



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: GARDNER RIDGE
PROJECT NO.: 2-29
PROJECT LOCATION: GARDNERTOWN ROAD NEAR GIDNEY AVENUE
SECTION 75, BLOCK 1, LOT 4.12
REVIEW DATE: 15 DECEMBER 2023
MEETING DATE: 21 DECEMBER 2023
PROJECT REPRESENTATIVE: DARREN DOCE, P.E.

1. Plans have been revised pursuant to a site meeting held with the Highway Superintendent. Highway Superintendent's comments regarding the Creek Run Road and site access plans should be received.
2. The applicants have identified an additional 5,000 cubic yards of excess material during construction. This material will be removed and disposed of on site. This volume of material is not anticipated to cause any issue regarding construction related traffic.
3. Orange County Department of Health approval for the revised waterline main layout is required. It is noted that the water main has been looped through the emergency access road to eliminate any potential dead ends.
4. Compliance with the Town's Senior Housing Code must be documented. Covenants must be filed with the County regarding the senior housing units. The applicant has requested these be a condition of any approvals.
5. Cost estimates for tree preservation, landscaping and stormwater management must be submitted prior to any final approvals. These cost estimates require approval from the Town Board prior to posting the necessary securities and inspection fees. Water and sewer fees are collected during building/water sewer permit process.
6. The applicant's representatives are requested to evaluate the collection of any roof run off to the rear of the westerly most buildings, Building 4 and Building 5. Run off from these back roofs will be tributary offsite based on existing topography. A depression exists on the southeast corner of the parcel where it abuts tax parcel 74-3-15. The applicants are requested to evaluate collecting and diverting any water tributary to that parcel.
7. The project is before the Board for a Public Hearing. Substantive comments received from the public should be addressed in writing by the applicant's representatives.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

8. Comments from the Orange County Department of Planning are outstanding. Upon receipt of comments, the applicant should address these.

9. The applicants have identified a calculation regarding the tree preservation. The calculation identifies new trees to be planted and/or restoration fee required. The applicants are requested to identify how compliance with the Tree Preservation Ordinance will be undertaken whether tree planting within the landscaping plan or the restitution is to be paid into the tree fund.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in cursive script that reads "Patrick J. Hines".

Patrick J. Hines
Principal

PJH/ltn

Thomas B. Olley, P.E., P.L.L.C.
Engineering & Land Planning
152 Orange Avenue • Walden, NY 12586
(845) 778-5638 • Fax (845) 778-1137

December 8, 2023

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: ***Gardner Ridge***
Gardnertown Road
Section 75, Block 1, Lot 4.12

Dear Mr. Ewasutyn:

We are submitting twelve (12) copies of the revised Amended Site Plan sheets on behalf of Gardner Ridge Associates.

The plans address the Highway Superintendent's recommendation to retain the present location of Creek Run Road. We have also addressed the most recent consultant and Planning Board Comments.

Brief responses to the consultants' most recent comments are provided below. Collier Engineering will address the Creek Run Road improvement comments related to their plans under separate cover.

MHE Engineering Comment Memo November 10, 2023

1. The November 16 meeting with the Town Highway Superintendent, The Board's engineering consultants and the Project design team resulted in the Highway Superintendent's decision to leave Creek Run Road at its present location. The plans have been revised to indicate this.
2. The Lead Agency comment is noted.
3. The Project is substantially a balanced earthwork design. However, the elimination of the Creek Run Road realignment will result in a net export of approximately 5000 cubic yards over the duration of construction. At the request of the Planning Board a note has been placed on the Grading Plan stating that the routing of trucks hauling export material must be approved by the Town Highway Superintendent and Town Engineer.
4. If blasting is required, the Project will incorporate the elements of the well monitoring plan for nearby properties that have individual wells. In

- addition, the Project will adhere to all Federal, State, and Local regulations regarding blasting.
5. Health Department Approval will be renewed following the Board's SEQRA determination.
 6. Hydrant locations have been reviewed and revised. Additional hydrants have been placed along the Entrance Road, near the Senior Apartments and between Buildings 4 and 5.
 7. The water system has been looped by extending the main along the emergency access road and along Gardnertown Road to the Project entrance.
 8. Hydrant locations have been reviewed and revised as necessary to meet the "Ten States Standards"
 9. All documentation regarding the compliance with the Senior Housing Code will be completed prior to final approval.
 10. Cost estimates will be provided prior to Final Approval for the purpose of establishing required surety.
 11. A public Hearing has been scheduled for December 21.

Code Compliance and Board Comments

1. Sidewalks have been added along the entrance road and as a loop in front of the 5 apartment buildings.
2. An Emergency Access Plan has been added to the Set to illustrate turning movements of emergency vehicles, hydrant locations and building separation measurements. The Cronomer Valley Fire District 110 feet Aerial Ladder Truck dimensions were used to determine adequacy of all turning movements. This particular ladder truck has significant front and rear overhangs. It provides for the most restrictive turning movements.
3. Eustance and Horowitz, PC conducted an analysis of the proposed water system as part of the original plan approval. The calculations determined that 1522 gallons per minute would be available at the project high point with a residual pressure of 24 psi.

Those calculations remain valid. The original design consisted of a 1850 LF dead end connecting to Route 32 12" Main. The present Project was to provide a 1815 LF dead-end connection from a connection in Creek Run Road. However, as discussed above, the project will be looped from the entrance road intersection with Gardnertown Road. This modification will reduce the pressure losses due to pipe friction and provide a slightly

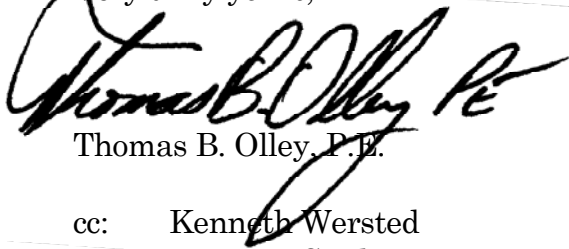
- higher residual pressure. The proposed buildings are at approximately the same elevation as the original design (+/- 2 feet).
4. Electric Vehicle charging stations have been added to the plan. Twelve (12) Level 3 chargers will be provided throughout the site. In addition, the Project will provide 60 garages. The garages can support a Level 1 or Level 2 charger.
 5. A photometrics Plan has been included in the plan set. The light poles will be limited to 12 feet tall. Period style full cut-off LED luminaires are proposed.

Revised Landscaping Plans are included with this submission. The Landscaping Consultant's comments are addressed under separate cover.

We believe that all of the comments have been fully addressed in the submission.

Please feel free to contact me should you have any questions regarding this matter.

Very truly yours,



Thomas B. Olley, P.E.

cc: Kenneth Wersted
Dominic Cordisco
Patrick Hines
Joseph Millstein
Vince Doce

400 Columbus Avenue
Suite 180E
Valhalla New York 10595
Main: 877 627 3772
colliersengineering.com



December 6, 2023

Chairman John Ewasutyn
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Gardner Ridge
Town of Newburgh, Orange County, New York
Colliers Engineering & Design Project No. 14000375B

Dear Chairman Ewasutyn and Members of the Planning Board:

Enclosed are 12 copies of our revised offsite improvement plans, which reflect the comments obtained from the Highway Superintendent and as discussed at the November 16th meeting. These plans represent the sight distance improvements and the modifications at Creek Run Road including other related improvements along Gardnertown Road including the left turn at the access to the project.

Sincerely,

Colliers Engineering & Design, Architecture, Landscape Architecture, Surveying, CT P.C.

A handwritten signature in blue ink that reads "Philip Grealy". The signature is fluid and cursive.

Philip Grealy, Ph.D., P.E.
Geographic Discipline Leader

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Gardiner Ridge

Gardnertown Road, Town of Newburgh
Tax Parcel SBL 75-1-4.12
Town Project No. 02-29

Compliance with Tree Preservation and Protection Code

A trees survey was conducted by Lower Hudson Forestry Services LLC. Conclusions based on this tree survey are outlined below.

1. Specimen Trees:

- a. All Specimen Trees (trunk diameter equal to or greater than 24 in. DBH) were tagged, numbered, located and identified as to diameter and species (refer to the Tree Survey Plan in the plan set). Damaged or diseased trees were located but excluded from the total tree inches.
- b. The total inches in diameter of Specimen Trees was determined to be 3081.1 inches.
- c. The total inches in diameter of Specimen Trees that will be disturbed/removed due to the parcel's development was determined to be 2064.2 inches.
- d. The disturbance is greater than the 50% threshold allowed and will require reforestation or restitution.

$$\begin{aligned} \text{\% of Specimen Tree inches removed} &= \frac{\text{Specimen Tree inches removed}}{\text{total Specimen Tree inches}} \\ &= 2064.2 \text{ in.}/3081.1 \text{ in.} \\ &= 67\% \end{aligned}$$

- e. Tree inches removed over the 50% threshold: 523.6 in.

2. Significant Trees:

- a. The Significant trees (trunk diameter equal or greater than 14 in. DBH) were located and identified as to diameter and species on five ½ acre sample plots distributed throughout the parcel (refer to the Tree Survey Plan in the plan set).
- b. For every 10 acres of parcel area two sample plots are required. The number of sample plots was determined as follows:
Sample Plots required = 2(Site area/10)
Sample Plots required = 2(23.3)/10 ~ 5
- c. The total inches of Significant Trees included on the sample plots was determined to be 1497.9 in.
- d. The total Significant Tree inches projected for the entire site is calculated as follows:

$$\begin{aligned} \text{Total Significant Tree in.} &= \frac{\text{Significant Tree in. within sample plots (Site Acres)}}{\text{Acreage of Sample Plots}} \\ \text{Total Significant Tree in.} &= \frac{1497.9 \text{ in. (23.3 ac.)}}{2.5 \text{ ac.}} \\ &= 13,960.4 \text{ in.} \end{aligned}$$

Vincent J. Doce Associates
41 Mead Alley, Montgomery, NY 12549
Tel. 845 561-1170 Email: ddoce12@hotmail.com

- e. Disturbed Significant Tree in. = $\frac{\text{Significant Tree in. within sample plots (Dist. Acres)}}{\text{Acreage of Sample Plots}}$
= $\frac{1497.9 \text{ in. (12.59 ac.)}}{2.5 \text{ ac.}}$
= 7,543.4
- f. The disturbance to Significant Trees is greater than the allowable 50% threshold and will require reforestation or restitution.
% of Significant Tree inches removed = $\frac{\text{Significant Tree inches removed}}{\text{total Significant Tree inches}}$
= $\frac{7543.4 \text{ in.}}{13,960.4 \text{ in.}}$
= **54%**
- g. Tree inches removed over the 50% threshold: 563.2 in.

3. Reforestation of Restitution of Specimen and Significant Trees:

- a. For every 1 inch of tree diameter that is removed/disturbed above the threshold, 1.25 inches of new trees must be planted, or restitution in the amount of \$5 per inch of new tree diameter must be paid.
- b. New tree inches that must be replanted:
(1.25 in./1 in) 1086.8 in = 1358.5 in.
OR
Restitution required: (1358.5 in.)\$5 = \$6,792.50

4. Protected Trees (having a circumference, height and spread equal to or greater than 50% of the size identified on the NY Big Champion tree List):

- a. There were no Protected Trees found within the sample plot areas.
- b. One Protected Tree was found when the Specimen Trees were being tagged and located. This tree was hollow and considered a hazard tree. Therefore, its removal does not require reforestation or restitution.

VINCENT J. DOCE ASSOCIATES

5 LINCOLNDALE ROAD, CAMPBELL HALL, NY 10916
TEL. 845-561-1170 EMAIL DDOCE12@HOTMAIL.COM

December 8, 2023

John Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Re: Gardner Ridge
Gardnertown Road
Town Project No. 2002-29

Dear Mr. Ewasutyn:

Included with this submission are preliminary landscape plans prepared by Ronald Haelen, RLA. Karen Arrent's initial comments are addressed as follows:

1. A summary of the tree survey is attached and it identifies the Specimen Trees that will be disturbed. The Significant Trees were located and identified in five sample plots. The total number of Significant Trees to be disturbed is projected as per the methodology outlined in the amendment to the "Tree Preservation and Protection" law. Since it's projected their actual locations can't be shown.
2. The attached summary also identifies the total inches of Specimen Trees and Significant Trees to be removed, as well as, the total tree inches removed over the 50% threshold (1086.8 trees inches). The summary also outlines the tree inches required to replanted (1.25 in. per 1 in. removed) and/or the restitution required (\$5 per inch of new tree diameter). New trees are proposed along the emergency access, the access road and throughout the parcel.
3. The landscaping plan shows plantings within the interior of the parking areas.
4. Sidewalks have been added along the entrance road and as a loop in front of the five apartment buildings.
5. Street trees have been provided along the proposed drive. Native plants have been specified.
6. Fencing and retaining wall colors and materials will be provided as architectural review progresses.
7. The landscape architect will investigate ways to incorporate the re-use of the existign stonewalls

Sincerely

Darren C Doce

Darren C. Doce

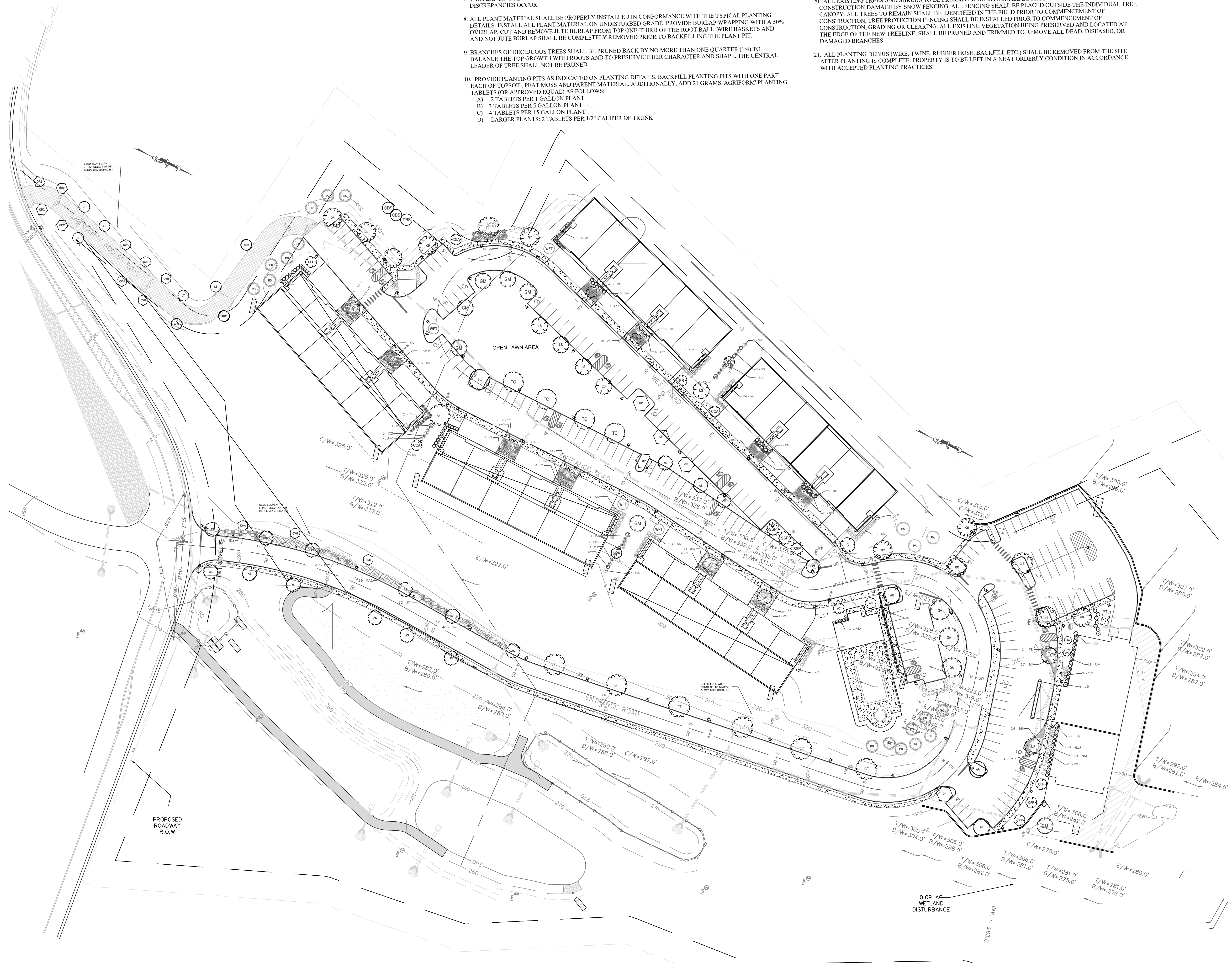
GENERAL PLANTING NOTES

- LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL ROOT BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 8'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 7'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND AND NOT AT BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING THE PLANT PIT.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. ADDITIONALLY, ADD 21 GRAMS "AGRIFORM" PLANTING TABLETS OR APPROVED EQUIVALENTS AS FOLLOWS:
 - 2 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 3 GALLON PLANT
 - 4 TABLETS PER 15 GALLON PLANT
 - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

- IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
- OPTIMUM PLANTING TIME: DECIDUOUS - APRIL 1 TO JUNE 1 & OCTOBER 15 TO DECEMBER 15. CONIFEROUS - APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO NOVEMBER 1.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED BY THE CONTRACTOR TO ENSURE THE ESTABLISHMENT. GROWTH AND SURVIVAL OF ALL PLANTS FOR 1 YEAR AFTER CONSTRUCTION IS COMPLETE, AFTER WHICH TIME THE OWNER IS RESPONSIBLE.
- ALL PLANT MATERIAL SHALL BE WARRANTEE FOR A PERIOD OF ONE YEAR.
- PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5.
- ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL NOTES AND THE GENERAL SEEDING NOTES ON THIS SHEET. ALL DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDED HARDWOOD BARK MULCH. 19. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREE LINE, SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.
- ALL PLANTING DEBRIS (WIRE, TWINE, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

PLANT SCHEDULE

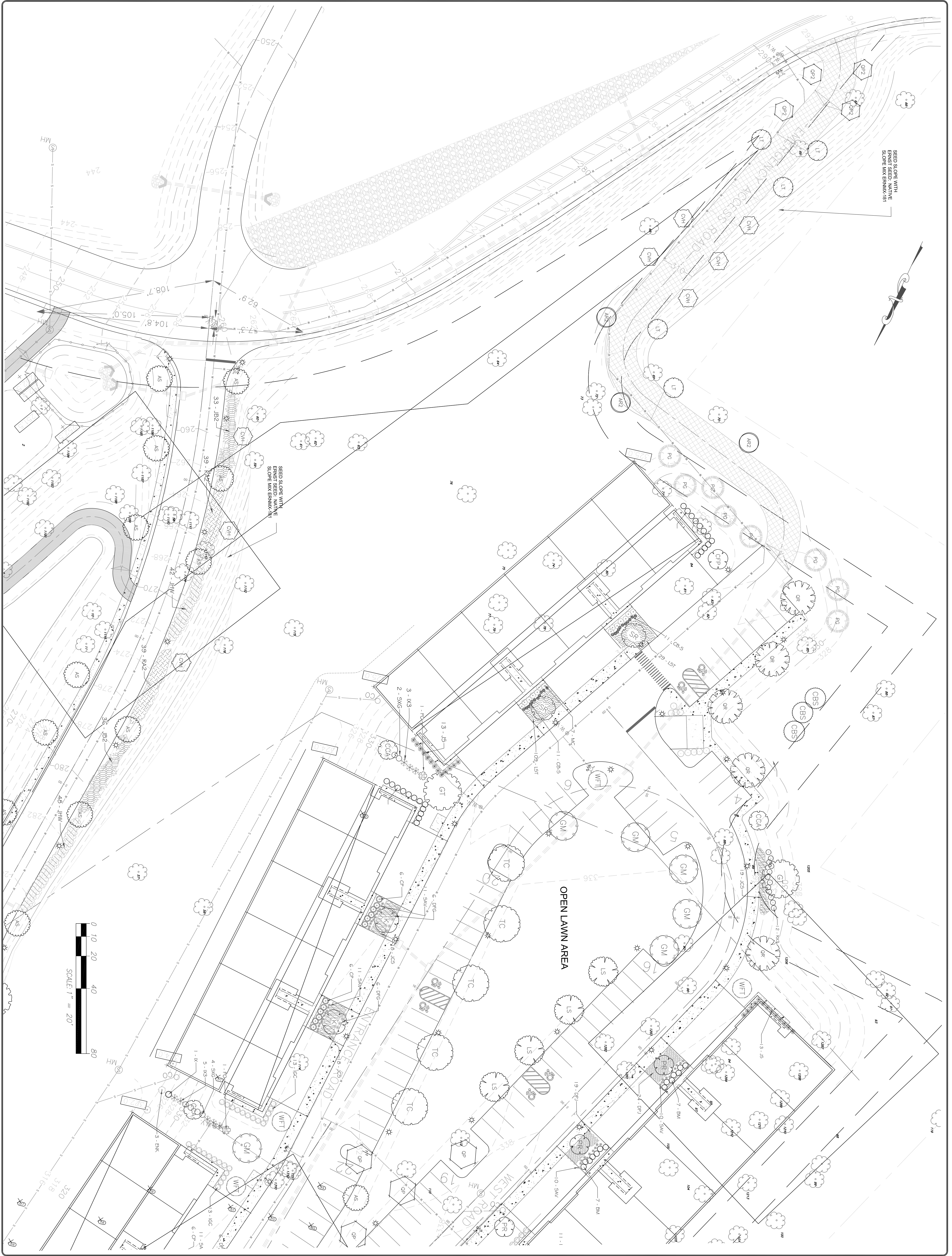
CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
TREES					
MR	3	Red Maple / <i>Acer rubrum</i>	7 gal	1 1/2" CAL	
RR	3	Red Maple / <i>Acer rubrum</i>	B 4 B	2-1/2 -3" cal	
GM	7	October Glory Maple / <i>Acer rubrum</i> 'October Glory'	2-1/2 -3" cal		
AS	16	Sugar Maple / <i>Acer saccharum</i>	2-1/2 -3" cal		
AA	2	Servicberry / <i>Amelanchier alnifolia</i>	5 gal		
AC	2	Canadian Servicberry / <i>Amelanchier canadensis</i>	5-10" ht		
CFP	4	Forest Pansy Kadsua / <i>Cercis canadensis</i> 'Forest Pansy' TM	2" CAL		
WTF	4	White Fringetree / <i>Chionanthus virginicus</i>	2'-2 1/2" CAL		
K	2	Kousa Dogwood / <i>Cornus kousa</i>	2" CAL		
CVH	8	Winter King Hawthorn / <i>Crataegus virens</i> 'Winter King'	7 gal	1 1/2" CAL	
G	5	Princeton Sentry Ginkgo / <i>Ginkgo biloba</i> 'Princeton Sentry'	2-1/2 -3" cal		
GT	10	Sunburst Honey Locust / <i>Gleditsia triacanthos</i> 'Sunburst'	2-1/2 -3" cal		
JB	4	Blue Point Juniper / <i>Juniperus chinensis</i> 'Blue Point'	5 - 6 FT		
LS	7	Sweet Gum / <i>Liquidambar styraciflua</i>	B 4 B	2 1/2" CAL	
LI	5	Yale Poplar / <i>Lindodendron tulipifera</i>	7 gal	1 1/2" CAL	
CCA	5	Centurion Crab Apple / <i>Malus x</i> 'Centurion' TM	2'-2 1/2" CAL		
FA	3	Norway Spruce / <i>Picea abies</i>	B 4 B		8' HT
PG	16	White Spruce / <i>Picea glauca</i>	6-7" HT		
SDP	3	Siberian Spruce / <i>Picea omorika</i>	B 4 B		9-10' ht
CB5	3	Blue Spruce / <i>Picea pungens</i> 'Colorado spruce'	6-7" HT		
FR	3	Canada Red Chokecherry / <i>Prunus virginiana</i> Canada Red	B 4 B	2" CAL	
QA	3	White Oak / <i>Quercus alba</i>	2-1/2 -3" cal		
QP	5	Pin Oak / <i>Quercus palustris</i>	2-1/2 -3" cal		
QP2	4	Pin Oak / <i>Quercus palustris</i>	7 gal	1 1/2" CAL	
QR	9	Red Oak / <i>Quercus rubra</i>	2-1/2 -3" cal		
SK	2	Japanese Tree Lilac / <i>Syringa reticulata</i>	2'-2 1/2" CAL		
TC	5	Greenery Littleleaf Linden / <i>Tilia cordata</i> 'Greenery'	2-1/2 -3" cal		
SHRUBS					
BM	24	Winter Gem Boxwood / <i>Buxus microphylla</i> japonica 'Winter Gem'	5 gal		
CP	24	Golden Mopps Sawara False Cypress / <i>Chamaecyparis pisifera</i> 'Golden Mopps'	24" HT 3 GAL		
ENK	6	Red-Veined Eukanthus / <i>Eukanthus campanulatus</i>	5 gal		
HQ	1	Chalice Hydrangea / <i>Hydrangea quercifolia</i>	30 - 36" 5 GAL		
IC	21	Maery Holly / <i>Ilex glabra</i>	30 - 36" 5 GAL		
ICG	76	Compact Ineberry / <i>Ilex glabra</i> 'Compacta'	5 gal		
IX	2	Blue Princess Holly / <i>Ilex x meserveae</i> 'Blue Princess' TM	36-42" HT		
IX3	13	Blue Princess Holly / <i>Ilex x meserveae</i> 'Blue Princess' TM	36-42" ht B4B		
JS	26	Broadmoor Juniper / <i>Juniperus sabina</i> 'Broadmoor'	3 gal		
KJF	2	Double flowered Japanese Kerria / <i>Kerria japonica</i> Plentiflora	3 gal		
MC	14	Compact Oregon Grape / <i>Mahonia aquifolium</i> 'Compacta'	3 gal		
PD	3	Center Glow Nutsack / <i>Physocarpus opulifolius</i> 'Center Glow'	30 - 36" 5 GAL		
PE	12	Little Joker® Ninebark / <i>Physocarpus opulifolius</i> 'Hoog021'	5 gal		
RK3	2	Rose RED # PINK / <i>Rosa x</i> 'Double Knockout'	3 gal		
RXC	9	Rose / <i>Rosa x</i> 'Flower Carpet'	5 gal		
SXC	10	Goldflame Spirea / <i>Spiraea x bumalda</i> 'Goldflame'	5 gal		
SP2	4	Spirea / <i>Spiraea x bumalda</i> 'Magic Carpet'	15-18" HT		
SRK	1	Little Kim Lilac / <i>Syringa x</i> 'Little Kim'	24-30" HT		
VB	7	Fragrant Viburnum / <i>Viburnum x</i> pragenae	3-4" HT		
ANNUAL SPERENNIALS					
ECF	26	Purple Coneflower / <i>Echinacea purpurea</i>	5 gal		
CB-S	22	Coral Belle / <i>Fleischeria sanguinea</i>	4 pots		
SAV	64	May Night Sage / <i>Salvia nemorosa</i> 'May Night'	1 gal		
SED	6	Autumn Joy Sedum / <i>Sedum x</i> 'Autumn Joy'	1 gal		
GRASSES					
DFG	30	Dwarf Fountain Grass / <i>Fanicum virgatum</i> 'Hameln'	1 gal		
SS	51	Little Bluestem Grass / <i>Schizachyrium scoparium</i>	1 gal		
SYMBOL QTY COMMON / BOTANICAL NAME CONT SPACING					
SHRUB AREAS					
67	Blue Pacific Shore Juniper / <i>Juniperus conferta</i> 'Blue Pacific'	1 gal		36" o.c.	
90	JHW - Blue Rug Juniper / <i>Juniperus horizontalis</i> 'Wiltoni'	1 gal		30" o.c.	
78	Fragrant Sumac / <i>Rhus aromatica</i>	1 gal		36" o.c.	
GROUND COVERS					
207	LST - Creeping Lily Turf / <i>Liriope spicata</i>	1 gal		18" o.c.	



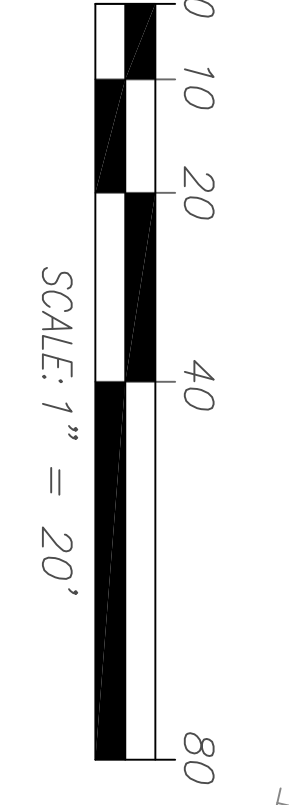
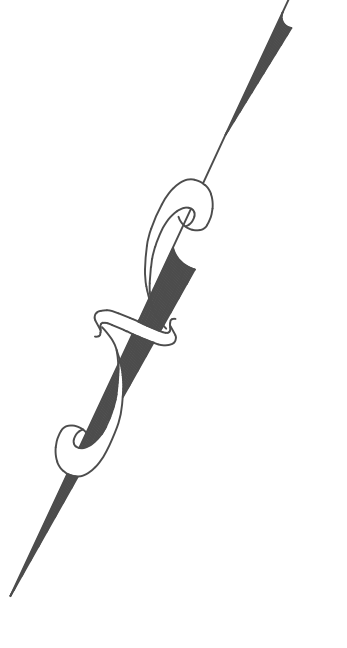
REV.	DATE	DESCRIPTION

RONALD E. HAELEN, RLA
 LANDSCAPE ARCHITECT
 1215 ROUTE 211 WEST
 MIDDLETOWN, NY 10940
 (845) 551-1223

PRELIMINARY LANDSCAPE PLAN
 GARDNER RIDGE
 ROUTE 32
 TOWN OF NEWBURGH, ORANGE COUNTY, NY



SEED SLOPE WITH
ERNST SEED NATIVE
SLOPE (MIN. ERMNK-18)



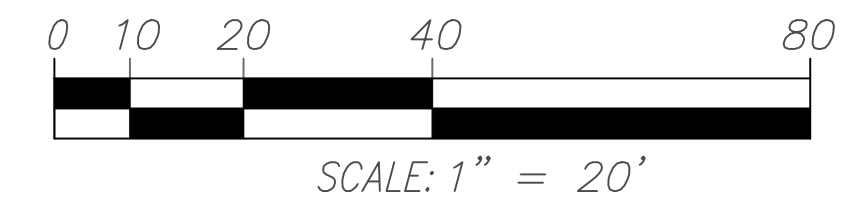
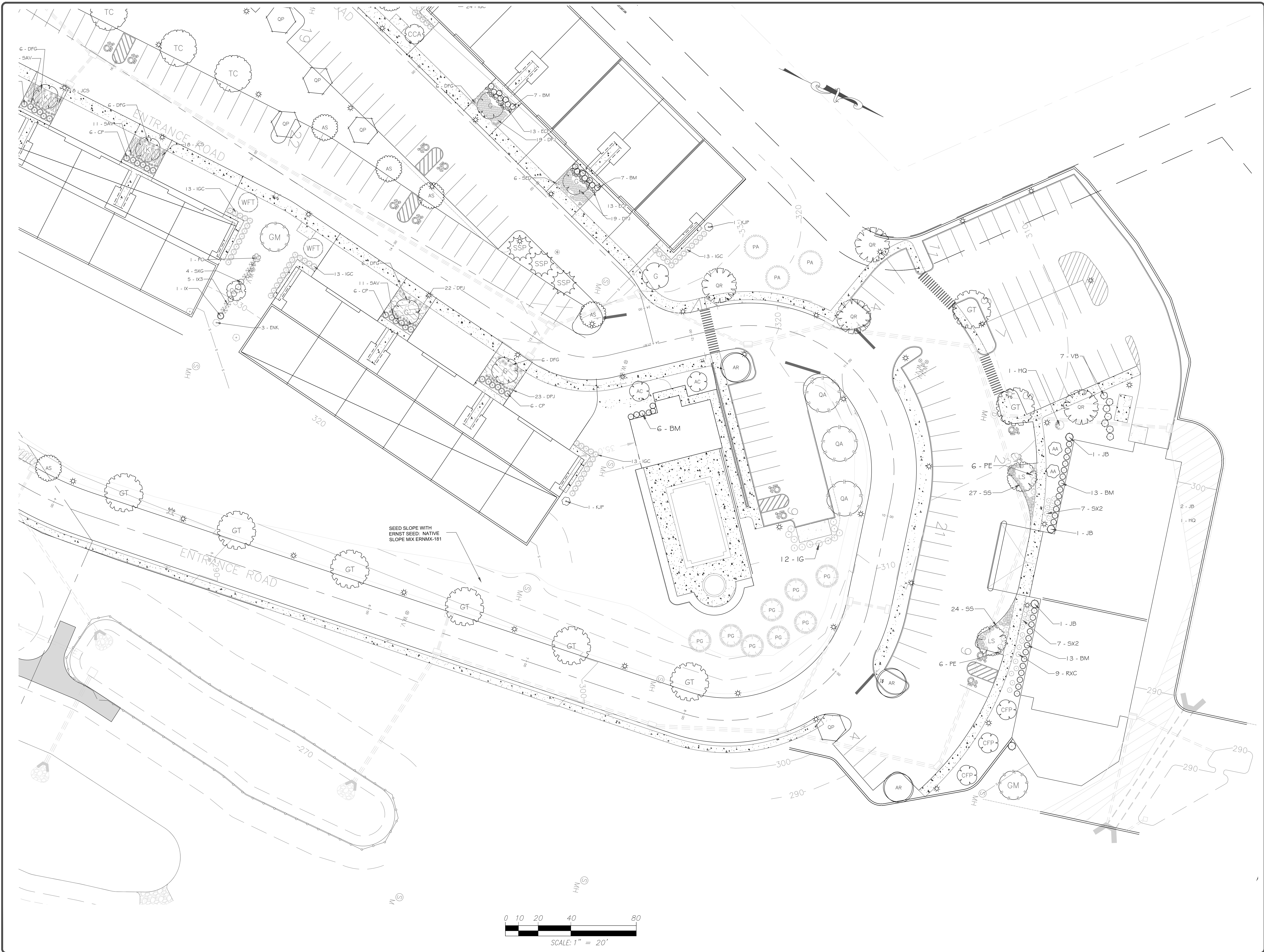
PRELIMINARY LANDSCAPE PLAN
GARDNER RIDGE
 ROUTE 32
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

RONALD E. HAELEN, RLA
 LANDSCAPE ARCHITECT
 1215 ROUTE 211 WEST
 MIDDLETOWN, NY 10940
 (845) 551-1223

REV.	DATE	DESCRIPTION	BY

REV.	DATE	DESCRIPTION	BY

FILE NO.
 DATE: 12/9/2023
 SHEET NO.
LA-2



REV.	DATE	DESCRIPTION

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RONALD E. HAELEN, RLA
LANDSCAPE ARCHITECT
12115 ROUTE 211 WEST
MIDDLETOWN, NY 10940
(845) 551-1223

PRELIMINARY LANDSCAPE PLAN
GARDNER RIDGE
ROUTE 32
TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
LA-3
DATE: 12/5/2023
FILE NO.

REV.	DATE	DRAWN BY	DESCRIPTION
1	6/9/22	M.J.A.	REVISED PER TOWN COMMENTS.
2	7/12/21	M.J.A.	REVISED PER CREIGHTON MANNING COMMENT LETTER DATED 6/1/2022.
3	8/23/23	M.J.A.	ADDED TURNING BACKS & RIP RAP TO END SECTIONS.
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7	8/2/23	M.J.A.	REVISED PER CRE COMMENTS DATED 8/1/23.
8	10/20/23	M.J.A.	FOR 10/20/23 PLANNING BOARD SUBMISSION.
9	12/1/23	M.J.A.	FOR 12/6/23 PLANNING BOARD SUBMISSION.

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CONCEPTUAL IMPROVEMENT PLAN
 FOR
GARDNER RIDGE ASSOCIATES, LLC
 GARDNERTOWN ROAD & CREEK RUN ROAD
 TOWN OF NEWBURGH
 ORANGE COUNTY
 NEW YORK

Colliers WESTCHESTER
 400 Columbus Avenue,
 Suite 180E
 Valhalla, NY 10595
 Phone: 914.347.7500
 COLLIERS ENGINEERING & DESIGN,
 ARCHITECTURE, LANDSCAPE ARCHITECTURE,
 SURVEYING CT, P.C.

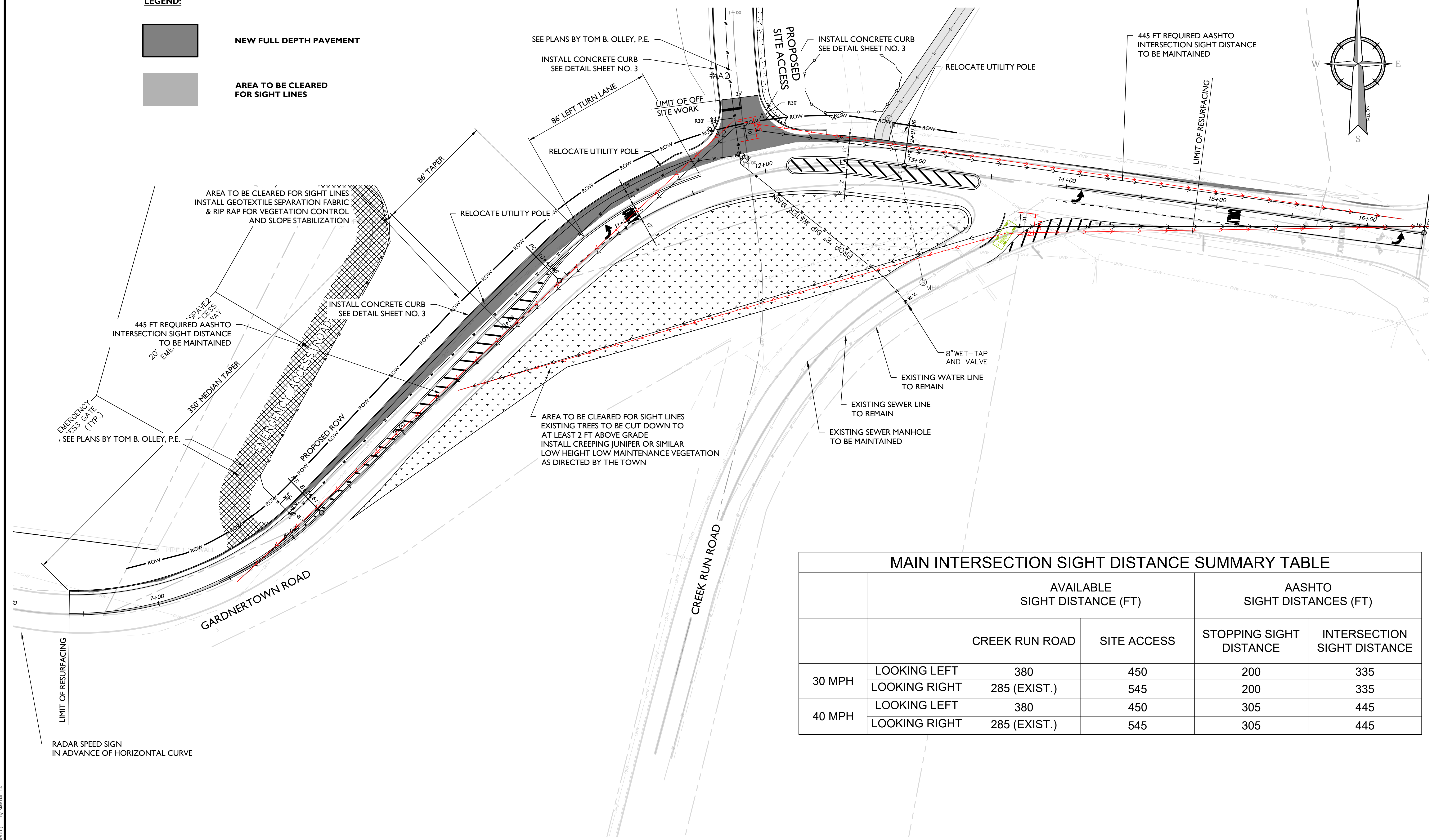
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	8/27/21	M.J.A.	P.J.G./A.P.R.
PROJECT NUMBER:	DRAWING NAME:		
140003750	R-PL01-EXBT-ALTN		

SHEET TITLE:
CONCEPT PLAN (LAYOUT)

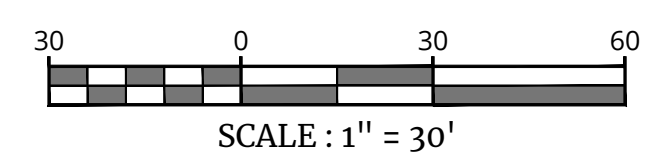
SHEET NUMBER:
 1ALT of 8

LEGEND:

- NEW FULL DEPTH PAVEMENT
- AREA TO BE CLEARED FOR SIGHT LINES



		AVAILABLE SIGHT DISTANCE (FT)		AASHTO SIGHT DISTANCES (FT)	
		CREEK RUN ROAD	SITE ACCESS	STOPPING SIGHT DISTANCE	INTERSECTION SIGHT DISTANCE
30 MPH	LOOKING LEFT	380	450	200	335
	LOOKING RIGHT	285 (EXIST.)	545	200	335
40 MPH	LOOKING LEFT	380	450	305	445
	LOOKING RIGHT	285 (EXIST.)	545	305	445



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1	6/9/22	M.J.A.	REVISED PER TOWN COMMENTS.
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CONCEPTUAL IMPROVEMENT PLAN
FOR
GARDNER RIDGE ASSOCIATES, LLC

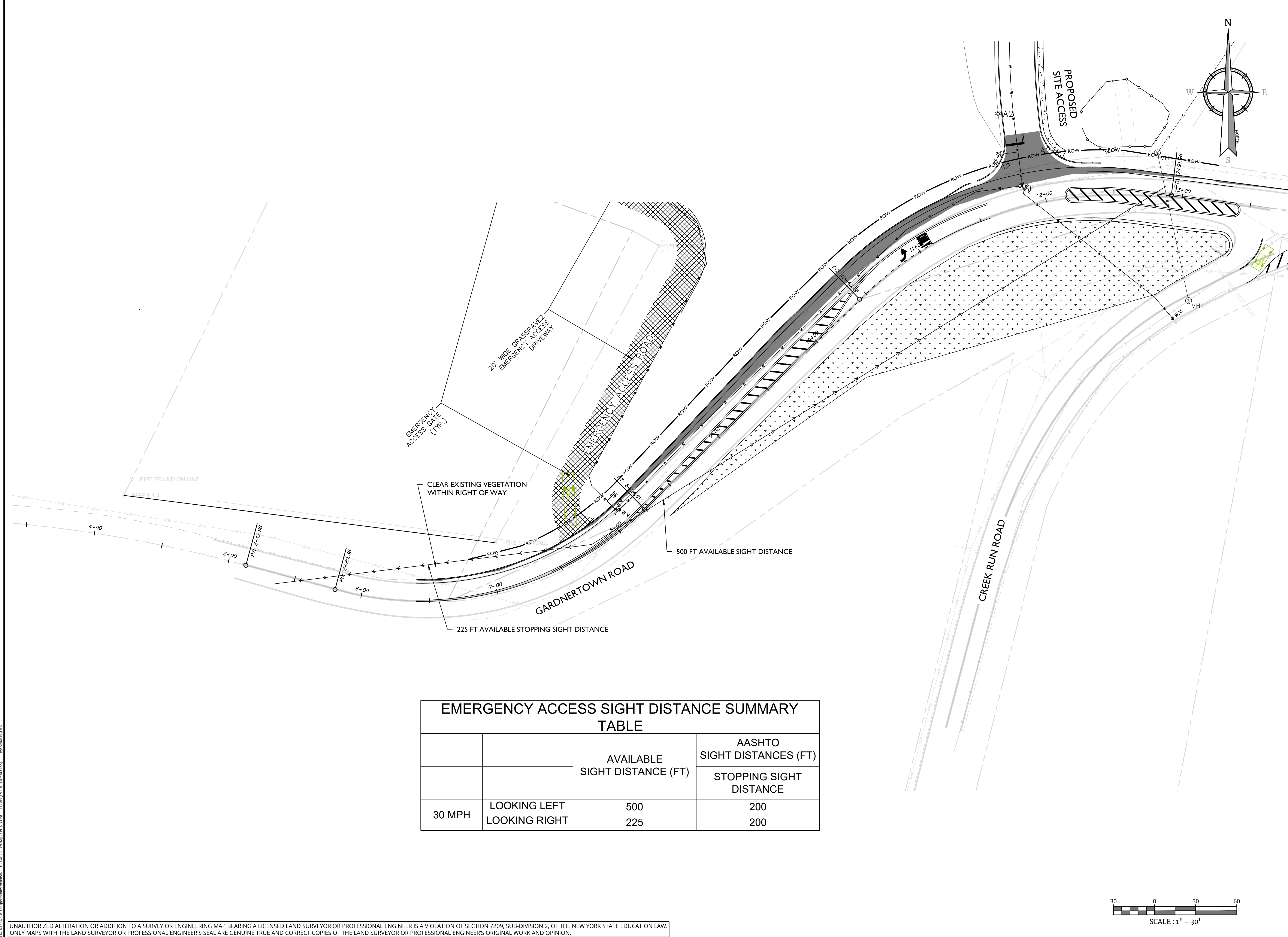
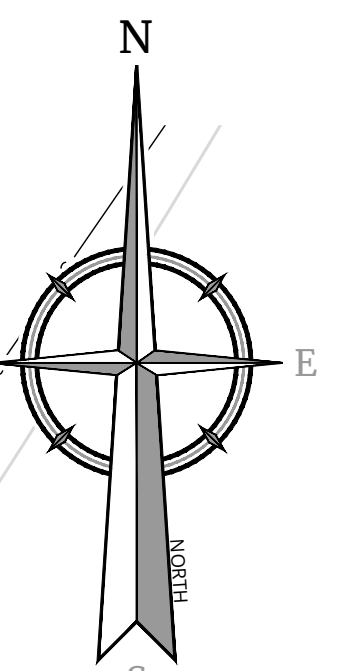
GARDNERTOWN ROAD & CREEK RUN ROAD
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK

