



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: FROZEN RIDGE VILLAS SUBDIVISION
PROJECT NO.: 2021-25
PROJECT LOCATION: SECTION 6, BLOCK 1, LOT 43.5
REVIEW DATE: 29 SEPTEMBER 2021
MEETING DATE: 7 OCTOBER 2021
PROJECT REPRESENTATIVE: ARDEN CONSULTING ENGINEERS, PLLC/MICHAEL MORGANTE

1. The plans depict a roadway terminating at the property line without depicting an extension to a public street. Ownership of the offsite property and legal documents allowing for the construction and continuation of a private road onto the adjoining parcels must be provided for the Planning Board Attorney's review.
2. Stormwater management facilities are depicted on private properties. Long-term operation and maintenance of these facilities should be addressed.
3. The EAF identifies NYSDEC regulated wetlands on the site. Jurisdictional determination from NYSDEC should be provided.
4. Construction of stormwater management facilities is identified within the NYSDEC adjacent area. NYSDEC does not permit construction of stormwater facilities within the adjacent area.
5. The applicant's representative requested to address Tax Lot 43.4. If Tax Lot 43.4 is part of the subdivision it should be included in the application materials.
6. A review of the EAF identifies that the project is located in Orange County AG District #1. The project will be a Type I Action due to the presence in the AG District. In addition, the project will disturb greater than 10-acres of property.
7. The EAF should identify a required permit from the US Army Corps of Engineers for wetland disturbance.
8. The EAF identifies an Item Ddii that the project is a cluster conservation subdivision. The project is laid out as a conventional subdivision.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhempa@mhepc.com

9. Section E of the EAF should be filled out regarding acreage.
10. Surveyor of Record should be referenced on the subdivision plan sheet.
11. The applicant sponsor has a different name than the record owner depicted on the plans and County records.
12. The subdivision sheet must be revised to depict ownership of all the lots to the centerline of the private roadway. Each lot must own a portion of the private roadway.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in cursive script, appearing to read "Patrick J. Hines".

Patrick J. Hines
Principal

PJH/dns

TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE

for

SUBDIVISIONS,

SITE PLANS,

LOT LINE CHANGES

And

SPECIAL EXCEPTION USE PERMITS

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Frozen Ridge Villas Subdivision

2. Owner of Lands to be reviewed:

Name NYCER Frozen Ridge Villas LLC [Muhammed Parves]
Address 124-14 Metropolitan Avenue, Kew Gardens, NY 11415
Phone 1 (212) - 671 - 0721

3. Applicant Information (If different than owner):

Name _____
Address _____
Representative _____
Phone _____
Fax _____
Email _____

4. Subdivision/Site Plan prepared by:

Name Arden Consulting Engineers PLLC. (Michael Morgante)
Address P.O. Box 340 Monroe, NY 10949
Phone/Fax (845) - 782 - 8114

5. Location of lands to be reviewed:

Frozen Ridge Road, Newburgh, NY 12550

6. Zone AR **Fire District** Newburgh
Acreage 64.5 acres **School District** Marlboro School District

7. Tax Map: Section 6 **Block** 1 **Lot** 43.5

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 22
Lot line change N/A
Site plan review N/A
Clearing and grading Clearing & grading is required for this subdivision
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) There is a C.H.G.&E & N.Y. telephone 50' easement & R.O.W.

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature *mkish* Title Monica Kishowar

Date: July 29 2021

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Frozen Ridge Villas Subdivision

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. X **Surveyor,s Certification**
12. X **Surveyor's seal and signature**
13. X **Name of adjoining owners**
14. X **Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements**
15. X **Flood plain boundaries**
16. X **Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989**
17. X **Metes and bounds of all lots**
18. X **Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street**
19. X **Show existing or proposed easements (note restrictions)**
20. X **Right-of-way width and Rights of Access and Utility Placement**
21. X **Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)**
22. X **Lot area (in sq. ft. for each lot less than 2 acres)**
23. X **Number of lots including residual lot**
24. X **Show any existing waterways**
25. X **A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable**
26. X **Applicable note pertaining to owners review and concurrence with plat together with owner's signature**
27. X **Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.**
28. X **Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided**
29. X **Show topographical data with 2 or 5 ft. contours on initial submission**

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. X If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. TBD Number of acres to be cleared or timber harvested
33. TBD Estimated or known cubic yards of material to be excavated and removed from the site
34. TBD Estimated or known cubic yards of fill required
35. TBD The amount of grading expected or known to be required to bring the site to readiness
36. X Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: Arden Consulting Engineers PLLC. (Michael Morgante)
Licensed Professional

Date: 7/26/21

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: NYCER Frozen Ridge Villas LLC

Name of owner on premises: NYCER Frozen Ridge Villas LLC

Address of owner: 124-14 Metropolitan Avenue, Kew Gardens, NY 11415

Telephone number of owner: 1 (212) - 671 - 0721

Telephone number of applicant: 1 (212) - 671 - 0721

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Owner

Location of land on which proposed work will be done: Frozen Ridge Road, Newburgh, NY 12550

Section: 6 **Block:** 1 **Lot:** 43.5 **Sub. Div.:** 22 lots

Zoning District of Property: AR **Size of Lot:** 0.92 acres - 10.30 acres

Area of lot to be cleared or graded: 20 acres

Proposed completion of date: TBD

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: *mkish* here **Date:** July 29, 2021

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ **20** _____

Approved: _____ **20** _____

Disapproved: _____ **20** _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

NYCER Frozen Ridge Villas LLC [Muhammed Parves]

APPLICANT'S NAME (printed)

mkish

APPLICANTS SIGNATURE

July 29, 2021

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) NYCER Frozen Ridge Villas LLC, **DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 124-14 Metropolitan Avenue

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF Section 6, Block 1, Lot 43.5 in the Town
of Newburgh.

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND Arden Consulting Engineers, PLLC **IS AUTHORIZED**

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: July 29 2021

mkish
OWNERS SIGNATURE

Monica Kishowar
OWNERS NAME (printed)

mparvez
WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

Mohammad Parvez
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

July 29 2021

DATED

Monica Kishwar

APPLICANT'S NAME (printed)

mkish

APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X NONE

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

 TOWN BOARD
 X **PLANNING BOARD**
 ZONING BOARD OF APPEALS
 ZONING ENFORCEMENT OFFICER
 BUILDING INSPECTOR
 OTHER

July 29 2021
DATED

_____ **INDIVIDUAL APPLICANT**

Monica Kishwar
CORPORATE OR PARTNERSHIP APPLICANT

BY: mkish
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: NYCER Frozen Ridge Villas LLC
124-14 Metropolitan Avenue, Kew Gardens, NY 11415

Description of the proposed project: 22 lot subdivision to be served by a private road ,
septic systems and individual drilled wells.

