



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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Principal Emeritus:
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WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: FLETCHER DRIVE SUBDIVISION (EAST ROCK CORP)
PROJECT NO.: 2018-11
PROJECT LOCATION: SECTION 93, BLOCK1, LOT 64.5
REVIEW DATE: 25 OCTOBER 2018
MEETING DATE: 1 NOVEMBER 2018
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The survey plan must be incorporated into the plan set and identified as such on the cover sheet and sheet numbers.
2. Sheet #2 of 8 is identified as a Demolition Plan. It is unclear if any structures are proposed to be demolished.
3. Common Driveway access and maintenance agreement for proposed lots #2 & 4 must be submitted to Mike Donnelly's office for review and approval.
4. Standard details for connection to the Town of Newburgh's water system as well as standard water system connection notes must be incorporated into the plan sheets.
5. A Stormwater Pollution Prevention Plan for residential lots less than 25% impervious, less than 5 acres disturbance has been provided consisting of an Erosion and Sediment Control Plan. Coverage under the NYSDEC stormwater permit is required.
6. The Applicant's representative are requested to evaluate the size of the proposed water services based on the distance from the main proposed.
7. Based on the input from the NYSDEC tree clearing is identified with a seasonal restriction to protect potential impacts to Bat species. Notes should be added to the plan clearly identifying the time frames for tree clearing permitted on the individual lots.
8. Highway Superintendent's comments on the driveway locations should be received.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

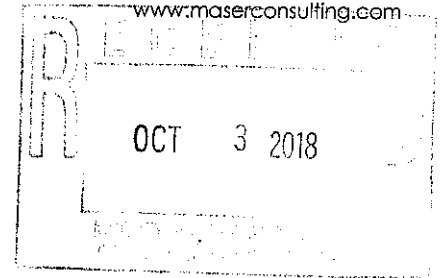


Engineers
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October 1, 2018

VIA HAND DELIVERY



Chairman John Ewasutyn
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: East Rock Corp. – Fletcher Drive Subdivision
SBL: 93-1-64.5
Town of Newburgh, Orange County, New York
MC Project No. 08001020B

Dear Chairman Ewasutyn:

Below please find our responses to a comment letter received from McGoey, Hauser and Edsall dated June 28, 2018. The comments have been repeated here for clarity.

- Comment 1: The project proposes a four-lot subdivision of an existing 8.14+/- acre of property. One residential structure is currently under construction on the site. Site is proposed to be served by municipal water and on site subsurface septic systems.
- Response 1: Comment noted.
- Comment 2: Proposed Lots 3 & 4 are identified as having a common driveway access and maintenance agreement will be required.
- Response 2: The layout has been revised such that lots 2 & 4 now share a common driveway. We will have an access & maintenance agreement drafted and submitted to the Town Attorney for approval at a later date.
- Comment 3: An encroachment onto proposed Lot 4 exists in the vicinity of the proposed driveway identified as a “rock patio and fish pond encroachment”. This must be addressed with the adjoining property during the subdivision process. While this would normally be a private matter between the property owners the only location for the driveway serving Lot 4 is restricted by the current encroachment.
- Response 3: The layout has been revised so the above-mentioned encroachment will no longer be affected by the proposed development.
- Comment 4: Standard town water details and notes will be required in addition to standard town subsurface sanitary sewer disposal designs and notes.



- Response 4: Water & sewer details and notes have been added to the current plans provided with this submission.
- Comment 5: The Applicants are requested to confirm water exists within the dead-end portion of Fletcher Drive. No hydrants are depicted on the survey maps submitted.
- Response 5: Based on discussions with the Town, it is our understanding that water is not present in the dead-end portion of Fletcher Drive. Therefore, the water services for the proposed lots are connected to the main that is present within Fletcher Drive North.
- Comment 6: Driveway approval from the Highway Superintendent will be required.
- Response 6: Comment noted.
- Comment 7: Two Endangered Species are identified in the EAF, Indiana Bat and Upland Sandpiper. Impacts to these species must be addressed. Initially an inquiry to the NYSDEC Natural Heritage Group should be made.
- Response 7: We requested further review by NYSDEC NHP and they provided the attached response letter. See attached copy of letter. No records of rare or state listed species or significant natural communities at the project site were found. An off-site summer location for Indiana Bat was mentioned in the NYSDEC NHP letter. Limiting times to clear the trees on site is proposed to address this.
- Comment 8: Further review will be undertaken upon submission of detailed plans and designs.
- Response 8: More detailed plans and SWPPP have been included with this submission.

We request to be placed on the next available Planning Board agenda to further discuss the project. If you have any questions, please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.

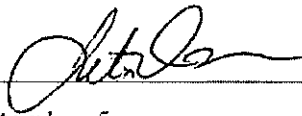
A handwritten signature in black ink, appearing to read 'Justin E. Dates', written over a horizontal line.

Justin E. Dates, RLA
Associate


JED/pa
Enclosures

AFFIDAVIT OF POSTING(S) OF
NOTICE OF PUBLIC HEARING
AT THE PROPERTY

STATE OF NEW YORK: COUNTY OF ORANGE:

I Justin Dates , being duly sworn, depose and say that I did on or before September 5 2018 post and will thereafter maintain at Fletcher Drive in the Town of Newburgh, New York, at or near the front property line(s) and within view of each fronting street a copy(ies) of the Notice of Public Hearing, which notice was in the form attached hereto.

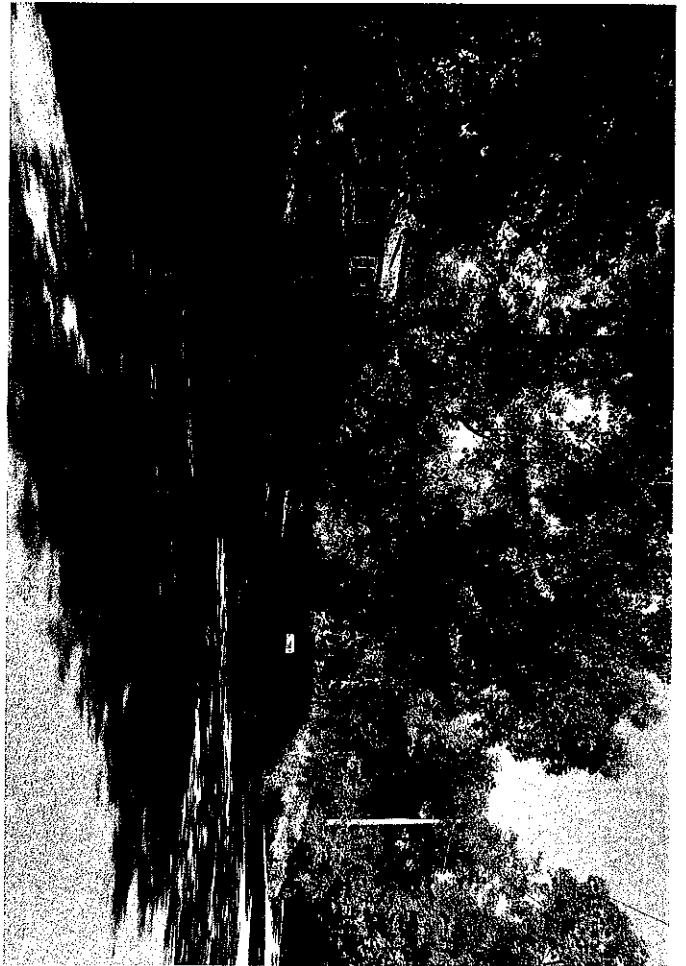
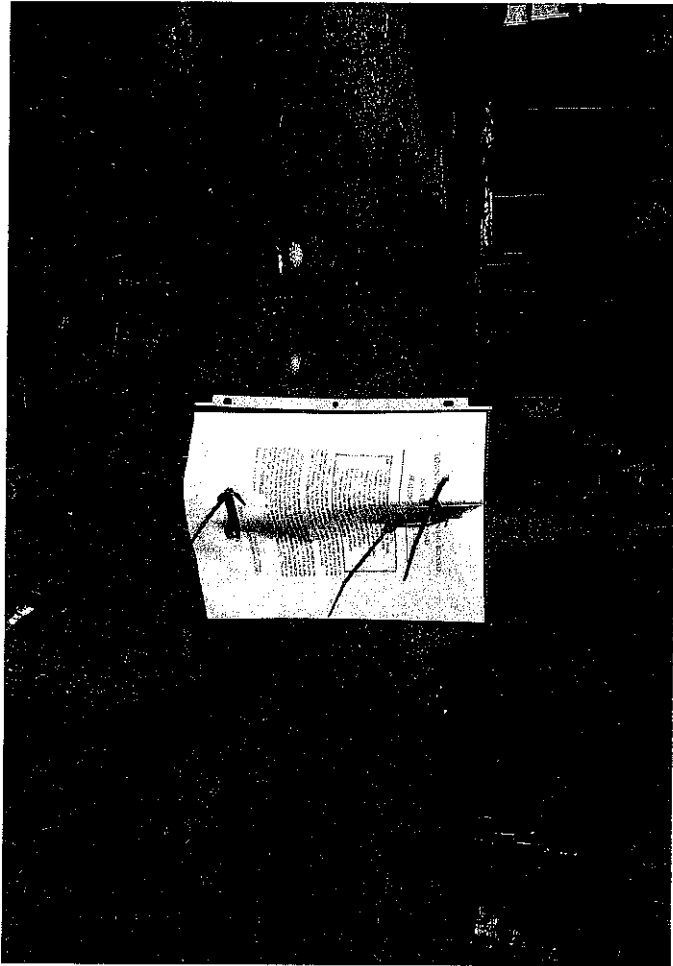
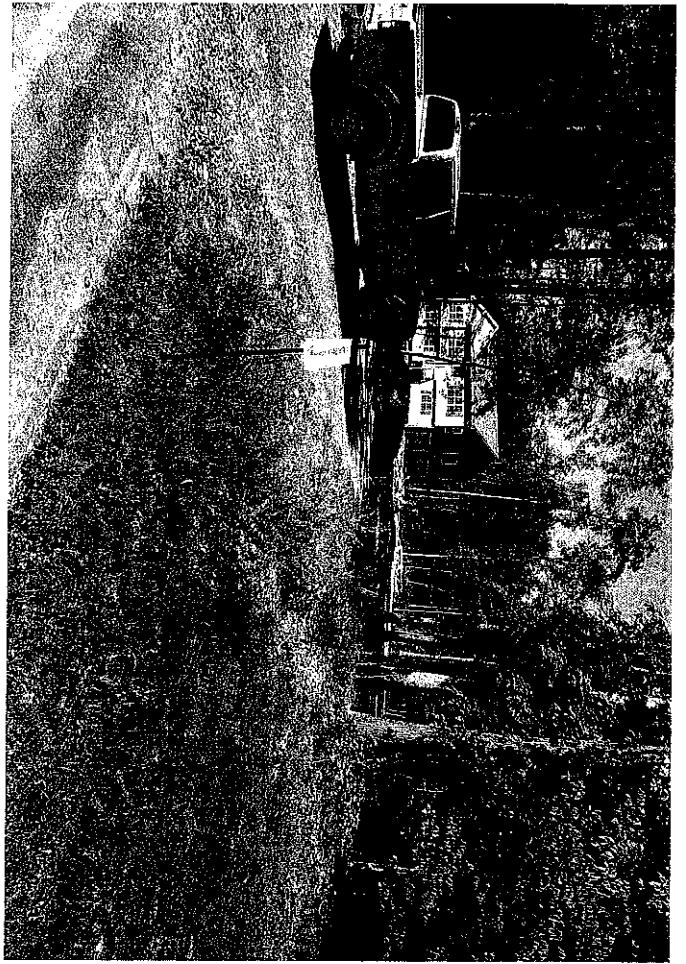
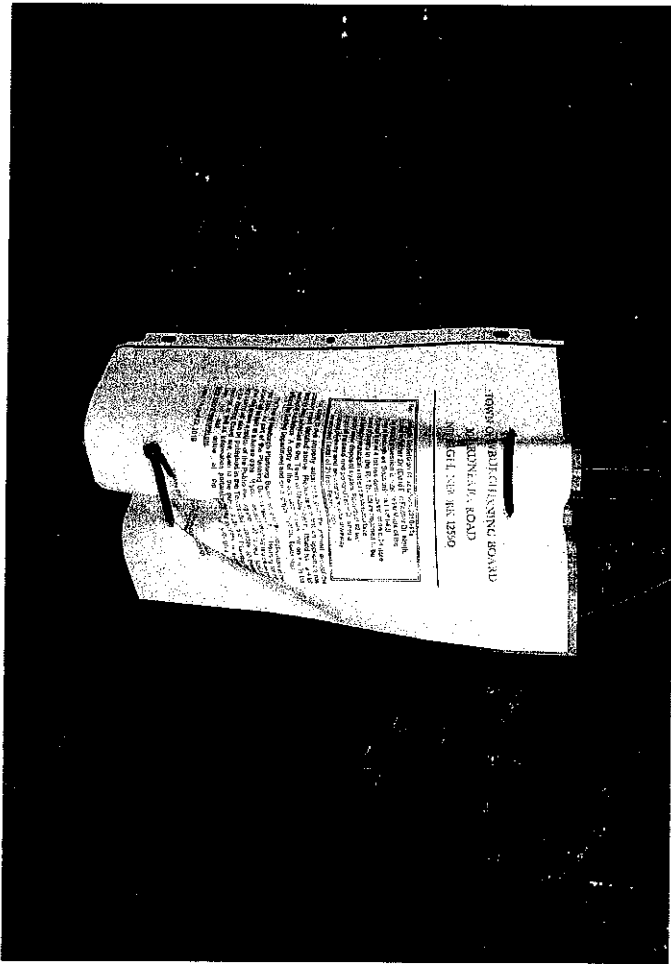
Sworn to before me this 5
day of September, 2018.