WESTCHESTER
400 Columbus Avenue,
Suite 180E
Valhalla, NY 10595
Phone: 914.347.7500
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SCALE AS SHOWN	DATE	DRAWN BY	CHECKED BY
1:40003750	8/27/21	M.J.A.	P.J.G./A.P.R.
PROJECT NUMBER	DRAWING NAME		
	R-PL01-EXBT-ALTN		

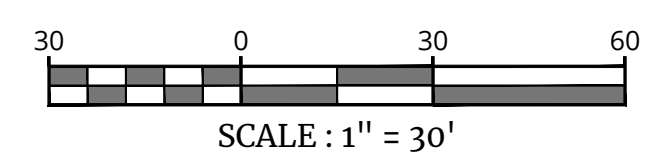
EMERGENCY ACCESS SIGHT DISTANCE PLAN

SHEET NUMBER
2ALT of 8



EMERGENCY ACCESS SIGHT DISTANCE SUMMARY TABLE

		AVAILABLE SIGHT DISTANCE (FT)	AASHTO SIGHT DISTANCES (FT)
			STOPPING SIGHT DISTANCE
30 MPH	LOOKING LEFT	500	200
	LOOKING RIGHT	225	200



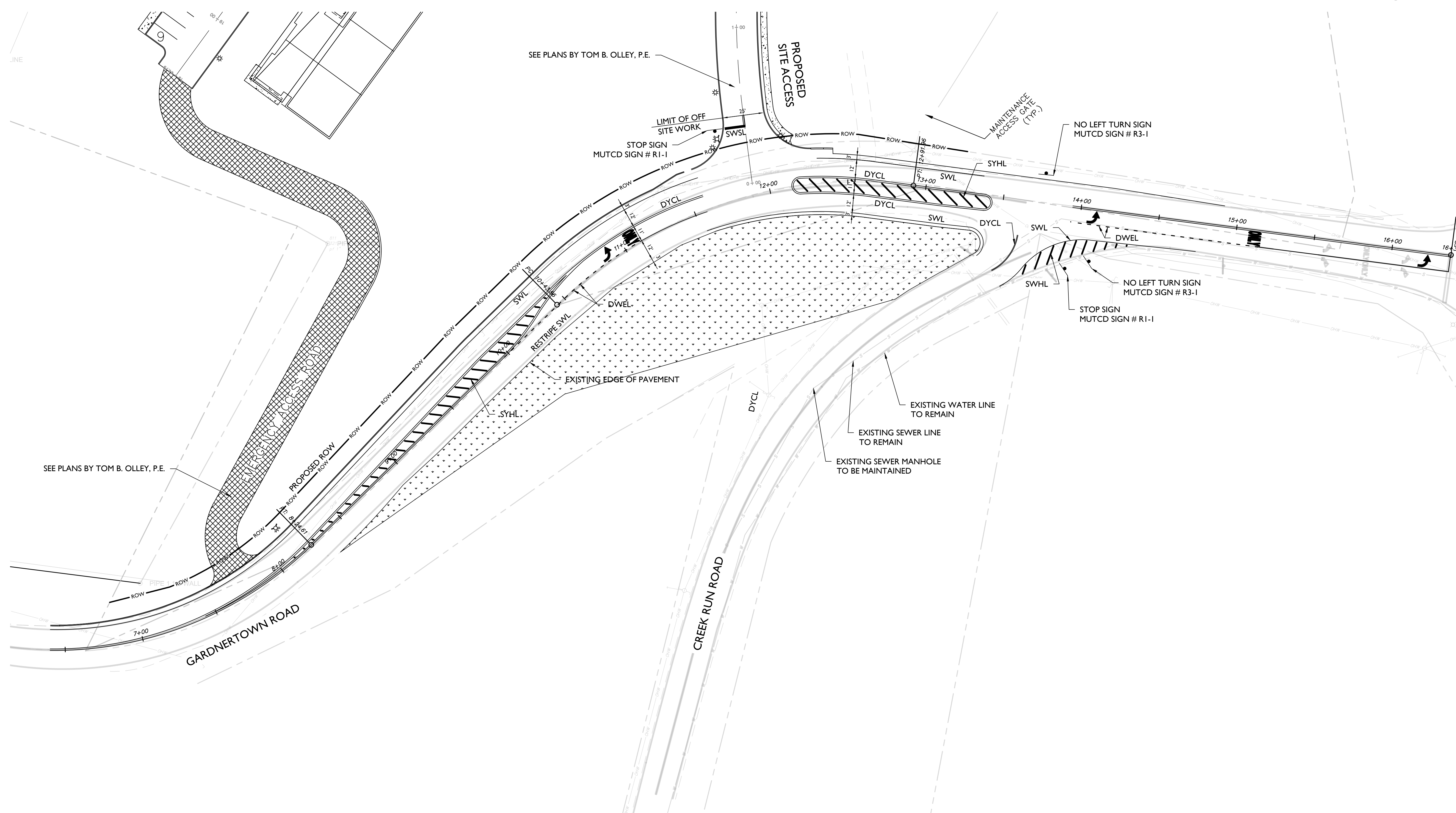
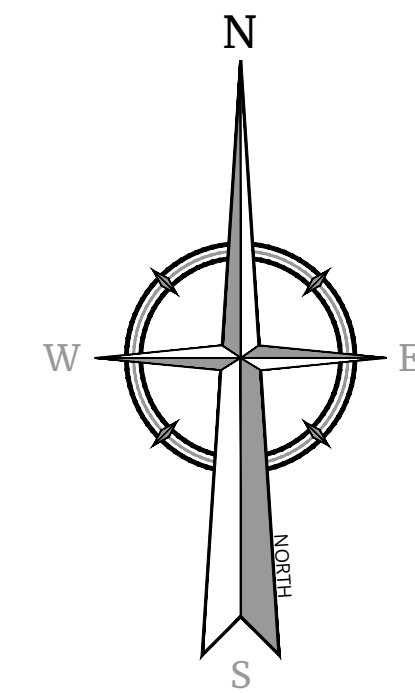
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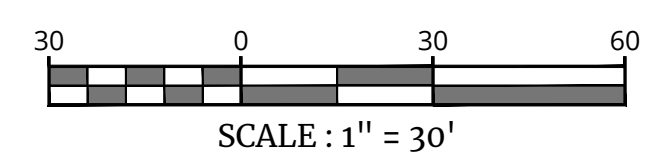


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CONCEPTUAL IMPROVEMENT PLAN
FOR
GARDNER RIDGE ASSOCIATES, LLC
GARDNERTOWN ROAD & CREEK RUN ROAD
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design
WESTCHESTER
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Valhalla, NY 10595
Phone: 914.347.7500
COLLIERS ENGINEERING & DESIGN,
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

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1:40003750	8/27/21	M.J.A.	P.J.G./A.P.R.
PROJECT NUMBER	DRAWING NAME		
R-PL01-EXBT-ALT-N	R-PL01-EXBT-ALT-N		

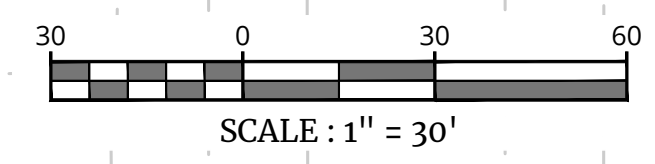
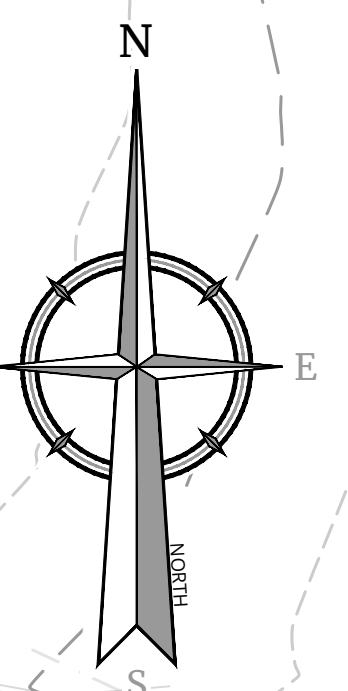
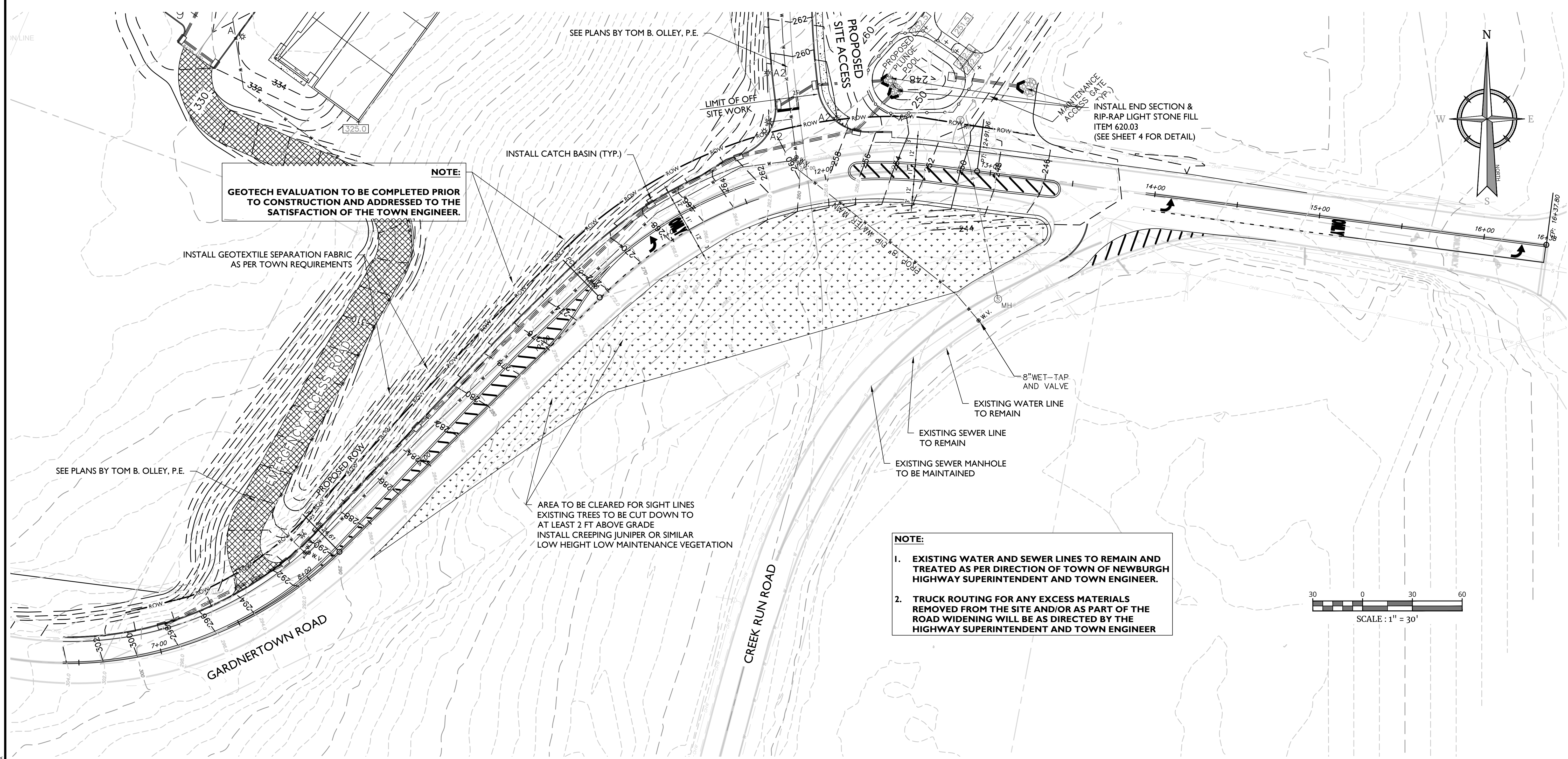
SHEET TITLE
CONCEPT PLAN (STRIPING)

SHEET NUMBER
3ALT of 8

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- NOTE:**
- EXISTING WATER AND SEWER LINES TO REMAIN AND TREATED AS PER DIRECTION OF TOWN OF NEWBURGH HIGHWAY SUPERINTENDENT AND TOWN ENGINEER.
 - TRUCK ROUTING FOR ANY EXCESS MATERIALS REMOVED FROM THE SITE AND/OR AS PART OF THE ROAD WIDENING WILL BE AS DIRECTED BY THE HIGHWAY SUPERINTENDENT AND TOWN ENGINEER

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CONCEPTUAL IMPROVEMENT PLAN
FOR
GARDNER RIDGE ASSOCIATES, LLC
GARDNERTOWN ROAD & CREEK RUN ROAD
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK

Colliers
Engineering & Design
WESTCHESTER
400 Columbus Avenue,
Suite 180E
Valhalla, NY 10595
Phone: 914.347.7500
COLLIERS ENGINEERING & DESIGN,
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SCALE: AS SHOWN	DATE: 8/27/21	DRAWN BY: M.J.A.	CHECKED BY: P.J.G./A.P.R.
PROJECT NUMBER: 140003750	DRAWING NAME: R-PL01-EXBT-ALTN		

SHEET TITLE:
CONCEPT PLAN (GRADING)

SHEET NUMBER:
4ALT of 8

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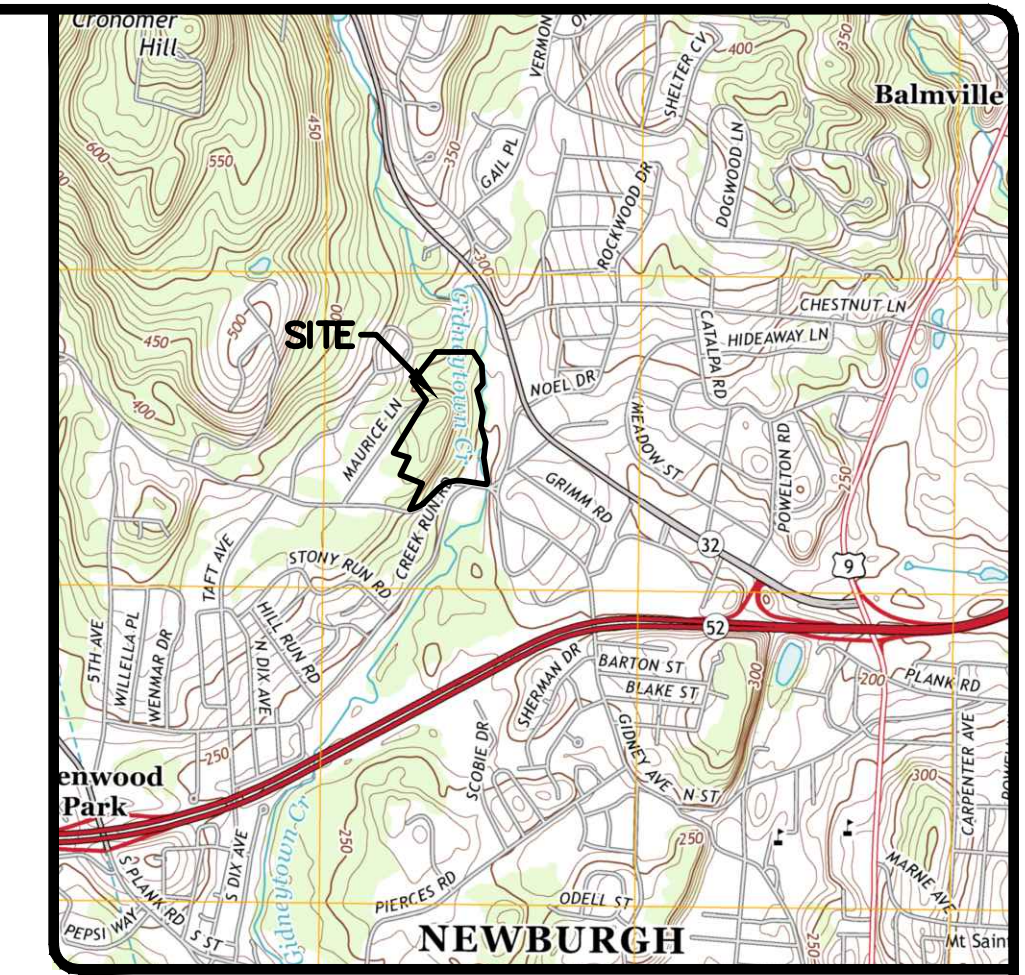
SITE PLAN

GARDNER RIDGE APARTMENTS

GARDNERTOWN ROAD

TOWN OF NEWBURGH, ORANGE COUNTY, NY

JANUARY 28, 2016
REVISED OCTOBER 20, 2023



LOCATION MAP
 NEWBURGH QUADRANGLE
 SCALE: 1"=2000'

DENSITY CALCULATIONS:

TOTAL PARCEL AREA = 23.4± AC.
 LESS WETLANDS, EASEMENTS/R.O.W.s, 100-YR FLOODPLAINS AND SLOPES 25% OR GREATER = 7.4± AC.
 USEABLE AREA = 16.0± AC.
 MULTIPLE FAMILY DWELLINGS MAXIMUM ALLOWABLE DENSITY= 6 DU/ACRE
 ALLOWABLE NUMBER OF UNITS= 96 DWELLING UNITS

DENSITY BONUS FOR PROJECTS CONSISTING OF SENIOR CITIZEN MULTIPLE DWELLING UNITS AND NON-SENIOR- CITIZEN MULTIPLE DWELLING UNITS:
 MAXIMUM DENSITY= 9 DU/ACRE
 MAXIMUM ALLOWABLE UNITS= 144 UNITS
 BONUS UNITS = 144 UNITS - 96 UNITS = 48 UNITS
 SENIOR HOUSING UNITS REQUIRED = 48 UNITS/3 = 16 UNITS

TOTAL UNITS PROPOSED =144 UNITS
 BONUS UNITS PROPOSED = 144 UNITS - 96 UNITS = 48 UNITS
 SENIOR HOUSING UNITS REQUIRED = 48 BONUS UNITS/3 = 16 UNITS
 NON-SENIOR APARTMENTS PROPOSED = 108 UNITS
 SENIOR HOUSING PROPOSED = 36 UNITS

PARKING CALCULATIONS:

108 NON-SENIOR APARTMENTS
 SPACES REQUIRED (2 SPACES/DU REQ.)= 216 SPACES
 SPACES PROVIDED:
 GARAGES = 60 SPACES
 DRIVEWAY = 60 SPACES
 PARKING LOT SPACES = 101 SPACES
 NON-SENIOR APARTMENTS: SPACES PROPOSED = 221 SPACES
 36 SENIOR HOUSING APARTMENTS
 SPACES REQUIRED (2 SPACES/DU REQ.)= 72 SPACES
 SPACES PROVIDED:
 PARKING LOT SPACES = 72 SPACES
 CLUBHOUSE
 SPACES PROVIDED = 9 SPACES
 TOTAL PARKING PROVIDED: 307 SPACES
 ACCESSIBLE PARKING SPACES (NY'S BUILDING CODE SECTION 1106):
 SPACES REQUIRED 301 - 400 SPACES = 8 SPACES
 SPACES PROVIDED: 16 SPACES
 PROVISIONS SHALL BE PLACED IN EACH LEASE AGREEMENT THAT REQUIRES EACH TENANT WITH A GARAGE TO MAINTAIN THAT GARAGE FOR THE PURPOSE OF PARKING A VEHICLE.

SHEET INDEX

SHEET NO.	DESCRIPTION
CS	COVER SHEET
1	EXISTING CONDITIONS
2	OVERALL SITE PLAN
3	LAYOUT & DIMENSION PLAN
4	GRADING PLAN
5	ROCK REMOVAL PLAN
6	UTILITY PLAN
7	EROSION & SEDIMENT CONTROL PLAN
8	ROAD PROFILES
9	ROAD PROFILES
10	SANITARY SEWER PROFILES
11	SITE DETAILS
12	WATER DETAILS
13	SEWER DETAILS
14	DRAINAGE DETAILS
15	EROSION CONTROL DETAILS
16	TREE SURVEY
17	EMERGENCY ACCESS PLAN
18	LIGHTING PLAN

RECORD OWNER

GARDNER RIDGE ASSOCIATES
 134 FAIRVIEW ROAD
 ROCKAWAY, NJ 07866

CONSULTING ENGINEER

THOMAS B. OLLEY, PE, PLLC
 152 ORANGE AVENUE
 WALDEN, NY 12586
 CONTACT: THOMAS B. OLLEY, PE
 (845) 778-5638

SURVEYOR:

MARTIN F. ANTHONISEN JR., PLS
 1422 LONG MEADOW ROAD,
 TUXEDO, NY

NOTES:

1. SENIOR CITIZEN UNITS ARE LIMITED TO 1000 S.F. MAXIMUM IN ACCORDANCE WITH TOWN OF NEWBURGH ZONING CODE SECTION 185-48 (4).
2. SENIOR CITIZEN UNITS SHALL BE DESIGNED AND CONSTRUCTED FOR THE NEEDS OF SENIORS AND IS SUBJECT TO THE MANAGEMENT OR OTHER LEGAL RESTRICTIONS THAT REQUIRE ALL UNITS DESIGNATED AS SENIOR CITIZEN HOUSING UNITS TO BE OCCUPIED BY PERSONS 55 YEARS OF AGE OR OLDER. NOTWITHSTANDING THE FOREGOING, ADULTS UNDER 55 YEARS OF AGE AND CHILDREN MAY RESIDE IN THE UNITS WHERE:
 - 2.1. THE ADULT IS THE SPOUSE OF A PERSON 55 YEARS OF AGE OR OLDER;
 - 2.2. THE ADULT'S PRESENCE IS ESSENTIAL FOR THE PHYSICAL CARE OF A PERSON 55 YEARS OF AGE OR OLDER;
 - 2.3. THE MINOR CHILDREN ARE RESIDING WITH THEIR PARENT, PARENTS OR LEGAL GUARDIANS WHERE THEIR PARENT, PARENTS OR LEGAL GUARDIANS ARE 55 YEARS OF AGE OR OLDER, AND THE MINOR CHILDREN RESIDING THEREIN ARE UNDER A PHYSICAL OR OTHER DISABILITY AND CANNOT CARE FOR THEMSELVES.

REV.	DATE	DESCRIPTION
1	12/04/23	CREEK RUN ROAD, CONSULTANT AND BOARD COMMENTS
2	12/04/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
3	12/04/23	CONSULTANT COMMENTS
4	06/06/22	LAYOUT REVISION
5	06/06/22	ENGINEERS COMMENTS
6	06/06/22	ENGINEERS COMMENTS
7	06/06/22	ENGINEERS COMMENTS
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100	06/06/22	ENGINEERS COMMENTS

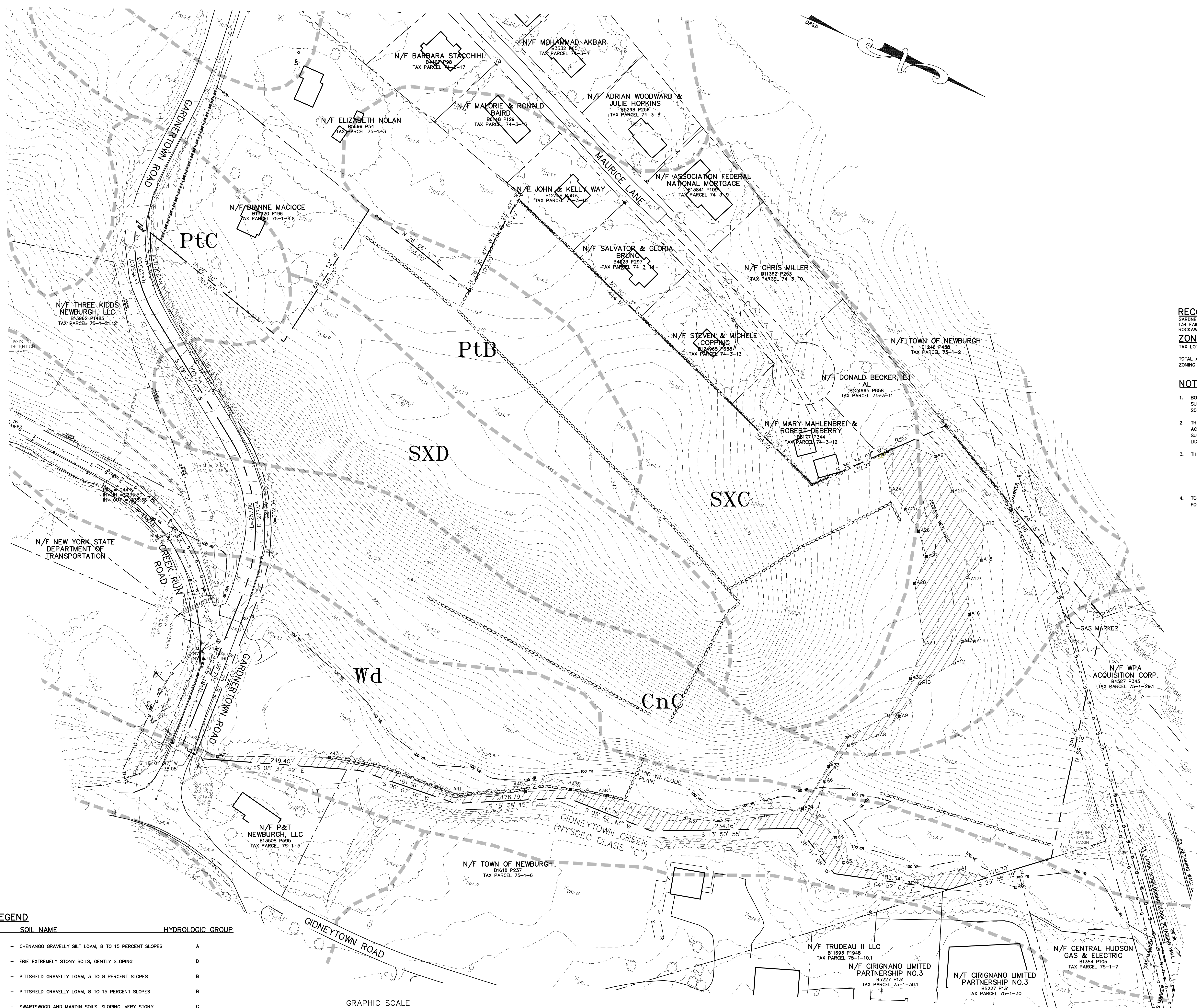
THOMAS B. OLLEY, PE, PLLC
 ENGINEERS AND PLANNERS

THOMAS B. OLLEY, PE, PLLC.
ENGINEERS AND PLANNERS
 152 ORANGE AVENUE
 WALDEN, NY 12586
 PHONE: (845) 778-5638
 FAX: (845) 778-3107

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EXISTING CONDITIONS
GARDNER RIDGE APARTMENTS
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
CS
 DATE: JANUARY 28, 2016
 FILE NO.



LEGEND

	EXISTING CONTOURS
	EXISTING SITE BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING STONE WALL
	EXISTING TREE LINE
	EXISTING TREES AND/OR BUSHES
	EXISTING STREAM
	EXISTING BUILDINGS
	EXISTING UTILITY POLE
	EXISTING STREET SIGN
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING CLEANOUT
	EXISTING CURB STOP
	EXISTING SEWER MAIN AND MANHOLE
	EXISTING PAVED ROAD/DRIVEWAY
	EXISTING GRAVEL ROAD/DRIVEWAY
	SOILS BOUNDARY
	EXISTING FEDERAL WETLANDS BOUNDARY
	100 YR FLOODPLAIN BOUNDARY

RECORD OWNER:
GARDNER RIDGE ASSOCIATES, LLC
134 FAIRVIEW RD.
ROCKAWAY NJ, 08766

ZONING INFORMATION:
TAX LOT DATA: 75-1-4.12
TOTAL ACREAGE: 23.4 ACRES ±
ZONING DISTRICT: R-3

- NOTES:**
- BOUNDARY SURVEY SHOWN HEREON IS FROM AN ACTUAL FIELD SURVEY PREPARED BY MARTIN F ANTHONISEN JR. ON DECEMBER 24, 2015.
 - THE TOPOGRAPHIC SURVEY SHOWN HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PREPARED BY VINCENT DOCE ENGINEERING & SURVEYING IN APRIL 2003 AND SUPPLEMENTED WITH USGS 1 METER LIDAR (2014).
 - THE PROJECT SITE IS LOCATED WITHIN THE FOLLOWING DISTRICTS:
A. NEWBURGH SCHOOL DISTRICT.
B. CROMMER FIRE DISTRICT.
C. CONSOLIDATED LIGHTING.
D. CONSOLIDATED WATER DISTRICT 1.
E. CONSOLIDATED WATER DISTRICT 2.
 - TOWN OF NEWBURGH SEWER AND WATER SERVICES ARE PROVIDED FOR THIS PROPERTY.

NO.	DATE	DESCRIPTION
1	3/15/18	ENGINEERS COMMENTS
2	3/15/18	MIS
3	6/21/17	ENGINEERS COMMENTS
4	6/9/12	LAYOUT REVISION
5	7/6/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
6	10/20/23	CONSULTANT COMMENTS
TBD		
TBD		
TBD		
TBD		
TBD		
TBD		

Thomas B. Olley

THOMAS B. OLLEY, P.E., PLLC.
ENGINEERS AND PLANNERS
1ST ORANGE AVENUE
WALDEN, NY 12688
PHONE: 845 785-5838
FAX: 845 778-3177

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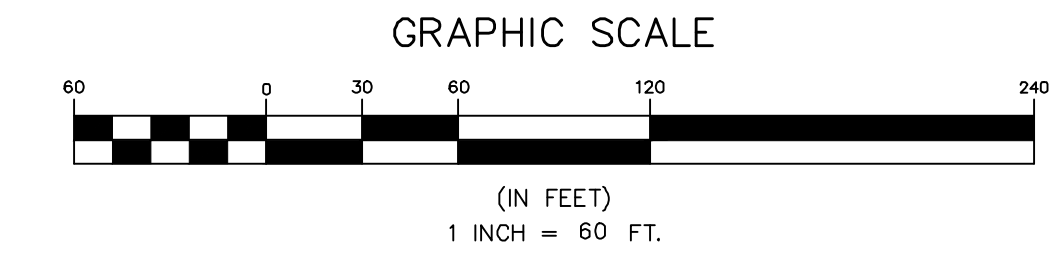
EXISTING CONDITIONS
**GARDNER RIDGE
GARDNERTOWN ROAD**
TOWN OF NEWBURGH, ORANGE COUNTY, NY

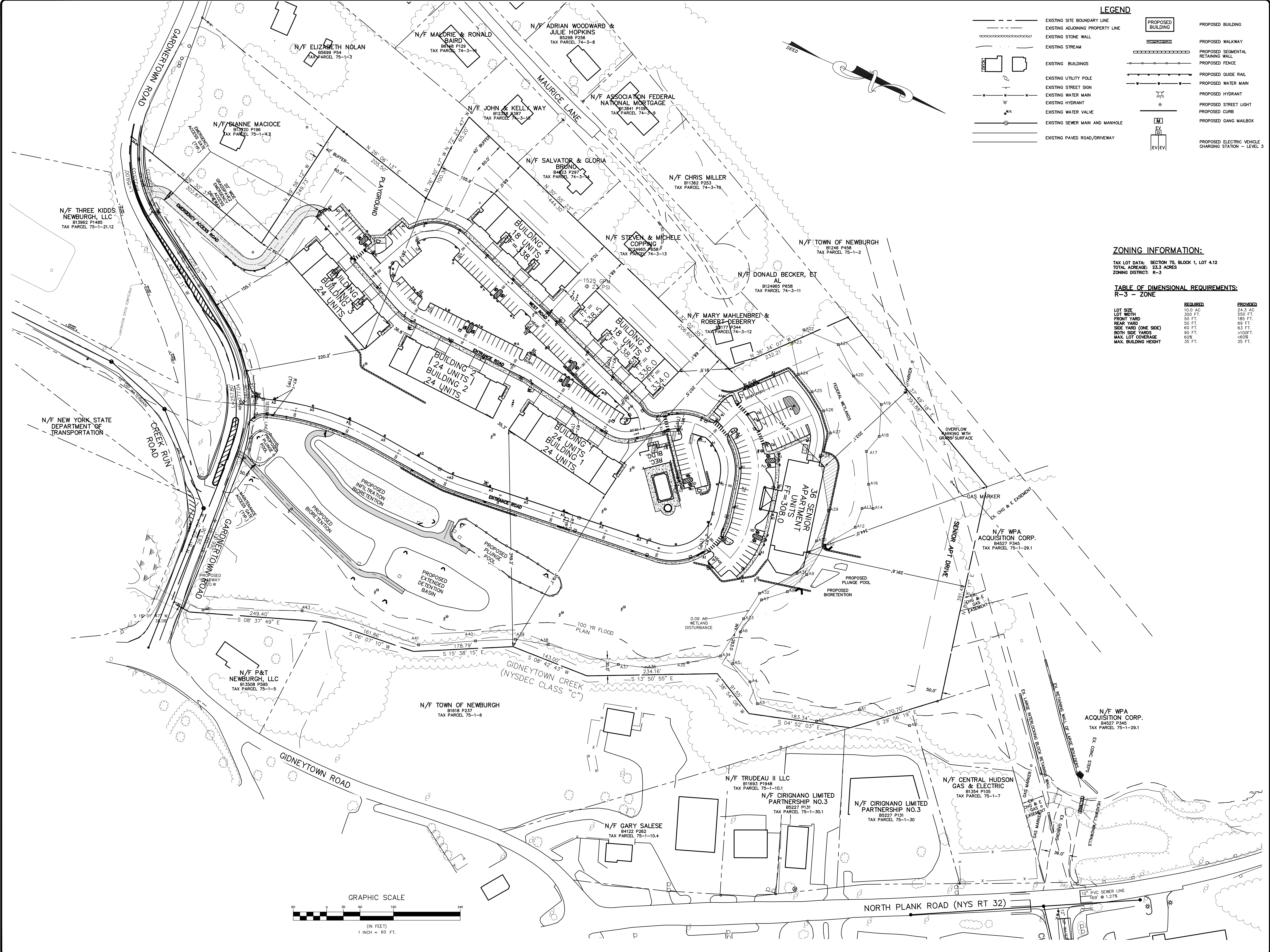
SHEET NO.
1 OF 18

DATE: JANUARY 28, 2016
FILE NO.

SOILS LEGEND

SYMBOL	SOIL NAME	HYDROLOGIC GROUP
CnC	- CHENANGO GRAVELLY SILT LOAM, 8 TO 15 PERCENT SLOPES	A
ESB	- ERIE EXTREMELY STONY SOILS, GENTLY SLOPING	D
PtB	- PITTSFIELD GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES	B
PtC	- PITTSFIELD GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES	B
SxC	- SWARTSWOOD AND HARDIN SOILS, SLOPING, VERY STONY	C
SxD	- SWARTSWOOD AND HARDIN SOILS, MODERATELY STEEP, VERY STONY	C
Wd	- WAYLAND SOILS COMPLEX, NONCALCAREOUS SUBSTRATUM, 0 TO 3 PERCENT SLOPES, FREQUENTLY FLOODED	C





LEGEND

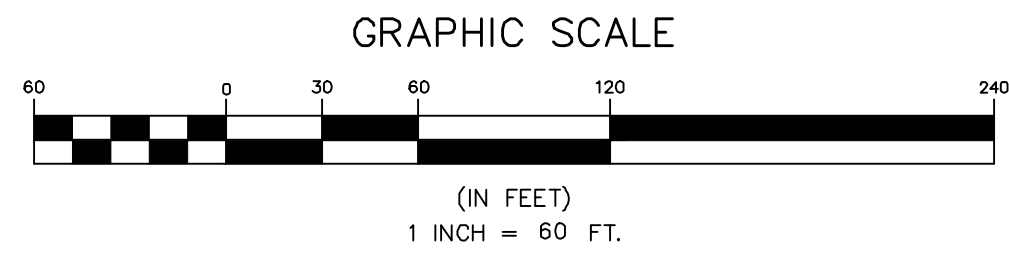
	EXISTING SITE BOUNDARY LINE		PROPOSED BUILDING
	EXISTING ADJOINING PROPERTY LINE		PROPOSED WALKWAY
	EXISTING STONE WALL		PROPOSED SEGMENTAL RETAINING WALL
	EXISTING STREAM		PROPOSED FENCE
	EXISTING BUILDINGS		PROPOSED GUIDE RAIL
	EXISTING UTILITY POLE		PROPOSED WATER MAIN
	EXISTING STREET SIGN		PROPOSED HYDRANT
	EXISTING WATER MAIN		PROPOSED STREET LIGHT
	EXISTING HYDRANT		PROPOSED CURB
	EXISTING WATER VALVE		PROPOSED GANG MAILBOX
	EXISTING SEWER MAIN AND MANHOLE		PROPOSED ELECTRIC VEHICLE CHARGING STATION - LEVEL 3
	EXISTING PAVED ROAD/DRIVEWAY		

ZONING INFORMATION:

TAX LOT DATA: SECTION 75, BLOCK 1, LOT 4.12
 TOTAL ACREAGE: 23.3 ACRES
 ZONING DISTRICT: R-3

TABLE OF DIMENSIONAL REQUIREMENTS: R-3 - ZONE

	REQUIRED	PROVIDED
LOT SIZE	10.0 AC	24.3 AC
FRONT YARD	300 FT.	550 FT.
REAR YARD	50 FT.	185 FT.
SIDE YARD (ONE SIDE)	60 FT.	63 FT.
BOTH SIDE YARDS	90 FT.	>100 FT.
MAX. LOT COVERAGE	60%	<60%
MAX. BUILDING HEIGHT	35 FT.	35 FT.

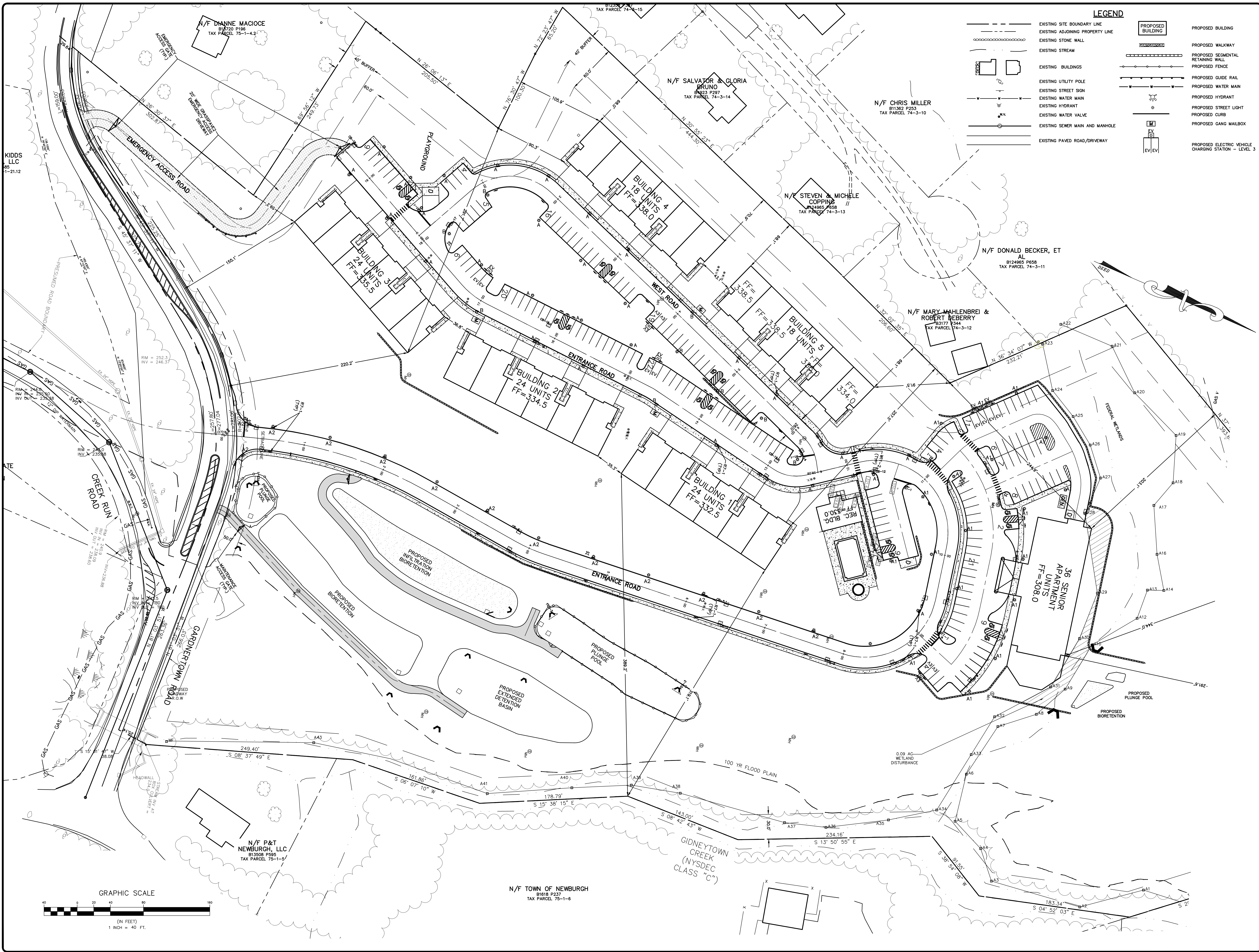


REV.	DATE	DESCRIPTION
8	12/04/23	ADDED WATER MAIN LOOP, EV CHARGERS, REVISED CREEK RUN RD
7	10/20/23	CONSULTANT COMMENTS
6	09/20/23	CONSULTANT COMMENTS AND DRAINAGE REVISIONS
5	09/22/23	CONSULTANT COMMENTS
4	06/22/23	LAYOUT REVISION
3	06/21/23	ENGINEERS COMMENTS
2	05/31/23	ENGINEERS COMMENTS
1	05/15/23	DATE

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
 ENGINEERS AND PLANNERS
 15 ORANGE AVENUE
 NEWBURGH, NY 10993
 PHONE: (845) 798-5838
 FAX: (845) 798-2827

OVERALL SITE PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY



LEGEND

	PROPOSED BUILDING
	PROPOSED WALKWAY
	PROPOSED SEGMENTAL RETAINING WALL
	PROPOSED FENCE
	PROPOSED GUIDE RAIL
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED STREET LIGHT
	PROPOSED CURB
	PROPOSED GANG MAILBOX
	PROPOSED ELECTRIC VEHICLE CHARGING STATION - LEVEL 3
	EXISTING SITE BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING STONE WALL
	EXISTING STREAM
	EXISTING BUILDINGS
	EXISTING UTILITY POLE
	EXISTING STREET SIGN
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING SEWER MAIN AND MANHOLE
	EXISTING PAVED ROAD/DRIVEWAY

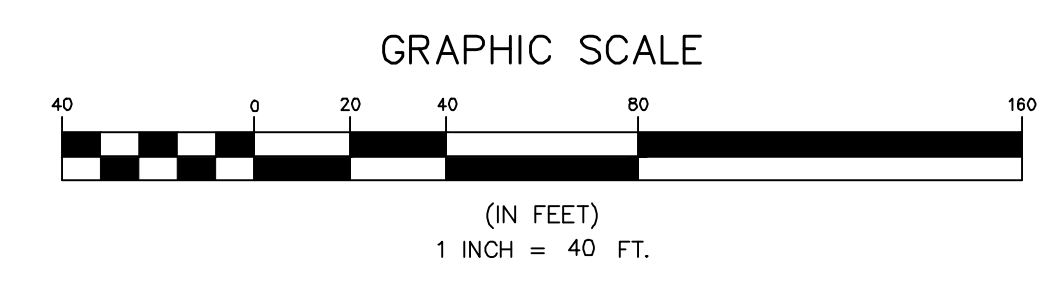
REV	DATE	DESCRIPTION
1	3/15/16	ENGINEERS COMMENTS
2	5/31/17	ENGINEERS COMMENTS
3	6/9/17	LAYOUT REVISION
4	9/6/22	CONSULTANT COMMENTS
5	9/6/22	CONSULTANT COMMENTS
6	7/6/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
7	10/20/23	CONSULTANT COMMENTS
8	12/04/23	ADDED WATER MAIN LOSS, EY CHARGERS, REVISED CREEK, RUN RD TO

Thomas B. Olley, PE, PLLC

THOMAS B. OLLEY, PE, PLLC
 ENGINEERS AND PLANNERS
 12 ORANGE AVENUE
 WALDEN, NY 12586
 PHONE: 845 78-5338
 FAX: 845 78-1817

LAYOUT & DIMENSION
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
3 OF 18
 DATE: JANUARY 28, 2016
 FILE NO.



