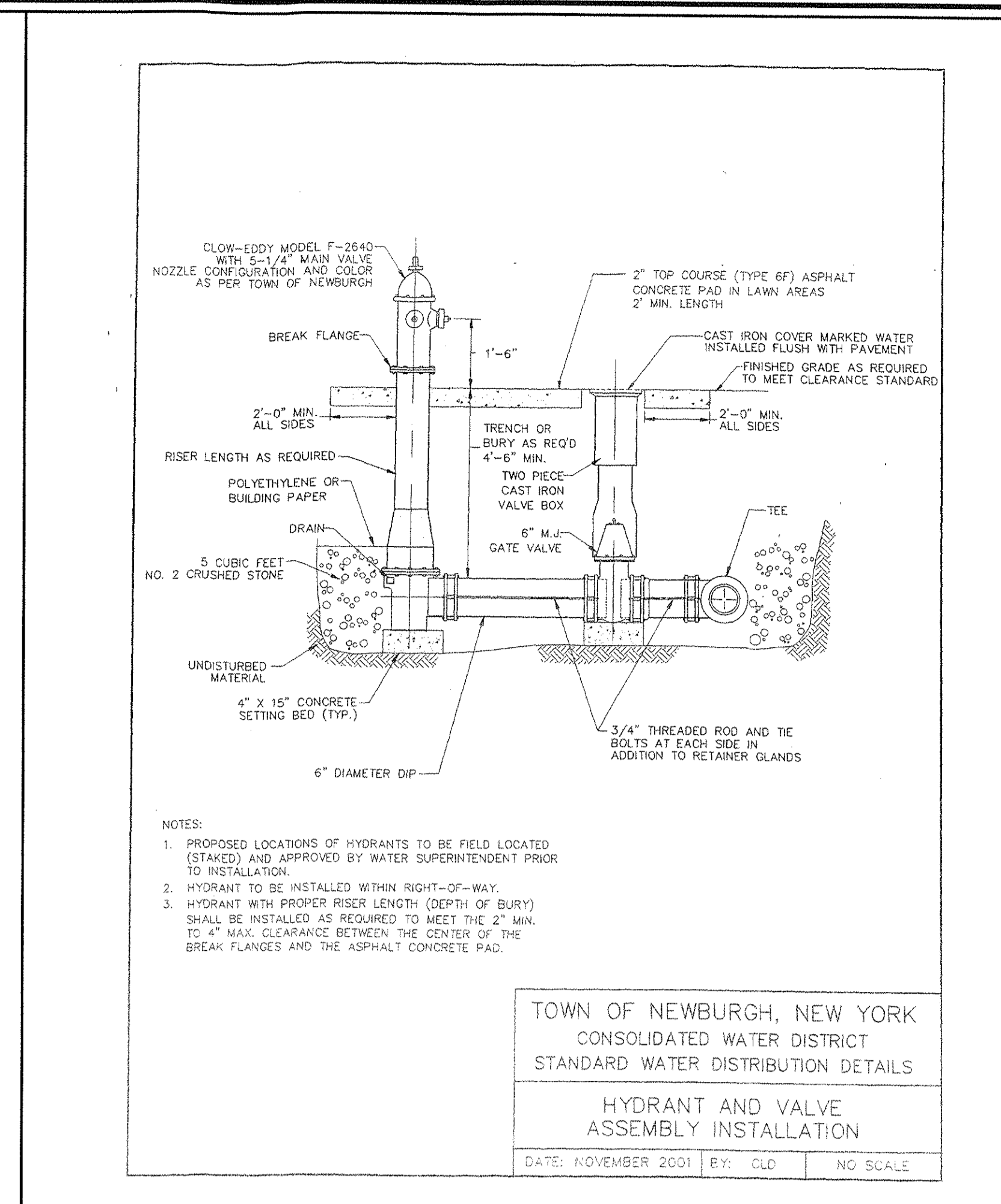
JMC
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
PHONE 914.273.9235 - FAX 914.273.9102
WWW.JMCPLE.COM

CONSTRUCTION DETAILS
GARDENTOWN COMMONS
GARDENTOWN ROAD
TOWN OF NEWBURGH, NY

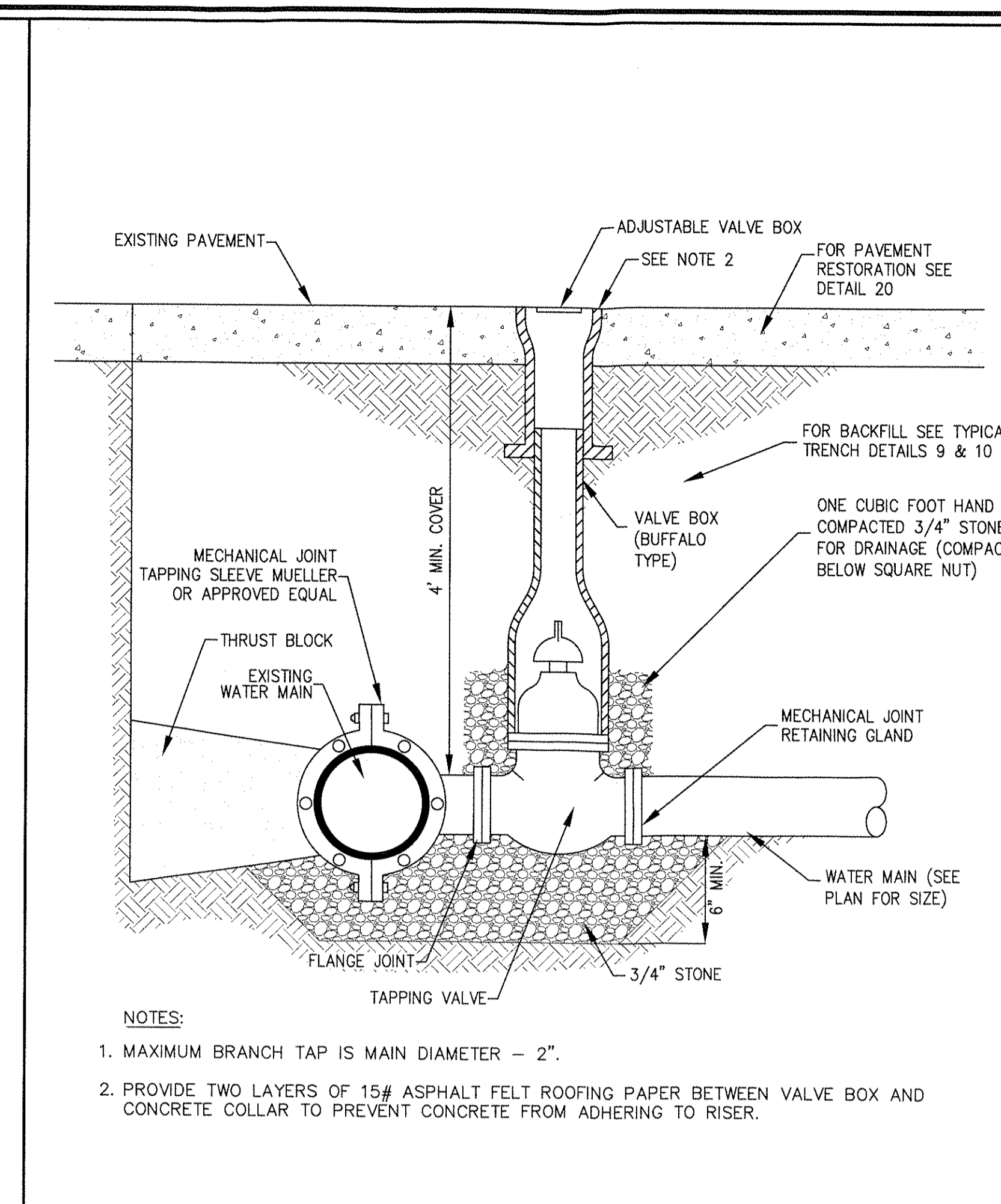
Drawn: MT Approved: JS
Scale: NOT TO SCALE
Date: 02/19/2016
Project No: 15155
Sheet No: 23 of 24
Drawing No: SP-12



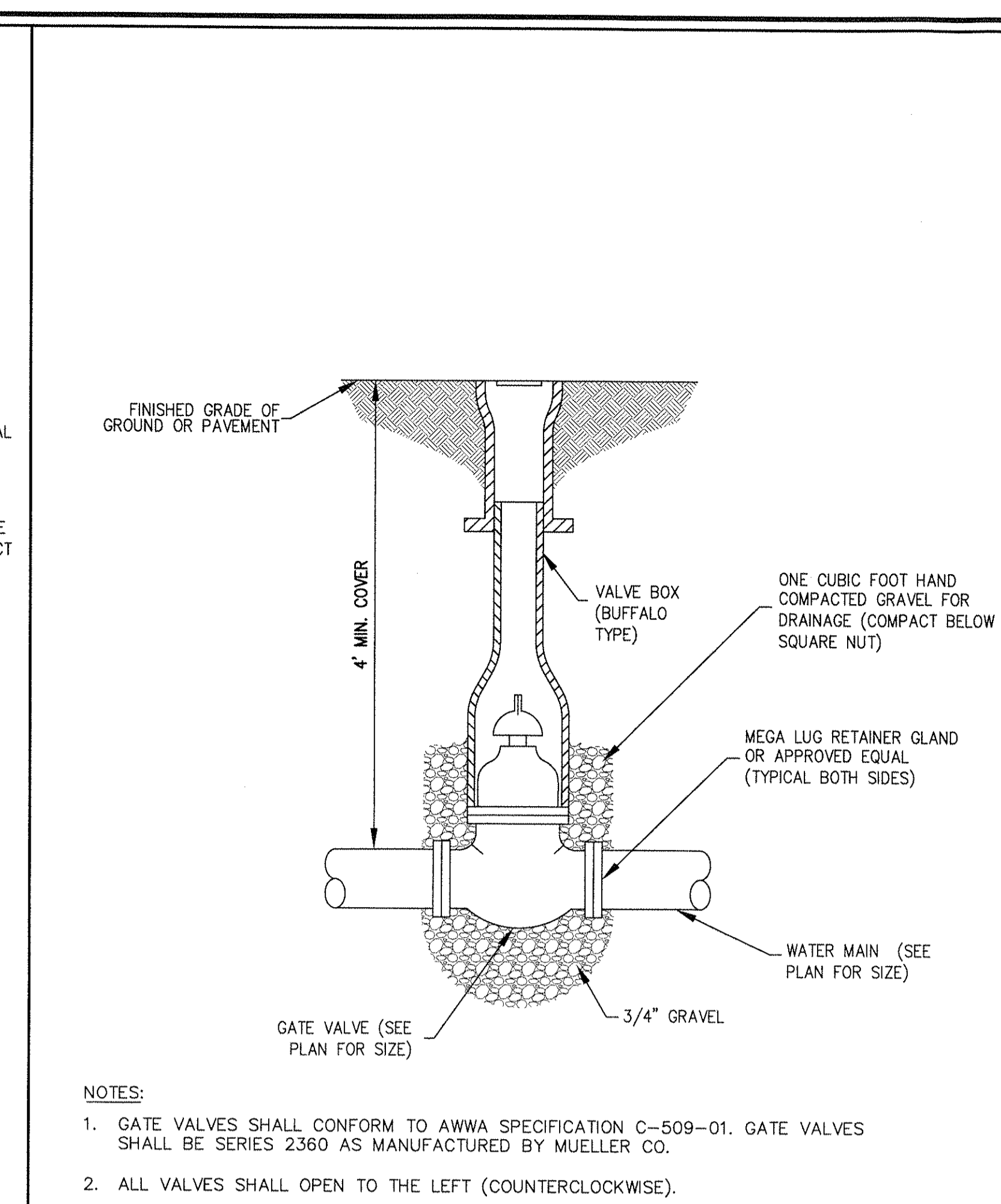
TRENCH PAVEMENT REPLACEMENT
(UNDER PAVEMENT) **27**



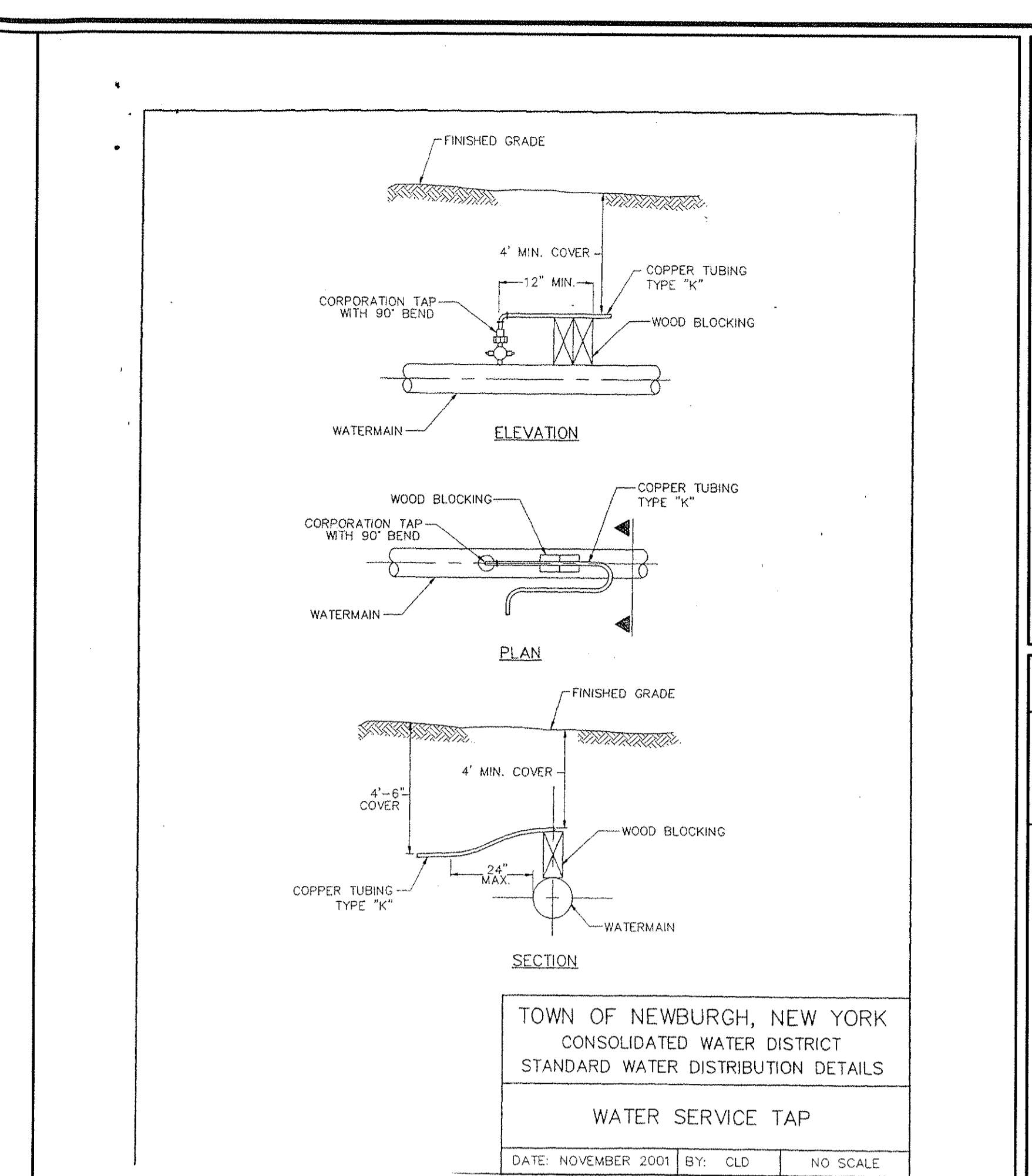
HYDRANT AND VALVE ASSEMBLY INSTALLATION **28**



