

Full Size Site Plans

are available for viewing at the

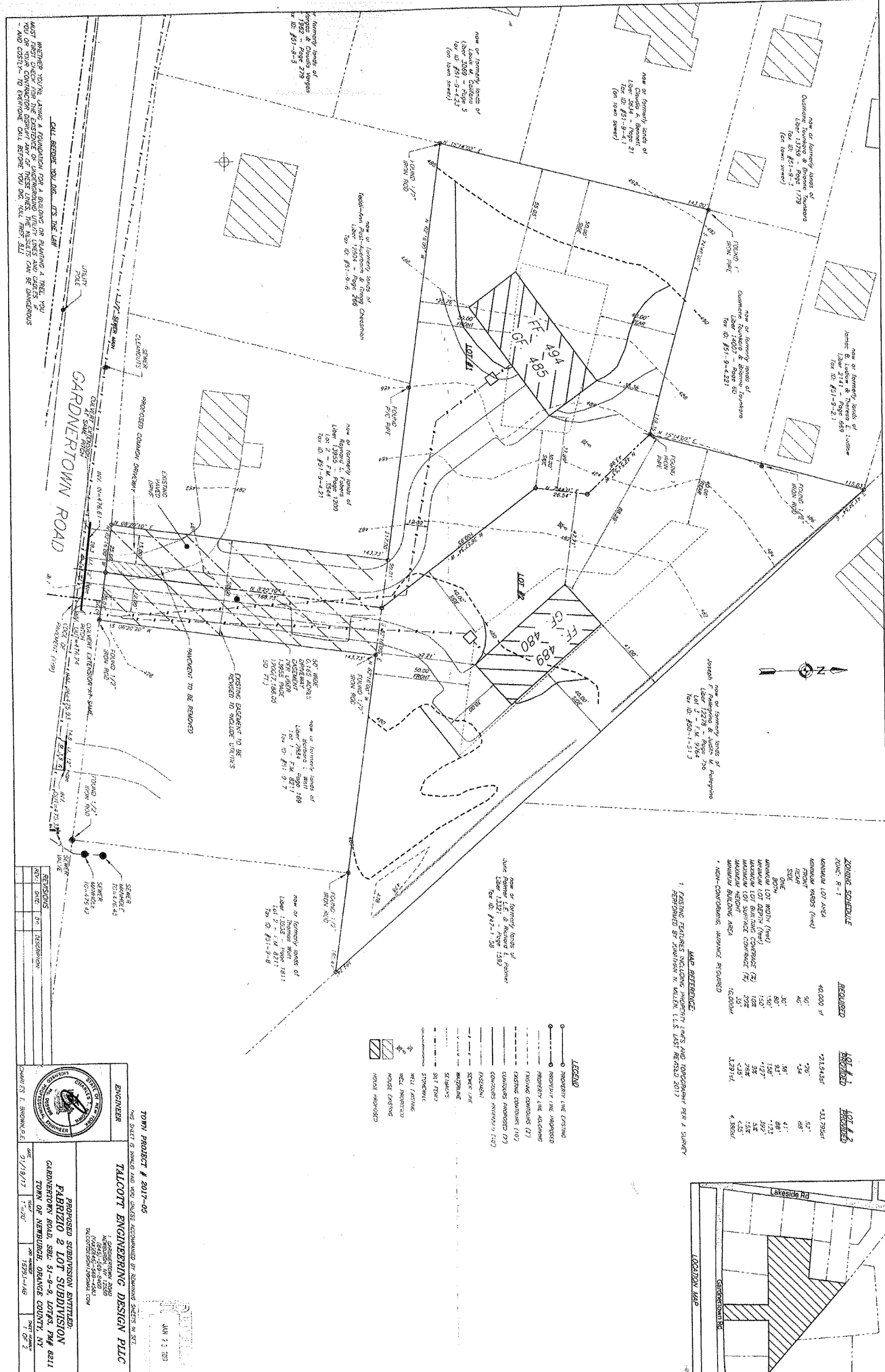
**Zoning Board of Appeals**

Office located at

**308 Gardnertown Road**

Newburgh, NY

845-566-4901



**ZONING SCHEDULE**

ZONE	MINIMUM LOT AREA	REQUIRED	ALLOWED
R-1	40,000 sq ft	21,544 sq ft	21,528 sq ft
R-2	50,000 sq ft	50,000 sq ft	50,000 sq ft
R-3	60,000 sq ft	60,000 sq ft	60,000 sq ft
R-4	70,000 sq ft	70,000 sq ft	70,000 sq ft
R-5	80,000 sq ft	80,000 sq ft	80,000 sq ft
R-6	90,000 sq ft	90,000 sq ft	90,000 sq ft
R-7	100,000 sq ft	100,000 sq ft	100,000 sq ft
R-8	110,000 sq ft	110,000 sq ft	110,000 sq ft
R-9	120,000 sq ft	120,000 sq ft	120,000 sq ft
R-10	130,000 sq ft	130,000 sq ft	130,000 sq ft
R-11	140,000 sq ft	140,000 sq ft	140,000 sq ft
R-12	150,000 sq ft	150,000 sq ft	150,000 sq ft
R-13	160,000 sq ft	160,000 sq ft	160,000 sq ft
R-14	170,000 sq ft	170,000 sq ft	170,000 sq ft
R-15	180,000 sq ft	180,000 sq ft	180,000 sq ft
R-16	190,000 sq ft	190,000 sq ft	190,000 sq ft
R-17	200,000 sq ft	200,000 sq ft	200,000 sq ft
R-18	210,000 sq ft	210,000 sq ft	210,000 sq ft
R-19	220,000 sq ft	220,000 sq ft	220,000 sq ft
R-20	230,000 sq ft	230,000 sq ft	230,000 sq ft
R-21	240,000 sq ft	240,000 sq ft	240,000 sq ft
R-22	250,000 sq ft	250,000 sq ft	250,000 sq ft
R-23	260,000 sq ft	260,000 sq ft	260,000 sq ft
R-24	270,000 sq ft	270,000 sq ft	270,000 sq ft
R-25	280,000 sq ft	280,000 sq ft	280,000 sq ft
R-26	290,000 sq ft	290,000 sq ft	290,000 sq ft
R-27	300,000 sq ft	300,000 sq ft	300,000 sq ft
R-28	310,000 sq ft	310,000 sq ft	310,000 sq ft
R-29	320,000 sq ft	320,000 sq ft	320,000 sq ft
R-30	330,000 sq ft	330,000 sq ft	330,000 sq ft