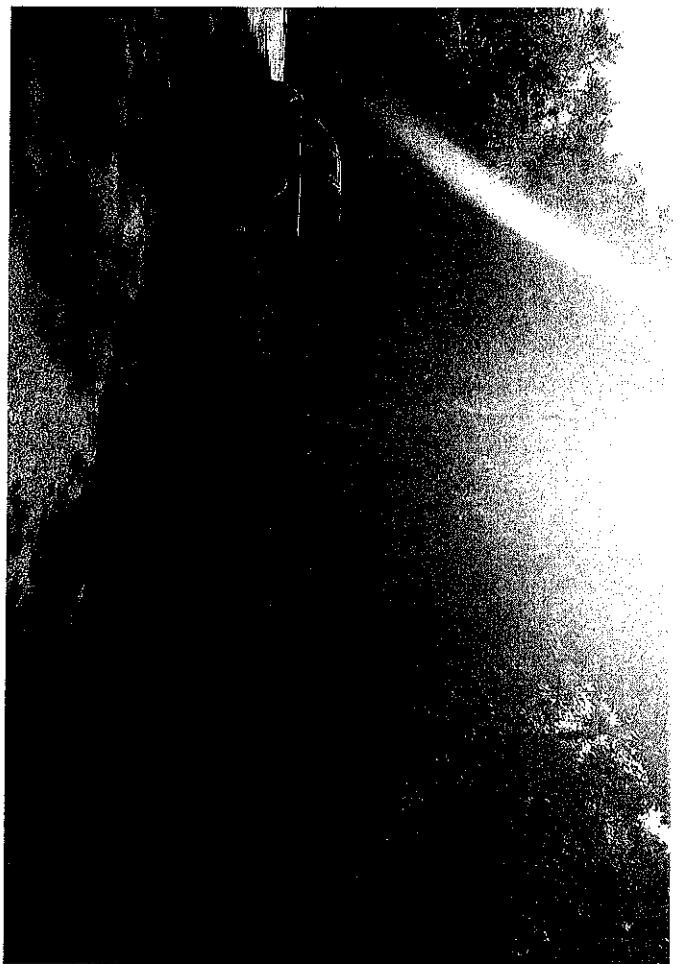


Notary Public

JOANNE MUNKELT
Notary Public, State of New York
No. 01MU6295421
Qualified in Orange County
Commission Expires Jan. 8, 2022

[Photograph(s) of the posted Public Hearing Notice(s) must be submitted by the applicant with this affidavit.]





NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program
625 Broadway, Fifth Floor, Albany, NY 12233-4757
P: (518) 402-8935 | F: (518) 402-8925
www.dec.ny.gov

September 24, 2018

Cory Robinson
Maser Consulting
555 Hudson Valley Avenue, Suite 101
New Windsor, NY 12553

Re: Fletcher Drive Subdivison (East Rock Corp.)
County: Orange Town/City: Newburgh

Dear Mr. Robinson:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

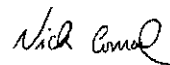
We have no records of rare or state-listed animals or plants, or significant natural communities at the project site.

Within one mile of the project site is a documented summer location of **Indiana bat** (*Myotis sodalis*, state and federally listed as Endangered). These bats may travel 2.5 miles or more from documented locations. The main impact of concern for bats is the cutting or removal of potential roost trees. For information about any permit considerations for your project, please contact the Permits staff at the NYSDEC Region 3 Office at dep.r3@dec.ny.gov, (845) 256-3054.

For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other resources may be required to fully assess impacts on biological resources.

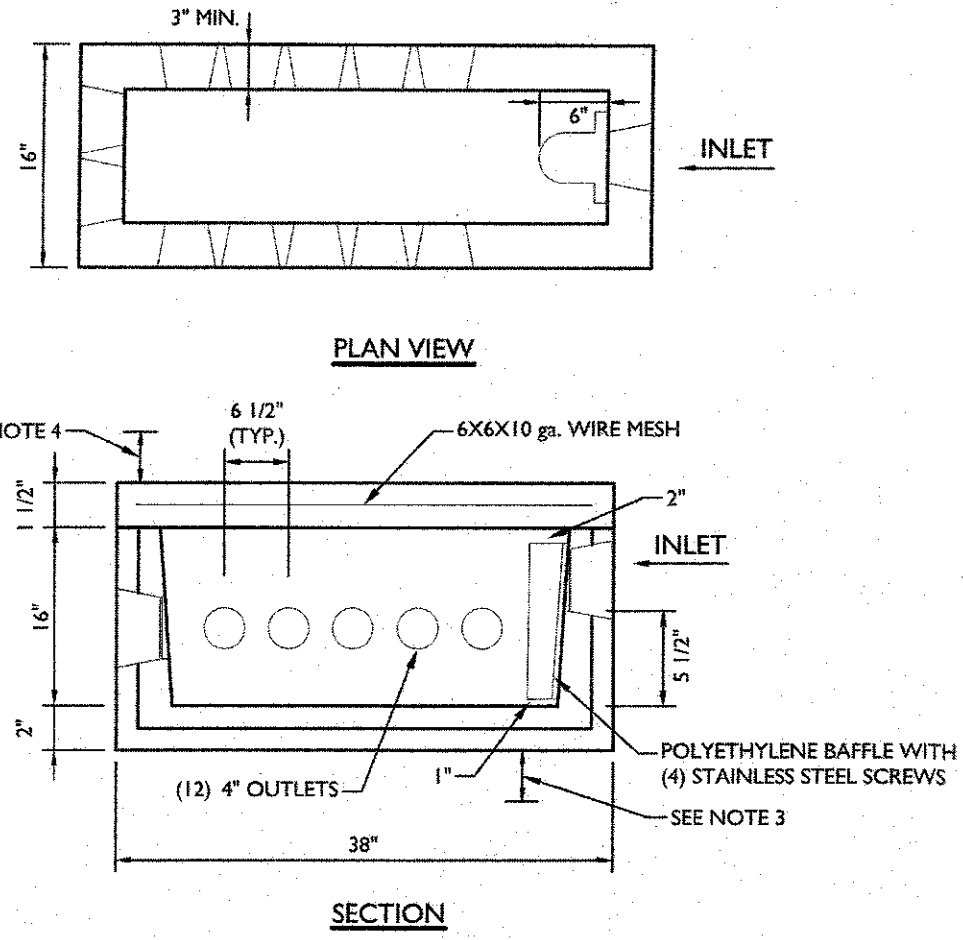
For information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 3 Office, Division of Environmental Permits, as described above.

Sincerely,



Nicholas Conrad
Information Resources Coordinator
New York Natural Heritage Program

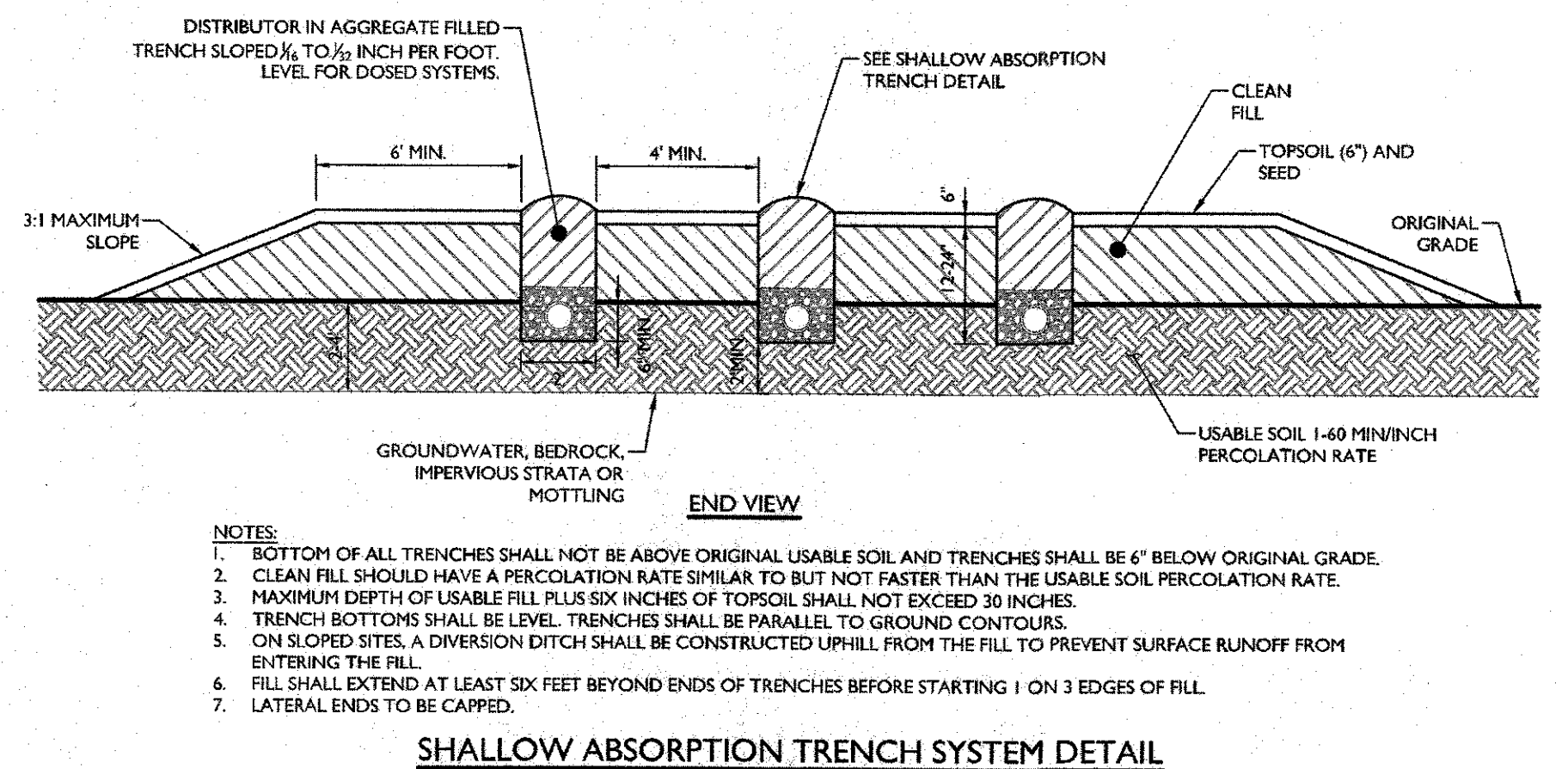
962



NOTE

1. INLET AND OUTLETS ARE KNOCKOUTS
2. WEIGHT BOX-1,400 LBS, TOP-400 LBS
3. CONCRETE TO TEST 4000 PSI AT 28 DAYS, AIR ENTRAINMENT: 5% STEEL REINFORCEMENT 6"x6"x10 GAUGE WIRE MESH, #4 REBAR BEDDING TO BE 12 INCHES MINIMUM OF CLEAN SAND, PEA GRAVEL OR AGGREGATE (1/2" TO 1/2")
4. MAXIMUM COVER OVER DISTRIBUTION BOX TO BE 12 INCHES
5. ALL USED OUTLETS TO BE AT SAME ELEVATION OR SPEED LEVELS SHALL BE USED
6. PIPE CONNECTION: POLYLOK SEAL (PATENTED)
7. LOAD RATING: 300 PSF (H2O ON REQUEST)
8. TO BE MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.

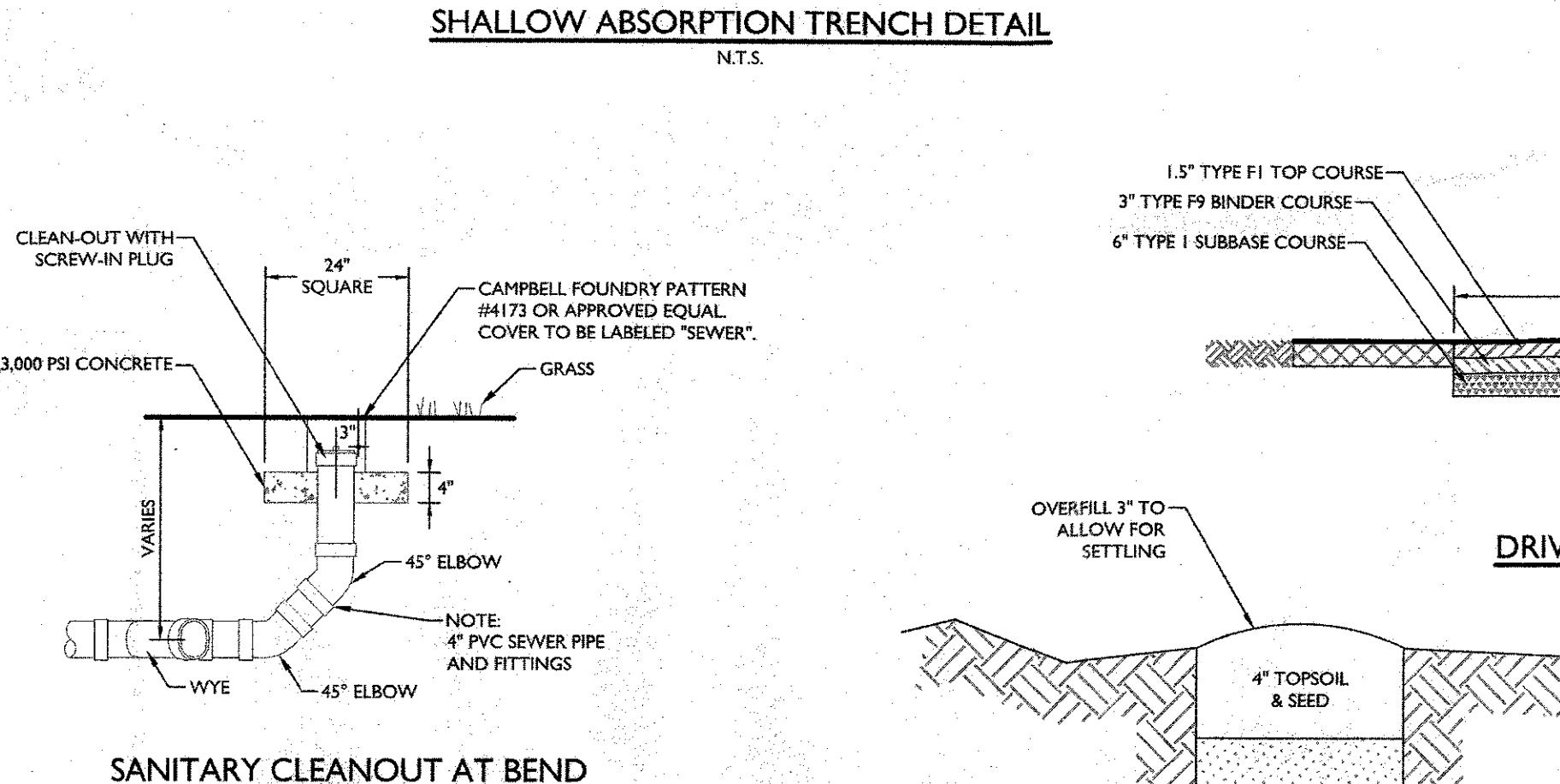
12 WAY PRECAST DISTRIBUTION MODEL DB-12/12 OUTLETS WITH BAFFLE
N.T.S.



