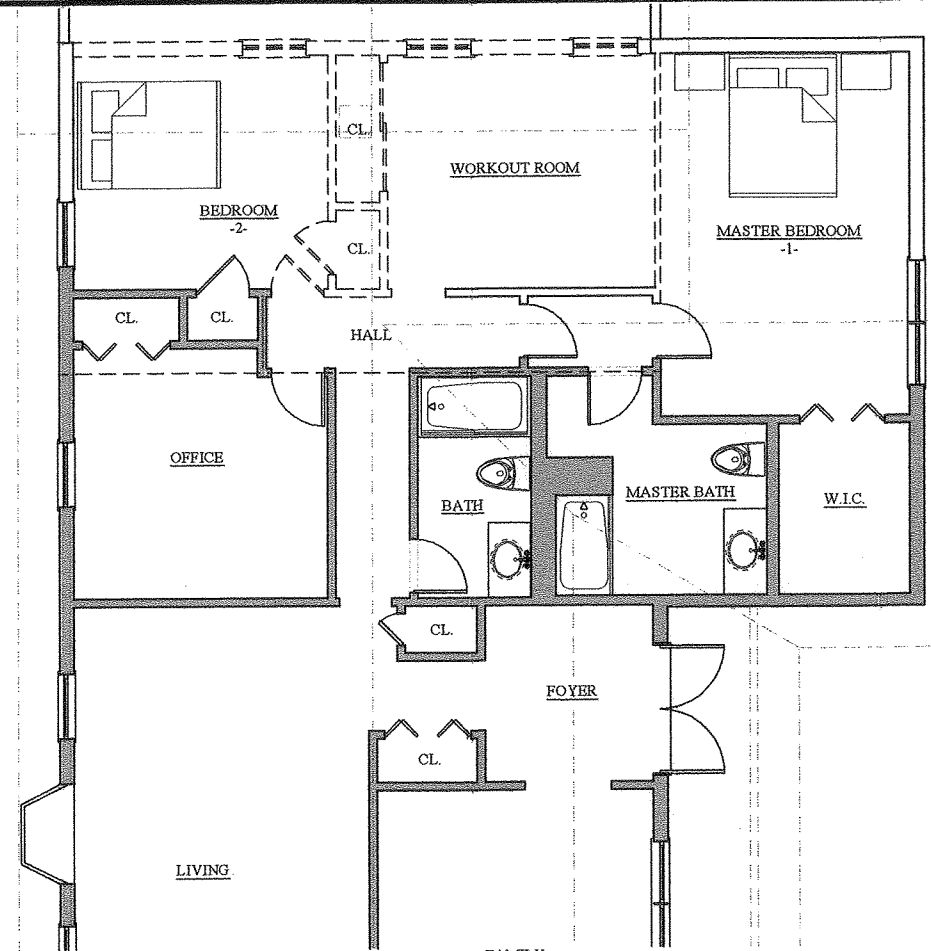
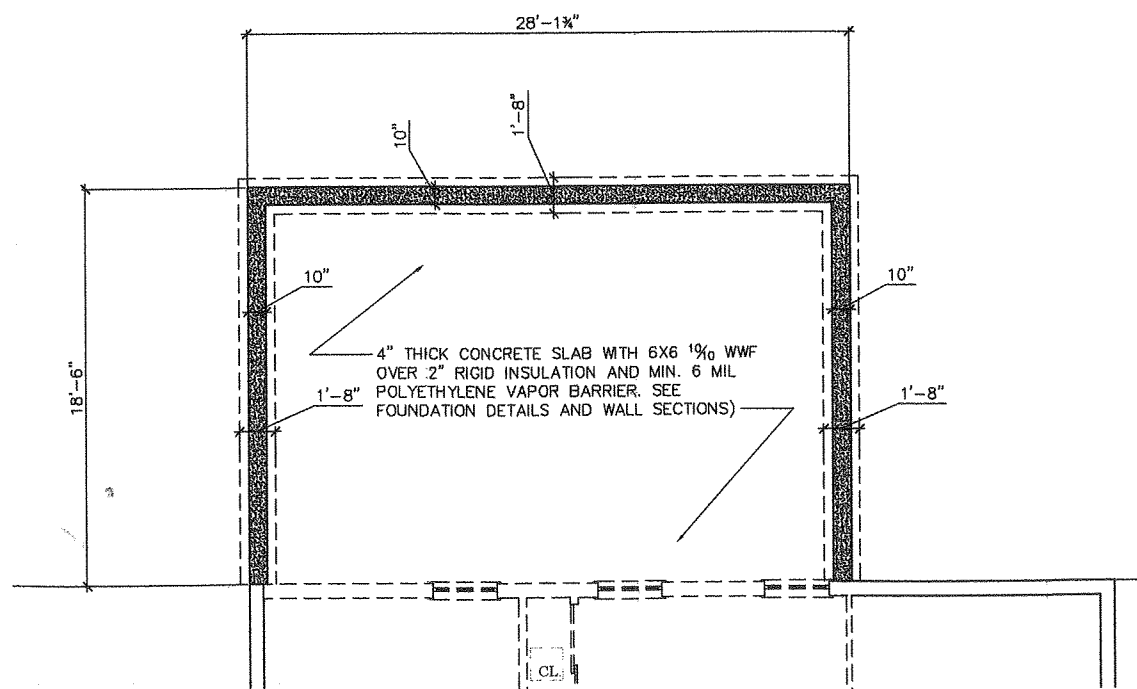