R-31	340,000 sq ft	340,000 sq ft	340,000 sq ft
R-32	350,000 sq ft	350,000 sq ft	350,000 sq ft
R-33	360,000 sq ft	360,000 sq ft	360,000 sq ft
R-34	370,000 sq ft	370,000 sq ft	370,000 sq ft
R-35	380,000 sq ft	380,000 sq ft	380,000 sq ft
R-36	390,000 sq ft	390,000 sq ft	390,000 sq ft
R-37	400,000 sq ft	400,000 sq ft	400,000 sq ft
R-38	410,000 sq ft	410,000 sq ft	410,000 sq ft
R-39	420,000 sq ft	420,000 sq ft	420,000 sq ft
R-40	430,000 sq ft	430,000 sq ft	430,000 sq ft
R-41	440,000 sq ft	440,000 sq ft	440,000 sq ft
R-42	450,000 sq ft	450,000 sq ft	450,000 sq ft
R-43	460,000 sq ft	460,000 sq ft	460,000 sq ft
R-44	470,000 sq ft	470,000 sq ft	470,000 sq ft
R-45	480,000 sq ft	480,000 sq ft	480,000 sq ft
R-46	490,000 sq ft	490,000 sq ft	490,000 sq ft
R-47	500,000 sq ft	500,000 sq ft	500,000 sq ft
R-48	510,000 sq ft	510,000 sq ft	510,000 sq ft
R-49	520,000 sq ft	520,000 sq ft	520,000 sq ft
R-50	530,000 sq ft	530,000 sq ft	530,000 sq ft
R-51	540,000 sq ft	540,000 sq ft	540,000 sq ft
R-52	550,000 sq ft	550,000 sq ft	550,000 sq ft
R-53	560,000 sq ft	560,000 sq ft	560,000 sq ft
R-54	570,000 sq ft	570,000 sq ft	570,000 sq ft
R-55	580,000 sq ft	580,000 sq ft	580,000 sq ft
R-56	590,000 sq ft	590,000 sq ft	590,000 sq ft
R-57	600,000 sq ft	600,000 sq ft	600,000 sq ft
R-58	610,000 sq ft	610,000 sq ft	610,000 sq ft
R-59	620,000 sq ft	620,000 sq ft	620,000 sq ft
R-60	630,000 sq ft	630,000 sq ft	630,000 sq ft
R-61	640,000 sq ft	640,000 sq ft	640,000 sq ft
R-62	650,000 sq ft	650,000 sq ft	650,000 sq ft
R-63	660,000 sq ft	660,000 sq ft	660,000 sq ft
R-64	670,000 sq ft	670,000 sq ft	670,000 sq ft
R-65	680,000 sq ft	680,000 sq ft	680,000 sq ft