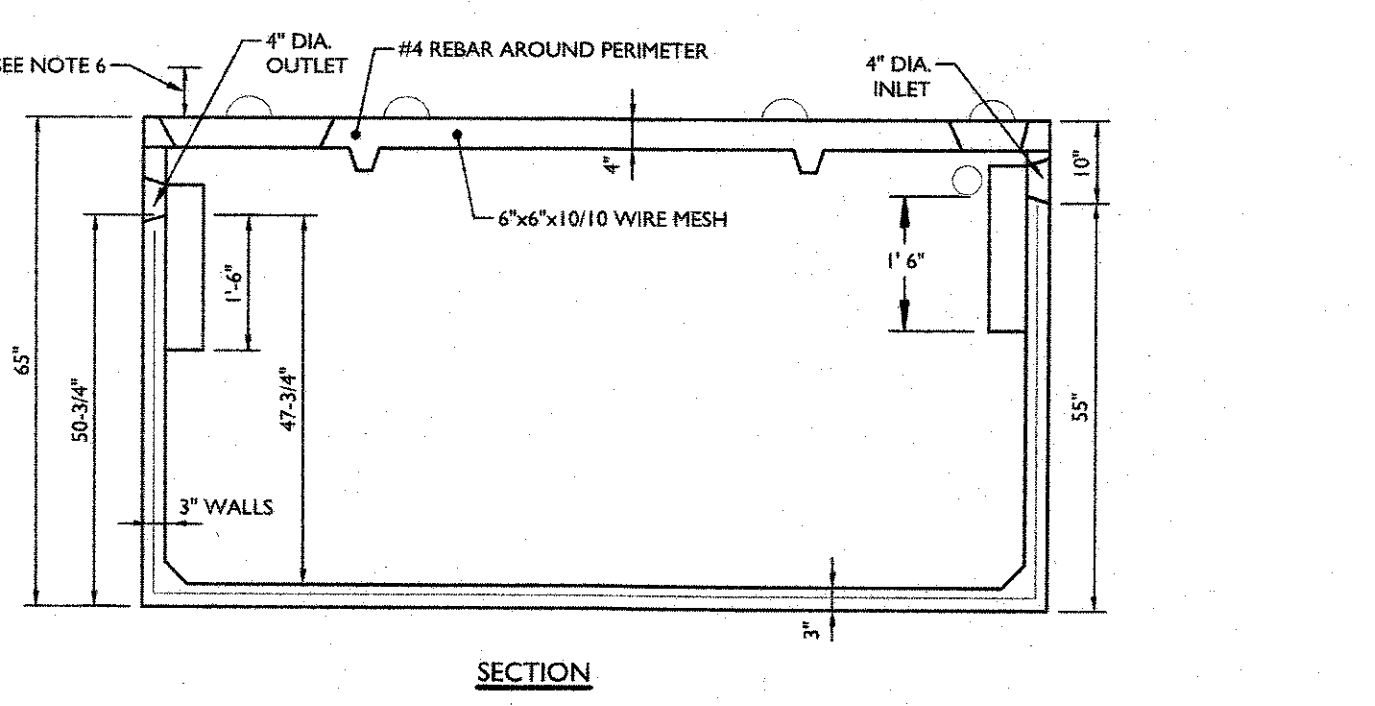
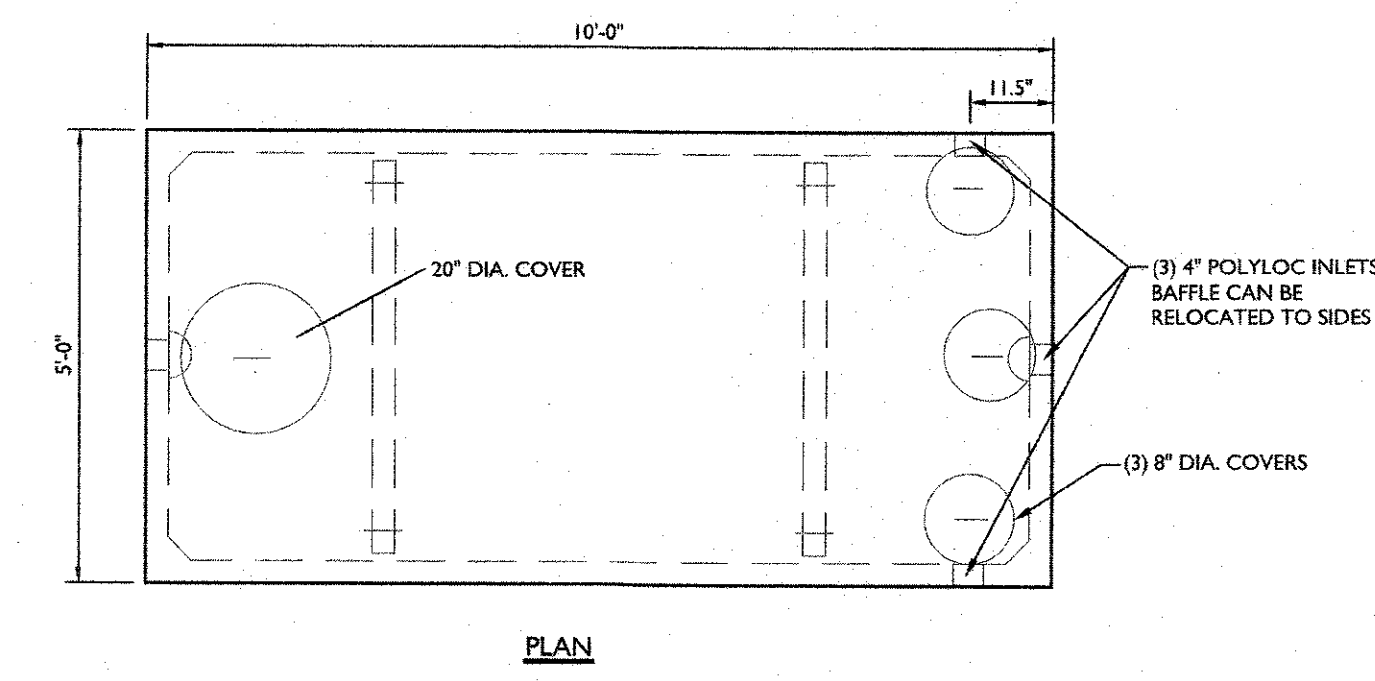
NOTES

1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND TRENCHES SHALL BE 6" BELOW ORIGINAL GRADE.
2. CLEAN FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
3. MAXIMUM DEPTH OF USABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
4. TRENCH BOTTOMS SHALL BE LEVEL. TRENCHES SHALL BE PARALLEL TO GROUND CONTOURS.
5. ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.
6. FILL SHALL EXTEND AT LEAST SIX FEET BEYOND ENDS OF TRENCHES BEFORE STARTING 1 ON 3 EDGES OF FILL.
7. LATERAL ENDS TO BE CAPPED.

SHALLOW ABSORPTION TRENCH SYSTEM DETAIL
N.T.S.



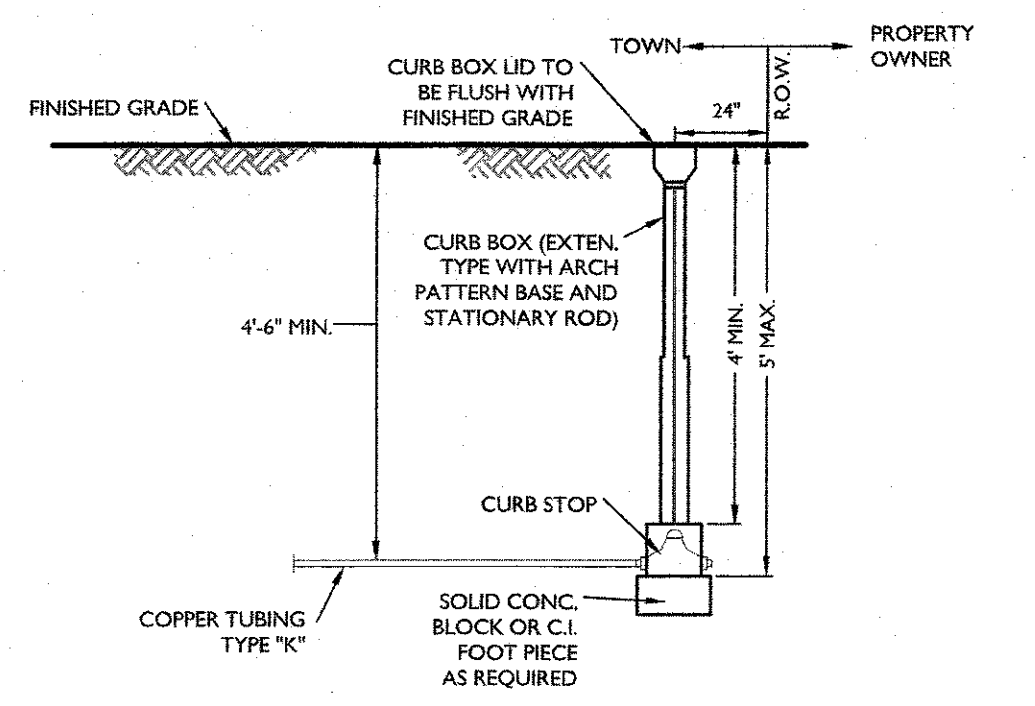
SANITARY CLEANOUT AT BEND
N.T.S.



NOTES

1. TANK IS 4000 PSI CONCRETE- STEEL REINFORCEMENT, 6"x6"x10 GA. S.W.M. AIR ENTRAINMENT: 6%
2. TANK IS TO BE MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, INC. OR APPROVED EQUAL
3. CONSTRUCTION JOINT - BUTYL RUBBER SEALANT OR APPROVED EQUAL
4. BEDDING TO BE A MINIMUM OF 3" OF CLEAN SAND OR PEA GRAVEL, OR 5" OF WASHED AGGREGATE 1/2" TO 1-1/2"
5. TANK TO BE SET LEVEL
6. 12" MAXIMUM GROUND COVER OVER TANK

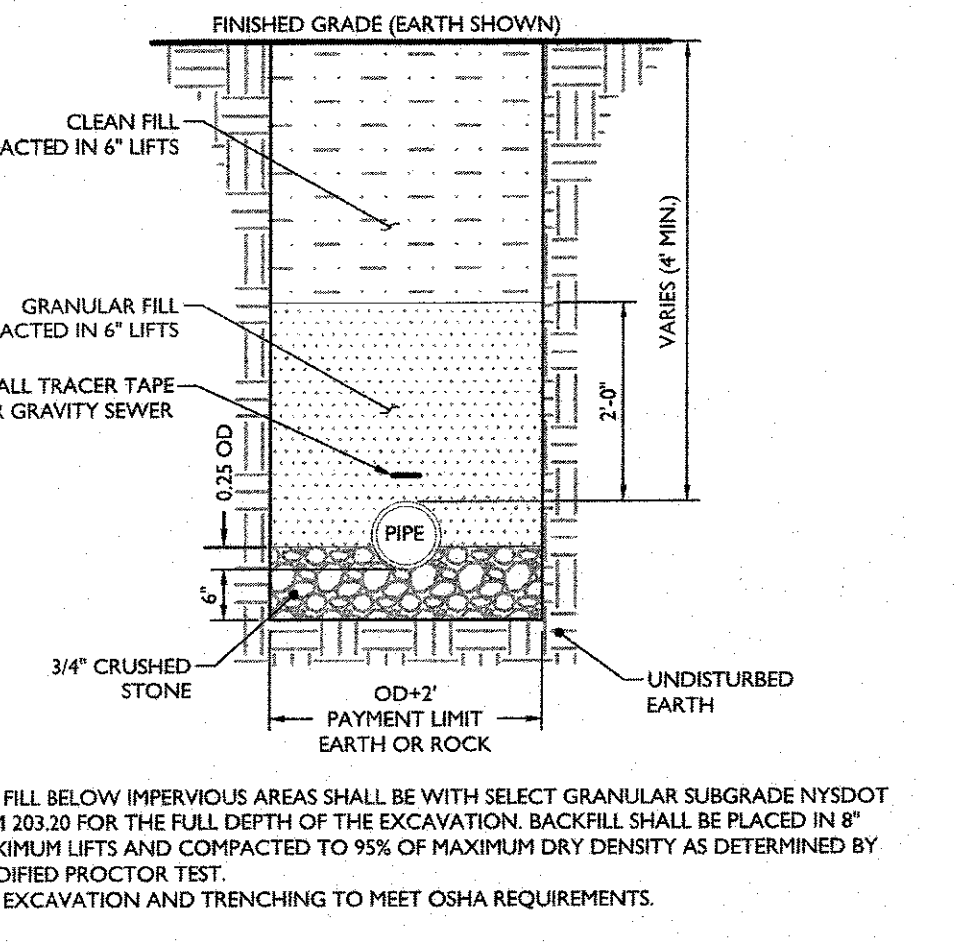
1,250 GALLON PRECAST CONC. SEPTIC TANK DETAIL
N.T.S.