N/F TOWN OF NEWBURGH
 B1618 P237
 TAX PARCEL 75-1-6

N/F P&T
 NEWBURGH, LLC
 B13508 P295
 TAX PARCEL 75-1-5

GIDNEYTOWN CREEK
 (NYSDEC
 CLASS "C")

36 SENIOR
 APARTMENT
 UNITS
 FF=308.0

BUILDING 2
 24 UNITS
 FF=334.5

BUILDING 1
 24 UNITS
 FF=322.5

BUILDING 5
 18 UNITS
 FF=334.0

BUILDING 4
 18 UNITS
 FF=338.0

BUILDING 3
 24 UNITS
 FF=335.5

KIDDS
 LLC
 1-2112

N/F DIANNE MACIOCE
 B1720 P196
 TAX PARCEL 75-1-4.2

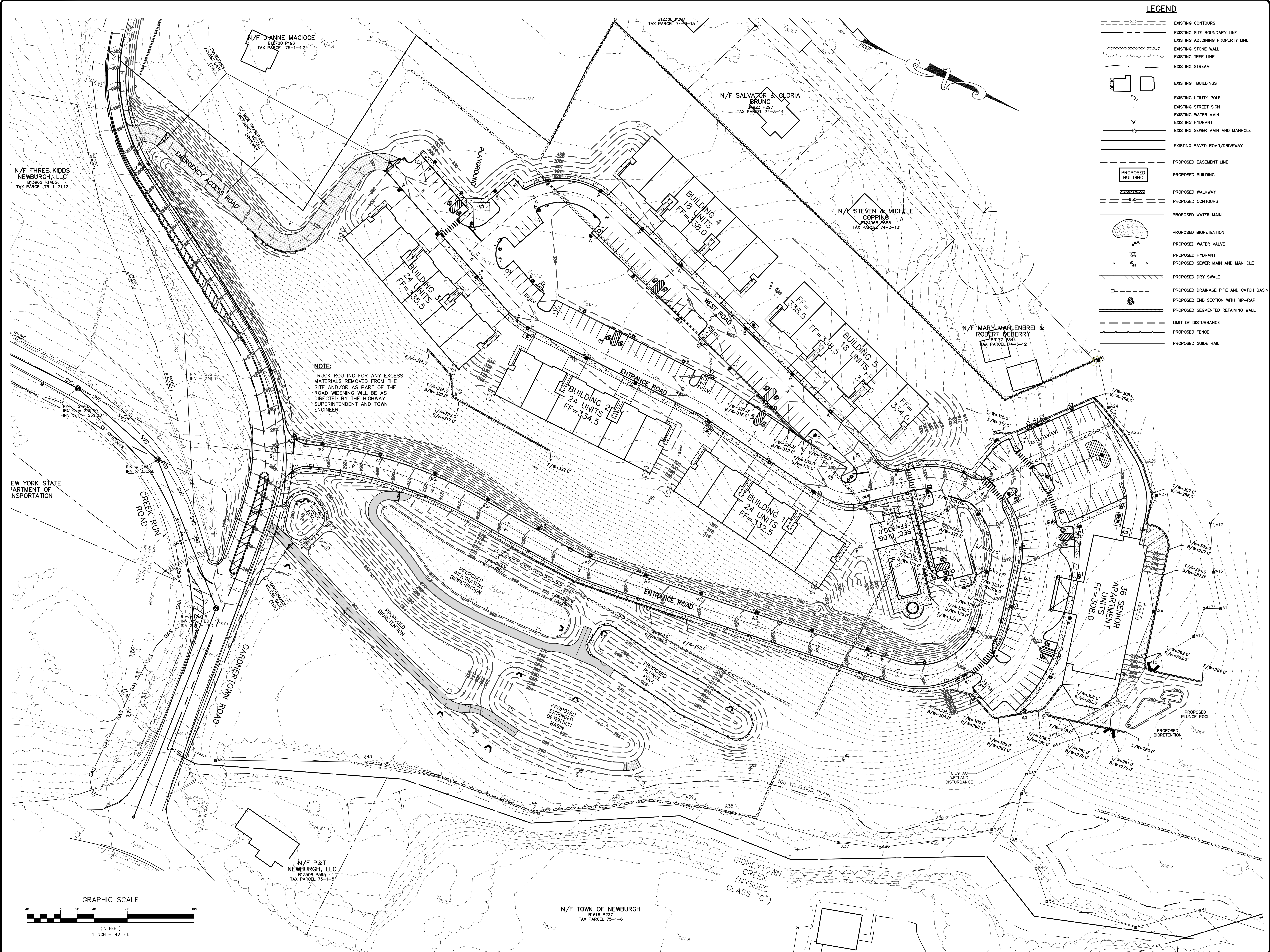
N/F SALVATOR & GLORIA
 BRUNO
 B023 P281
 TAX PARCEL 74-3-14

N/F CHRIS MILLER
 B11362 P220
 TAX PARCEL 74-3-10

N/F STEVEN & MICHELE
 COPPING
 B24985 P658
 TAX PARCEL 74-3-13

N/F DONALD BECKER, ET
 AL
 B124965 P658
 TAX PARCEL 74-3-11

N/F MARY MAHLENBRI &
 ROBERT NEBERRY
 B3177 P344
 TAX PARCEL 74-3-12



LEGEND

- EXISTING CONTOURS
- EXISTING SITE BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- EXISTING STREAM
- EXISTING BUILDINGS
- EXISTING UTILITY POLE
- EXISTING STREET SIGN
- EXISTING WATER MAIN
- EXISTING HYDRANT
- EXISTING SEWER MAIN AND MANHOLE
- EXISTING PAVED ROAD/DRIVEWAY
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONTOURS
- PROPOSED WATER MAIN
- PROPOSED BIORETENTION
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED SEWER MAIN AND MANHOLE
- PROPOSED DRY SWALE
- PROPOSED DRAINAGE PIPE AND CATCH BASIN
- PROPOSED END SECTION WITH RIP-RAP
- PROPOSED SEGMENTED RETAINING WALL
- LIMIT OF DISTURBANCE
- PROPOSED FENCE
- PROPOSED GUIDE RAIL

NOTE:
TRUCK ROUTING FOR ANY EXCESS MATERIALS REMOVED FROM THE SITE AND/OR AS PART OF THE ROAD WIDENING WILL BE AS DIRECTED BY THE HIGHWAY SUPERINTENDENT AND TOWN ENGINEER.

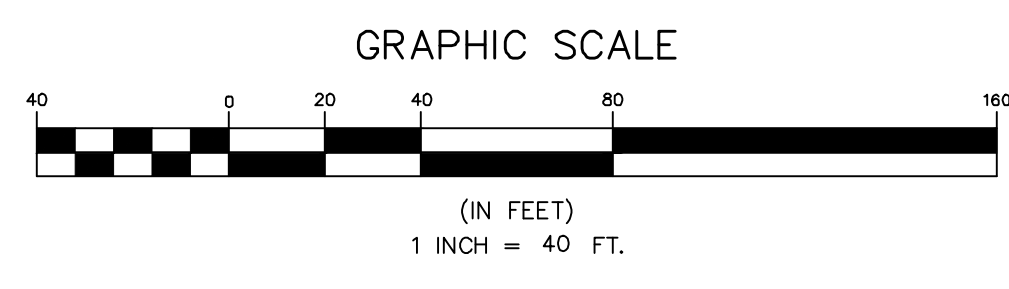
REV.	DATE	DESCRIPTION
1	12/04/23	ADDED WATER MAIN LOOP, EY CHARGERS, REVISED CREEK RUN RD
2	10/20/23	CONSULTANT COMMENTS
3	7/6/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
4	3/16/23	CONTRACTOR COMMENTS
5	3/6/23	CONSULTANT COMMENTS
6	6/6/22	LAYOUT REVISION
7	6/17/17	ENGINEERS COMMENTS
8	5/25/17	ENGINEERS COMMENTS
9	5/25/17	ENGINEERS COMMENTS

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
155 GRANVILLE AVENUE
WALKEN NY 12087
PHONE: 518 778 6288 FAX: 518 778 2277

GRADING PLAN
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
4 OF 18
DATE: JANUARY 28, 2016
FILE NO.



N/F THREE KIDS NEWBURGH, LLC
B13962 P1485
TAX PARCEL 75-1-21.12

N/F DIANNE MACIOCE
B1720 P108
TAX PARCEL 75-1-4.2

N/F SALVATOR & GLORIA BRUNO
B023 P297
TAX PARCEL 74-3-14

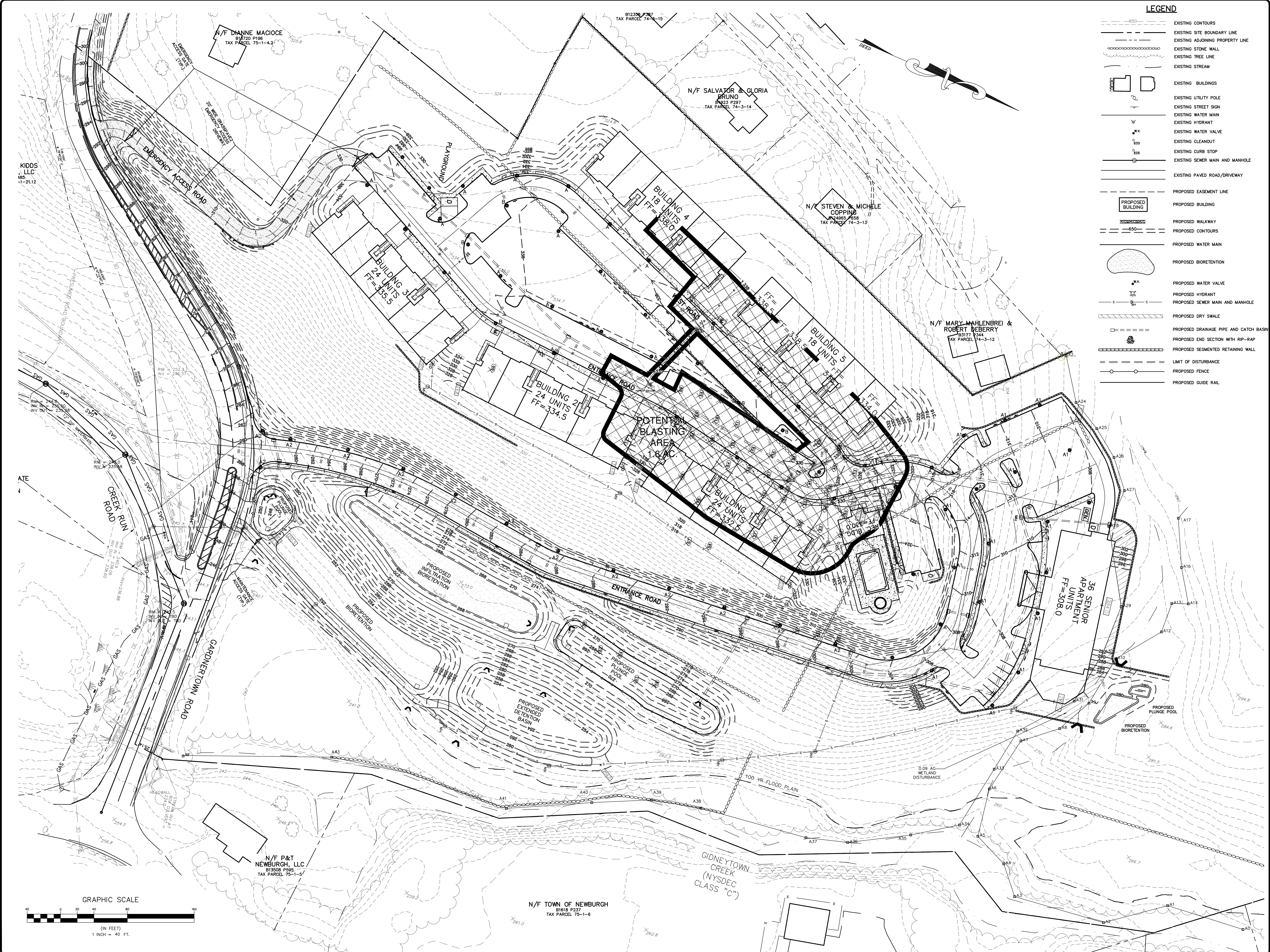
N/F STEVEN & MICHELE COPPING
B04965 P658
TAX PARCEL 74-3-13

N/F MARY MAHLENBREI & ROBERT DEBERRY
B0317 P344
TAX PARCEL 74-3-12

NEW YORK STATE DEPARTMENT OF TRANSPORTATION

N/F TOWN OF NEWBURGH
B1618 P237
TAX PARCEL 75-1-6

N/F P&T NEWBURGH, LLC
B13508 P595
TAX PARCEL 75-1-5



LEGEND

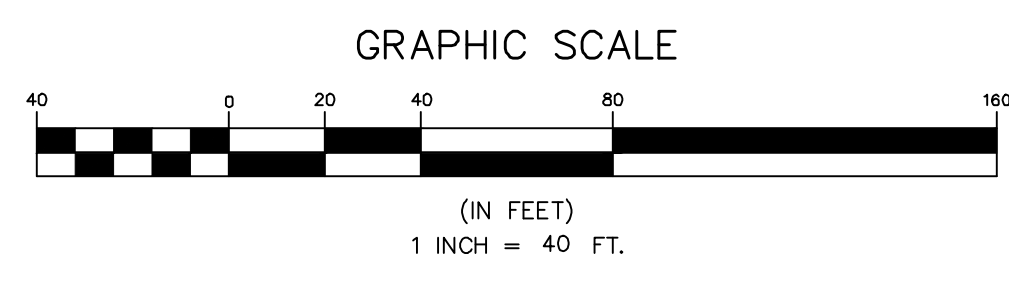
- EXISTING CONTOURS
- EXISTING SITE BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- EXISTING STREAM
- EXISTING BUILDINGS
- EXISTING UTILITY POLE
- EXISTING STREET SIGN
- EXISTING WATER MAIN
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING CLEANOUT
- EXISTING CURB STOP
- EXISTING SEWER MAIN AND MANHOLE
- EXISTING PAVED ROAD/DRIVEWAY
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED WALKWAY
- PROPOSED CONTOURS
- PROPOSED WATER MAIN
- PROPOSED BIORETENTION
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED SEWER MAIN AND MANHOLE
- PROPOSED DRY SWALE
- PROPOSED DRAINAGE PIPE AND CATCH BASIN
- PROPOSED END SECTION WITH RIP-RAP
- PROPOSED SEGMENTED RETAINING WALL
- LIMIT OF DISTURBANCE
- PROPOSED FENCE
- PROPOSED GUIDE RAIL

REV.	DATE	DESCRIPTION
8	12/01/23	ADDED WATER MAIN LOOP, EY CHARGERS, REVISED CREEK RUN RD
7	10/20/23	CONSULTANT COMMENTS DRAINAGE REVISIONS
6	09/22/23	CONSULTANT COMMENTS
5	06/22/23	LAYOUT REVISION
4	06/22/23	ENGINEERS COMMENTS
3	06/21/23	ENGINEERS COMMENTS
2	5/25/23	ENGINEERS COMMENTS
1	5/25/23	ENGINEERS COMMENTS

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., PLLC.
 ENGINEERS AND PLANNERS
 15 GRANITE AVENUE
 WALKEN NY 12580
 PHONE: 518 778 6288
 FAX: 518 778 2277

ROCK REMOVAL PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY



N/F TOWN OF NEWBURGH
 B1618 P237
 TAX PARCEL 75-1-6

N/F P&T
 NEWBURGH, LLC
 B1618 P196
 TAX PARCEL 75-1-5

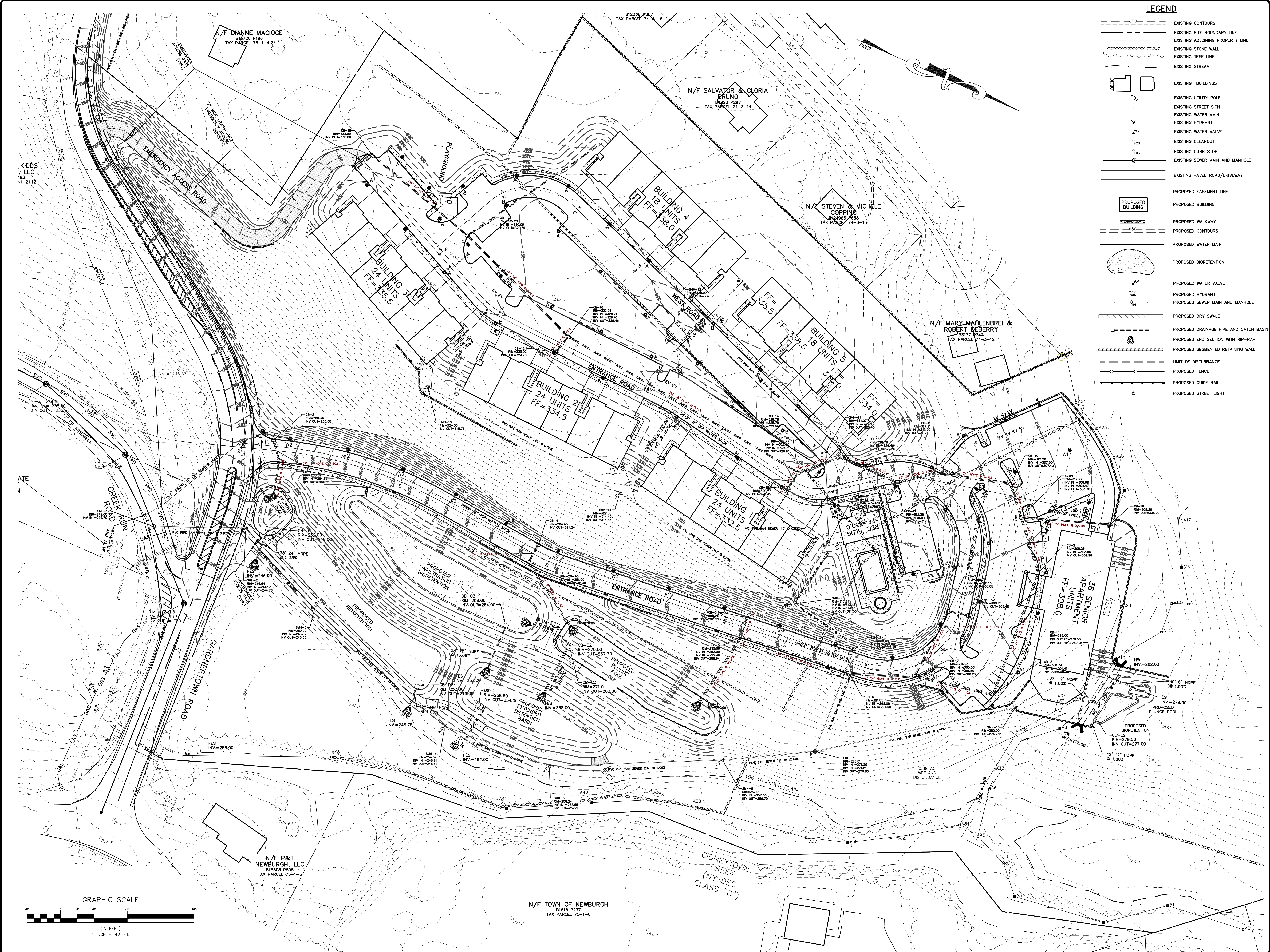
N/F DIANNE MACIOCE
 B1720 P196
 TAX PARCEL 75-1-4.2

N/F SALVATOR & GLORIA
 BRUNO
 B1623 P297
 TAX PARCEL 74-3-14

N/F STEVEN & MICHELE
 COPPING
 B1645 P638
 TAX PARCEL 74-3-13

N/F MARY MAHLENBREI &
 ROBERT DEBERRY
 B3177 P344
 TAX PARCEL 74-3-12

KIDDS
 LLC
 185
 -1-21.12



LEGEND

	EXISTING CONTOURS
	EXISTING SITE BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING STONE WALL
	EXISTING TREE LINE
	EXISTING STREAM
	EXISTING BUILDINGS
	EXISTING UTILITY POLE
	EXISTING STREET SIGN
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING CLEANOUT
	EXISTING CURB STOP
	EXISTING SEWER MAIN AND MANHOLE
	EXISTING PAVED ROAD/DRIVEWAY
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING
	PROPOSED WALKWAY
	PROPOSED CONTOURS
	PROPOSED WATER MAIN
	PROPOSED BIORETENTION
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED SEWER MAIN AND MANHOLE
	PROPOSED DRY SWALE
	PROPOSED DRAINAGE PIPE AND CATCH BASIN
	PROPOSED END SECTION WITH RIP-RAP
	PROPOSED SEGMENTED RETAINING WALL
	LIMIT OF DISTURBANCE
	PROPOSED FENCE
	PROPOSED GUIDE RAIL
	PROPOSED STREET LIGHT

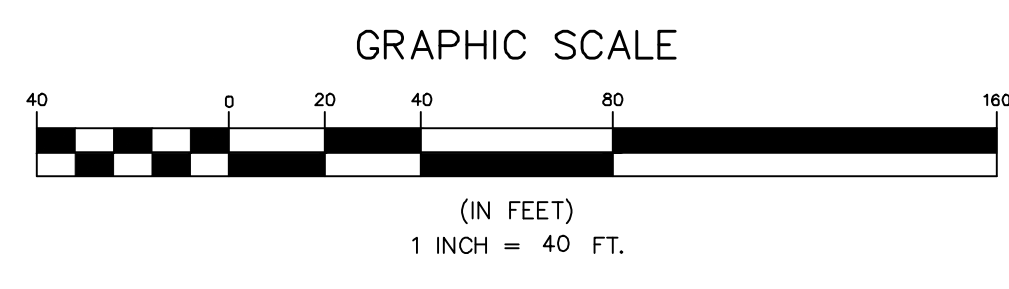
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7	10/20/23	CONSULTANT COMMENTS	DRAINAGE REVISIONS
6	08/22/23	CONSULTANT COMMENTS	LAYOUT REVISIONS
5	06/22/23	LAYOUT COMMENTS	MS
4	06/22/23	LAYOUT COMMENTS	MS
3	06/21/23	ENGINEERS COMMENTS	MS
2	5/25/23	ENGINEERS COMMENTS	MS
1	5/25/23	ENGINEERS COMMENTS	MS
REV.	DATE	DESCRIPTION	BY

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
 ENGINEERS AND PLANNERS
 155 GRANITE AVENUE
 WALKEN, NY 12580
 PHONE: 518 778 6288
 FAX: 518 778 2277

UTILITY PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
6 OF 18
 DATE: JANUARY 28, 2016
 FILE NO.



N/F TOWN OF NEWBURGH
 B1618 P237
 TAX PARCEL 75-1-6

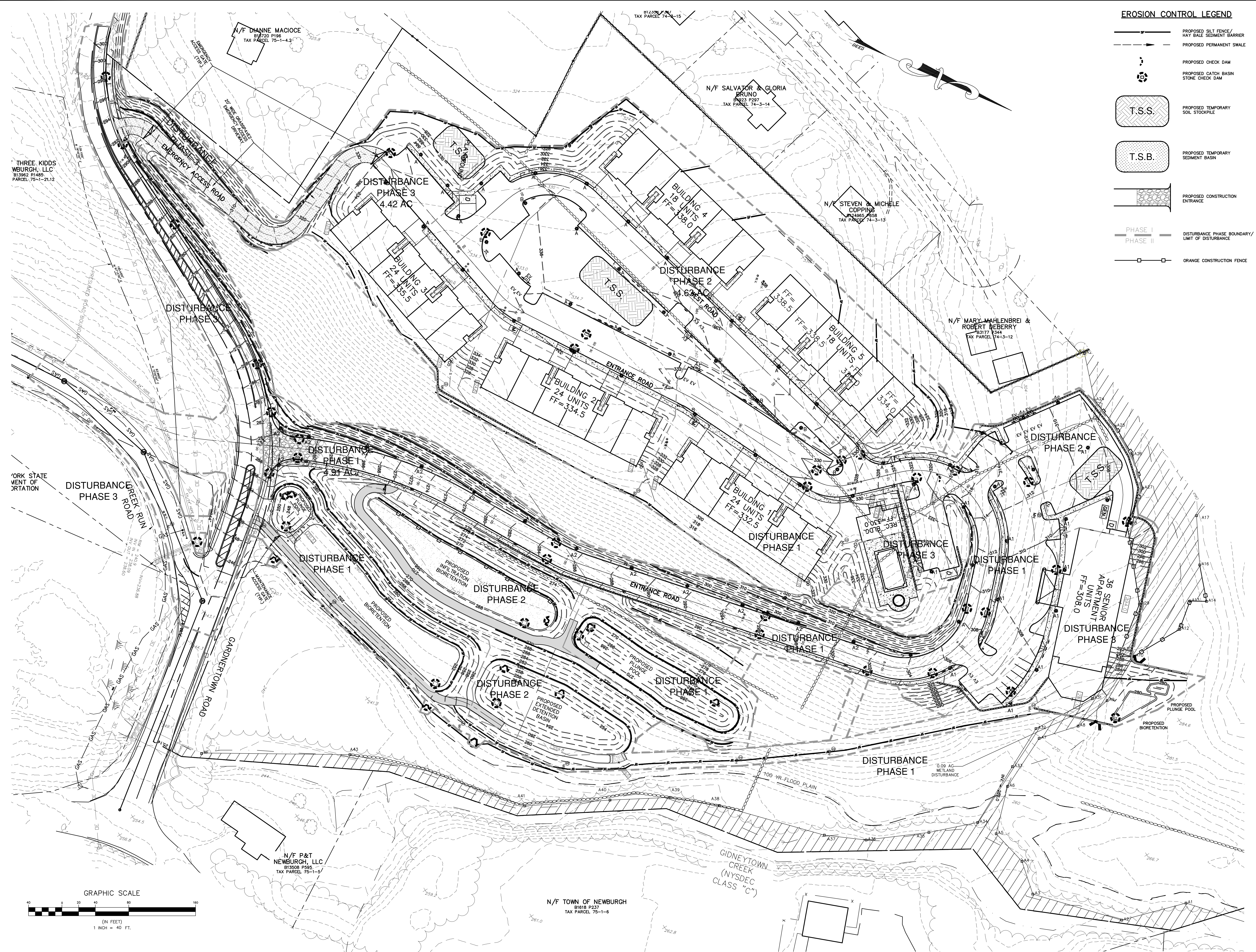
N/F P&T
 NEWBURGH, LLC
 B1508 P195
 TAX PARCEL 75-1-5

N/F DHANNE MACIOCE
 B1720 P196
 TAX PARCEL 75-1-4.2

N/F SALVATOR & GLORIA
 BRUNO
 B1223 P297
 TAX PARCEL 74-3-14

N/F STEVEN & MICHELE
 COPPING
 B1465 P658
 TAX PARCEL 74-3-13

N/F MARY MAHLENBREI &
 ROBERT DEBERRY
 B3177 P344
 TAX PARCEL 74-3-12



EROSION CONTROL LEGEND

- PROPOSED SILT FENCE/HAY BALE SEDIMENT BARRIER
- PROPOSED PERMANENT SWALE
- PROPOSED CHECK DAM
- PROPOSED CATCH BASIN STONE CHECK DAM
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED TEMPORARY SEDIMENT BASIN
- PROPOSED CONSTRUCTION ENTRANCE
- PHASE I
PHASE II
DISTURBANCE PHASE BOUNDARY/LIMIT OF DISTURBANCE
- ORANGE CONSTRUCTION FENCE

REV.	DATE	DESCRIPTION
8	12/04/23	ADDED WATER MAIN LOOP, EY CHARGERS, REVISED CREEK RUN RD
7	10/20/23	CONSULTANT COMMENTS
6	09/22/23	CONSULTANT COMMENTS AND DRAINAGE REVISIONS
5	08/22/23	CONSULTANT COMMENTS
4	06/22/23	LAYOUT REVISIONS
3	06/21/23	ENGINEERS COMMENTS
2	5/25/23	ENGINEERS COMMENTS
1	5/25/23	ENGINEERS COMMENTS

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
 ENGINEERS AND PLANNERS
 15 GRANITE AVENUE
 HALDEN, NY 11743
 PHONE: 845 798-2638
 FAX: 845 798-2627

EROSION & SEDIMENT CONTROL PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
7 OF 18
 DATE: JANUARY 28, 2016
 FILE NO.

THREE KIDS
 WBURGH, LLC
 B13962 P1485
 PARCEL 75-1-21.12

N/F DIANNE MACIOCE
 B1770 P196
 TAX PARCEL 75-1-4.2

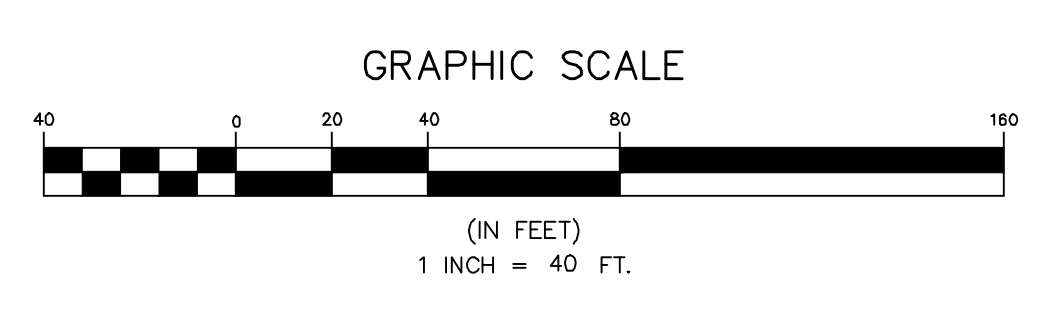
N/F SALVATOR & GLORIA
 BRUNO
 B0223 P297
 TAX PARCEL 74-3-14

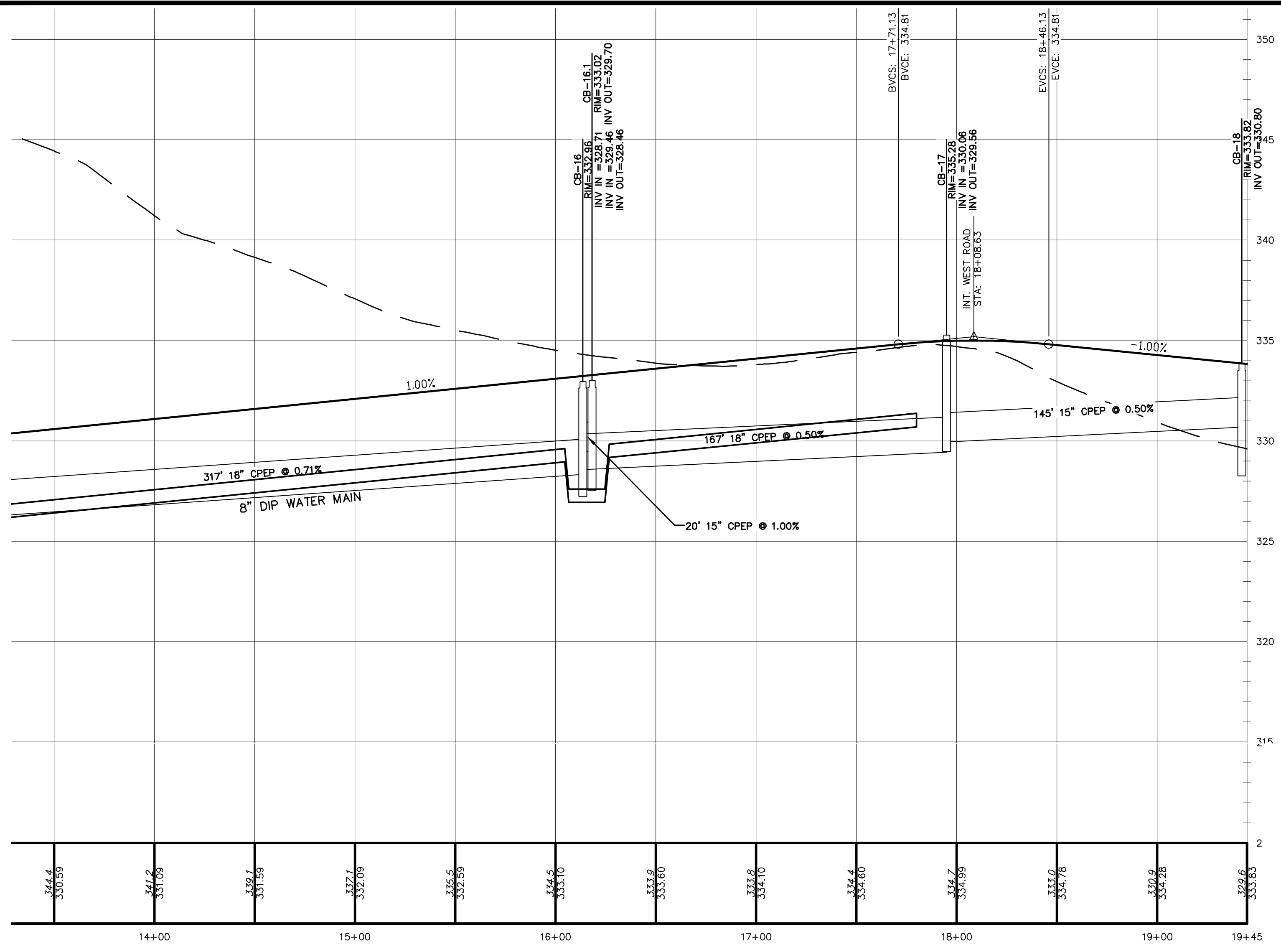
N/F STEVEN & MICHELE
 COPPING
 B14985 P558
 TAX PARCEL 74-3-13

N/F MARY MAHLENBRI &
 ROBERT DEBERRY
 B3117 P344
 TAX PARCEL 74-3-12

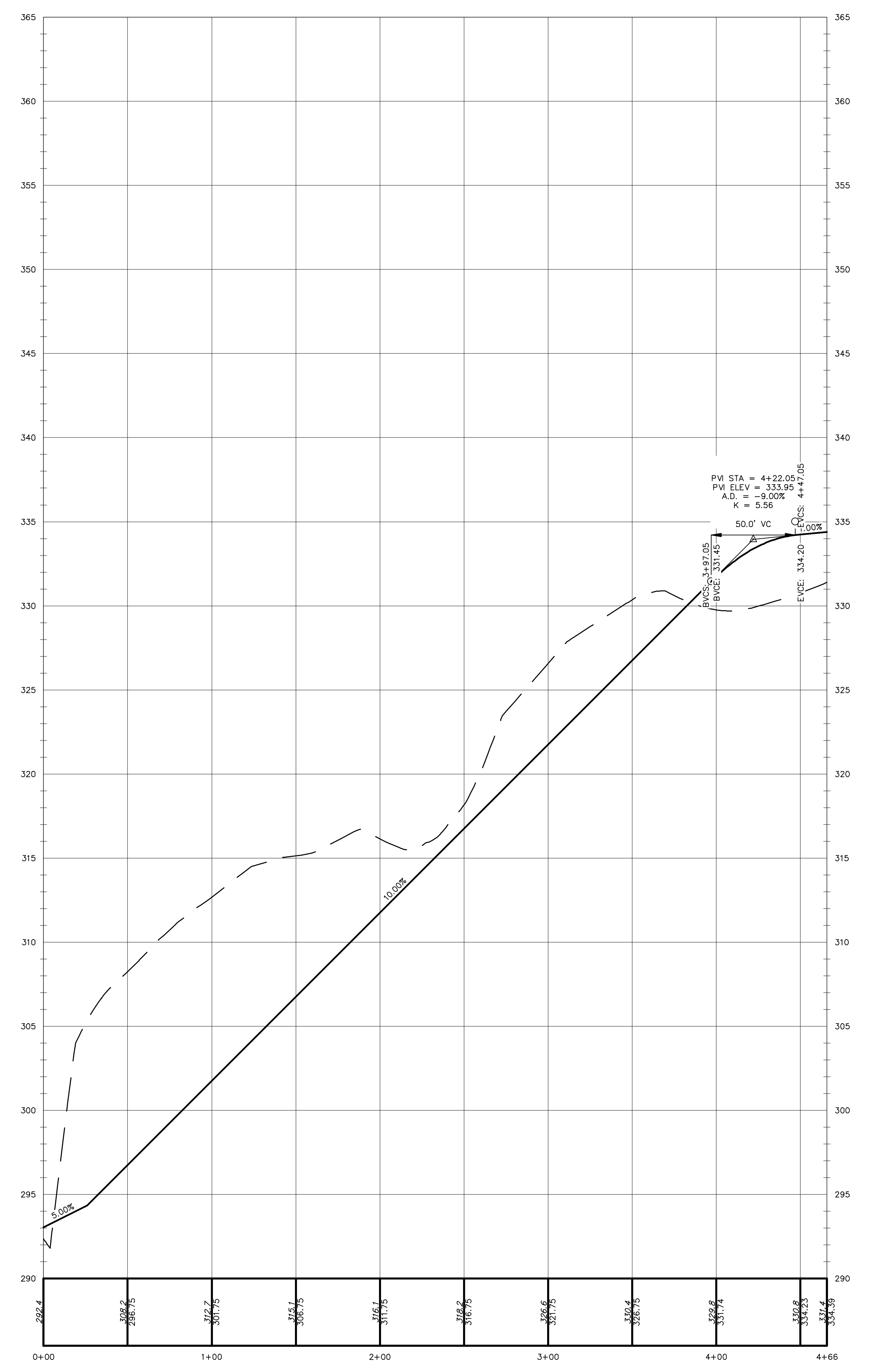
N/F P&T
 NEWBURGH, LLC
 B13508 P595
 TAX PARCEL 75-1-5

N/F TOWN OF NEWBURGH
 B1619 P237
 TAX PARCEL 75-1-6

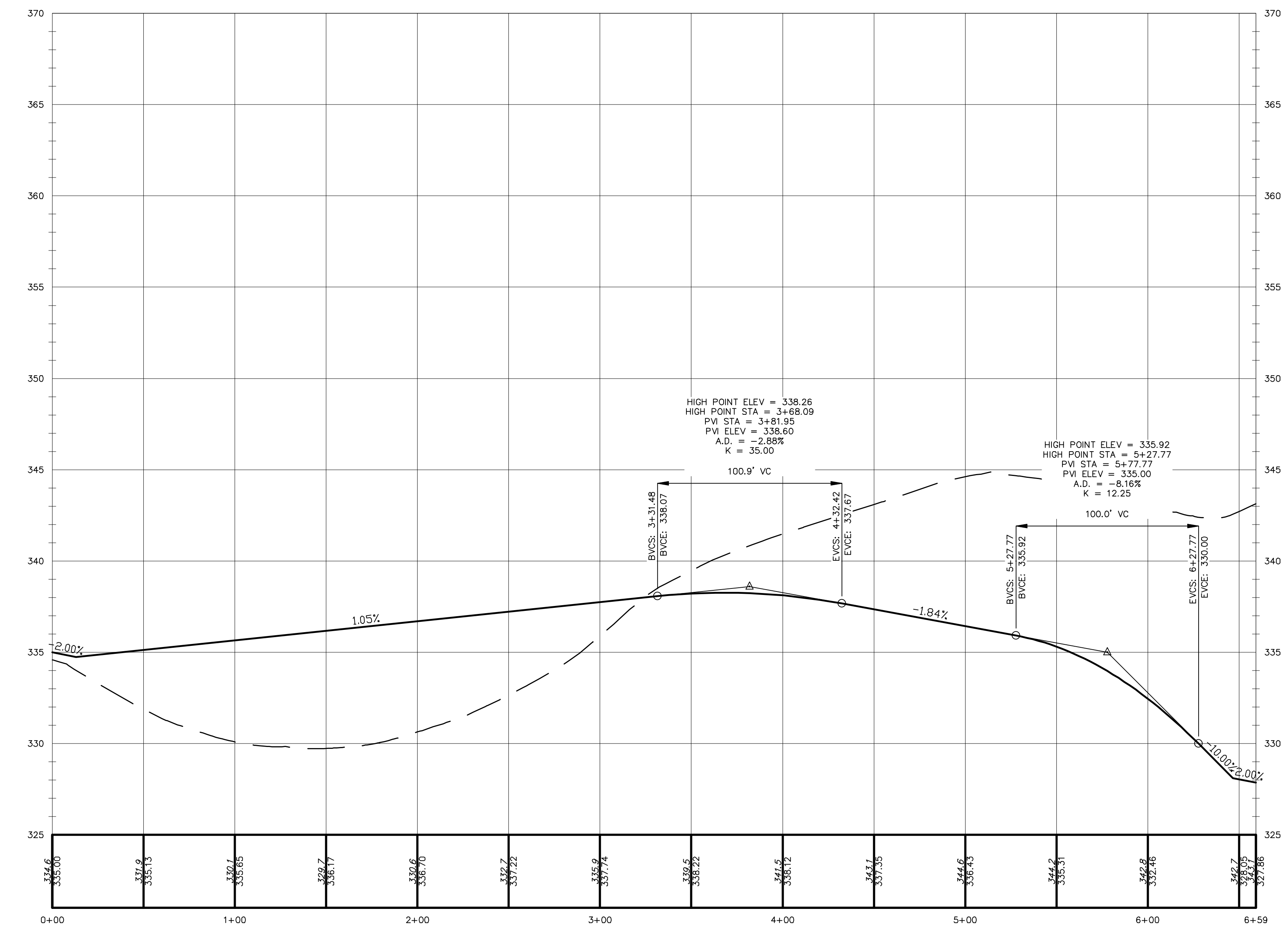




ENTRANCE ROAD (2)
SCALE: 1"=4' VERT.
1"=40' HOR.



EMERGENCY ACCESS DRIVE
SCALE: 1"=4' VERT.
1"=40' HOR.



WEST ROADWAY
SCALE: 1"=4' VERT.
1"=40' HOR.

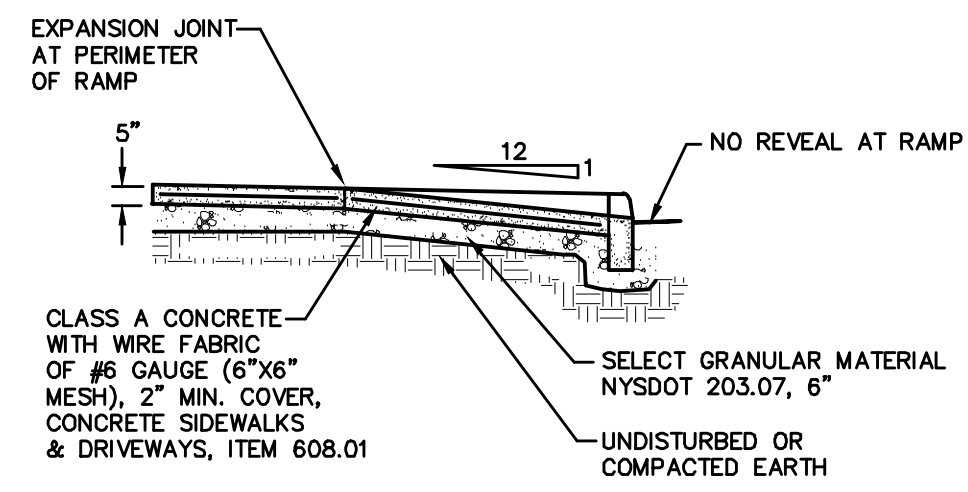
NO.	DATE	DESCRIPTION
1	3/15/16	ENGINEERS COMMENTS
2		
3	6/21/17	ENGINEERS COMMENTS
4	6/6/22	LAYOUT REVISION
5		
6	7/6/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
7	10/20/23	CONSULTANT COMMENTS

Thomas B. Olley, P.E.

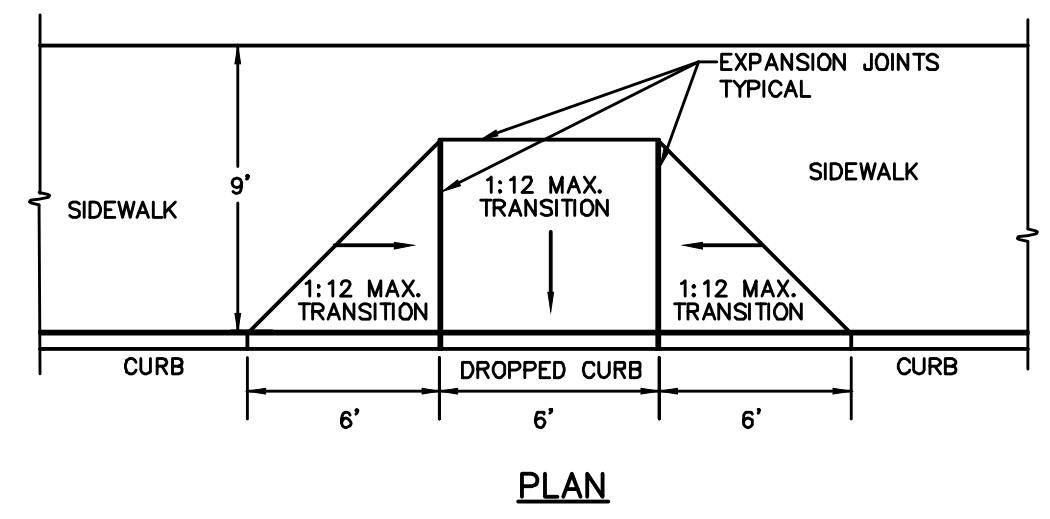
THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
FRANK AND FRANK
PALAZZO PIVZ
22 ORANGE AVENUE
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY

AS AN INDICATION OF THE DATE OF ANY ORIGINAL DESIGN OR CONSTRUCTION, THE DESIGN PROFESSIONAL SHALL BE CONSIDERED TO BE A GOOD WISE COPY.