Location of the proposed project: Frozen Ridge Road, Newburgh, NY 12550

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: N/A

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

mkish

APPLICANT'S SIGNATURE

July 29 2021

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 7/6/2021

NAME OF PROJECT: Frozen Ridge Villas Subdivision

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Wood

COLOR OF THE EXTERIOR OF BUILDING:

Natural earth tone colors

ACCENT TRIM:

Location: Windows, doors, eaves

Color: White

Type (material): TBD

PARAPET (all roof top mechanicals are to be screened on all four sides):

N/A

ROOF:

Type (gabled, flat, etc.): Gabled

Material (shingles, metal, tar & sand, etc.): Shingles

Color: Grays, black, browns

WINDOWS/SHUTTERS:

Color (also trim if different): Grays, black, browns

Type: TBD

DOORS:

Color: White, black, grays, browns

Type (if different than standard door entrée): Standard

SIGN:

Color: N/A

Material: _____

Square footage of signage of site: _____

Owner: NYCER Frozen Ridge Villas LLC [Muhammed Parves]

Please print name and title (owner, agent, builder, superintendent of job, etc.)

mkish

Signature

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

ARDEN CONSULTING ENGINEERS, PLLC

September 16, 2021

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Frozen Ridge Villas Subdivision
Frozen Ridge Road
Newburgh, NY 12550
SBL: 6-1-43.5
Project # TBD

Project Narrative

Hon. John P. Ewasutyn & Planning Board Members:

The existing 64.5-acre parent parcel located off of Frozen Ridge Road is currently a vacant parcel. The parcel is located within the AR Zoning District and a twenty-four (24) lot subdivision is being proposed. The proposed project is located within the AR Zoning District and currently meets the required bulk zoning requirements.

The proposed lots will be served by individual drilled wells and subsurface sewage disposal systems. Stormwater management facilities are proposed to meet the requirements of NYSDEC General Permit for Stormwater Discharges from Construction Activity GP-0-20-001. Each lot will have driveway access onto two proposed private roads. One of the roads will have access directly onto Frozen Ridge Road while the second road will connect to the existing Gandolfo Drive which ultimately connects to Frozen Ridge Road also. The purpose for the two separate private roads is to avoid crossing the large DEC wetland and flood zone located within the subject parcel.

We look forward to being placed on the next available Planning Board agenda to discuss this matter.

Please do not hesitate to contact me if you have questions or concerns.

Sincerely,

Arden Consulting Engineers, PLLC



Michael A. Morgante, P.E.

C:\Users\Michael\Dropbox\JOBS\21-012 Frozen Ridge Road\APPLICATION\Project Narrative 9-16-21.doc

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ _____
E.2. Natural Resources On or Near Project Site
a. What is the average depth to bedrock on the project site? _____ feet
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %
d. What is the average depth to the water table on the project site? Average: _____ feet
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained: _____ % of site
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____
h. Surface water features. <ul style="list-style-type: none"> i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <ul style="list-style-type: none"> iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <ul style="list-style-type: none"> i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

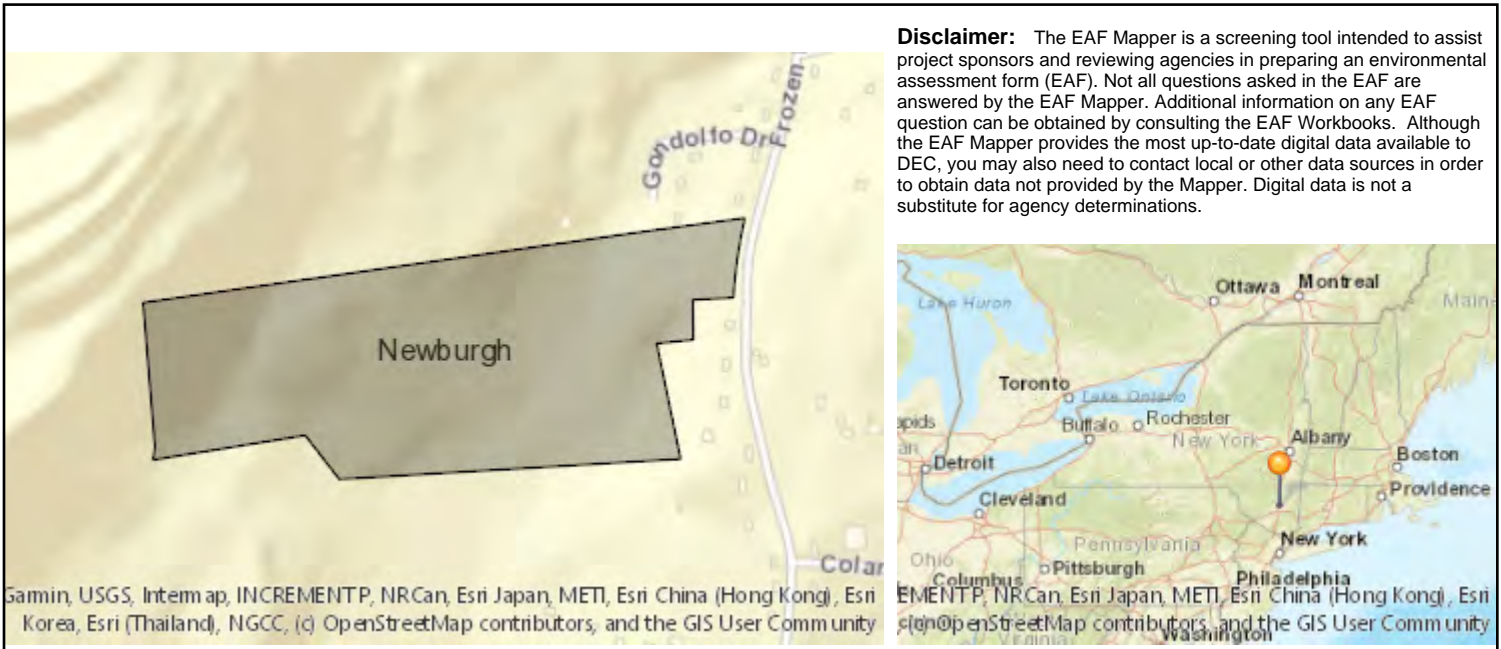
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