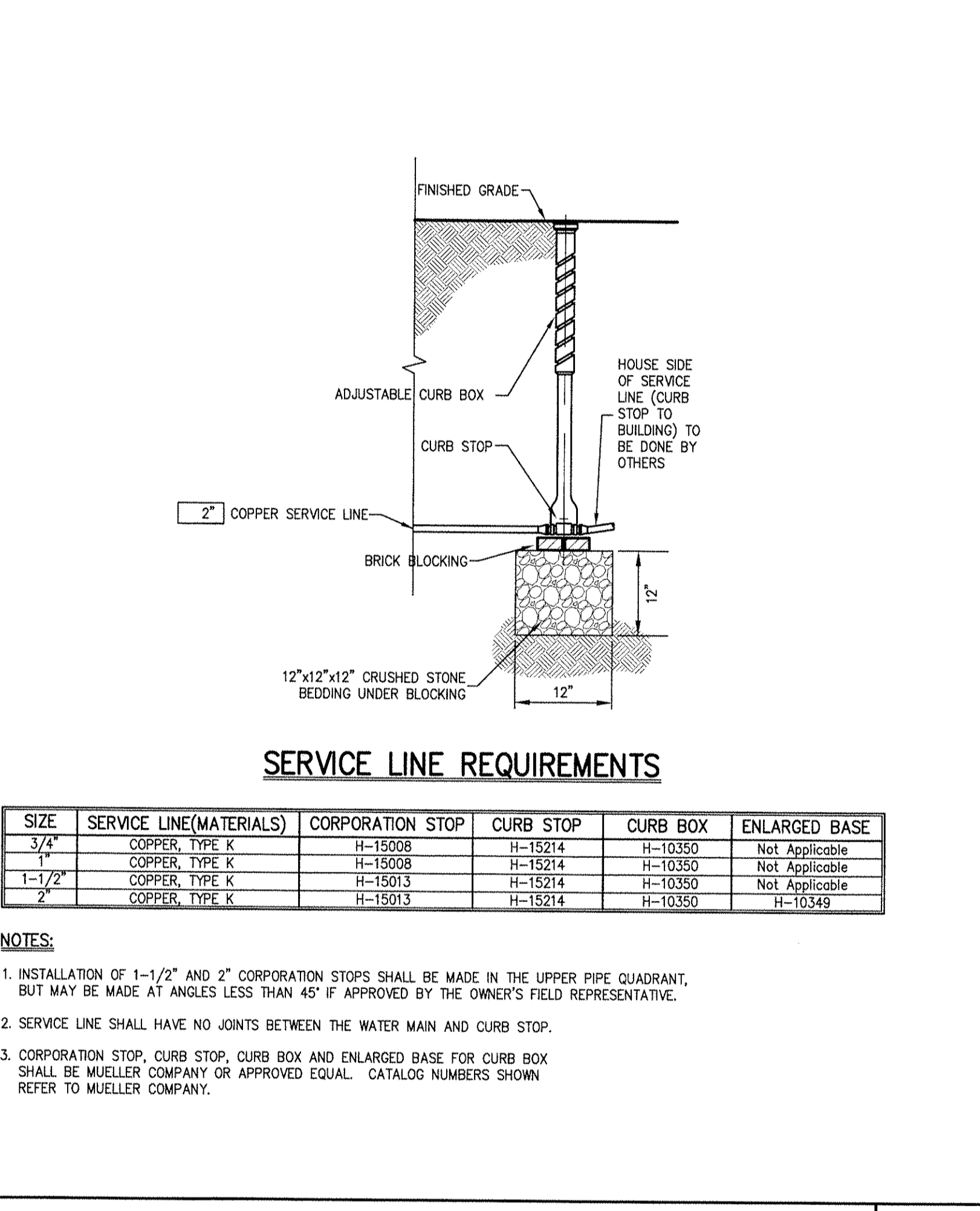
WET TAP MAIN CONNECTION **29**



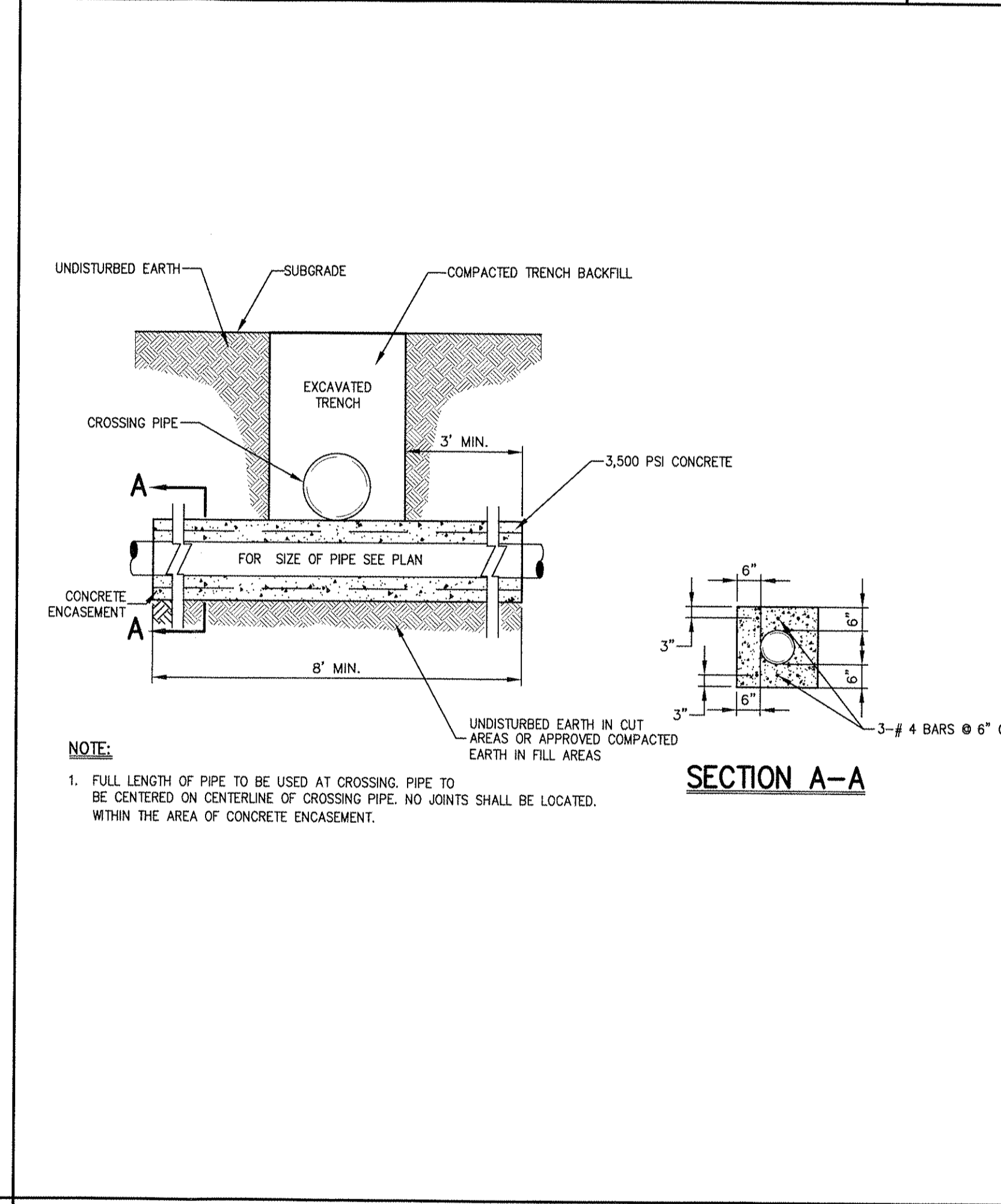
GATE VALVE **30**



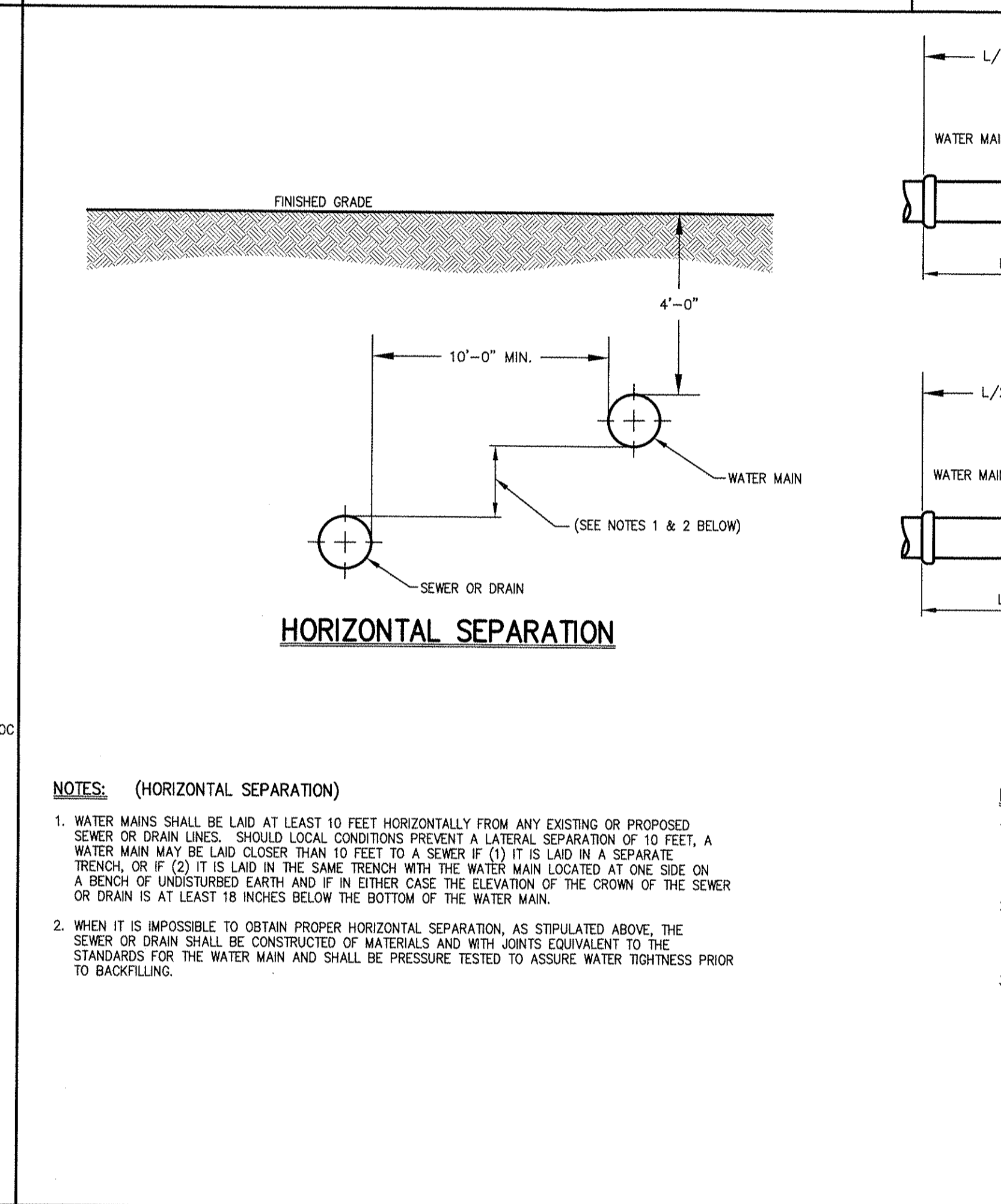
WATER SERVICE TAP
(2" OR LESS) **31**



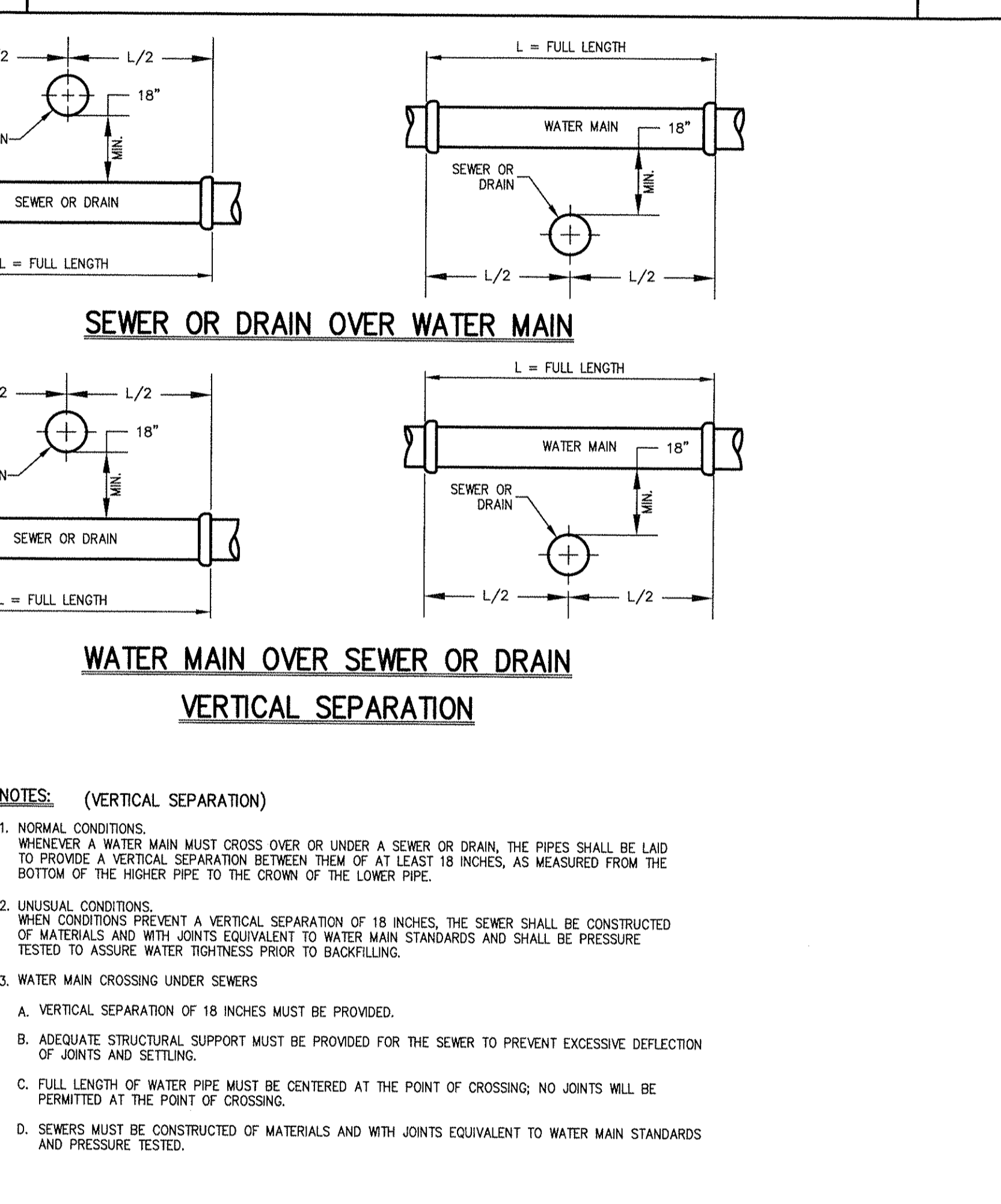
WATER SERVICE CONNECTION **32**



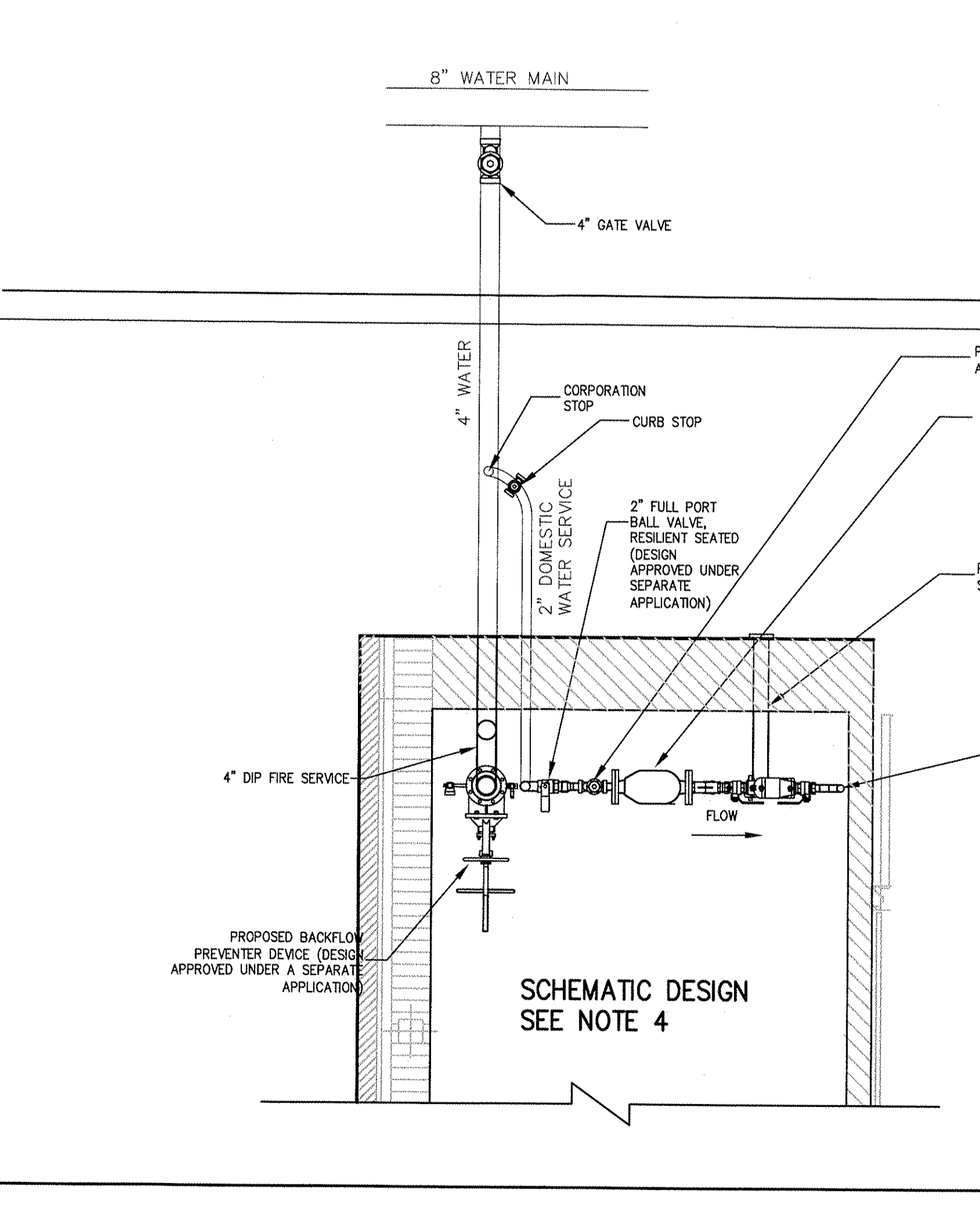
CONCRETE ENCASEMENT **33**



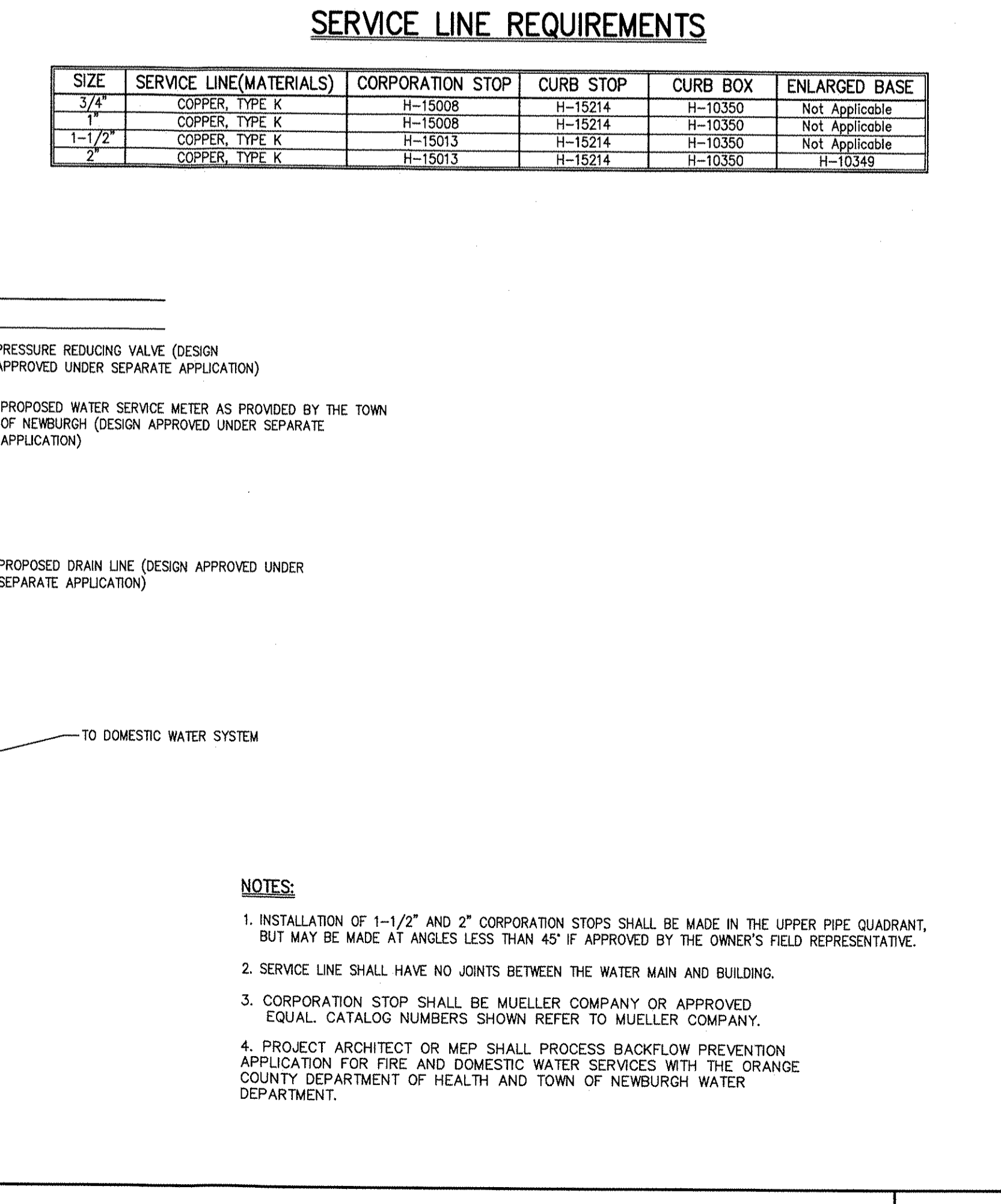
SEPARATION OF WATER AND SEWER/RAIN LINES **34**



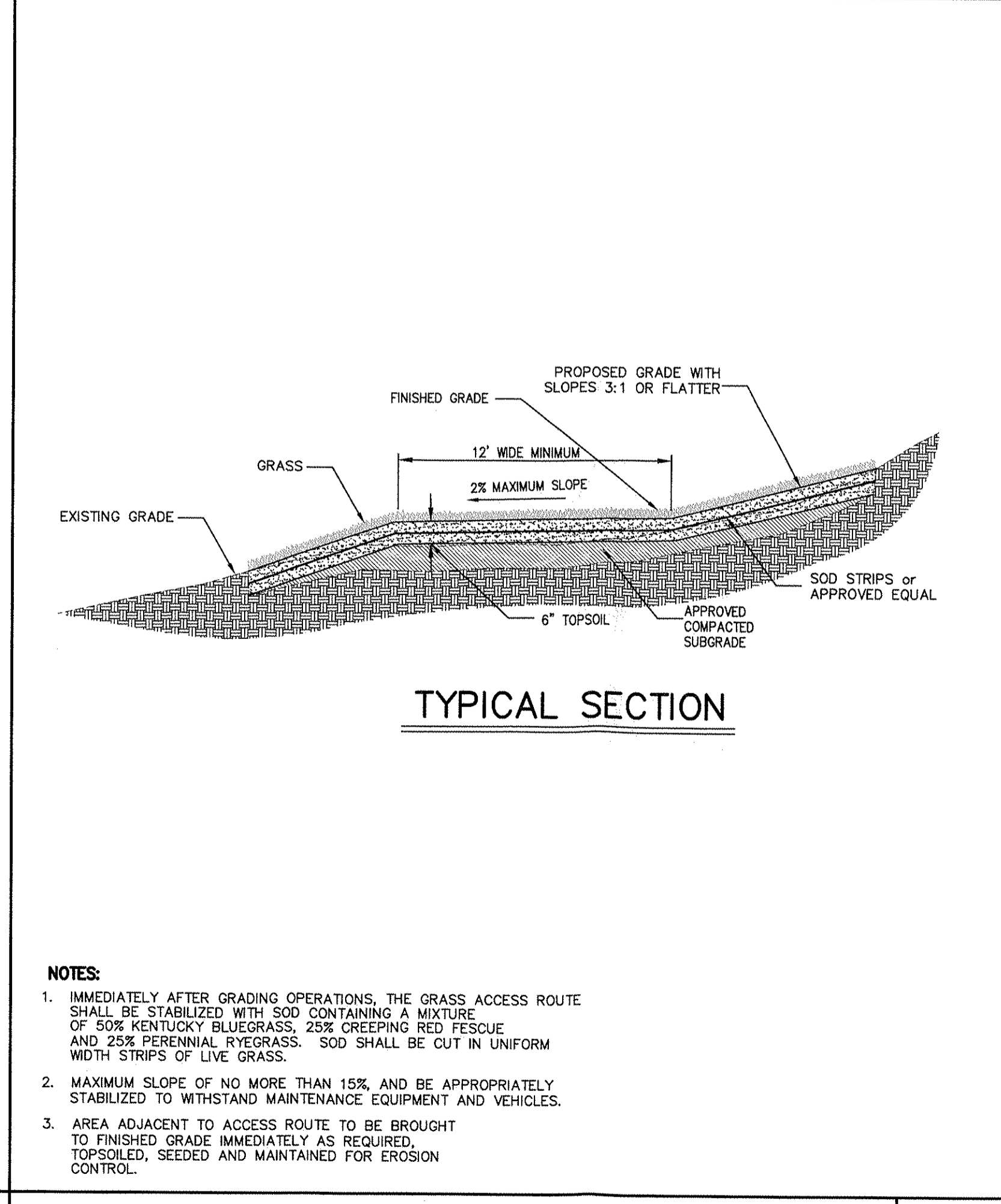
ANTISEEP COLLAR **35**



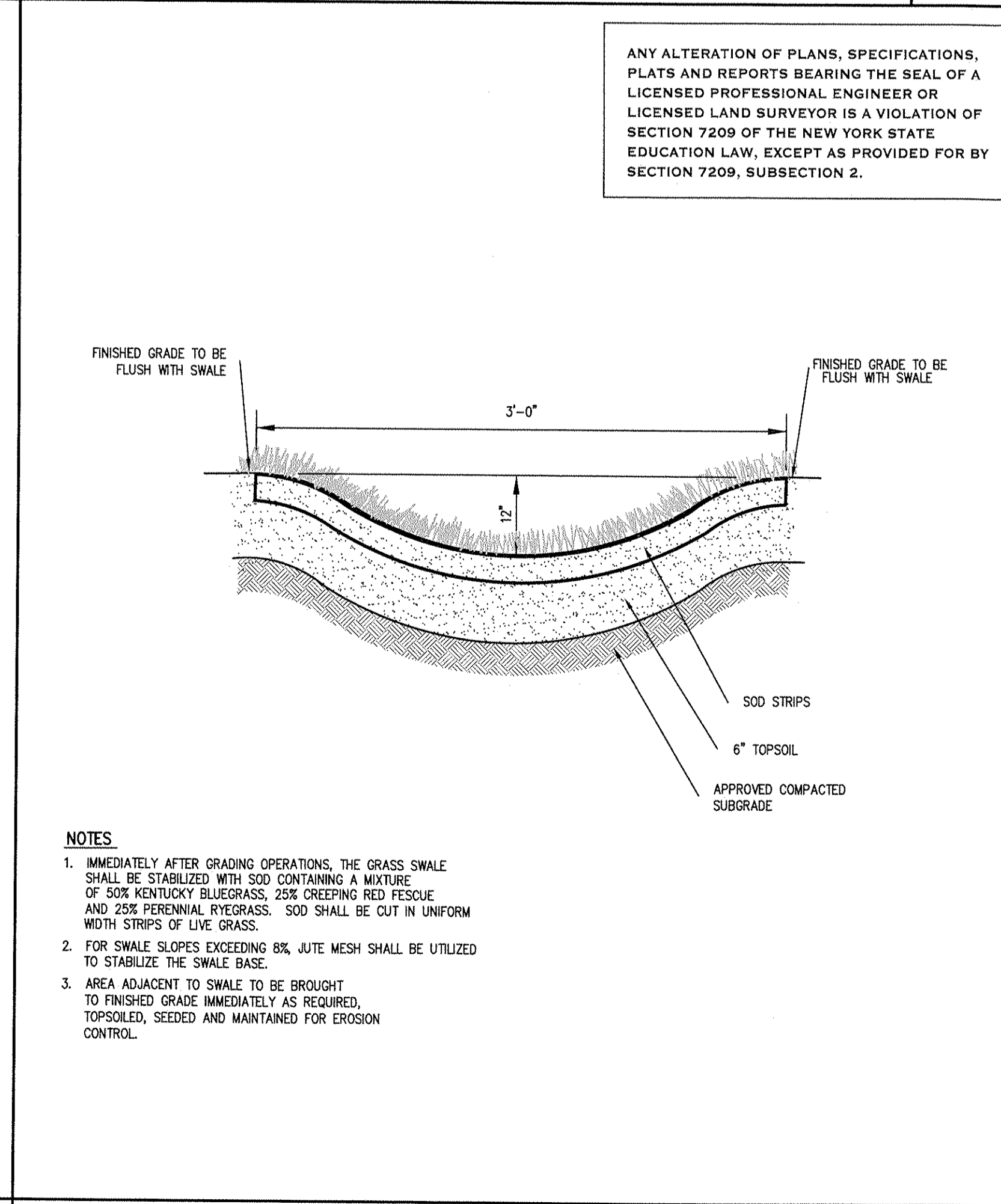
WATER SERVICE CONNECTION **36**



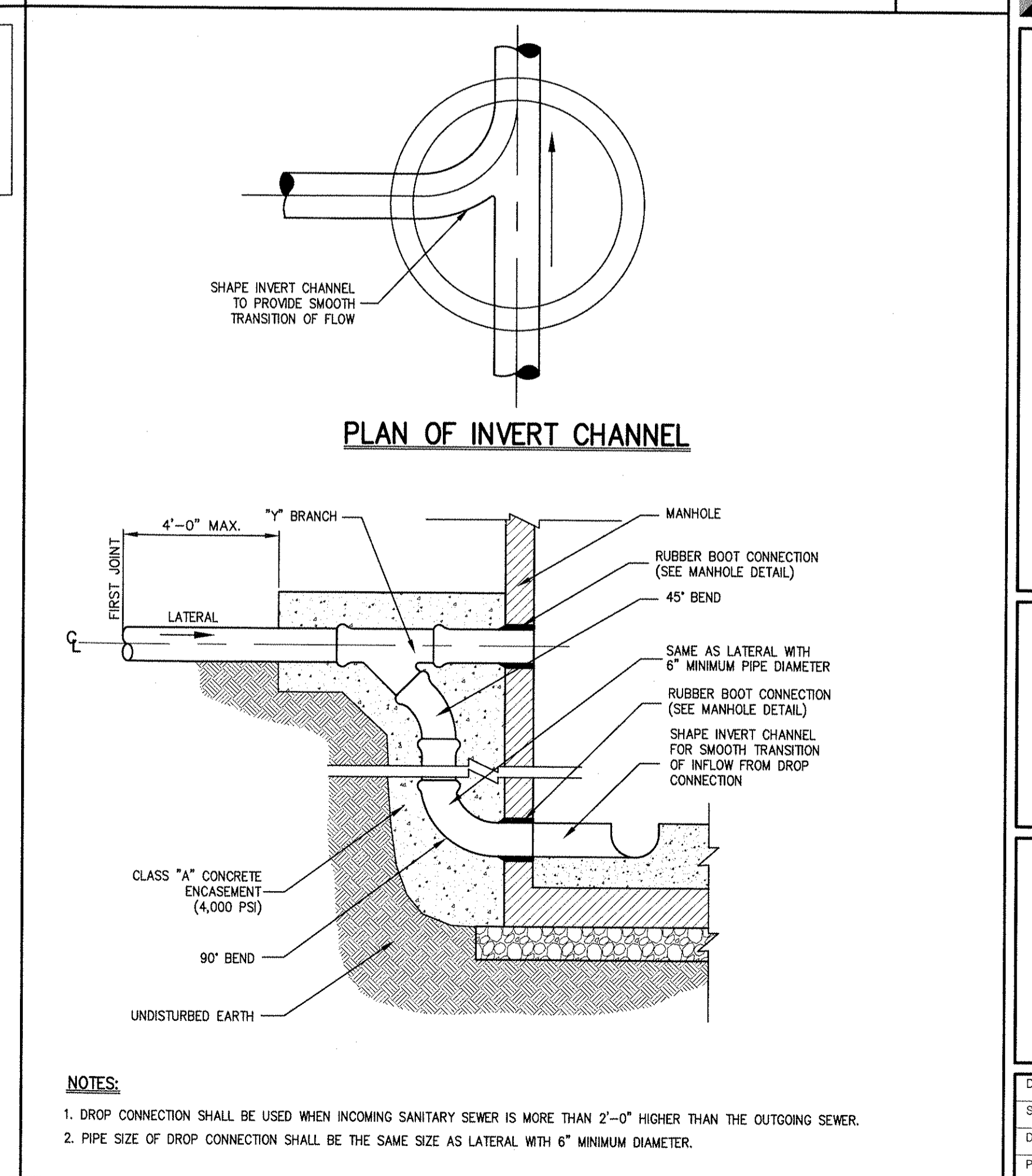
BASIN ACCESS ROUTES WITH GRASS COVER **37**



GRASS SWALE **38**



DROP CONNECTION AT MANHOLE
(SANITARY SEWER) **39**



CONSTRUCTION DETAILS **SP-13**

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008	H-15014	H-10350	Not Applicable
1"	COPPER, TYPE K	H-15008	H-15014	H-10350	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013	H-15014	H-10350	Not Applicable
2"	COPPER, TYPE K	H-15013	H-15014	H-10350	H-10349

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008	H-15014	H-10350	Not Applicable
1"	COPPER, TYPE K	H-15008	H-15014	H-10350	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013	H-15014	H-10350	Not Applicable
2"	COPPER, TYPE K	H-15013	H-15014	H-10350	H-10349

NOTES:
1. INSTALLATION OF 1-1/2" and 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
3. CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.

NOTES:
1. FULL LENGTH OF PIPE TO BE USED AT CROSSING PIPE TO BE CENTERED ON CENTERLINE OF CROSSING PIPE. NO JOINTS SHALL BE LOCATED WITHIN THE AREA OF CONCRETE ENCASEMENT.

NOTES: (HORIZONTAL SEPARATION)
1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER OR DRAIN LINES. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A WATER MAIN MAY BE LAID CLOSER THAN 10 FEET TO A SEWER IF (1) IT IS LAID IN A SEPARATE TRENCH OR (2) IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OR A BENCH OF UNDISTURBED EARTH AND IF IN EITHER CASE THE ELEVATION OF THE CROWN OF THE SEWER OR DRAIN IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN.
2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL SEPARATION, AS STIPULATED ABOVE, THE SEWER OR DRAIN SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO THE STANDARDS FOR THE WATER MAIN AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

NOTES: (VERTICAL SEPARATION)
1. NORMAL CONDITIONS: WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SEWER OR DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
2. UNUSUAL CONDITIONS: WHEN CONDITIONS PREVENT A VERTICAL SEPARATION OF 18 INCHES, THE SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
3. WATER MAIN CROSSING UNDER SEWERS:
A. VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
B. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
C. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING, NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
D. SEWERS MUST BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS AND PRESSURE TESTED.

NOTES:
1. WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MINIMUM OF 4".
2. WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT AS DIRECTED BY OWNER'S FIELD REPRESENTATIVE.

NOTES:
1. PROPOSED LOCATIONS OF HYDRANTS TO BE FIELD LOCATED. (10 METERS) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.
2. HYDRANT TO BE INSTALLED WITHIN RIGHT-OF-WAY.
3. HYDRANT WITH PREFER RISE LENGTH (DEPTH OF BURIAL) SHALL BE RETICULATED AS REQUIRED TO MEET THE 4" MIN. RISE LENGTH CLEARANCE BETWEEN THE CENTER OF THE BREAK FLANGES AND THE ASPHALT CONCRETE PAD.

NOTES:
1. MAXIMUM BRANCH TAP IS MAIN DIAMETER - 2".
2. PROVIDE TWO LAYERS OF 15# ASPHALT FELT ROOFING PAPER BETWEEN VALVE BOX AND CONCRETE COLLAR TO PREVENT CONCRETE FROM ADHERING TO RISER.

NOTES:
1. GATE VALVES SHALL CONFORM TO AWWA SPECIFICATION C-509-01. GATE VALVES SHALL BE SERIES 2360 AS MANUFACTURED BY MUELLER CO.
2. ALL VALVES SHALL OPEN TO THE LEFT (COUNTERCLOCKWISE).

NOTES:
1. FINISHED GRADE OF GROUND OR PAVED SURFACE.
2. ONE CUBIC FOOT HAND COMPACTED 3/4" STONE FOR DRAINAGE (COMPACT BELOW SQUARE NUT).
3. VALVE BOX (BUFFALO TYPE).
4. MECHANICAL JOINT TAPPING SLEEVE MUELLER OR APPROVED EQUAL.
5. THRUST BLOCK EXISTING WATER MAIN.
6. FLANGE JOINT TAPPING VALVE.
7. 3/4" STONE.
8. WATER MAIN (SEE PLAN FOR SIZE).
9. MECHANICAL JOINT RETAINING GLAND.
10. MEGA LUG RETAINER GLAND OR APPROVED EQUAL (TYPICAL BOTH SIDES).
11. WATER MAIN (SEE PLAN FOR SIZE).
12. 3/4" GRAVEL.
13. GATE VALVE (SEE PLAN FOR SIZE).
14. FINISHED GRADE OF GROUND OR PAVED SURFACE.

NOTES:
1. INSTALLATION OF 1-1/2" and 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
3. CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.

NOTES:
1. FULL LENGTH OF PIPE TO BE USED AT CROSSING PIPE TO BE CENTERED ON CENTERLINE OF CROSSING PIPE. NO JOINTS SHALL BE LOCATED WITHIN THE AREA OF CONCRETE ENCASEMENT.

NOTES: (HORIZONTAL SEPARATION)
1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER OR DRAIN LINES. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A WATER MAIN MAY BE LAID CLOSER THAN 10 FEET TO A SEWER IF (1) IT IS LAID IN A SEPARATE TRENCH OR (2) IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OR A BENCH OF UNDISTURBED EARTH AND IF IN EITHER CASE THE ELEVATION OF THE CROWN OF THE SEWER OR DRAIN IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN.
2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL SEPARATION, AS STIPULATED ABOVE, THE SEWER OR DRAIN SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO THE STANDARDS FOR THE WATER MAIN AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

NOTES: (VERTICAL SEPARATION)
1. NORMAL CONDITIONS: WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SEWER OR DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
2. UNUSUAL CONDITIONS: WHEN CONDITIONS PREVENT A VERTICAL SEPARATION OF 18 INCHES, THE SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
3. WATER MAIN CROSSING UNDER SEWERS:
A. VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
B. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
C. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING, NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
D. SEWERS MUST BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS AND PRESSURE TESTED.

NOTES:
1. FINISHED GRADE OF GROUND OR PAVED SURFACE.
2. ONE CUBIC FOOT HAND COMPACTED 3/4" STONE FOR DRAINAGE (COMPACT BELOW SQUARE NUT).
3. VALVE BOX (BUFFALO TYPE).
4. MECHANICAL JOINT TAPPING SLEEVE MUELLER OR APPROVED EQUAL.
5. THRUST BLOCK EXISTING WATER MAIN.
6. FLANGE JOINT TAPPING VALVE.
7. 3/4" STONE.
8. WATER MAIN (SEE PLAN FOR SIZE).
9. MECHANICAL JOINT RETAINING GLAND.
10. MEGA LUG RETAINER GLAND OR APPROVED EQUAL (TYPICAL BOTH SIDES).
11. WATER MAIN (SEE PLAN FOR SIZE).
12. 3/4" GRAVEL.
13. GATE VALVE (SEE PLAN FOR SIZE).
14. FINISHED GRADE OF GROUND OR PAVED SURFACE.

NOTES:
1. INSTALLATION OF 1-1/2" and 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND BUILDING.
3. CORPORATION STOP SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.
4. PROJECT ARCHITECT OR MEP SHALL PROCESS BACKFLOW PREVENTION APPLICATION FOR FIRE AND DOMESTIC WATER SERVICES WITH THE GRANGE COUNTY DEPARTMENT OF HEALTH AND TOWN OF NEWBURGH WATER DEPARTMENT.