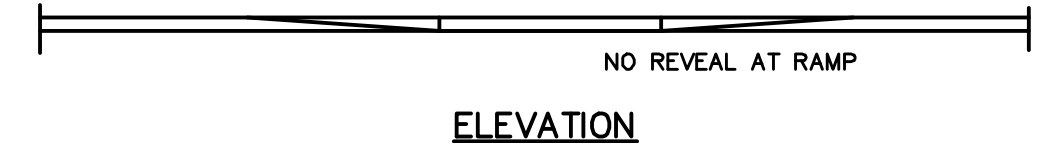
ROAD PROFILES
**GARDNER RIDGE
GARDNERTOWN ROAD**
TOWN OF NEWBURGH, ORANGE COUNTY, NY



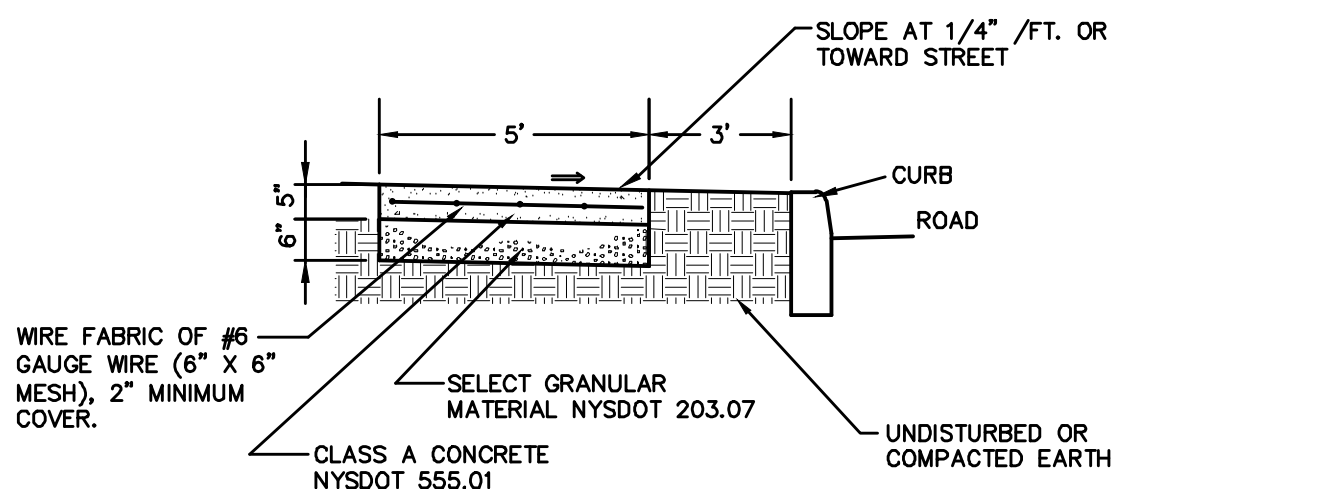
PEDESTRIAN RAMP - SECTION
NOT TO SCALE



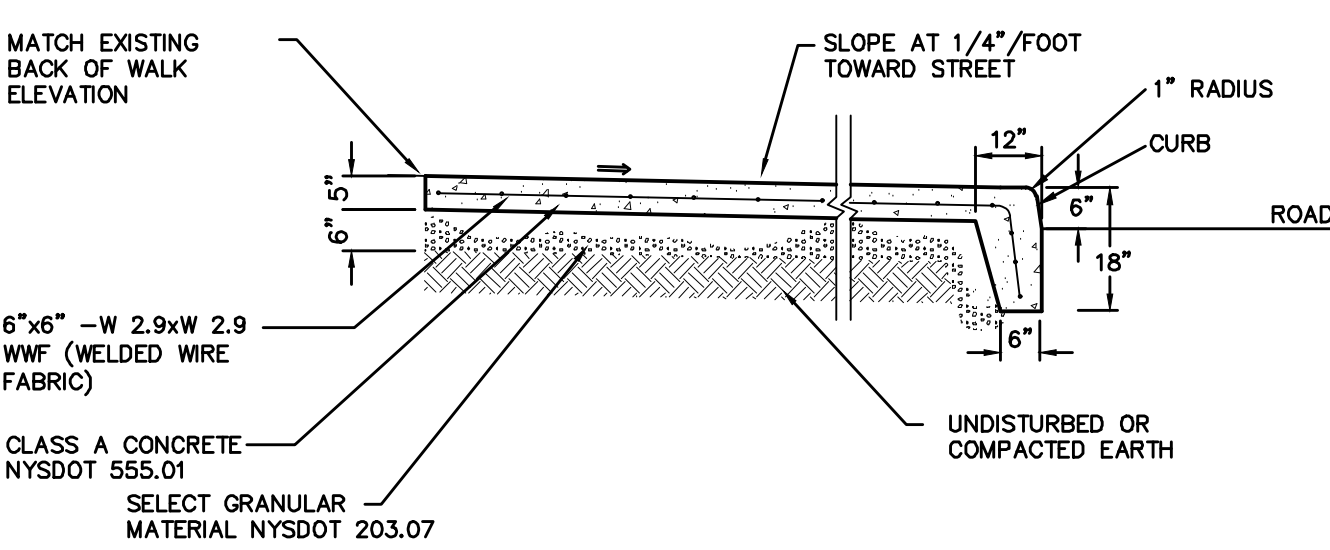
PLAN



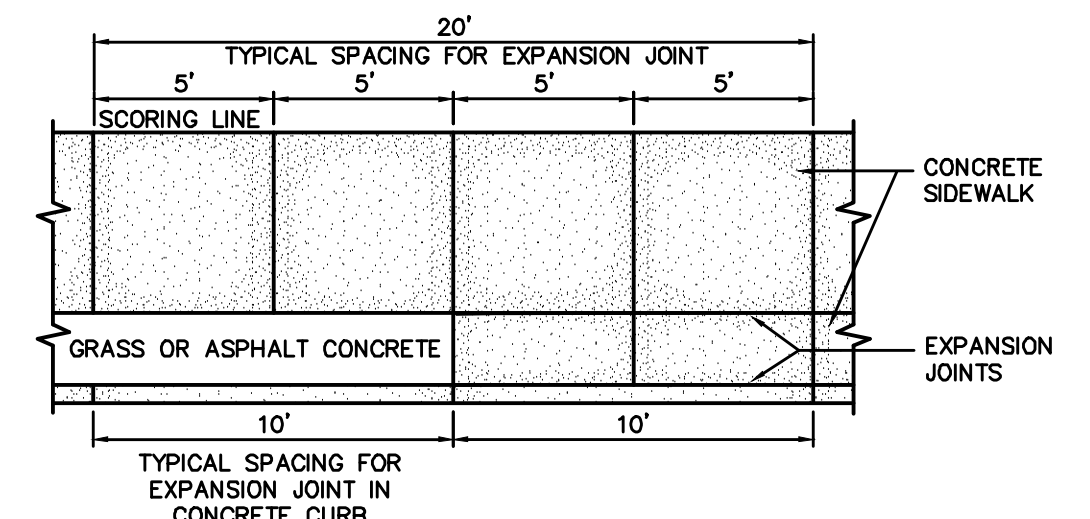
SIDEWALK RAMP
NOT TO SCALE



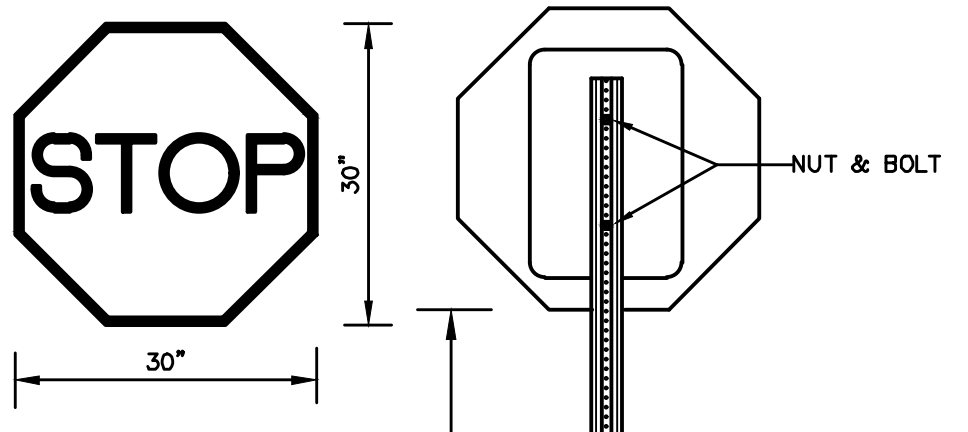
CONCRETE SIDEWALK
NOT TO SCALE



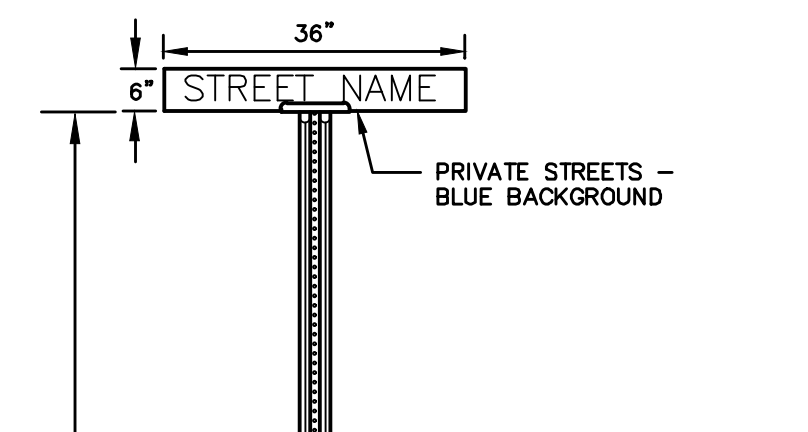
CONCRETE SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



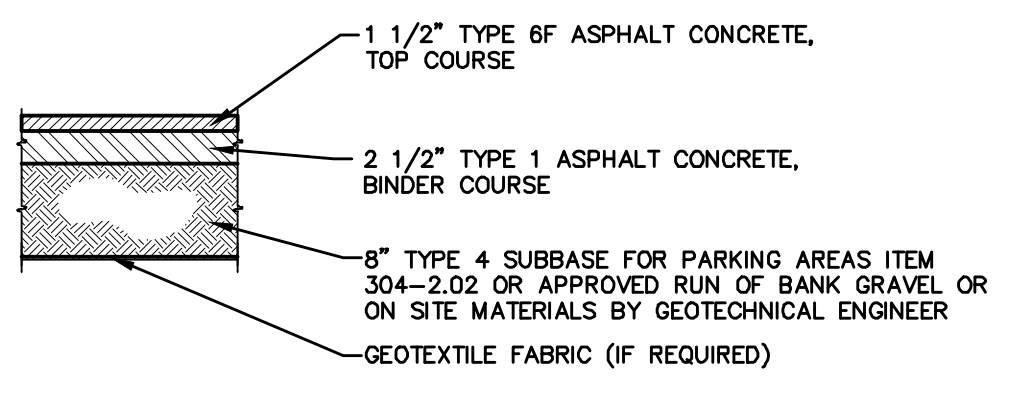
CONCRETE SIDEWALK AND CURB - PLAN OF SCORING AND EXPANSION JOINTS
NOT TO SCALE



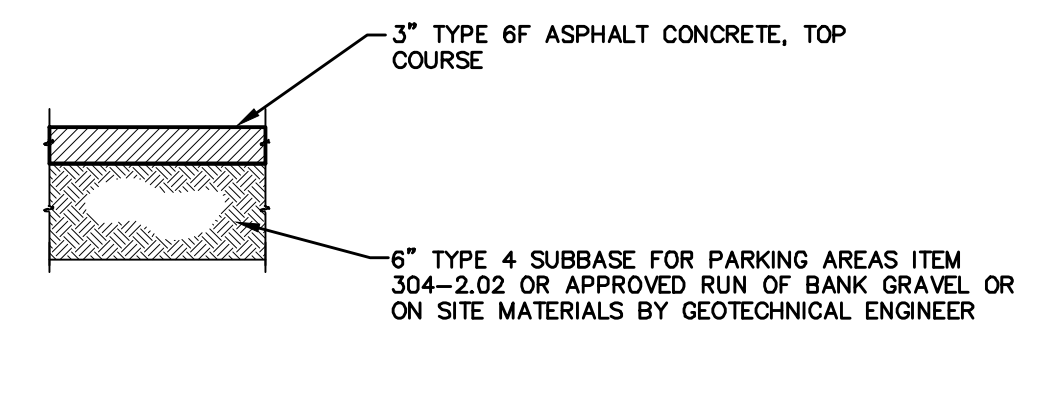
STOP SIGN INSTALLATION DETAIL
NOT TO SCALE



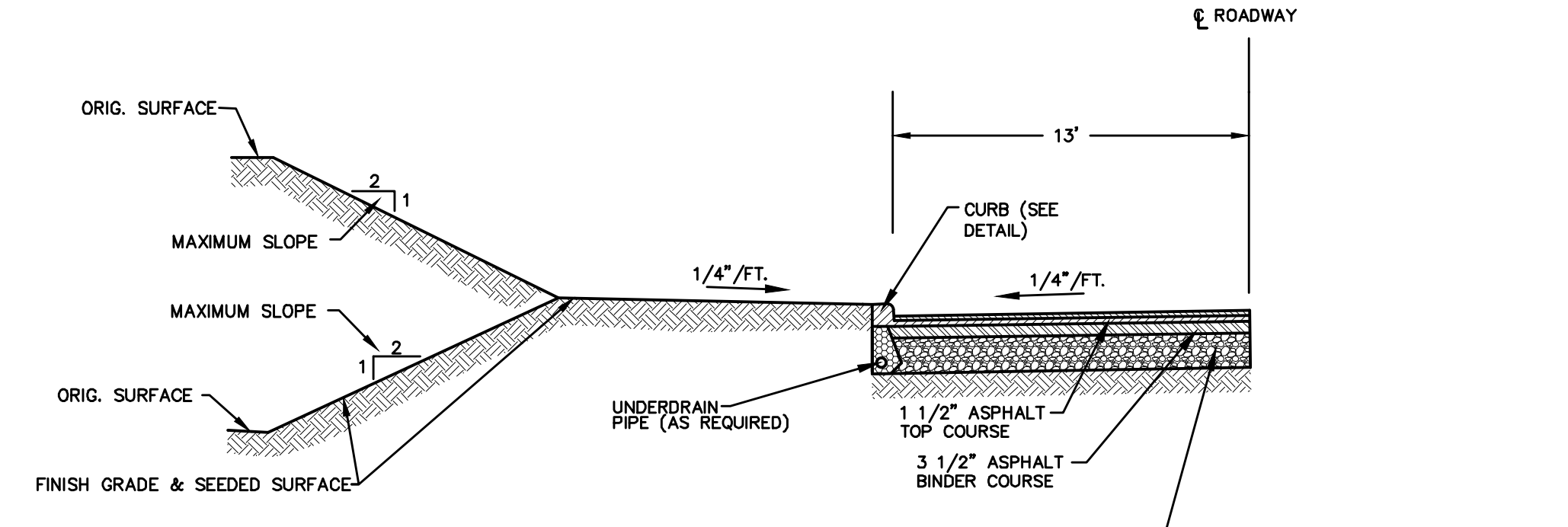
STREET SIGN INSTALLATION DETAIL
NOT TO SCALE



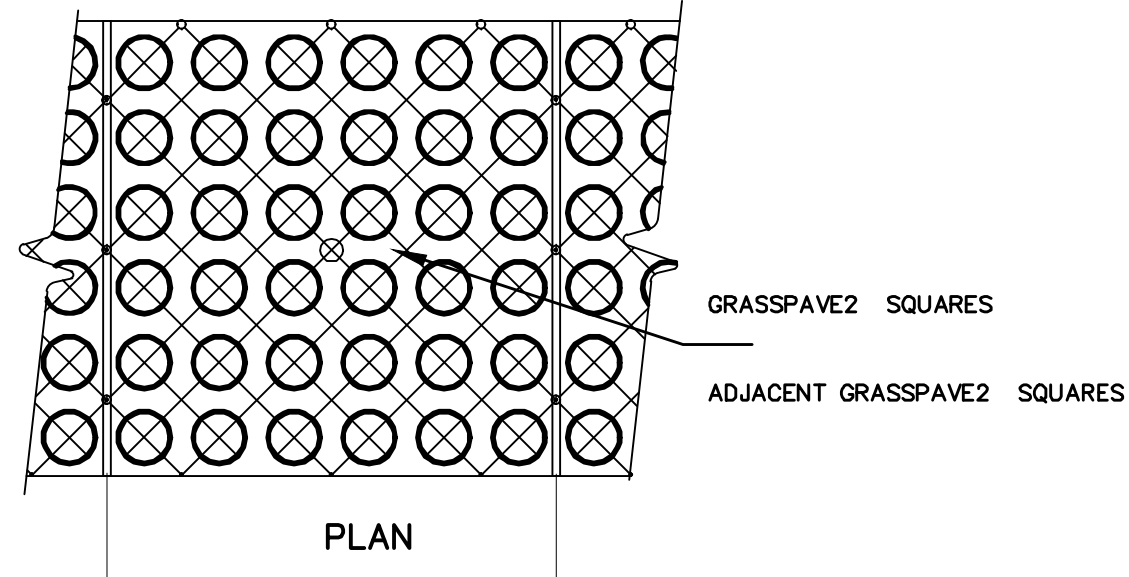
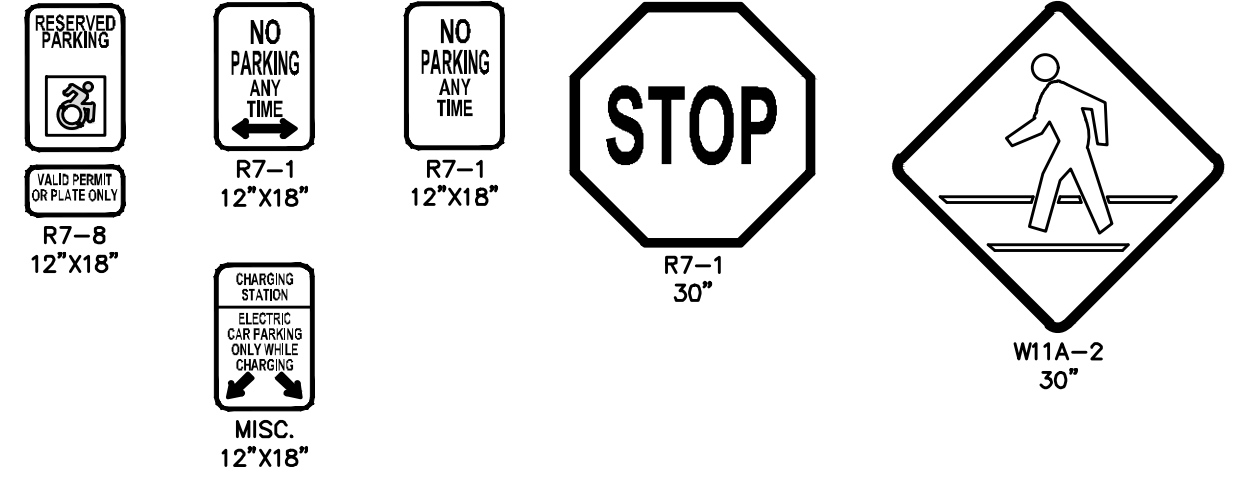
LIGHT DUTY PAVEMENT
NOT TO SCALE



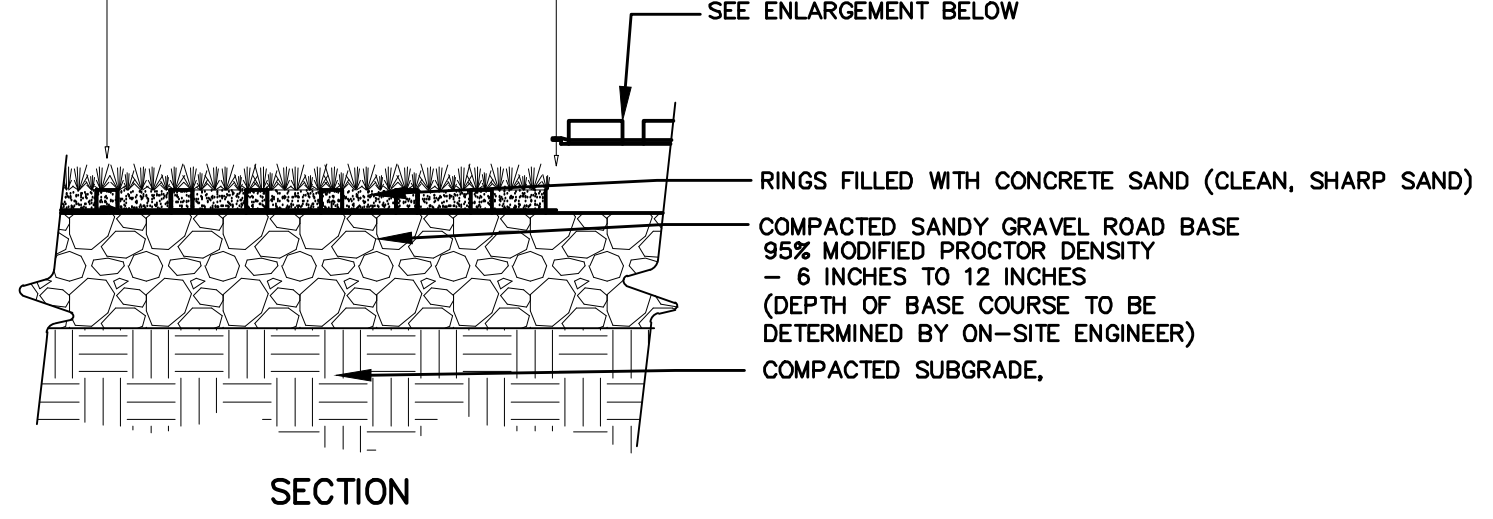
DRIVEWAY PAVEMENT
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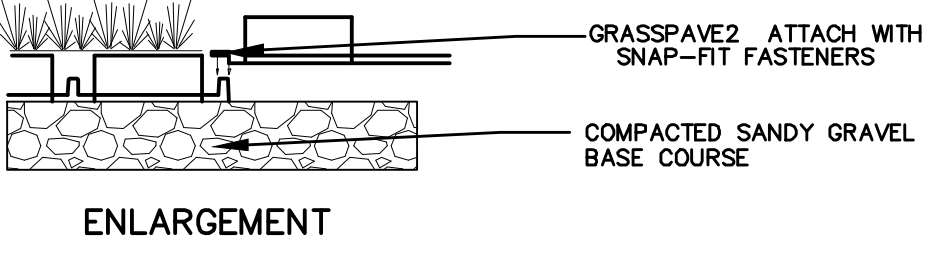
TYPICAL ROAD CROSS SECTION
NOT TO SCALE



PLAN

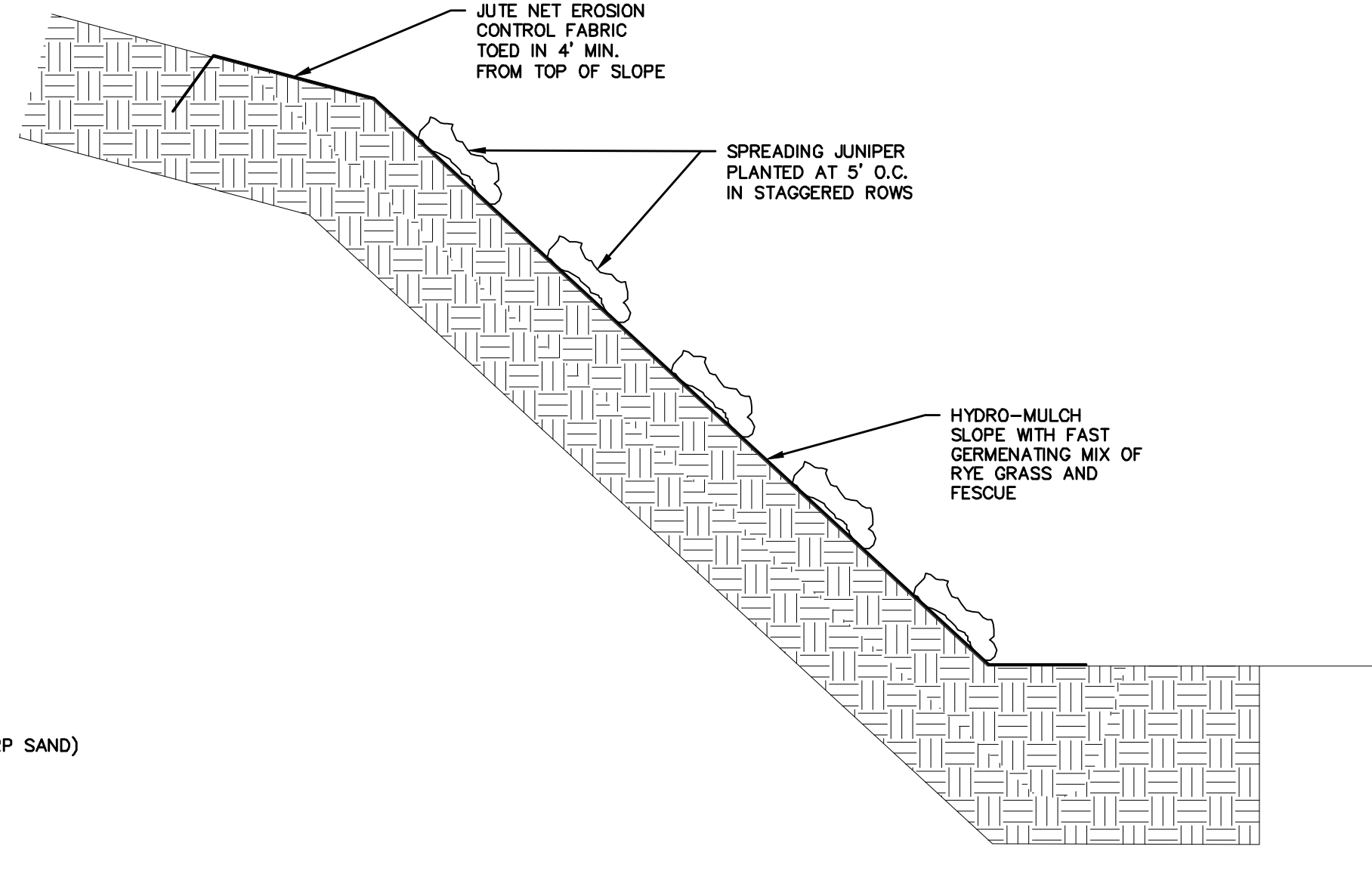


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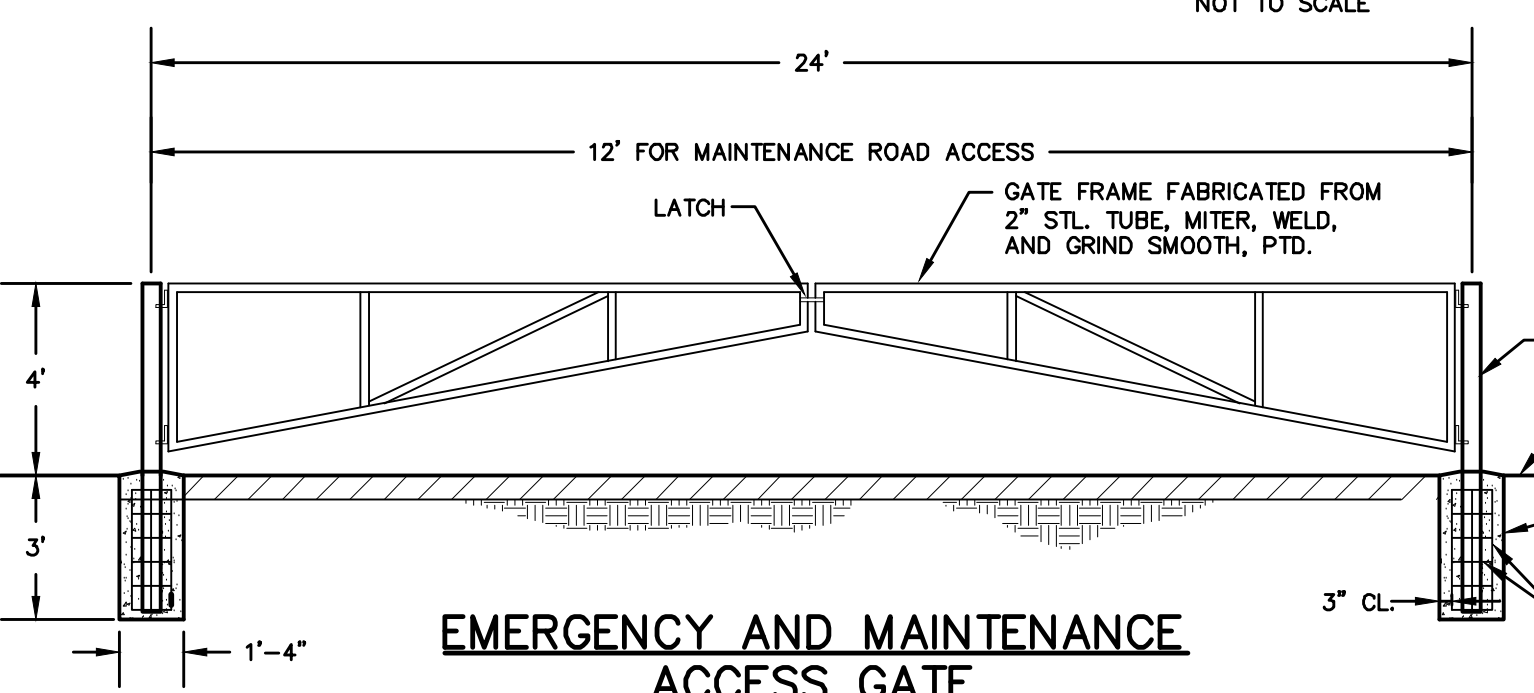


ENLARGEMENT

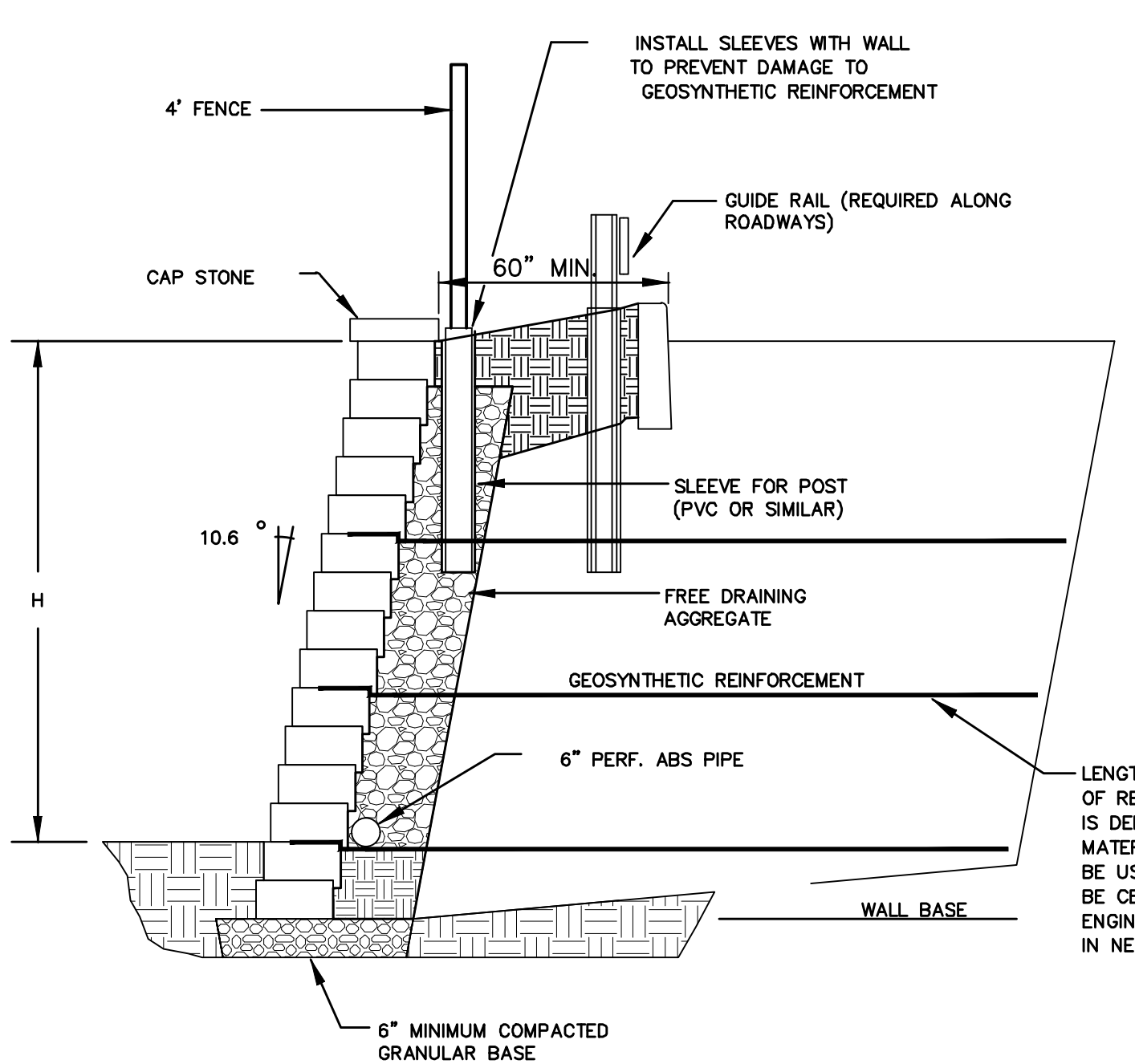
TYPICAL GRASSPAVE2 DETAIL
NOT TO SCALE



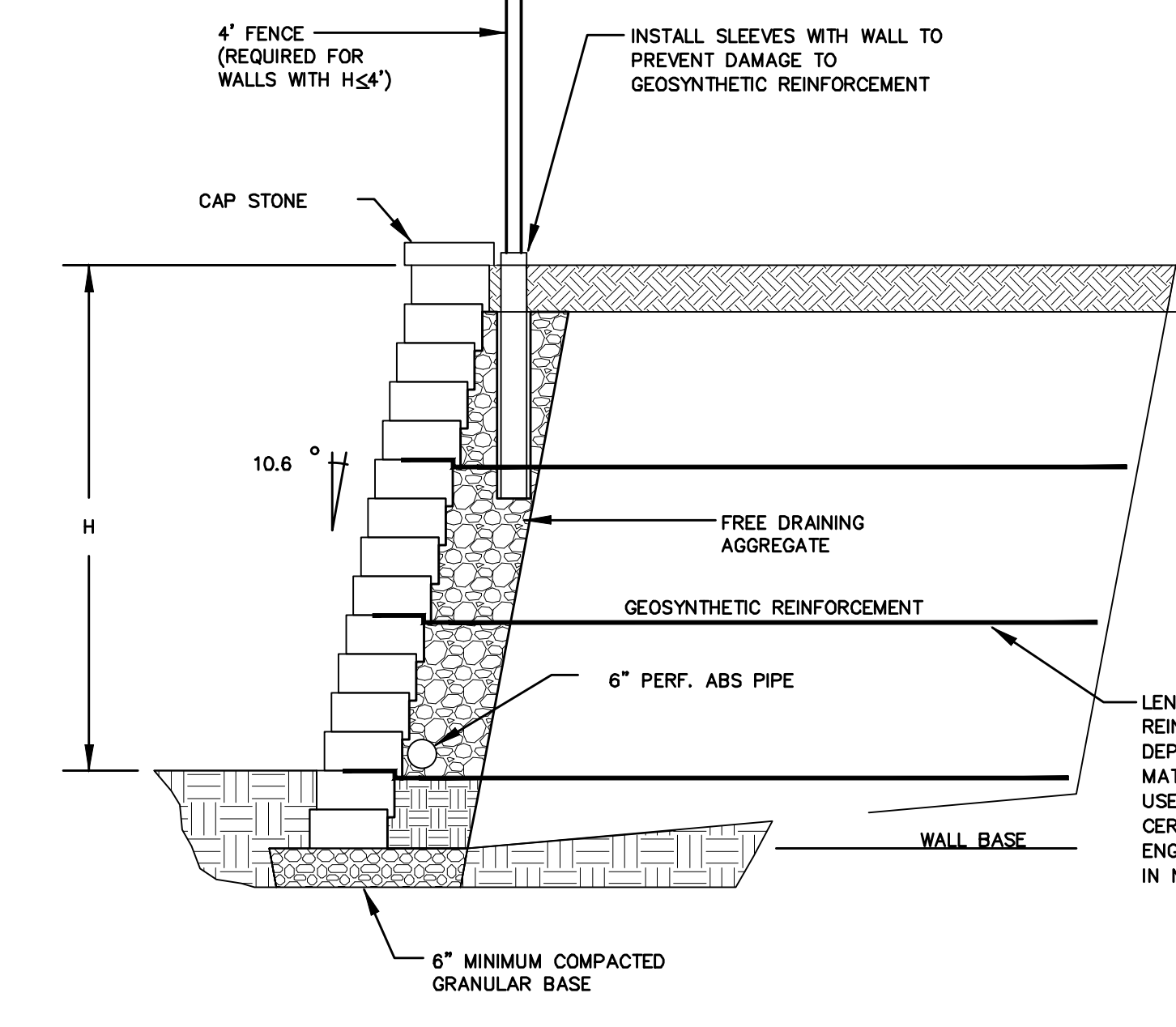
VEGETATION STABILIZED SLOPE
NOT TO SCALE



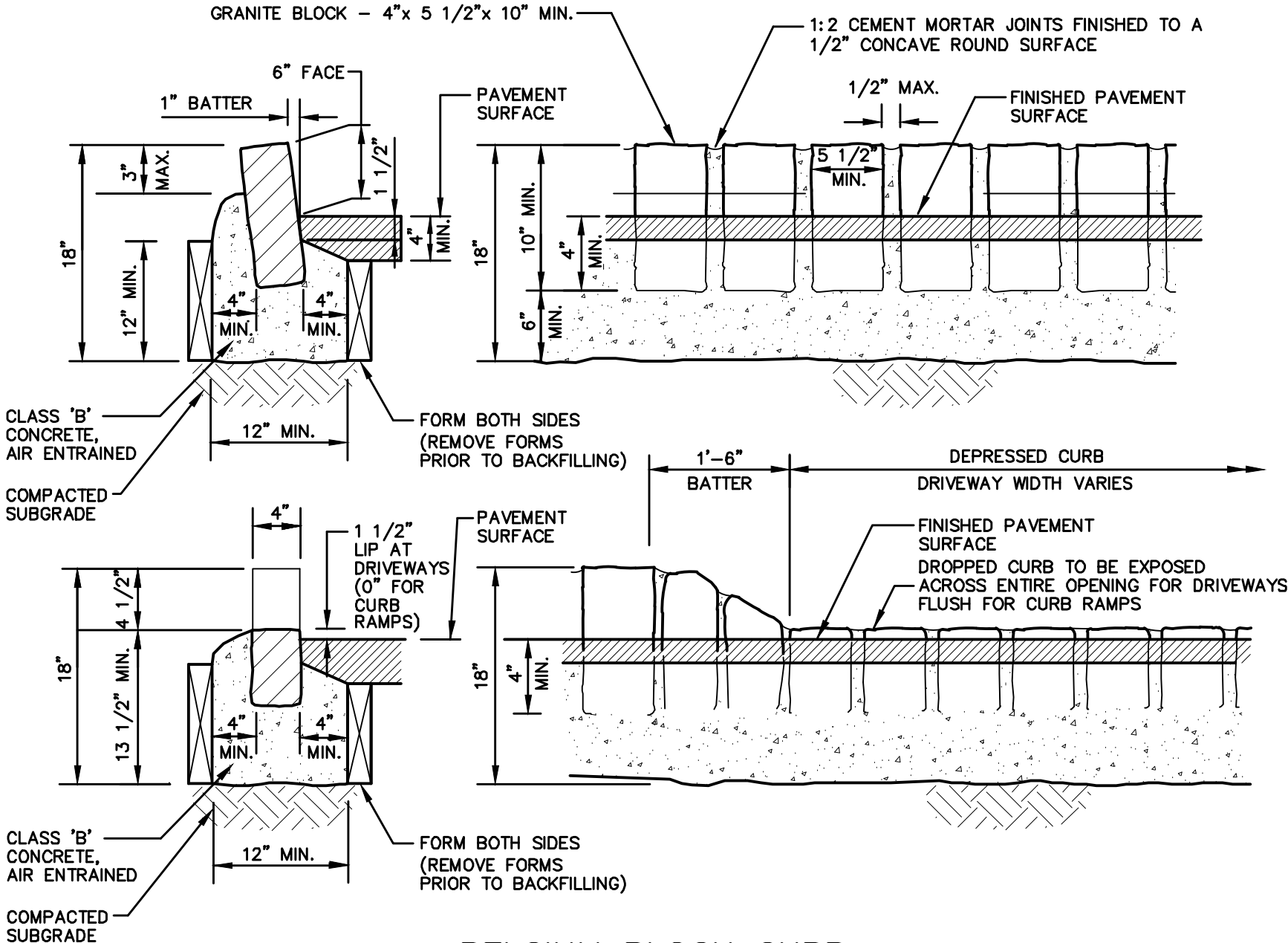
EMERGENCY AND MAINTENANCE ACCESS GATE
NOT TO SCALE



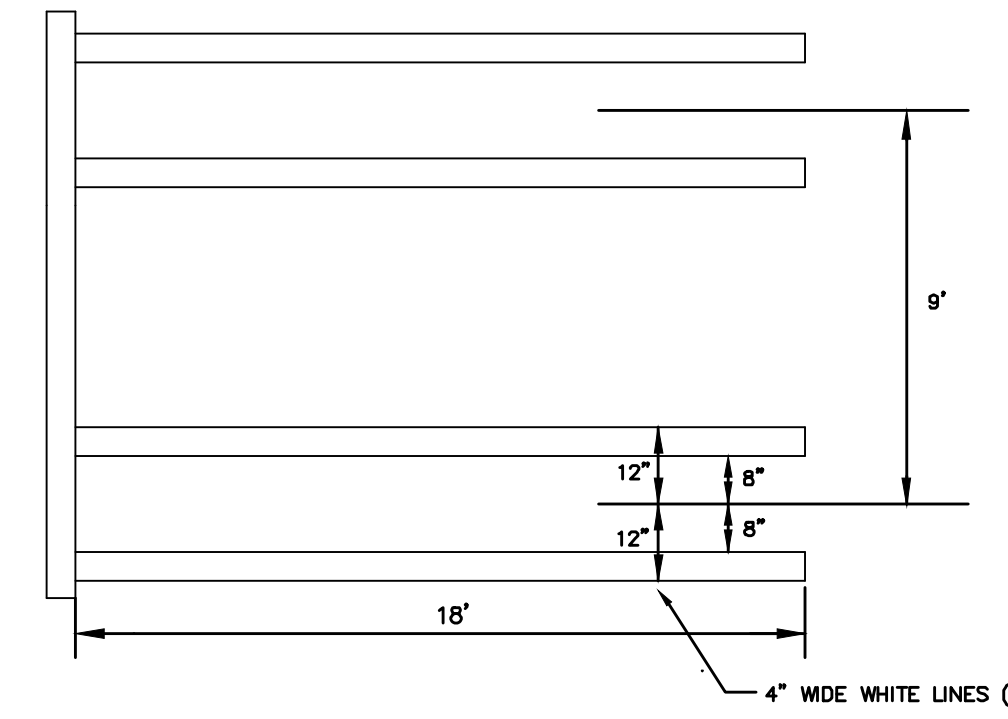
SEGMENTAL RETAINING WALL WITH GUIDE RAIL & FENCE
NOT TO SCALE



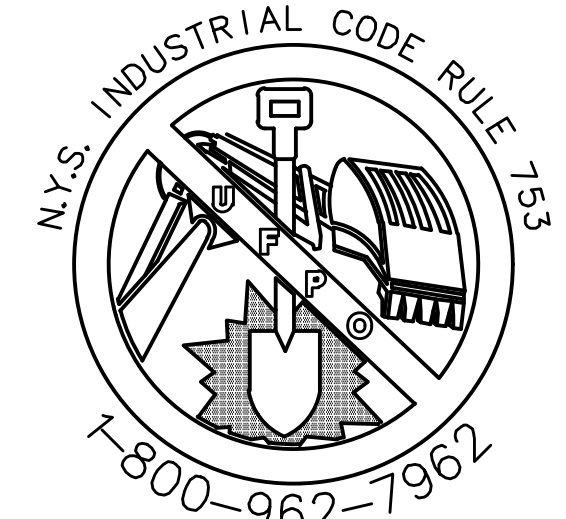
SEGMENTAL RETAINING WALL
NOT TO SCALE



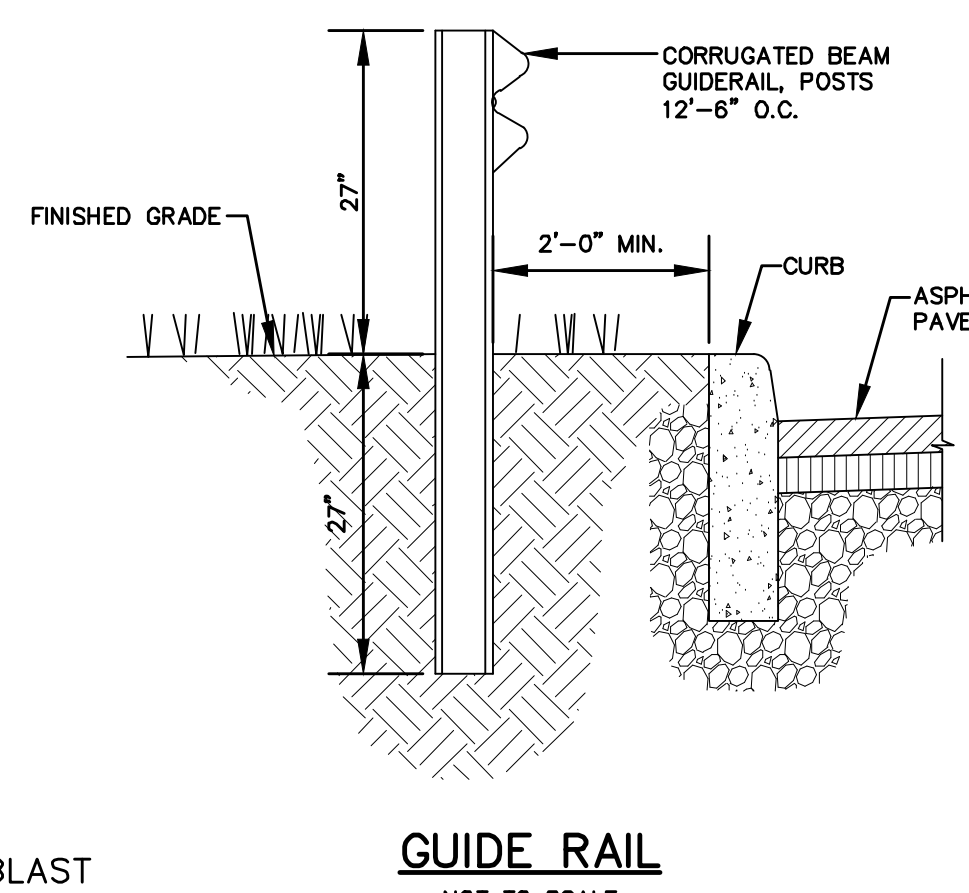
BELGIUM BLOCK CURB
NOT TO SCALE



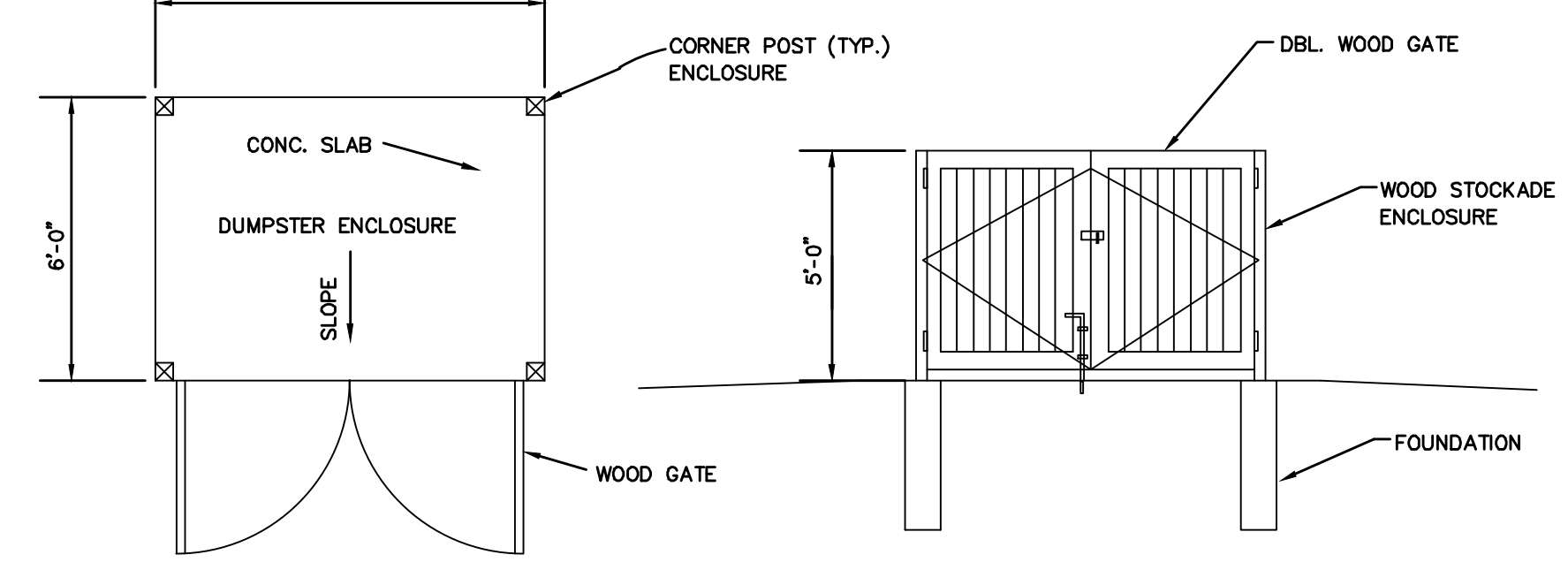
PARKING SPACE MARKING DETAIL
SCALE: NONE



CALL BEFORE YOU DIG, DRILL OR BLAST
NO LESS THAN TWO WORKING DAYS NOTICE
IT'S THE LAW!