1 EXISTING FLOOR PLAN
A-0 1/4" = 1'-0"



2 DEMOLITION PLAN
A-0 1/4" = 1'-0"



3 FOUNDATION PLAN
A-0 1/4" = 1'-0"

Division 3 - Concrete Work

General Concrete Information

- All concrete work (material & construction) shall be in accordance with A.C.I. standard 318-77
- Concrete shall be capable of developing a minimum compressive strength of 3000 PSI at 28 days.
- All excavations shall be dry prior to placing footings.
- Concrete shall be 3000 PSI, 5.5 sacks of cement per cubic yard minimum, 6.5 gallons water/sack cement, 4" maximum slump. Water shall not be added to ready mixed concrete at the site.
- No concrete shall be placed on frozen ground and no admixtures will be permitted in concrete. All concrete shall be controlled, complying with A.C.I. building code requirements for a minimum compressive strength of 3000 PSI.
- Concrete shall be mixed and placed only when the temperature is at least 40 degrees Fahrenheit. Contractor shall remove all ice, snow, and frost and raise the temperature of all surfaces that the concrete will contact above the freezing point. Protect and maintain concrete temperature for at least 3 days at 55 degrees Fahrenheit after cold weather placement.
- Reinforcing steel shall be new billet steel, deformed type bars, ASTM 615, grade 40, and shall comply with A.C.I. code requirements. Provide minimum reinforcing in all concrete where none is shown on drawings to meet A.C.I. requirements.
- Provide additional reinforcing around all openings in concrete, and provide vertical and/or horizontal bars projecting from footings and walls for tying into other walls, piers, sills, etc. as detailed or not on the drawings, and as required by the construction.

Footings:

- All footings shall rest upon undisturbed soil with a minimum bearing capacity of 3000 lbs/SF. Architect shall inspect footing formwork and reinforcing prior to pouring concrete. Call 24 hours in advance. Phone (845)797-5313. Concrete shall be mechanically vibrated. Do not over vibrate concrete resulting in excessive settlement of concrete aggregate to the bottom of the formwork.
- There shall be a 1 1/2" minimum cover on reinforcing bars in foundation walls.
- There shall be a 3" minimum cover on reinforcing bars in concrete footings and piers.
- Bottom of all footings shall be carried to a minimum of 4" 0" below finished grade. Step footings as required at a ratio of 2 horizontal to 1 vertical when required by grade conditions.
- Do not pour footings into wet soil or standing water.

Foundation Walls

- Concrete shall be mechanically vibrated at all wall pours. Wood surface concrete forms are acceptable. All seams must be ground down and snap ties filled inside and out with mortar.
- PVC sleeves in walls must be placed prior to pouring. Jackhammering through walls after the pour is not acceptable.
- For all concrete formwork, use form oil as per A.C.I. not used oil.
- Concrete foundation walls shall have 2 # 5 rebar top & bottom of walls.
- # 5 vertical bars shall be set in concrete footing and spaced @ 36" o.c.
- # 5 horizontal bars shall be wire-tied to vertical bars @ 48" o.c.
- Anchor bolts shall be installed as shown on drawings or (1/2" x 12" hook bolts) 6'-0" on center, whichever is a smaller dimension.
- Do not backfill against foundation walls until first floor framing is in place.