NOTES:
1. IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS ACCESS ROUTE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF SOFT KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
2. MAXIMUM SLOPE OF NO MORE THAN 15% AND BE APPROPRIATELY STABILIZED TO WITHSTAND MAINTENANCE EQUIPMENT AND VEHICLES.
3. AREA ADJACENT TO ACCESS ROUTE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED. TOPSOIL, SEEDING AND MAINTAINED FOR EROSION CONTROL.

NOTES:
1. IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF SOFT KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
2. MAXIMUM SLOPE OF NO MORE THAN 15% AND BE APPROPRIATELY STABILIZED TO WITHSTAND MAINTENANCE EQUIPMENT AND VEHICLES.
3. AREA ADJACENT TO ACCESS ROUTE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED. TOPSOIL, SEEDING AND MAINTAINED FOR EROSION CONTROL.

NOTES:
1. DROP CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

NOTES:
1. DROP CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.
2. PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

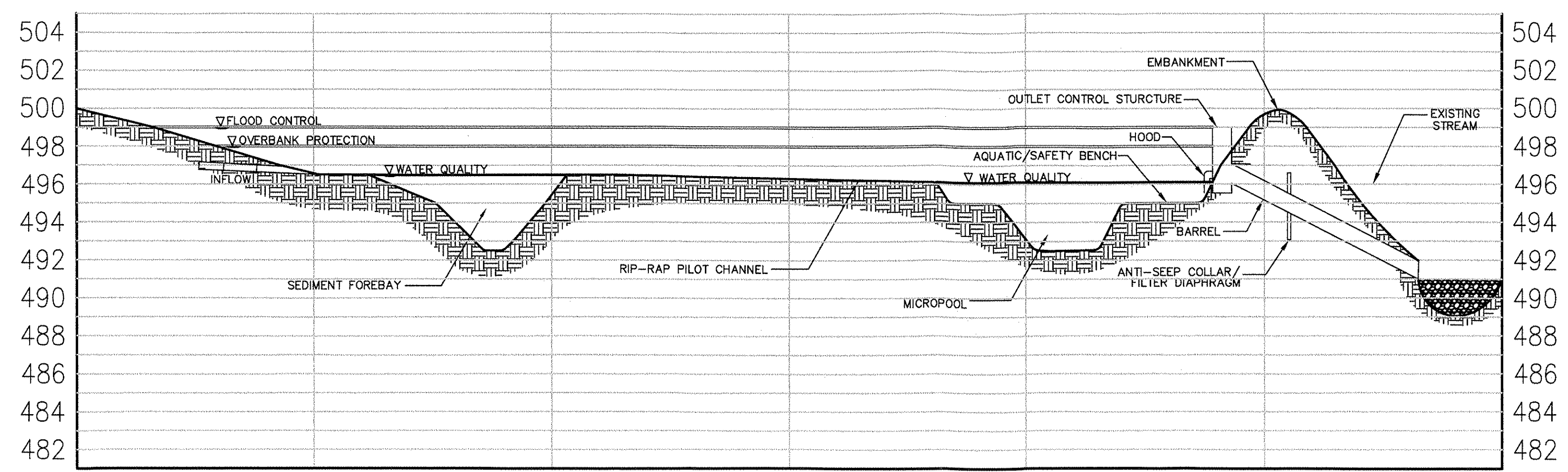
JMC
JMC Planning, Engineering, Landscaping, Architecture & Surveying, LLC
1801 Vassar Street, Suite 100, Islandia, NY 11749
www.jmcplc.com

FARRELL BUILDING COMPANY, LLC
1801 Vassar Street, Suite 100, Islandia, NY 11749

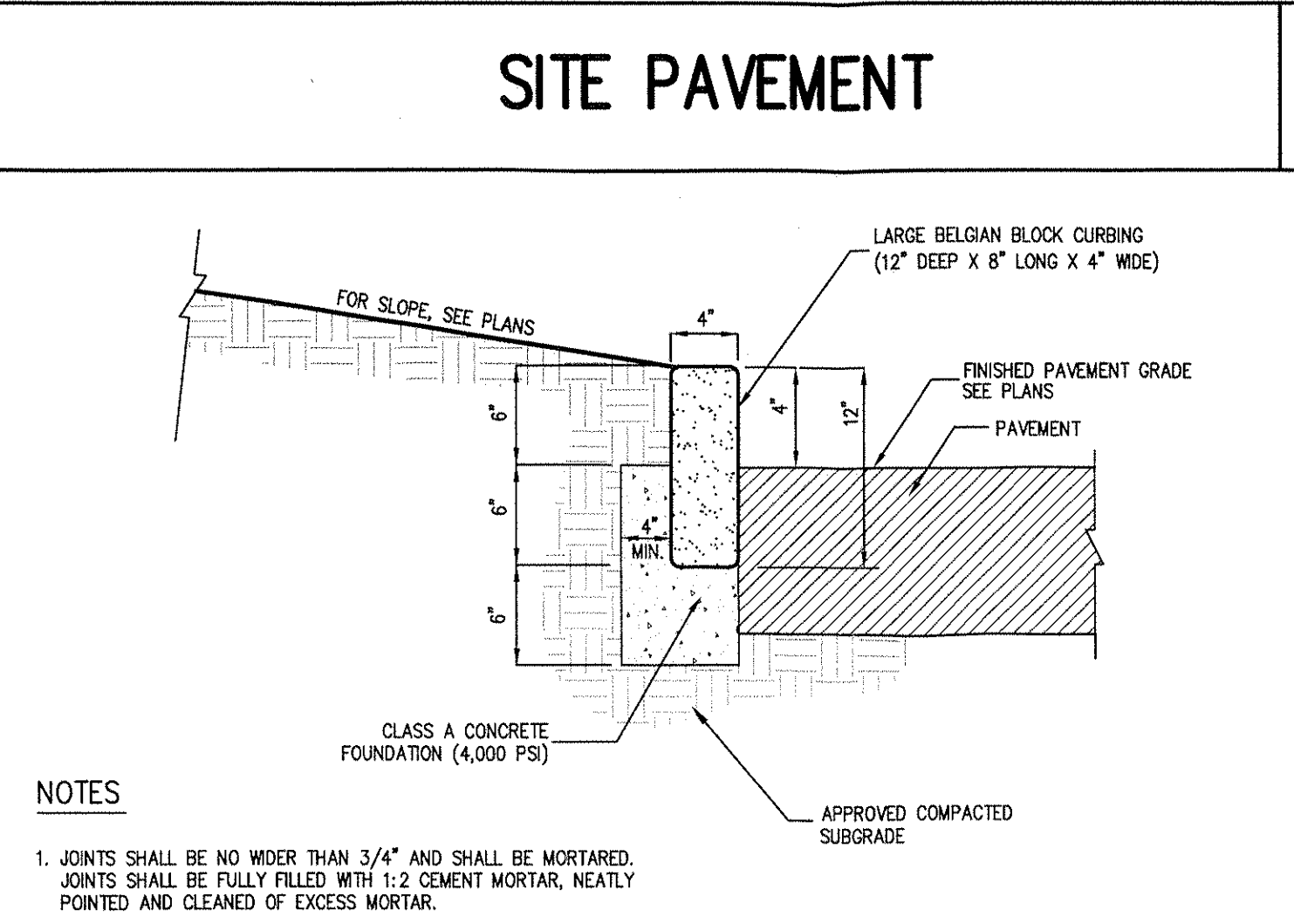
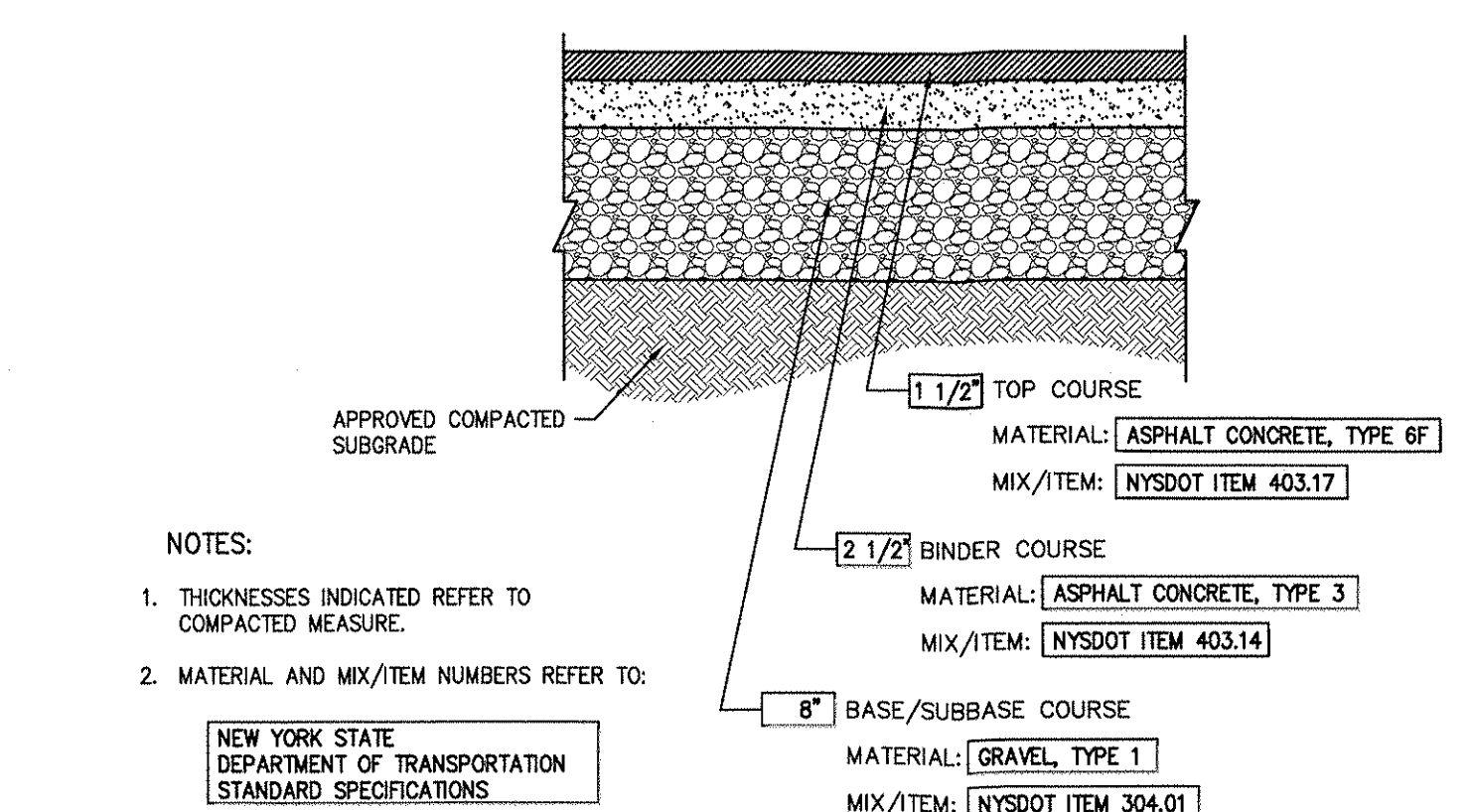
MAURI ARCHITECTS PC
303 MILL STREET, POUGHKEEPSIE, NY 12601

CONSTRUCTION DETAILS
GARDENTOWN COMMONS
GARDENTOWN ROAD
TOWN OF NEWBURGH, NY

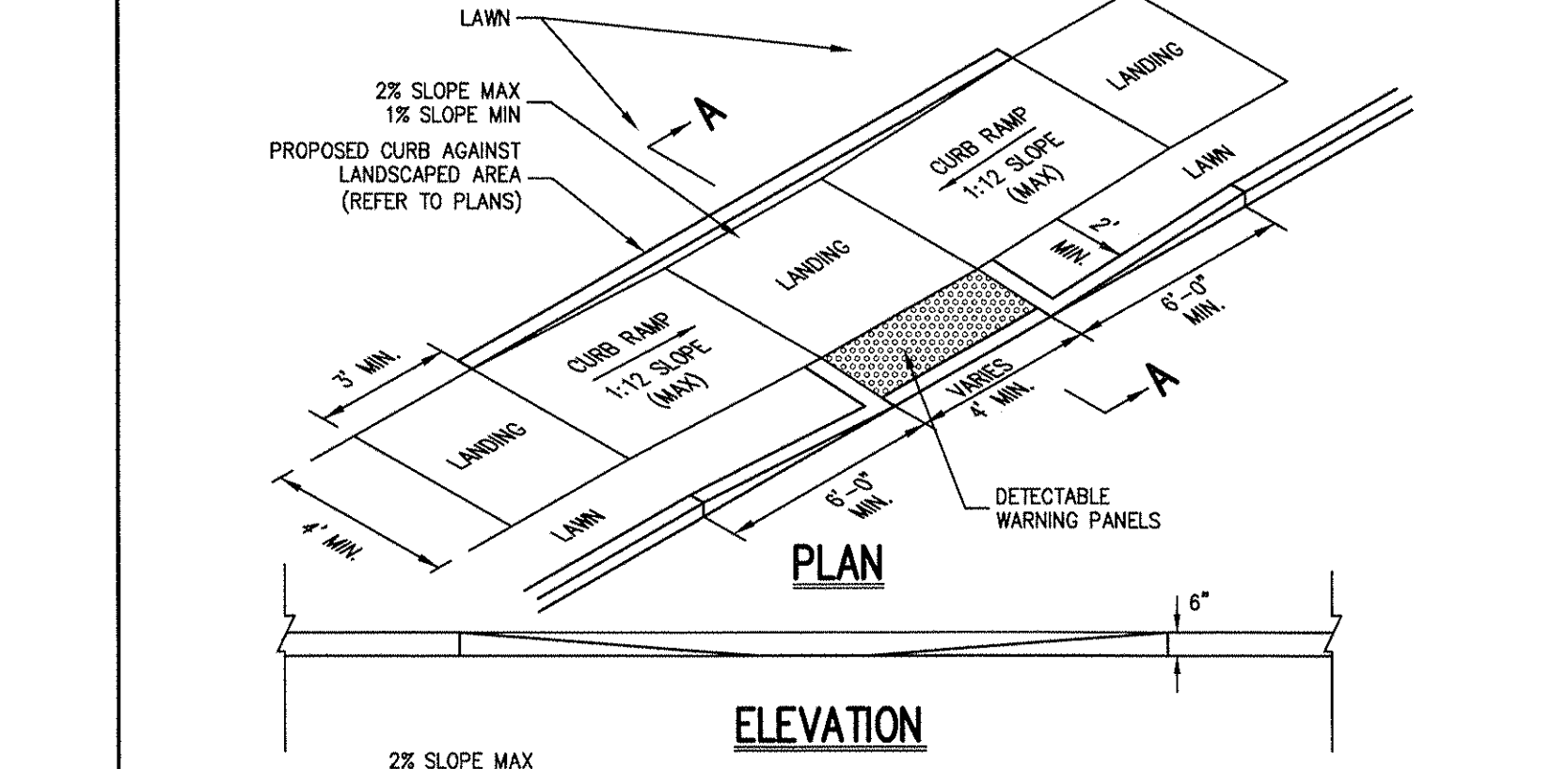
Drawn: MT Approved: JS
Scale: NOT TO SCALE
Date: 02/19/2016
Project No: 15155
Sheet No: SP-13



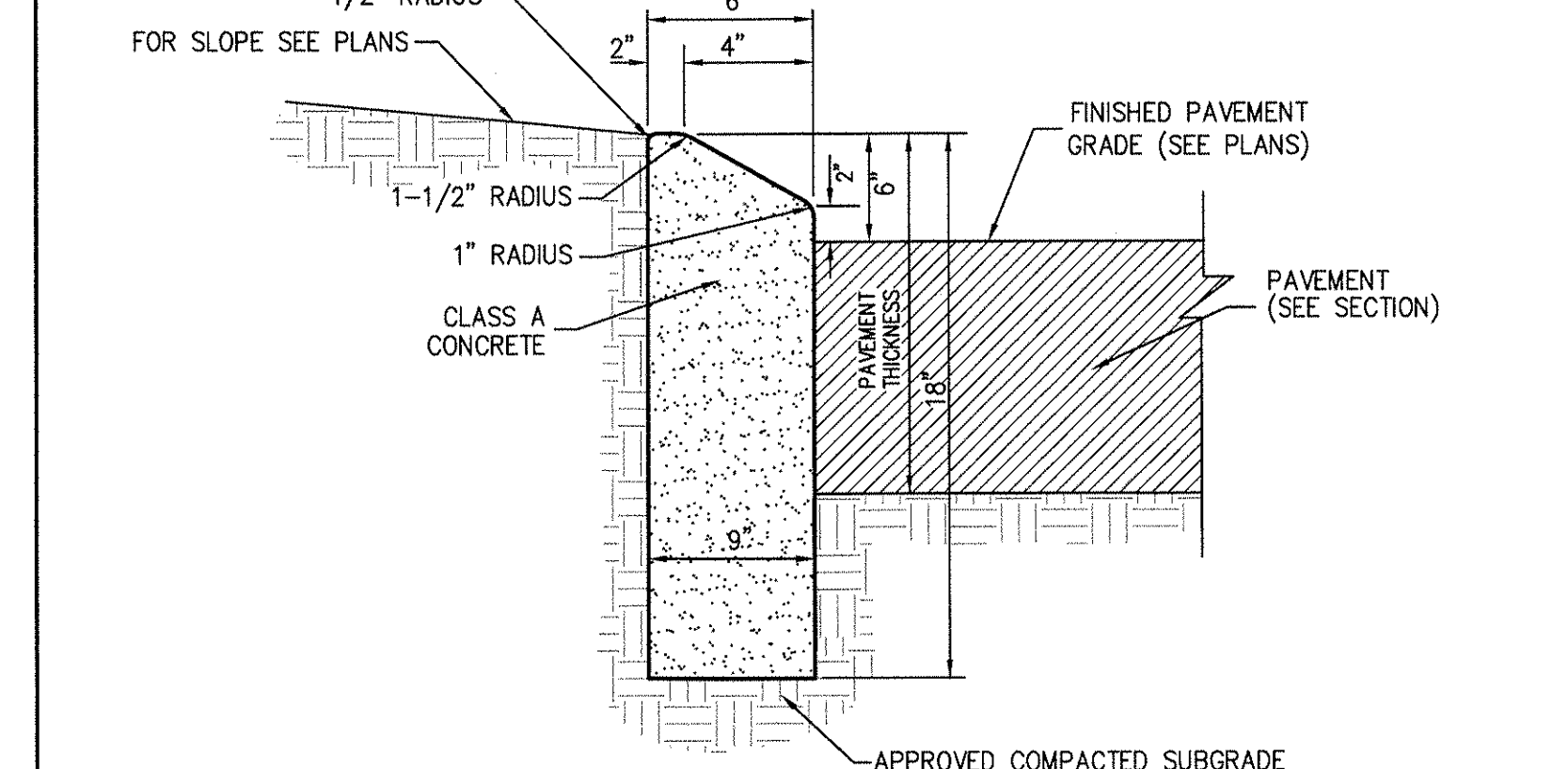
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



NOTES:
 1. JOINTS SHALL BE NO MORE THAN 3/4" AND SHALL BE WORKED. JOINTS SHALL BE FULLY FILLED WITH 1:2 CEMENT MORTAR, NEARLY POINTED AND CLEANED OF EXCESS MORTAR.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

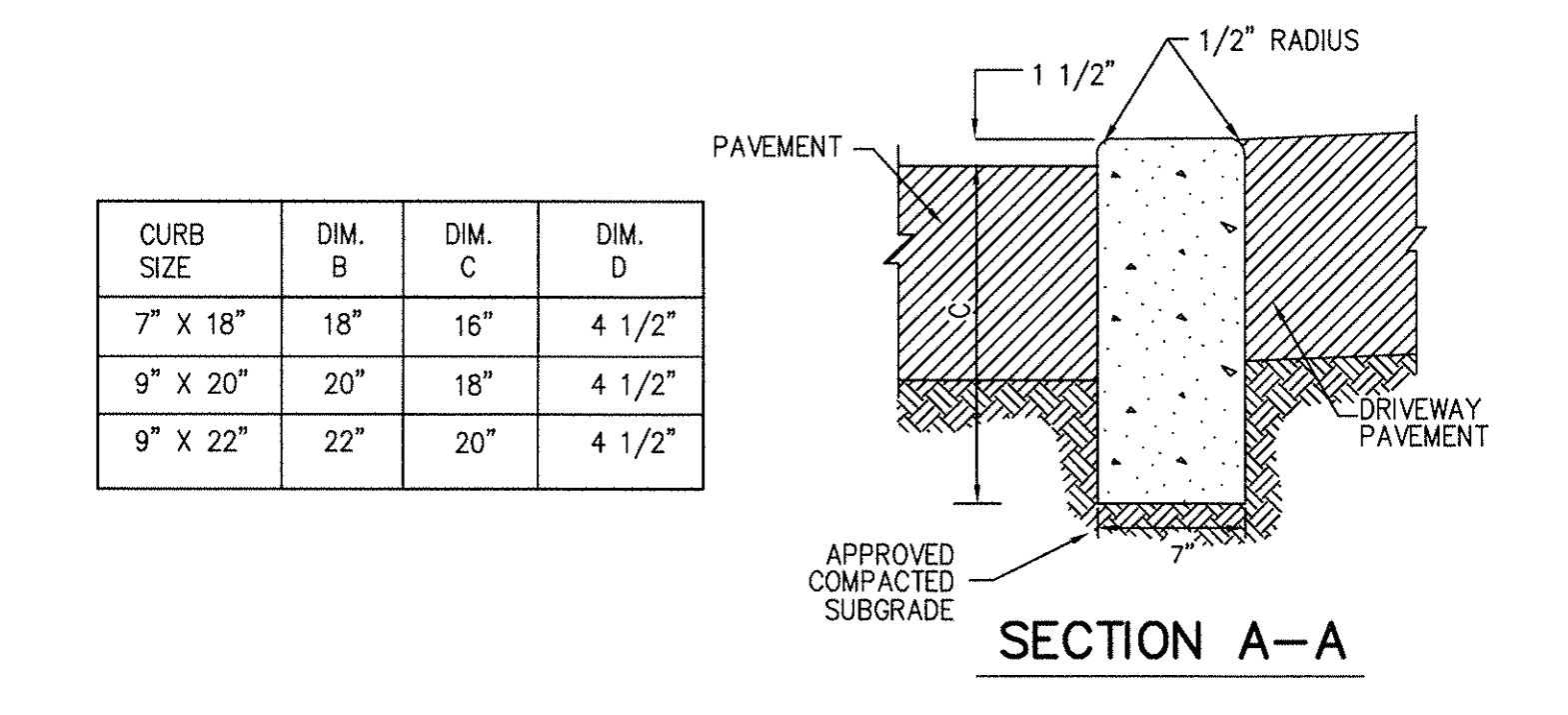
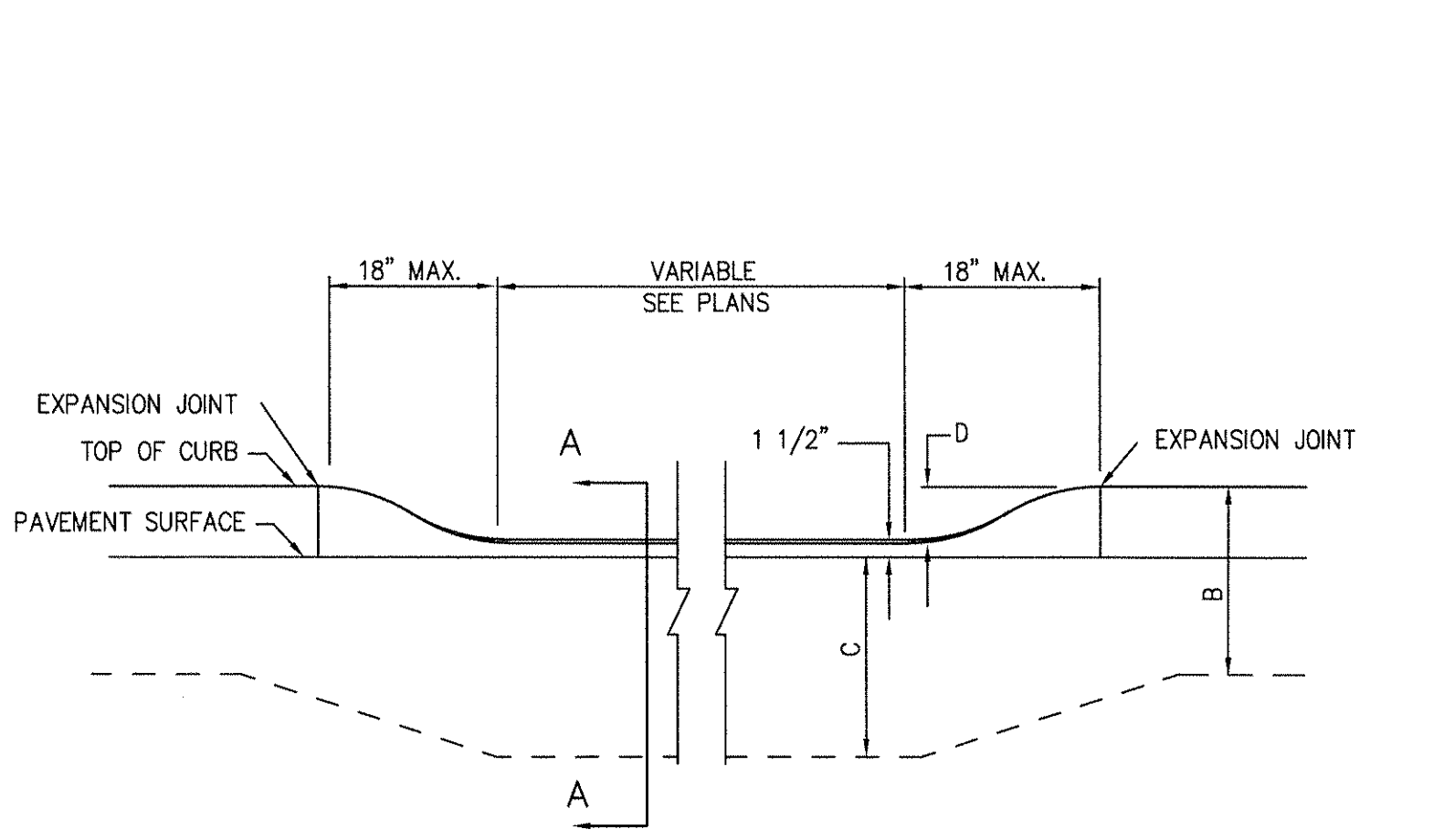


NOTES:
 1. RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMO-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 2. DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 409.2, FEDERAL REGISTER, VOLUME 36, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
 3. 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE TRUNKS, ETC.).
 5. CURB TREATMENT VARIES: SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
 6. RAMP CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT POODING.
 7. WHEN LANDING OF RAMP ADJONS A DOWNWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM CISTH OF:
 MANUAL CURBS: 60" MIN.
 FULL POWERED AUTOMATIC SLIDING DOORS: 48" MIN.
 8. CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.



