

Full Size Site Plans

are available for viewing at the

Zoning Board of Appeals

Office located at

308 Gardnertown Road

Newburgh, NY

845-566-4901

now or formerly lands of
Miller
Tax ID# 70-1-2.1
aka 77 Fifth Avenue

now or formerly lands of
Tartter
Tax ID# 70-2-5
aka 82 Fifth Avenue

now or formerly lands of
Tartter
Tax ID# 70-2-6
aka 82 Fifth Avenue

East View Road

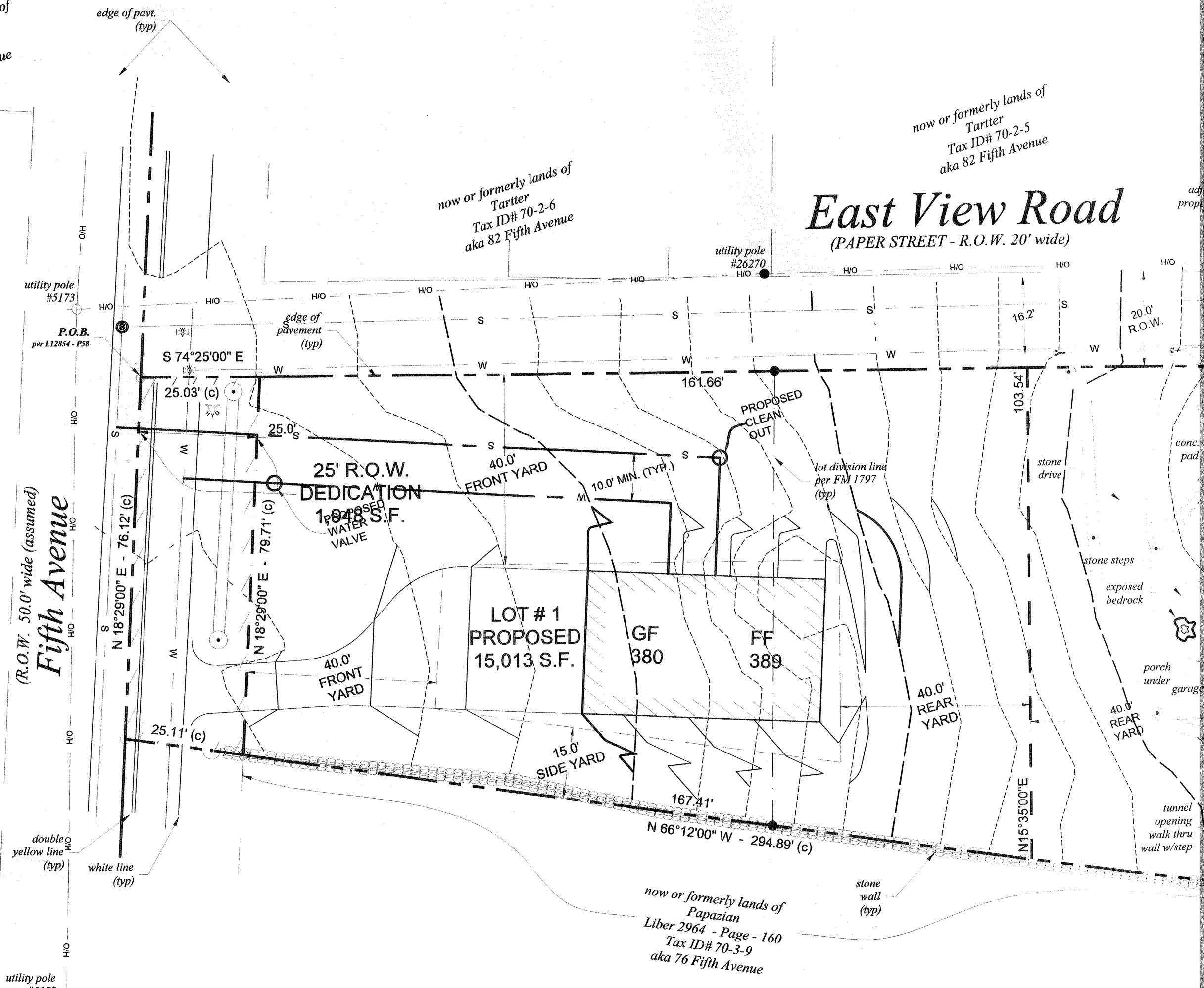
(PAPER STREET - R.O.W. 20' wide)

now or formerly lands of
Finnagan
Tax ID# 70-1-3.1
aka 71 Fifth Avenue

(R.O.W. 50.0' wide (assumed))
Fifth Avenue

now or formerly lands of
NYSARC, Inc.
Tax ID# 70-1-3.2

now or formerly lands of
Papazian
Liber 2964 - Page - 160
Tax ID# 70-3-9
aka 76 Fifth Avenue