Waterproofing of Foundation

- Rub-R-Wall waterproofing at all below grade conditions. Snap chalk lines for a clean installation at the top edge of waterproofing. Substitution #1 shall be Marflex Foundation Waterproofing with protection board prior to backfilling.

Slabs

General Slab Notes

- Slabs shall rest on virgin soil or compacted r.o.b. gravel fill mechanically compacted in 1 foot layers, with 6" of 3/4" compacted stone directly under all slabs. Soil testing to 95% Proctor Density Compaction minimum.
- Slabs shall require a saw cut with a maximum 400 SF between cuts. Saw cut shall be 1/2" in-depth, and shall be cut within 24 hours of pouring of concrete.

Interior Slabs

- All interior slabs, to be min. 5" thick 3,000 psi concrete with 6" x 6" 10/10 W.W.M., 4" maximum slump.
- All interior slabs shall rest on 6 MIL Poly Vapor Barrier over 12" of compacted 3/4" Stone.

Rat Slabs

- Shall be minimum of 2" thick over 6 mil poly vapor barrier, poured over virgin soil or clean compacted fill
- All interior slabs shall rest on 6 MIL Poly Vapor Barrier over 12" of compacted 3/4" Stone.

Expansion joints

- Provide expansion joints at 20'-0" intervals maximum with no area greater than 400 square feet. At changes in material.

Division 4 - Masonry

Concrete Block

- All concrete masonry work (material & construction) shall be in accordance with National Concrete Masonry Association (N.C.M.A.) standards.
- All concrete masonry units shall be "Moisture Controlled" Type 1, minimum, and shall conform to the following specifications: ASTM C 55-75 for concrete masonry brick; ASTM C 90-75 for hollow load-bearing units; ASTM C 129-75 for hollow non-load-bearing units; and ASTM C 145-75 for solid load-bearing units.
- Provide 1-#5 rebar at 4'-0" on center, horizontally, from footing to top of masonry wall. Fill void solid with 3,000 psi concrete to top of wall. Voids filled with mortar is not acceptable.
- Place horizontal joint reinforcement in first and second bed joints immediately above and below wall openings, and 24" o.c. between.

Brick and Concrete Block Mortar

- All brick and concrete block mortar to be type "M" typical.

Stone

- All veneer stone shall be 4" thick min.
- Stone shall be washed with clean water prior to setting in mortar.
- Galvanized Corrugated wall-ties shall be staggered a maximum of 24" apart.
- Contractor shall provide a 36" x 48" mock-up of stone coursing on a section of the foundation wall for the Owner and Architect to review and approve.