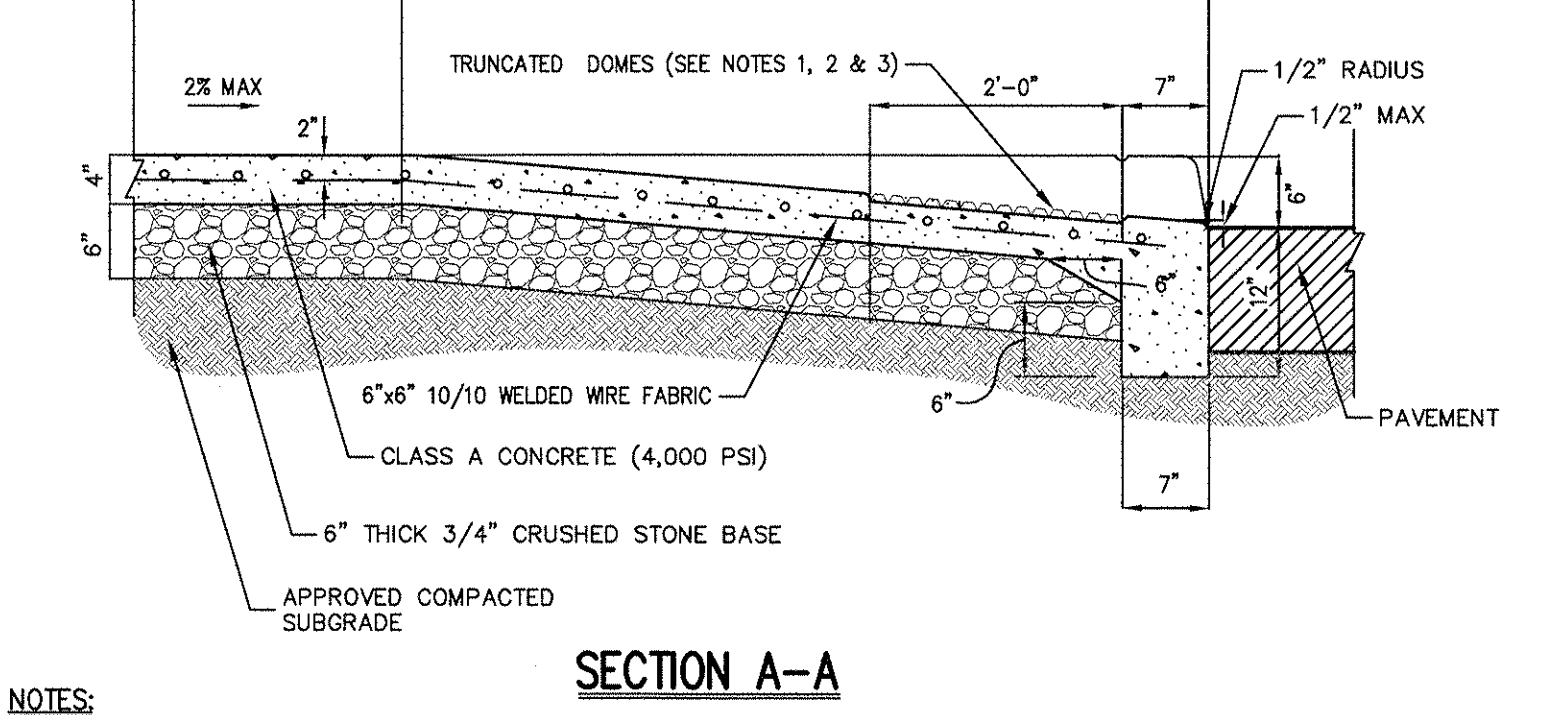
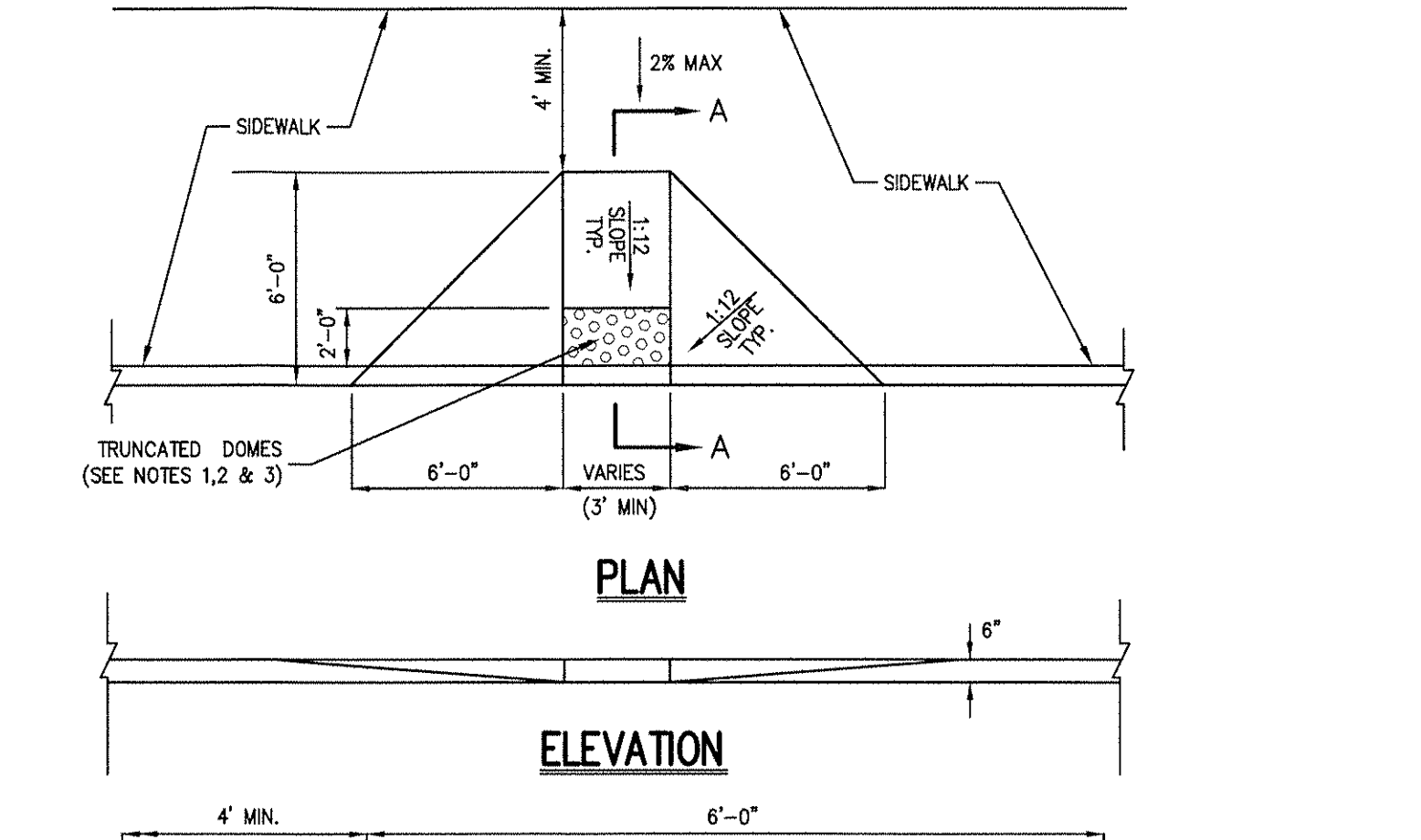
NOTES:
 1. JOINTS SHALL BE NO MORE THAN 3/4" AND SHALL BE WORKED. JOINTS SHALL BE FULLY FILLED WITH 1:2 CEMENT MORTAR, NEARLY POINTED AND CLEANED OF EXCESS MORTAR.

MICROPOOL EXTENDED DETENTION POND 40



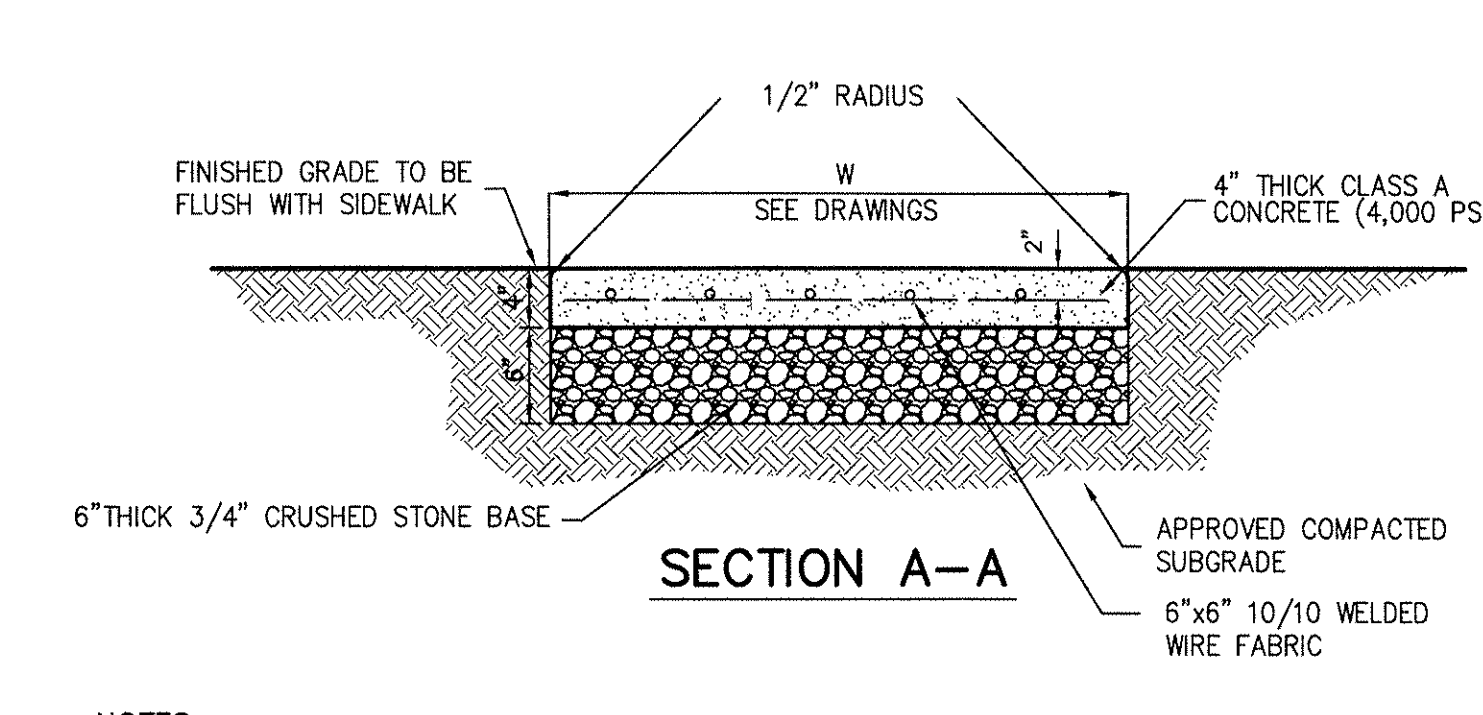
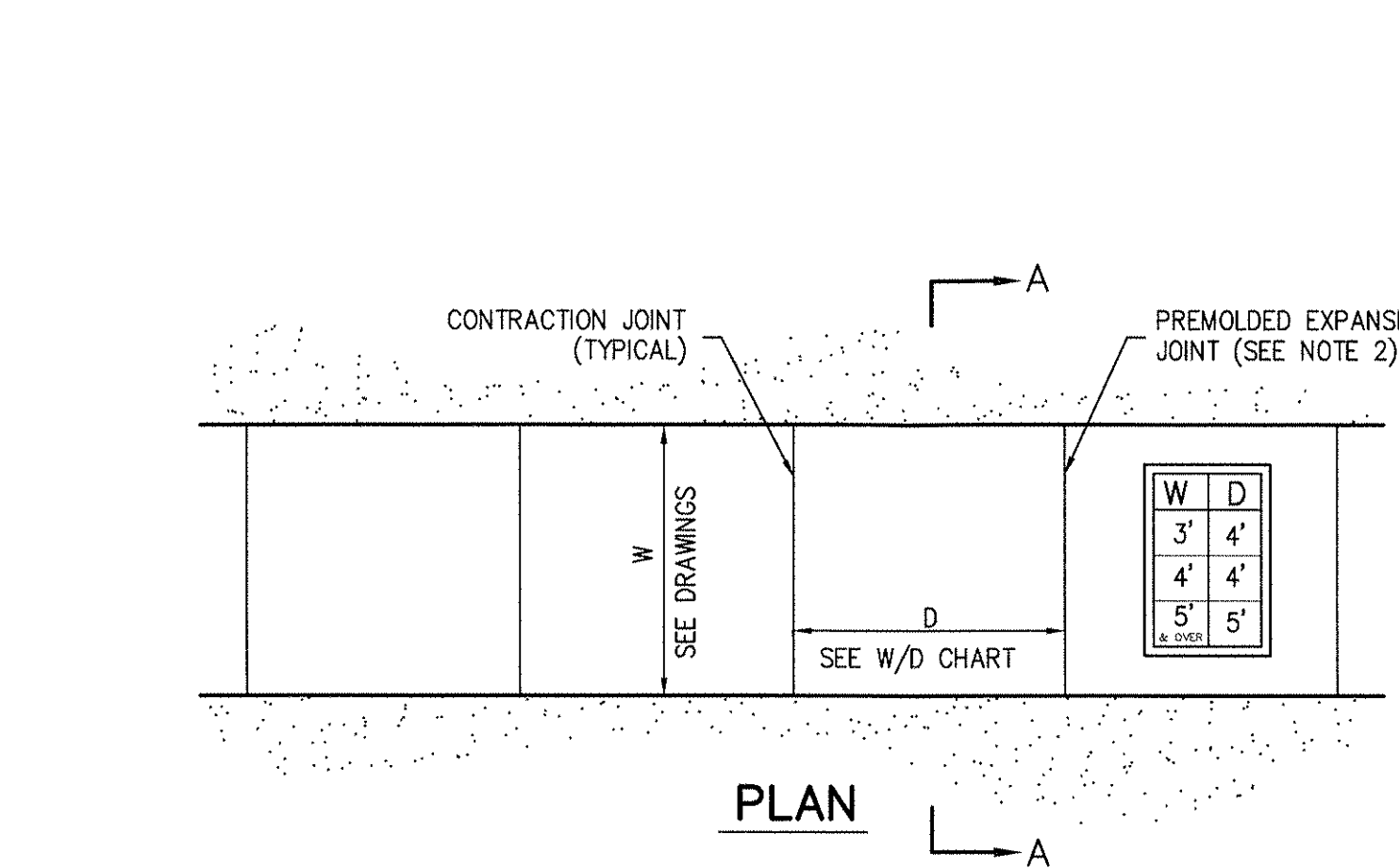
METHOD OF DEPRESSING CURB AT DRIVEWAYS

CURB SIZE	DIM. B	DIM. C	DIM. D
7" X 18"	18"	16"	4 1/2"
9" X 20"	20"	18"	4 1/2"
9" X 22"	22"	20"	4 1/2"



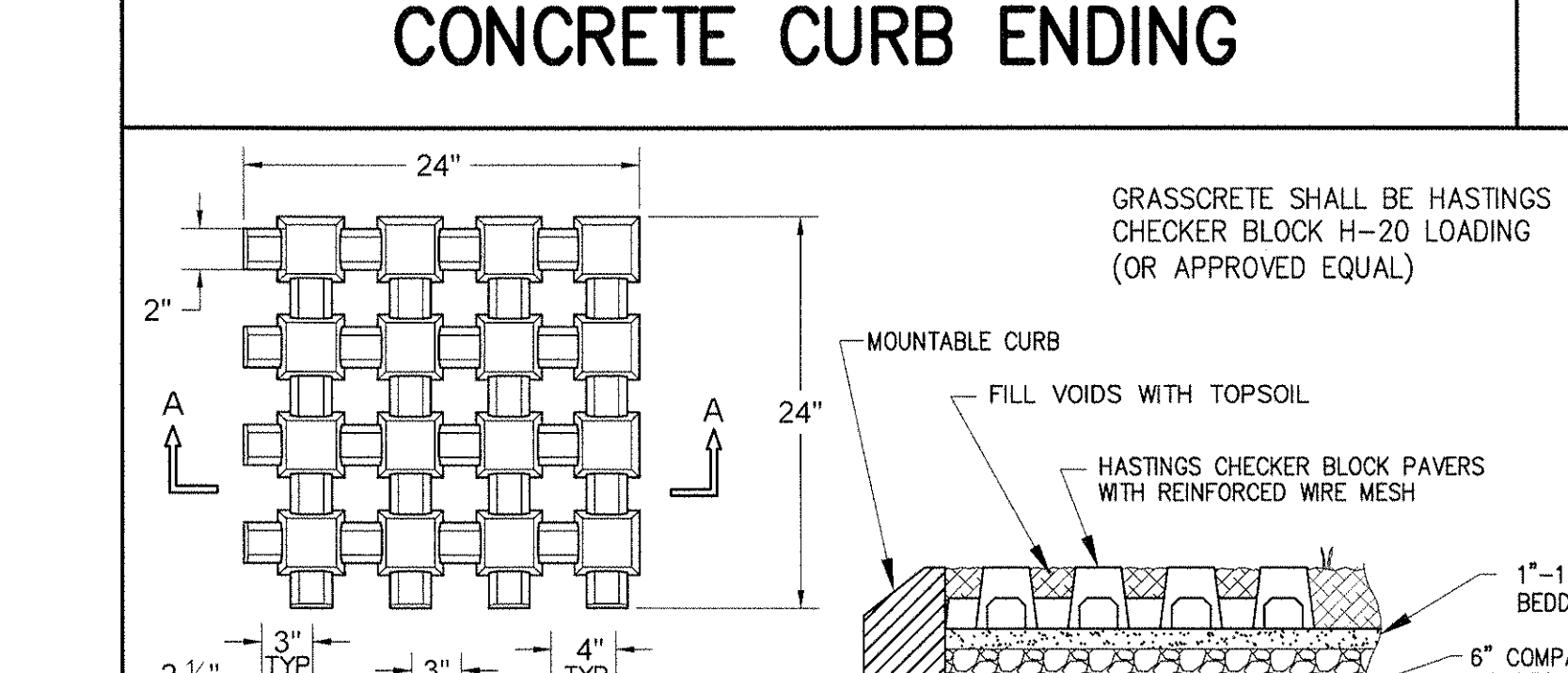
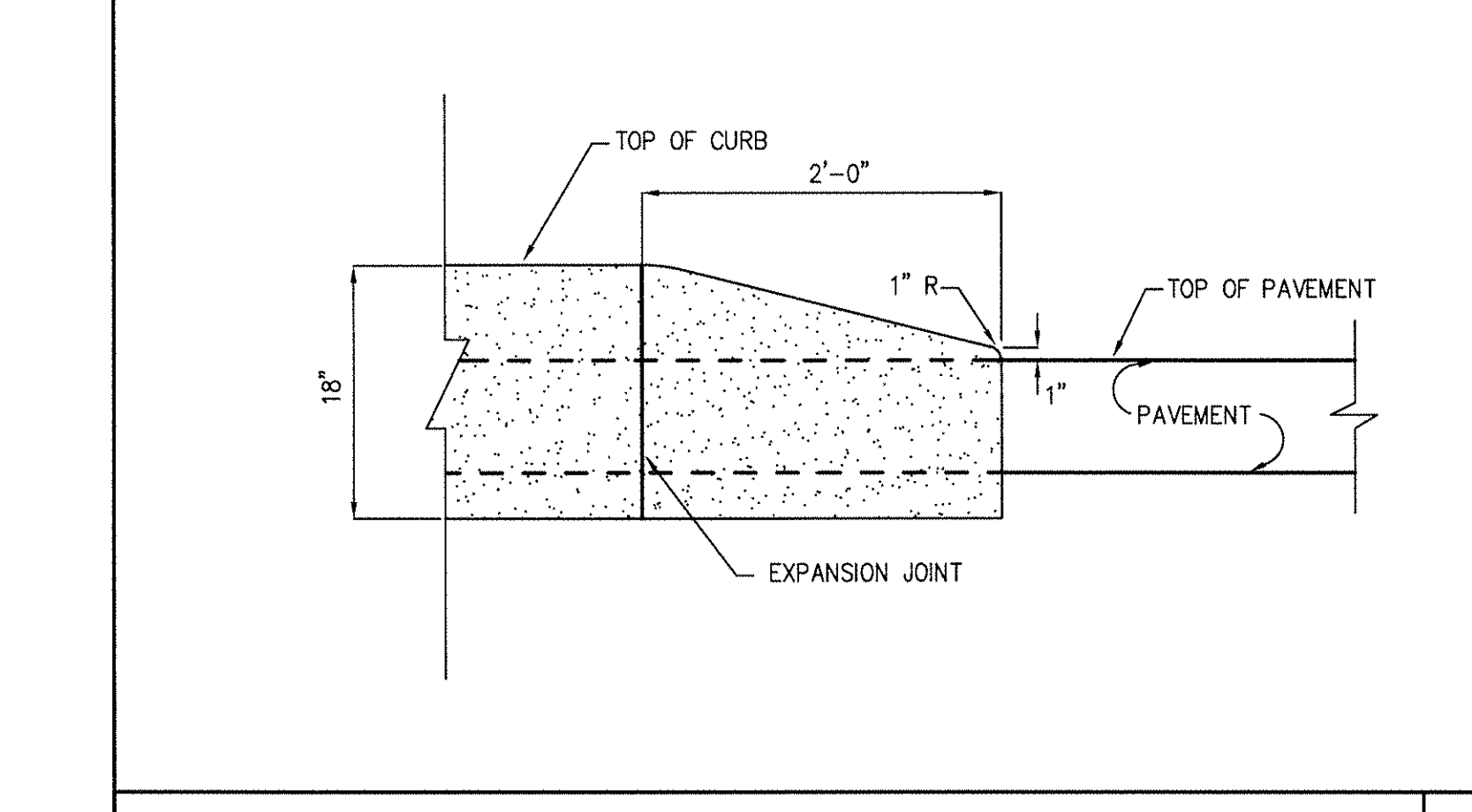
NOTES:
 1. RAMP AND SIDE RAMP SHALL HAVE DETECTABLE WARNINGS CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 2. TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 409.2, FEDERAL REGISTER, VOLUME 36, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
 3. 24" WIDTH OF TRUNCATED DOMES TO BE INSTALLED DIRECTLY BEHIND CURB.

DRIVEWAY 4" HIGH STONE CURB (BELGIAN BLOCK) 42



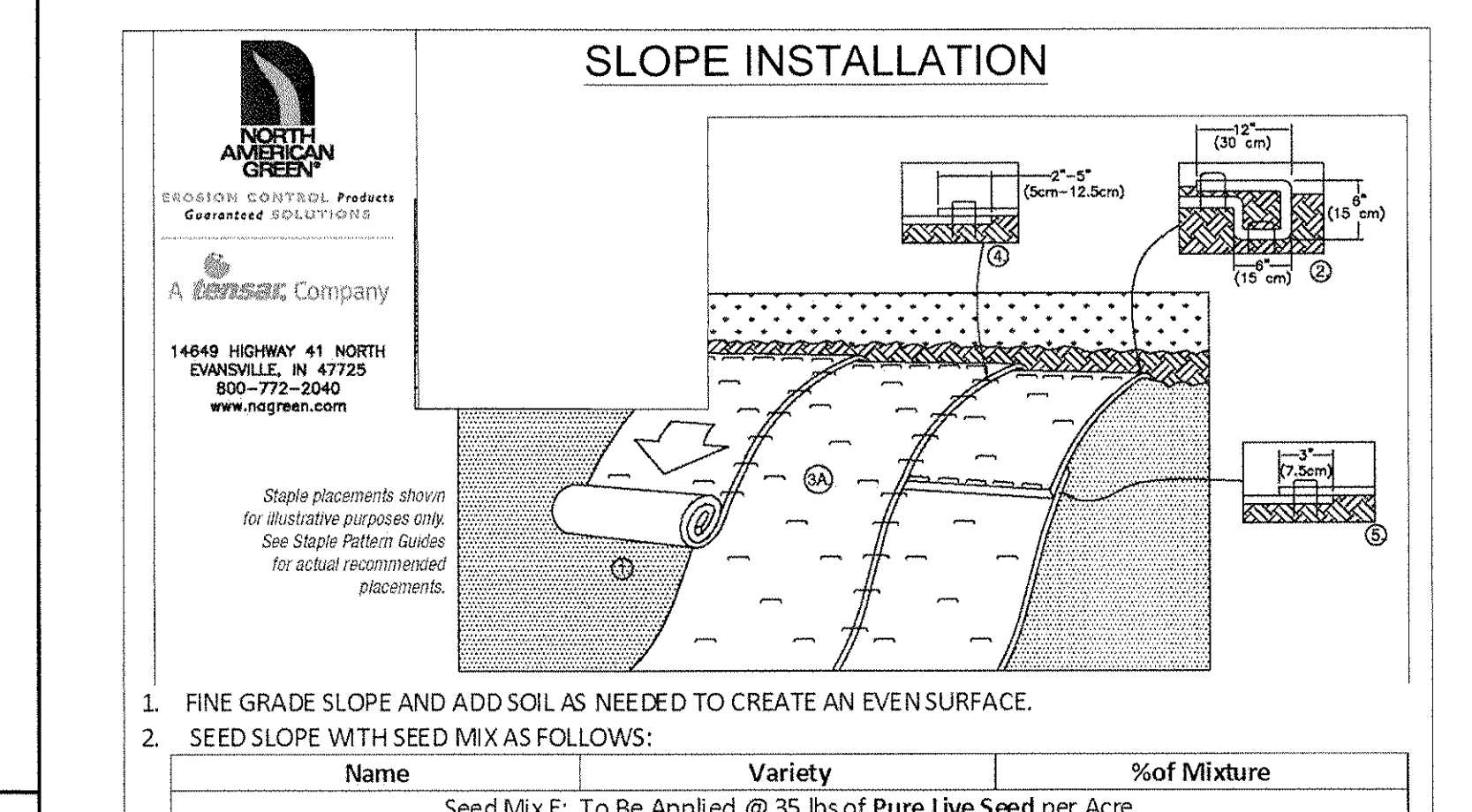
NOTES:
 1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
 2. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

DROP CURB & RAMP (TYPE C) WITH DETECTABLE WARNING 43



NOTES:
 1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
 2. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