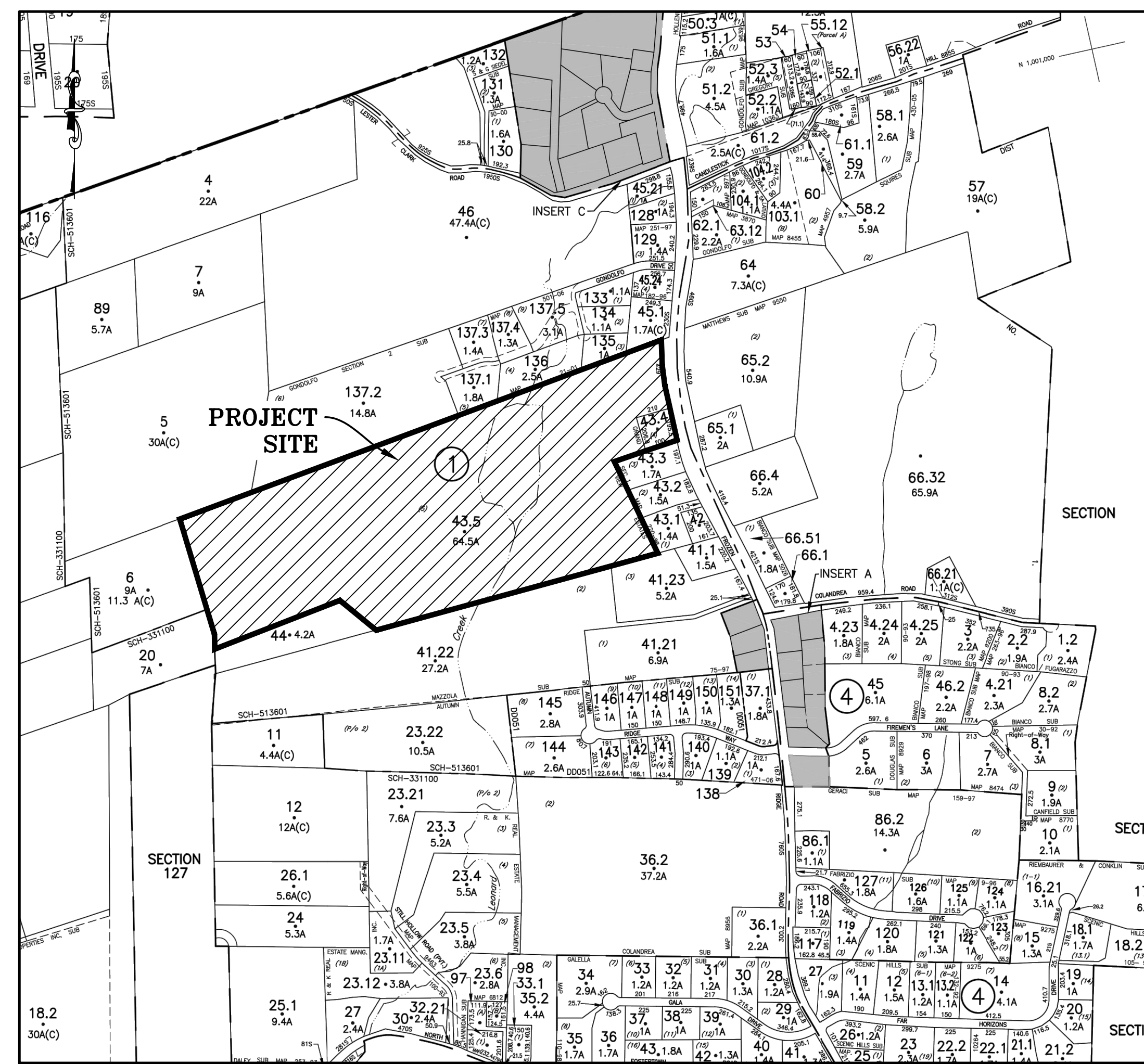
Signature  Title _____



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	862-215
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters, NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):38.1
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	NB-9
E.2.h.v [Impaired Water Bodies]	No

E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	ORAN001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

FROZEN RIDGE VILLAS SUBDIVISION FROZEN RIDGE ROAD TOWN OF NEWBURGH – ORANGE COUNTY, NY



LOCATION MAP
SCALE: 1"=600'
SOURCE: TAX MAPS

RECORD OWNER AND APPLICANT:

365FR INC.
321 ROUTE 59 #313
TALLMAN NY 10982

GENERAL NOTES:

- TAX MAP IDENTIFICATION NUMBER: TOWN OF NEWBURGH 6-1-43.5
- TOTAL AREA: 64.3 ± ACRES OF 2,809,621.8 SF
- OFFSETS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- BOUNDARY, TOPOGRAPHY, WETLANDS & PLANIMETRICS ARE TAKEN FROM A MAP ENTITLED "BOUNDARY & WETLANDS SURVEY OF THE LANDS OF 365FR INC." DATED JANUARY 11, 2020 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC.

REFERENCES:

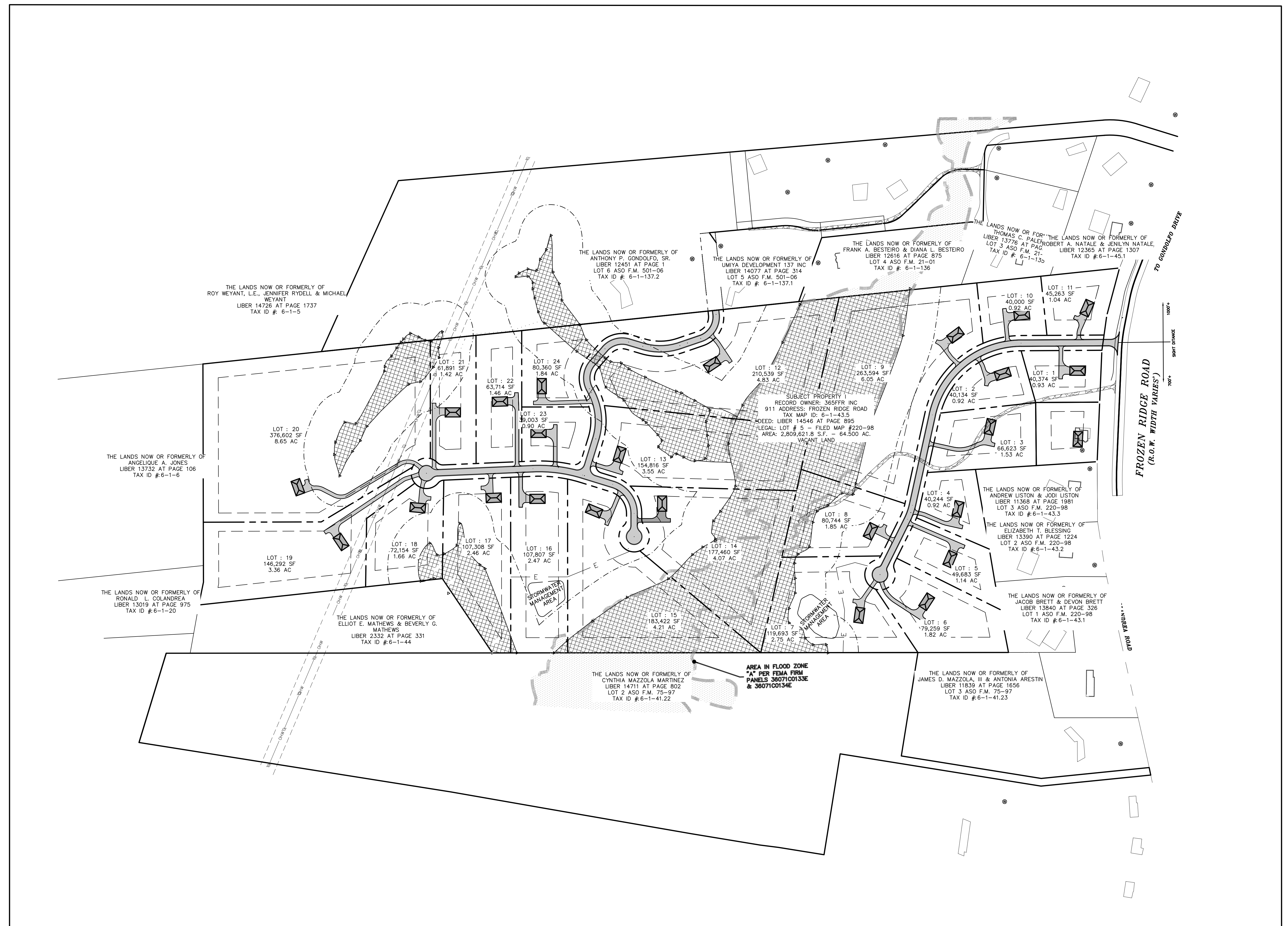
- THE OFFICIAL TAX ASSESSOR MAPS FOR THE TOWN OF NEWBURGH, ORANGE COUNTY, NY
- VARIOUS DEEDS OF RECORD AS NOTED ON THE PLANS
- A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR GANDOLFO, SECTION II", FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 7, 2008 AS FILED MAP NO. 501-06
- A MAP ENTITLED "FINAL MAP OF SUBDIVISION OF SECTION I OF GRAND VIEW ESTATES", FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 18, 1998 AS FILED MAP NO. 220-98
- A MAP ENTITLED "SUBDIVISION OF PLAN LANDS OF MARLENE MOZZOLA & JAMES MOZZOLA, JR.", FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON APRIL 7, 1997 AS FILED MAP NO. 75-97
- FEMA FLOOD PANEL, 30071C0134E