Highlands
Architecture pllc

1 WINTERBERRY RD.
BEACON, NY 12508

RESIDENTIAL ADDITION FOR:
PAUL & DEBBIE FRITZ

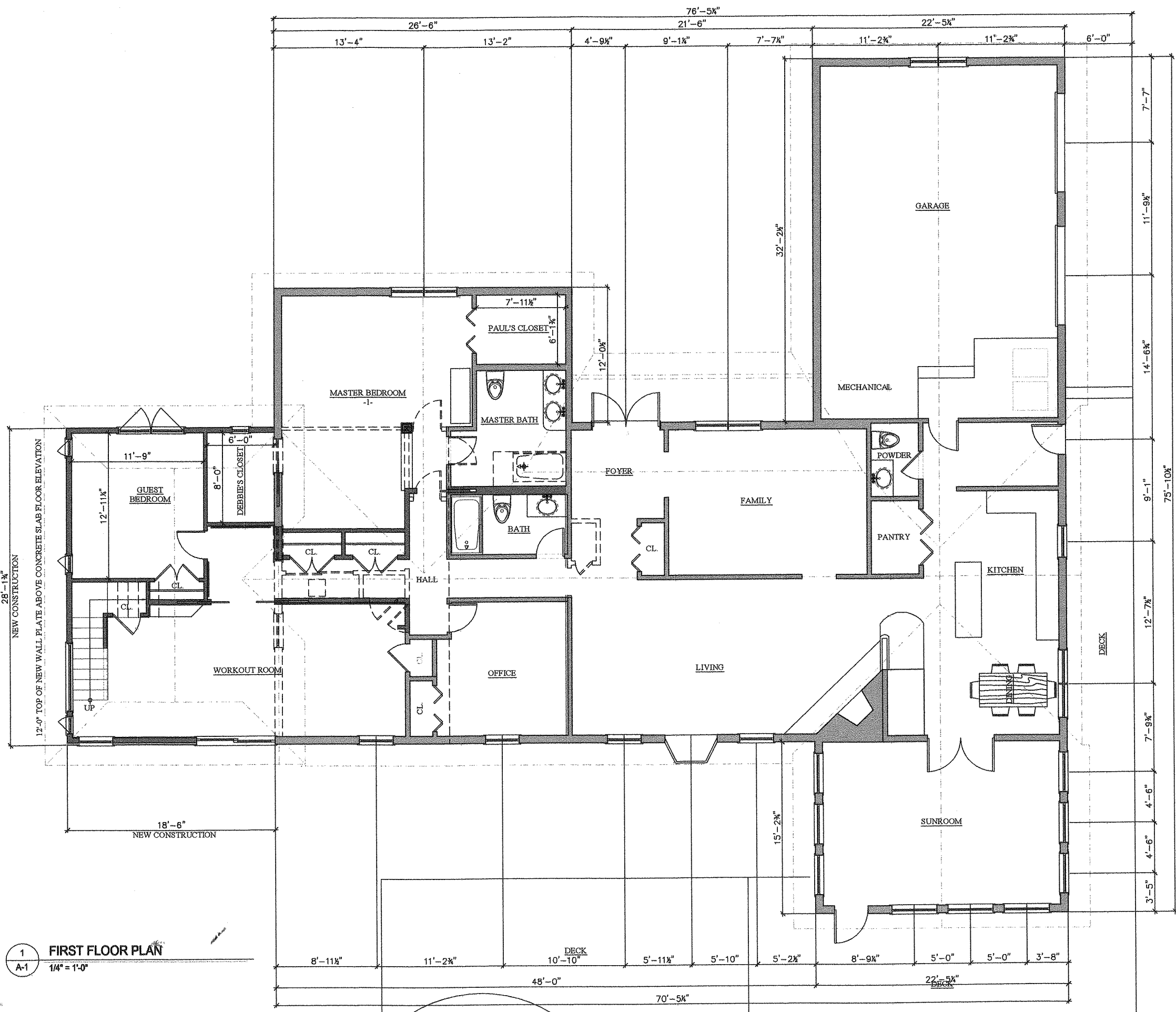
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5 PETER AVENUE
NEWBURGH, NY 12550