East View Road

(PAPER STREET - R.O.W. 20' wide)

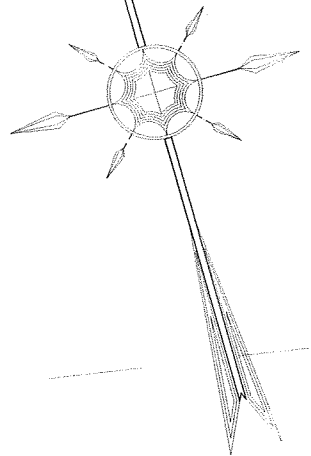
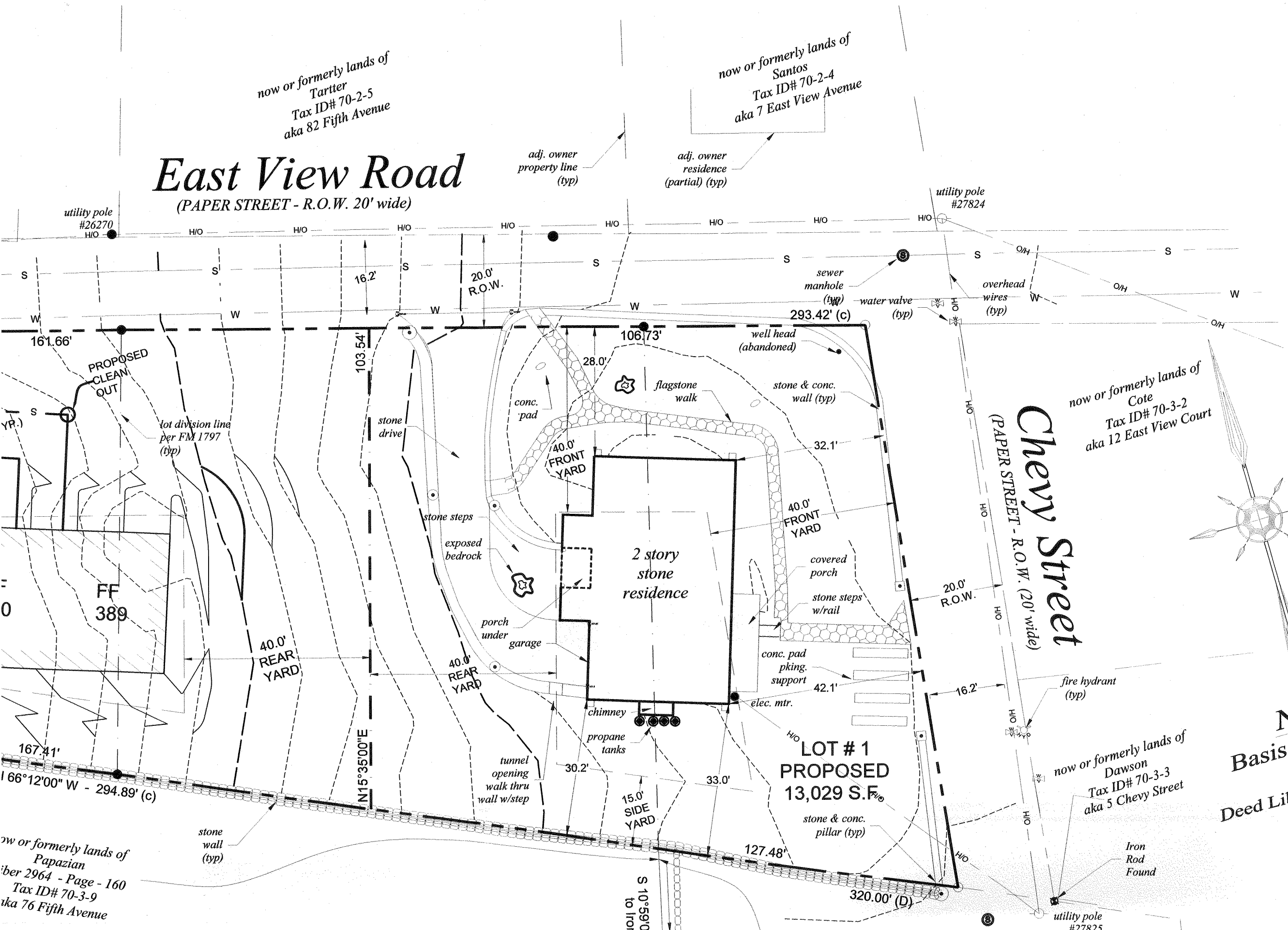
now or formerly lands of
Tartter
Tax ID# 70-2-5
aka 82 Fifth Avenue