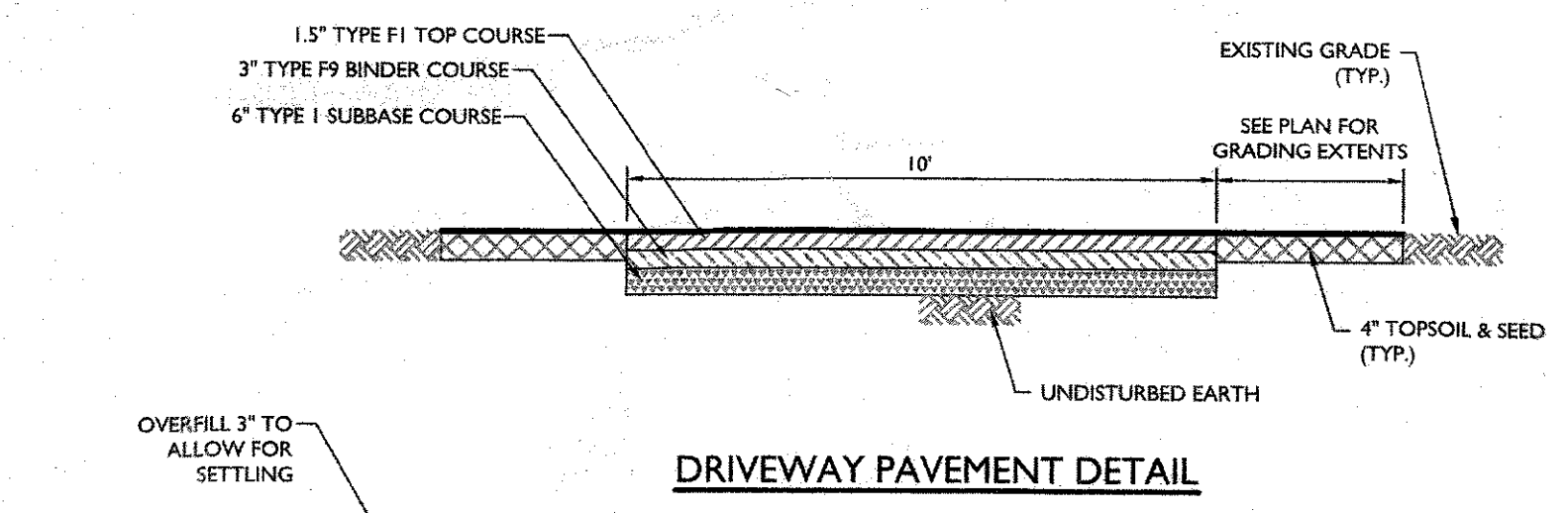
WATER SERVICE CURB BOX
N.T.S.

SEPTIC SYSTEM DESIGN TABLE

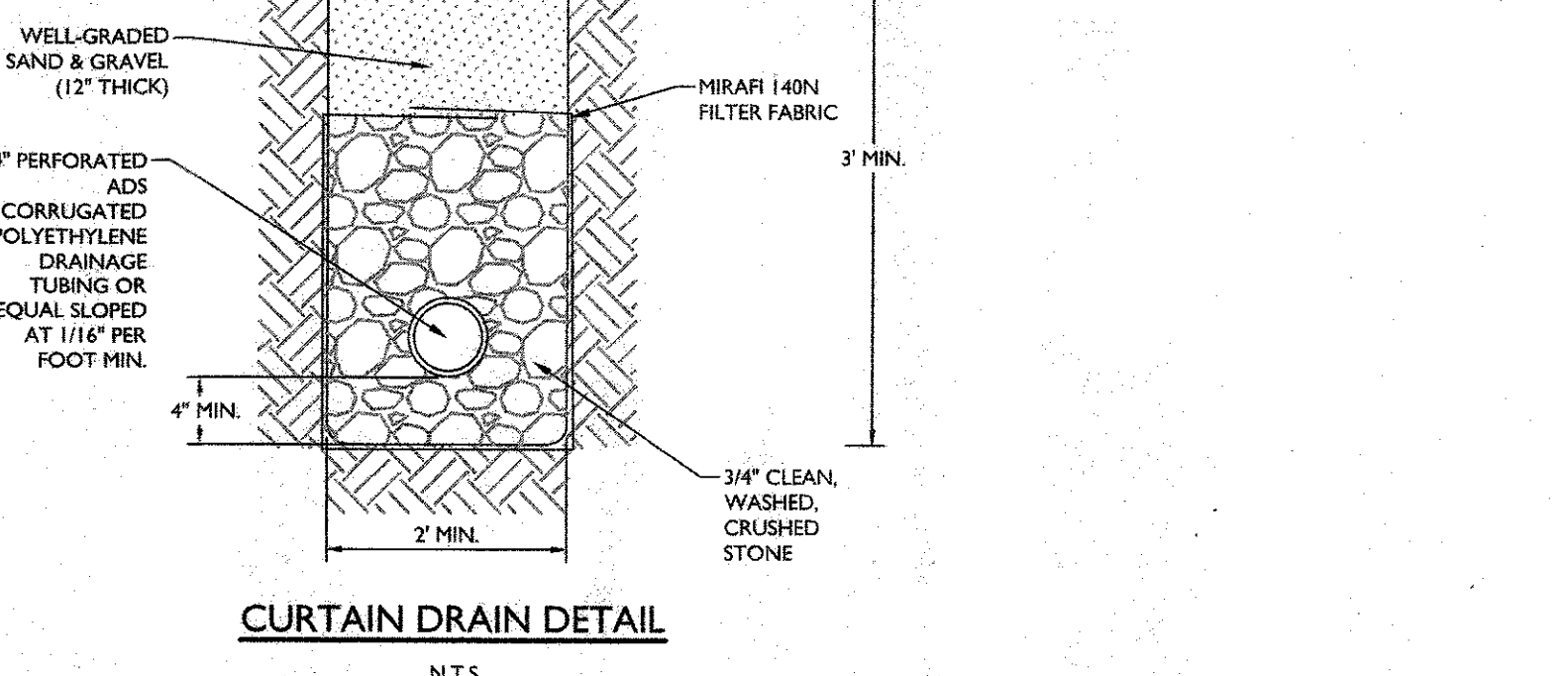
LOT #	PERCOLATION TEST #	DEPTH OF PERCOLATION TEST (IN)	STABILIZED PERCOLATION RATE (MIN/INCH)	DESIGN PERCOLATION RATE (MIN/INCH)	REQUIRED LENGTH OF ABSORPTION TRENCH (4 BEDROOMS)	TYPE OF SEPTIC SYSTEM
1	P-1	12	7:10	46-60	367 LF	SHALLOW SYSTEM
	P-2	12	35:05			
2	P-3	12	21:37	31-45	330 LF	SHALLOW SYSTEM
	P-4	12	10:59			
4	P-5	12	23:04	46-60	367 LF	SHALLOW SYSTEM
	P-6	12	10:22			
	P-7	12	38:15			



TYPICAL SANITARY SEWER PIPE TRENCH BEDDING DETAIL
N.T.S.



DRIVEWAY PAVEMENT DETAIL
N.T.S.



CURTAIN DRAIN DETAIL
N.T.S.

MINIMUM HORIZONTAL SEPARATION DISTANCE (In FEET)

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
WATER LINE (PRESSURE)	10	10	10	>10
DRILLED WELL - PRIVATE WATER SYSTEM	50	50	100	>100

REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES PER PUBLIC HEALTH LAW

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
FOUNDATION	10	N/A	20	>10, >20
PROPERTY LINE	10	10	10	>10

RECOMMENDED MINIMUM HORIZONTAL SEPARATION DISTANCES

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
FOUNDATION	10	N/A	20	>10, >20
PROPERTY LINE	10	10	10	>10

MASER CONSULTING DEEP TESTING FIELD DATA

LOT #	SOIL OBSERVATIONS (AT DEPTH)	SOIL OBSERVATIONS (AT DEPTH)	TYPE OF SEPTIC SYSTEM
1	D-1 0-4" TOPSOIL 4"-13" BROWN CLAY W/ TRACE COBBLES 13"-50" BROWN SILTY LOAM W/ TRACE COBBLES 50"-74" GRAY CLAY LOAM W/ LARGE COBBLES 74" GROUNDWATER	D-2 0-6" TOPSOIL 6"-24" BROWN SILTY LOAM W/ TRACE COBBLES 24"-30" GRAY CLAY W/ COBBLES, (PERCHED WATER TABLE) MOTTLING OBSERVED @24" 30-40 BROWN CLAY W/ TRACE GRAVEL 40-96 BROWN SANDY LOAM W/ GRAVEL, TRACE CLAY	SHALLOW SYSTEM
	D-3 0"-8" TOPSOIL 8"-24" BROWN CLAY LOAM W/ TRACE GRAVEL 24"-36" BROWN SANDY - CLAY LOAM W/ TRACE GRAVEL 36"-60" BROWN SANDY CLAY LOAM W/ COBBLES 60"-80" GRAY & BROWN CLAY LOAM W/ COBBLES, SMALL BOULDERS AT 72" 50" MOTTLING OBSERVED 80" GROUNDWATER	D-4 0"-8" TOPSOIL 8"-36" BROWN & GRAY CLAY W/ TRACE GRAVEL 36"-56" BROWN SANDY CLAY LOAM W/ GRAVEL 56"-85" BROWN & GRAY CLAY LOAM W/ GRAVEL 50" MOTTLING OBSERVED 85" GROUNDWATER	
4	D-5 0"-10" TOPSOIL 10"-30" BROWN CLAY-SILT LOAM, TRACE COBBLES 30"-45" BROWN SILTY LOAM W/ TRACE GRAVEL 45"-84" BROWN SILTY LOAM W/ COBBLES (WET) 84"-88" BROWN CLAY LOAM W/ TRACE COBBLES 88" - RESTRICTIVE FEATURE 24"-36" PERCHED WATER	D-6 0"-6" TOPSOIL 6"-36" GRAY CLAY LOAM W/ TRACE GRAVEL 36"-84" BROWN & GRAY CLAY LOAM W/BOULDERS 84"- RESTRICTIVE FEATURE 24"-36" PERCHED WATER	SHALLOW SYSTEM

WATER SERVICE TAP
N.T.S.

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Know what's below.
Call before you dig.
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ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 07355-1

MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.

SECTION 93 BLOCK 1 LOT 64.5

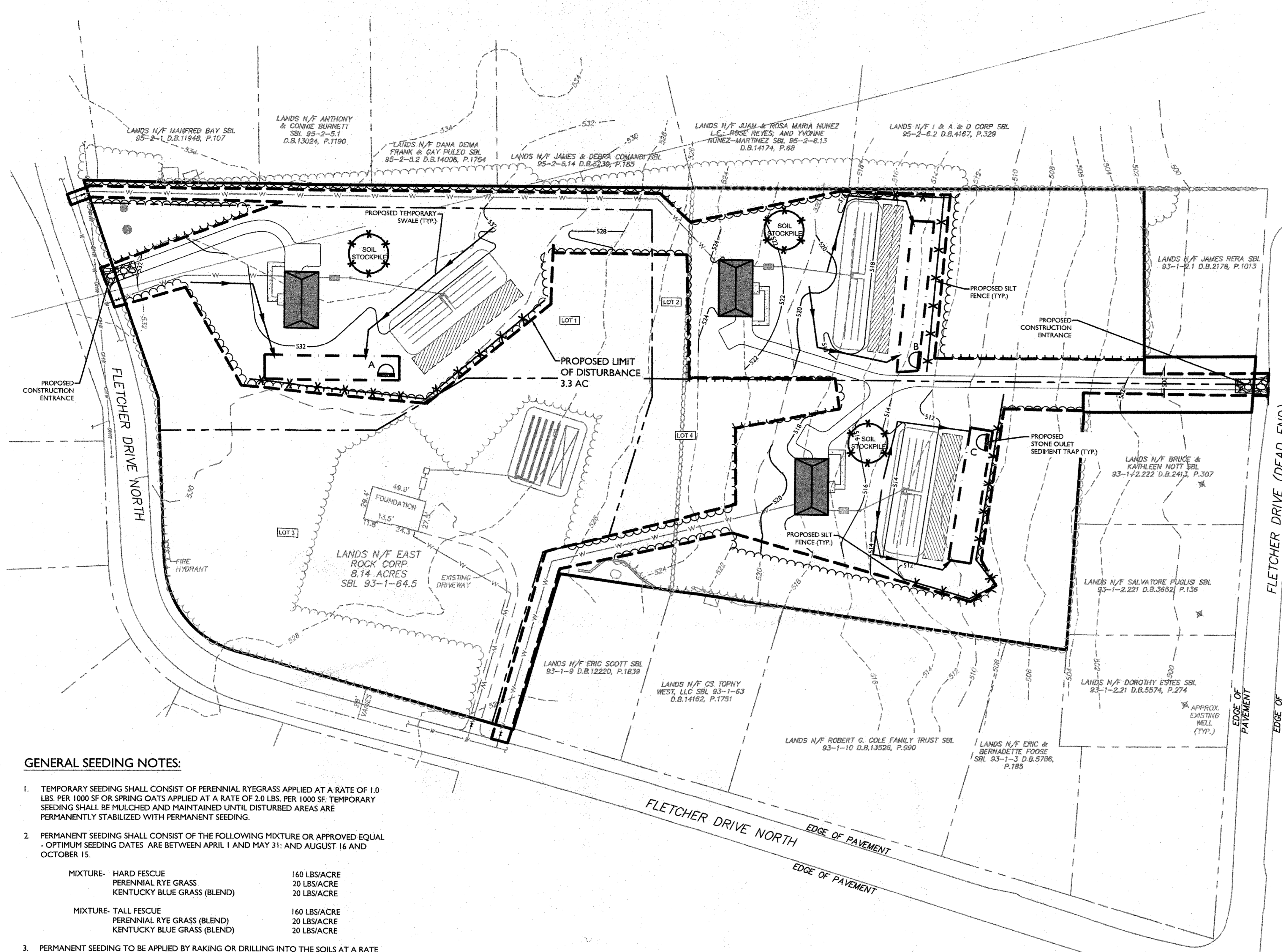
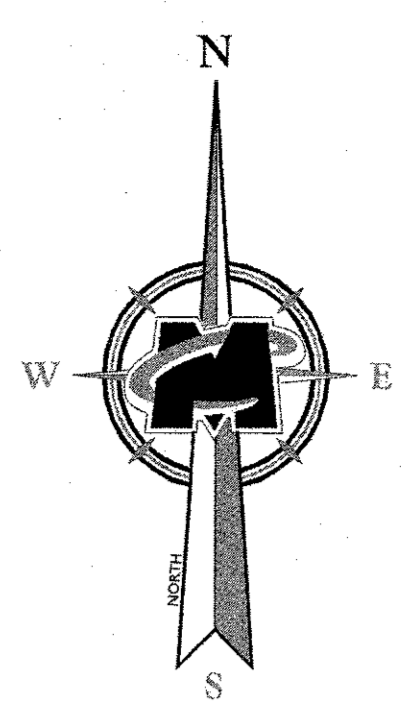
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK STATE

NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4995
Fax: 845.567.1025

SCALE: AS SHOWN DATE: 09/11/2018 DRAWN BY: CDR CHECKED BY: JED
PROJECT NUMBER: 08010208 DRAWING NAME: C-DT15
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: 08 of 08

PROTECT YOURSELF
 ALL STATE REQUIRE NOTIFICATION OF EXCAVATORS, REGIONAL, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

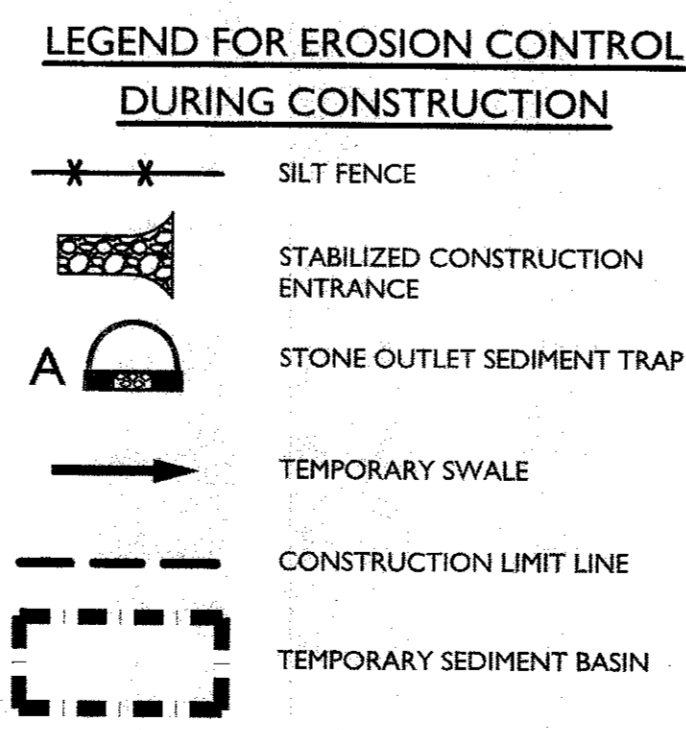
811
 Know what's below.
 Call before you dig.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL11.COM



- GENERAL SEEDING NOTES:**
- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
 - PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 16 AND OCTOBER 15.