GUIDE RAIL
NOT TO SCALE



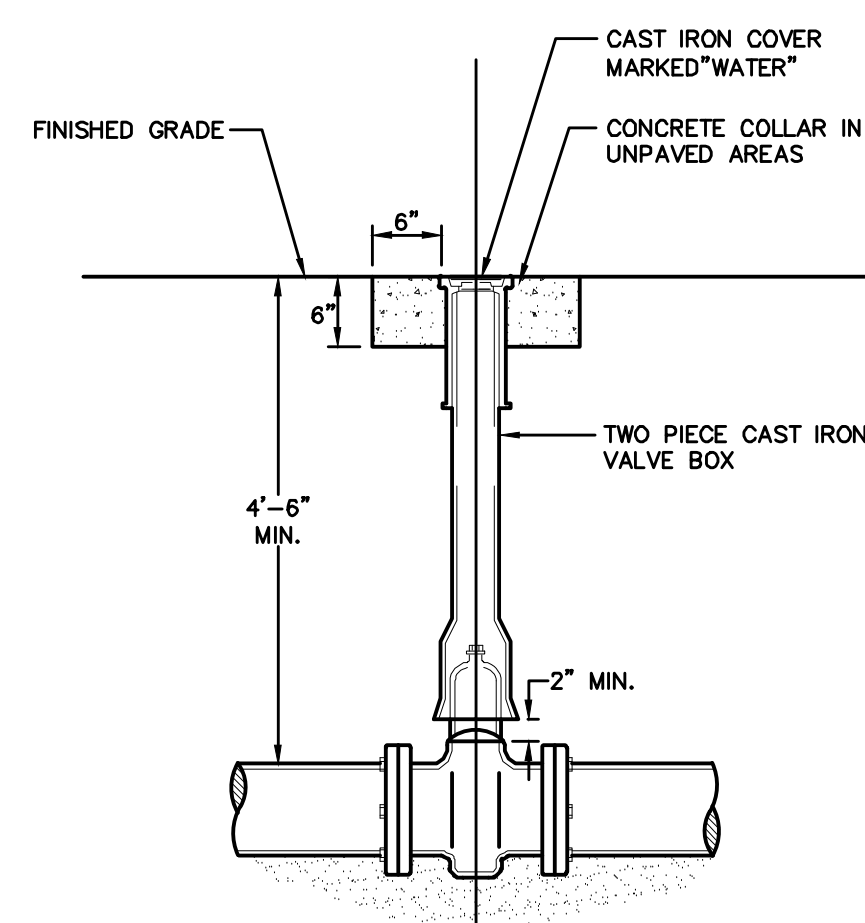
DETAIL OF DUMPSTER ENCLOSURE
NOT TO SCALE

NO.	DATE	DESCRIPTION
1	3/15/18	ENGINEERS COMMENTS
2	5/25/17	ENGINEERS COMMENTS
3	6/21/17	NO REVISIONS THIS SHEET
4	6/8/12	LAYOUT REVISIONS
5	7/9/13	EMERGENCY ACCESS AND DRAINAGE REVISIONS
6	7/9/13	REVISIONS
7	10/20/13	CONSULTANT COMMENTS
8	12/04/13	ADDED SIGN DETAILS

Thomas B. Olley, P.E.

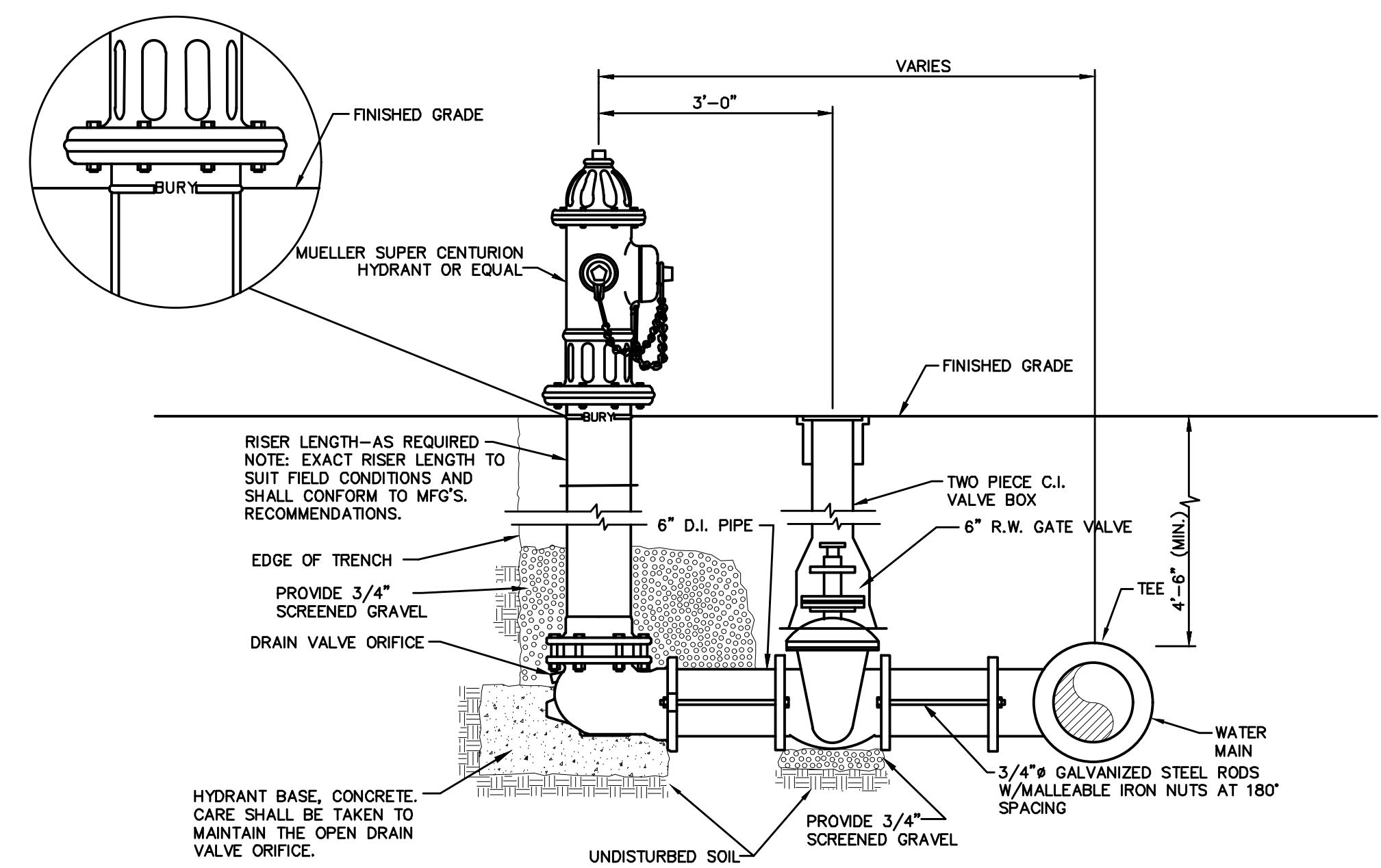
THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
22 ORANGE AVENUE
WALDEN, NY 12586
PHONE: (845) 778-8339
FAX: (845) 778-1017

SITE DETAILS
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY

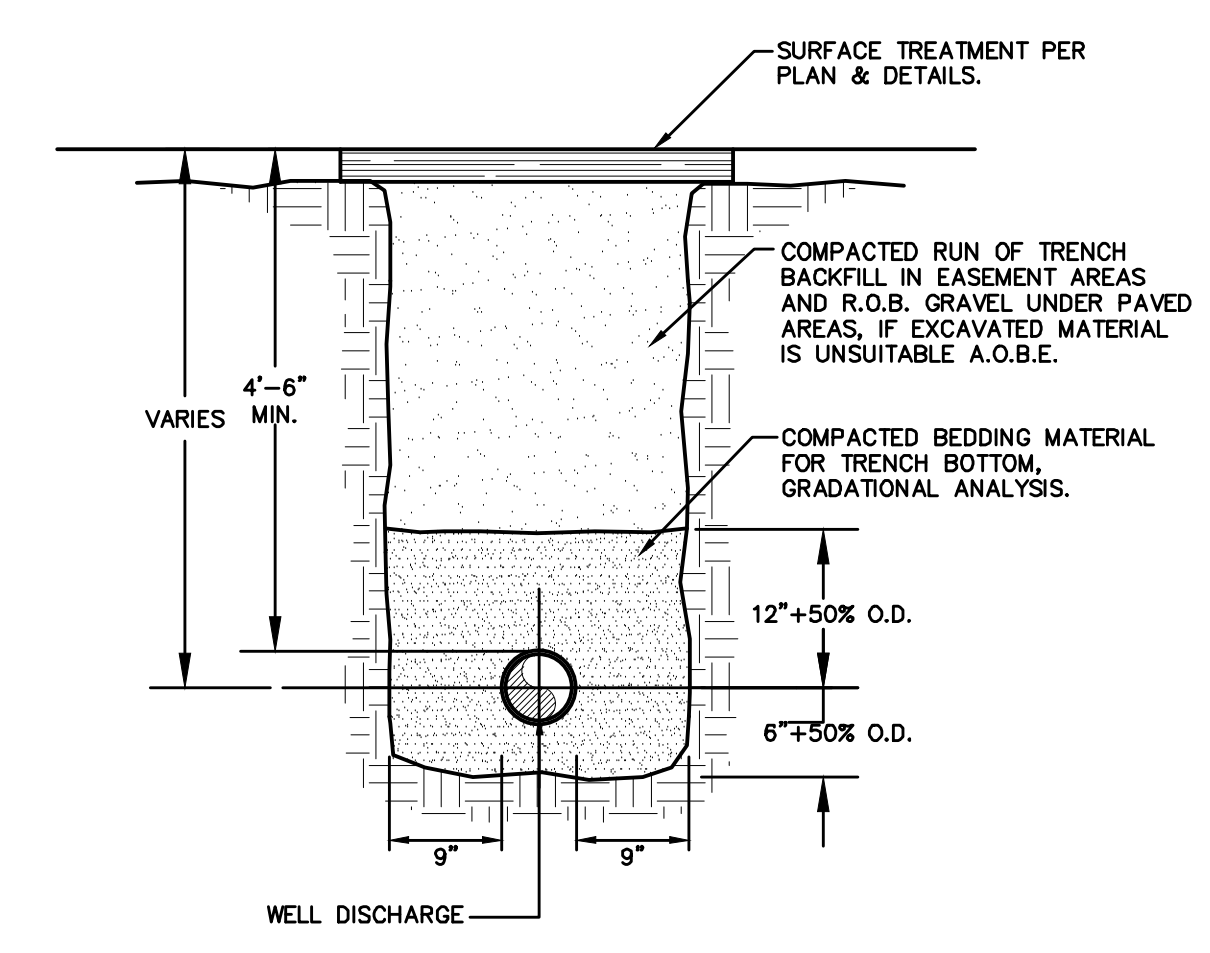


- NOTES:**
- NON-RISING STEM RESILIENT WEDGE GATE VALVE, OPERATING DIRECTION AND MODEL TO CONFORM WITH WATER DEPARTMENT STANDARDS.
 - IF VALVE IS TO BE RODDED, PROVIDE VALVE WITH RODDING FLANGES OR EYEBOLTS. (2) 3/4" GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180" SPACING SHALL BE USED FOR RODDING VALVES.

GATE VALVE DETAIL
NOT TO SCALE

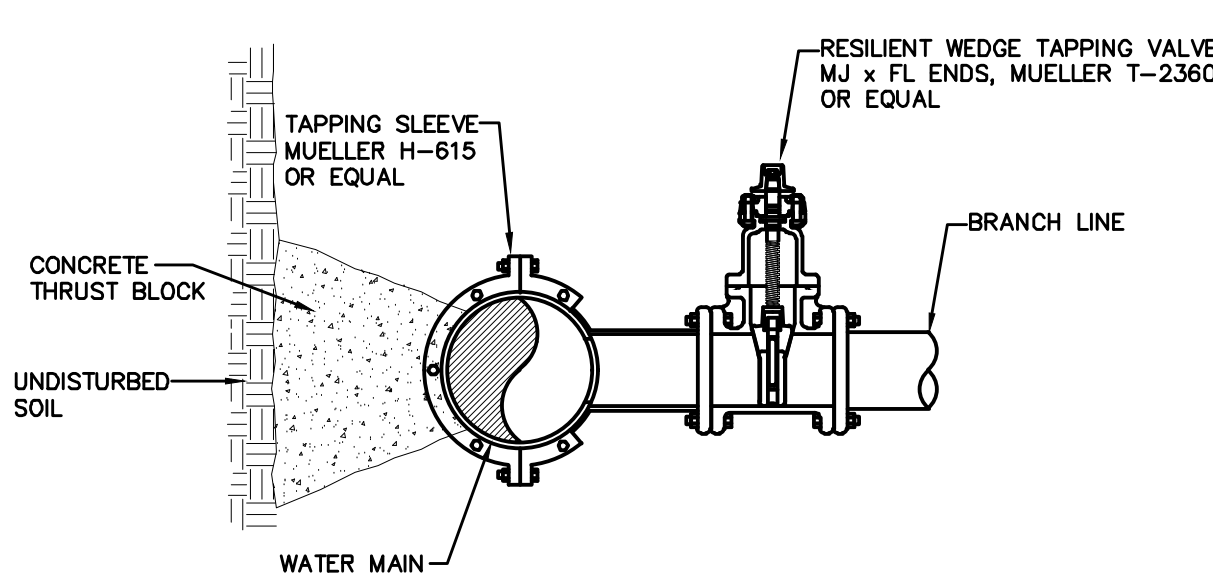


HYDRANT DETAIL
NOT TO SCALE

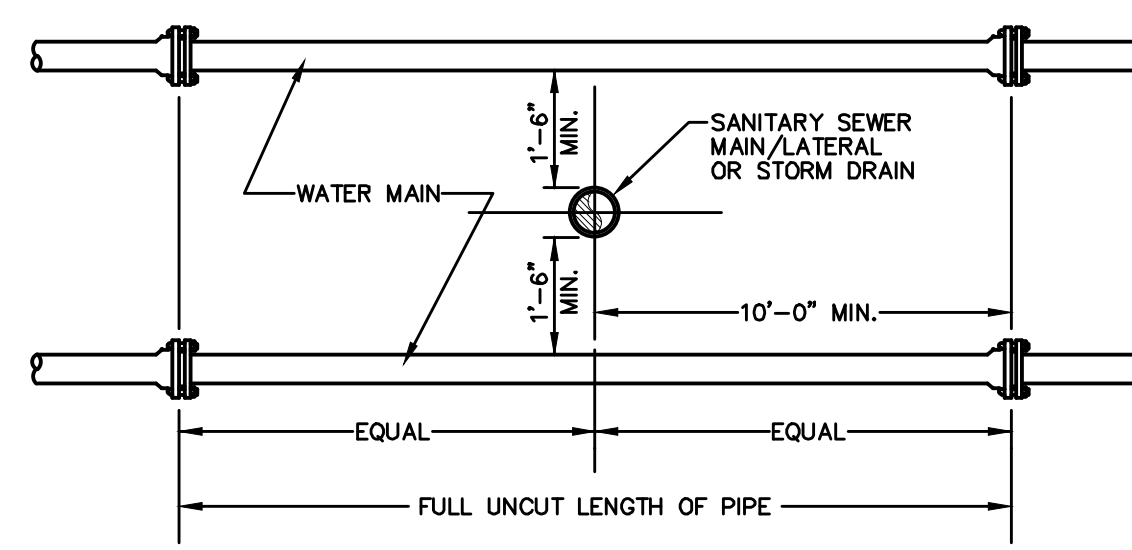


- NOTES:**
- PIPE BEDDING SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND GRADED FROM FINE TO COARSE PARTICLES, OR A GRADED MIXTURE OF CRUSHED STONE OR CRUSHED GRAVEL BEDDING MATERIAL OR STONE GRADATIONS USED SHALL BE APPROVED BY THE ENGINEER.
 - INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND WATER SERVICE PIPING. LOCATE TAPE 12\"/>

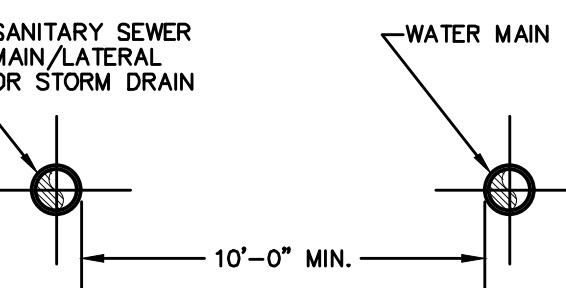
WATER PIPE TRENCH DETAIL
NOT TO SCALE



WET TAP DETAIL
NOT TO SCALE



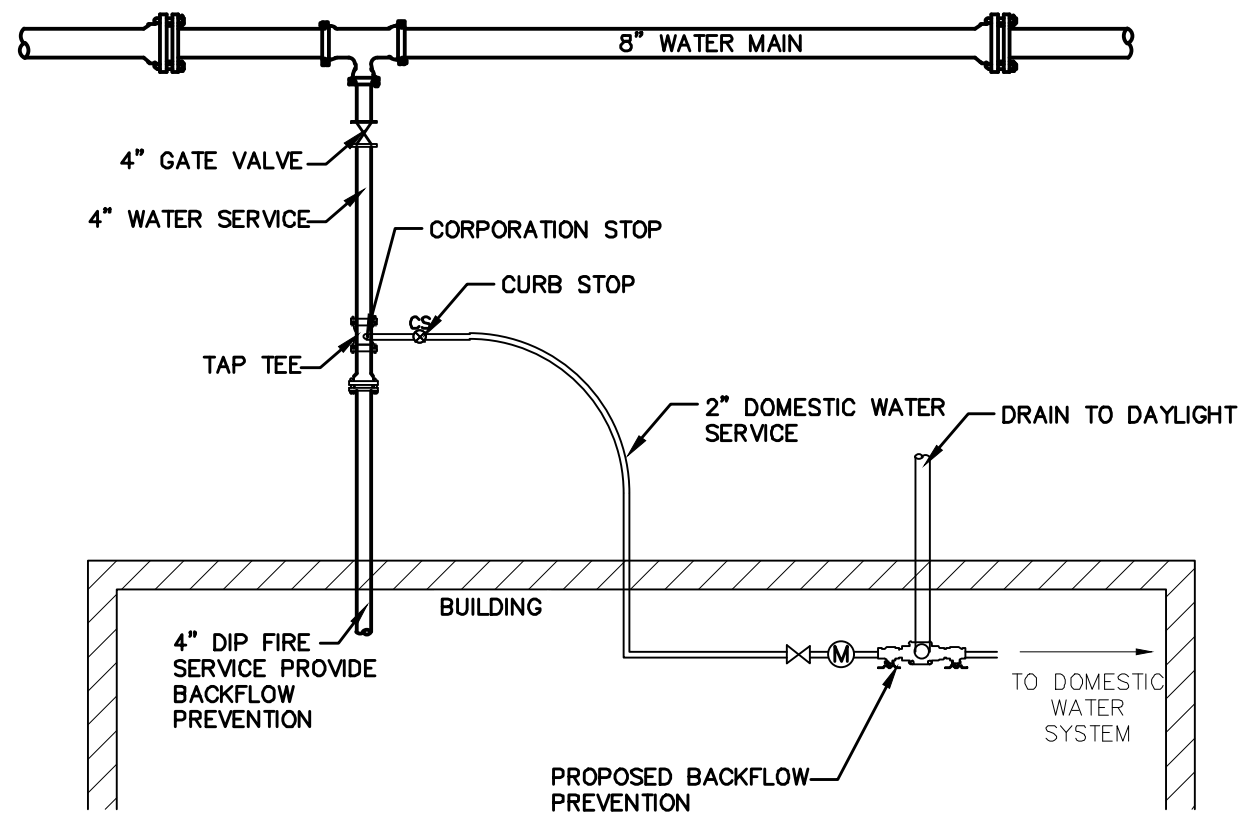
VERTICAL SEPARATION



HORIZONTAL SEPARATION

- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DEPARTMENT OF HEALTH.

SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL
NOT TO SCALE



- NOTE:**
- SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND BUILDING
 - CORPORATION STOP SHALL BE MANUFACTURED BY MUELLER CO. OR EQUAL.
 - BACKFLOW PREVENTION IS NEEDED ON WATER SERVICES CONNECTIONS AND SHOULD BE APPROVED WITH THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH WATER DEPARTMENT.

WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

PIPE SIZE (INCHES)	FITTING				
	90°	45°	22 1/2°	TEE	IN-LINE VALVE
12"	2	1	1	4	4
10"	2	1	1	4	4
8"	2	1	1	3	3
6"	1	1	1	2	2

- NOTE:**
- LENGTH OF PIPE TO BE RESTRAINED IS LENGTH FOR EACH SIDE OF THE FITTING, I.E., FOR A 90° BEND A 90° BEND SHALL BE RESTRAINED 2 LENGTHS ON EACH SIDE OF THE BEND.
 - JOINTS ARE TO BE RESTRAINED TYPE USING RESTRAINED GLANDS OR TIE RODS, IN ACCORDANCE WITH THE LENGTHS SHOWN IN THE TABLE ABOVE.
 - DEAD ENDS MUST BE FULLY BACKFILLED BEFORE PRESSURE TESTING AND MUST HAVE BLOCKING (CONCRETE BLOCK) TO UNDISTURBED TRENCH WALL.
 - THIS TABLE IS FOR COMPACTED R.O.B. GRAVEL PIPE BEDDING BELOW THE PIPE TO ONE FOOT ABOVE THE PIPE (AWWA TYPE 4 OR 5 LAYING CONDITIONS).

TOWN OF NEWBURGH WATER SYSTEM NOTES

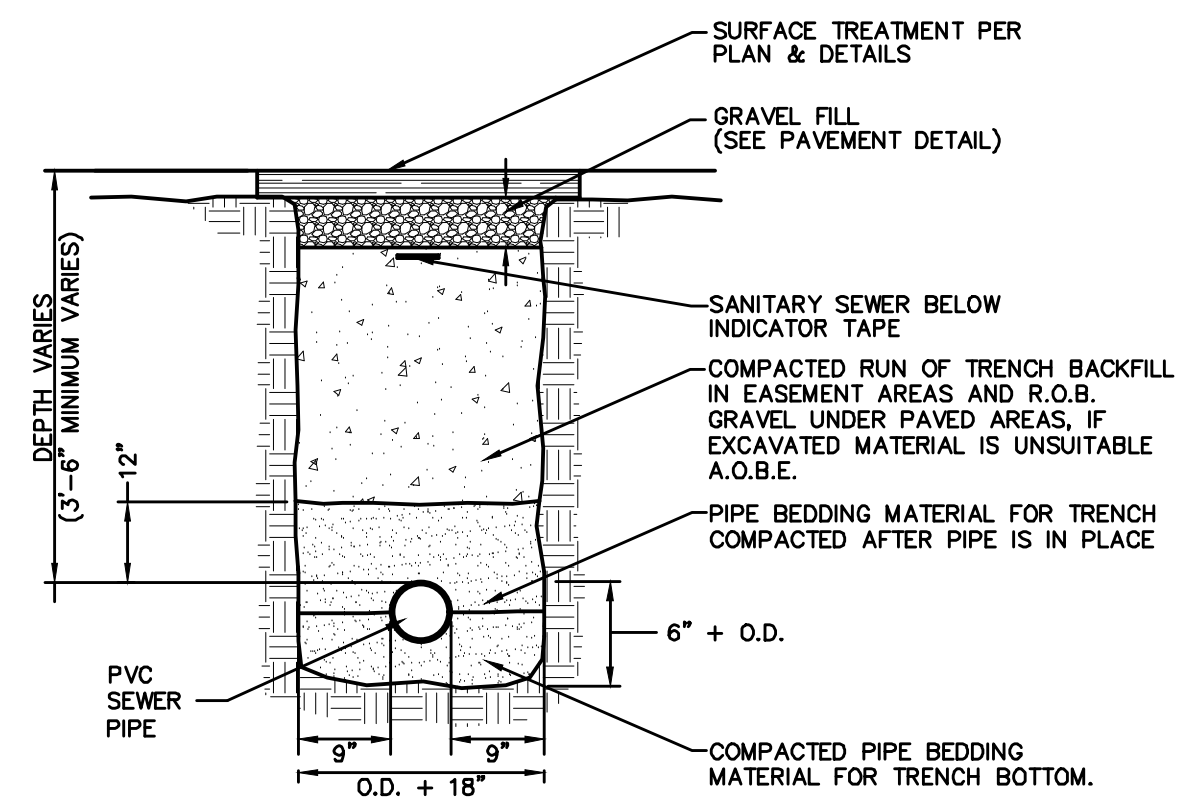
- *CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C101/A21.10-87 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-84 FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 3/4 AND 1 INCH, MUELLER H-15000 OR B-25000 FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2 FOR 3/4 AND 1 INCH AND MUELLER B-25004 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10312 FOR 3/4 AND 1 INCH AND MUELLER H-10310 FOR 1 1/2 AND 2 INCH SIZES.
- HYDRANTS SHALL BE CLOW-EDDY F 2640 MEETING THE FOLLOWING REQUIREMENTS:
A.) ONE 1/2 INCH PUMPER NOZZLES;
B.) TWO 2-1/2 INCH HOSE NOZZLES;
C.) NOZZLE THREADS SHALL BE NST;
D.) OPEN LEFT (COUNTER-CLOCKWISE);
E.) 6 INCH INLET WITH 5-1/4 INCH MAIN VALVE;
F.) PAINTED EQUIPMENT YELLOW; AND
G.) 1-1/2 INCH PENTAGON OPERATING NUTS.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE FINAL LAYOUT OF PROPOSED WATER AND/OR SEWER CONNECTIONS, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

NO.	DATE	DESCRIPTION
1	3/15/16	ENGINEERS COMMENTS
2	5/25/17	ENGINEERS COMMENTS
3	6/21/17	ENGINEERS COMMENTS
4	6/2/22	LAYOUT REVISIONS
5	6/2/22	COMMENTS
6	7/6/23	EMERGENCY ACCESS AND DRAINAGE REVISIONS
7	10/20/23	CONSULTANT COMMENTS

Thomas B. Olley, P.E.

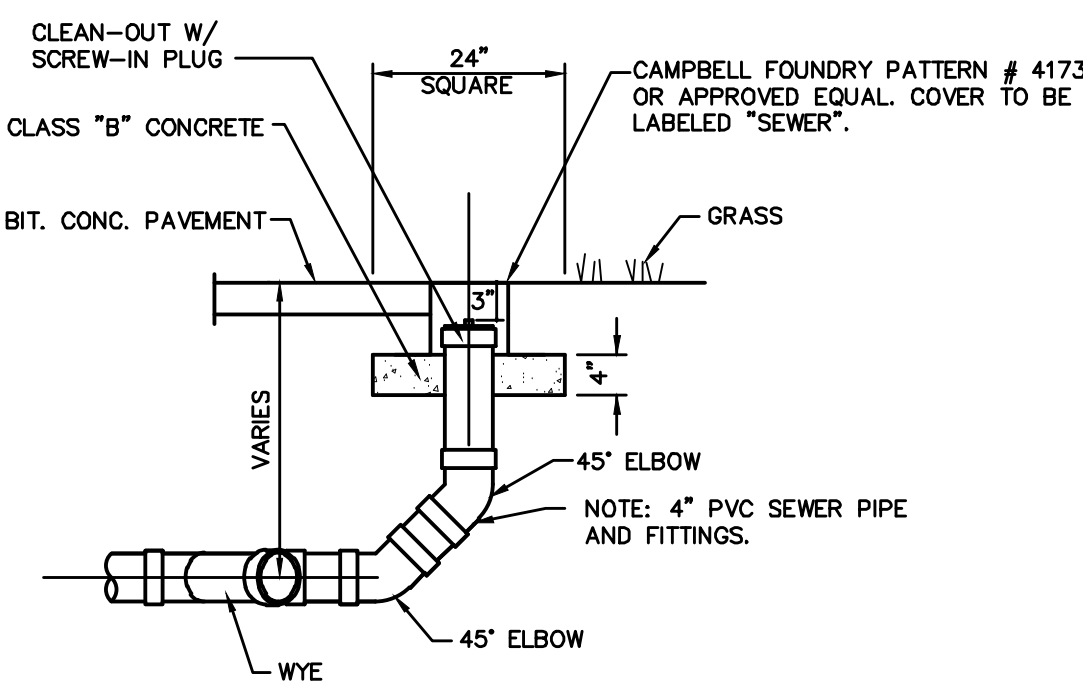
THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
ORANGE AVENUE
WALDEN NY 12586
PHONE (845) 778-8338
FAX (845) 778-8337

WATER DETAILS
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY

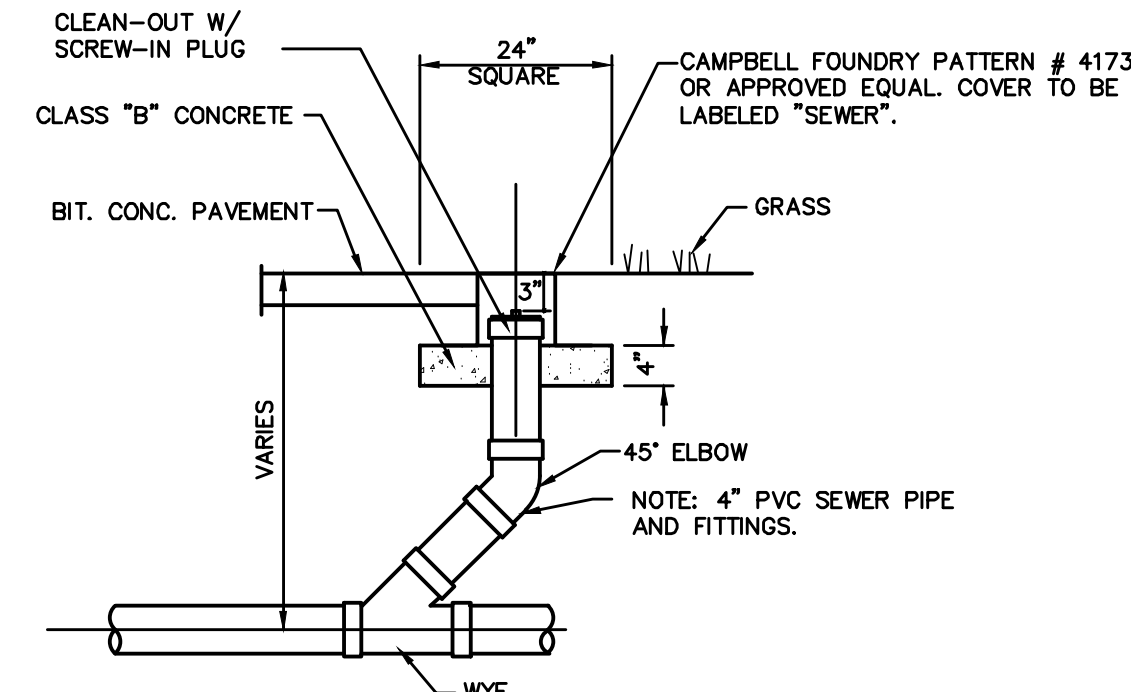


- NOTES:**
- PIPE BEDDING MATERIAL SHALL BE COMPOSED OF CRUSHED STONE OR GRAVEL FREE OF SOFT NONDURABLE PARTICLES, ORGANIC MATERIALS AND THIN OR ELONGATED PARTICLES WITH THE FOLLOWING GRADATION REQUIREMENTS:
- | SIEVE DESIGNATION | % PASSING |
|-------------------|-----------|
| 2" | 100 |
| 1" | 95 - 100 |
| 1/2" | 0 - 15 |
| No. 40 | 0 - 5 |
- BEDDING MATERIAL SHALL BE STOCKPILED.
 - INSTALL CONTINUOUS PLASTIC UNDERGROUND WARNING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND SANITARY SERVICE PIPING. LOCATE 12 INCHES BELOW FINISHED GRADE, DIRECTLY OVER PIPING. IN PAVEMENT AREAS PLACE TAPE UNDER FOUNDATION COURSE.

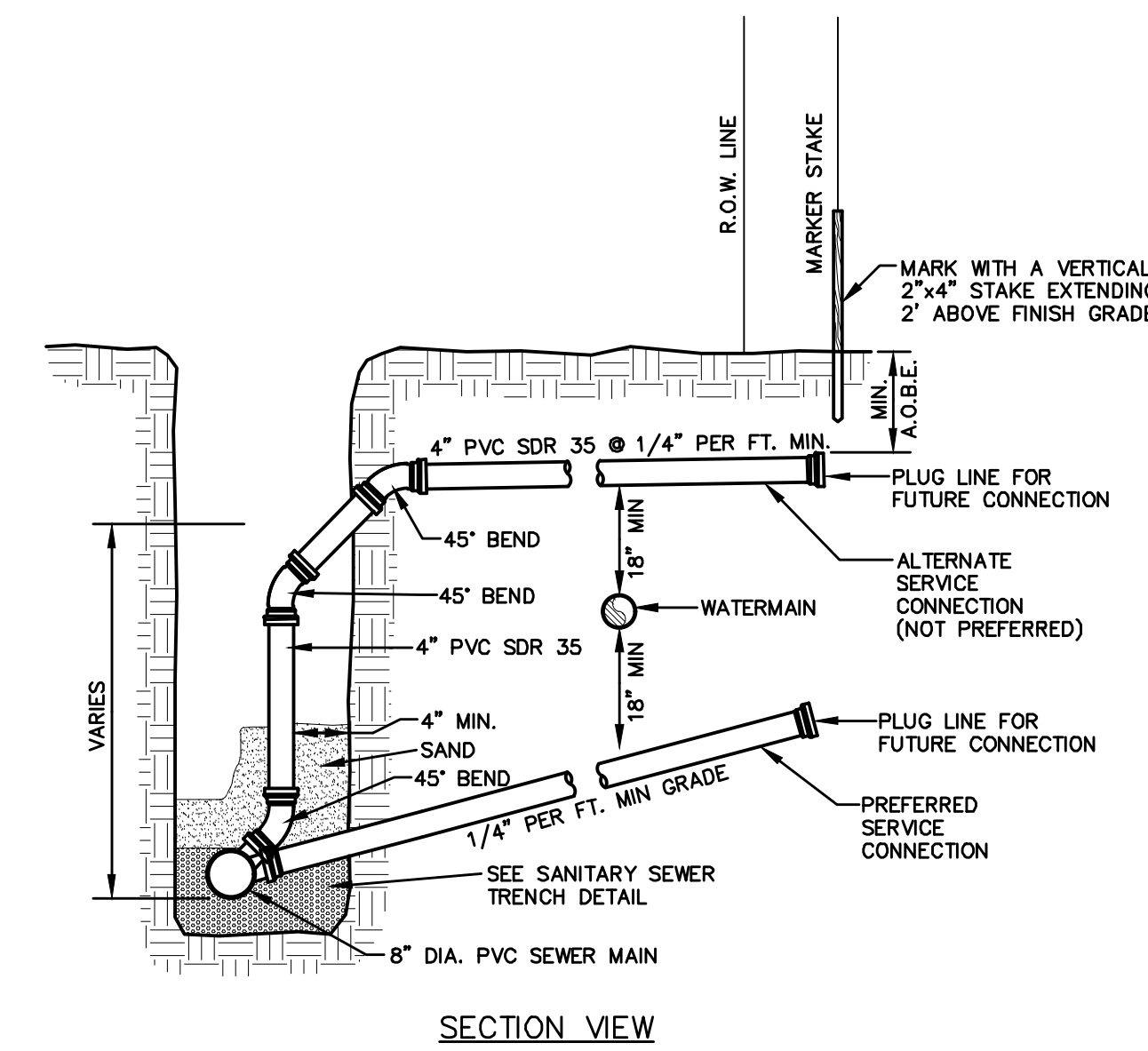
SEWER PIPE TRENCH DETAIL
NOT TO SCALE



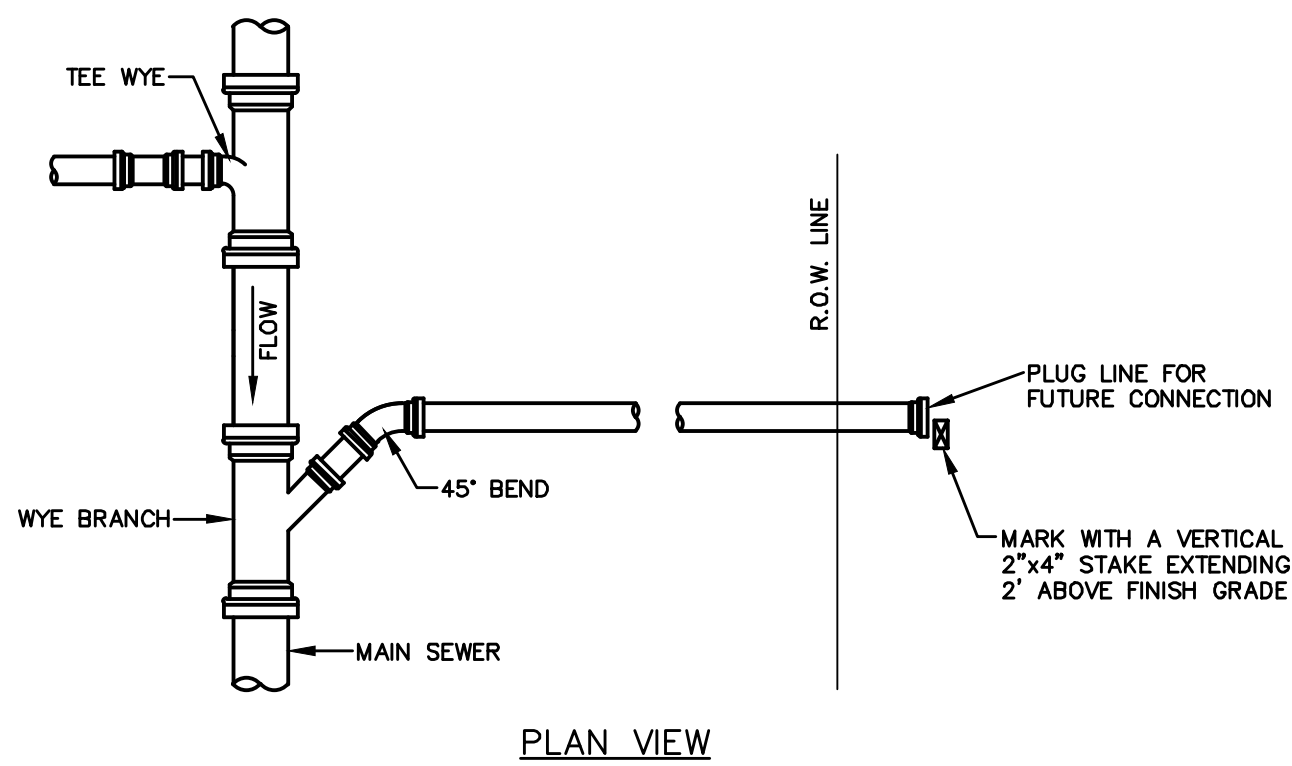
SANITARY SEWER CLEANOUT AT BEND
NOT TO SCALE



SANITARY SEWER CLEANOUT INLINE
NOT TO SCALE



SECTION VIEW



PLAN VIEW

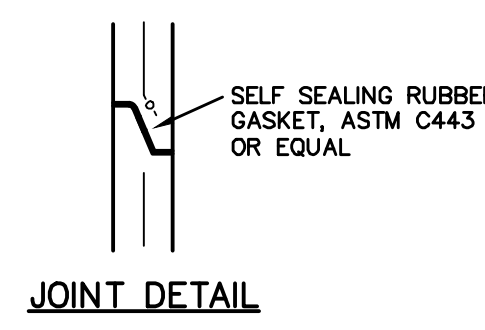
SEWER LATERAL CONNECTION DETAIL
NOT TO SCALE

SANITARY SEWER NOTES:

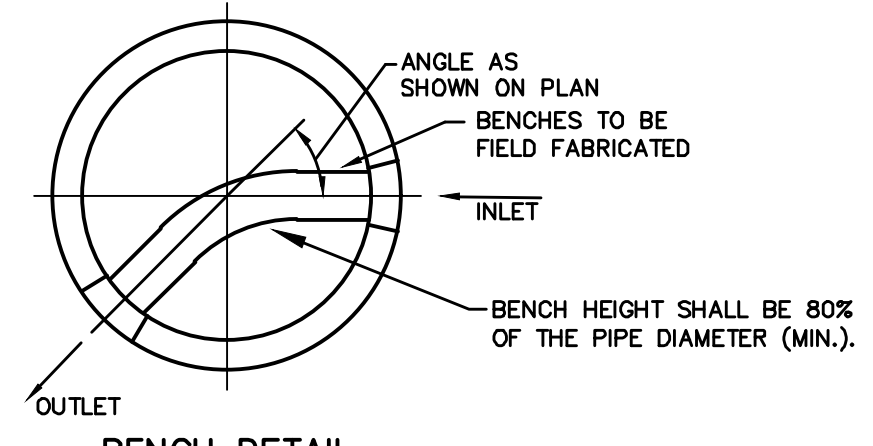
- ALL SANITARY GRAVITY PIPE SHALL BE SDR 35 PVC UNLESS OTHERWISE NOTED. ALL SANITARY SEWER MAINS AND SERVICE LATERALS SHALL BE SEPARATED FROM THE WATER MAINS AND WATER SERVICE CONNECTIONS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY IF HORIZONTAL SEPARATION IS NOT POSSIBLE.
- ALL NEW SANITARY SEWER LINES SHALL PASS A LOW PRESSURE AIR TEST AND ALL NEW SANITARY SEWER MANHOLES SHALL PASS HYDROSTATIC TESTS OR VACUUM TESTING.
- ALL NEW SANITARY SEWER MANHOLE COVERS SHALL BE 24" DIAMETER CAST IRON AND SHALL READ "SANITARY SEWER".
- ALL SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE MUNICIPAL SEWER SUPERINTENDENT PRIOR TO BACKFILLING.
- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
 - "NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND ULSTER COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES AND STANDARDS."
 - "ORANGE COUNTY DEPARTMENT OF HEALTH SANITARY CODE."
 - "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, 2014", GLUMBR.
 - "DESIGN STANDARDS FOR WASTEWATER TREATMENT WORKS, 2014", NYSDEC
- ALL WELLS AND SUBSURFACE SEWAGE DISPOSAL SYSTEMS EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WATER AND SEWAGE UTILITIES ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER KNOWN ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE WATER AND SEWAGE UTILITIES.
- NO CELLAR, ROOF OR FOOTING DRAINS SHALL BE DISCHARGED INTO THE SEWAGE SYSTEM.