now or formerly lands of
Santos
Tax ID# 70-2-4
aka 7 East View Avenue

now or formerly lands of
Cote
Tax ID# 70-3-2
aka 12 East View Court

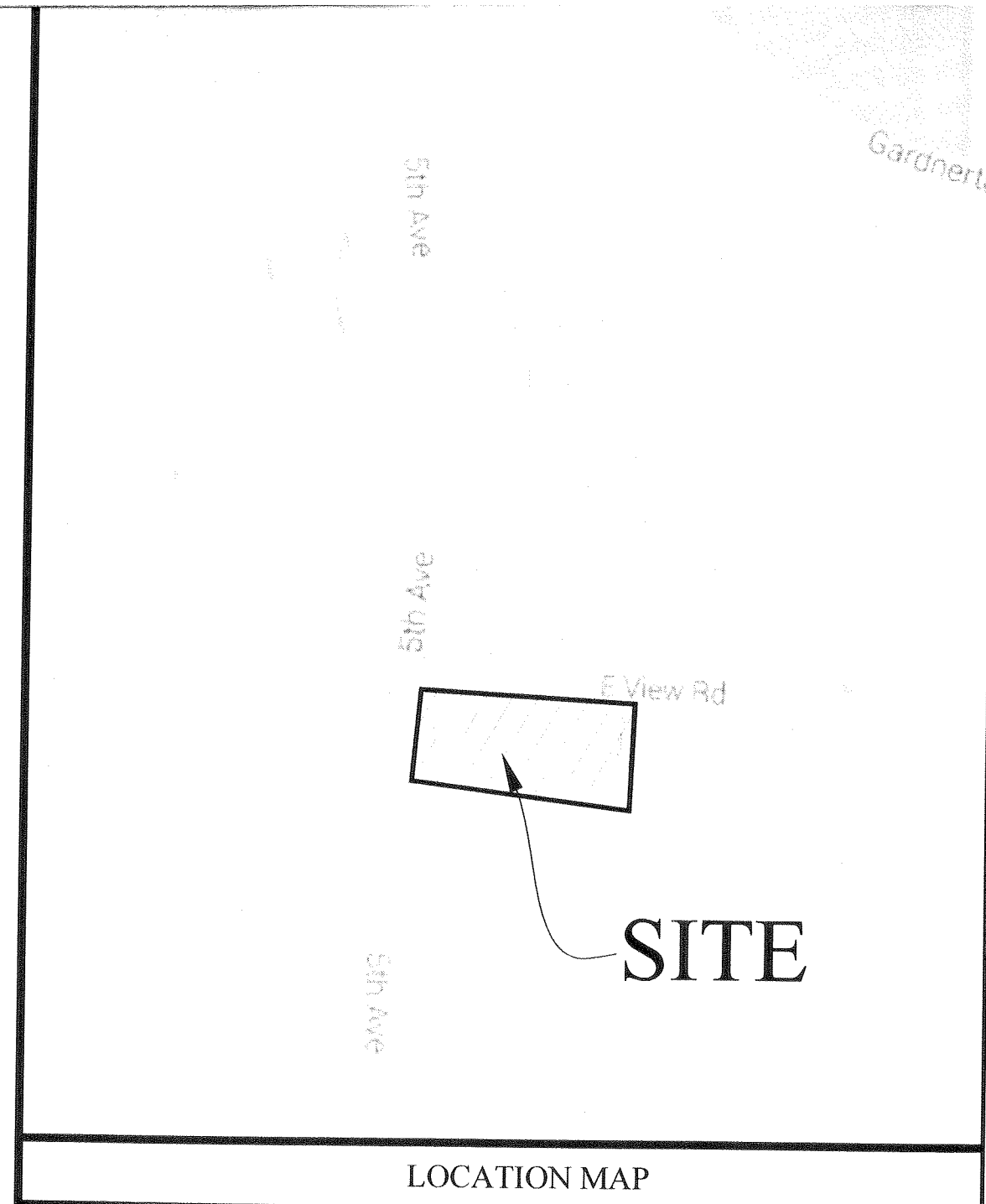