MIXTURE- HARD FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
MIXTURE- TALL FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
 - PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
 - FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC REGULATIONS. A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
 - IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
 - MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
 - WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DEICING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
 - REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
 - INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

- LOT PHASING CONSTRUCTION SEQUENCES**
- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF CONSTRUCTION LIMITS. SILT FENCING SHALL BE INSTALLED AS SHOWN ON EROSION CONTROL PLAN.
 - CONTRACTOR TO ENTER THE SITE FROM FLETCHER DRIVE NORTH OR FLETCHER DRIVE BASED ON WHICH LOT WILL BE CONSTRUCTED.
 - CONTRACTOR SHALL CLEAR TREES AND VEGETATION AS NECESSARY TO CONSTRUCT PROPOSED LOT(S). CONTRACTOR SHALL GRUB STUMPS AS NECESSARY TO CONSTRUCT PROPOSED LOT(S).
 - INSTALL ALL TEMPORARY STONE OULET SEDIMENT TRAPS AND TEMPORARY SWALES AS INDICATED ON THE EROSION CONTROL PLAN.
 - CONTRACTOR SHALL BRING THE GRADES FOR THE PROPOSED BUILDINGS AND DRIVEWAYS TO PROPOSED ELEVATIONS. ONCE THE SOIL IN THIS AREA IS BROUGHT TO GRADE, IT SHALL BE TEMPORARILY STABILIZED THROUGH SEEDING AND/OR MULCHING, UNTIL PERMANENT STABILIZATION IS ACHIEVED (I.E. SOD, SEEDING, BUILDING FOUNDATIONS, BASE COURSE ASPHALT).
- THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.



THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY

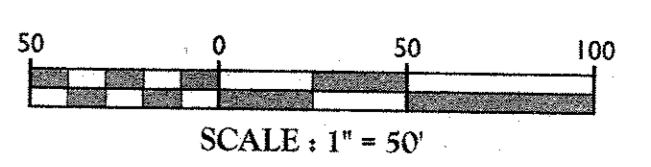
GENERAL CONSTRUCTION SEQUENCE

THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND A PRECONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE TOWN BUILDING DEPARTMENT, HIGHWAY DEPARTMENT, ENGINEERS AND ANY OTHER PARTIES DEEMED NECESSARY TO REVIEW ALL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.

TOTAL DISTURBANCE AREA = 3.3 ACRES (1.1 ACRES PER LOT)

TEMPORARY STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 11,880 CF
 TEMPORARY STORAGE AREA = 3,960 SF PER LOT (11,880 CF TOTAL)
 TEMPORARY STORAGE DEPTH = 1.5 FT

- CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS, ACCESSING THE PROJECT SITE FROM THE DESIGNATED LOCATION(S).
- CONTRACTOR SHALL INSTALL THREE (3) TEMPORARY SEDIMENT TRAPS, TEMPORARY DIVERSION SWALES, AND SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND AS REQUIRED BASED ON THE CONSTRUCTION SEQUENCE OF THE LOTS. CONTRACTOR TO CONSTRUCT ADDITIONAL TEMPORARY DIVERSION SWALES AND SEDIMENT TRAPS AS NEEDED TO DIRECT AND CAPTURE RUNOFF FROM DISTURBED AREAS. LOCATIONS AND SIZE MAY VARY DEPENDING ON CONTRACTOR SCHEDULE AND APPROACH BUT 3,600 CF OF STORAGE MUST BE PROVIDED AT A MINIMUM PER ACRE OF UPSTREAM DISTURBANCE. SEDIMENT TRAPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS. SEDIMENT TRAPS AND BASINS SHALL BE SIZED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL.
- DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL AND MATERIALS STORED IN STOCK PILES, CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- CONTRACTOR SHALL BEGIN CONSTRUCTION ON PROPOSED HOUSES. AFTER COMPLETION OF EACH HOME EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- TEMPORARY STABILIZATION - MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) AS SET FORTH IN THE TECHNICAL STANDARD, NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TO PREVENT THE EXPOSED SOIL FROM ERODING. THE MATERIALS CAN INCLUDE, BUT ARE NOT LIMITED TO, MULCH, SEED AND MULCH, AND EROSION CONTROL MATS (E.G. JUTE TWISTED YARN, EXCELSIOR WOOD FIBER MATS). STABILIZATION SHALL BE MAINTAINED PER SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-15-002 OR AS AMENDED.
- CONTRACTOR SHALL BEGIN CONSTRUCTION ON PROPOSED HOUSES. AFTER COMPLETION OF EACH HOME EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
- FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
- UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.



ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.

SECTION 93
 BLOCK 1
 LOT 64.5

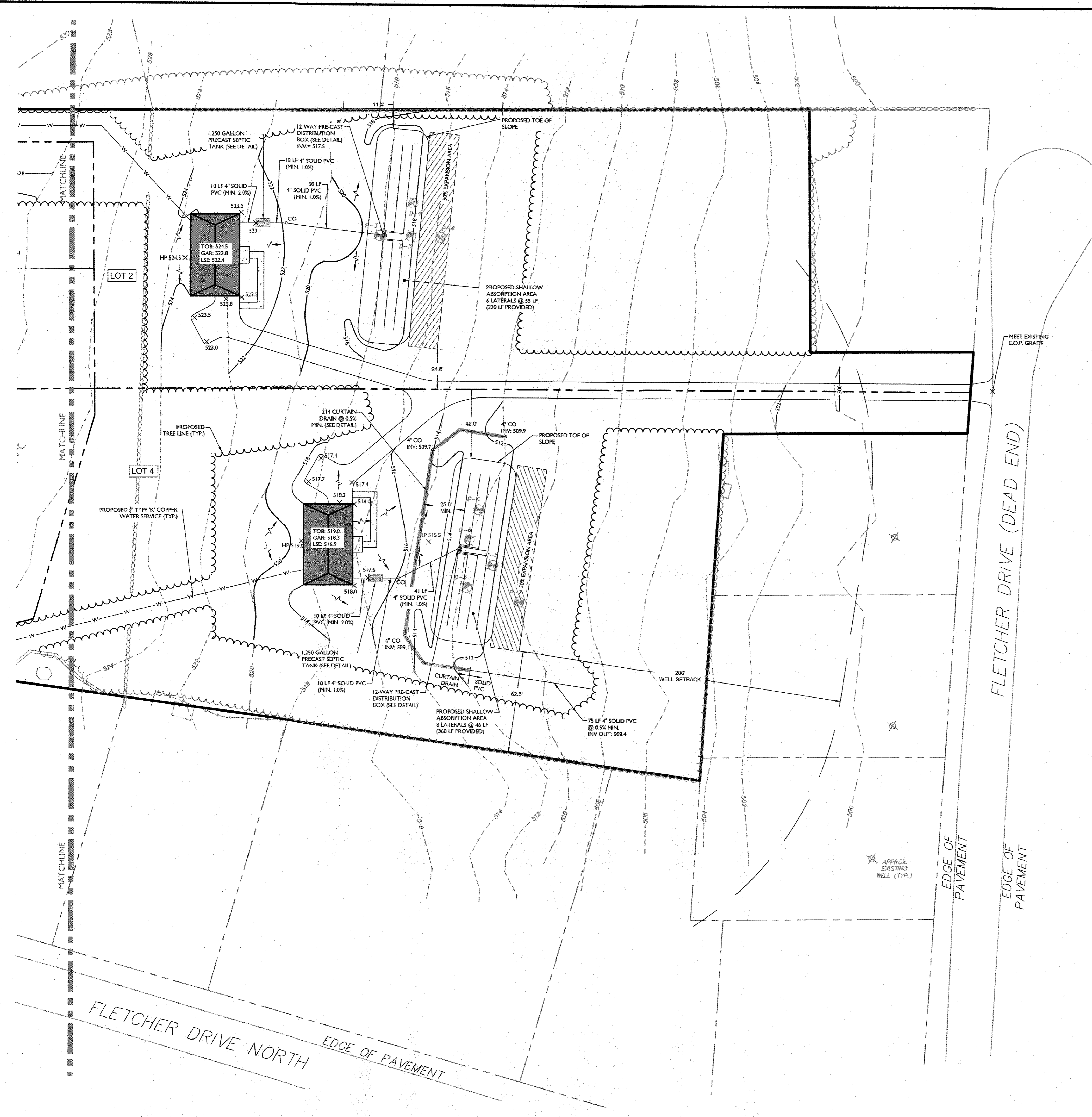
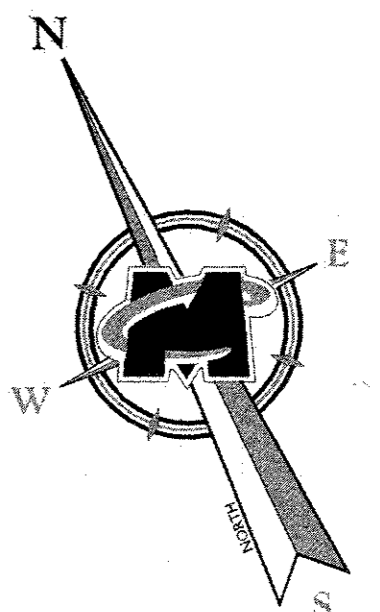
**TOWN OF NEWBURGH
 ORANGE COUNTY
 NEW YORK STATE**

NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4495
 Fax: 845.567.1025

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	09/11/2018	CDR	JED
PROJECT NUMBER:	DRAWING NAME:		
080010208	C-SEC		

SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
06 of 08



SUBSURFACE SEWAGE DISPOSAL SYSTEM NOTES:

- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
- THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUCE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI, TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE TOWN OF NEWBURGH.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY:
 - SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
 - DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- INDIVIDUAL SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. AN AS-BUILT PLAN SHALL BE PREPARED AND SUBMITTED AFTER CONSTRUCTION AS WELL AS THE ENGINEER'S CERTIFICATION TO THE CODE ENFORCEMENT OFFICER PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY LOT.

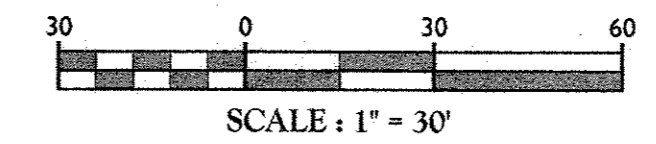
GENERAL NOTES:

- LOW FLOW PLUMBING FIXTURES MUST BE USED IN BUILDING.
- SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES (SEPTIC TANK, DISTRIBUTION BOXES, ETC.).
- DESIGN PERCOLATION RATES FOR SHALLOW SYSTEM DESIGN (12" DEPTH) TAKEN FROM DATA GATHERED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.
- DEEP TEST INFORMATION REFERENCED FROM TESTS WITNESSED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.

GRADING NOTES:

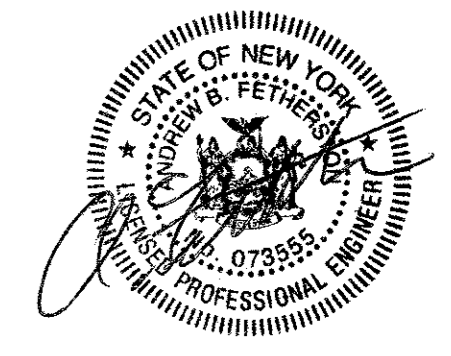
- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING LINE.

EXISTING	LEGEND	PROPOSED
---	LOT LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WATER SERVICE LINE	---
---	CURB BOX / VALVE	---
---	CONTOURS	---
X 28.0	SPOT ELEVATION	X 29.0
D-1	DIRECTION OF OVERLAND FLOW	---
D-1	DEEP TEST LOCATION	---
D-1	PERCOLATION TEST LOCATION	---
---	SEPTIC CLEANOUT	---
---	TOP OF BLOCK ELEVATION	TOB: 29.0
---	GARAGE FLOOR ELEVATION	GAR: 28.0
---	LOWEST SEWERABLE ELEVATION	LSE: 27.0



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REV.	DATE	DRAWN BY	DESCRIPTION



ANDREW B. FETHERSTON
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.