SURVEY REFERENCES:

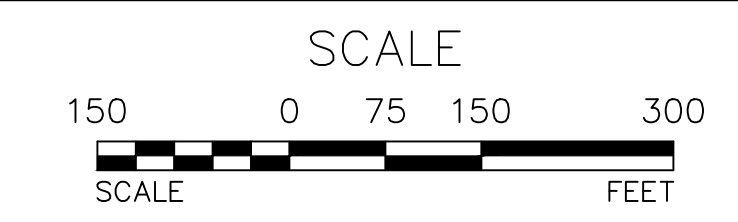
- UNAUTHORIZED ALTERATION OF AN ITEM IN ANY WAY, OR ADDITION TO A SURVEY MAP FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- CERTIFICATIONS ON THE SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THIS CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THE SURVEY MAP.
- THESE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.
- THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- THIS SURVEY IS SUBJECT TO THE FINDINGS OF A TITLE REPORT AND/OR TITLE SEARCH.
- SURVEYED AS PER DEEDS, PRIOR SURVEY MAPS, FILED MAPS AND/OR PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND AT THE SITE.
- SUBJECT TO ANY CONDITIONS, RESTRICTIONS, COVENANTS AND/OR RIGHT OF WAY EASEMENTS OF RECORD, IF ANY.

DRAWING LIST

SHEET #	SHEET TITLE	ORIGINAL DATE/ LAST REVISED DATE
01 OF 06	TITLE SHEET	08-30-21/
02 OF 06	EXISTING CONDITIONS MAP	08-30-21/
03 OF 06	CONCEPT SUBDIVISION PLAN-SCALE 1:100	08-30-21/
04 OF 06	CONCEPT SUBDIVISION PLAN 1	08-30-21/
05 OF 06	CONCEPT SUBDIVISION PLAN 2	08-30-21/
06 OF 06	DRIVEWAY PROFILE	08-30-21/



TITLE SHEET
SCALE: 1"=150'



REVISION	BY	DATE	DESCRIPTION

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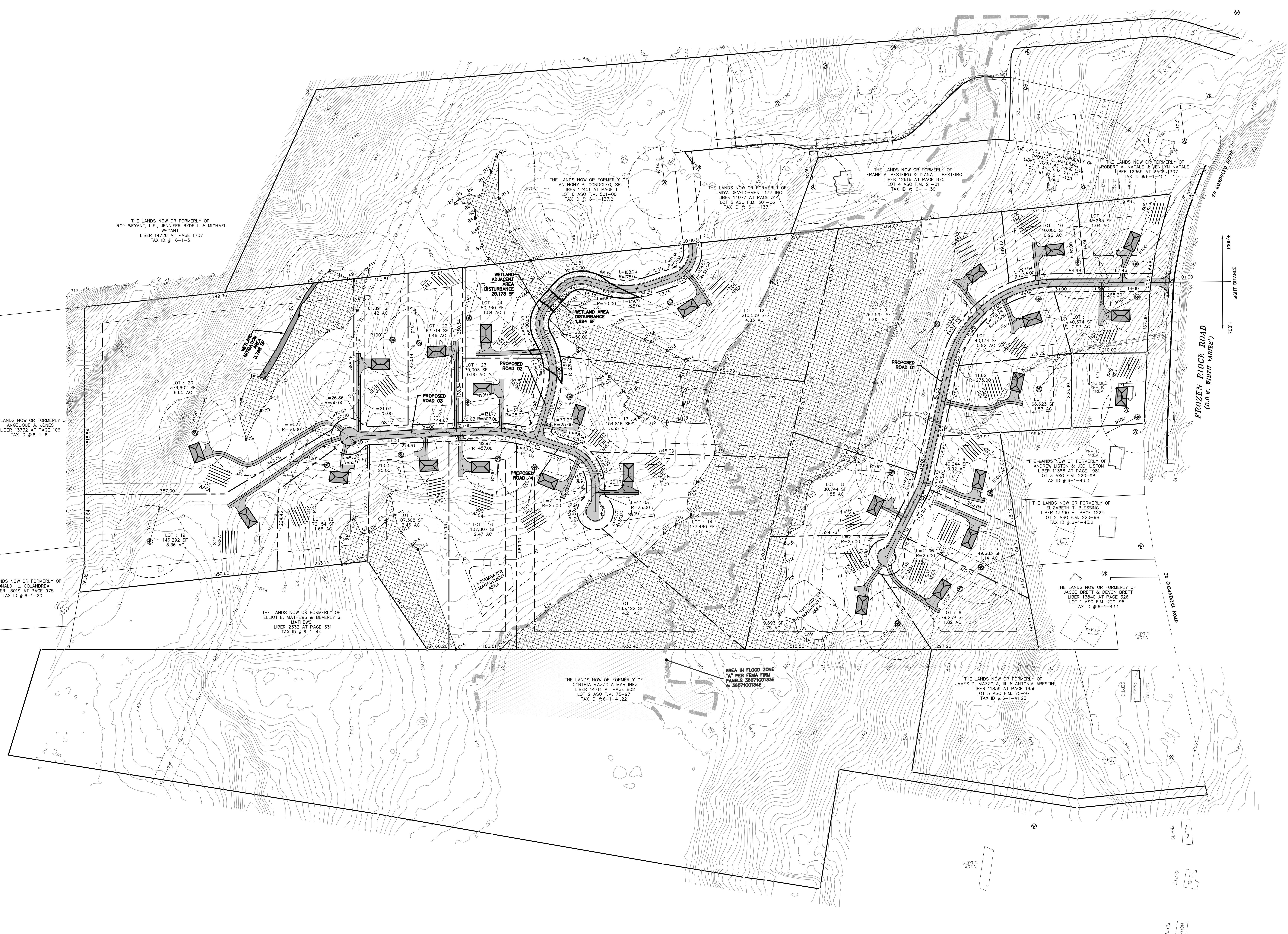
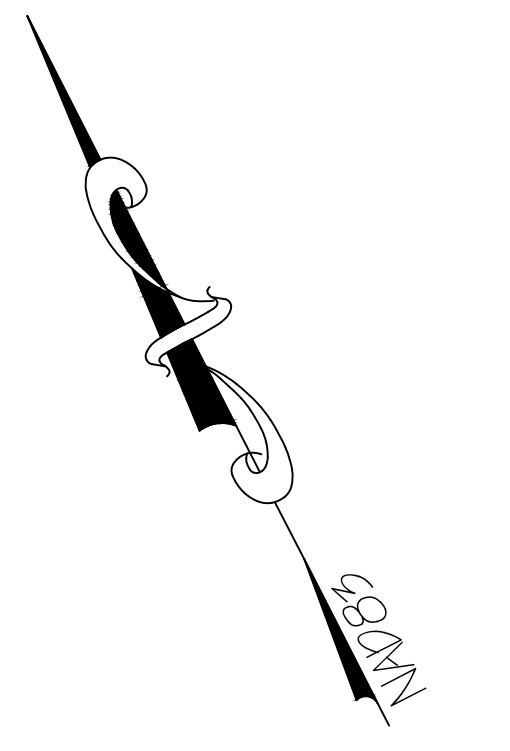
FROZEN RIDGE VILLAS SUBDIVISION
FROZEN RIDGE ROAD
TOWN OF NEWBURGH – ORANGE COUNTY, NY