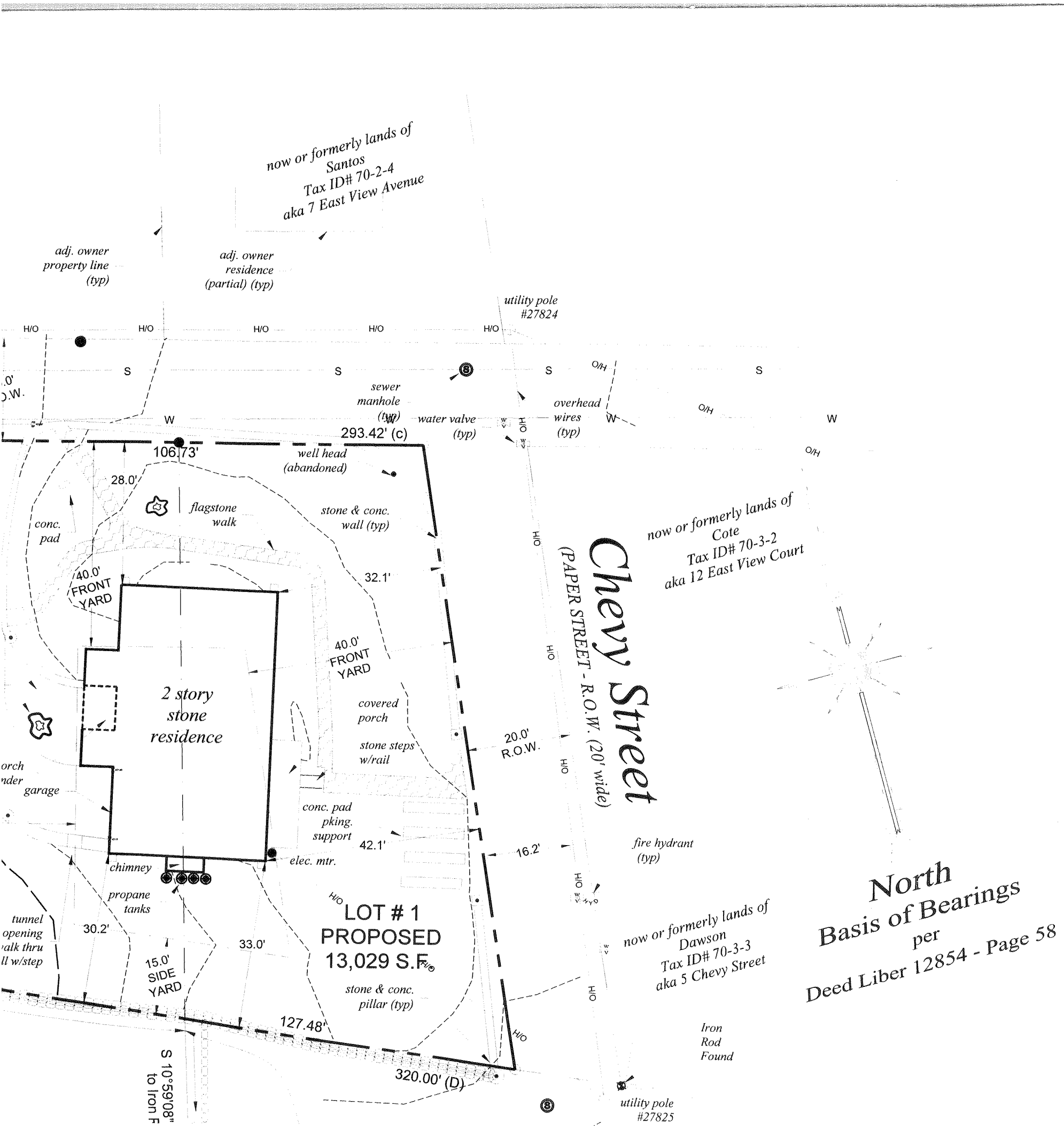
now or formerly lands of
Dawson
Tax ID# 70-3-3
aka 5 Chevy Street

now or formerly lands of
Papazian
Deed Liber 2964 - Page - 160
Tax ID# 70-3-9
aka 76 Fifth Avenue