R-66	690,000 sq ft	690,000 sq ft	690,000 sq ft
R-67	700,000 sq ft	700,000 sq ft	700,000 sq ft
R-68	710,000 sq ft	710,000 sq ft	710,000 sq ft
R-69	720,000 sq ft	720,000 sq ft	720,000 sq ft
R-70	730,000 sq ft	730,000 sq ft	730,000 sq ft
R-71	740,000 sq ft	740,000 sq ft	740,000 sq ft
R-72	750,000 sq ft	750,000 sq ft	750,000 sq ft
R-73	760,000 sq ft	760,000 sq ft	760,000 sq ft
R-74	770,000 sq ft	770,000 sq ft	770,000 sq ft
R-75	780,000 sq ft	780,000 sq ft	780,000 sq ft
R-76	790,000 sq ft	790,000 sq ft	790,000 sq ft
R-77	800,000 sq ft	800,000 sq ft	800,000 sq ft
R-78	810,000 sq ft	810,000 sq ft	810,000 sq ft
R-79	820,000 sq ft	820,000 sq ft	820,000 sq ft
R-80	830,000 sq ft	830,000 sq ft	830,000 sq ft
R-81	840,000 sq ft	840,000 sq ft	840,000 sq ft
R-82	850,000 sq ft	850,000 sq ft	850,000 sq ft
R-83	860,000 sq ft	860,000 sq ft	860,000 sq ft
R-84	870,000 sq ft	870,000 sq ft	870,000 sq ft
R-85	880,000 sq ft	880,000 sq ft	880,000 sq ft
R-86	890,000 sq ft	890,000 sq ft	890,000 sq ft
R-87	900,000 sq ft	900,000 sq ft	900,000 sq ft
R-88	910,000 sq ft	910,000 sq ft	910,000 sq ft
R-89	920,000 sq ft	920,000 sq ft	920,000 sq ft
R-90	930,000 sq ft	930,000 sq ft	930,000 sq ft
R-91	940,000 sq ft	940,000 sq ft	940,000 sq ft
R-92	950,000 sq ft	950,000 sq ft	950,000 sq ft
R-93	960,000 sq ft	960,000 sq ft	960,000 sq ft
R-94	970,000 sq ft	970,000 sq ft	970,000 sq ft
R-95	980,000 sq ft	980,000 sq ft	980,000 sq ft
R-96	990,000 sq ft	990,000 sq ft	990,000 sq ft
R-97	1,000,000 sq ft	1,000,000 sq ft	1,000,000 sq ft
R-98	1,010,000 sq ft	1,010,000 sq ft	1,010,000 sq ft
R-99	1,020,000 sq ft	1,020,000 sq ft	1,020,000 sq ft
R-100	1,030,000 sq ft	1,030,000 sq ft	1,030,000 sq ft