DATE:
DEC. 02, 2013 FOR ZBA FILING

REVISIONS:
20 JANUARY 2014

FOUNDATION
& DEMOLITION

A-0



1 FIRST FLOOR PLAN
 A-1 1/4" = 1'-0"

Highlands
 Architecture pllc

1 WINTERBERRY RD.
 BEACON, NY 12508

RESIDENTIAL ADDITION FOR:
 PAUL & DEBBIE FRITZ

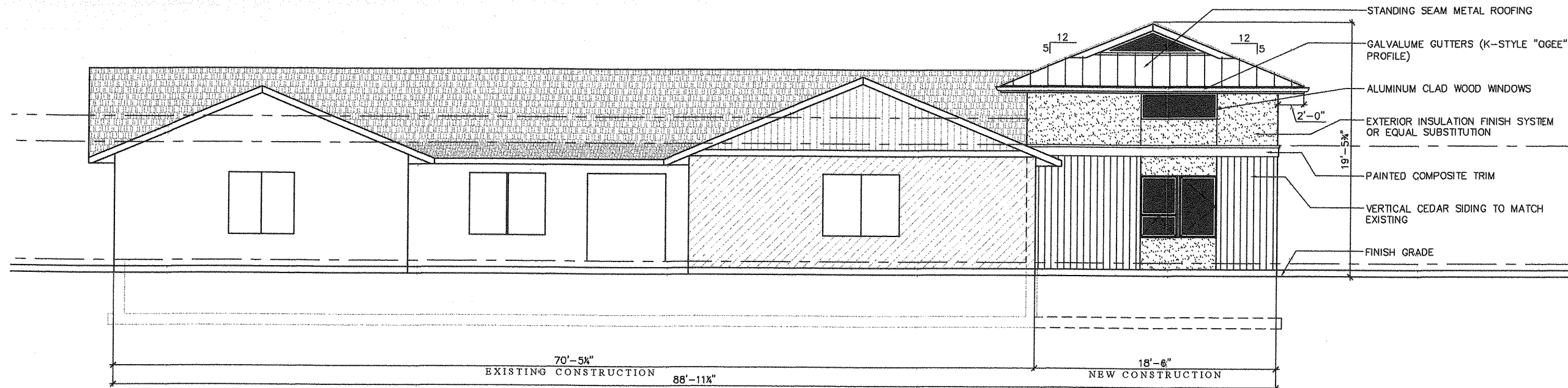
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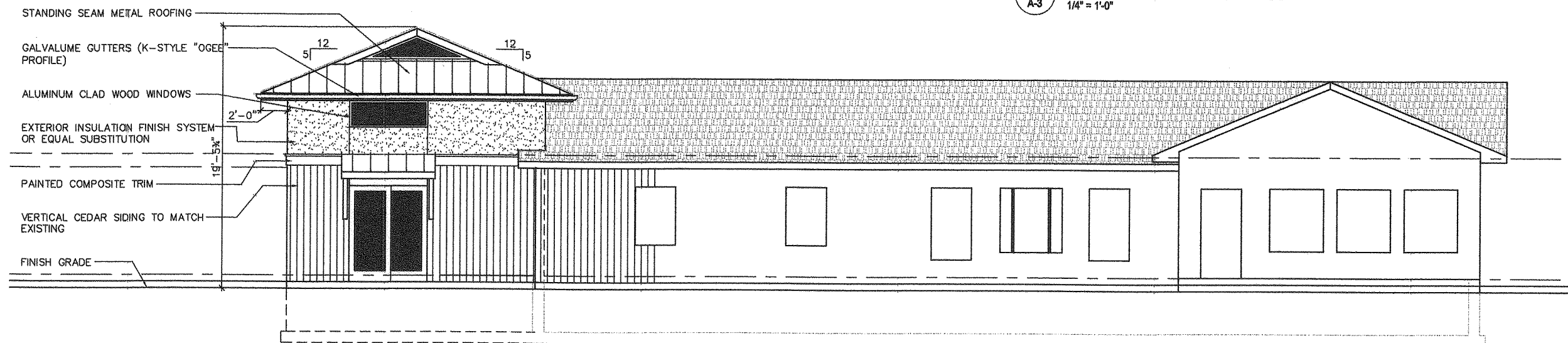
REVISIONS:
 20 JAN. 2014