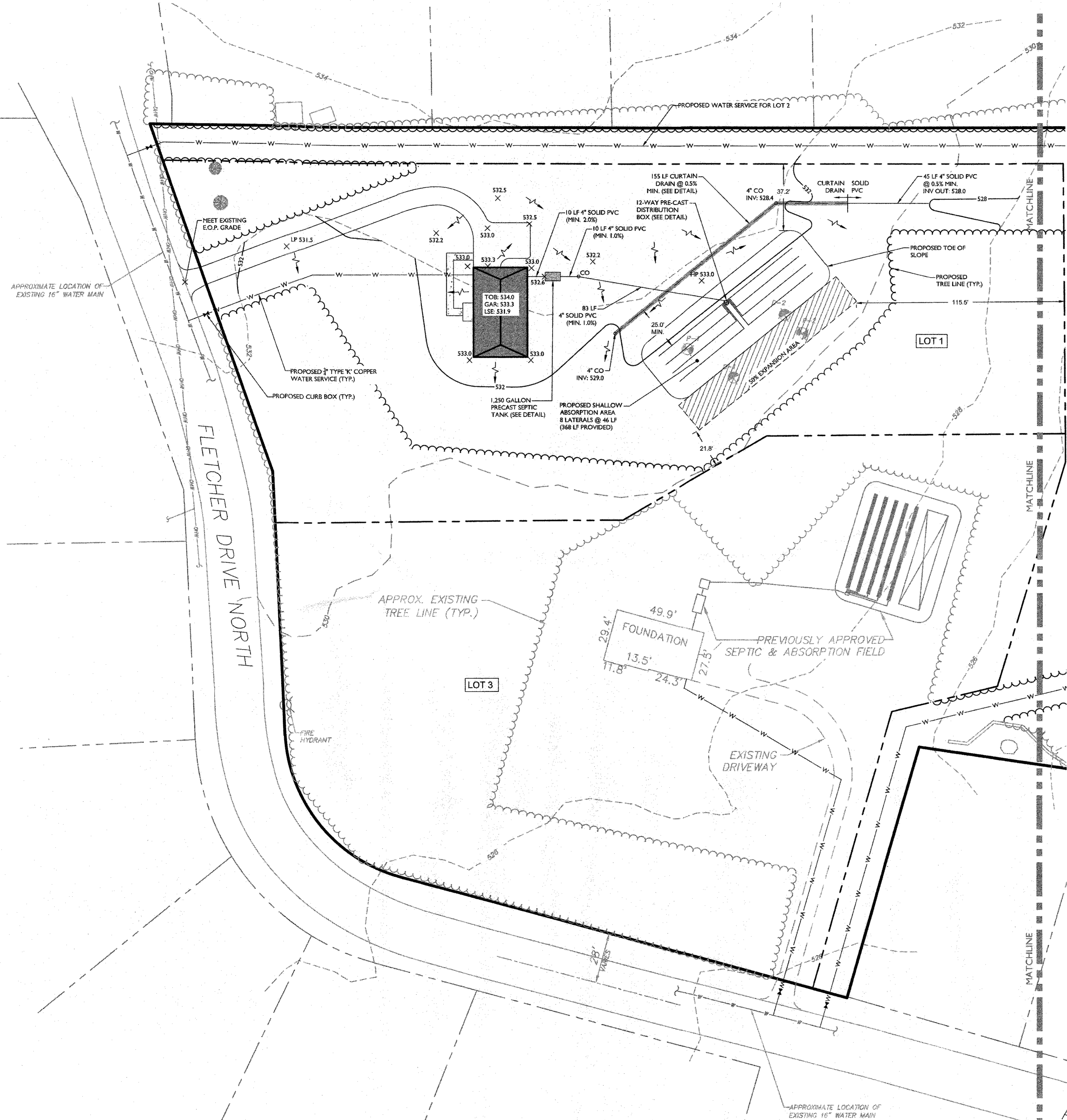
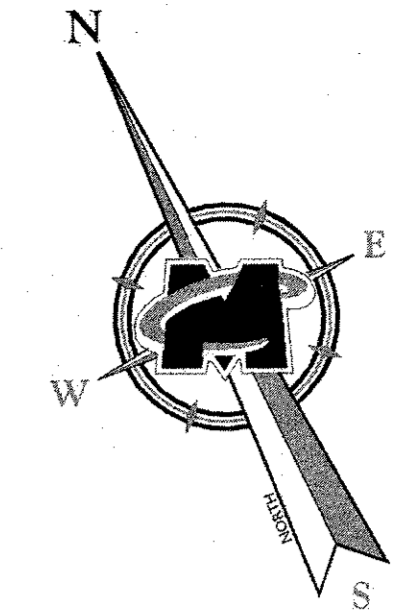
SECTION 93
 BLOCK 1
 LOT 64.5

TOWN OF NEWBURGH
 ORANGE COUNTY
 NEW YORK STATE

NEW WINDSOR OFFICE
 555 Hudson Valley Avenue
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 New Windsor, NY 12553
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 Fax: 845.567.1025

SCALE: AS SHOWN	DATE: 09/11/2018	DRAWN BY: CDR	CHECKED BY: JED
PROJECT NUMBER: 080910206	DRAWING NAME: C-GRAD		

EASTERN GRADING, DRAINAGE, & UTILITY PLAN



SUBSURFACE SEWAGE DISPOSAL SYSTEM NOTES:

1. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
2. TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
3. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
4. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
5. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
6. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE TOWN OF NEWBURGH.
7. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
8. THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY:
 - A. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
 - B. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
9. INDIVIDUAL SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
10. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. AN AS-BUILT PLAN SHALL BE PREPARED AND SUBMITTED AFTER CONSTRUCTION AS WELL AS THE ENGINEERS CERTIFICATION TO THE CODE ENFORCEMENT OFFICER PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY LOT.

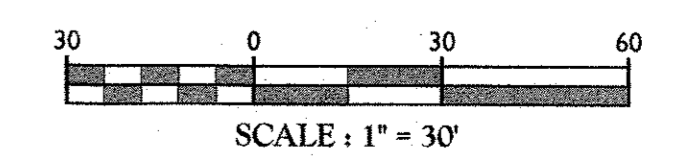
GENERAL NOTES:

1. LOW FLOW PLUMBING FIXTURES MUST BE USED IN BUILDING.
2. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES (SEPTIC TANK, DISTRIBUTION BOXES, ETC.)
3. DESIGN PERCOLATION RATES FOR SHALLOW SYSTEM DESIGN (12" DEPTH) TAKEN FROM DATA GATHERED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.
4. DEEP TEST INFORMATION REFERENCED FROM TESTS WITNESSED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.

GRADING NOTES:

1. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING LINE.