**TOWN PROJECT # 2017-05**

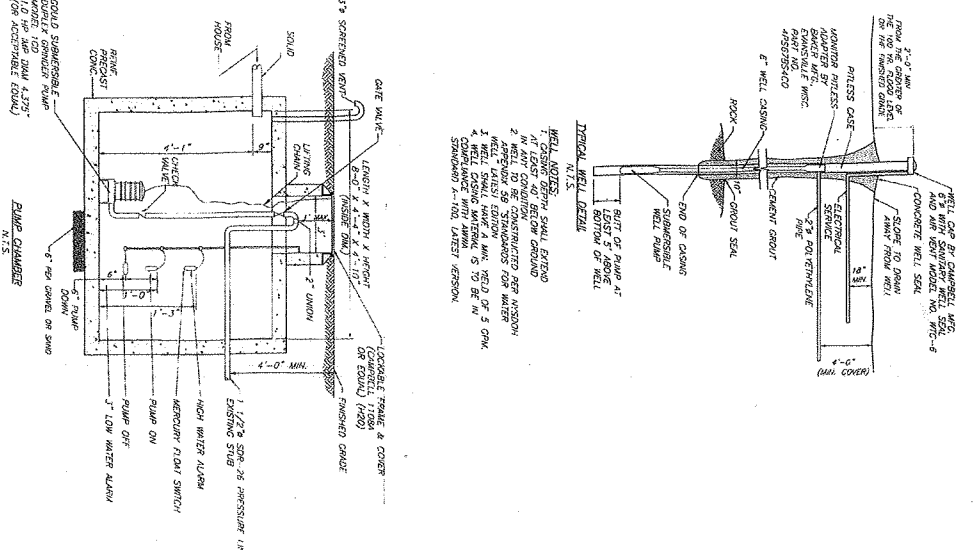
THE SHEET IS MADE AND ALL DIMENSIONS ASSIGNED BY MEASUREMENTS IN FEET.

**ENGINEER**  
TALCOTT ENGINEERING DESIGN PLLC  
1000 ROUTE 208  
MIDDLETOWN, NY 10940  
TEL: 845-353-8800  
WWW.TALCOTTENGINEERINGDESIGN.COM

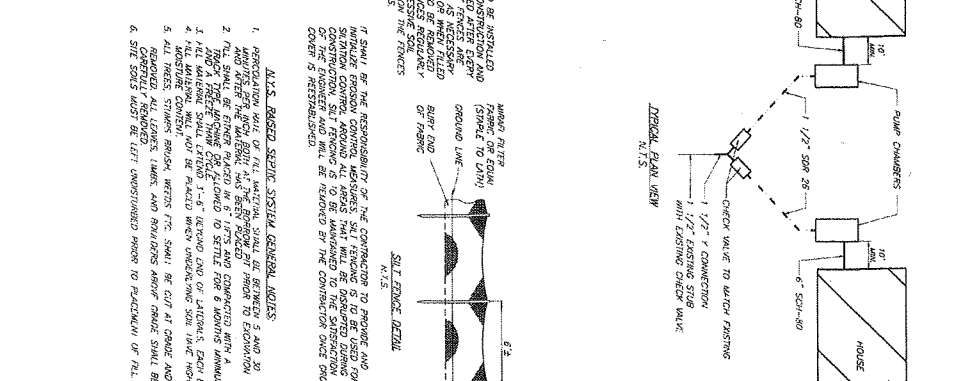
**PROPOSED SUBDIVISION ENTITLED:**  
**FABRIZIO 2 LOT SUBDIVISION**  
GARDNER TOWN, ORANGE COUNTY, NY  
DATE: 01/17/17  
SCALE: AS SHOWN  
SHEET NO. 3

**ENGINEER**  
CHARLES I. BRUNO, P.E.  
1000 ROUTE 208  
MIDDLETOWN, NY 10940  
TEL: 845-353-8800  
WWW.TALCOTTENGINEERINGDESIGN.COM

DATE: 01/17/17  
SCALE: AS SHOWN  
SHEET NO. 3



- WELL NOTES:**
1. CASING DEPTH SHALL EXCEED 10' MINIMUM.
  2. WELL TO BE CONSTRUCTED TO A MINIMUM DEPTH OF 10' BELOW THE BOTTOM OF WELL.
  3. WELL CASING MATERIALS TO BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ALL APPLICABLE CODES.
  4. WELL CASING SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  5. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  6. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  7. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  8. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  9. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.
  10. WELL SHALL BE INSTALLED WITH A MINIMUM OF 1/2" SCREEN.



- NOTES:**
1. SILT FENCE IS TO BE INSTALLED UPSTREAM OF ANY CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  2. SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" HEIGHT AND 1/2" SCREEN.
  3. SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" HEIGHT AND 1/2" SCREEN.
  4. SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" HEIGHT AND 1/2" SCREEN.
  5. SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" HEIGHT AND 1/2" SCREEN.
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  10. SILT FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" HEIGHT AND 1/2" SCREEN.