North
Basis of Bearings
per
Deed Liber 12854 - Page 58

PROPE
PROPE
EXISTIN
EXISTIN
EXISTIN
EXISTIN
EXISTIN
PROPE



LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING FIRE HYDRANT
- OVERHEAD WIRES
- EXISTING FIRE HYDRANT
- EXISTING RESIDENCE

North
Basis of Bearings
per
Deed Liber 12854 - Page 58

Gardner St

5th Ave

5th Ave

5th Ave

E View Rd

SITE

LOCATION MAP

now or formerly lands of Santos
Tax ID# 70-2-4
aka 7 East View Avenue

now or formerly lands of Cote
Tax ID# 70-3-2
aka 12 East View Court

now or formerly lands of Dawson
Tax ID# 70-3-3
aka 5 Chevy Street

Chevy Street
(PAPER STREET - R.O.W. (20' wide))

LOT #1 PROPOSED 13,029 S.F.

S 10° 59' 08" to Iron F

Iron Rod Found

adj. owner property line (typ)

adj. owner residence (partial) (typ)

utility pole #27824

sewer manhole (typ)

water valve (typ)

overhead wires (typ)

well head (abandoned)

flagstone walk

stone & conc. wall (typ)

conc. pad

40.0' FRONT YARD

40.0' FRONT YARD

covered porch

stone steps w/rail

orchard garage

conc. pad pking. support

elec. mtr.

fire hydrant (typ)

chimney

propane tanks

tunnel opening walk thru ll w/step

15.0' SIDE YARD

stone & conc. pillar (typ)

utility pole #27825

utility pole
#5172

OWNER / APPLICANT

JORG UWE FRISCHKNECHT

2 OAK RIDGE DRIVE

NEW WINDSOR, NEW YORK 12553

OWNER'S CONSENT NOTE

I HEREBY AGREE, UPON REVIEW, THAT THIS MAP MEETS MY APPROVAL
AND IS CONCURRENT WITH MY INTENT.

OWNER

DATE

Subject Parcel Data:

Location: 2 Chevy Street

Tax Map ID: 70-3-1

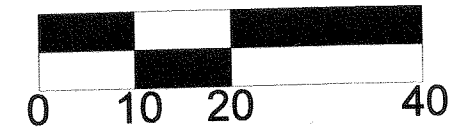
a.k.a. Lot's 2, 4, & 6 - F.M. No. 1797

Liber 12854 - Page 58

Area: 0.643 Ac. (28,000.5 s.f.)

**EXISTING SURVEY/
PROPOSED SUBDIVISION**

SCALE: 1" = 20'



TOWN OF NEWBURGH R-3 RESI

LOT SERVICED BY BOTH PUBLIC

SING

RE

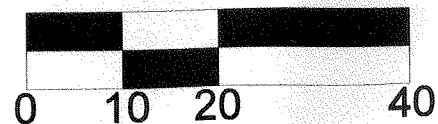
1

LOT AREA	
LOT WIDTH	
LOT DEPTH	
FRONT YARD	
SIDE YARD (ONE)	
(BOTH)	
REAR YARD	
HABITABLE FLOOR AREA	
LOT BUILDING COVERGE	
BUILDING HEIGHT	
LOT SURFACE COVERAGE	

* VARIANCE REQUIRED (PRE-EX

**EXISTING SURVEY/
PROPOSED SUBDIVISION**

SCALE: 1" = 20'



08" W - 178.79'
on Rod Found

now or formerly lands of
Coleman & Walker
Liber 3661 - Page - 228
Tax ID# 70-3-5
aka 9 Chevy Street