TOWN OF NEWBURGH SANITARY SEWER SYSTEM NOTES

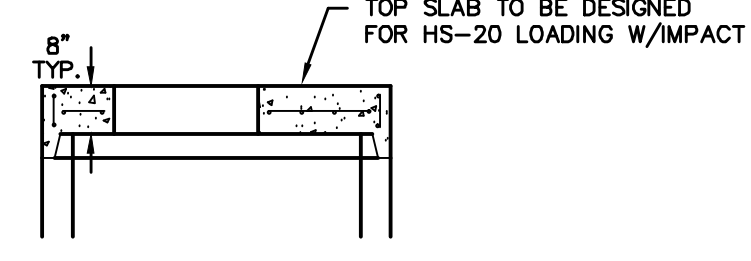
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



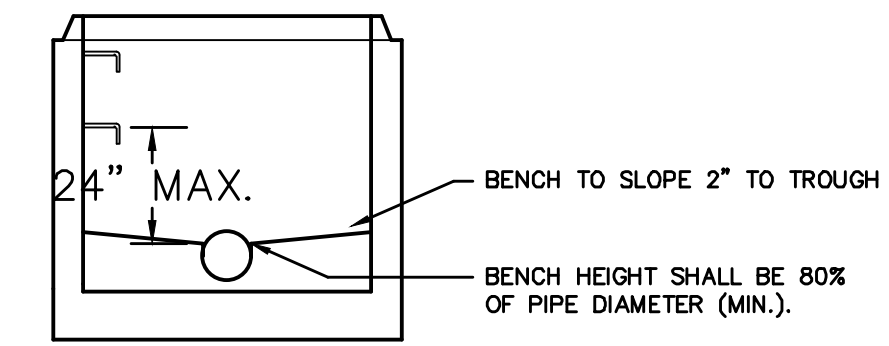
JOINT DETAIL



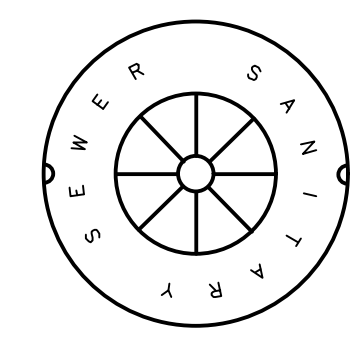
BENCH DETAIL



MANHOLE SLAB TOP



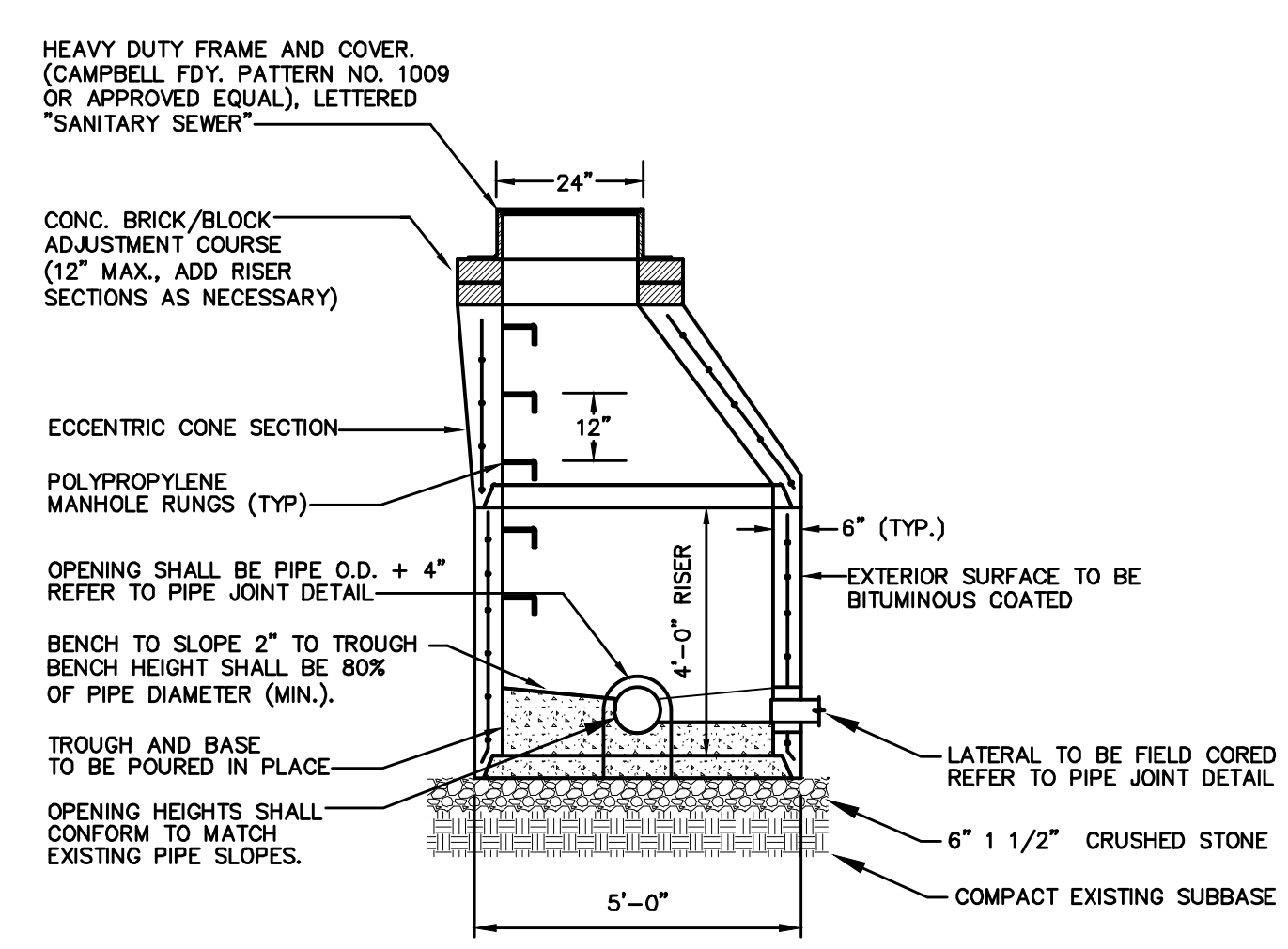
TROUGH DETAIL



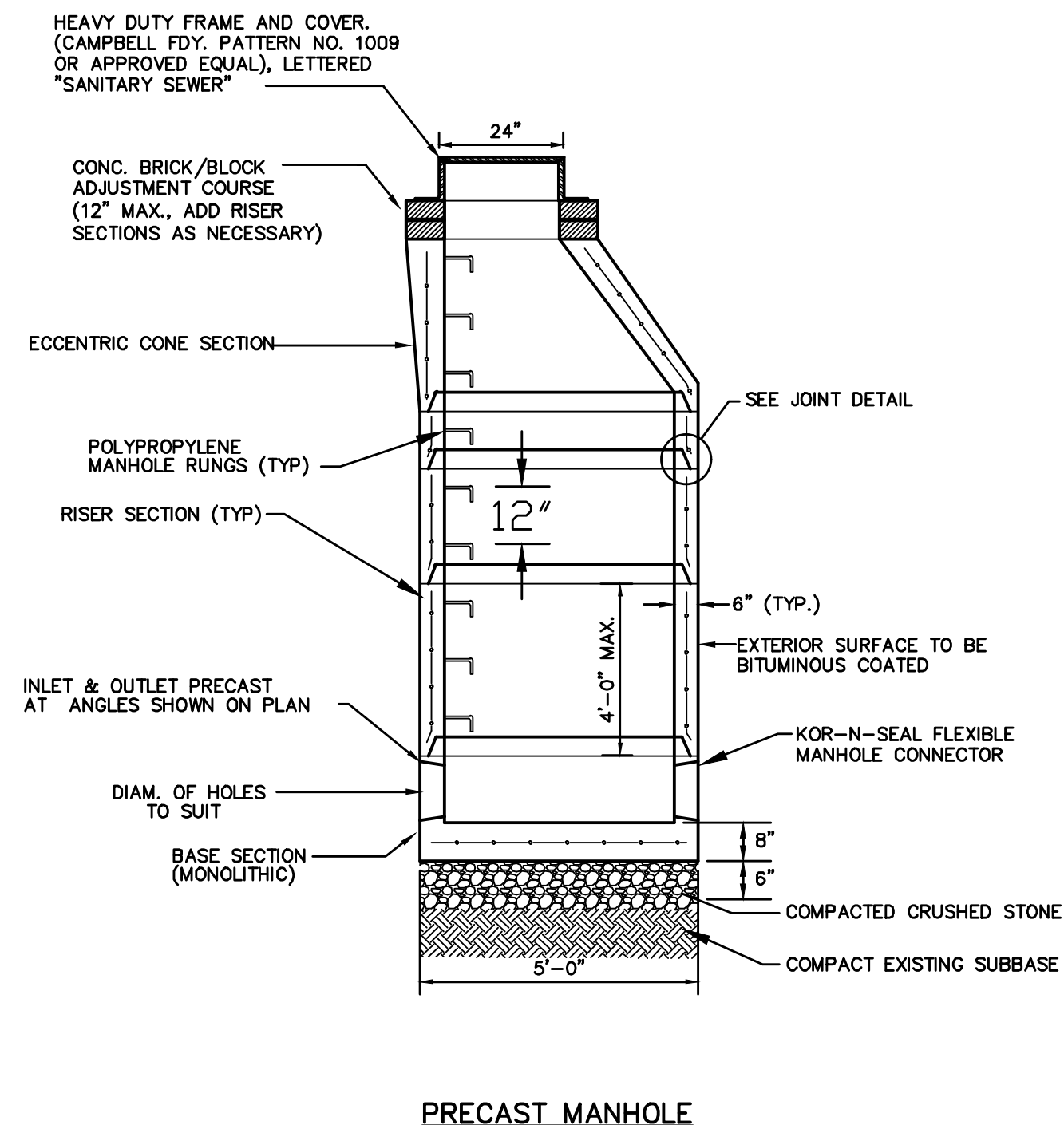
SANITARY MANHOLE LID DETAIL
NOT TO SCALE

NOTES:

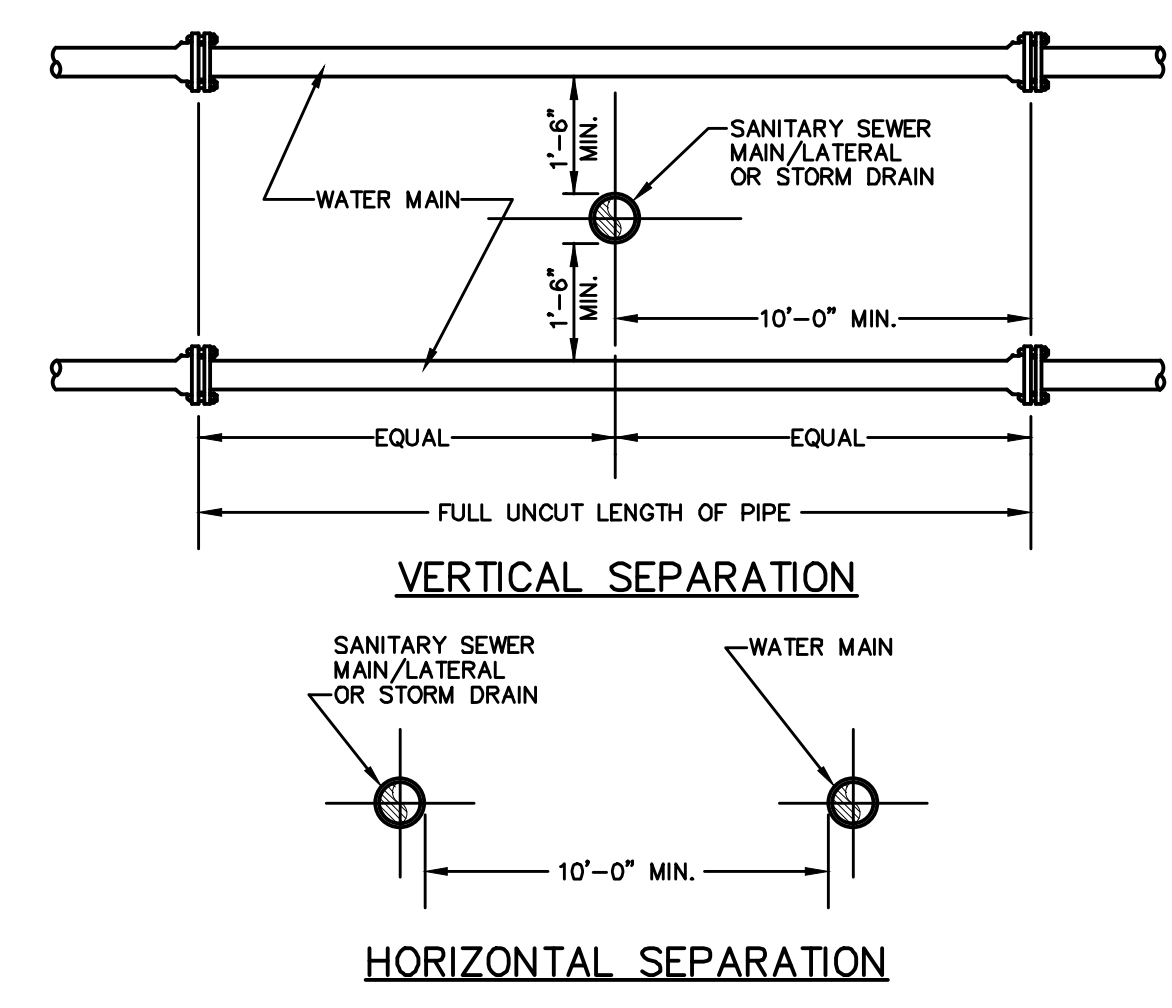
- INVERTS SHALL BE POURED IN PLACE.
- REINFORCEMENT FOR ALL COMPONENTS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN NEW YORK STATE. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. STRUCTURE SHALL BE DESIGNED FOR HS-20 VEHICULAR LOADING WITH 25% IMPACT LOAD.
- COMPRESSION STRENGTH OF CONCRETE SHALL BE 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478-88.
- THE TROUGH (BENCH) SHALL PROVIDE A SMOOTH SWEEP BETWEEN INLET AND OUTLET. A HALF PIPE MAY BE USED FOR STRAIGHT RUNS ONLY.
- THE MANHOLE EXTERIOR SHALL RECEIVE TWO COATS OF BITUMINOUS.
- FRAME AND COVER SHALL BE DESIGNED FOR HS-20 VEHICLE LOADING AND 25% IMPACT LOAD. FRAMES AND COVERS TO BE INSTALLED WITHIN A FLOOD PLAIN SHALL BE WATER TIGHT (CAMPBELL F.D.Y. NO. 1502 OR EQUAL).
- REFER TO PLANS FOR ELEVATIONS AND ANGLES OF PIPES AND FOR RIM ELEVATIONS.
- MANHOLE FRAMES ARE TO BE SET AT THE SAME GRADE AS THE ADJOINING PAVEMENT OR GROUND SURFACE.



DOGHOUSE MANHOLE DETAIL
NOT TO SCALE



PRECAST MANHOLE DETAILS
NOT TO SCALE



- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DEPARTMENT OF HEALTH.

SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL
NOT TO SCALE

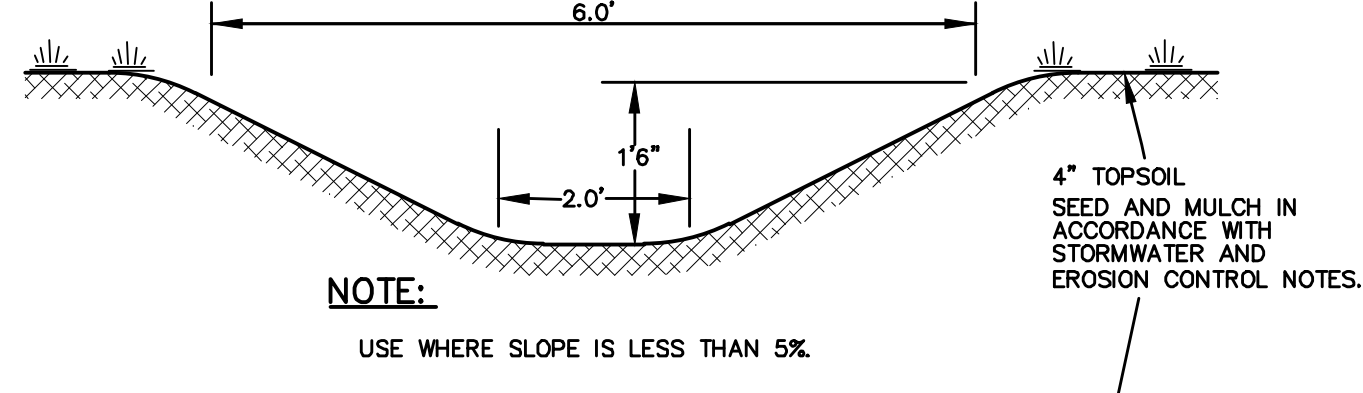
NO.	DATE	DESCRIPTION
1	3/15/18	ENGINEERS COMMENTS
2	5/25/17	ENGINEERS COMMENTS
3	6/21/17	ENGINEERS COMMENTS
4	6/2/12	LAYOUT REVISIONS
5	7/6/12	COMMENTS
6	7/6/12	EMERGENCY ACCESS AND DRAINAGE REVISIONS
7	10/20/13	CONSULTANT COMMENTS

Thomas B. Olley, P.E.

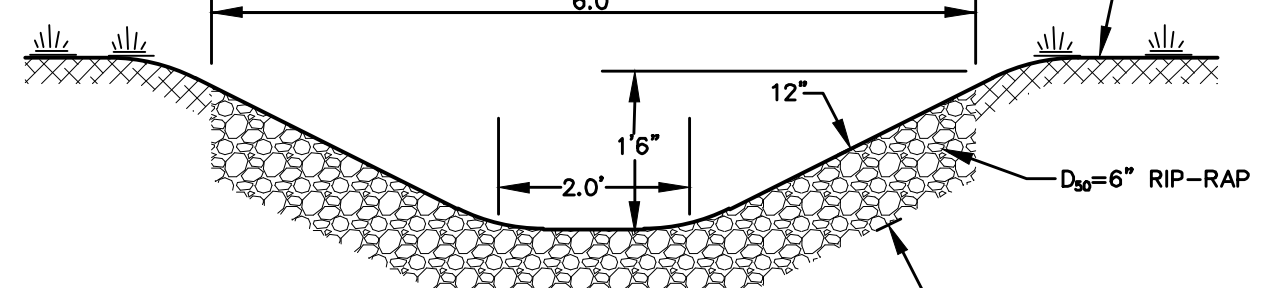
T. THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
ORANGE AVENUE
WALDEN NY 12586
PHONE (845) 778-8339
FAX (845) 778-1517

THE PROFESSIONAL ENGINEER'S SEAL IS THE PROPERTY OF THE STATE OF NEW YORK. IT IS TO BE USED ONLY BY THE LICENSEE TO WHOM IT IS ISSUED. IT IS TO BE KEPT IN THE POSSESSION OF THE LICENSEE AND IS NOT TO BE LOANED, RENTED, REPRODUCED, COPIED, OR IN ANY MANNER USED BY ANY OTHER PERSON. THE SEALS OF THE PROFESSIONAL ENGINEERS SHALL BE CONSIDERED TO BE A FAULTY REPRODUCTION.

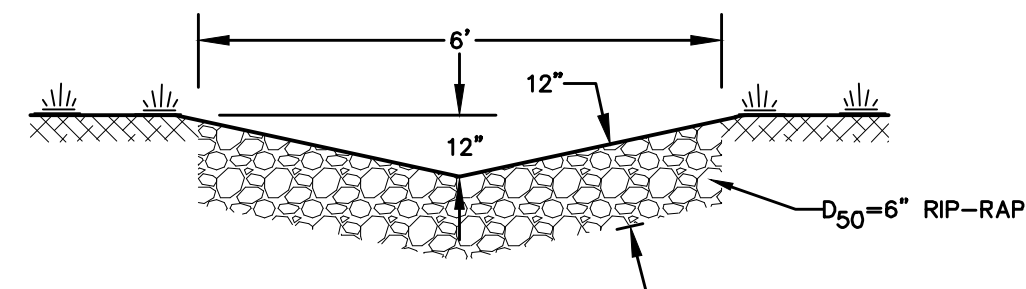
SANITARY SEWER DETAILS
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY



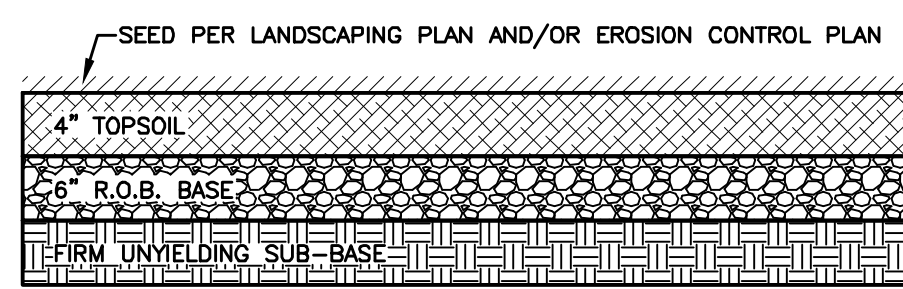
NOTE:
USE WHERE SLOPE IS LESS THAN 5%.



NOTE:
USE WHERE SLOPE IS 5% OR GREATER.
OPEN DITCH SECTION
NOT TO SCALE

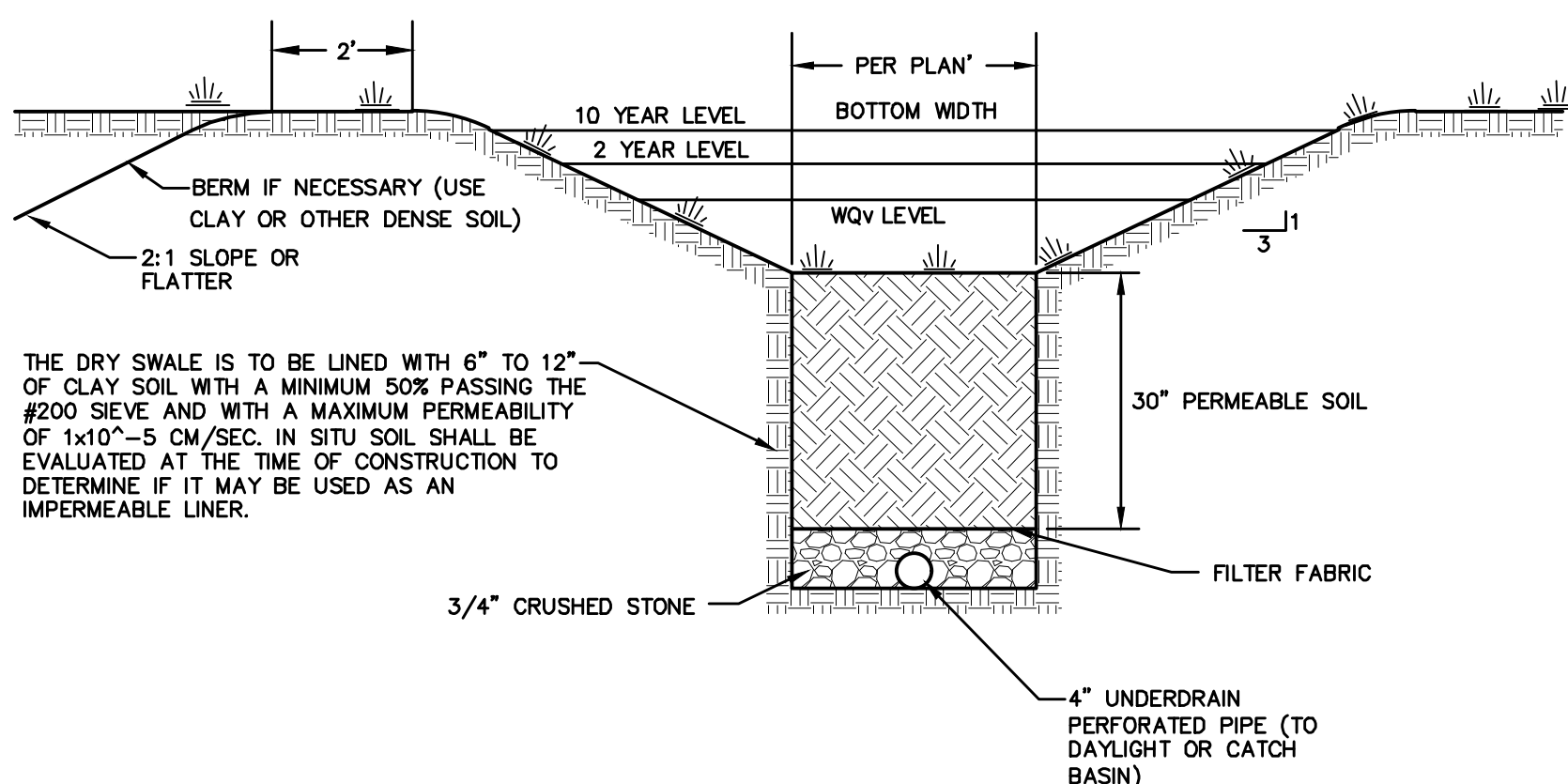


RIP-RAP SWALE DETAIL
NOT TO SCALE

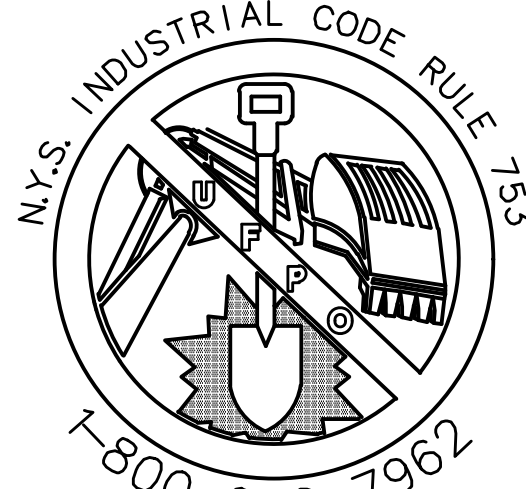


NOTE:
1. SCARIFY SOIL TO DEPTH OF 4" TO 6" IF COMPACTED.
2. REMOVE LARGE STONES, STUMPS, ROOTS & DEBRIS.
3. LIME AS REQUIRED TO ACHIEVE A PH OF 6.0.
4. FERTILIZE AT 600#/ACRE OF 5-10-10 FERTILIZER, IF NEEDED.
5. RAKE TOP 4" OF SOIL, SEED AND MULCH.

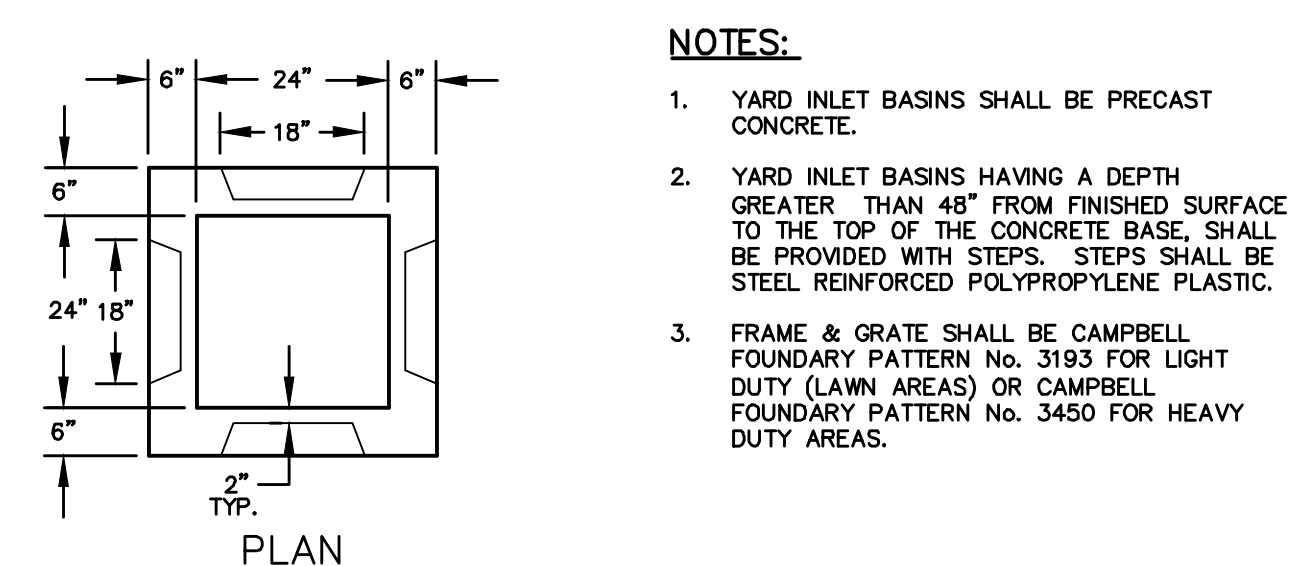
STORMWATER MANAGEMENT BASIN ACCESS DRIVE DETAIL
NOT TO SCALE



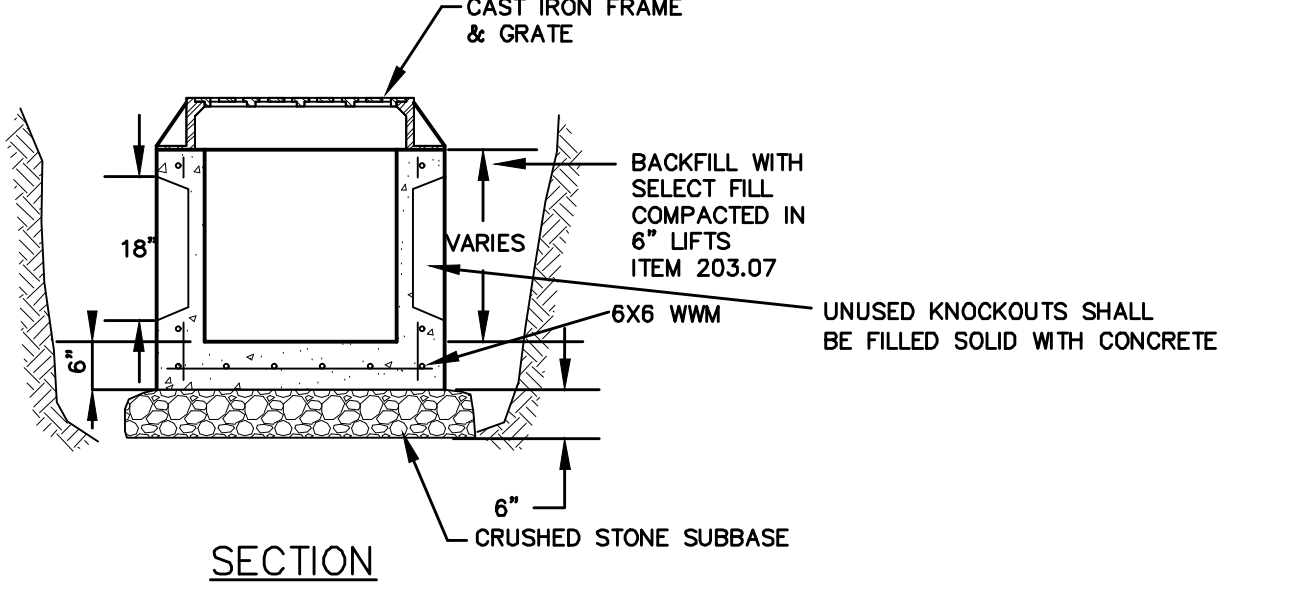
NOTE:
USE WHERE SLOPE IS 4% OR LESS.
DRY SWALE DETAIL
NOT TO SCALE



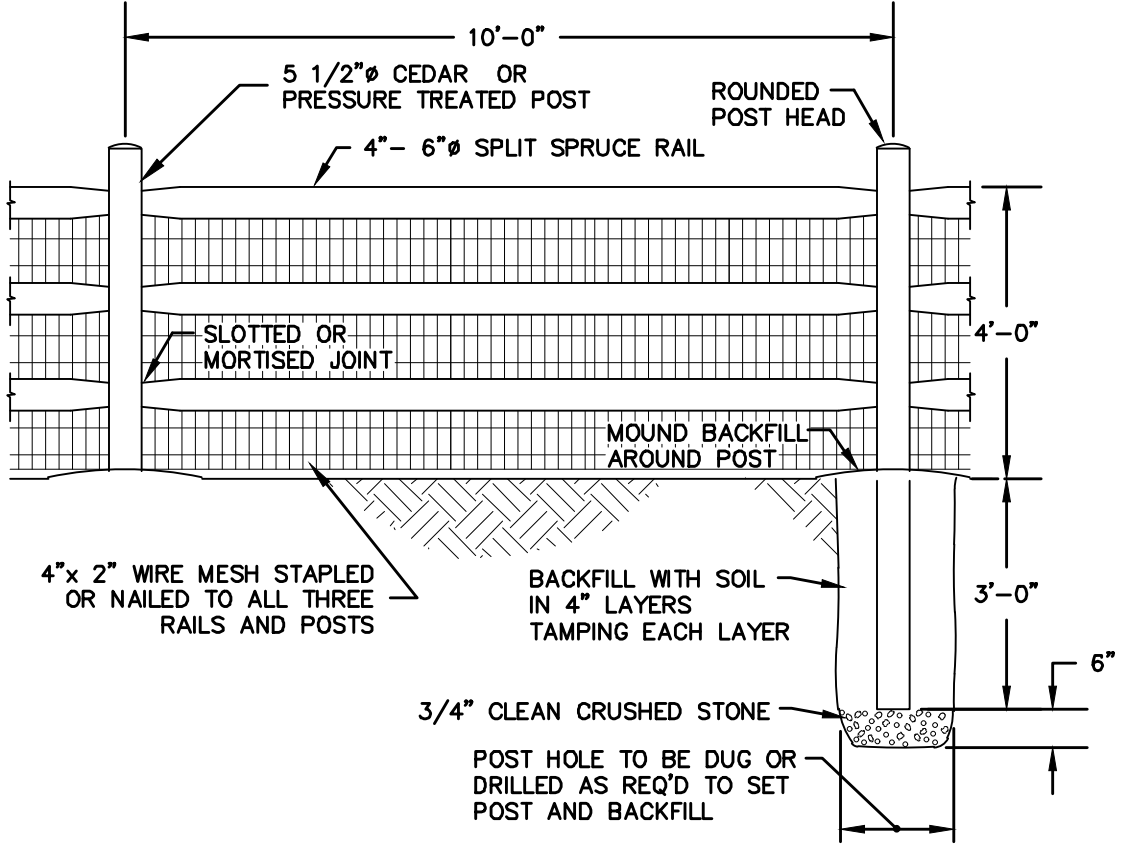
CALL BEFORE YOU DIG, DRILL OR BLAST
NO LESS THAN TWO WORKING DAYS NOTICE
IT'S THE LAW!



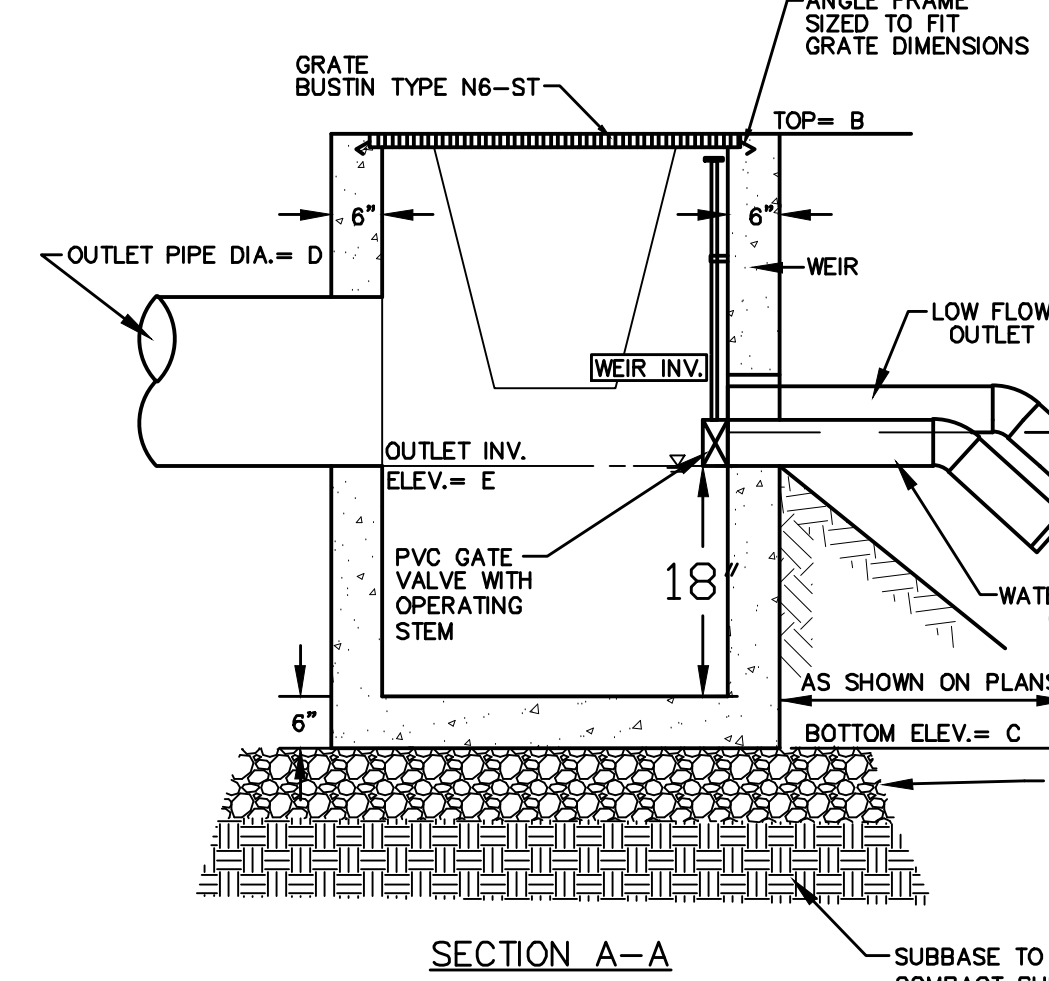
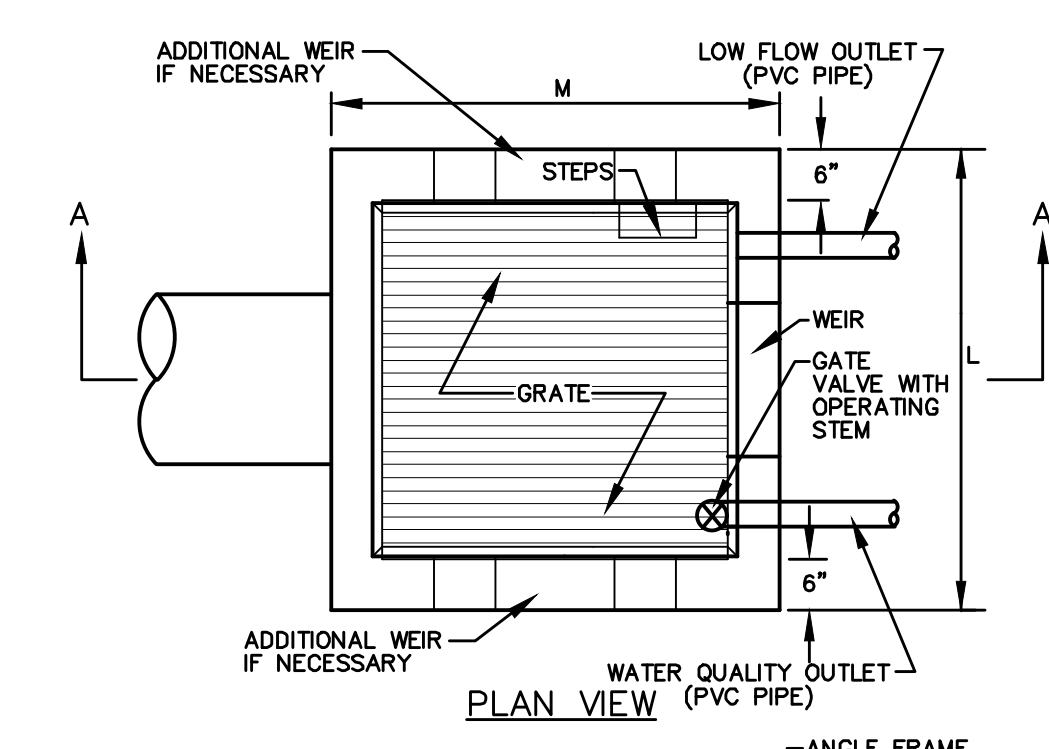
NOTES:
1. YARD INLET BASINS SHALL BE PRECAST CONCRETE.
2. YARD INLET BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE, SHALL BE PROVIDED WITH STEPS. STEPS SHALL BE STEEL REINFORCED POLYPROPYLENE PLASTIC.
3. FRAME & GRATE SHALL BE CAMPBELL FOUNDRY PATTERN No. 3193 FOR LIGHT DUTY (LAWN AREAS) OR CAMPBELL FOUNDRY PATTERN No. 3450 FOR HEAVY DUTY AREAS.