TITLE SHEET

DATE: 21-01-21	SCALE: AS NOTED
DATE: 08-30-21	DRAWN: MM
CHECKED: MM	DATE: 01 OF 06

MICHAEL A. MORGENTHAU, P.E.
LIC. NO. 78577

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THE LANDS NOW OR FORMERLY OF
ROY WEYANT, L.E., JENNIFER RYDELL & MICHAEL
WEYANT
LIBER 14726 AT PAGE 1737
TAX ID # 6-1-5

THE LANDS NOW OR FORMERLY OF
ANGELIQUE A. JONES
LIBER 13732 AT PAGE 106
TAX ID # 6-1-8

THE LANDS NOW OR FORMERLY OF
RONALD L. COLANDREA
LIBER 13019 AT PAGE 975
TAX ID # 6-1-20

THE LANDS NOW OR FORMERLY OF
ELIOT E. MATHEWS & BEVERLY G.
MATHEWS
LIBER 2332 AT PAGE 331
TAX ID # 6-1-44

THE LANDS NOW OR FORMERLY OF
CYNTHIA MAZZOLA MARTINEZ
LIBER 14711 AT PAGE 802
LOT 2 ASO F.M. 75-97
TAX ID # 6-1-47.22

AREA IN FLOOD ZONE
"A" PER FEMA FIRMA
PANELS 300710035E
& 3007100134E

THE LANDS NOW OR FORMERLY OF
FRANK A. BISTERO & WIANA I. BISTERO
LIBER 12616 AT PAGE 875
LOT 4 ASO F.M. 21-01
TAX ID # 6-1-136

THE LANDS NOW OR FORMERLY OF
THOMAS C. RAJENY OF
LIBER 13776 AT PAGE 23
LOT 3 ASO F.M. 21-01
TAX ID # 6-1-135

THE LANDS NOW OR FORMERLY OF
ROBERT A. NATALE & JENNY NATALE
LIBER 12365 AT PAGE 1027
TAX ID # 6-1-45.1

THE LANDS NOW OR FORMERLY OF
ANDREW LUSTON & JOE LUSTON
LIBER 1368 AT PAGE 189
LOT 3 ASO F.M. 220-98
TAX ID # 6-1-43.3

THE LANDS NOW OR FORMERLY OF
ELIZABETH T. BLESSING
LIBER 13390 AT PAGE 1224
LOT 1 ASO F.M. 220-98
TAX ID # 6-1-43.2

THE LANDS NOW OR FORMERLY OF
JACOB BRETT & DEVON BRETT
LIBER 13640 AT PAGE 326
LOT 1 ASO F.M. 220-98
TAX ID # 6-1-44.3

THE LANDS NOW OR FORMERLY OF
JAMES D. MAZZOLA, III & ANTONIA ARESTIN
LIBER 11819 AT PAGE 1656
LOT 3 ASO F.M. 75-97
TAX ID # 6-1-41.23

CONCEPT SUBDIVISION PLAN—SCALE 100

SCALE: 1"=100'

LEGEND:

---	490	EXISTING MAJOR CONTOUR
---		EXISTING MINOR CONTOUR
---		EXISTING EDGE OF PAVEMENT
---		EXISTING PROPERTY LINE
---		EXISTING ADJACENT PROPERTY LINE
---		EXISTING STONE WALL
---		EXISTING OVERHEAD LINE
---		EXISTING EASEMENT
---		EXISTING STREAM
---		EXISTING NYSDEC WETLAND
---		100' ADJACENT AREA
---		EXISTING DRAINAGE PIPE
---		EXISTING TREELINE
---		EXISTING GRAVEL DRIVE
---		EXISTING UTILITY POLE
---		EXISTING IRON ROD PIPE
---		EXISTING SOIL LINE
---		PROPOSED SETBACK LINE
---		PROPOSED EDGE OF PAVEMENT
---		PROPOSED PROPERTY LINE
---		PROPOSED STORMWATER EASEMENT
---		PROPOSED WETLAND MITIGATION

TABLE OF ZONING REQUIREMENTS:

AR DISTRICT
SINGLE-FAMILY DWELLINGS, NOT TO EXCEED
1 DWELLING UNIT PER LOT
LOTS TO BE SERVED BY INDIVIDUAL WELLS & SEPTIC SYSTEMS

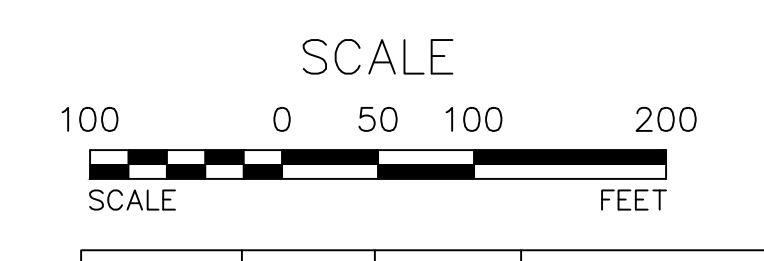
LOT DIMENSIONS

BULK TABLE: (MINIMUMS)