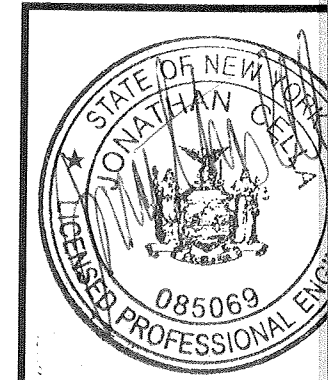
#27825

**TOWN OF NEWBURGH R-3 RESIDENTIAL
LOT SERVICED BY BOTH PUBLIC SEWER AND PUBLIC TOWN WATER SYSTEMS**

	SINGLE FAMILY RESIDENTIAL	LOT # 1 PROVIDED	LOT # 2 PROVIDED
LOT AREA	12,500 S.F.	15,013 S.F.	13,029 S.F.
LOT WIDTH	85 FT	85 FT.	110 FT. ±
LOT DEPTH	100 FT.	155 FT.	120 FT. ±
FRONT YARD	40 FT.	40 FT. MIN. FIFTH AVENUE 40 FT. MIN. EAST VIEW ROWD	28 FT. ± * EAST VIEW ROAD 32 FT. ± * CHEVY STREET
SIDE YARD (ONE)	15 FT.	15 FT. MIN.	30 FT. ±
(BOTH)	30 FT.	N/A	N/A
REAR YARD	40 FT.	40 FT. MIN.	51 FT. ±
HABITABLE FLOOR AREA	900 S.F.	900 S.F. MIN.	3,300 S.F. ±
LOT BUILDING COVERGE	15%	15% MAX.	13% ±
BUILDING HEIGHT	35 FT.	35 FT. MAX.	< 35 FT.
LOT SURFACE COVERAÆ	30%	30% MAX.	28% ±

* VARIANCE REQUIRED (RE-EXISTING NON-CONFORMING)

797



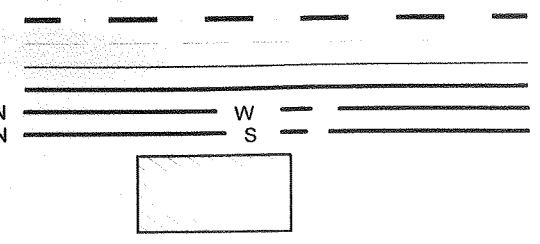
JONATHAN CELLA, I
N.Y.S. P.E. LIC. NO. 08

108° W - 178.79'
on Rod Found

#27825

now or formerly lands of
Coleman & Walker
Liber 3661 - Page - 228
Tax ID# 70-3-5
aka 9 Chevy Street

PROPERTY LINE PROPOSED
SETBACKS
PROPOSED CONTOURS 2'
PROPOSED CONTOURS 10'
PROPOSED WATER SERVICE CONNECTION
PROPOSED SEWER SERVICE CONNECTION
PROPOSED SINGLE FAMILY RESIDENCE



SIDENTIAL
UBLIC SEWER AND PUBLIC TOWN WATER SYSTEMS

NGLE FAMILY RESIDENTIAL	LOT # 1 PROVIDED	LOT # 2 PROVIDED
12,500 S.F.	15,013 S.F.	13,029 S.F.
85 FT	85 FT.	110 FT. ±
100 FT.	155 FT.	120 FT. ±
40 FT.	40 FT. MIN. FIFTH AVENUE 40 FT. MIN. EAST VIEW ROWD	28 FT. ± * EAST VIEW ROAD 32 FT. ± * CHEVY STREET
15 FT.	15 FT. MIN.	30 FT. ±
30 FT.	N/A	N/A
40 FT.	40 FT. MIN.	51 FT. ±
900 S.F.	900 S.F. MIN.	3,300 S.F. ±
15%	15% MAX.	13% ±
35 FT.	35 FT. MAX.	< 35 FT.
30%	30% MAX.	28% ±

(EXISTING NON-CONFORMING)

REQUEST FOR AREA VARIANCES		
PROPOSED TWO LOT RESIDENTIAL SUBDIVISION		
FOR: JORG UWE FRISCHKNECHT 2 CHEVY LANE (S/B/L: 70-3-1) TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
JONATHAN CELLA, P.E. 51 HUNT ROAD WALLKILL, NEWYORK 12589		
DATE: 01/26/2015	(845) 741-0363 jonathancella@hotmail.com	DRAWN BY: JJC
SCALE: AS NOTED		SHEET NO. : 1 OF 1
03 /09 /2015: FOR PLANNING BOARD SUBMISSION 05/ 04/ 2015: FOR ZONING BOARD OF APPEALS SUBMISSION		