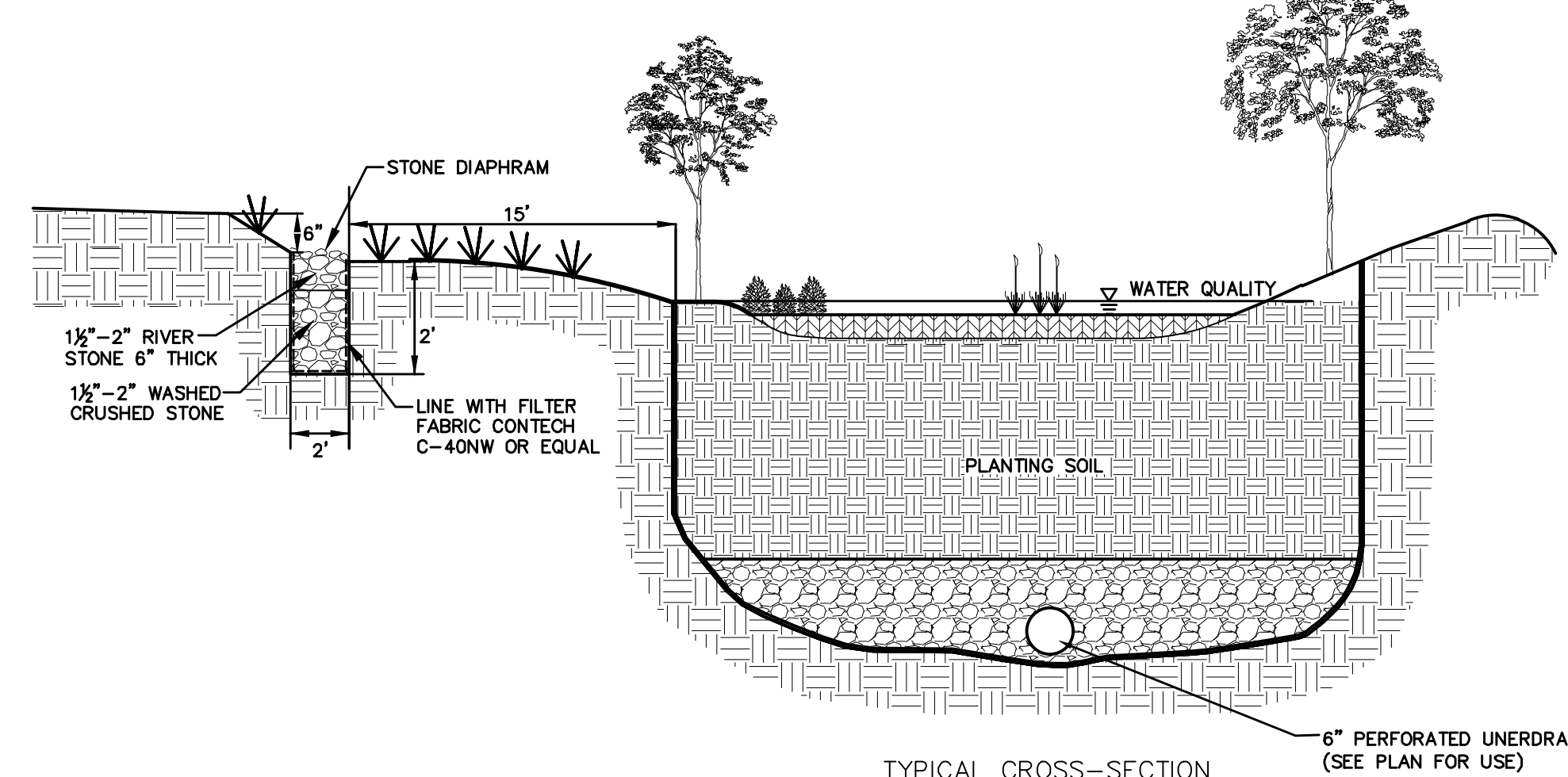
YARD INLET BASIN
NOT TO SCALE



SPLIT RAIL FENCE WITH WIRE MESH
NOT TO SCALE



STORMWATER MANAGEMENT BASIN OUTLET STRUCTURE
NOT TO SCALE



TYPICAL CROSS-SECTION
TYPICAL SECTION
BIORETENTION SYSTEM DETAIL
NOT TO SCALE

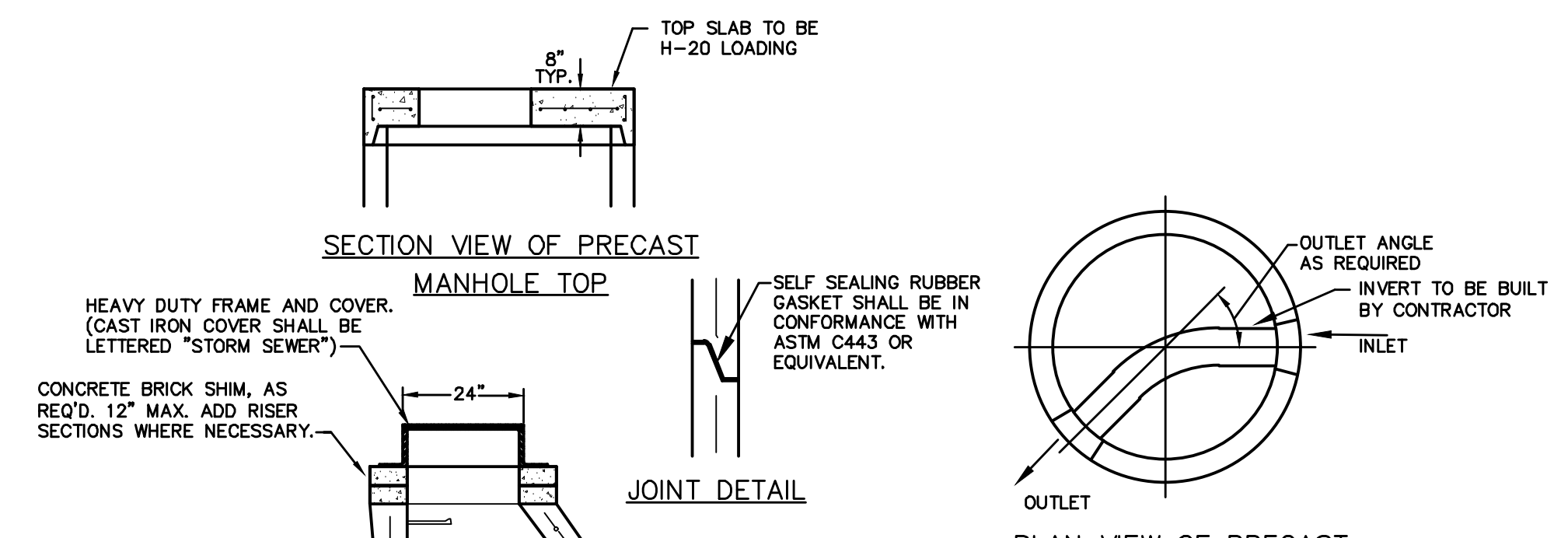
NOTES:
1. THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME.
2. SOILS SHOULD FALL WITHIN THE SM OR ML CLASSIFICATIONS OF THE UNITED SOIL CLASSIFICATION SYSTEM (USCS).
3. A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED.
4. THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER.
5. THE SOILS SHOULD BE FREE OF BRUSH OR SEEDS FROM NOXIOUS WEEDS.
6. PLACEMENT OF THE PLANTING SOILS SHOULD BE IN LIFTS OF 12" TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).
7. TYPICAL PLANT LIST FOR 200 S.F. INFILTRATION BIORETENTION BASIN
SHRUBS (18 SHRUBS PLANTED 5' ± ON CENTER, 2'-3" HT.)
ARROWWOOD
WINTER BERRY
RED OSIER DOGWOOD
HERBACEOUS PLANTS (HE) (51 PLANTS PLANTED 2.5' ± ON CENTER, 1 QUART CONT.)
WOLF GRASS
NEW ENGLAND ASTER
SPOTTED JOE PYE WEED
PICKEREL WEED
CARDINAL FLOWER
COMMON RUSH
TREES (2 TREES PLANTED 10' ± ON CENTER, 1.5" CAL.)
ACER RUBRUM 'OCTOBER GLORY' TM
CERCIS CANADENSIS
GLEDETIA TRICANTHOS INERMIS
PLATANUS OCCIDENTALIS
TILIA CORDATA 'GREENSPIRE'

PLANTING SOIL SPECIFICATIONS

PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 LBS. PER ACRES, MINIMUM
PHOSPHORUS (P205)	75 LBS. PER ACRES, MINIMUM
POTASSIUM (K2O)	85 LBS. PER ACRES, MINIMUM
SOLUBLE SALTS	≤500 PPM
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 60%

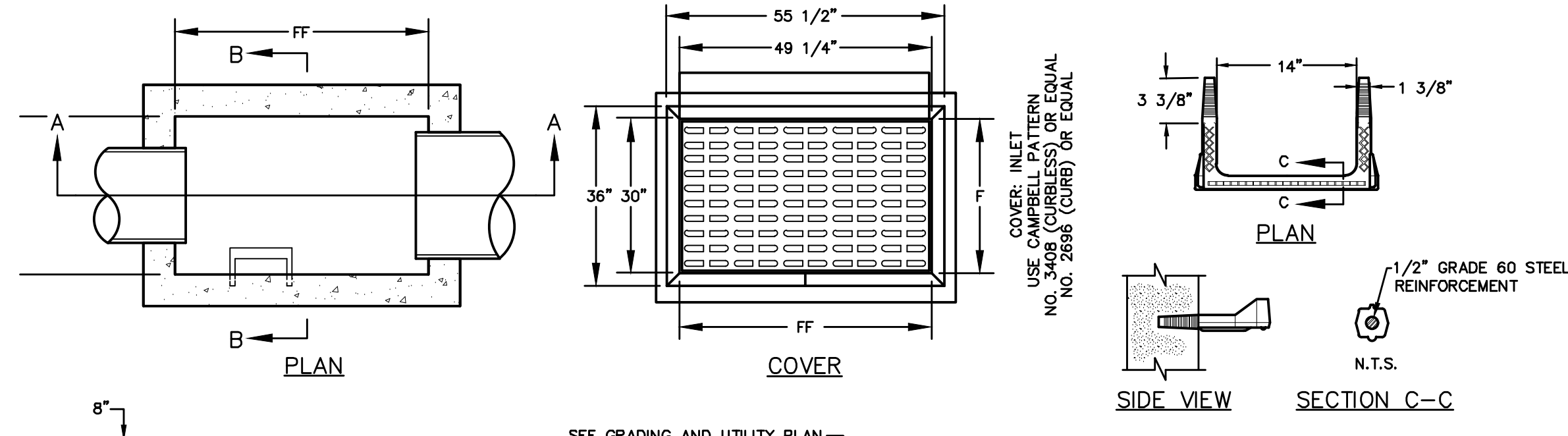
OUTLET STRUCTURE TABLE

OUTLET STRUCTURE DIMENSIONS	OUTLET A
A. STRUCTURE HEIGHT (ITEM B - ITEM C)	5.0'
B. TOP GRATE ELEVATION	258.5
C. STRUCTURE BOTTOM ELEVATION	253.5
D. OUTLET PIPE DIAMETER (IN.)	24"
E. OUTLET PIPE INVERT ELEVATION	254.0
F. WEIR CREST WIDTH (FT.)	2.0'
G. WEIR TOP WIDTH (FT.)	2.8'
H. WEIR CREST INVERT ELEVATION	256.0'
I. NUMBER OF WEIRS	1
J. WATER QUALITY OUTLET INVERT ELEVATION	N/A
K. WATER QUALITY OUTLET DIAMETER (IN.)	N/A
L. LOW FLOW OUTLET INVERT ELEVATION	254.0
M. STRUCTURE LENGTH	5'
N. STRUCTURE WIDTH	5'
O. POND BOTTOM ELEVATION	254.0
P. TOP OF BERM	260.0



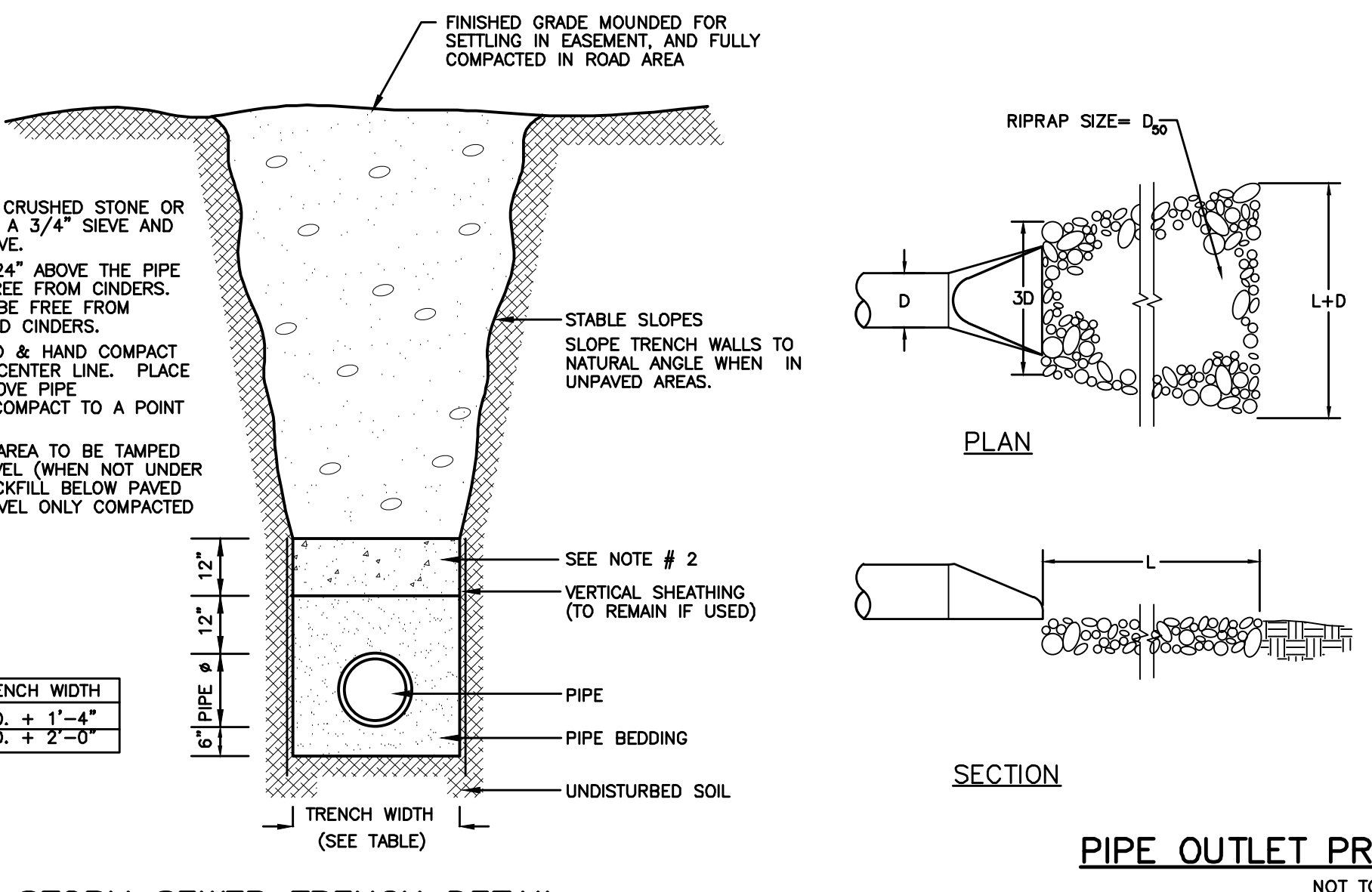
NOTES:
1. REINFORCEMENT FOR MANHOLE (INCLUDING BASE AND SLAB TOP) SHALL BE DESIGNED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. STRUCTURE SHALL BE DESIGNED FOR H-20 VEHICULAR LOADING AND 25% IMPACT.
2. CONCRETE TO TEST 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478-88.
3. FRAME AND COVER SHALL BE DESIGNED FOR H-20 VEHICLE LOADING AND 25% IMPACT.
4. INLET AND OUTLET OF PIPES SHOWN ON PLAN VIEW OF BASE ARE NOT NECESSARILY TYPICAL OF ALL MANHOLES. REFER TO THE UTILITY PLAN FOR INLET AND OUTLET DIRECTIONS.

STORM SEWER MANHOLE
NOT TO SCALE



NOTES:
1. CATCH BASIN SHALL BE PRECAST CONCRETE, DESIGNED FOR H-20 VEHICULAR LOADING AND 25% IMPACT.
2. FRAME AND COVER SHALL BE DESIGNED FOR H-20 VEHICULAR LOADING AND 25% IMPACT.
3. CONCRETE CATCH BASIN CASTING CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE. CLEAR OPENING DIMENSION (FxF) FOR H-20 VEHICULAR LOADING.
4. CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
5. BACKFILL USING SELECT MATERIAL, COMPACTED IN 6" LIFTS.
6. SLUMP SHALL BE 16".

STANDARD CATCH BASIN DETAILS
NOT TO SCALE



STORM SEWER TRENCH DETAIL
NOT TO SCALE

OUTLET PROTECTION TABLE

D (IN)	D ₉₀ (IN)	L (FT) *
12	4	8
15	4	10
18	6	10
24	6	12
30	8	18
36	8	18
42	10	27
48	12	33

NOTE:
* FOR LOW TAIL WATER CONDITIONS (I.E. NO PLUNGE POOL OR OTHER DEEP TAIL WATER)

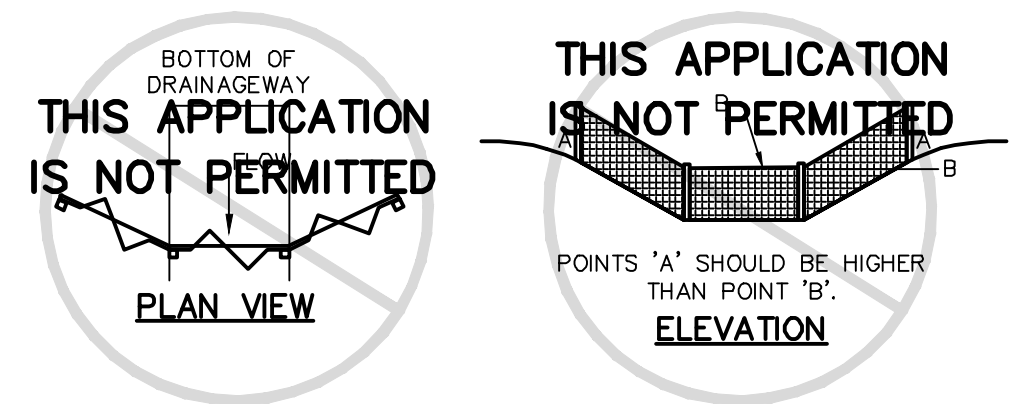
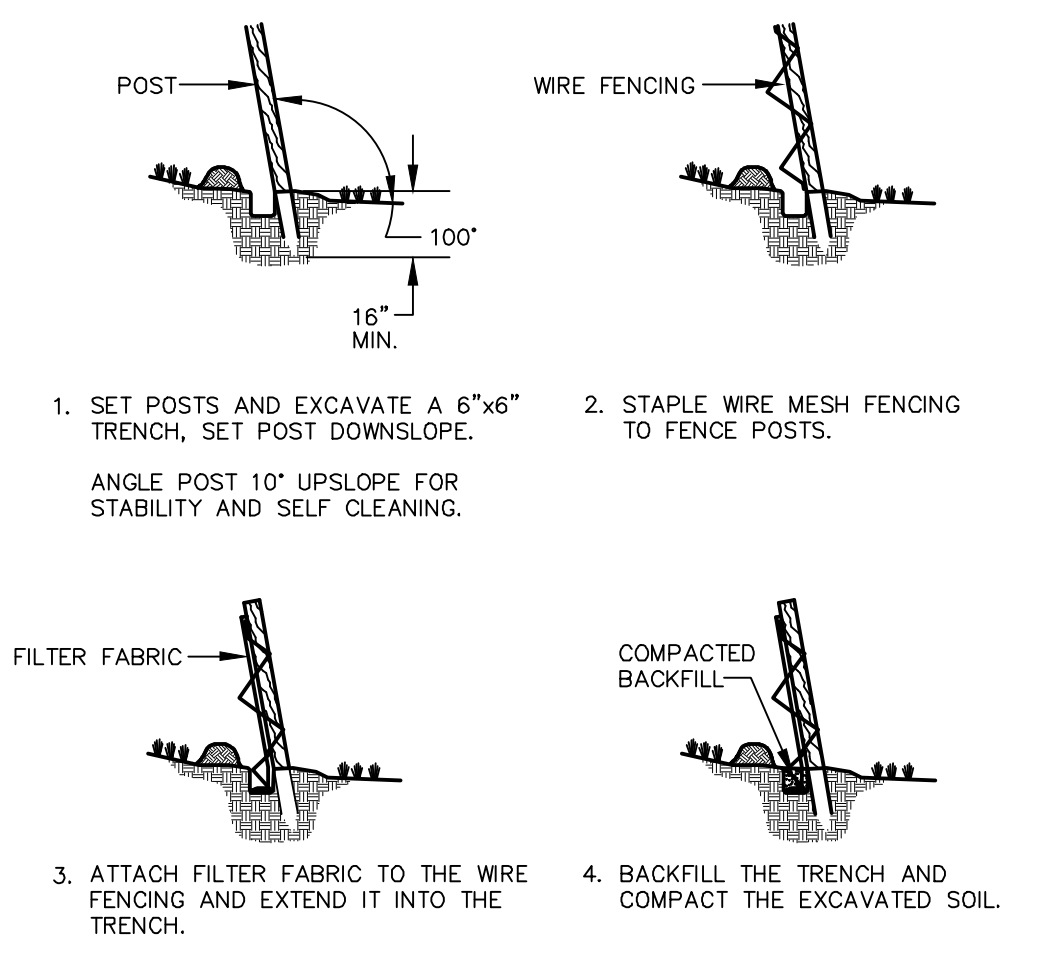
PIPE OUTLET PROTECTION DETAIL
NOT TO SCALE

NO.	DATE	REVISION	DESCRIPTION
1	3/15/18	ENGINEERS COMMENTS	
2	5/5/17	ENGINEERS COMMENTS	
3	6/21/17	ENGINEERS COMMENTS	
4	6/9/12	LAYOUT REVISIONS	
5	7/6/13	EMERGENCY ACCESS AND DRAINAGE REVISIONS	
6	7/6/13	EMERGENCY ACCESS AND DRAINAGE REVISIONS	
7	10/20/13	CONSULTANT COMMENTS	

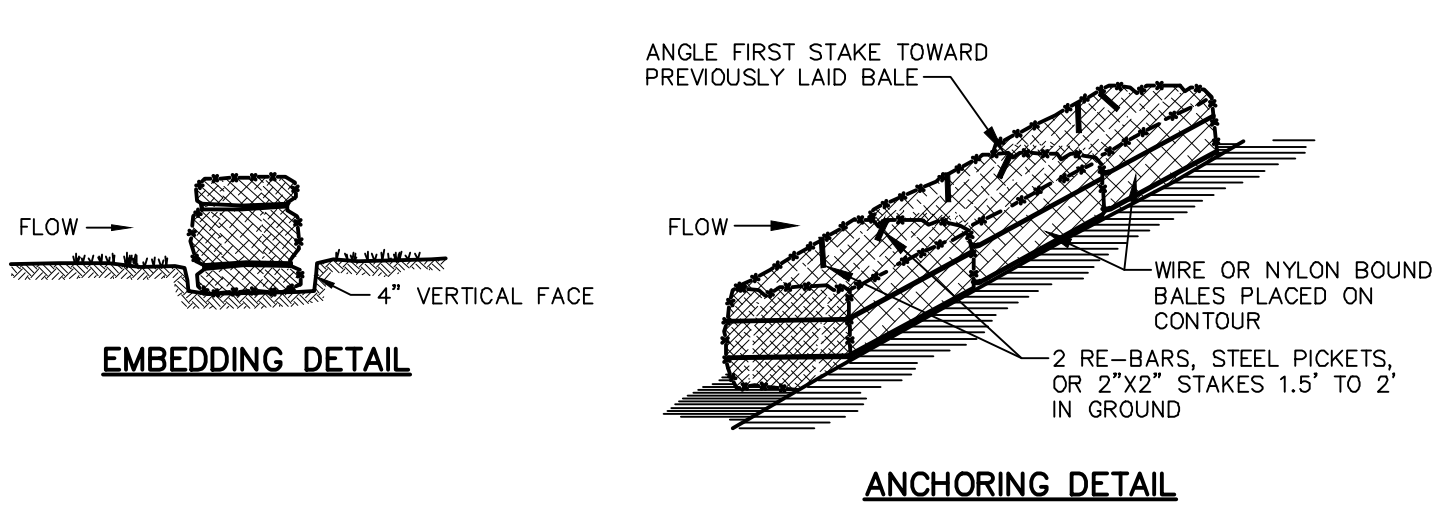
Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
ORANGE AVENUE
WALKEN NY 12586
PHONE (845) 778-8838
FAX (845) 778-1037

STORM DRAINAGE DETAILS
GARDNER RIDGE
GARDNERTOWN ROAD
TOWN OF NEWBURGH, ORANGE COUNTY, NY

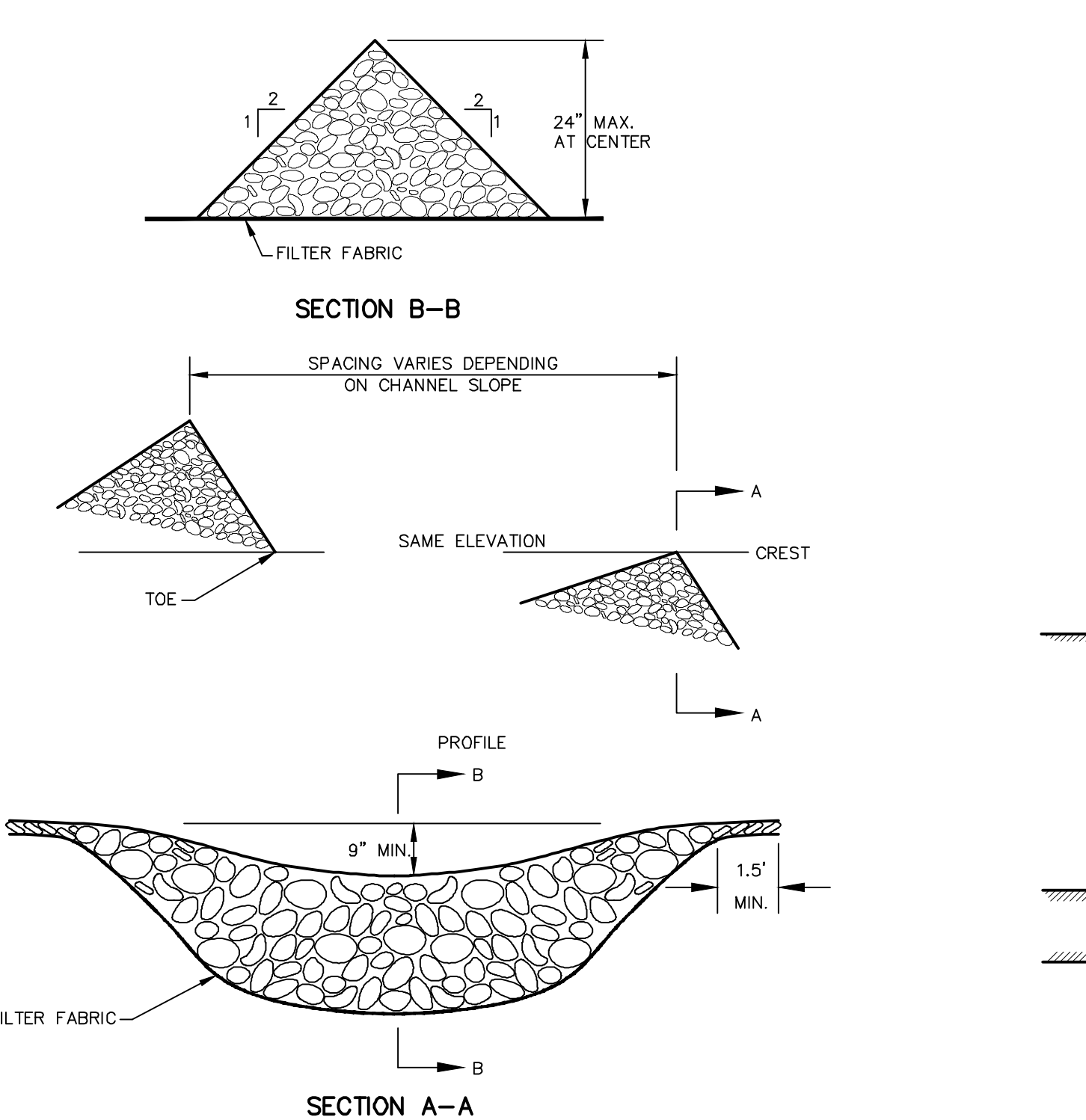


PLACEMENT AND CONSTRUCTION OF A SILT FENCE BARRIER
NOT TO SCALE



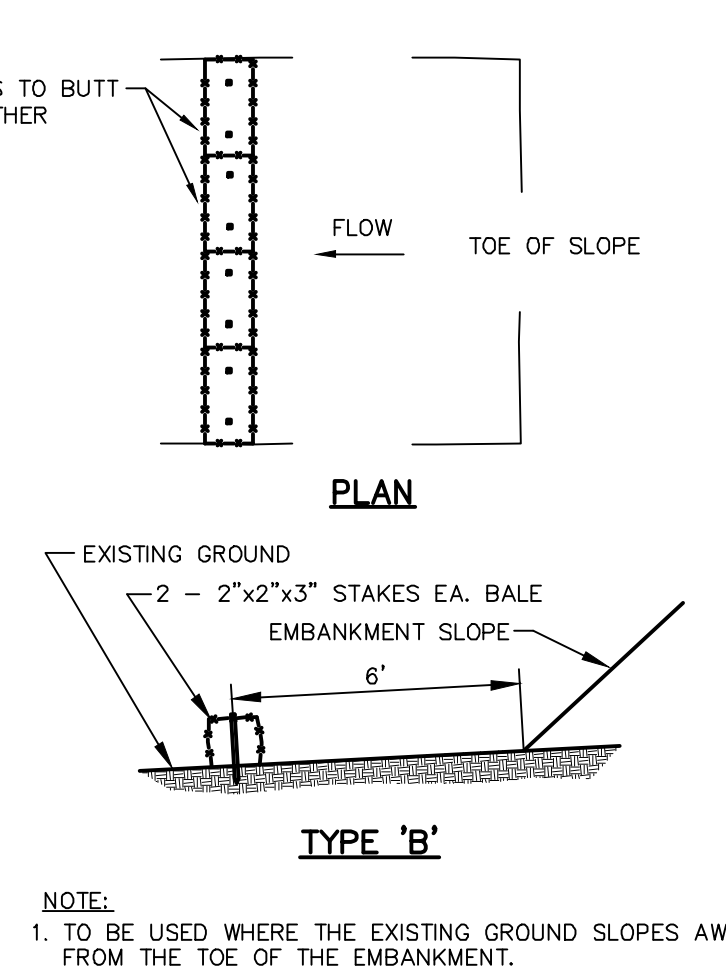
- CONSTRUCTION SPECIFICATIONS**
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.
 - HAYBALES SHALL BE PLACED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

HAY BALE DETAILS
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION.
 - SET SPACING OF CHECK DAMS TO ESTABLISH THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - THE TRUCKING PAD SHALL BE A MINIMUM OF 6" DEEP STONE.
 - THE MINIMUM WIDTH SHALL BE 12 FEET.
 - A FILTER FABRIC SHALL BE PLACED UNDER THE ENTRANCE PRIOR TO PLACEMENT OF THE STONE (CONTECH C-40W OR EQUAL).
 - SURFACE WATER SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION ENTRANCE THROUGH THE USE OF DIVERSION SWALES AND PIPING. IF PIPING IS NOT FEASIBLE, THEN A MOUNTABLE BERM WITH 5:1 SLOPES SHALL BE USED.
 - THE STABILIZED CONSTRUCTION ENTRANCE SURFACE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD OR SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. PERIODIC PRESSING WITH ADDITIONAL STONE WILL BE NEEDED AS CONDITIONS DEMAND. REPAIR AND CLEAN ALL MEASURES USED TO TRAP SEDIMENT. ANY SEDIMENT THAT IS TRANSPORTED ON TO THE PUBLIC RIGHT OF WAY (IN ANY MANNER) MUST BE REMOVED IMMEDIATELY.

CHECK DAM DETAILS
NOT TO SCALE



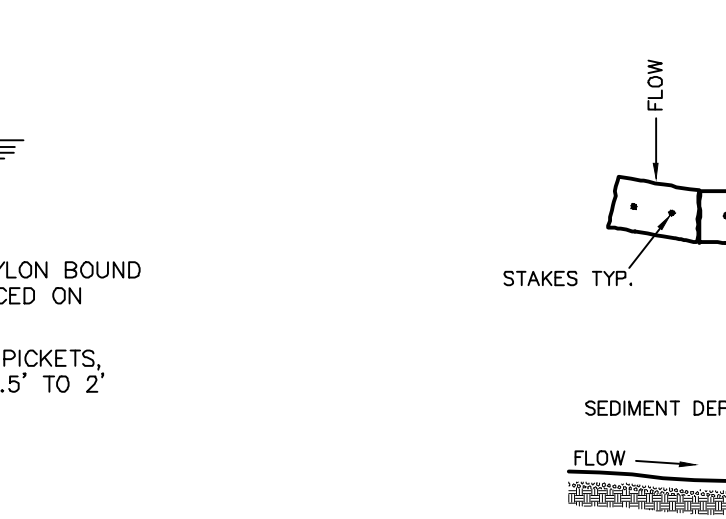
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



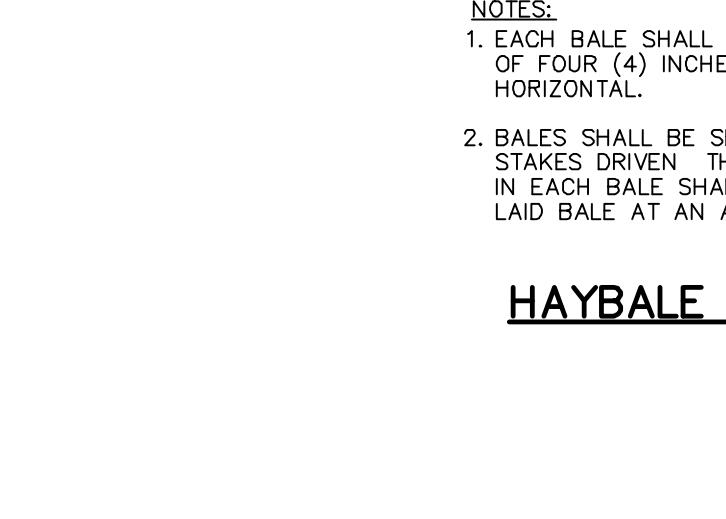
HAY BALE CHECK DAM
NOT TO SCALE



STONE CHECK DAMS
NOT TO SCALE



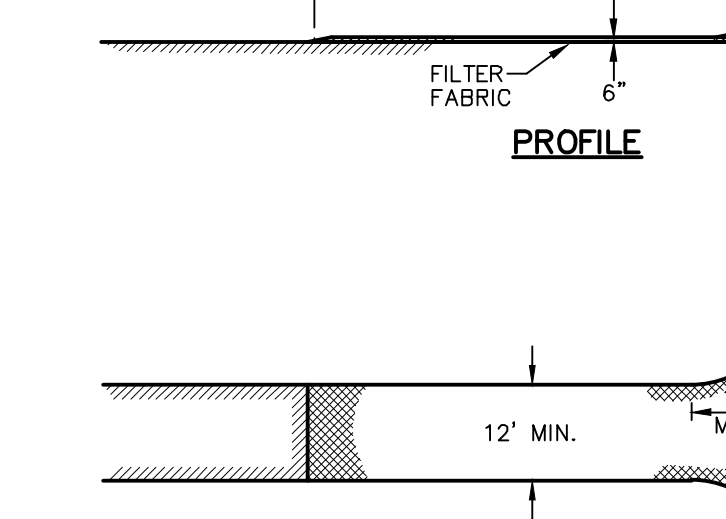
SEDIMENT CONTROL STRUCTURES
NOT TO SCALE



CURB DROP INLET PROTECTION
NOT TO SCALE



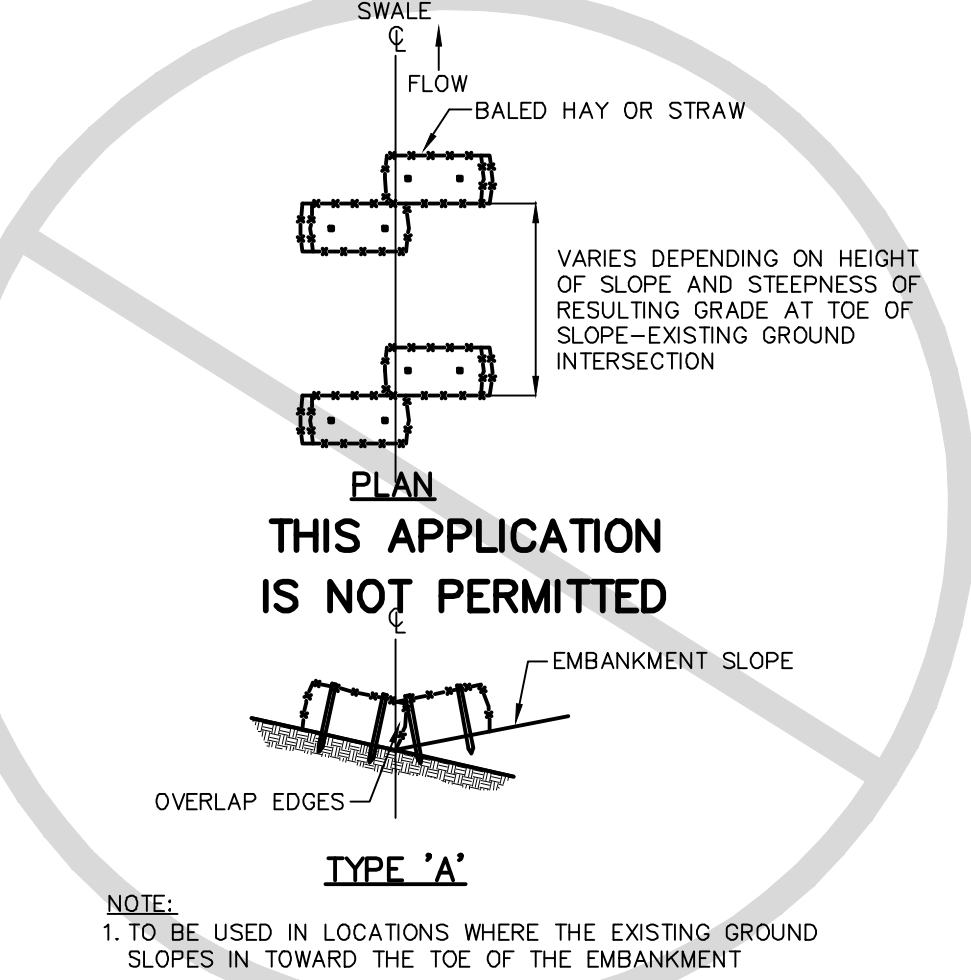
EROSION CONTROL BLANKET
NOT TO SCALE



CONSTRUCTION ENTRANCE NOTES

- SURFACE SHALL BE 2" CRUSHED STONE OR RECLAIMED/RECYCLED CONCRETE.
- THE MINIMUM LENGTH SHALL BE 50 FEET (30' FOR A SINGLE RESIDENCE LOT).
- THE TRUCKING PAD SHALL BE A MINIMUM OF 6" DEEP STONE.
- THE MINIMUM WIDTH SHALL BE 12 FEET.
- A FILTER FABRIC SHALL BE PLACED UNDER THE ENTRANCE PRIOR TO PLACEMENT OF THE STONE (CONTECH C-40W OR EQUAL).
- SURFACE WATER SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION ENTRANCE THROUGH THE USE OF DIVERSION SWALES AND PIPING. IF PIPING IS NOT FEASIBLE, THEN A MOUNTABLE BERM WITH 5:1 SLOPES SHALL BE USED.
- THE STABILIZED CONSTRUCTION ENTRANCE SURFACE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD OR SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. PERIODIC PRESSING WITH ADDITIONAL STONE WILL BE NEEDED AS CONDITIONS DEMAND. REPAIR AND CLEAN ALL MEASURES USED TO TRAP SEDIMENT. ANY SEDIMENT THAT IS TRANSPORTED ON TO THE PUBLIC RIGHT OF WAY (IN ANY MANNER) MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION ENTRANCE NOTES



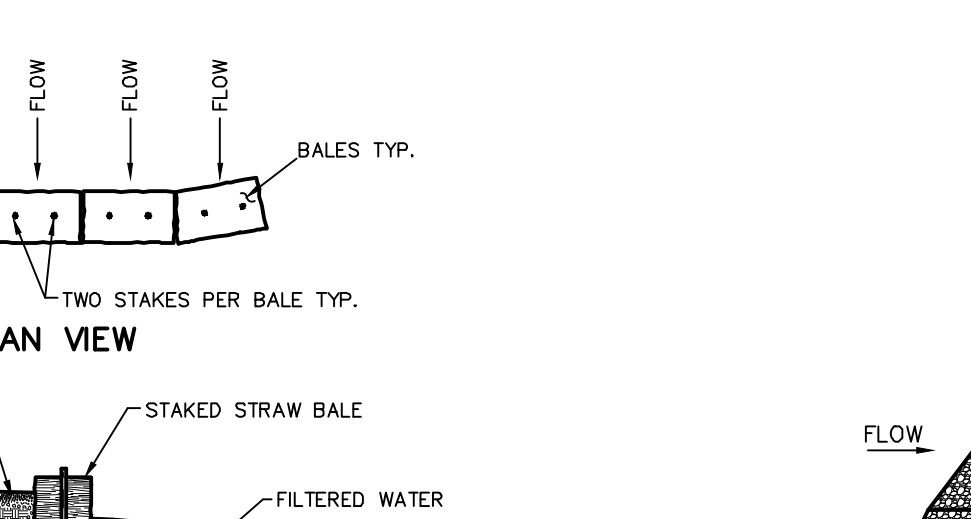
STONE CHECK DAMS
NOT TO SCALE



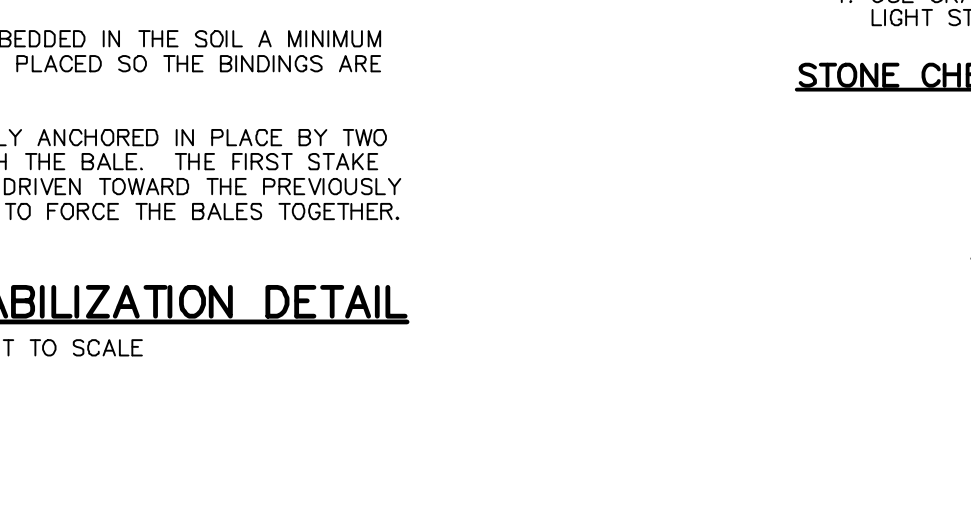
SEDIMENT CONTROL STRUCTURES
NOT TO SCALE



CURB DROP INLET PROTECTION
NOT TO SCALE



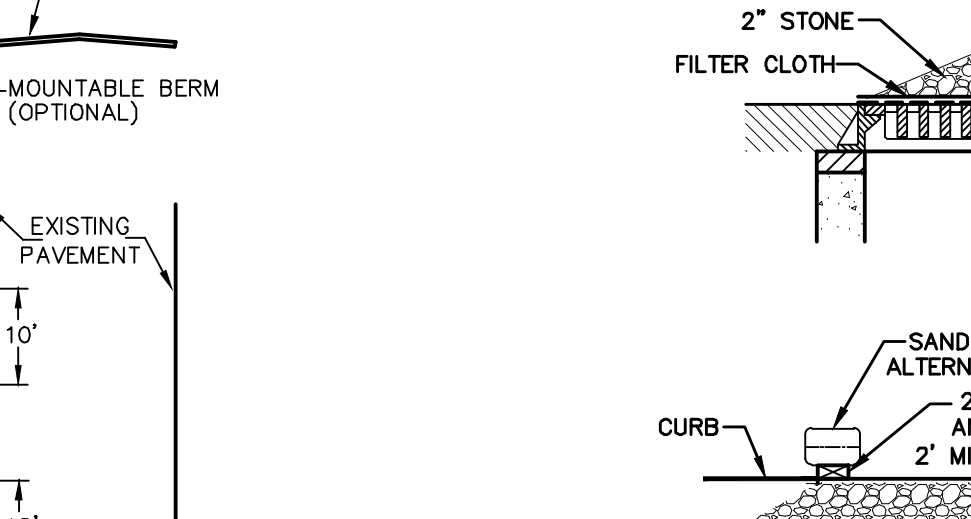
EROSION CONTROL BLANKET
NOT TO SCALE



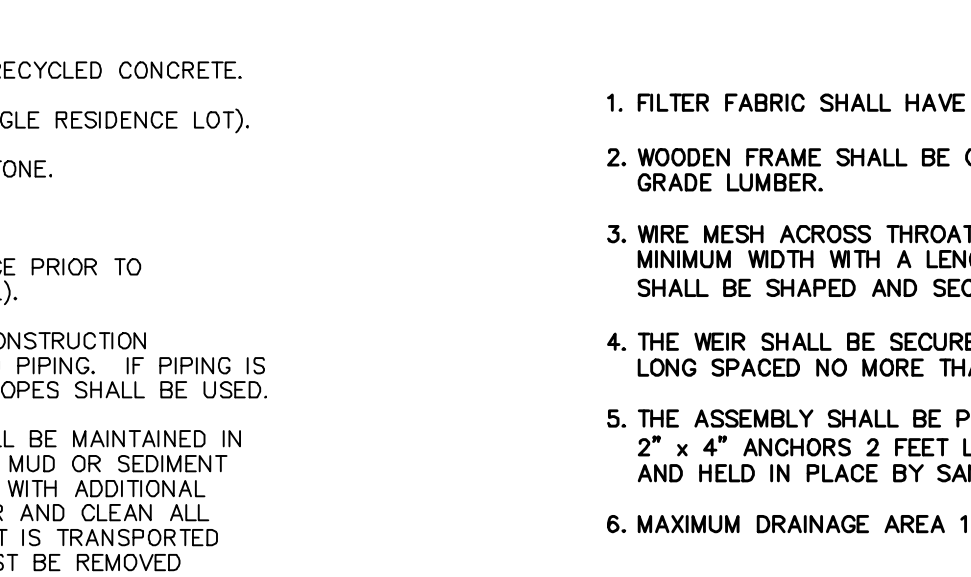
CONSTRUCTION ENTRANCE NOTES



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



HAY BALE CHECK DAM
NOT TO SCALE



STONE CHECK DAMS
NOT TO SCALE



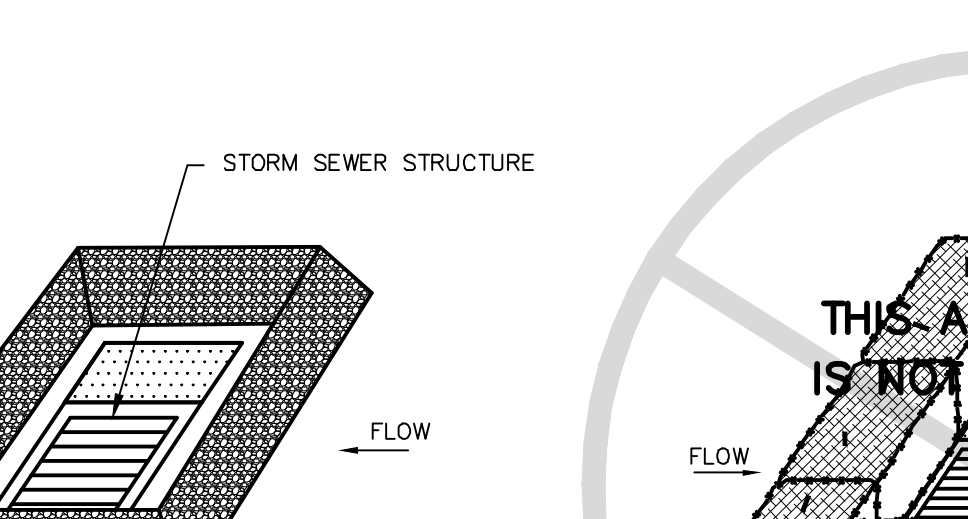
SEDIMENT CONTROL STRUCTURES
NOT TO SCALE



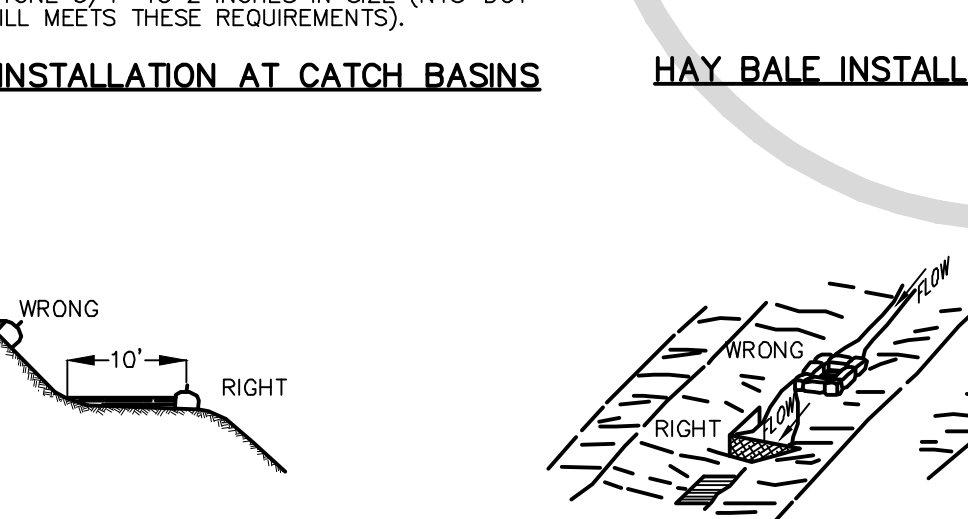
CURB DROP INLET PROTECTION
NOT TO SCALE



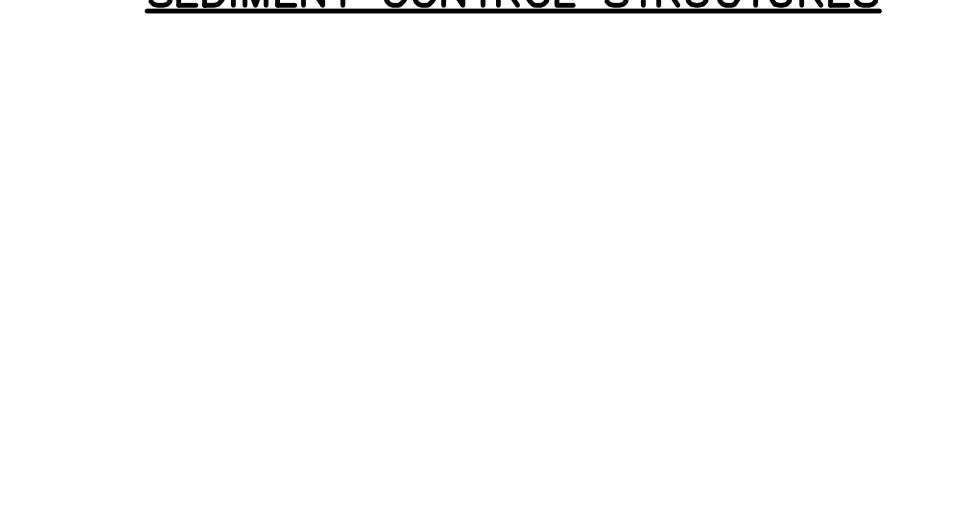
EROSION CONTROL BLANKET
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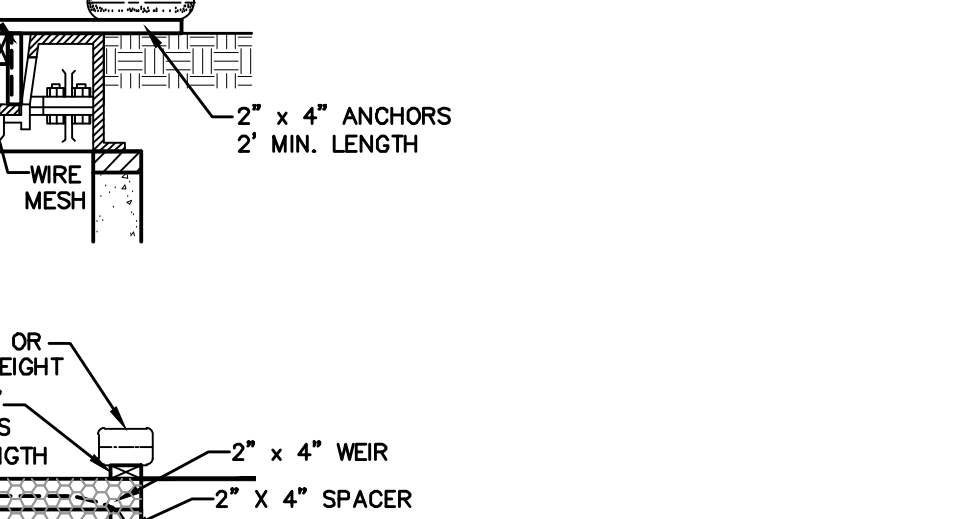
CONSTRUCTION ENTRANCE NOTES