FIRST FLOOR
 PLAN

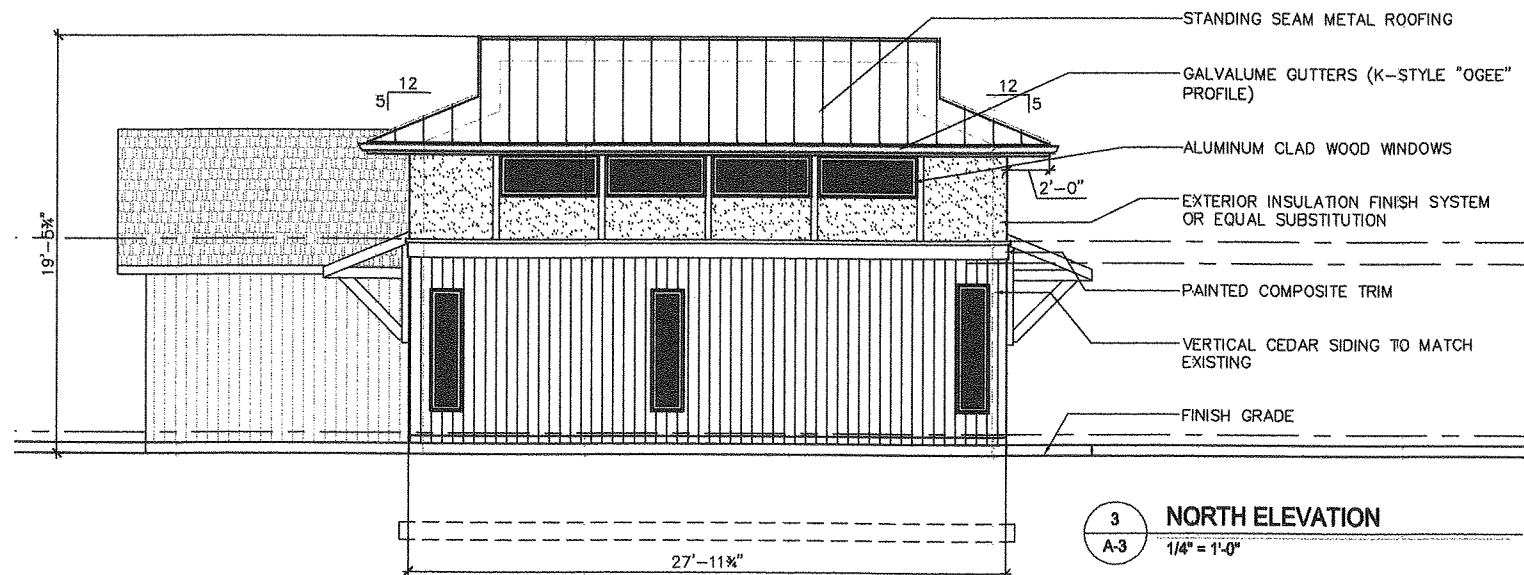
A-1



1 EAST ELEVATION (FRONT)
A-3 1/4" = 1'-0"



2 WEST ELEVATION (REAR)
A-3 1/4" = 1'-0"



3 NORTH ELEVATION
A-3 1/4" = 1'-0"

Highlands
Architecture pllc

1 WINTERBERRY RD.
BEACON, NY 12508

RESIDENTIAL ADDITION FOR:
PAUL & DEBBIE FRITZ

ADDRESS:
5 PETER AVENUE
NEWBURGH, NY 12560

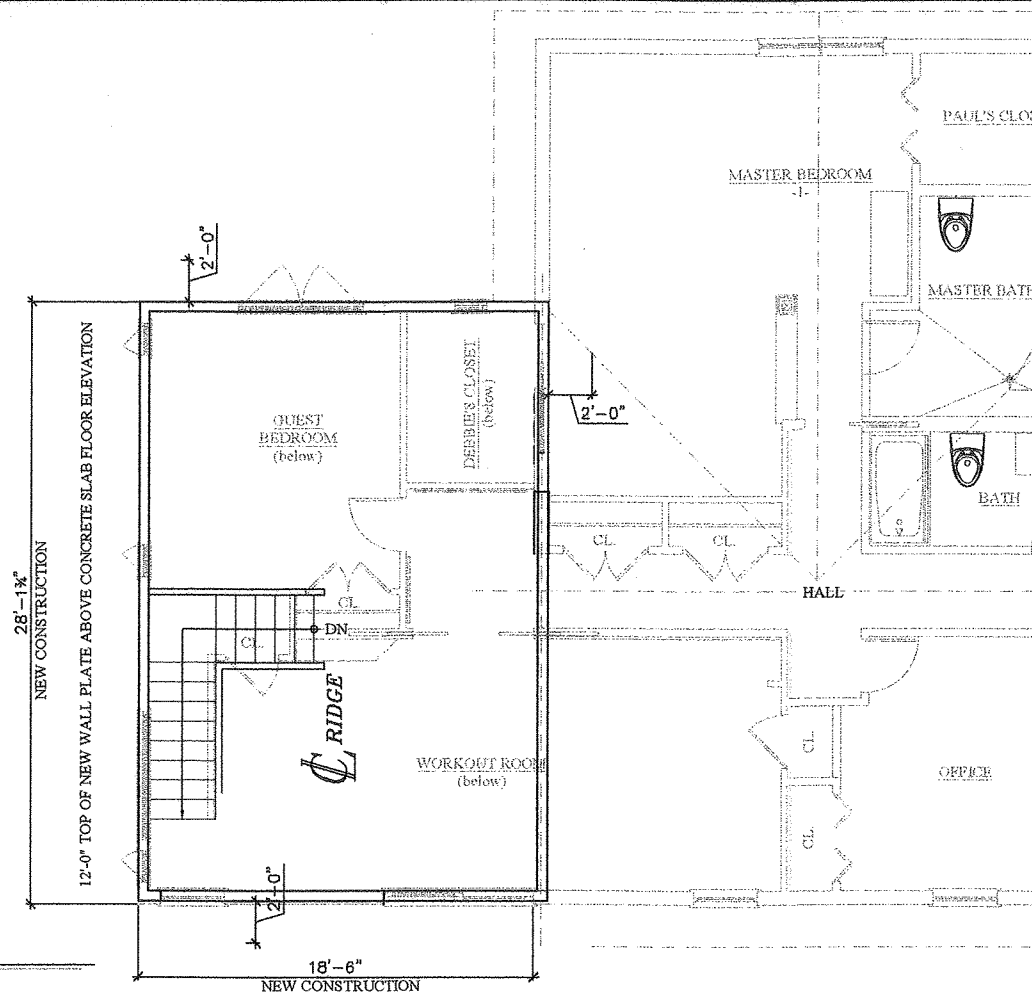
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DEC. 02, 2013 FOR ZBA FILING