STREET STONE CURB (BELGIAN BLOCK) 45

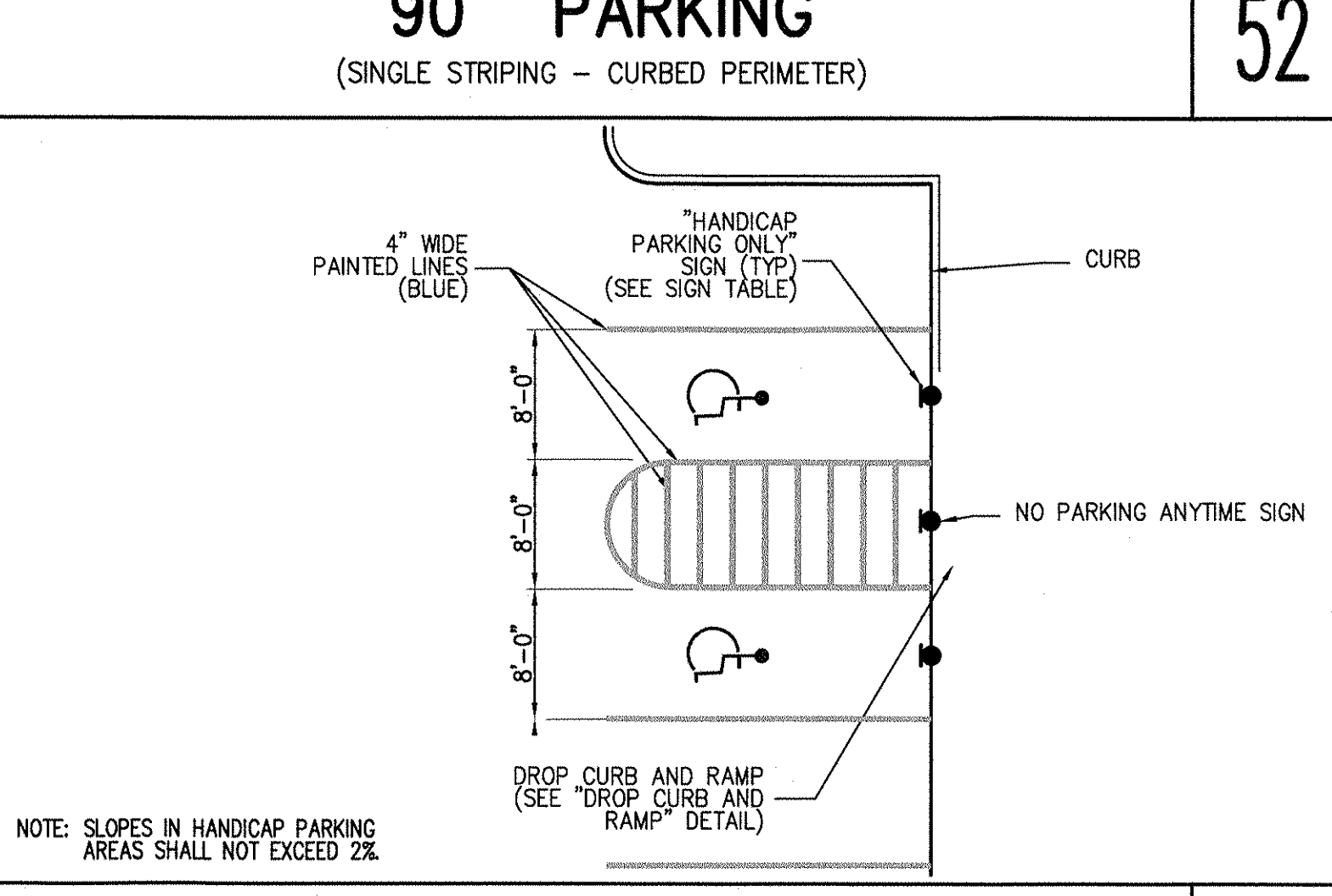
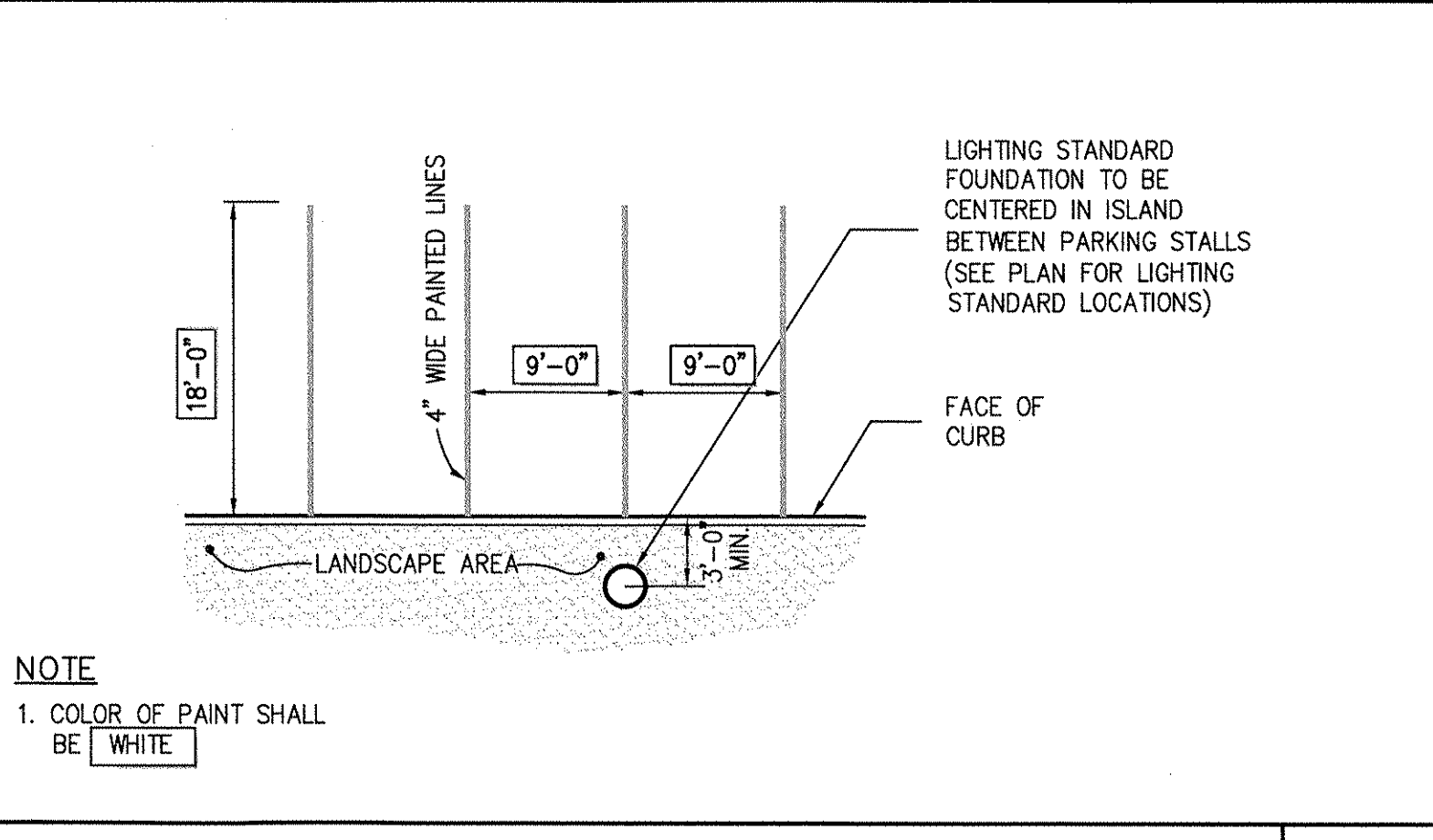


NOTES:
 1. FINE GRADE SLOPE AND ADD SOIL AS NEEDED TO CREATE AN EVEN SURFACE.
 2. SEED SLOPE WITH SEED MIX AS FOLLOWS:

Name	Variety	% of Mixture
Hard Fescue/Festuca longifolia	Bonnie	50
Chewing Fescue/Festuca arundinacea	SRS130	25
Sheep Fescue/Festuca ovina	VNS	25

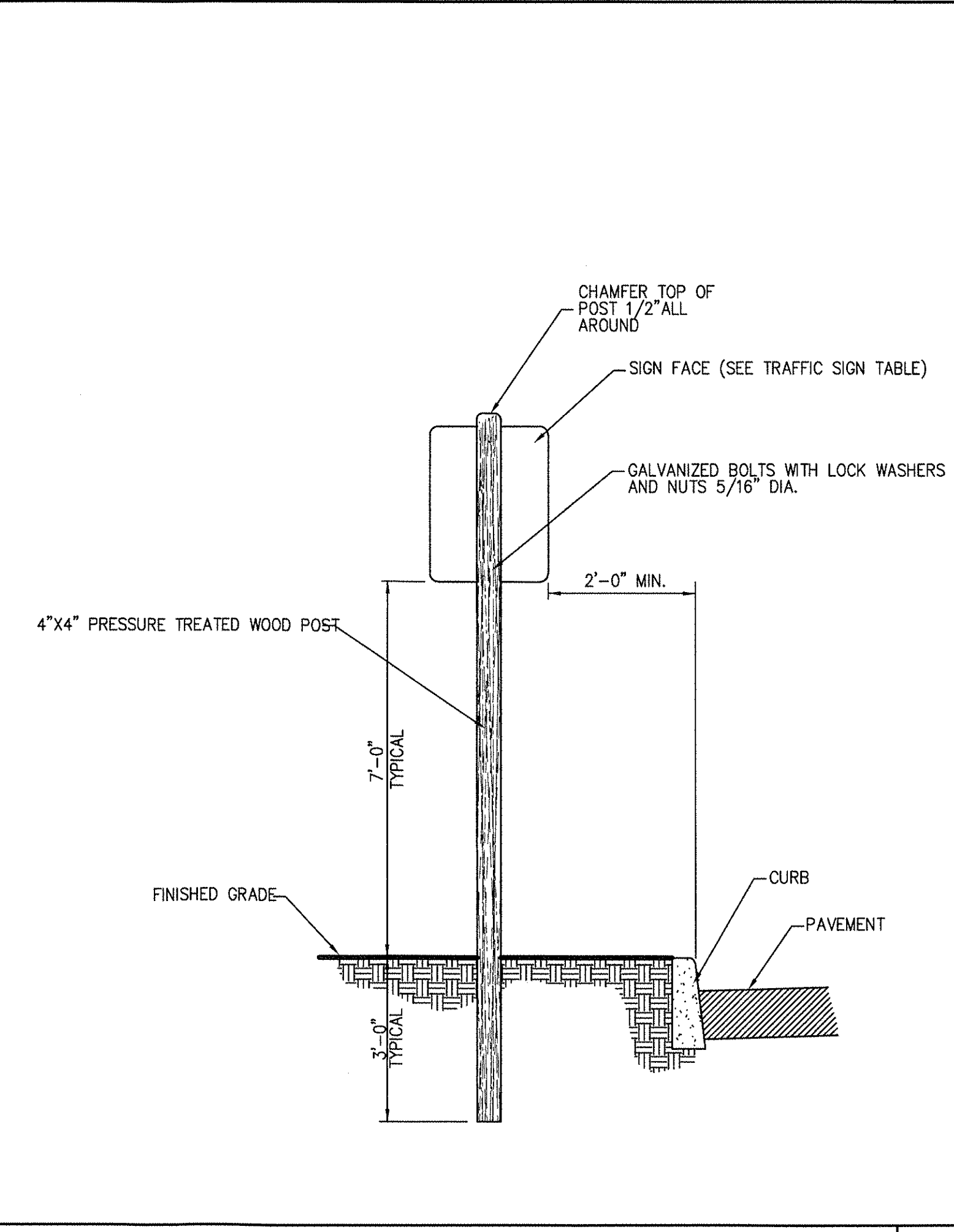
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE REC'PS IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF REC'PS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE REC'PS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF REC'PS BACK OVER SEED AND COMPACTED SOIL. SECURE REC'PS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE REC'PS.
 4. ROLL THE REC'PS DOWN THE SLOPE. REC'PS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL REC'PS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE "D" PATTERN GUIDE (SEE ATTACHED STAPLE PATTERN GUIDE). WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 5. THE EDGES OF PARALLEL REC'PS SHALL BE STAPLED WITH APPROXIMATELY 12" - 2" OVERLAP DEPENDING ON REC'PS TYPE.
 6. CONSECUTIVE REC'PS SPLIED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAP AREA APPROXIMATELY 12" APART ACROSS ENTIRE REC'PS WIDTH.
 NOTE: "M LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE REC'PS.

DEPRESSED CONCRETE CURB 46



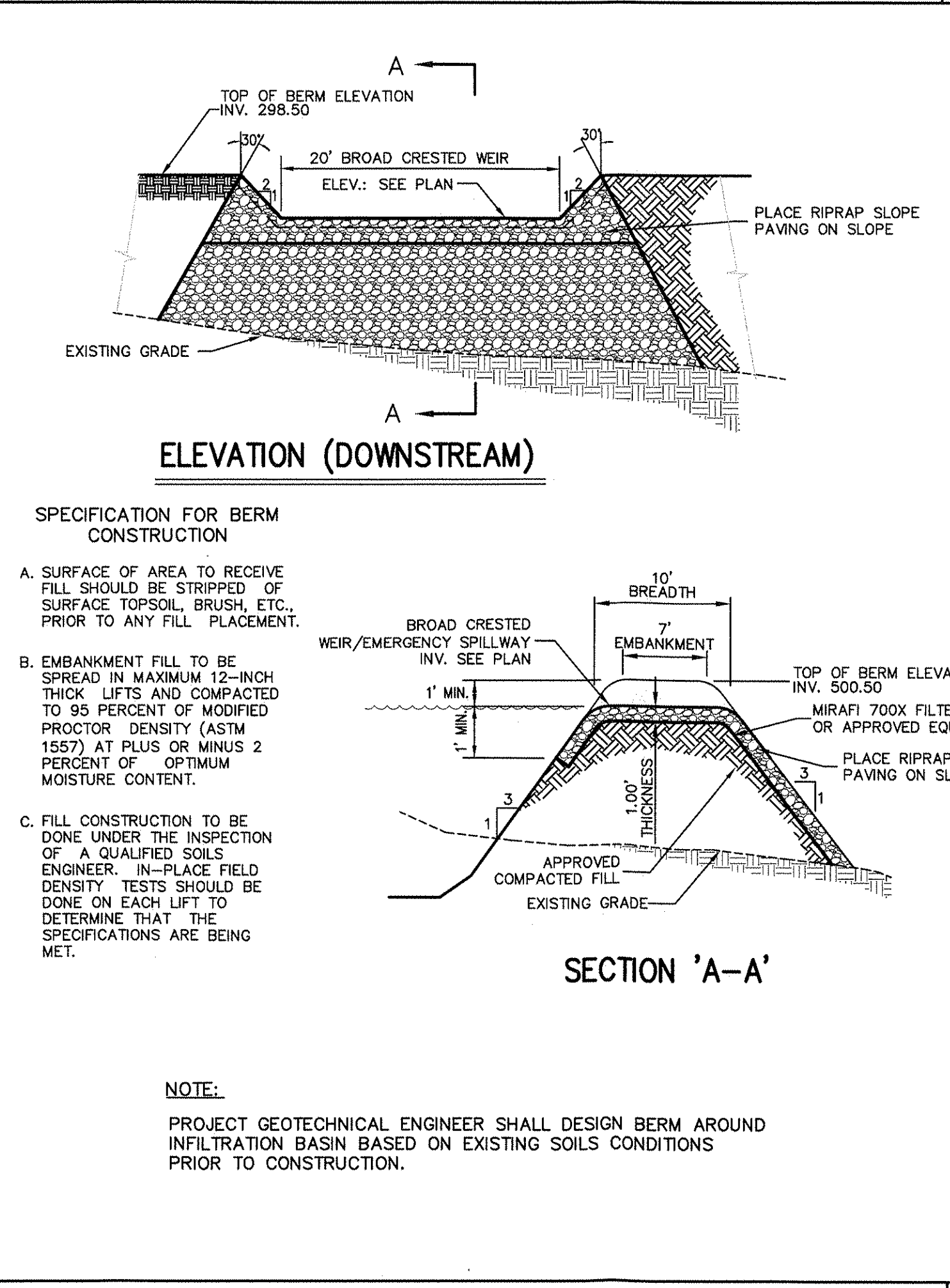
HANDICAP PARKING 53

DROP CURB & RAMP 47



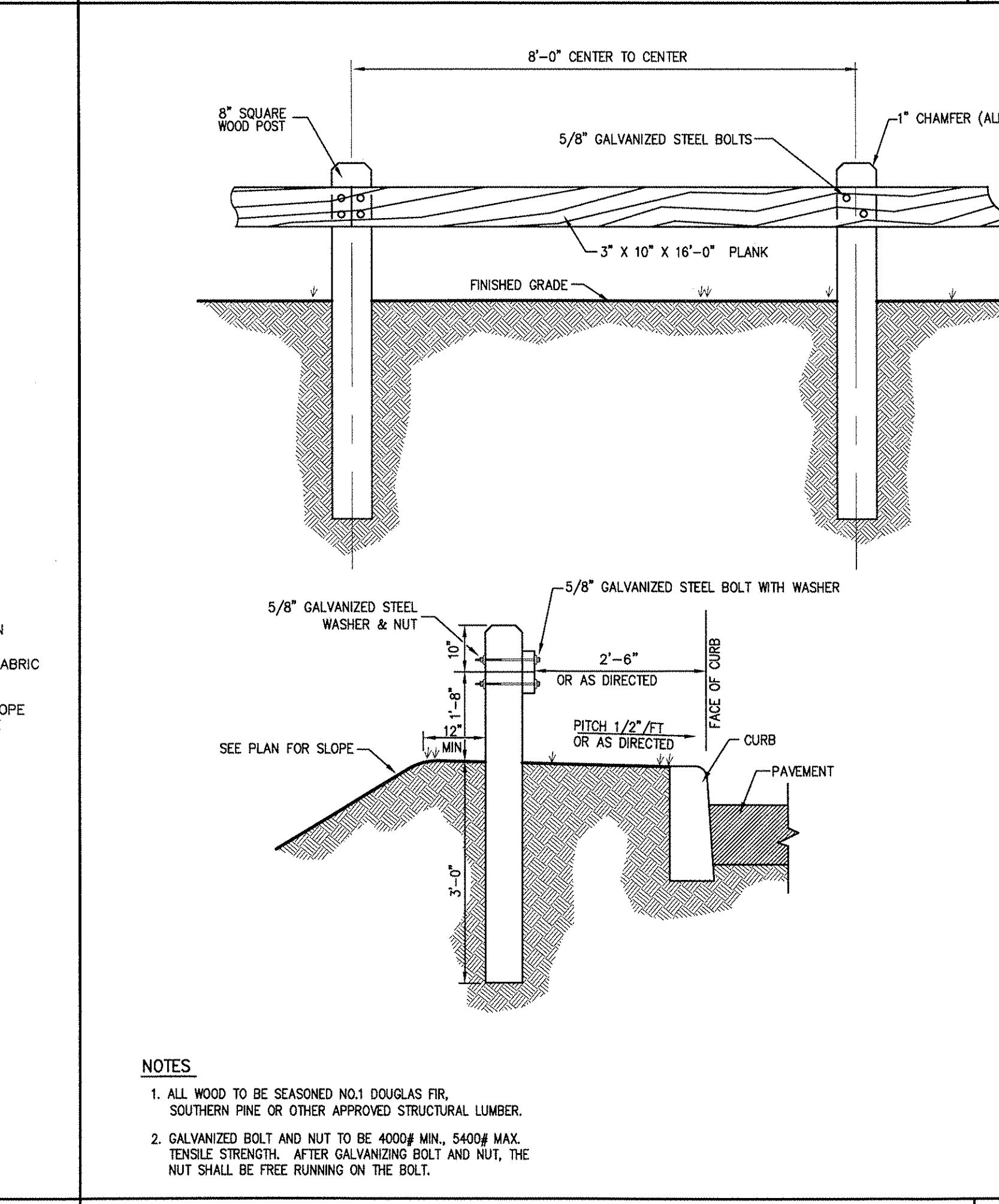
TRAFFIC SIGN POST (WOOD) 54

CONCRETE SIDEWALK 48



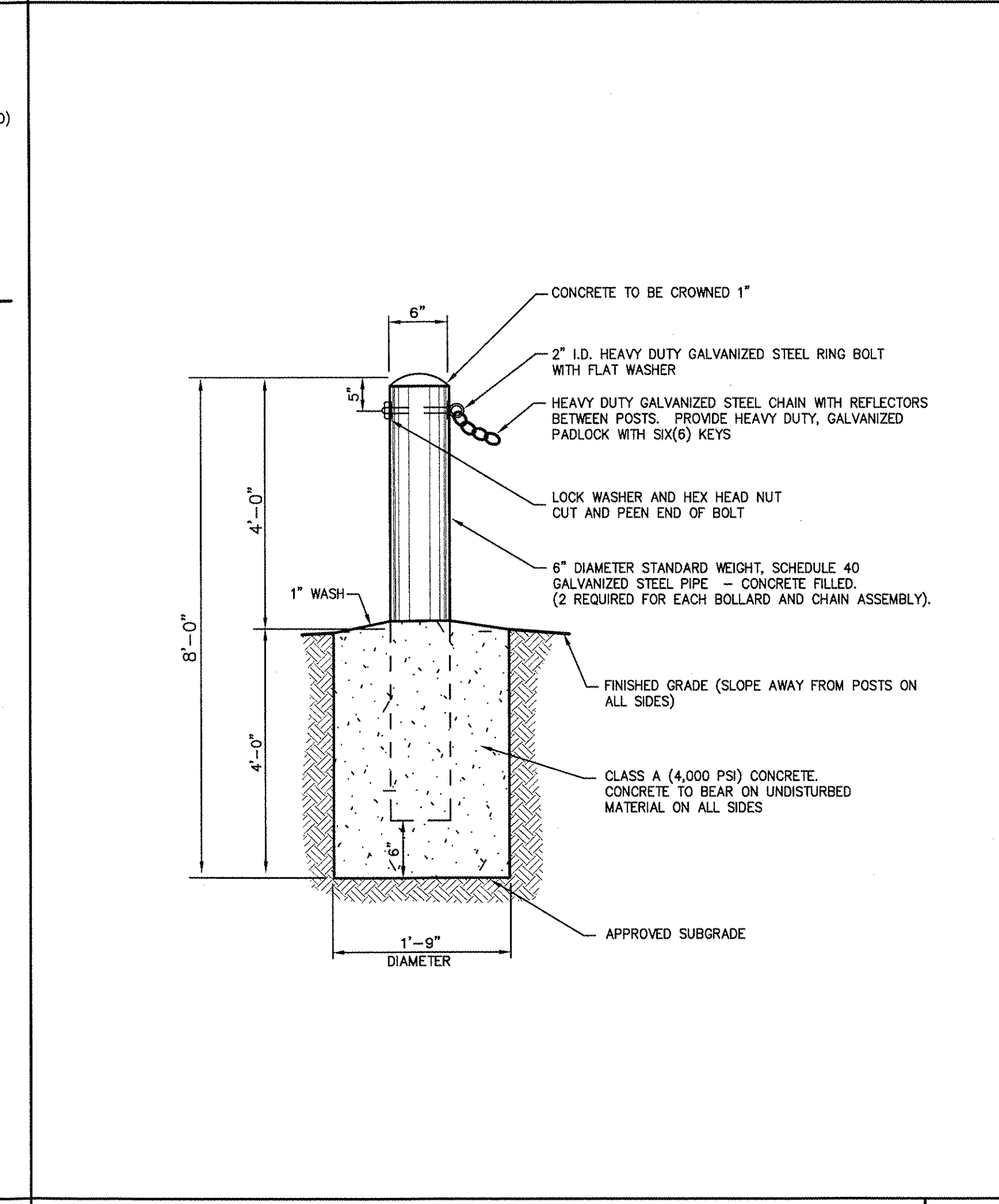
RIP-RAP EMERGENCY SPILLWAY 55

GRASSCRETE MAINTENANCE ACCESS AREAS 50



WOOD GUIDE RAIL 56

STABILIZED SLOPE DETAIL 51



BOLLARD & CHAIN ASSEMBLY (STEEL PIPE) 57

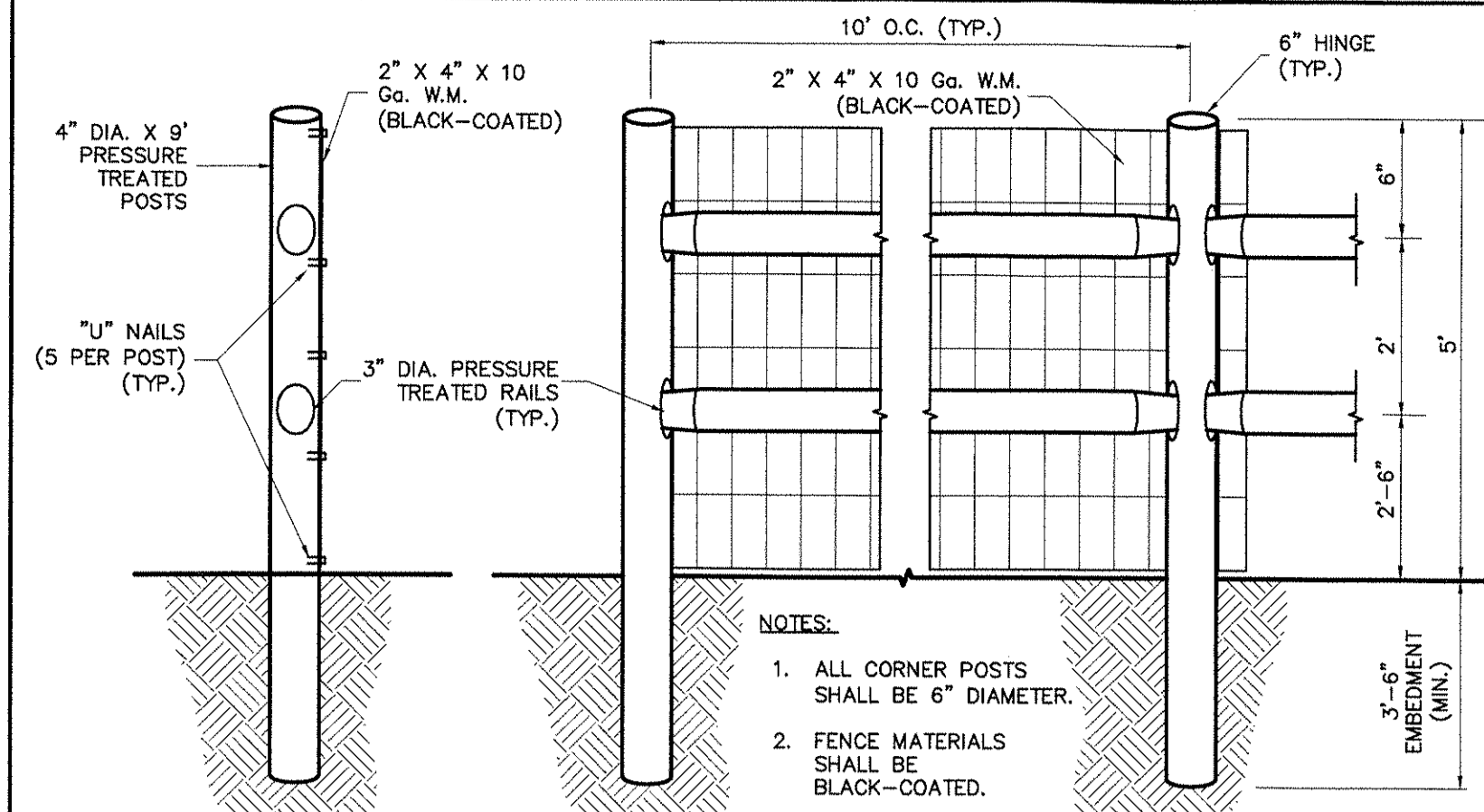
Drawn: MT
 Scale: NOT TO SCALE
 Date: 02/19/2016
 Project No: 15155
 SHEET: SET 4
SP-14

Architect: MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601

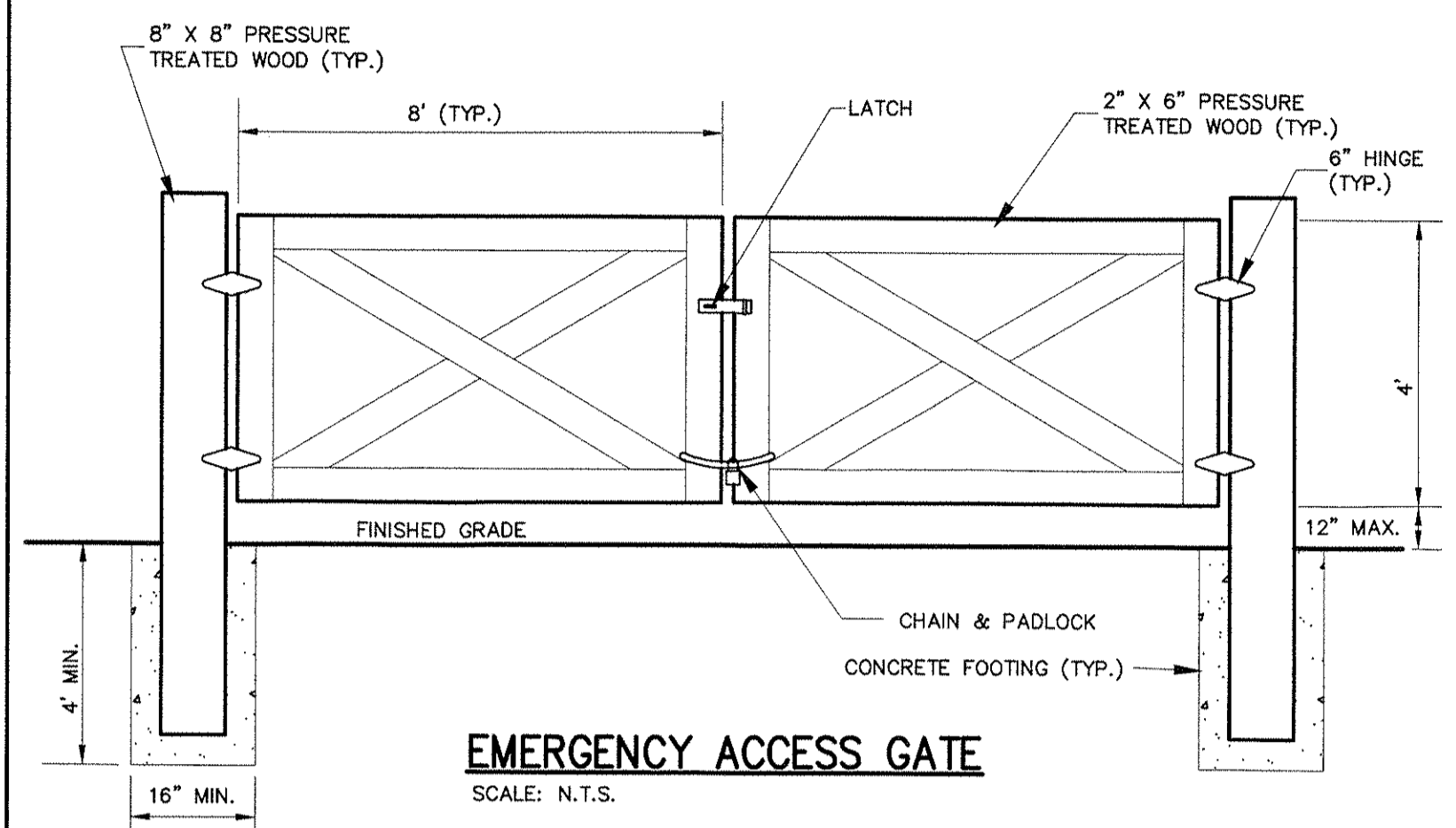
Farrell Building Company, LLC
 1001 WEST MAIN STREET
 ISLANDIA, NY 11749