EXISTING	LEGEND	PROPOSED
---	LOT LINE	---
- - -	PROPERTY LINE	- - -
=====	EDGE OF PAVEMENT	=====
=====	CURB	=====
=====	DEPRESSED CURB	=====
=====	SIDEWALK	=====
-----X-----	FENCES	-----X-----
~~~~~	TREELINE	~~~~~
-----	ROADWAY SIGNS	-----
-----	WATER SERVICE LINE	-----
-----	CURB BOX / VALVE	-----
-----	CONTOURS	-----
x 29.0	SPOT ELEVATION	x 29.0
--->	DIRECTION OF OVERLAND FLOW	--->
D-1	DEEP TEST LOCATION	
P-1	PERCOLATION TEST LOCATION	
○	SEPTIC CLEANOUT	○
○	TOP OF BLOCK ELEVATION	TOB: 29.0
○	GARAGE FLOOR ELEVATION	GAR: 28.0
○	LOWEST SEWERABLE ELEVATION	LSE: 27.0



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REV	DATE	DESCRIPTION

STATE OF NEW YORK  
 ANDREW B. FETHERSTON  
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

**MINOR SUBDIVISION PLANS**  
 FOR  
**EAST ROCK CORP.**  
 SECTION 93  
 BLOCK 1  
 LOT 64.5  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 NEW YORK STATE

**NEW WINDSOR OFFICE**  
 555 Hudson Valley Avenue  
 Suite 101  
 New Windsor, NY 12553  
 Phone: 845.564.4495  
 Fax: 845.567.1025

SCALE: AS SHOWN	DATE: 09/11/2018	DRAWN BY: CDR	CHECKED BY: JED
PROJECT NUMBER: 080010208	DRAWING NAME: C-GRAD		

SHEET TITLE:  
**WESTERN GRADING, DRAINAGE, & UTILITY PLAN**

**OWNER/APPLICANT:**

EAST ROCK CORP.  
5020 ROUTE 9W  
NEWBURGH, NY 12550

**TAX LOT:**

93-1-64.5  
4354,488 SQ. FT.  
.814 ACRES

**NOTES:**

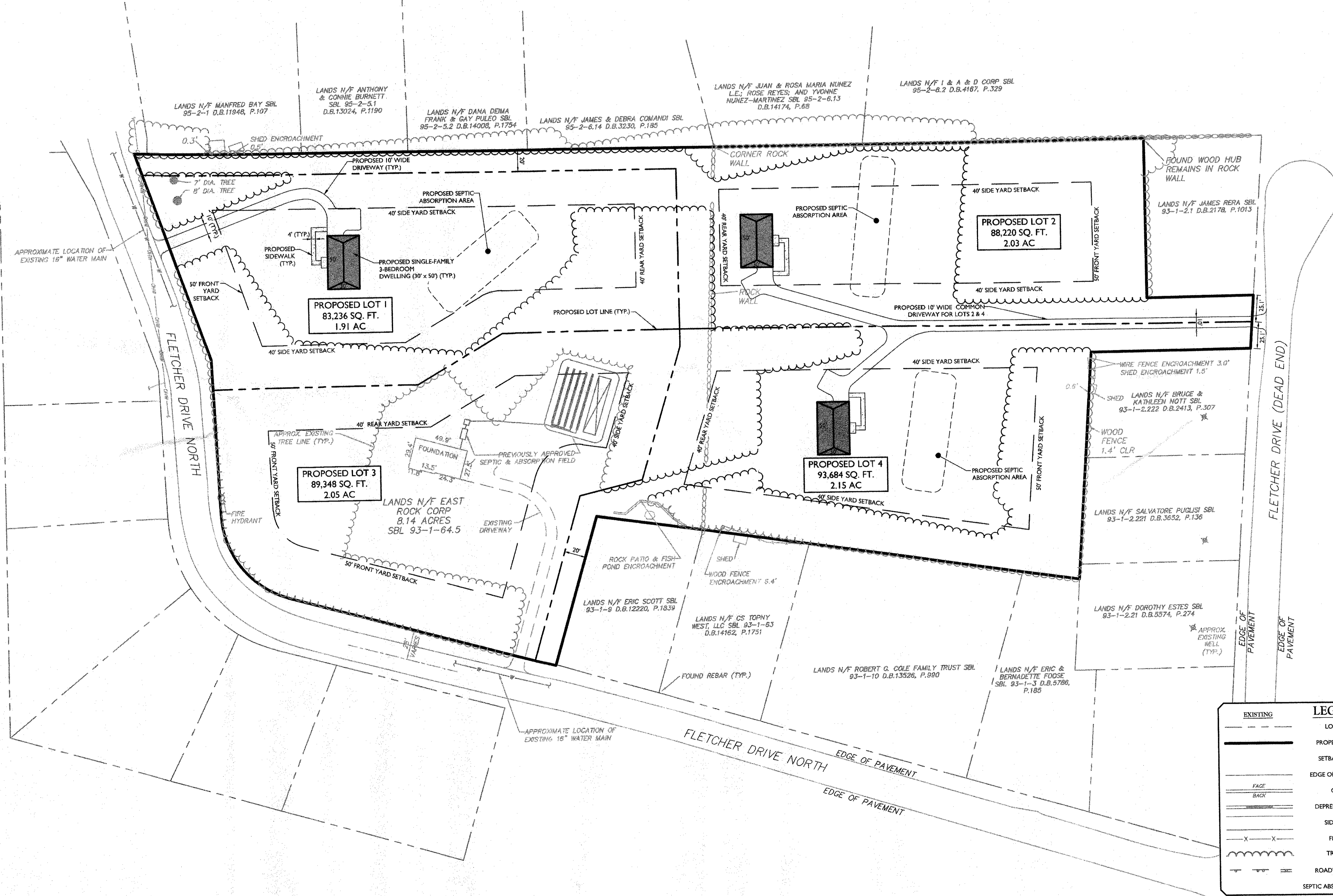
- EXISTING SITE INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "BOUNDARY SURVEY MAP PREPARED FOR EAST ROCK CORP.", PREPARED BY BAMBÌ TERRELL MELNIER AND DATED MARCH 16, 2018.
- THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, NO. 36071C0139E DATED AUGUST 3, 2009.
- THE PROPERTY DOES NOT HAVE ANY ON-SITE WETLANDS AS PER AVAILABLE MAPPING SOURCES.
- SCHOOL DISTRICT: NEWBURGH
- FIRE DEPARTMENT: ORANGE LAKE

**BULK TABLE**

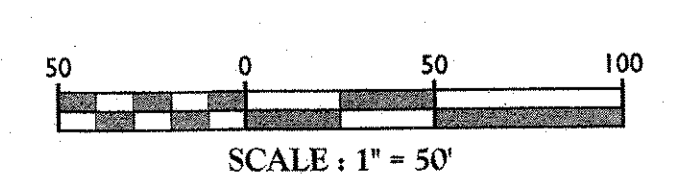
ZONE: R1 RESIDENTIAL  
PERMITTED USE: SINGLE-FAMILY DWELLING, NOT TO EXCEED 1 DWELLING PER LOT

MINIMUM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA	40,000 SQ. FT.	83,236 SQ. FT.	88,220 SQ. FT.	89,348 SQ. FT.	93,684 SQ. FT.
FRONT YARD SETBACK	50 FEET	> 50 FEET	> 50 FEET	> 50 FEET	> 50 FEET
REAR YARD SETBACK	40 FEET	> 40 FEET	> 40 FEET	> 40 FEET	> 40 FEET
SIDE YARD SETBACK					
ONE	30 FEET	> 30 FEET	> 30 FEET	> 30 FEET	> 30 FEET
BOTH	80 FEET	> 80 FEET	> 80 FEET	> 80 FEET	> 80 FEET
LOT WIDTH*	150 FEET	212.7 FEET	173.6 FEET	317.6 FEET	233.3 FEET
LOT DEPTH	150 FEET	471.9 FEET	440.0 FEET	761.9 FEET	401.2 FEET
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.	> 1,500 SQ. FT.
MAXIMUM					
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
LOT BUILDING COVERAGE	10%	1.8% (1,500 SQ. FT.)	1.7% (1,499 SQ. FT.)	1.6% (1,499 SQ. FT.)	1.6% (1,500 SQ. FT.)
LOT SURFACE COVERAGE	20%	4.9% (4,160 SQ. FT.)	5.9% (5,243 SQ. FT.)	4.6% (4,100 SQ. FT.)	5.3% (4,933 SQ. FT.)

* = LOT WIDTH MEASURED AT FRONT SETBACK LINE



EXISTING	LEGEND	PROPOSED
---	LOT LINE	---
---	PROPERTY LINE	---
---	SETBACK LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TRELINE	---
---	ROADWAY SIGNS	---
---	SEPTIC ABSORPTION AREA	---



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REV	DATE	DESCRIPTION

STATE OF NEW YORK  
SEAL OF ANDREW B. FETHERSTON  
Professional Engineer No. 073555  
ANDREW B. FETHERSTON  
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER 073555-1

**MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.**  
  
**SECTION 93 BLOCK 1 LOT 64.5**  
**TOWN OF NEWBURGH ORANGE COUNTY NEW YORK STATE**

**NEW WINDSOR OFFICE**  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

SCALE: AS SHOWN 09/11/2018 DRAWN BY: CDR CHECKED BY: JED  
PROJECT NUMBER: 080010208 DRAWING NAME: C-LAYT

SHEET TITLE: **DIMENSION PLAN**

SHEET NUMBER: **03 of 08**

**DEMOLITION NOTES:**

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. DIG SAFELY, NEW YORK, 1-800-962-7962 OR 811, A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
4. MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
5. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO MASER CONSULTING, P.A. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
6. PRIOR TO STARTING ANY DEMOLITION, THE CONTRACTOR IS RESPONSIBLE FOR TO:

- A. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL PLAN," THIS DRAWING SET).
  - B. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - C. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - D. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - E. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  7. COORDINATION WITH UTILITY COMPANIES AND TOWN OF NEWBURGH REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
8. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.

9. ROCK EXCAVATIONS WILL BE PERFORMED BY MECHANICAL MEANS ONLY. USE OF EXPLOSIVES IS PROHIBITED. ALL THE REQUIRED PERMITS AND CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES, AS APPLICABLE.

10. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.

11. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.

12. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.

13. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.

14. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.

15. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

16. DEMOLITION SHALL NOT PROCEED UNTIL THE APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLY SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE TOWN.

17. CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED SITE AREAS TO ORIGINAL CONDITION AS DIRECTED BY THE OWNER.

18. PROTECT ALL EXISTING UTILITIES (INCLUDING DRAIN INLETS, HYDRANTS, VALVES, SEWER MANHOLES, ETC.) DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.

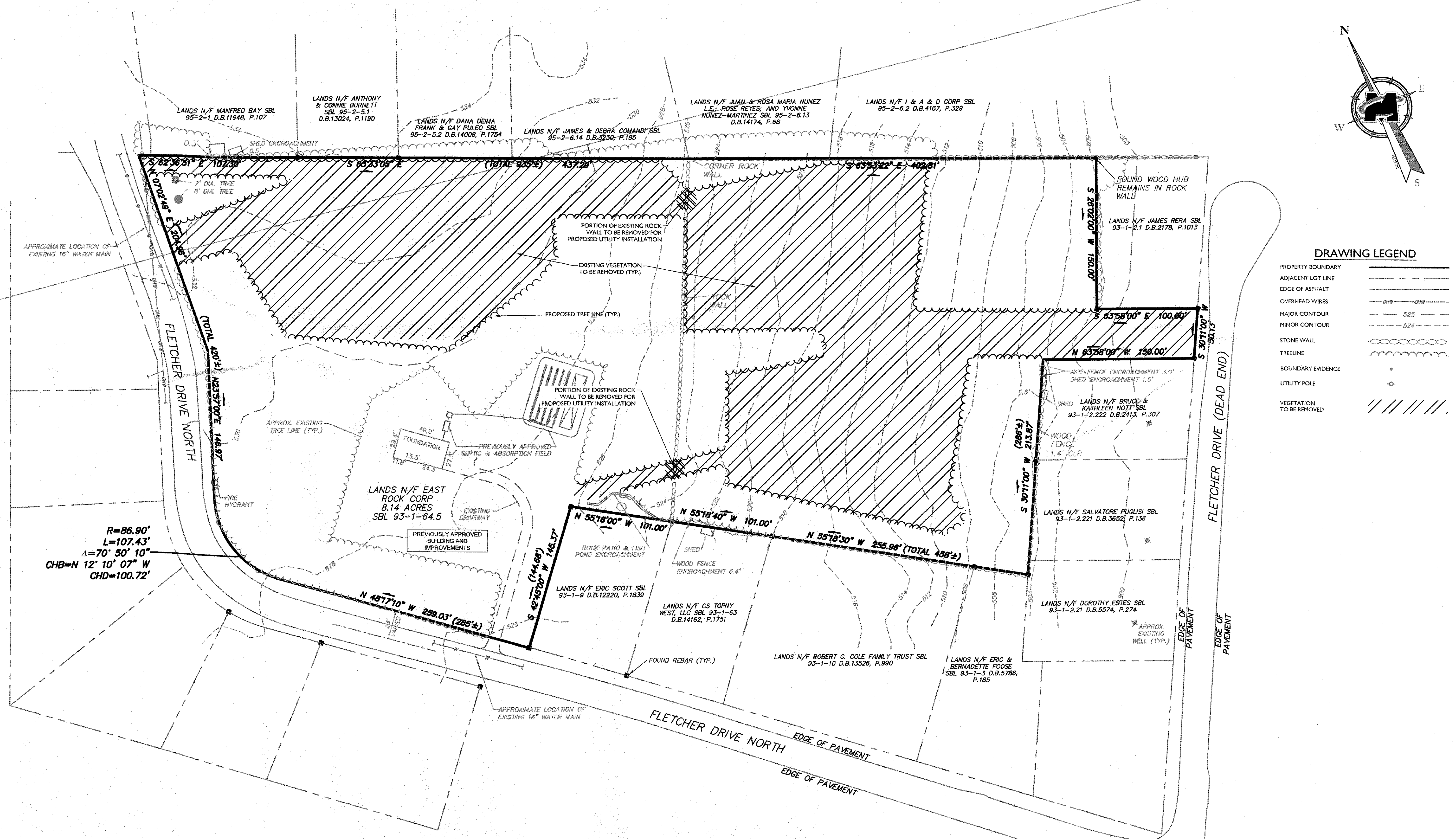
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**811** PROTECT YOURSELF  
 ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES BEFORE ANY PERSON ATTEMPTS TO DIG OR DISTURB THE SURFACE ANYWHERE IN ANY STATE.

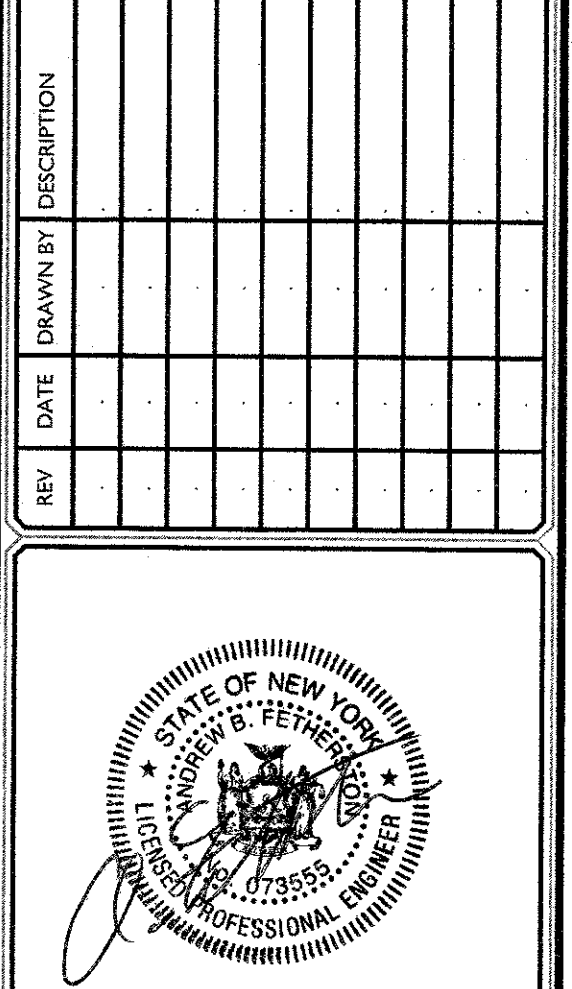
Know what's below. Call before you dig.  
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM



REV	DATE	DESCRIPTION

**DRAWING LEGEND**

- PROPERTY BOUNDARY
- ADJACENT LOT LINE
- EDGE OF ASPHALT
- OVERHEAD WIRES
- MAJOR CONTOUR
- MINOR CONTOUR
- STONE WALL
- TREELINE
- BOUNDARY EVIDENCE
- UTILITY POLE
- VEGETATION TO BE REMOVED



**ANDREW B. FETHERSTON**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

**MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.**

**SECTION 93 BLOCK 1 LOT 64.5**

**TOWN OF NEWBURGH ORANGE COUNTY NEW YORK STATE**

**NEW WINDSOR OFFICE**  
 555 Hudson Valley Avenue  
 Suite 101  
 New Windsor, NY 12553  
 Phone: 845.564.4495  
 Fax: 845.567.1025

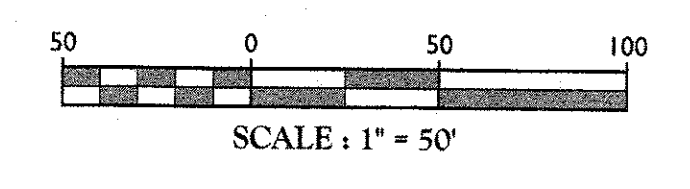
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	09/11/2018	CDR	JED
PROJECT NUMBER	080010208	DRAWING NAME	C-DEM0

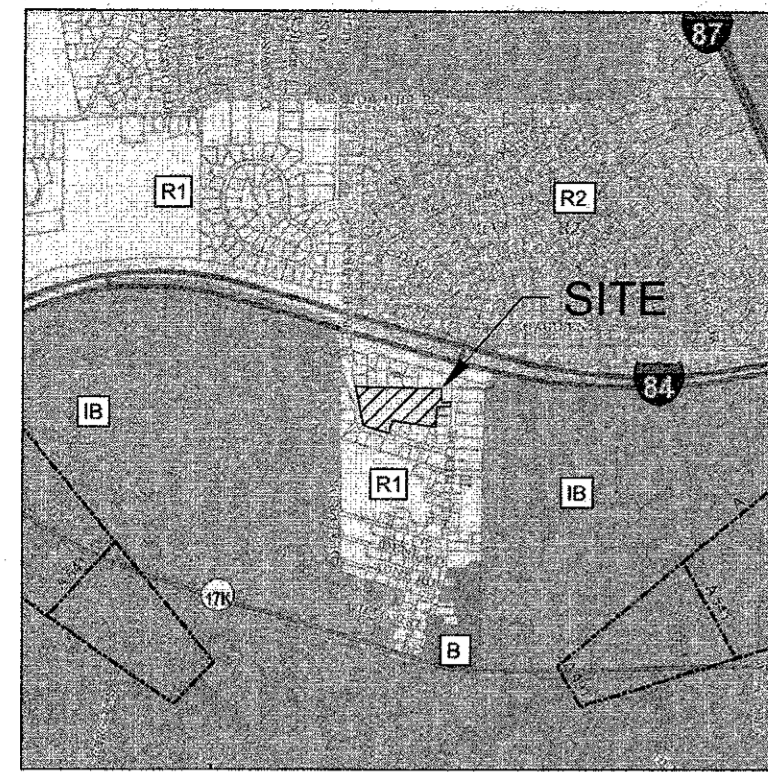
**SHEET TITLE:**  
 EXISTING CONDITIONS & DEMOLITION PLAN

**SHEET NUMBER:**  
 02 of 08

**MAP REFERENCE:**

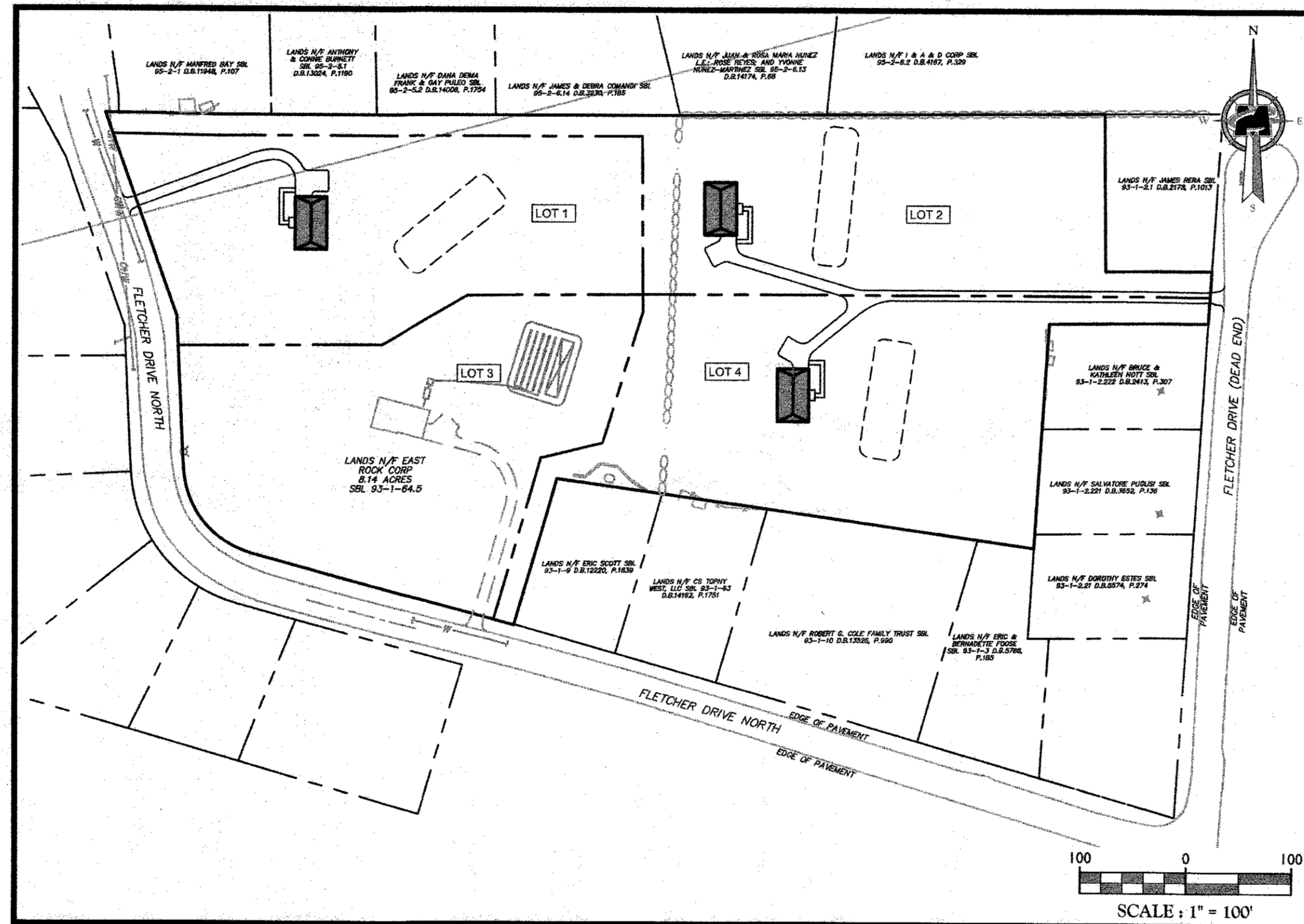
1. EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A SURVEY MAP ENTITLED "BOUNDARY SURVEY MAP PREPARED FOR EAST ROCK CORP.", PREPARED BY BAMBI TERRELL MEUNIER AND DATED MARCH 16, 2018.





ZONING MAP  
SCALE: 1" = 200'