REVISIONS:
20 JANUARY 2014

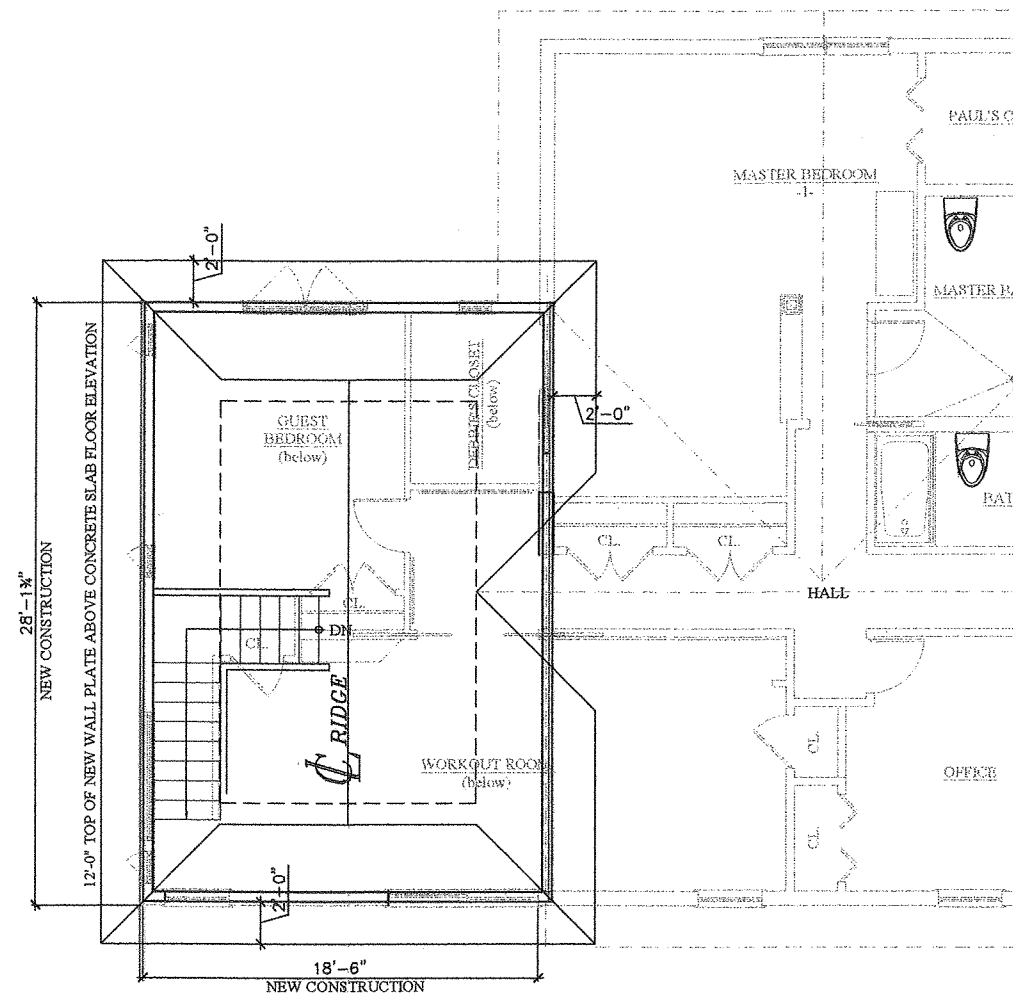
BUILDING
ELEVATIONS

A-3

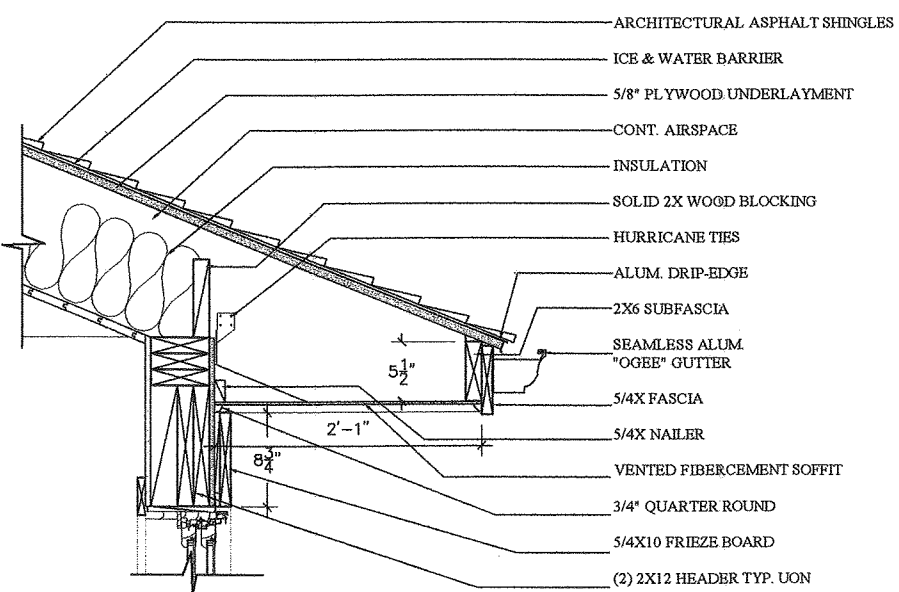
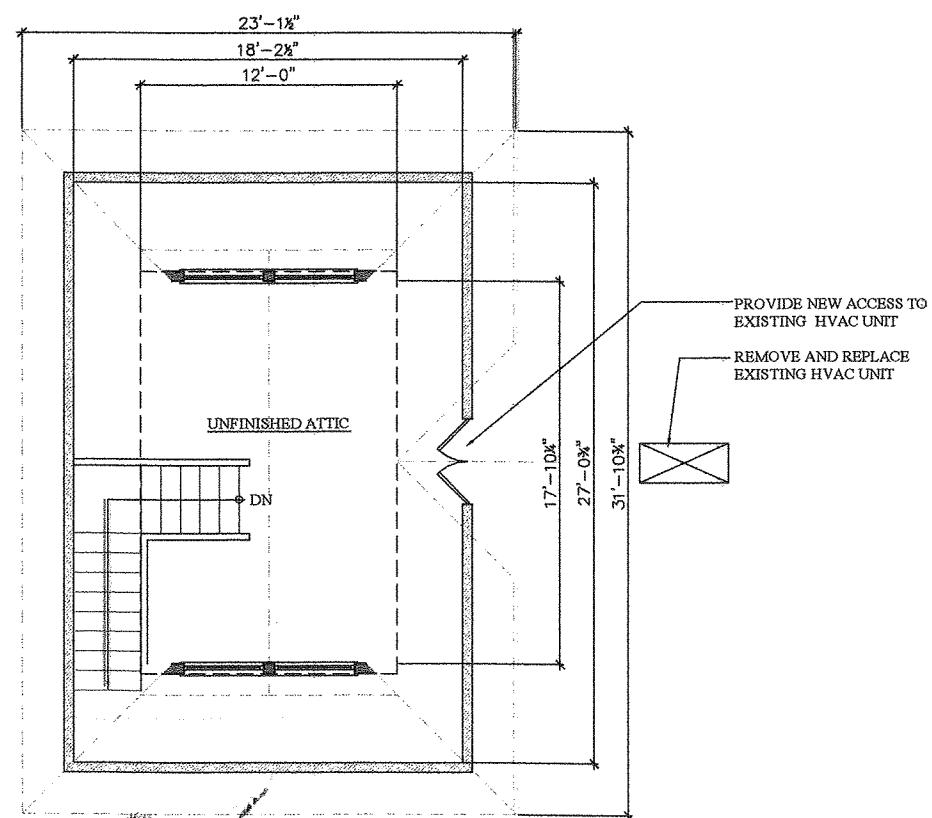
1 ATTIC PLAN
A-2 1/4" = 1'-0"



2 ROOF PLAN
A-2 1/4" = 1'-0"



3 ATTIC PLAN WITH UPPER ROOF OVERLAY
A-2 1/4" = 1'-0"



4 TYPICAL EAVE DETAIL
A-2 1/2" = 1'-0"

Highlands
Architecture pllc

1 WINTERBERRY RD.
BEACON, NY 12508

RESIDENTIAL ADDITION FOR:
PAUL & DEBBIE FRITZ

ADDRESS:
5 PETER AVENUE
NEWBURGH, NY 12550

DATE:
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REVISIONS:
20 JANUARY 2014

ATTIC FLOOR
& ROOF PLAN

A-2