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEEPER ROAD - ARADONK, NY 10804
 voice 914.273.3225 - fax 914.232.1102
 www.jmcpllc.com

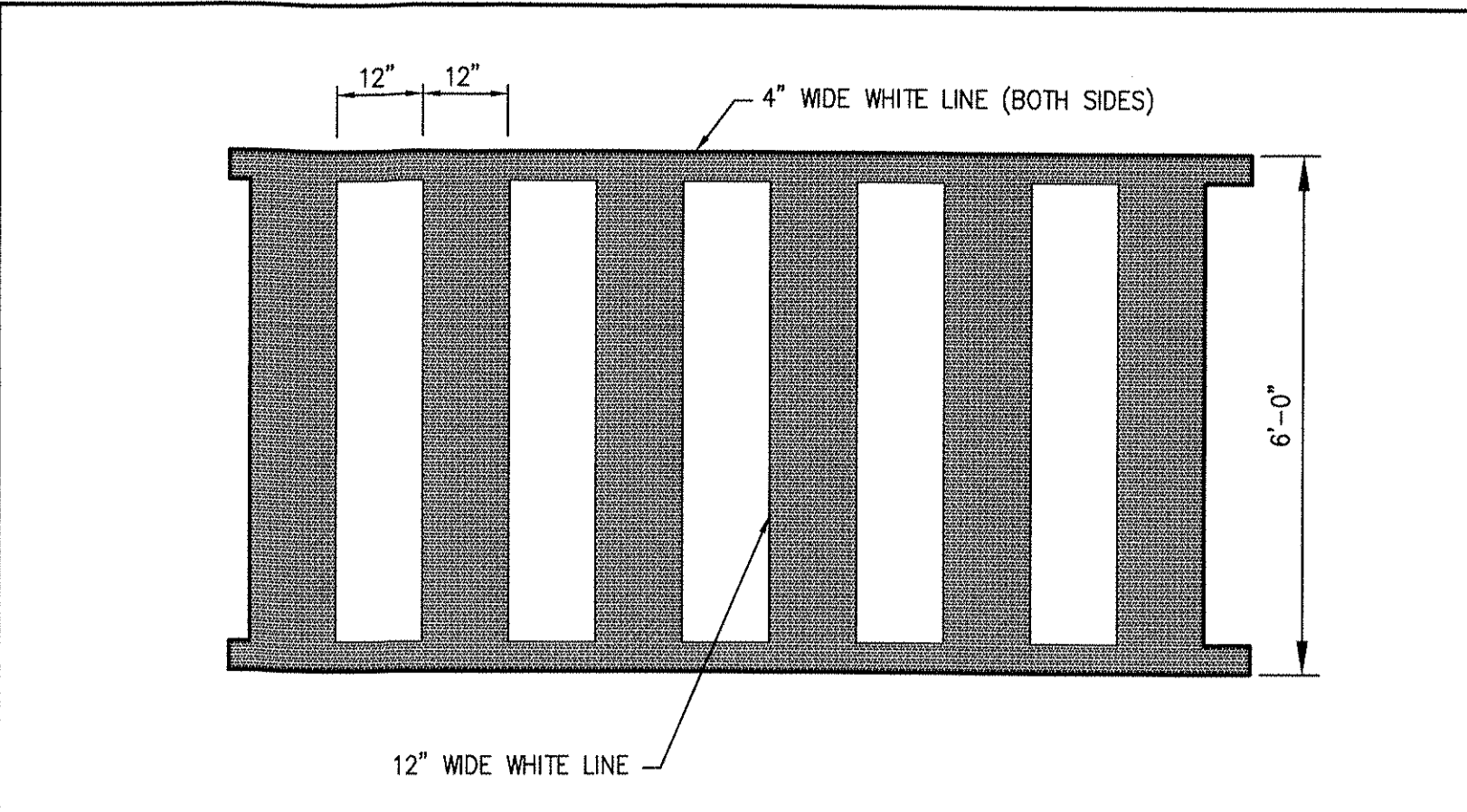
CONSTRUCTION DETAILS
 GARDENTOWN COMMONS
 GARDENTOWN ROAD
 TOWN OF NEWBURGH, NY



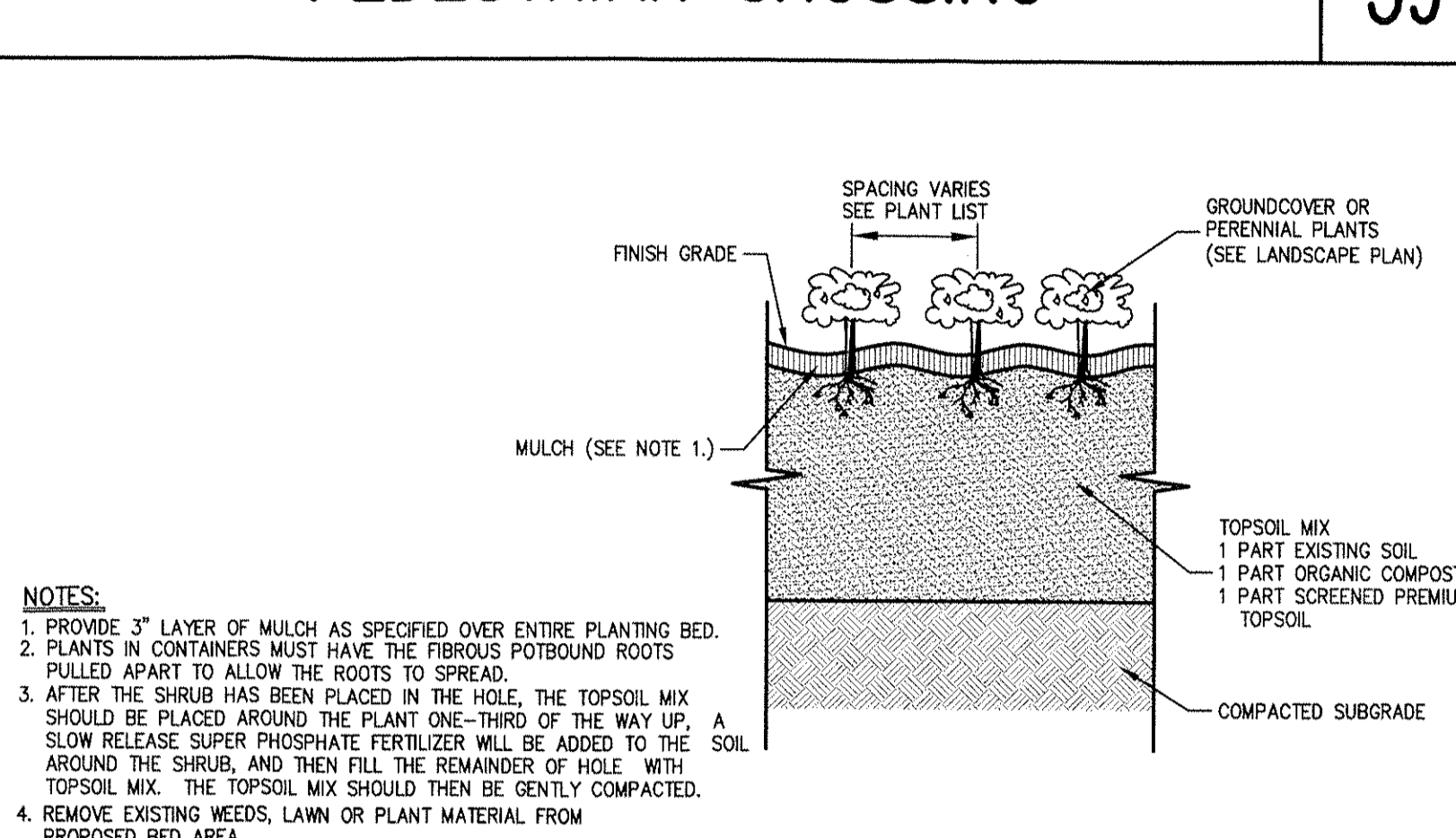
POST & RAIL FENCE - ELEVATION
SCALE: N.T.S.



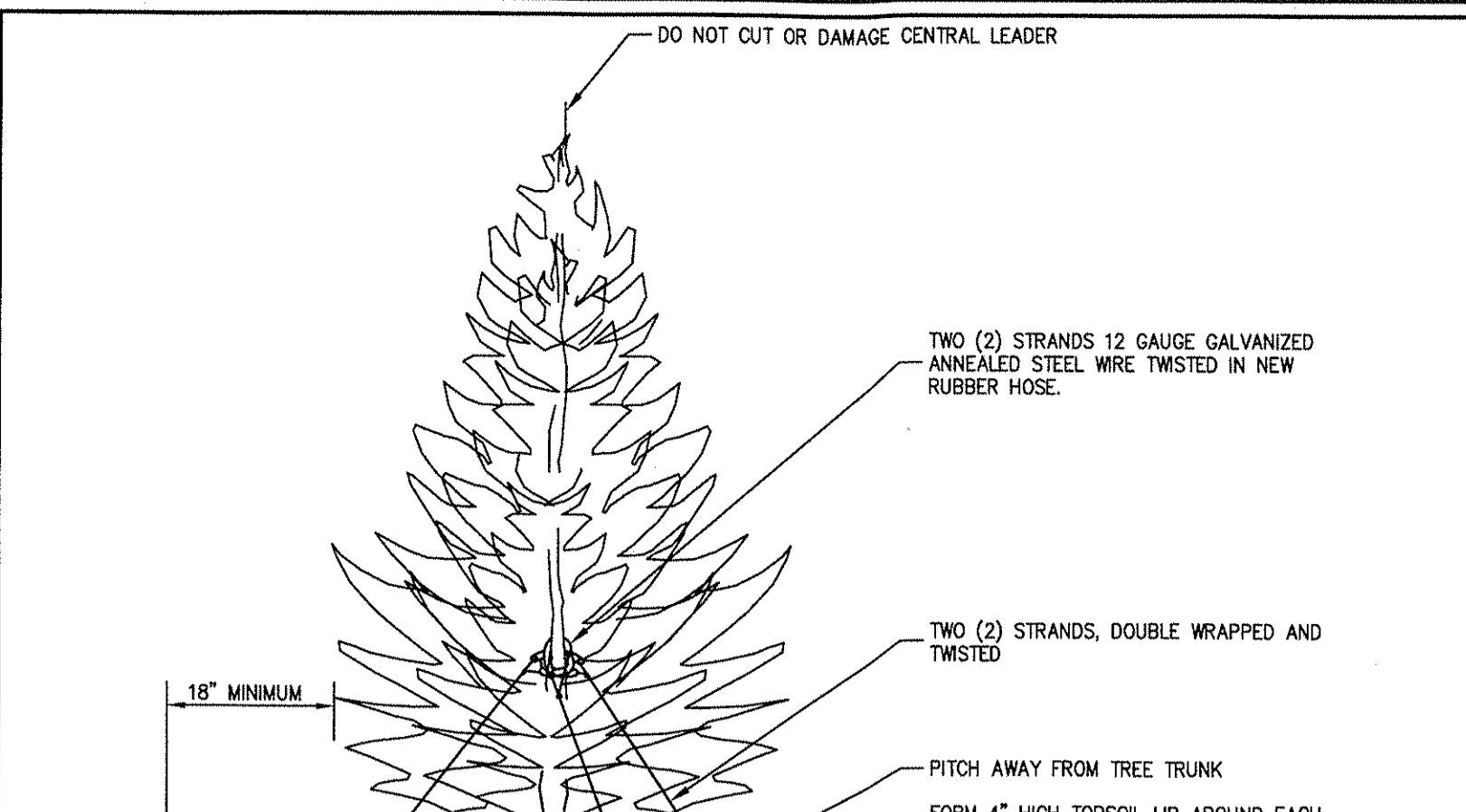
EMERGENCY ACCESS GATE
SCALE: N.T.S.



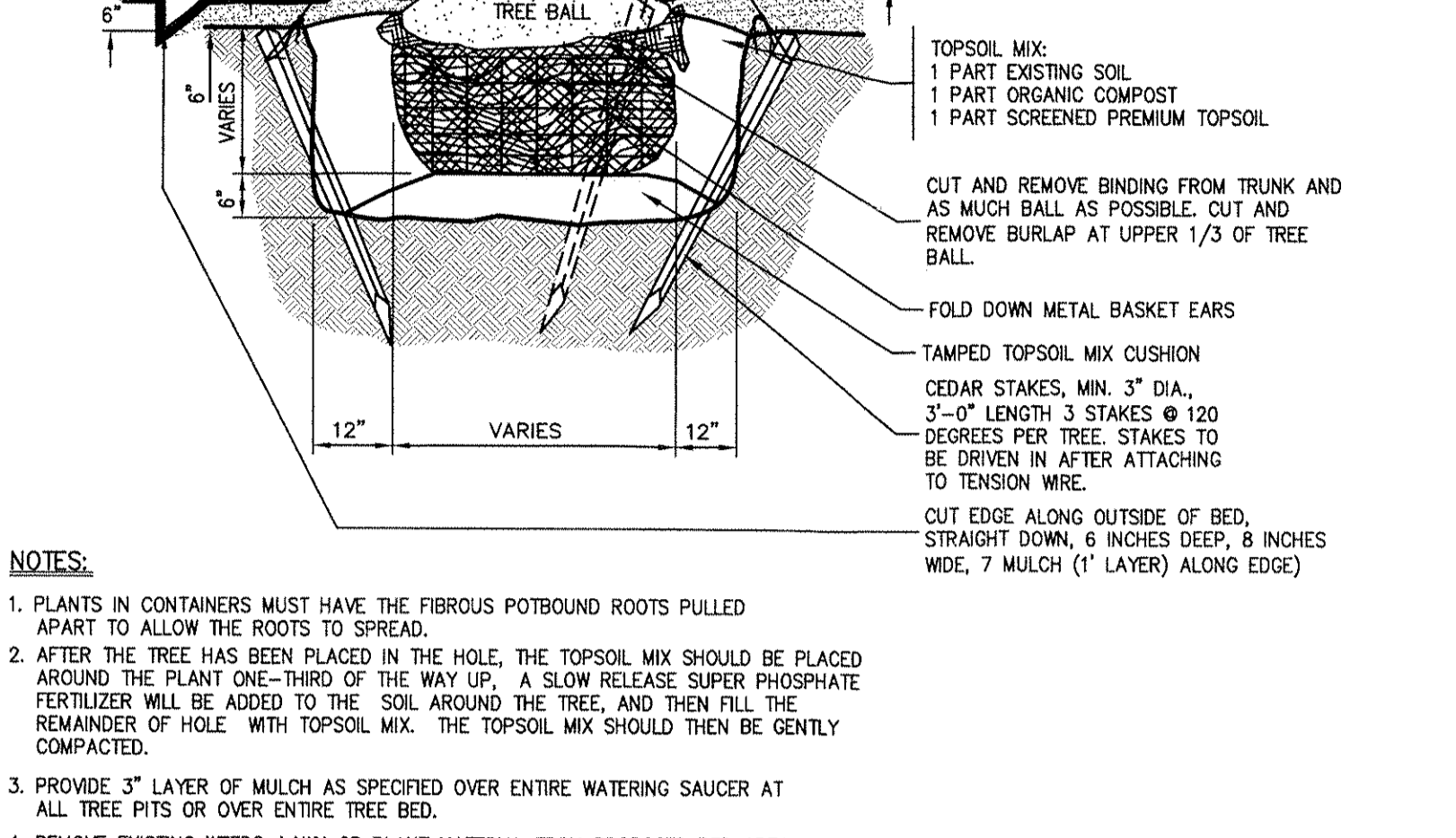
PEDESTRIAN CROSSING



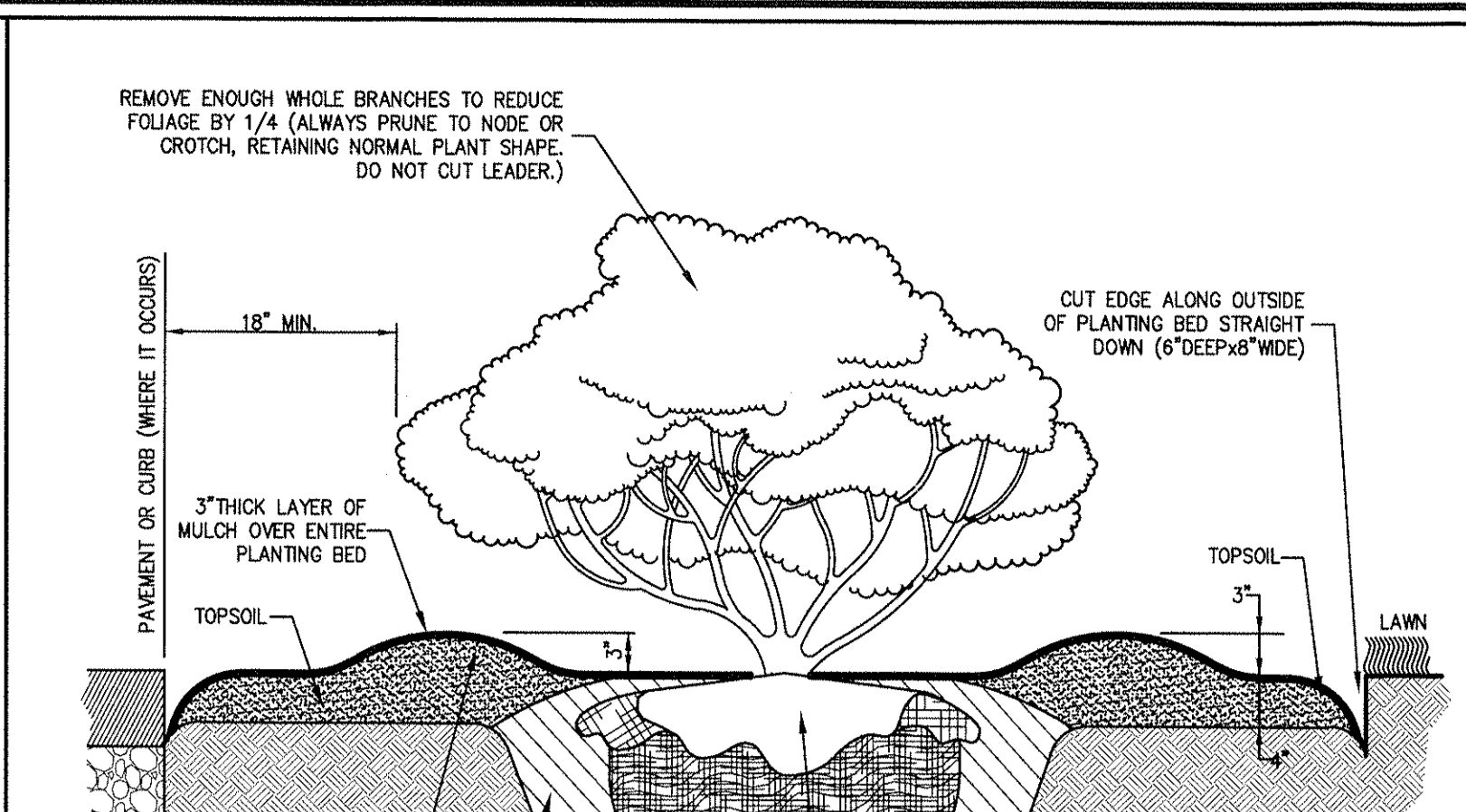
GROUNDCOVER PLANTING



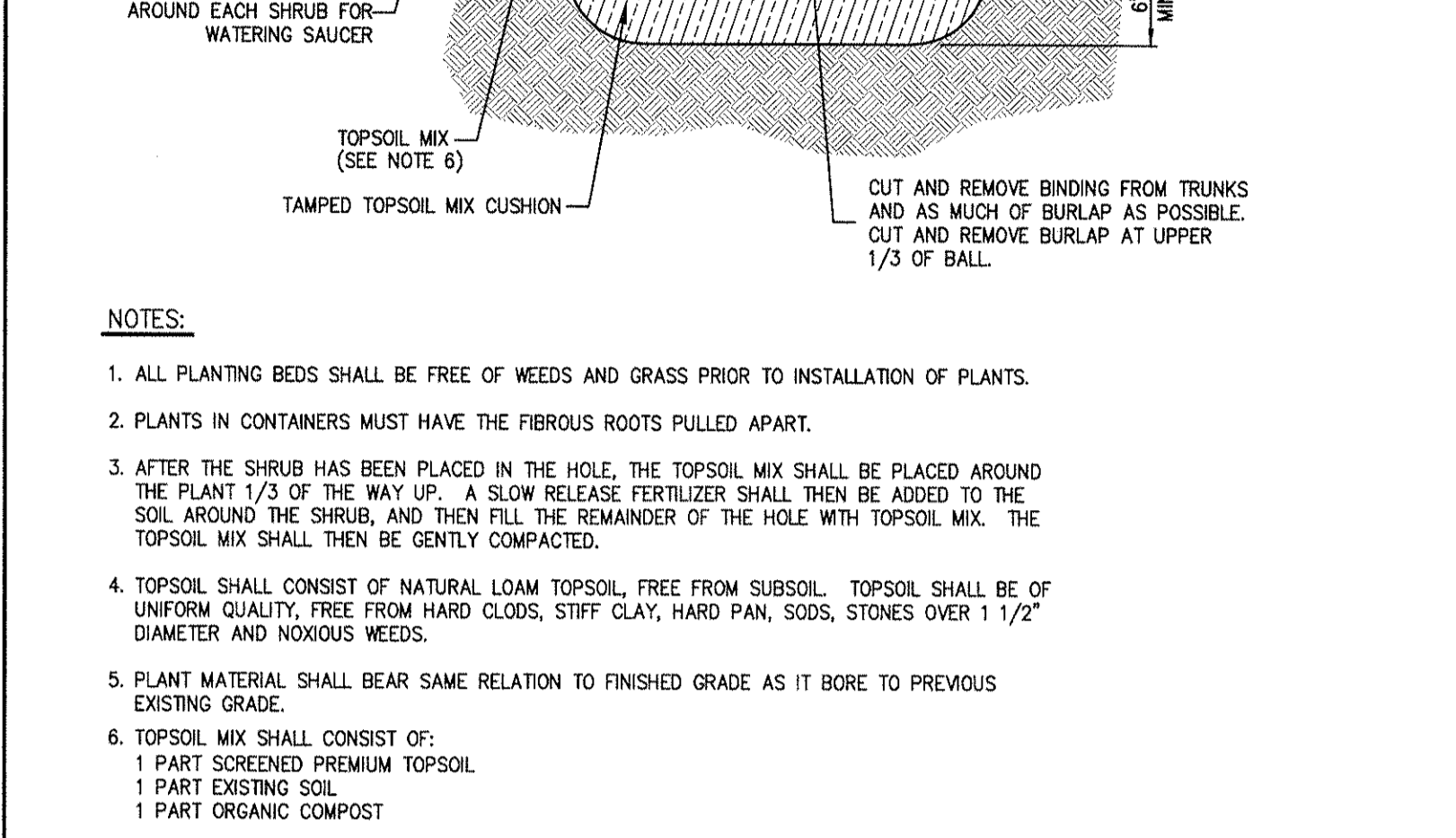
EVERGREEN TREE PLANTING



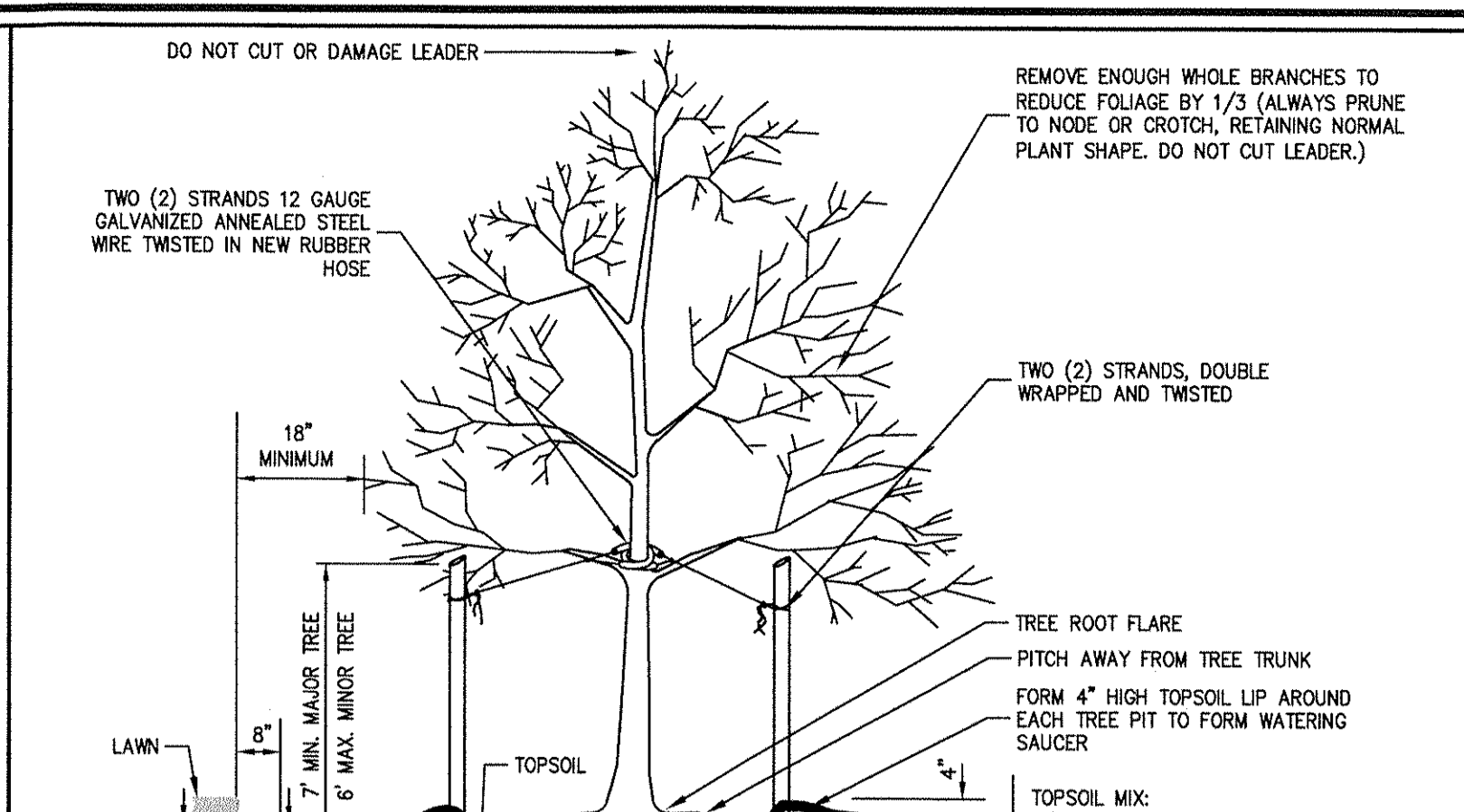
SHRUB PLANTING



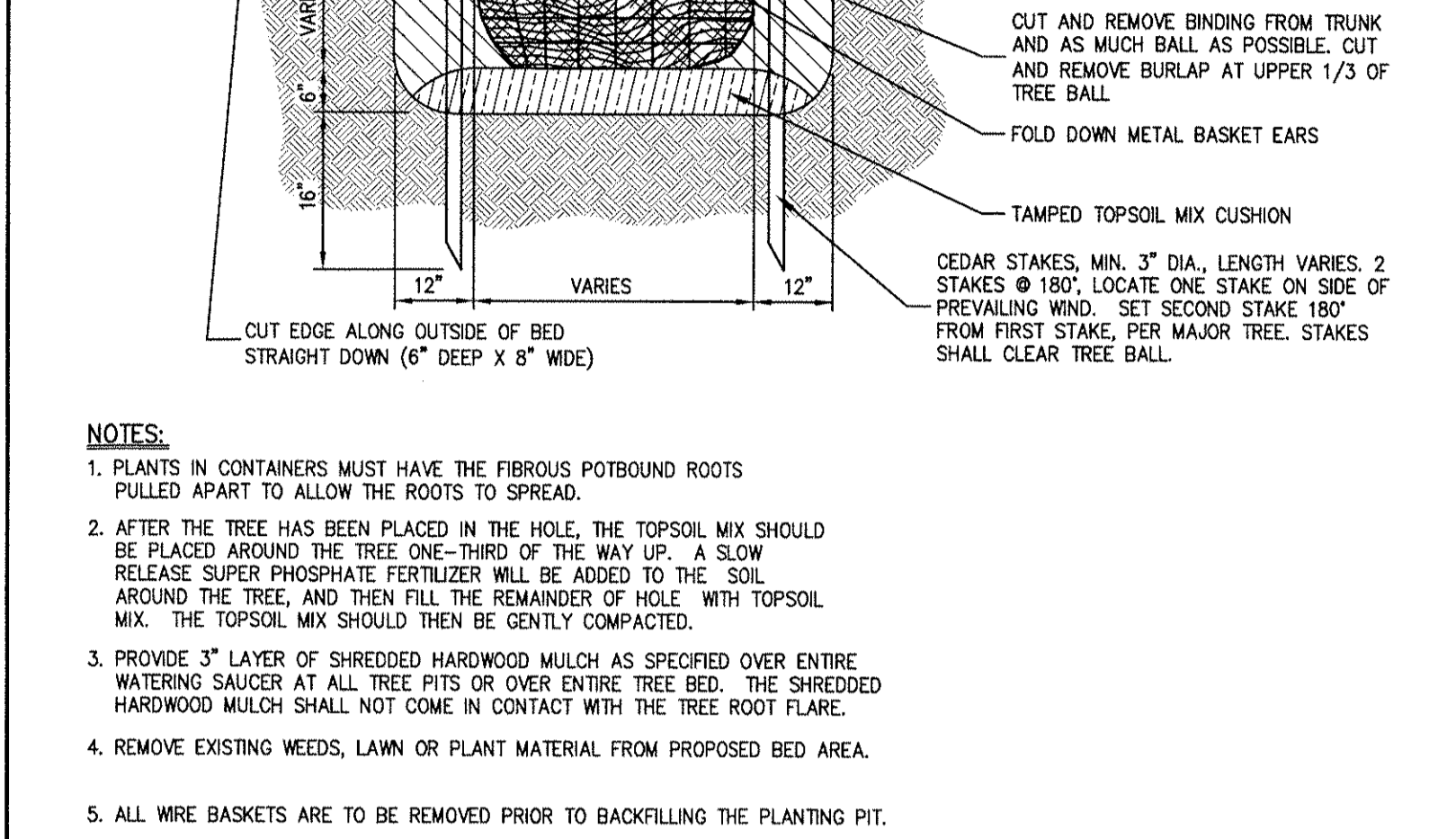
DECIDUOUS TREE PLANTING



CHAIN LINK FENCE
(VINYL COATED)