# MINOR SUBDIVISION PLANS FOR EAST ROCK CORP. FLETCHER DRIVE SUBDIVISION SECTION 93, BLOCK 1, LOT 64.5 TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



KEY & ZONING MAP

INDEX OF SHEETS		
SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	EXISTING CONDITIONS & DEMOLITION PLAN	
3	DIMENSION PLAN	
4	WESTERN GRADING, DRAINAGE & UTILITY PLAN	
5	EASTERN GRADING, DRAINAGE & UTILITY PLAN	
6	SOIL EROSION AND SEDIMENT CONTROL PLAN	
7	SOIL EROSION AND SEDIMENT CONTROL DETAILS	
8	CONSTRUCTION DETAILS	

## GENERAL INFORMATION

- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY SURVEY PREPARED FOR EAST ROCK CORP.", DATED MARCH 16, 2018, PREPARED BY BAMBI TERRELL MEUNIER. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. CONTOUR LINES AND ELEVATIONS SHOWN ARE TAKEN FROM THE ORANGE COUNTY GIS MAP.
- THE PROPERTY IS NOT WITHIN ANY WETLANDS OR WETLAND BUFFERS AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ENVIRONMENTAL MAPPER.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAPS 36071 C0139E PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED AUGUST 3, 2009.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" LATEST VERSION.
  - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
  - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
  - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE SHALL BE PROVIDED TO EACH LOT FROM THE TOWN'S CONSOLIDATED WATER DISTRICT, SUBJECT TO THE APPLICABLE REGULATIONS AND THE APPROVAL OF THE TOWN OF NEWBURGH.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO PROPOSED INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS. GRAVITY PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN EXTERIOR TRASH RECEPTACLES FOR DESIGNATED PICK UP DAY.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HERON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HERON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH DWELLING/BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION SHOWN HEREON IS INCORPORATED WITH THE CONTENTS OF THE FOLLOWING REPORT: "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) PREPARED FOR EAST ROCK CORP., PREPARED BY MASER CONSULTING, P.A. DATED SEPTEMBER 2018.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



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REV	DATE	DESCRIPTION

**ANDREW B. FETHERSTON**  
 NEW YORK LICENSED PROFESSIONAL  
 ENGINEER - LICENSE NUMBER: 073555-J

MINOR  
 SUBDIVISION PLANS  
 FOR  
 EAST ROCK CORP.  
  
 SECTION 93  
 BLOCK 1  
 LOT 64.5  
  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 NEW YORK STATE

**NEW WINDSOR OFFICE**  
 555 Hudson Valley Avenue  
 Suite 101  
 New Windsor, NY 12553  
 Phone: 845.564.4495  
 Fax: 845.567.1025

SCALE: AS SHOWN	DATE: 09/11/2018	DRAWN BY: CDR	CHECKED BY: JED
PROJECT NUMBER: 080010208		DRAWING NAME: C-COVER	
SHEET TITLE: COVER SHEET			
SHEET NUMBER: 01 of 08			



**LEGEND**

- (0.00') DEED DISTANCE
- OVERHEAD UTILITY LINES
- PROPERTY LINE ADJOINING
- PROPERTY LINE EXISTING
- PROPERTY LINE PROPOSED
- PROPOSED SETBACK LINE
- ROCK WALL
- UTILITY POLE

**BULK TABLE**

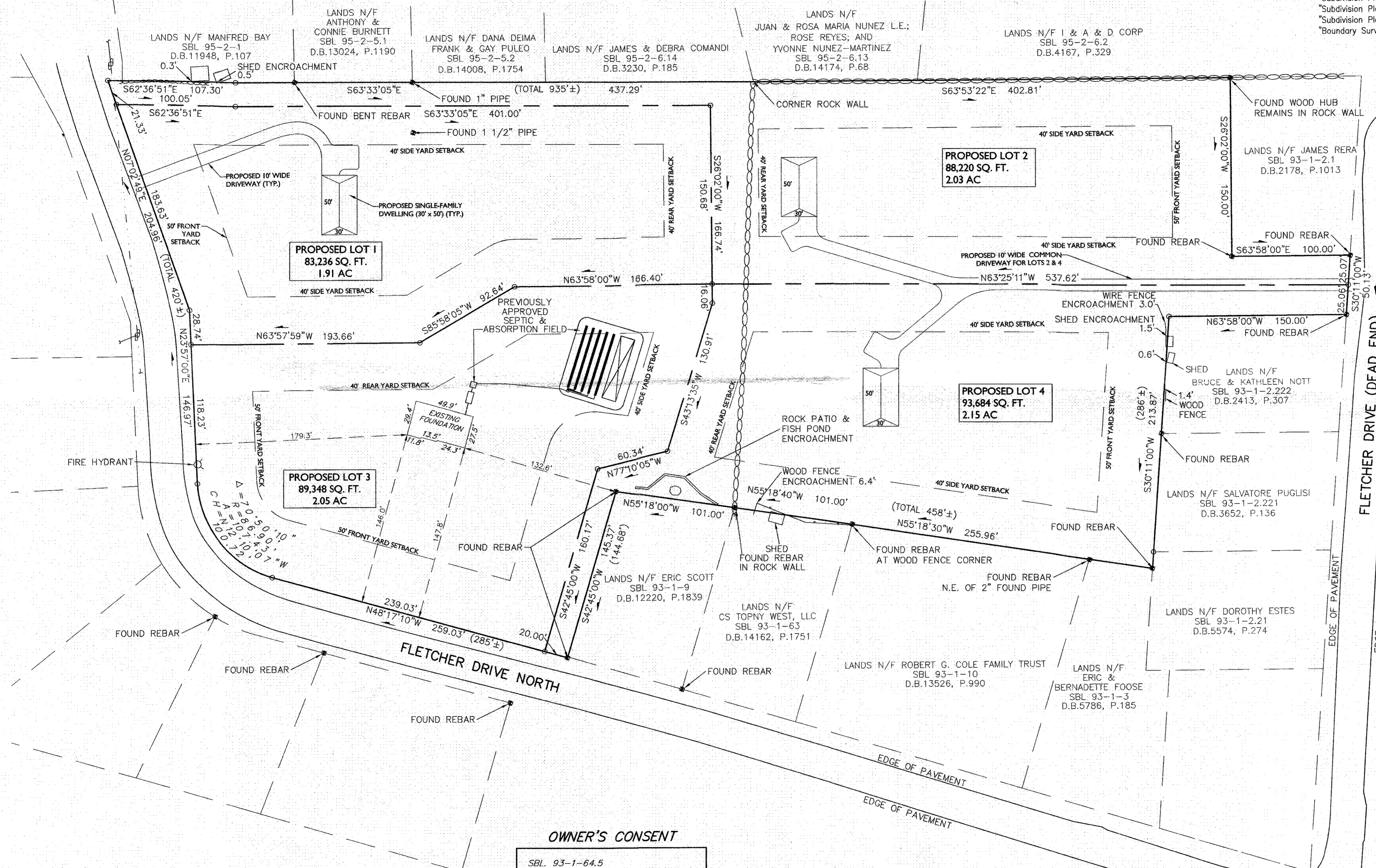
ZONE: R1 RESIDENTIAL  
 PERMITTED USE: SINGLE-FAMILY DWELLING, NOT TO EXCEED 1 DWELLINGS PER LOT

MINIMUM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA	40,000 SQ. FT.	83,236 SQ. FT.	88,220 SQ. FT.	89,348 SQ. FT.	93,684 SQ. FT.
FRONT YARD SETBACK	50 FEET	> 50 FEET	> 50 FEET	> 50 FEET	> 50 FEET
REAR YARD SETBACK	40 FEET	> 40 FEET	> 40 FEET	> 40 FEET	> 40 FEET
SIDE YARD SETBACK					
ONE	30 FEET	> 30 FEET	> 30 FEET	> 30 FEET	> 30 FEET
BOTH	80 FEET	> 80 FEET	> 80 FEET	> 80 FEET	> 80 FEET
LOT WIDTH*	150 FEET	212.7 FEET	173.6 FEET	317.6 FEET	233.3 FEET
LOT DEPTH	150 FEET	471.9 FEET	440.0 FEET	261.9 FEET	401.2 FEET
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.
MAXIMUM					
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
LOT BUILDING COVERAGE	10%	1.8% (1,500 SQ. FT.)	1.7% (1,500 SQ. FT.)	1.6% (1,409 SQ. FT.)	1.6% (1,500 SQ. FT.)
LOT SURFACE COVERAGE	20%	4.9% (4,160 SQ. FT.)	5.9% (5,243 SQ. FT.)	4.6% (4,100 SQ. FT.)	5.3% (4,933 SQ. FT.)

* = LOT WIDTH MEASURED AT FRONT SETBACK LINE

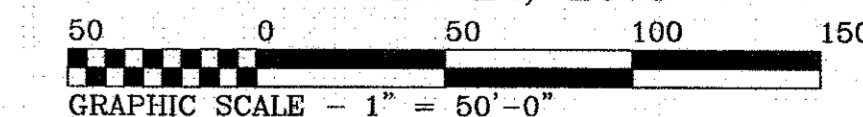
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2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed/ink seal are genuine true and correct copies of the surveyor's original work and opinion.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, which is listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certification.
7. Easements may exist that are not shown.
8. No title report furnished. Therefore, title issues may exist that the surveyor has not been made aware of.
9. Parcel being premises as described in Deed Book 12429, Page 868 and Filed Map No. 8672.
10. Subject to any rights of ways or easements of record.
11. Subject to drainage patterns as they exist.
12. Survey based on existing monumentation, Deed Book 2178, Page 1013; Deed Book 13526, Page 990; Deed Book 5786, Page 185; Deed Book 5574, Page 274; Deed Book 3652, Page 136; Deed Book 2413, Page 307; and the following maps:  
 "Portion of Property of John Lease, Meadow Hill Section", dated May 4, 1957  
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated March 6, 1986, filed as Map No. 7965  
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated July 31, 1987, filed as Map No. 8671.  
 "Subdivision Plan, Lands of Robert Dierna" by Vincent J. Doce Associates, dated August 28, 1987, filed as Map No. 8994.  
 "Subdivision Plan, Lands of John Fremgen" by Vincent J. Doce Associates, dated September 14, 1987, filed as Map No. 9243.  
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated November 27, 1987, filed as Map No. 8672.  
 "Subdivision Plan, Lands of Catherine Santacroce" by Vincent J. Doce Associates, dated March 30, 1988, filed as Map No. 8973.  
 "Boundary Survey of Tox Map Parcel 93-1-64.5" by J. Paul Crocker, PLS, dated June 30, 2009.



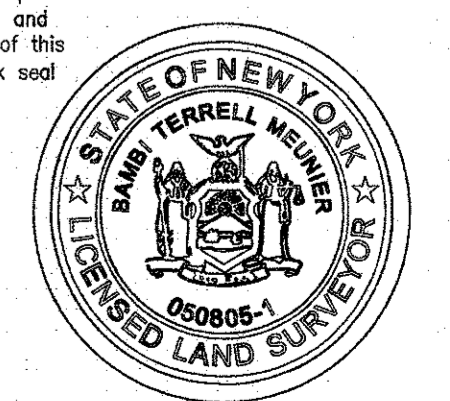
SURVEY BY CROCKER, PLS  
 DATED JUNE 30, 2009

**PROPOSED SUBDIVISION**  
 PREPARED FOR  
**EAST ROCK CORP.**  
 SITUATE IN THE  
 TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 SBL 93-1-64.5  
 SEPTEMBER 24, 2018



Only surveys bearing the makers embossed/ink seal should be relied upon since other than embossed/ink seal copies may contain unauthorized and undetectable modifications, deletions, additions, and changes. A copy of this document without a proper application of the surveyor's embossed/ink seal should be assumed to be an unauthorized copy.

**BAMBI TERRELL MEUNIER**  
 LAND SURVEYOR  
 Phone: (845)232-0343  
 399 Old Route 22  
 Wassauc, NY 12592



**OWNER'S CONSENT**

SBL 93-1-64.5  
 EAST ROCK CORP.  
 5020 ROUTE 9W  
 NEWBURGH, NY 12550

THE UNDERSIGNED OWNER OF PROPERTY SHOWN HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ALL SAID TERMS AND CONDITIONS AS STATED HEREON, AND CONSENT TO THE FILING OF THIS PLAT.  
 _____  
 DATE

**SURVEYOR'S CERTIFICATION**

I DO HEREBY CERTIFY TO: EAST ROCK CORP.  
 THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY SUPERVISION AND WAS MADE FROM AN ACTUAL FIELD SURVEY PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ESTABLISHED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, AND THAT THE FIELD SURVEY FOR THIS PROPERTY WAS COMPLETED ON FEBRUARY 26, 2018.  
*Bambi Terrell Meunier*  
 BAMBI TERRELL MEUNIER, LS LIC. NO. 050805-1