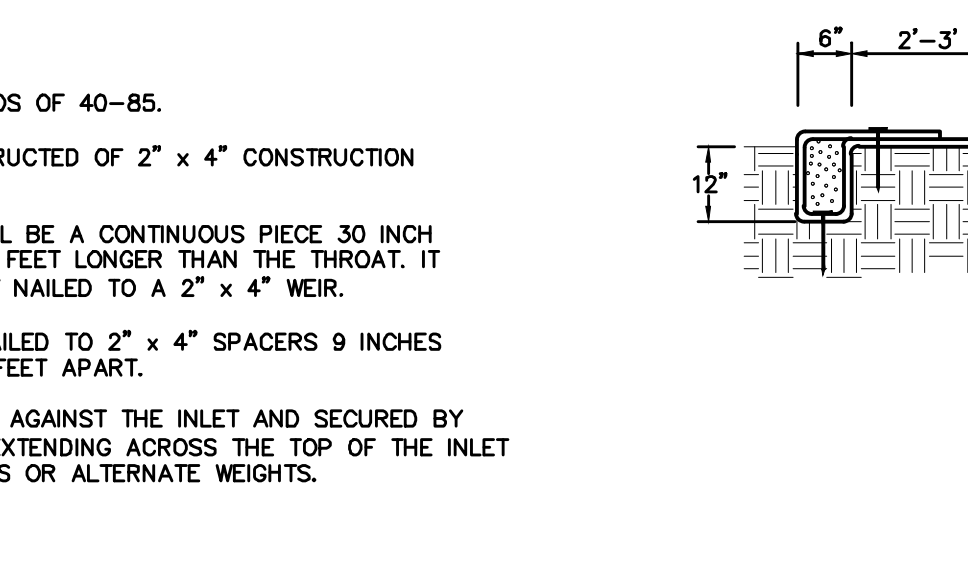
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



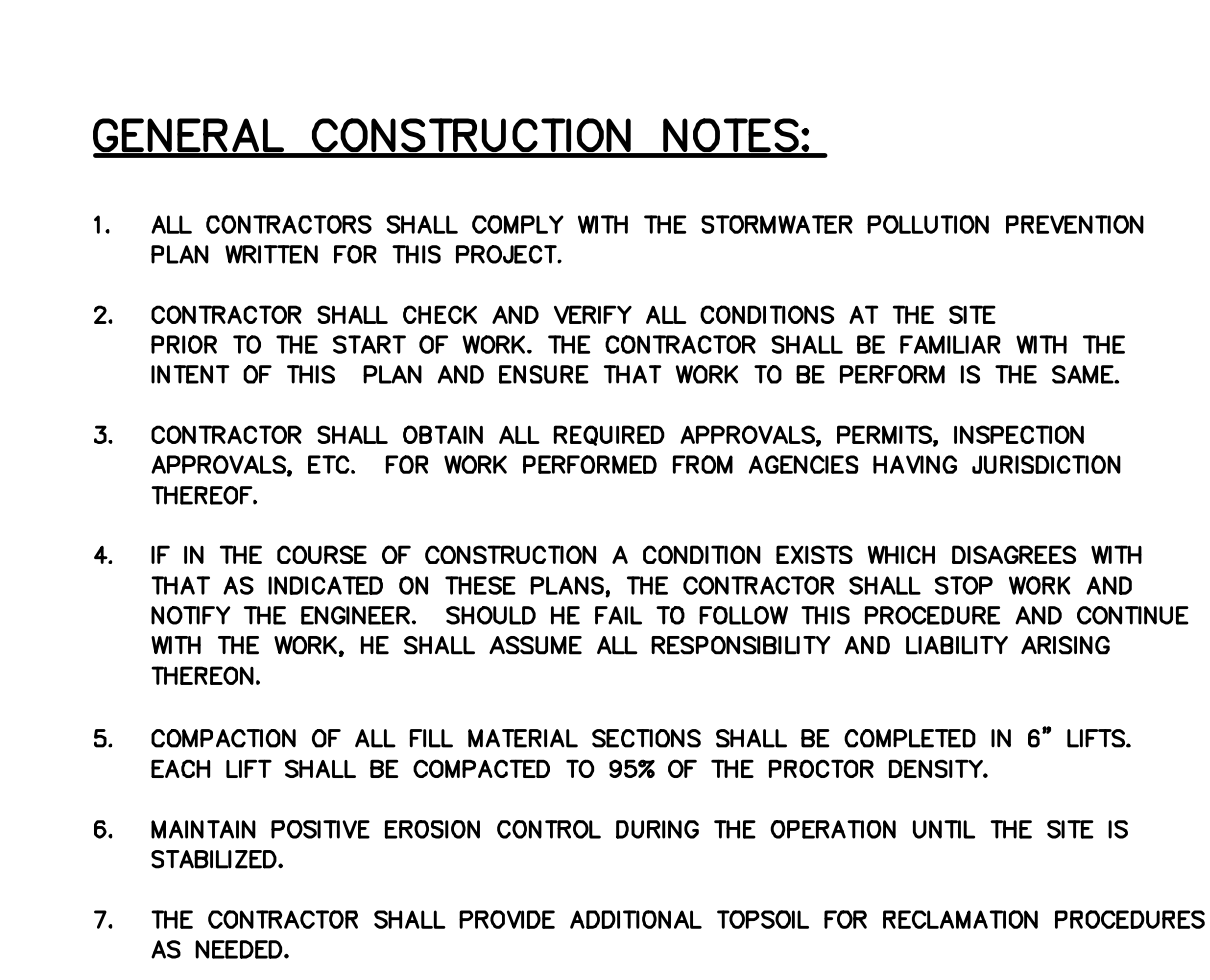
HAY BALE CHECK DAM
NOT TO SCALE



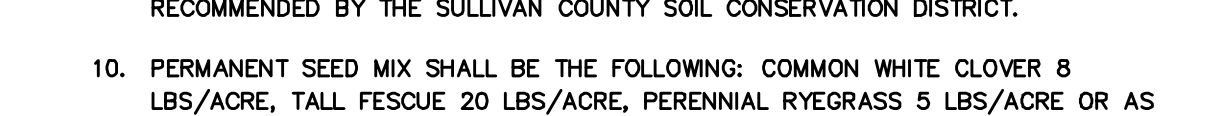
STONE CHECK DAMS
NOT TO SCALE



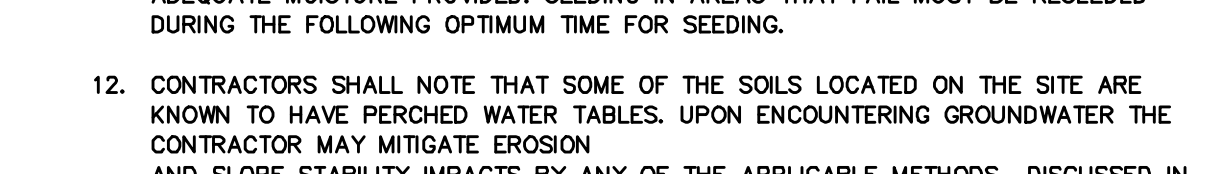
SEDIMENT CONTROL STRUCTURES
NOT TO SCALE



STONE CHECK DAMS
NOT TO SCALE



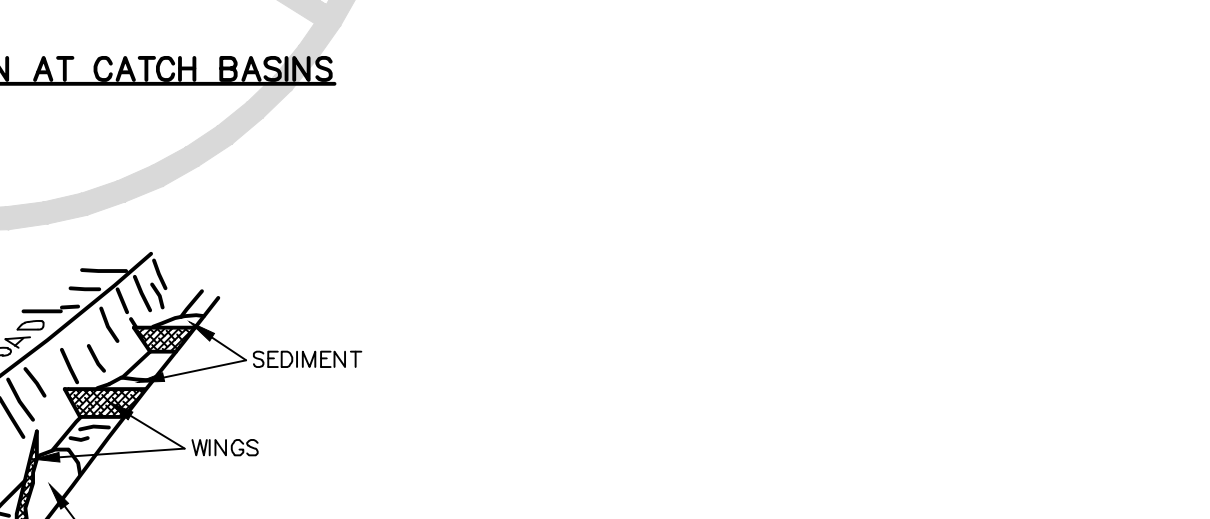
SEDIMENT CONTROL STRUCTURES
NOT TO SCALE



CURB DROP INLET PROTECTION
NOT TO SCALE



EROSION CONTROL BLANKET
NOT TO SCALE



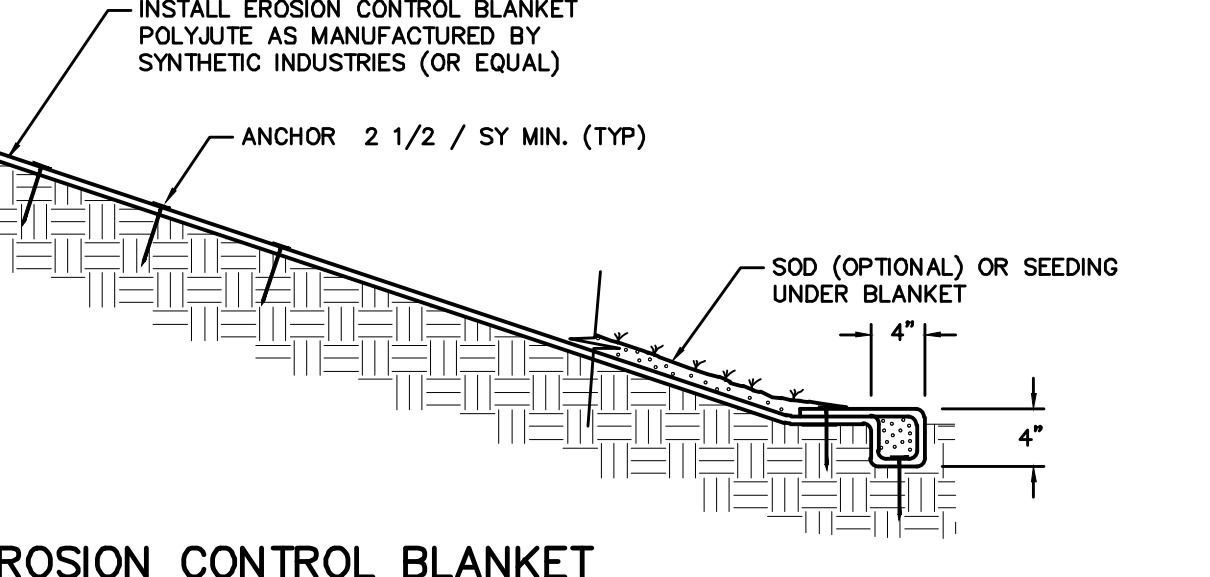
CONSTRUCTION ENTRANCE NOTES



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



HAY BALE CHECK DAM
NOT TO SCALE



STONE CHECK DAMS
NOT TO SCALE

GENERAL CONSTRUCTION NOTES:

- ALL CONTRACTORS SHALL COMPLY WITH THE STORMWATER POLLUTION PREVENTION PLAN WRITTEN FOR THIS PROJECT.
- CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AT THE SITE PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH THE INTENT OF THIS PLAN AND ENSURE THAT WORK TO BE PERFORMED IS THE SAME.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, INSPECTION APPROVALS, ETC. FOR WORK PERFORMED FROM AGENCIES HAVING JURISDICTION THEREOF.
- IF IN THE COURSE OF CONSTRUCTION A CONDITION EXISTS WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREOF.
- COMPACTION OF ALL FILL MATERIAL SECTIONS SHALL BE COMPLETED IN 8" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% OF THE PROCTOR DENSITY.
- MAINTAIN POSITIVE EROSION CONTROL DURING THE OPERATION UNTIL THE SITE IS STABILIZED.
- THE CONTRACTOR SHALL PROVIDE ADDITIONAL TOPSOIL FOR RECLAMATION PROCEDURES AS NEEDED.
- THE ENTIRE SITE IS TO BE STABILIZED WITH VEGETATION WHEN FINAL GRADES ARE REACHED.
- TEMPORARY SEED MIX SHALL BE PERENNIAL RYEGRASS @ 30 POUNDS/ACRE OR AS RECOMMENDED BY THE SULLIVAN COUNTY SOIL CONSERVATION DISTRICT.
- PERMANENT SEED MIX SHALL BE THE FOLLOWING: COMMON WHITE CLOVER 8 LBS/ACRE, TALL FESCUE 20 LBS/ACRE, PERENNIAL RYEGRASS 5 LBS/ACRE OR AS RECOMMENDED BY THE SULLIVAN COUNTY SOIL CONSERVATION DISTRICT.
- THE OPTIMUM TIME FOR SEEDING IS EARLY SPRING AND LATE AUGUST. HOWEVER SEEDING MAY BE PERFORMED AT OTHER TIMES PER YEAR IF PROPERLY MULCHED AND ADEQUATE MOISTURE PROVIDED. SEEDING IN AREAS THAT FAIL MUST BE RESEED DURING THE FOLLOWING OPTIMUM TIME FOR SEEDING.
- CONTRACTORS SHALL NOTE THAT SOME OF THE SOILS LOCATED ON THE SITE ARE KNOWN TO HAVE PERCHED WATER TABLES. UPON ENCOUNTERING GROUNDWATER THE CONTRACTOR MAY MITIGATE EROSION AND SOIL STABILITY IMPACTS BY ANY OF THE APPLICABLE METHODS DISCUSSED IN THE STORMWATER POLLUTION PREVENTION PLAN FOR THIS PROJECT OR SCHEDULING CONSTRUCTION IN THESE AREAS SO AS TO AVOID THEM DURING WET PERIODS OF THE YEAR.

EROSION & SEDIMENT CONTROL MEASURES

- TEMPORARY DIVERSION SWALES**
TEMPORARY DIVERSION SWALES WILL BE INSTALLED IMMEDIATELY UPHILL OF AREAS SCHEDULED TO BE DISTURBED FOR THE PURPOSE OF DIVERTING STORMWATER. SWALES SHALL BE MAINTAINED UNTIL THE REGRADED SITE IS STABILIZED WITH PERMANENT SEEDING.
- STABILIZED CONSTRUCTION ENTRANCE**
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S) SHALL BE INSTALLED IMMEDIATELY ADJACENT TO THE EXISTING PAVEMENT. DURING WET WEATHER IT MAY BE NECESSARY TO WASH VEHICLE TIRES AT THIS LOCATION. THE ENTRANCE SHALL BE GRADED OFF SO THAT RUNOFF WILL BE DIRECTED TO AN EXISTING CATCH BASIN AND AWAY FROM THE PAVEMENT. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING CATCH BASINS.
- SILT FENCE**
SILT FENCES SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED ABOVE, AROUND TOPSOIL STOCKPILE AREAS, AT THE BASE OF ALL DISTURBED SLOPES, AND AT INTERVALS NECESSARY TO PREVENT CONCENTRATION OF FLOW.
- VEGETATION PROTECTION**
LIMIT SOIL PLACEMENT OVER EXISTING TREES AND SHRUB ROOTS TO A MAXIMUM OF 3 INCHES. USE SOILS WITH LOAMY TEXTURES AND GOOD STRUCTURE. CONSTRUCT STURDY FENCES, WOOD OR STEEL BARRIERS, OR OTHER PROTECTIVE DEVICES TO SURROUND AND PROTECT SENSITIVE OR VALUABLE VEGETATION FROM CONSTRUCTION EQUIPMENT. PLACE BARRIERS FAR ENOUGH FROM TREES SO THAT TALL EQUIPMENT SUCH AS BACKHOES AND DUMP TRUCKS DO NOT DAMAGE TREE BRANCHES.
CONSTRUCTION LIMITS SHOULD BE IDENTIFIED AND CLEARLY MARKED TO EXCLUDE EQUIPMENT. IT IS STRONGLY RECOMMENDED THAT CONSTRUCTION FENCING BE UTILIZED TO PROTECT AREAS THAT ARE NOT TO BE DISTURBED. OBSTRUCTIVE AND BROKEN BRANCHES SHOULD BE PRUNED PROPERLY. EXISTING VEGETATION SHOULD BE PRESERVED WHERE ATTAINABLE.
- LAND GRADING**
FINISH LAND SURFACES WILL BE GRADED AS INDICATED ON THE PLANS, AT A MAXIMUM, NO MORE THAN 5 ACRES OF UNPROTECTED SOIL SHOULD BE EXPOSED AT ANY ONE TIME.
AREAS TO BE FILLED SHALL BE CLEARED, CRUBBED, AND STRIPPED OF TOPSOIL, REMOVE TREES, VEGETATION, ROOTS, OR OTHER UNACCEPTABLE MATERIAL. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER ORGANIC MATERIAL. FROZEN MATERIAL SHALL NOT BE PLACED IN THE FILL NOR SHALL THE FILL MATERIAL BE PLACED ON A FROZEN FOUNDATION.
UNLESS OTHERWISE NOTED, PROVIDE TEMPORARY VEGETATION BY SEEDING BARE SOIL WITHIN 7 DAYS OF EXPOSURE UNLESS CONSTRUCTION WILL BEGIN WITHIN 14 DAYS. IF CONSTRUCTION IS SUSPENDED, ALL AREAS SHALL BE SEED AND MULCHED IMMEDIATELY.
FINISH GRADING SHALL BE COMPLETED SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS FOR MORE THAN 24 HOURS AFTER THE END OF A RAINFALL.
TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION WILL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED, NON-SODDED AREAS. STOCKPILES SHALL BE SEED IN ACCORDANCE WITH THESE PLANS.
AREAS THAT ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- DUST CONTROL**
15 MPH CONSTRUCTION ZONE SPEED LIMIT SIGNS SHALL BE ERECTED IN ALL AREAS WHERE DUSTLESS SURFACES HAVE NOT BEEN CONSTRUCTED.
CONSTRUCTION OPERATIONS SHALL BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME. BUFFER AREAS OF VEGETATION SHALL BE LEFT WHERE POSSIBLE. THE SITE, INCLUDING DRIVEWAYS AND ACCESS ROADS, CAN BE SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. THE FOLLOWING SPRAY ADHESIVES CAN BE USED ON MINERAL SOILS:

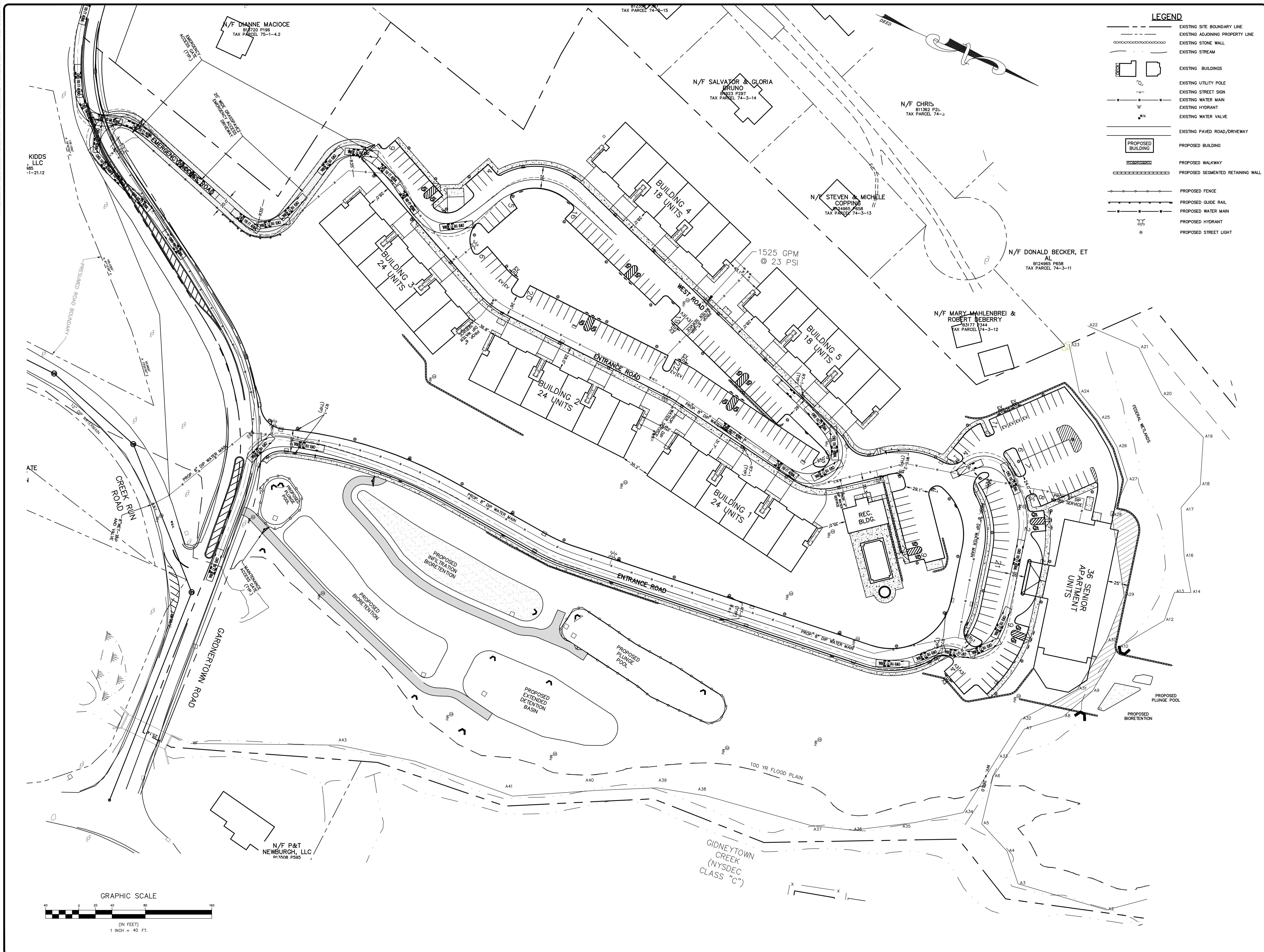
MATERIAL	WATER DILUTION	TYPE OF NOZZLE
ACRYLIC POLYMER	9:1	COARSE SPRAY
LATEX EMULSION	12.5:1	FINE SPRAY
RESIN IN WATER	4:1	FINE SPRAY
- TEMPORARY AND PERMANENT SEEDING**
SEEDING PREPARATION INCLUDES REMOVAL OF DEBRIS, ROCKS, STUMPS AND OTHER UNACCEPTABLE MATERIALS. COMPACTED SOIL SHALL BE SCARIFIED PRIOR TO PLACEMENT OF TOPSOIL. ADJUST PH TO 6.0 WITH LIME AND FERTILIZE WITH 600 LBS OF 5-10-10 OR EQUIVALENT PER ACRE. ALL DISTURBED AREAS SHALL BE TEMPORARILY SEED IF CONSTRUCTION DOES NOT RESUME IN 7 DAYS, AND BEFORE ANY SIGNIFICANT STORM EVENT WHICH MAY HAVE THE POTENTIAL TO CAUSE EROSION.
ALL APPROVED STOCKPILES AND OTHER DISTURBED OR GRADED AREAS SHALL BE SEED WITHIN 14 CALENDAR DAYS PROVIDED CONSTRUCTION GRADING ACTIVITY IS NOT CONTINUALLY ONGOING IN THESE LOCATIONS.
APPLY TEMPORARY SEEDING CONSISTING OF QUICK GERMINATING RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER. ACRE.
PERMANENT SEEDING SHALL BE COMPLETED WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING. SEED MIXTURE SHALL BE APPLIED IN ACCORDANCE WITH THESE PLANS AND/OR THE RECOMMENDATIONS OF THE LOCAL SOIL & WATER CONSERVATION DISTRICT.
THE OPTIMUM TIME FOR PERMANENT SEEDING IS IN THE SPRING FROM MARCH 21 THROUGH MAY 20, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST 25 TO OCTOBER 15. PERMANENT SEEDINGS MAY BE MADE ANY TIME OF YEAR IF PROPERLY MULCHED AND ADEQUATE MOISTURE IS PROVIDED. BROADCASTING, DRILLING WITH CULTIPACK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE. COLD WEATHER SEEDING SHALL BE PERFORMED USING WINTER GERMINATING SEED SUCH AS WINTER RYE.
8. **TOPSOIL/MULCHING**
WHERE VEGETATION WILL BE ESTABLISHED, PRESERVE AND APPLY EXISTING TOPSOIL AND FRAGILE FINE TEXTURED SUBSOILS THAT ARE STRIPPED DURING EXCAVATION. COMPLETE ROUGH GRADING AND FINAL GRADING, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED SCARIFY ALL COMPACT, SLOW PERMEABLE, MEDIUM, AND FINE TEXTURED SUBSOIL AREA IN SOIL AREAS THAT ARE STEEPER THAN 5 PERCENT. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE. REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER AND OTHER LITTER.
TOPSOIL SHALL HAVE A MINIMUM OF 2 PERCENT AND A MAXIMUM OF 6 PERCENT (BY WEIGHT) OF FINE TEXTURED STABLE ORGANIC MATERIAL. TOPSOIL SHALL HAVE NOT LESS THAN 20 PERCENT FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15 PERCENT CLAY. TOPSOIL SHALL BE RELATIVELY FREE OF STONES OVER 1 1/2 INCHES IN DIAMETER.
TOPSOIL SHALL BE PLACED AT A UNIFORM DEPTH OF 4 INCHES FOR THE STEEP SLOPES, 6 INCHES FOR THE LAWN AREAS AND 2" FOR UNMOWED GRASS AREAS. TOPSOIL SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, NOR ON FROZEN SLOPES OR OVER ICE, SNOW OR STANDING WATER. TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5 PERCENT SHALL BE PROMPTLY FERTILIZED, SEED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.
IF SOIL IS COMPACTED OR CRUSTED, SURFACE SHOULD BE LOOSENEED TO AT LEAST TWO INCHES BY DISKING OR OTHER SUITABLE METHODS.
- INSPECTION OF EROSION AND SEDIMENT CONTROL MEASURES**
THE OWNER OR QUALIFIED REPRESENTATIVE OF THE OWNER SHALL INSPECT THE EROSION AND SEDIMENT CONTROL MEASURES AT LEAST ONCE EVERY 7 CALENDAR DAYS AT A MINIMUM. THESE MEASURES INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE, THE AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO STRUCTURAL CONTROL MEASURES AND THE LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE. WHERE PORTIONS OF THE CONSTRUCTION AREA HAVE BEEN FINALLY STABILIZED, INSPECTION OF SUCH PORTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH UNTIL THE ENTIRE SITE IS FINALLY STABILIZED.
THE TERM "FINALLY STABILIZED" MEANS THAT ALL THE SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% FOR THE AREA HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES (SUCH AS THE USE OF MULCHES OR GEOTEXTILES) HAVE BEEN EMPLOYED.
- MAINTENANCE REQUIREMENTS AND SCHEDULES**
EROSION AND SEDIMENT CONTROL MEASURES ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6 INCHES DEEP AT THE FENCE. ENSURE THAT NO CONCENTRATED FLOWS ARE DIRECTIONED TOWARDS THE FENCE. REPLACE THE SILT FENCE WHEN "BULGES" DEVELOP IN THE FENCE.
ALL SEEDED AREAS SHALL BE FERTILIZED, RE-SEED AS NECESSARY AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
SEDIMENT SPILLED, DROPPED OR WASHED ONTO EXISTING MACADAM ROADWAYS MUST BE MOVED IMMEDIATELY. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING THE STORM DRAINS. ADDITIONAL AGGREGATE SHALL BE ADDED TO THE STABILIZED CONSTRUCTION ENTRANCES AS REQUIRED.
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

NO.	DATE	REVISION	DESCRIPTION
1	3/15/17	MS	ENGINEERS COMMENTS
2	5/25/17	MS	ENGINEERS COMMENTS
3	6/21/17	MS	ENGINEERS COMMENTS
4	6/22	MS	LAYOUT REVISIONS
5	7/6/23	MS	ENGINEERS COMMENTS
6	7/6/23	MS	EMERGENCY ACCESS AND DRAINAGE REVISIONS
7	10/20/23	MS	CONSULTANT COMMENTS

Thomas B. Olley, P.E.

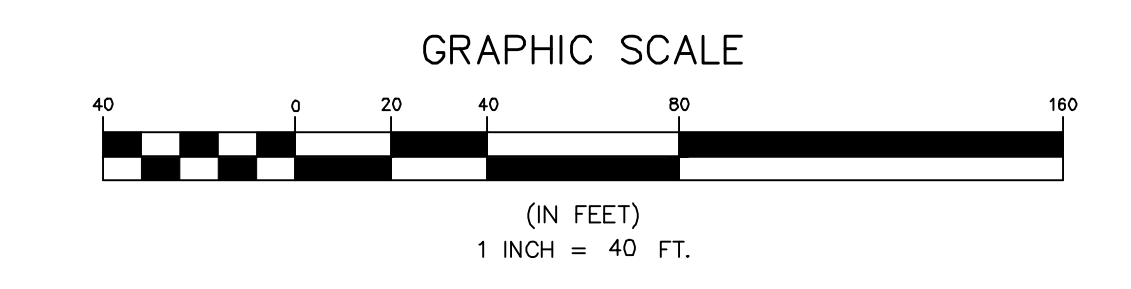
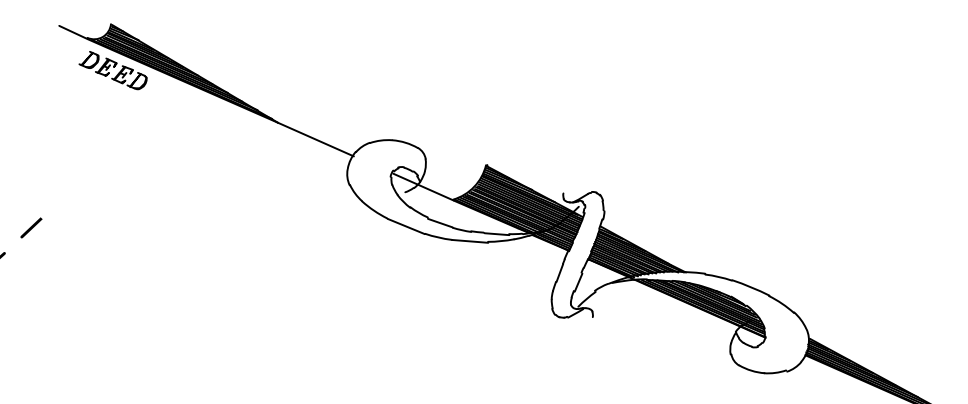
THOMAS B. OLLEY, P.E., P.L.L.C.
ENGINEERS AND PLANNERS
ORANGE AVENUE
WALDEN, NY 12586
PHONE (845) 778-8838
FAX (845) 778-8837

EROSION AND SEDIMENT CONTROL DETAILS
**GARDNER RIDGE
GARDNERTOWN ROAD**
TOWN OF NEWBURGH, ORANGE COUNTY, NY



LEGEND

	EXISTING SITE BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING STONE WALL
	EXISTING STREAM
	EXISTING BUILDINGS
	EXISTING UTILITY POLE
	EXISTING STREET SIGN
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING PAVED ROAD/DRIVEWAY
	PROPOSED BUILDING
	PROPOSED WALKWAY
	PROPOSED SEGMENTED RETAINING WALL
	PROPOSED FENCE
	PROPOSED GUIDE RAIL
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED STREET LIGHT



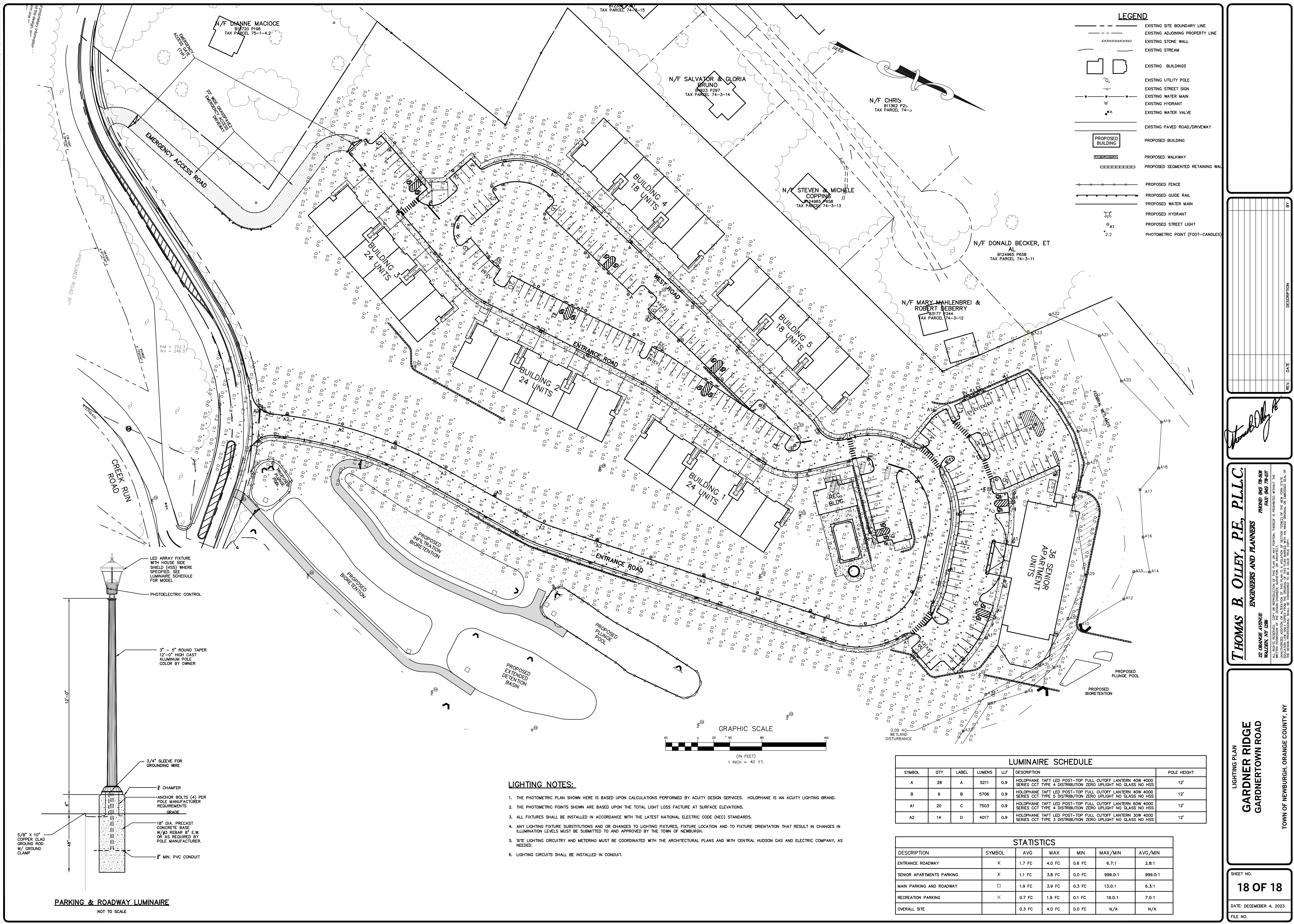
REV.	DATE	DESCRIPTION

Thomas B. Olley, P.E.

THOMAS B. OLLEY, P.E., P.L.L.C.
 ENGINEERS AND PLANNERS
 12 ORANGE AVENUE
 WALKEN, NY 12886
 PHONE: (607) 738-5338
 FAX: (607) 738-1817

EMERGENCY ACCESS PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

SHEET NO.
17 OF 18
 DATE: DECEMBER 4, 2023
 FILE NO.



LEGEND

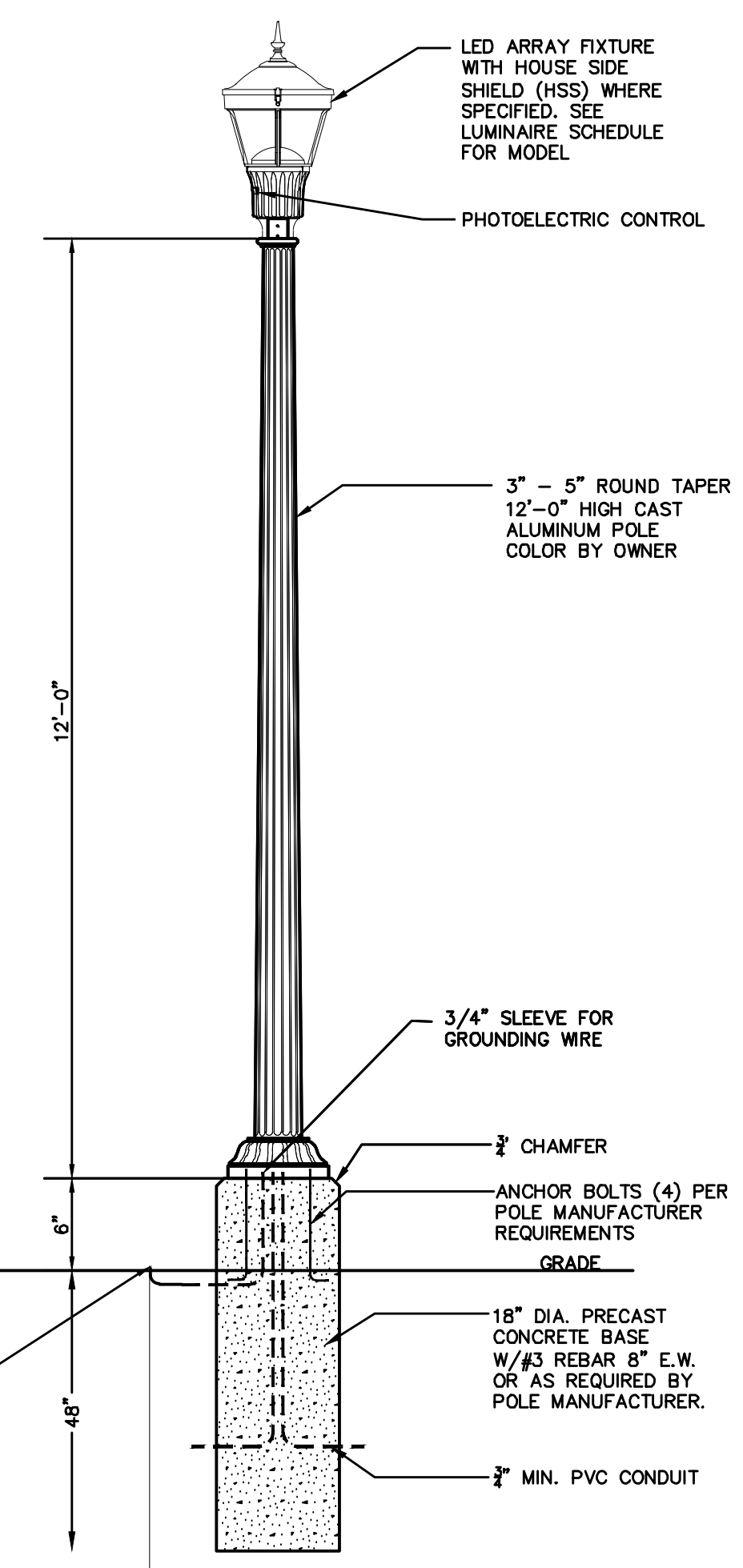
	EXISTING SITE BOUNDARY LINE
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	PROPOSED WALKWAY
	PROPOSED SEGMENTED RETAINING WALL
	PROPOSED FENCE
	PROPOSED GUIDE RAIL
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED STREET LIGHT
	PHOTOMETRIC POINT (FOOT-CANDLES)

REV.	DATE	DESCRIPTION

Thomas B. Olley, PE, PLLC

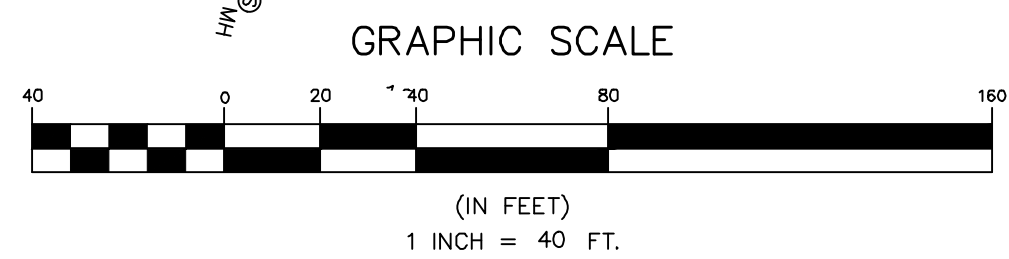
THOMAS B. OLLEY, PE, PLLC
 ENGINEERS AND PLANNERS
 12 ORANGE AVENUE
 WALKER, NY 12886
 PHONE: (607) 78-5338
 FAX: (607) 78-1817

LIGHTING PLAN
GARDNER RIDGE
 GARDNERTOWN ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, NY
 SHEET NO.
18 OF 18
 DATE: DECEMBER 4, 2023
 FILE NO.



PARKING & ROADWAY LUMINAIRE
 NOT TO SCALE

- LIGHTING NOTES:**
1. THE PHOTOMETRIC PLAN SHOWN HERE IS BASED UPON CALCULATIONS PERFORMED BY ACUTY DESIGN SERVICES. HOLOPHANE IS AN ACUTY LIGHTING BRAND.
 2. THE PHOTOMETRIC POINTS SHOWN ARE BASED UPON THE TOTAL LIGHT LOSS FACTURE AT SURFACE ELEVATIONS.
 3. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRIC CODE (NEC) STANDARDS.
 4. ANY LIGHTING FIXTURE SUBSTITUTIONS AND OR CHANGES TO LIGHTING FIXTURES, FIXTURE LOCATION AND TO FIXTURE ORIENTATION THAT RESULT IN CHANGES IN ILLUMINATION LEVELS MUST BE SUBMITTED TO AND APPROVED BY THE TOWN OF NEWBURGH.
 5. SITE LIGHTING CIRCUITRY AND METERING MUST BE COORDINATED WITH THE ARCHITECTURAL PLANS AND WITH CENTRAL HUDSON GAS AND ELECTRIC COMPANY, AS NEEDED.
 6. LIGHTING CIRCUITS SHALL BE INSTALLED IN CONDUIT.



LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	LUMENS	LLF	DESCRIPTION	POLE HEIGHT
A	28	A	5211	0.9	HOLOPHANE TAFT LED POST-TOP FULL CUTOFF LANTERN 40W 4000 SERIES CCT TYPE 4 DISTRIBUTION ZERO UPLIGHT NO GLASS NO HSS	12'
B	9	B	5706	0.9	HOLOPHANE TAFT LED POST-TOP FULL CUTOFF LANTERN 40W 4000 SERIES CCT TYPE 3 DISTRIBUTION ZERO UPLIGHT NO GLASS NO HSS	12'
A1	20	C	7503	0.9	HOLOPHANE TAFT LED POST-TOP FULL CUTOFF LANTERN 60W 4000 SERIES CCT TYPE 4 DISTRIBUTION ZERO UPLIGHT NO GLASS NO HSS	12'
A2	14	D	4017	0.9	HOLOPHANE TAFT LED POST-TOP FULL CUTOFF LANTERN 30W 4000 SERIES CCT TYPE 3 DISTRIBUTION ZERO UPLIGHT NO GLASS NO HSS	12'

STATISTICS

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
ENTRANCE ROADWAY	X	1.7 FC	4.0 FC	0.6 FC	6.7:1	2.8:1
SENIOR APARTMENTS PARKING	X	1.1 FC	3.8 FC	0.0 FC	999.0:1	999.0:1
MAIN PARKING AND ROADWAY	□	1.9 FC	3.9 FC	0.3 FC	13.0:1	6.3:1
RECREATION PARKING	X	0.7 FC	1.9 FC	0.1 FC	19.0:1	7.0:1
OVERALL SITE		0.3 FC	4.0 FC	0.0 FC	N/A	N/A