ACORN DECORATIVE LIGHT



STONE RIP RAP CHANNEL

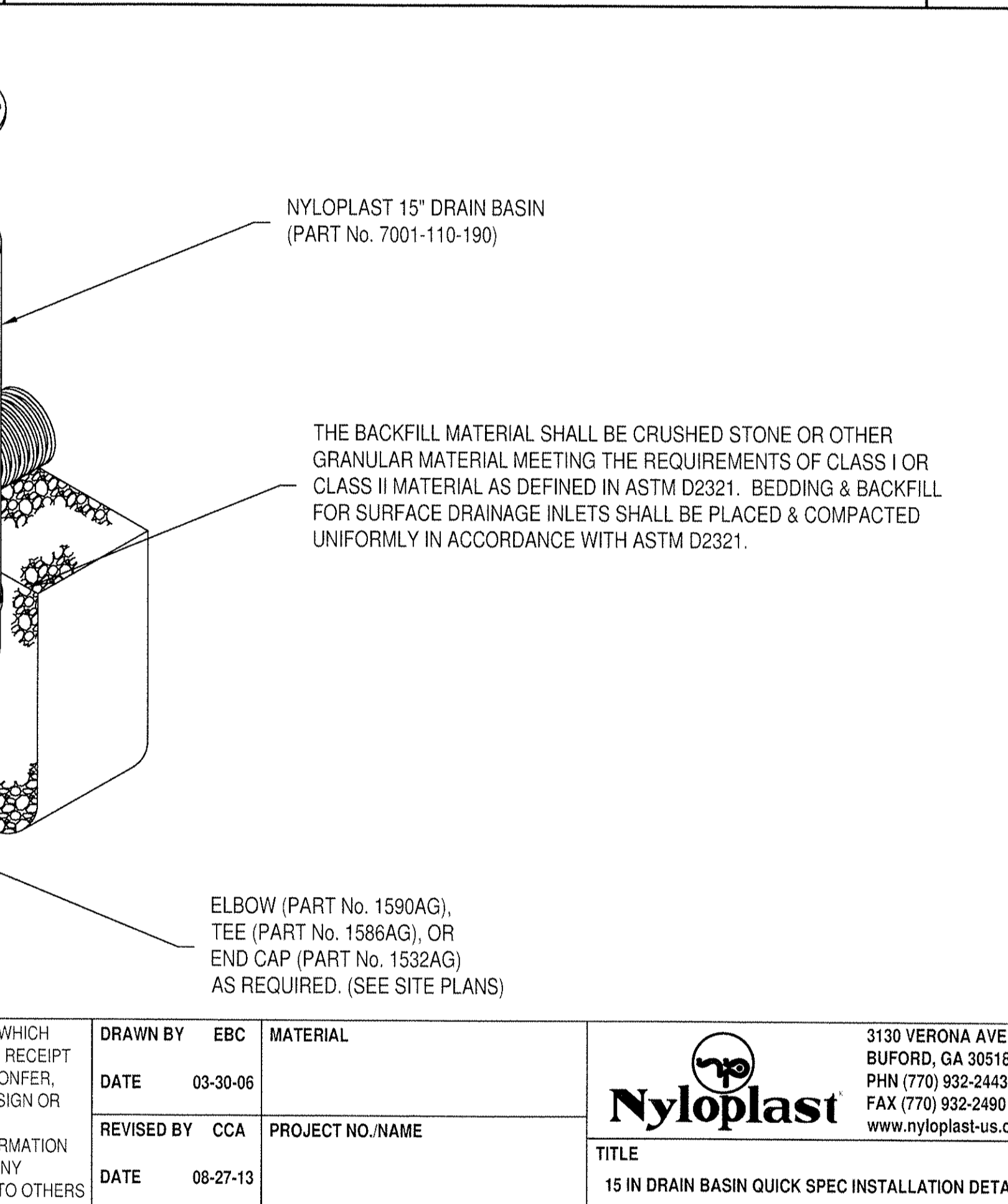
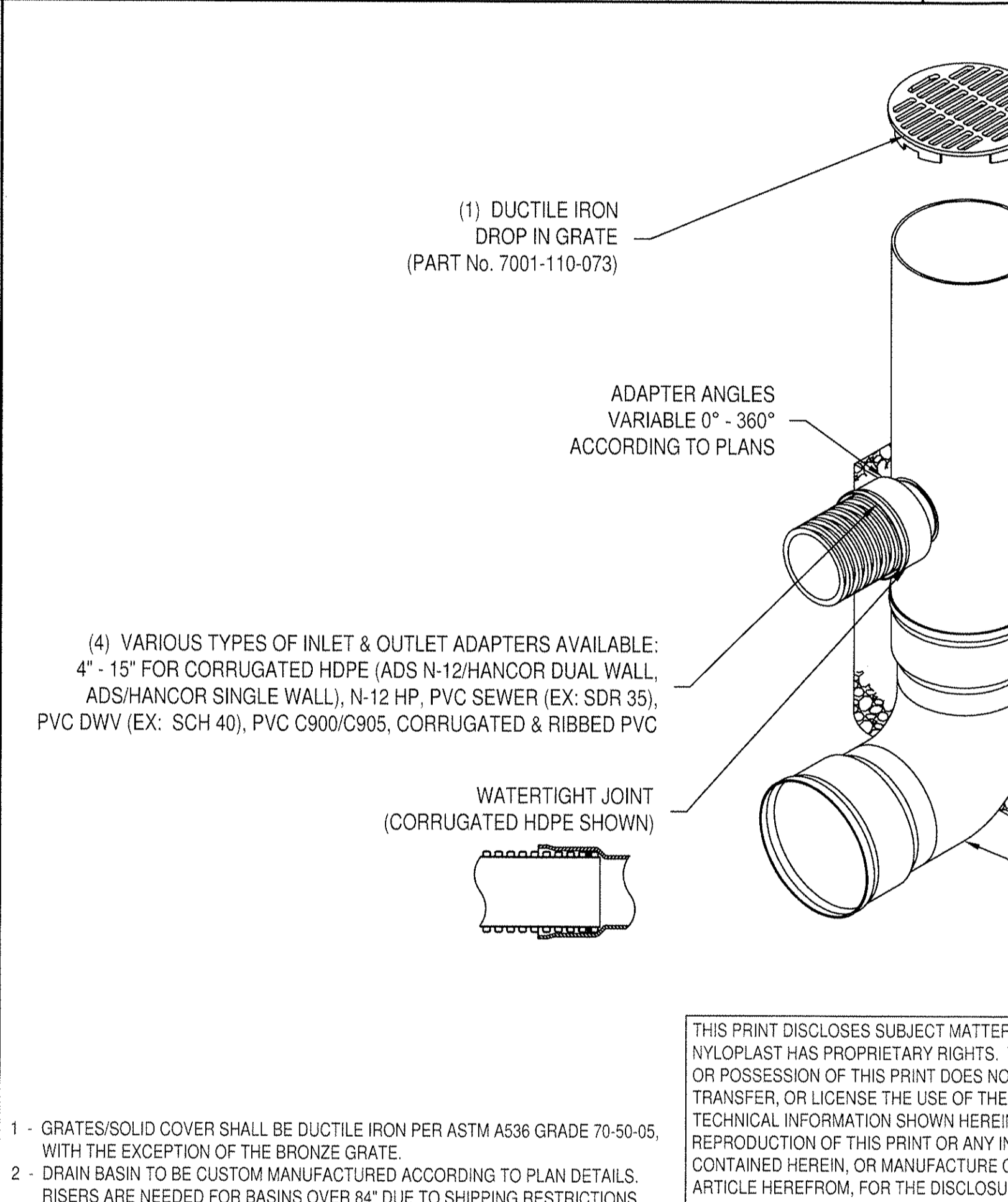
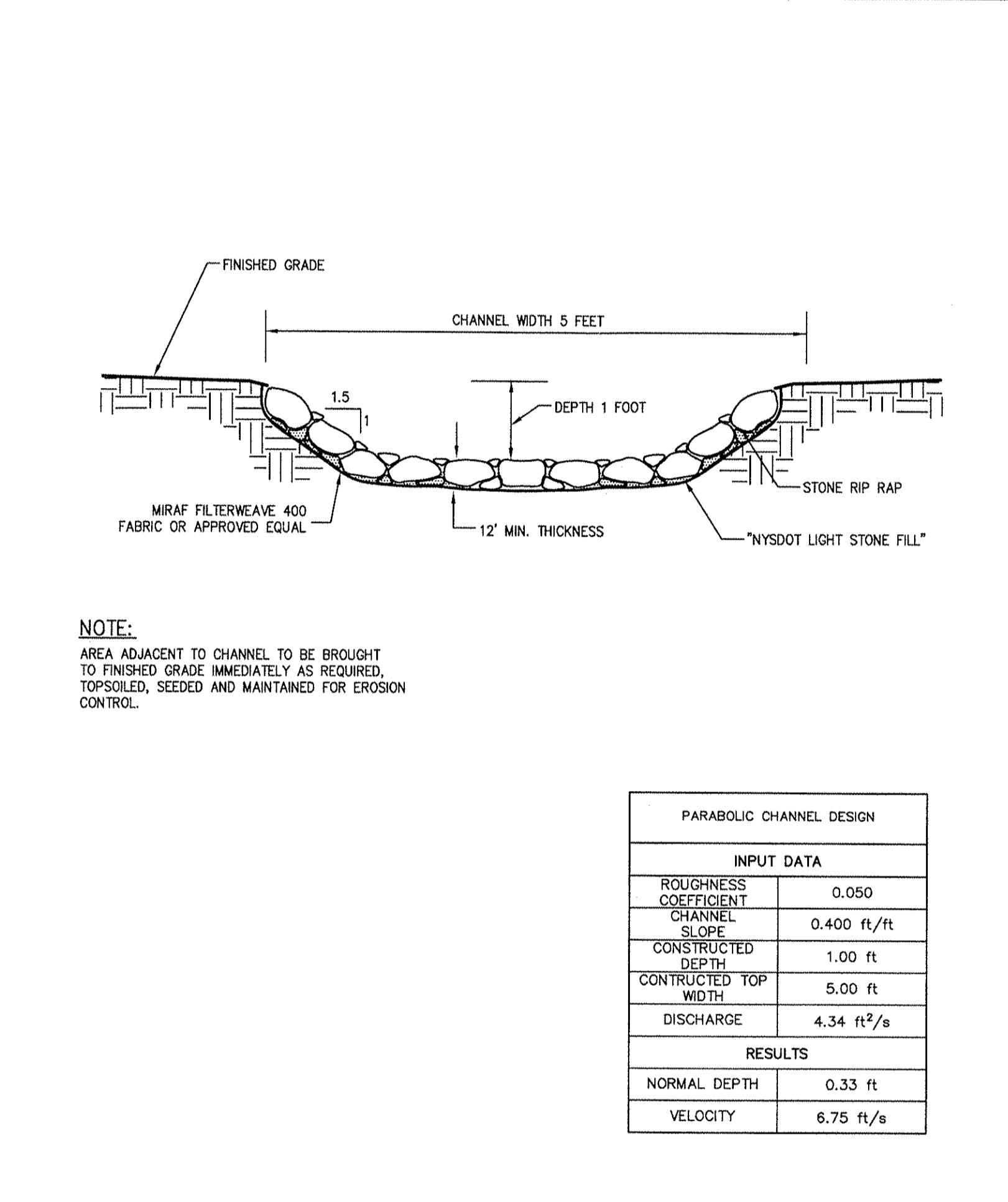
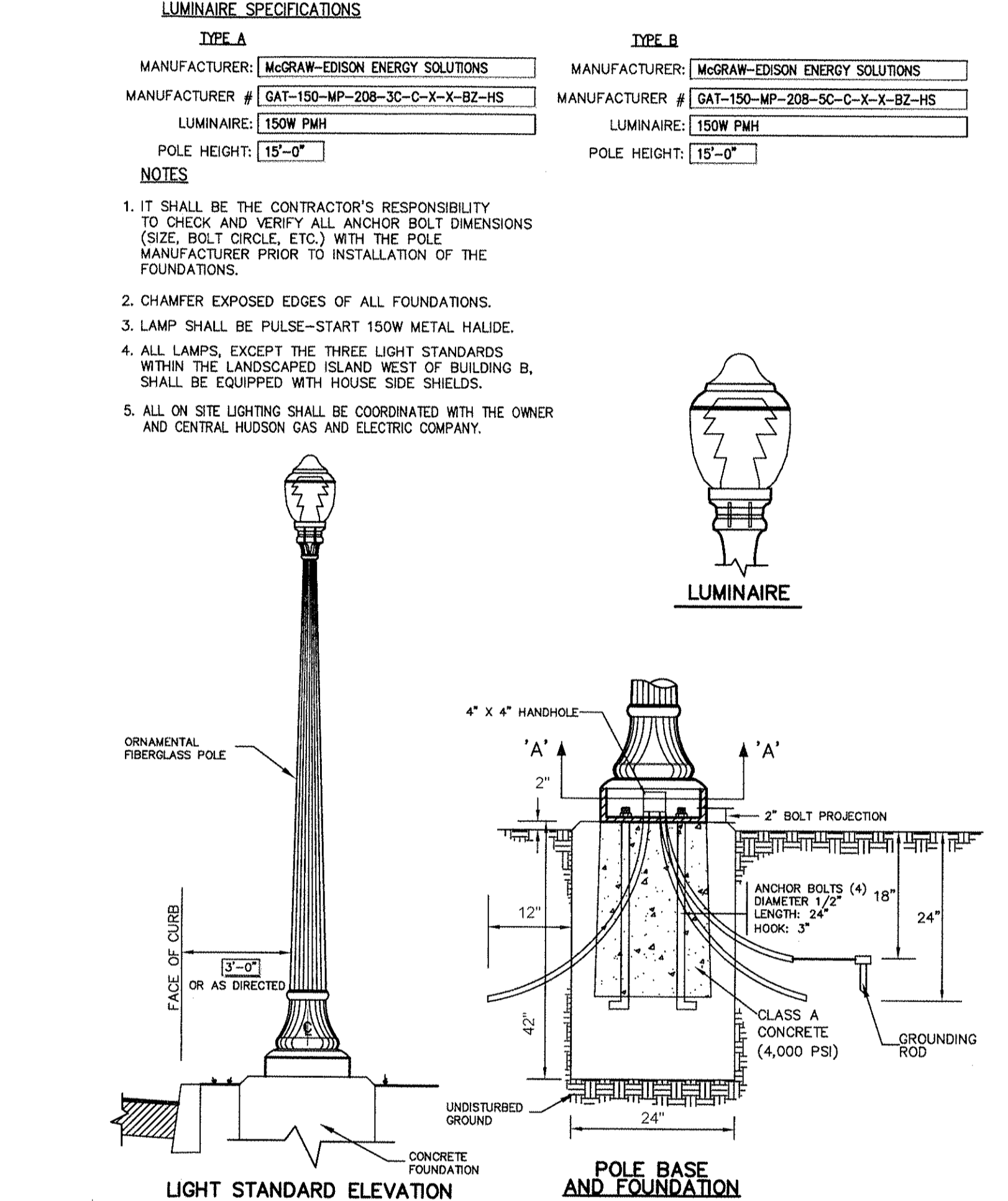
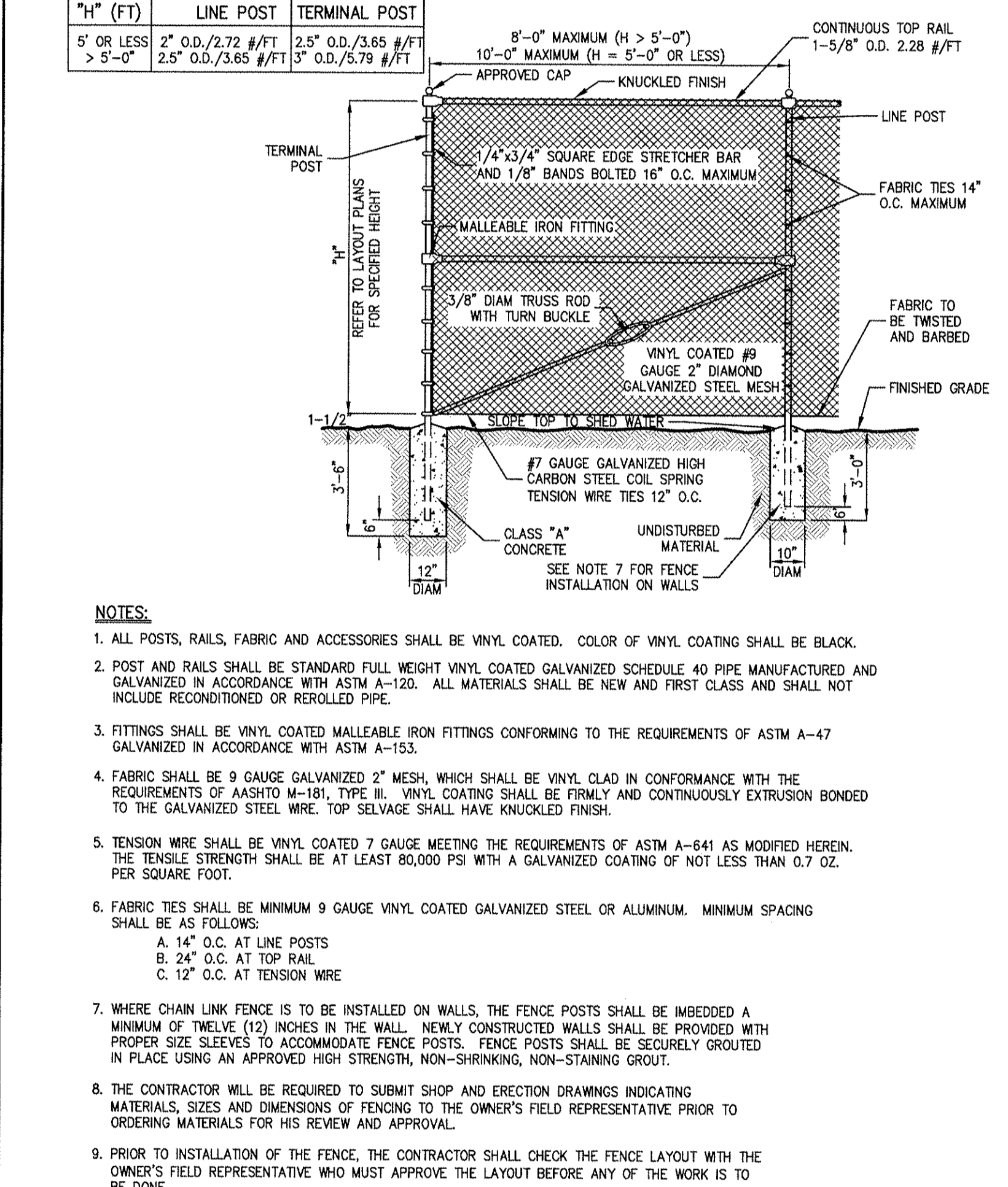
POST & RAIL FENCE (WITH GATE) 58