LOT AREA (AC)	40,000 SF
LOT WIDTH (FEET)	150'
LOT DEPTH (FEET)	150'
FRONT YARD (FEET)	50'
REAR YARD (FEET)	50'
ONE SIDE YARD (FEET)	30'
BOTH SIDE YARDS (FEET)	80'
HABITABLE FLOOR AREA PER DWELLING UNIT	900 SF

BULK TABLE: (MAXIMUMS)

BUILDING HEIGHT (FEET)	35'
LOT BUILDING COVERAGE	10%
LOT SURFACE COVERAGE	20%



REVISION	BY	DATE	DESCRIPTION

- NOTES:**
1. A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
 2. TOWN BOARD APPROVAL OF PRIVATE ROAD NAME IS REQUIRED.
 3. NO TOWN SERVICES WILL BE PROVIDED FOR A PRIVATE ROAD AND A STREET SIGN (PER TOWN SPEC) IS TO BE FURNISHED AND INSTALLED.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGEND AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

OWNER'S SIGNATURE _____

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
T: 845-782-8114 E: MAM@ARDENCONSULTING.NET

FROZEN RIDGE VILLAS SUBDIVISION
FROZEN RIDGE ROAD
TOWN OF NEWBURGH - ORANGE COUNTY, NY

CONCEPT SUBDIVISION
PLAN—SCALE 100

DATE: 01-01-2021
SCALE: AS NOTED
DATE: 08-30-21
DRAWN: MM
CHECKED: MM
SHEET NO. 03 OF 06

MICHAEL A. MORGENTHAU, P.E.
LIC. NO. 78577

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THE LANDS NOW OR FORMERLY OF
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MATHEWS
LIBER 2332 AT PAGE 331
TAX ID # 6-1-44

CONCEPT SUBDIVISION PLAN 1

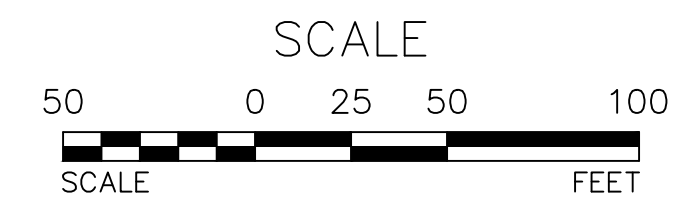
SCALE: 1"=50'

LEGEND:

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING OVERHEAD LINE
	EXISTING EASEMENT
	EXISTING STREAM
	EXISTING NYSDEC WETLAND
	100' ADJACENT AREA
	EXISTING DRAINAGE PIPE
	EXISTING TREELINE
	EXISTING GRAVEL DRIVE
	EXISTING UTILITY POLE
	EXISTING IRON ROD PIPE
	EXISTING SOIL LINE
	PROPOSED SETBACK LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED PROPERTY LINE
	PROPOSED STORMWATER EASEMENT
	PROPOSED WETLAND MITIGATION

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FROZEN RIDGE VILLAS SUBDIVISION
FROZEN RIDGE ROAD
TOWN OF NEWBURGH - ORANGE COUNTY, NY

CONCEPT SUBDIVISION PLAN 1

DATE: 01-01-2021
SCALE: AS NOTED
DRAWN: MM
CHECKED: MM
SHEET NO. 04 OF 06

MICHAEL A. MORGENTHAU, P.E.
LIC. NO. 78577

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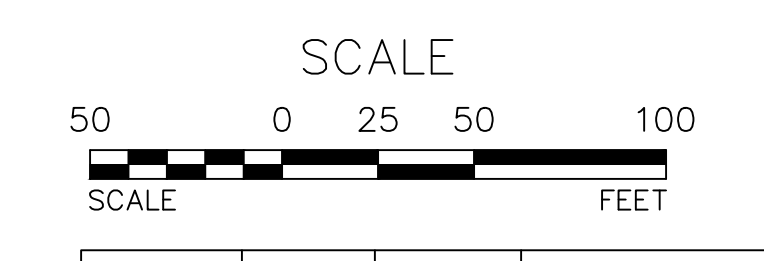
MATCH LINE SEE SHEET 06



CONCEPT SUBDIVISION PLAN 2
SCALE: 1"=50'

LEGEND:

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING OVERHEAD LINE
	EXISTING EASEMENT
	EXISTING STREAM
	EXISTING NYSDEC WETLAND
	100' ADJACENT AREA
	EXISTING DRAINAGE PIPE
	EXISTING TREELINE
	EXISTING GRAVEL DRIVE
	EXISTING UTILITY POLE
	EXISTING IRON ROD PIPE
	EXISTING SOIL LINE
	PROPOSED SETBACK LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED PROPERTY LINE
	PROPOSED STORMWATER EASEMENT
	PROPOSED WETLAND MITIGATION



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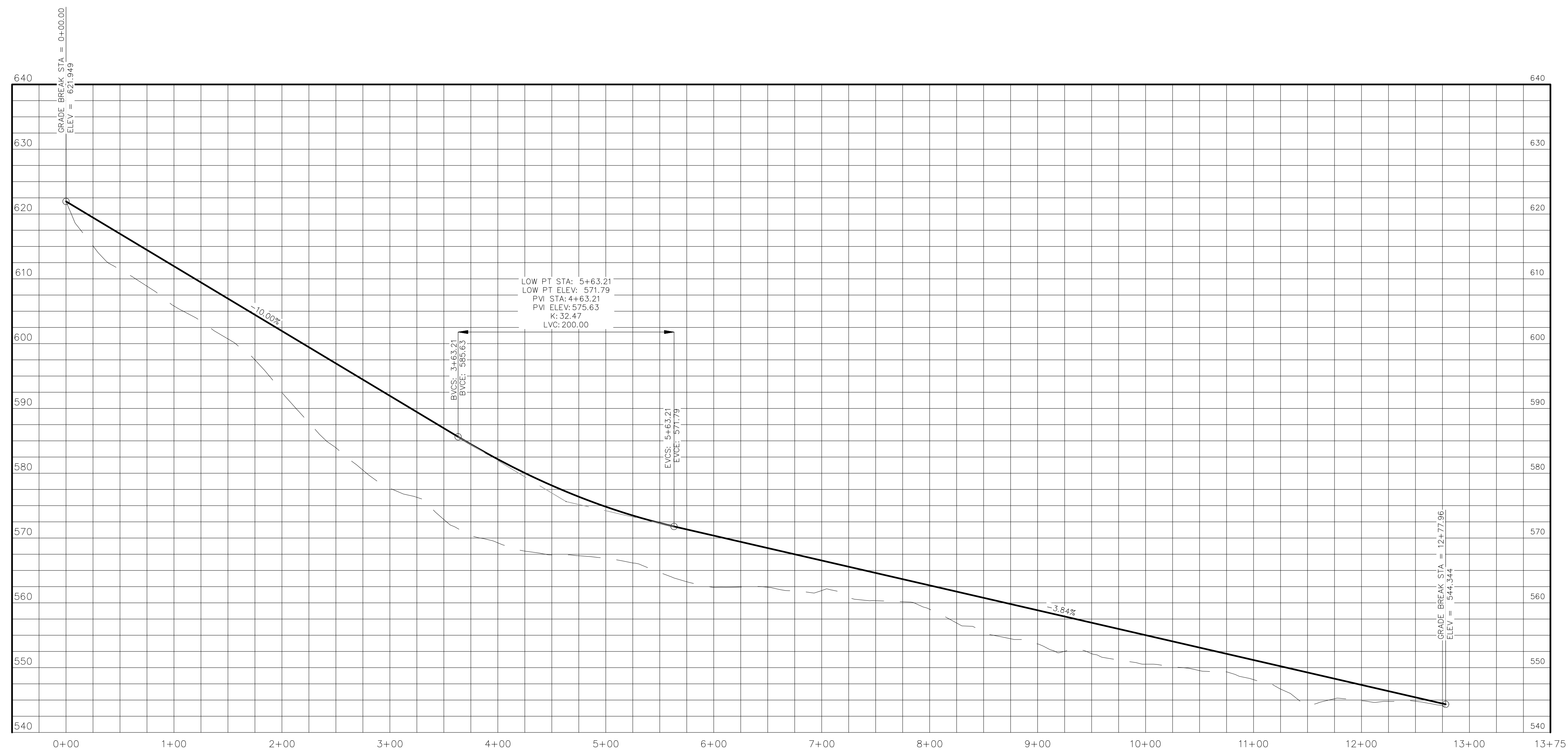
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DATE: 01-01-2021
SCALE: AS NOTED
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SHEET NO. 05 OF 06

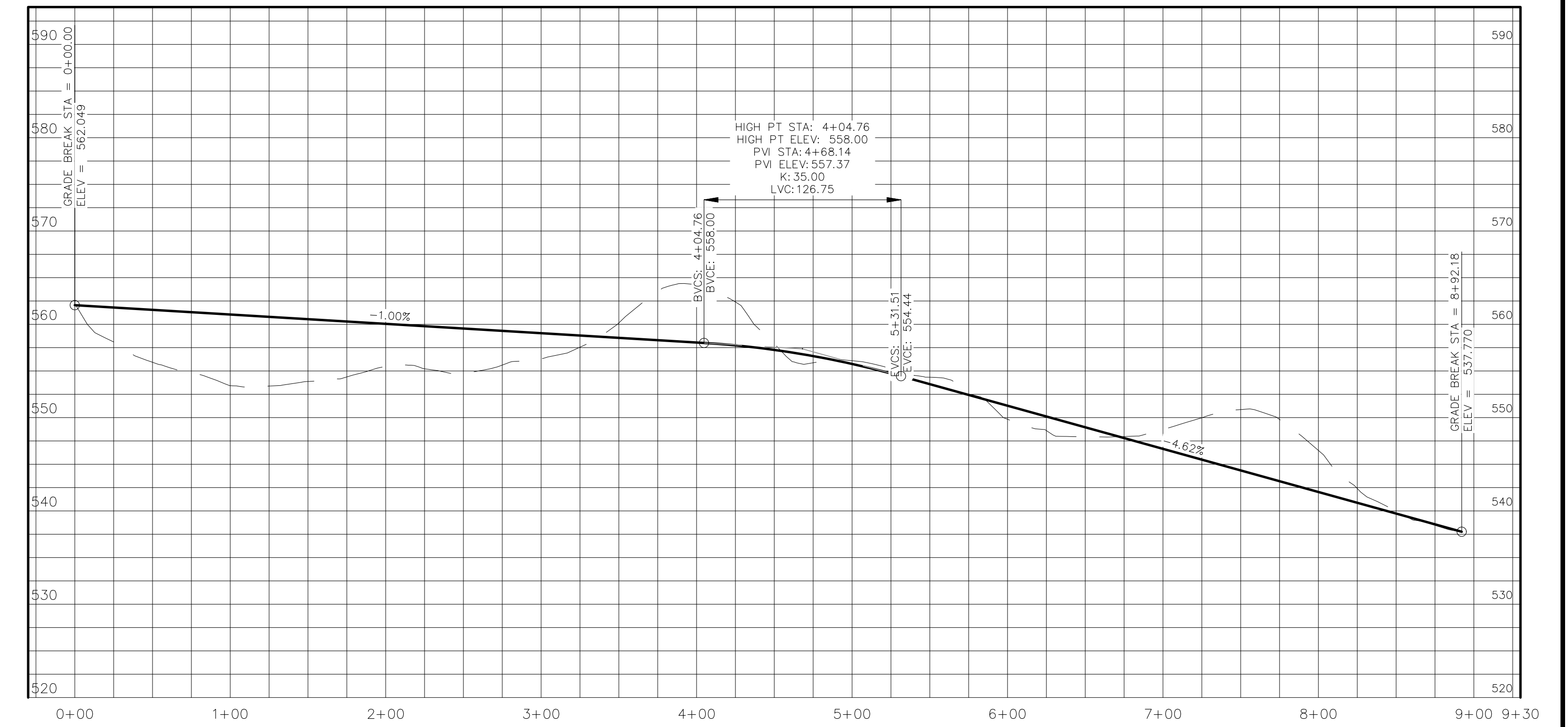
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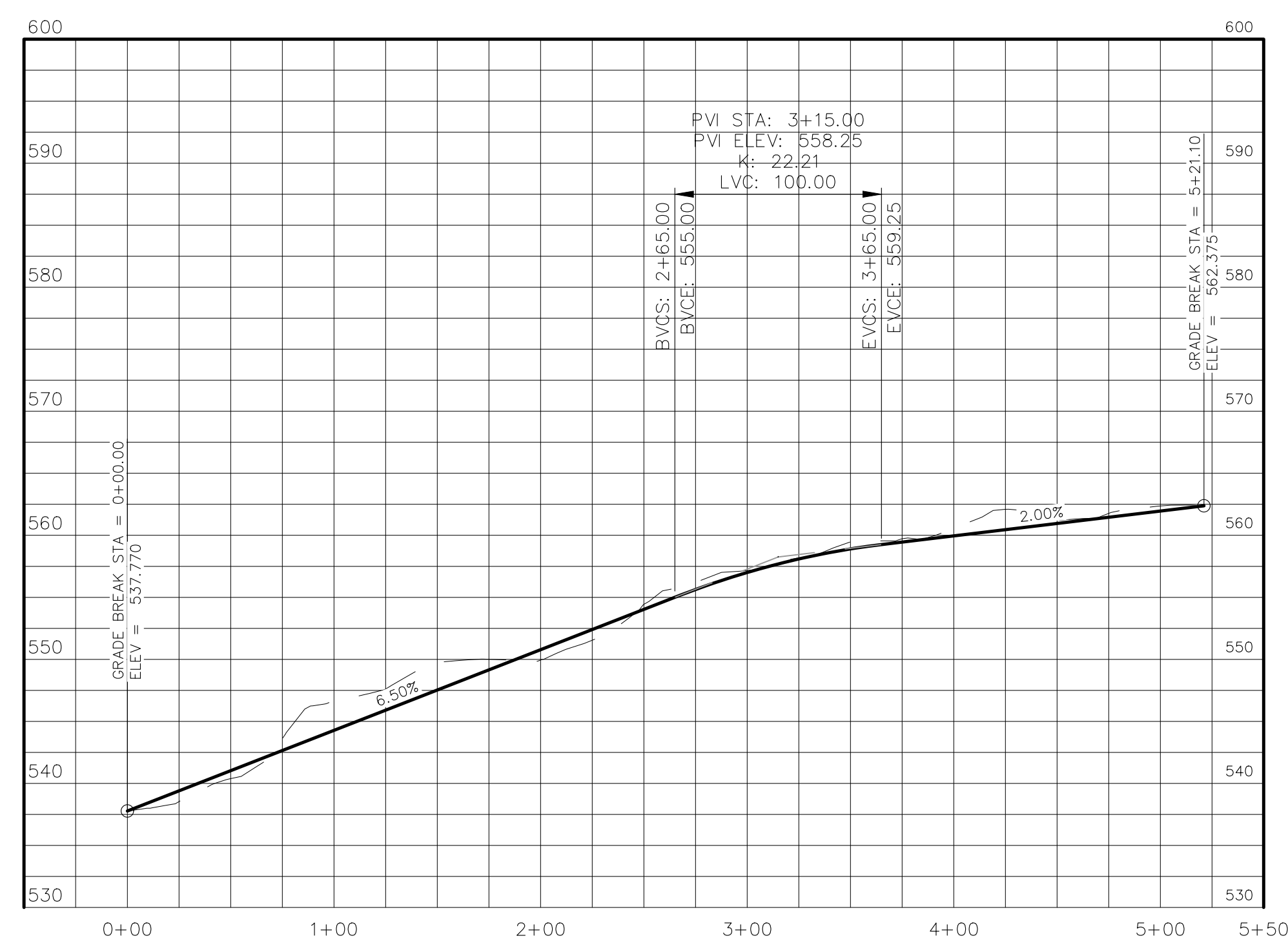
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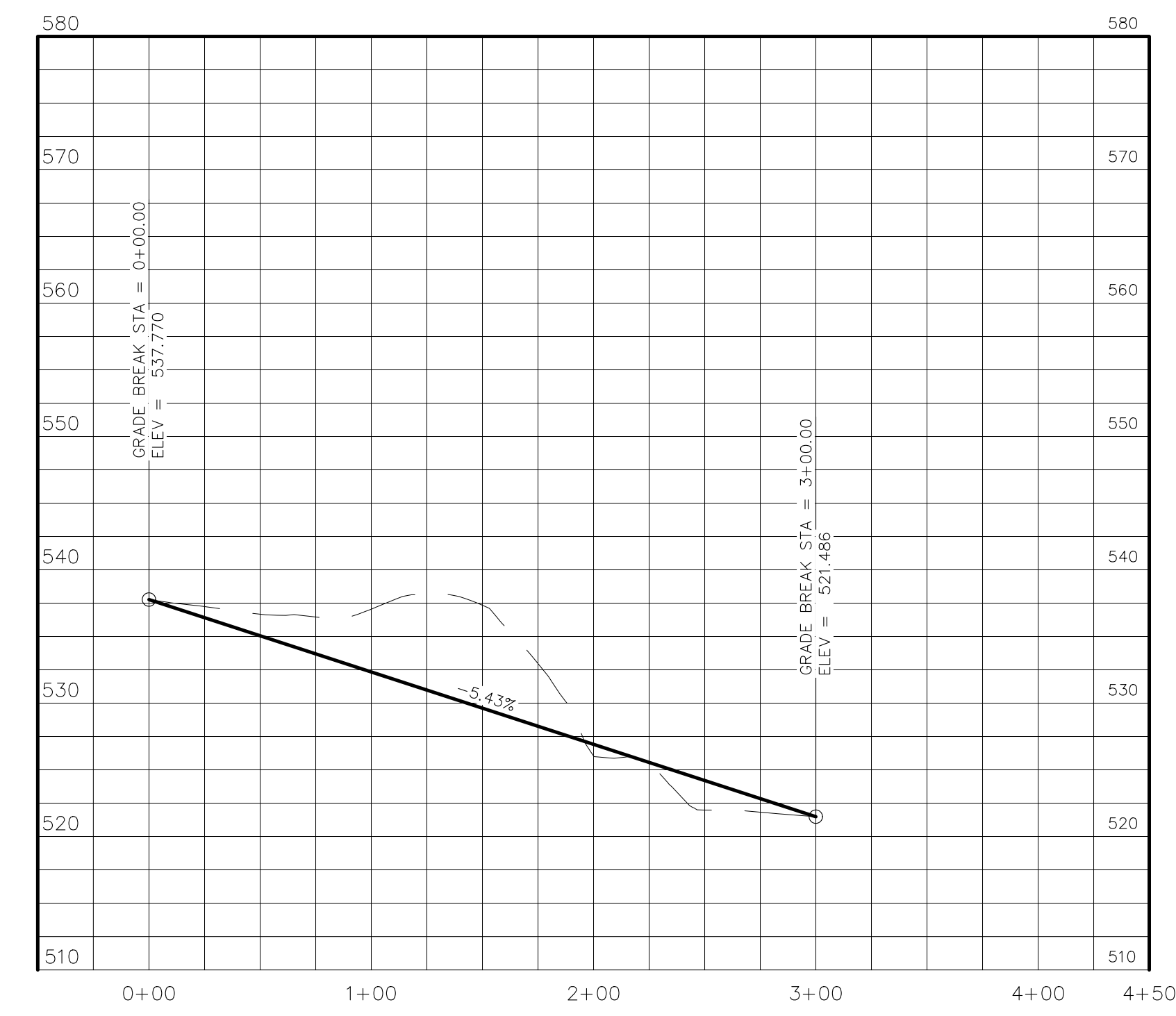
ROAD 01 PROFILE
 HORIZONTAL: 1"=60'
 VERTICAL: 1"=10'



ROAD 02 PROFILE
 HORIZONTAL: 1"=60'
 VERTICAL: 1"=10'



ROAD 03 PROFILE
 HORIZONTAL: 1"=60'
 VERTICAL: 1"=10'



ROAD 04 PROFILE
 HORIZONTAL: 1"=60'
 VERTICAL: 1"=10'

REVISION	BY	DATE	DESCRIPTION

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 FROZEN RIDGE ROAD
 TOWN OF NEWBURGH - ORANGE COUNTY, NY

DRIVEWAY PROFILE

JOB#: 21-015
 SCALE: AS NOTED
 DATE: 08-30-21
 DRAWN: MM
 CHECKED: MM
 SHEET NO. 06 OF 06

MICHAEL A. MORGANTE, P.E.
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