GROUNDCOVER PLANTING 60

EVERGREEN TREE PLANTING 61

SHRUB PLANTING 62

DECIDUOUS TREE PLANTING 63



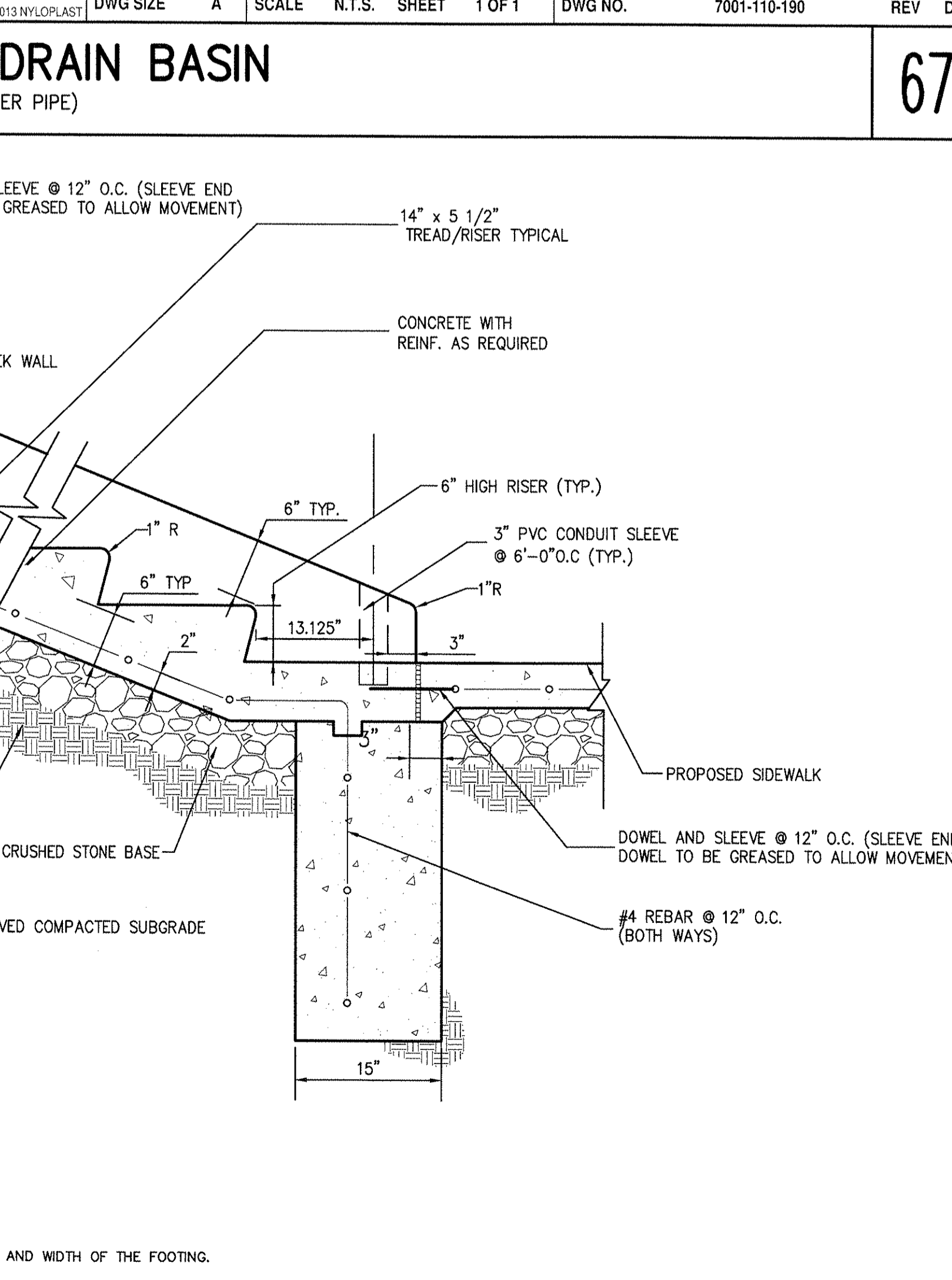
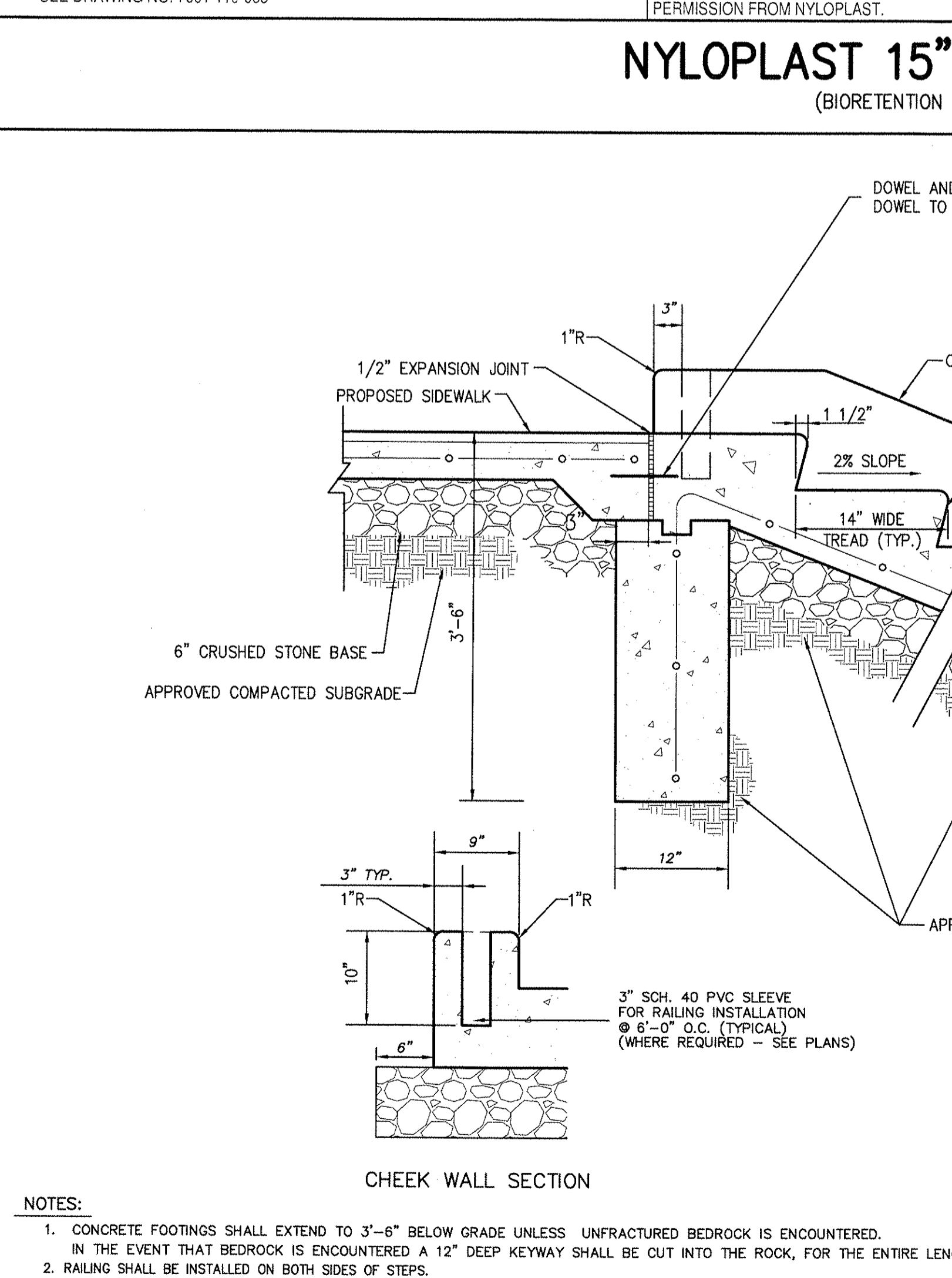
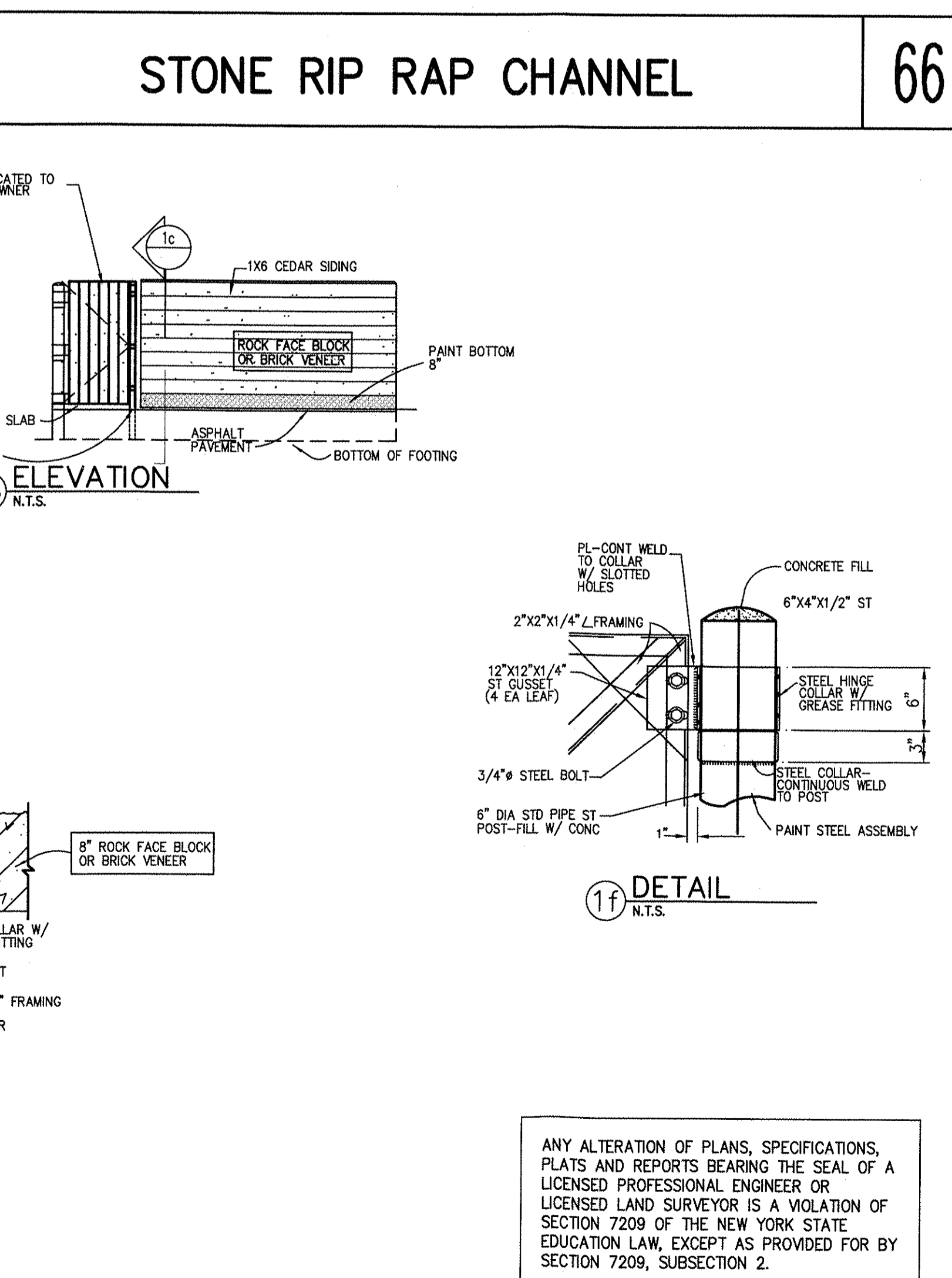
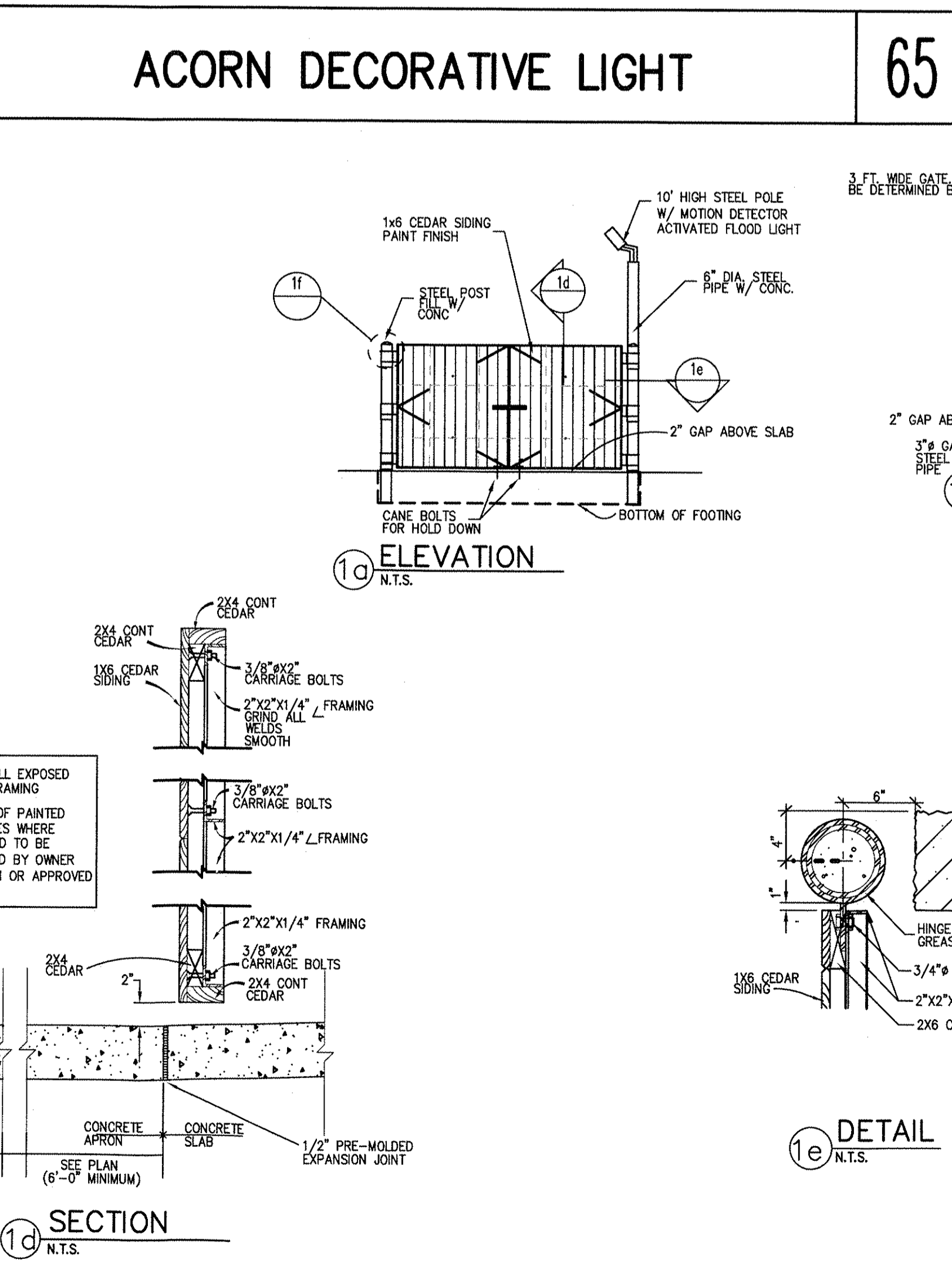
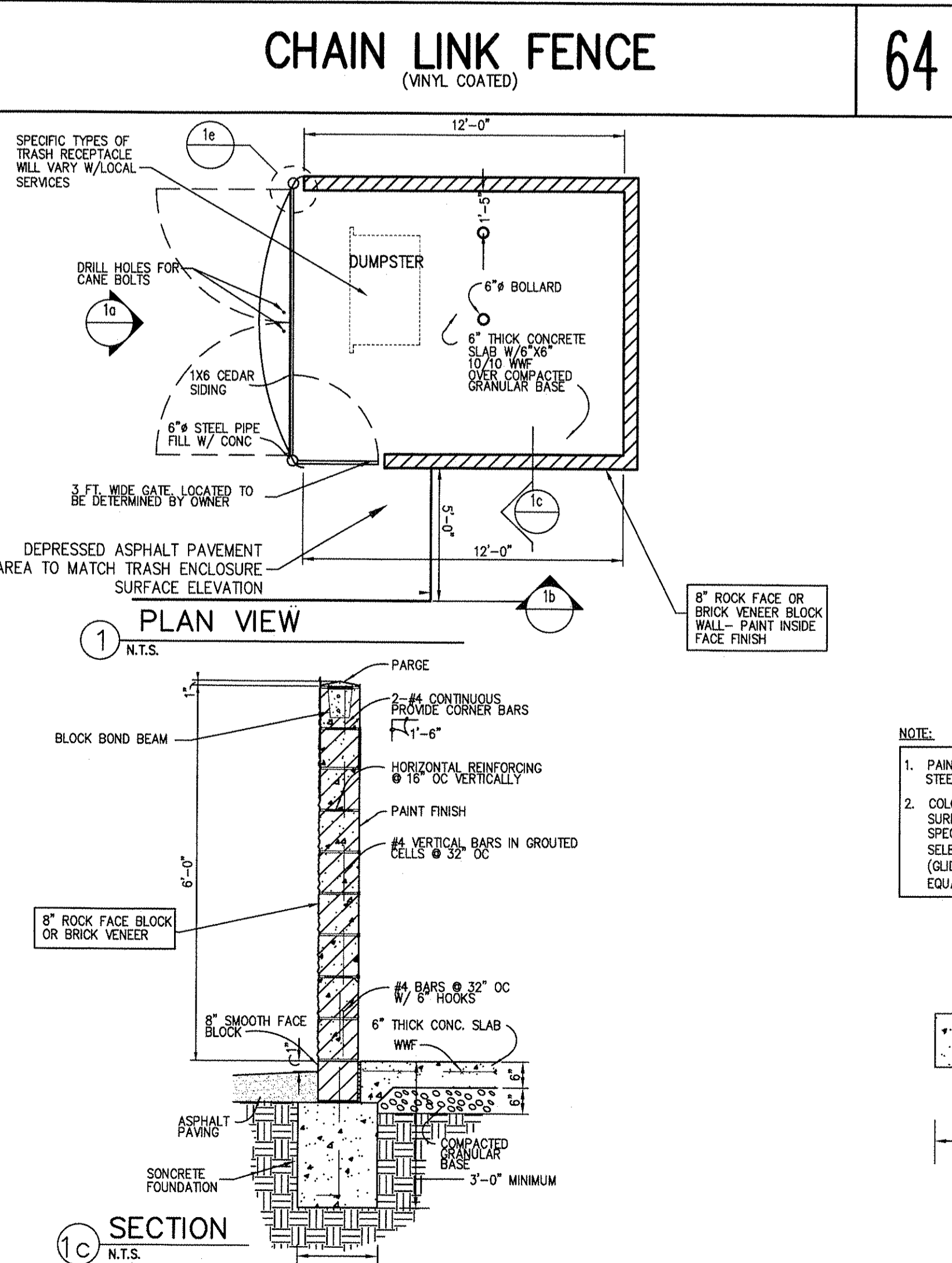
POST & RAIL FENCE (WITH GATE) 58

GROUNDCOVER PLANTING 60

EVERGREEN TREE PLANTING 61

SHRUB PLANTING 62

DECIDUOUS TREE PLANTING 63



TRASH ENCLOSURE WITH CONCRETE PAD (BLOCK)

STONE RIP RAP CHANNEL

NYLOPLAST 15" DRAIN BASIN
(BIORETENTION RISER PIPE)

CHAIN LINK FENCE
(VINYL COATED)

ACORN DECORATIVE LIGHT

POST & RAIL FENCE (WITH GATE) 58

GROUNDCOVER PLANTING 60

EVERGREEN TREE PLANTING 61

SHRUB PLANTING 62

DECIDUOUS TREE PLANTING 63

FARRELL BUILDING COMPANY, LLC
 1601 VERNON AVENUE
 ISLANDIA, NY 11749
 ARCHITECT: MAURI ARCHITECTS PC
 303 MALL STREET
 POLUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, P.C.
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - RAMPOW, NY 10804
 914.273.2225 - fax 914.273.2102
 www.jmcplc.com

NYLOPLAST
 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
 DRAWN BY EBC MATERIAL DATE 03-30-06
 REVISED BY CCA PROJECT NO. NAME DATE 08-27-13
 DWG SIZE A SCALE N.T.S. SHEET 1 OF 1 DWG NO. 7001-110-190 REV D

3130 VERONA AVE
 BUFORD, GA 30518
 PHN (770) 932-2443
 FAX (770) 932-2490
 www.nyloplast-us.com

CONSTRUCTION DETAILS
 GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

Scale: NOT TO SCALE
 Date: 02/19/2016
 Dwg No: 15155
 Rev: 01/15

SP-15

DESCRIPTION	SIZE	DESCRIPTION	NOTING	NOTING	REMARKS
30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W3-3	X

SIGN TABLE

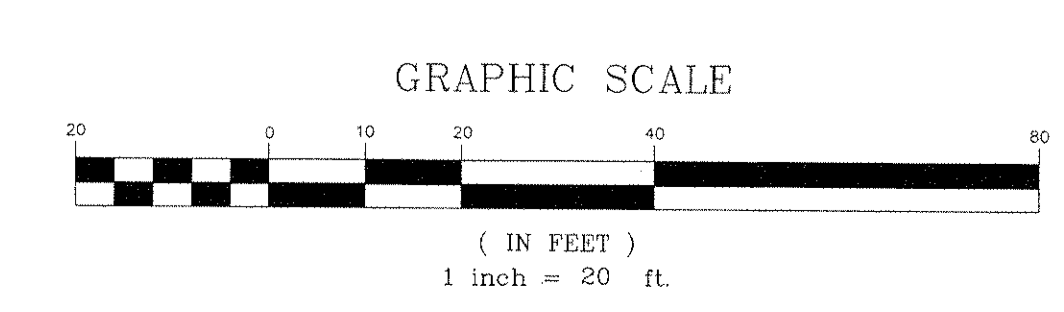
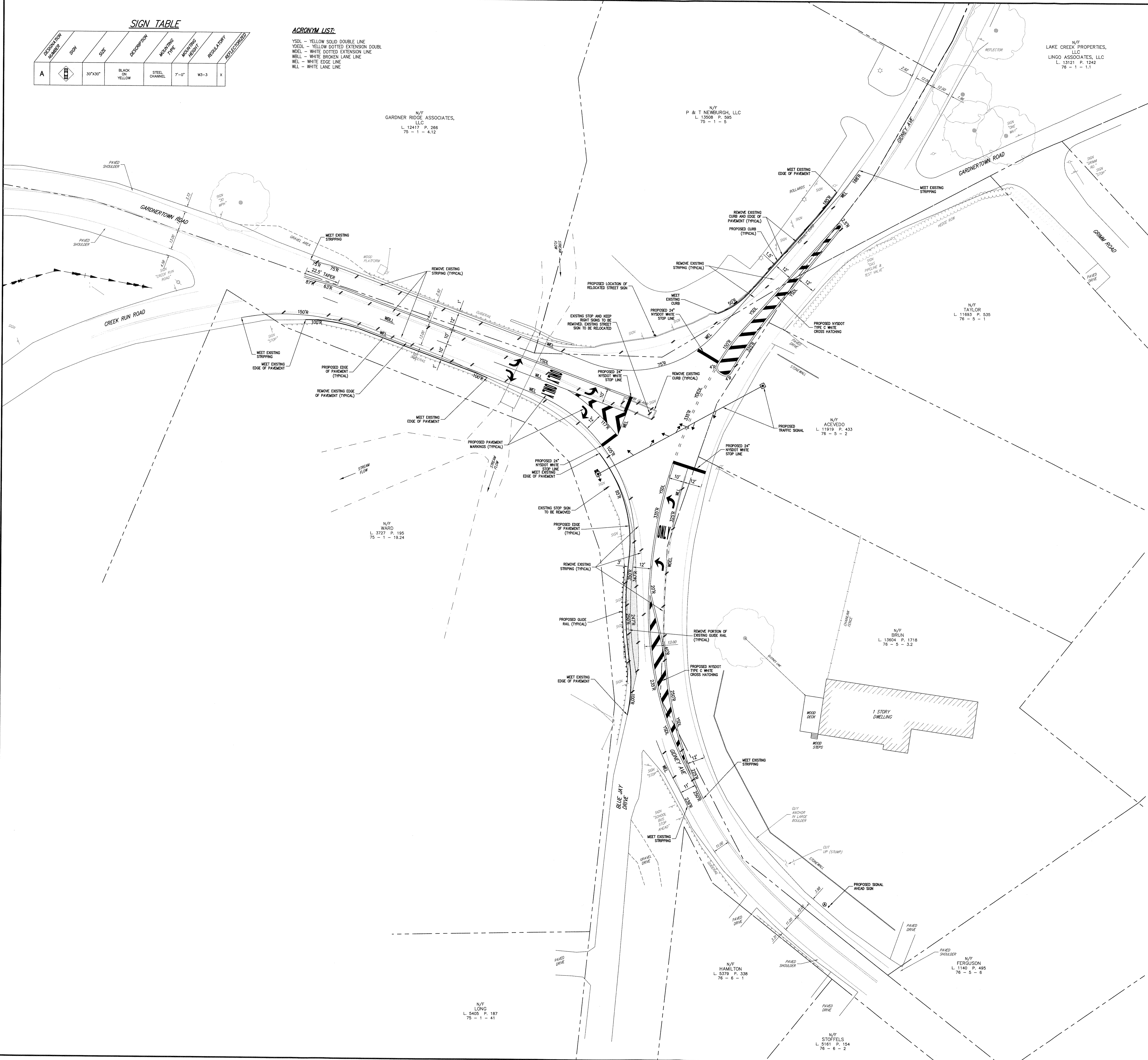
ACRONYM LIST:

YSOL - YELLOW SOLID DOUBLE LINE
 YSDOL - YELLOW DOTTED EXTENSION DOUBLE
 WDEL - WHITE DOTTED EXTENSION LINE
 WBL - WHITE BROKEN LANE LINE
 WEL - WHITE EDGE LINE
 WLL - WHITE LANE LINE

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING TREE
	EXISTING DIRECTIONAL ARROW
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED CONCRETE CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED GUIDE RAIL
	PROPOSED ARROW MARKING ON PAVEMENT (DET 100)
	PROPOSED WORK MARKING ON PAVEMENT (DET 100)
	TRAFFIC SIGN LOCATION & DESIGNATION
	EXISTING FEATURE TO BE REMOVED

NOTES:

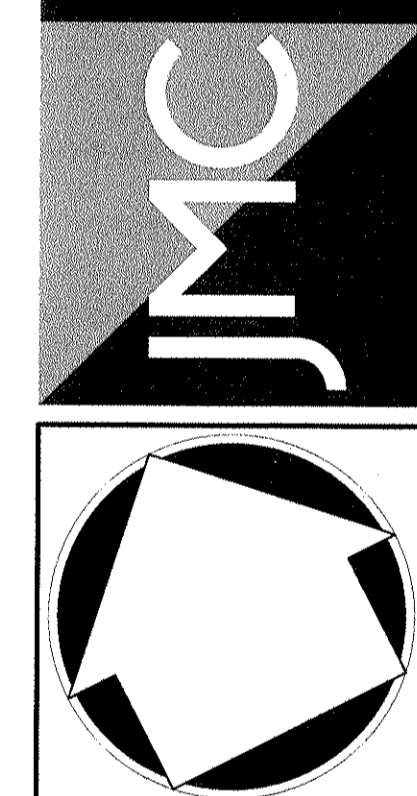
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLES, "SENEY AVE. AND GARDNERTOWN ROAD," PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, PC, DATED 11/01/2015.
- EXISTING METLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC, DATED 10-26-2015.



NOT FOR CONSTRUCTION

PREPARED BY:
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT:
MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEEFHOUND ROAD - ARBONK, NY 10894
 voice 845.273.8225 • fax 845.273.2102
 www.jmcpic.com

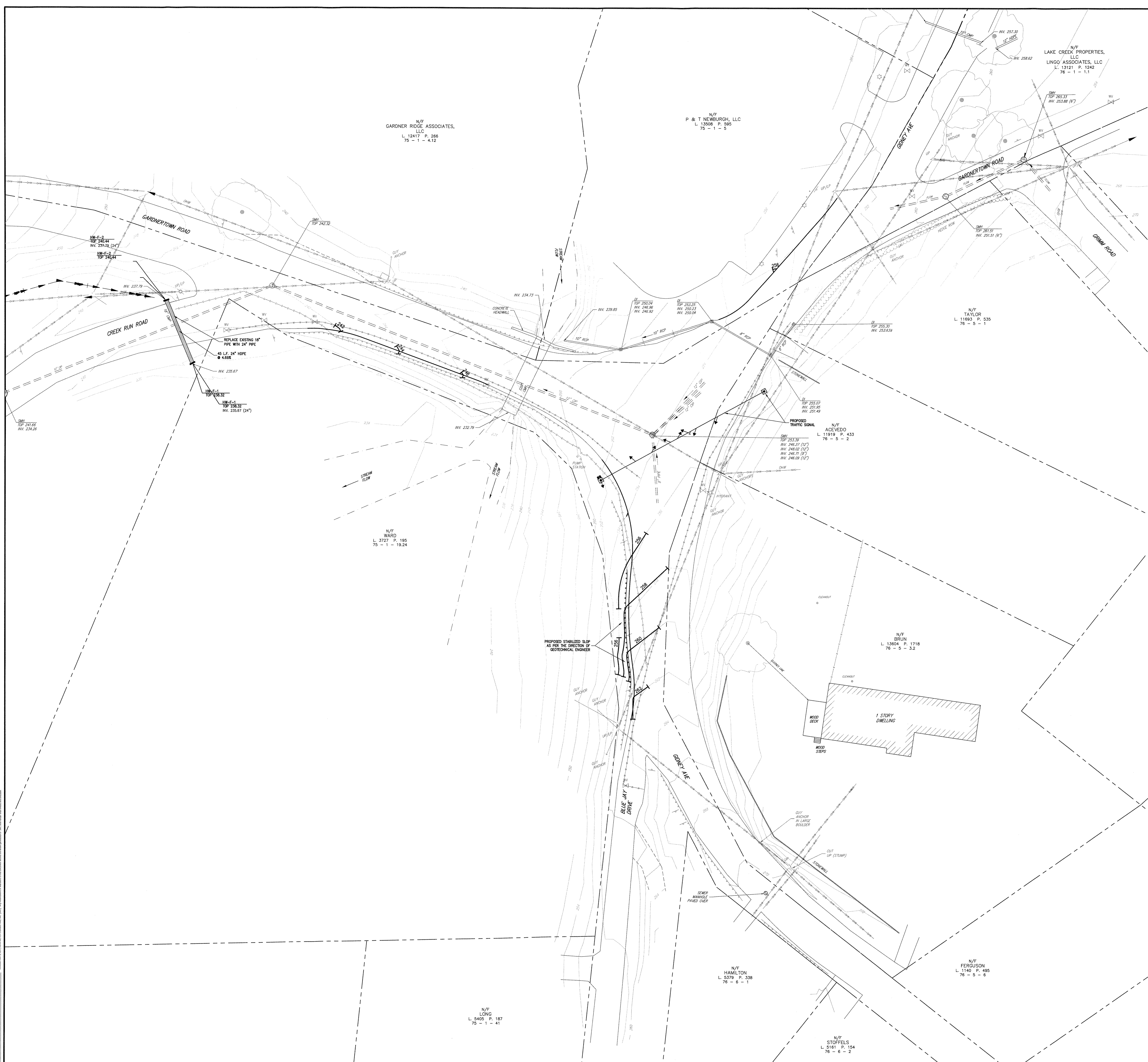


ROADWAY LAYOUT PLAN
 GARDNERTOWN COMMONS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: **KRM** Approved: **JS**
 Scale: 1" = 20'
 Date: 02/19/2016
 Project No: 15155
 Title: **RP-1**

NOT FOR CONSTRUCTION



LEGEND

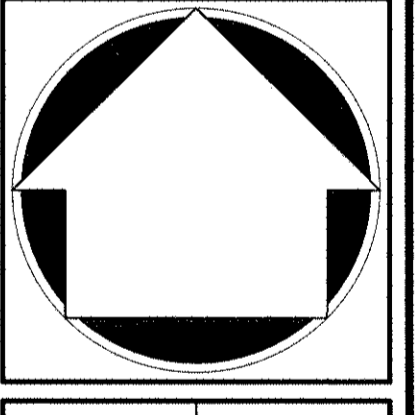
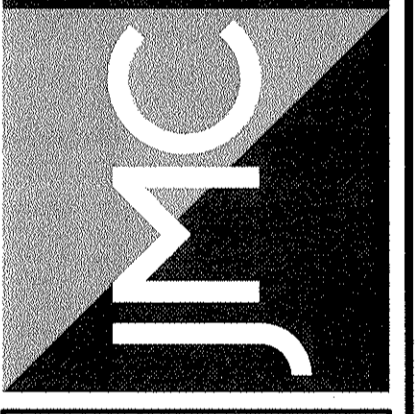
	EXISTING PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE CURB
	PROPOSED GUIDE RAIL
	PROPOSED FINISHED GRADE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "GARDNER AVE. AND GARDNERTOWN ROAD" PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. DATED 11/11/2015.
 - EXISTING WETLAND DELINEATION DEPICTED ON THIS PLAN HAS BEEN DETERMINED BY ECOLOGICAL SOLUTION, LLC, DATED 10-26-2015.

No.	By
Date	
Revision	

PROFESSIONAL ENGINEER
FARRELL BUILDING COMPANY, LLC
 1601 VETERANS MEMORIAL HIGHWAY
 ISLANDIA, NY 11749
 ARCHITECT:
MAURI ARCHITECTS PC
 303 MILL STREET
 Poughkeepsie, NY 12601

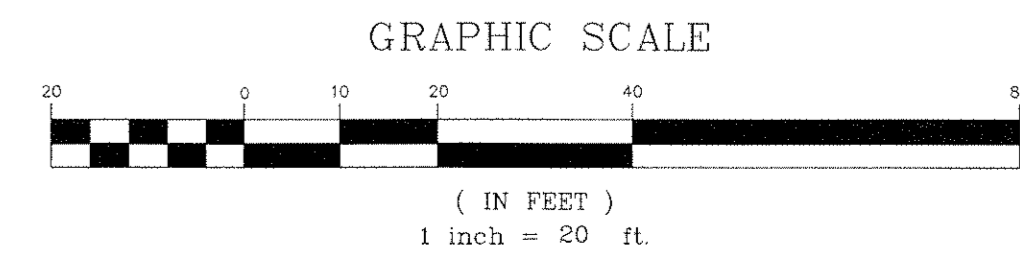
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Heeger Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.8225 - fax 914.273.102
 www.jmcpllc.com



ROADWAY GRADING & UTILITIES PLAN
 GARDNERTOWN COMMONS
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KRM Approved: JS
Scale: 1" = 20'
Date: 02/19/2016
Project No: 15155
155-HDRY 090-07, HW-090-11.02
Drawing: RP-2



COPYRIGHT © 2016 by JMC. All Rights Reserved. Reproduction of this document without the written consent of JMC is prohibited. This document is the property of JMC and is to be used only for the project and site identified herein. It is not to be distributed, copied, or otherwise used for any other project or site without the written consent of JMC.