**TOWN PROJECT # 2017-05**

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MIDDLETOWN, NY 10940  
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**PROPOSED SUBDIVISION ENTITLED:**  
**FABRIZIO 2 LOT SUBDIVISION**  
GARDNER TOWN, ORANGE COUNTY, NY  
DATE: 01/17/17  
SCALE: AS SHOWN  
SHEET NO. 3

**ENGINEER**  
CHARLES I. BRUNO, P.E.  
1000 ROUTE 208  
MIDDLETOWN, NY 10940  
TEL: 845-353-8800  
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DATE: 01/17/17  
SCALE: AS SHOWN  
SHEET NO. 3

7. Lot #2 structure is depicted at or near building envelope setbacks. Notes should be added to the plans requiring field stake out of all improvements prior to issuance of the Building permit. A plot plan should be submitted to the Building Department with the Building permit.

Respectfully submitted,

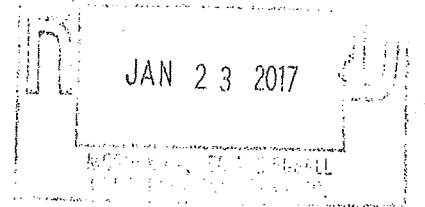
**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

\_\_\_\_\_  
Patrick J. Hines  
Principal

PJH/kbw

**Talcott Engineering  
DESIGN, PLLC**

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550  
(845) 569-8400\* ~ (fax) (845) 569-4583



January 23, 2017

Town of Newburgh  
Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re: Project Narrative  
Town Project No. 2017-05  
Fabrizio 2 Lot Subdivision  
Gardnertown Road  
SBL: 51-9-9  
R-1 Zone  
Job No. 16293-FAB

**PROJECT NARRATIVE**

The proposed project is a two lot subdivision of an existing vacant 1.40 acre parcel of land to create two building lots. Both lots will have frontage on "Gardnertown Road". Both lots will be serviced by on-site wells and in ground septic systems.

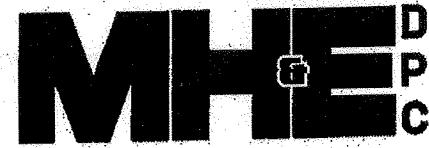
The parent parcel is in the R-1 zone, but was zoned R-3 when the owner purchased it. The proposed lots will need area variances for lot area and some setbacks.

Attached please find 12 Planning Board Applications, 12 sets of plans, and 12 copies of an EAF short form, along with this narrative and checks for the additional application fees (\$950) and public hearing fee (\$150) and escrow fee (\$3,000). I will FedEx 1 set to Michael Donnelly and deliver 1 set to Patrick Hines.

Respectfully yours,

Charles T. Brown, P.E. -- President  
Talcott Engineering

Pc; Tony Fabrizio, Owner



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)  
MATTHEW J. SICKLER, P.E. (NY & PA)  
PATRICK J. HINES

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: mheny@mhepc.com

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT:** FABRIZIO 2 LOT  
**PROJECT NO.:** 2017-05  
**PROJECT LOCATION:** SECTION 51, BLOCK 9, LOT 9  
**REVIEW DATE:** 27 JANUARY 2017  
**MEETING DATE:** 2 FEBRUARY 2017  
**PROJECT REPRESENTATIVE:** TALCOTT ENGINEERING

1. The common driveway access and maintenance agreement will be required for the shared driveway for proposed Lot #1 and Tax Lot 4.21.
2. Highway Superintendent's comments regarding dual driveway locations should be received.
3. The shared utility arrangement will require a filed agreement for the combined sewer discharge.
4. NYS raised septic system notes should be removed from the plans as lots are tributary to the Town's collection system.
5. The Applicant's representative is requested to explain pump chamber note 5 regarding metering of the wells.
6. Referral to Zoning Board of Appeals for front yard setback on Proposed Lot #1 would be required.

	Required	Proposed Lot #1	Proposed Lot #2
Front Yard Set back	50	25.76	
Rear Yard Set back	40	35.36	
Minimum Lot area	40,000	23,543	33,795
Lot width	150		123
Lot depth	150		127

We have noted that the structure could be re-oriented to fit within the permissible building envelope. Applicant's representative should explain house orientation.

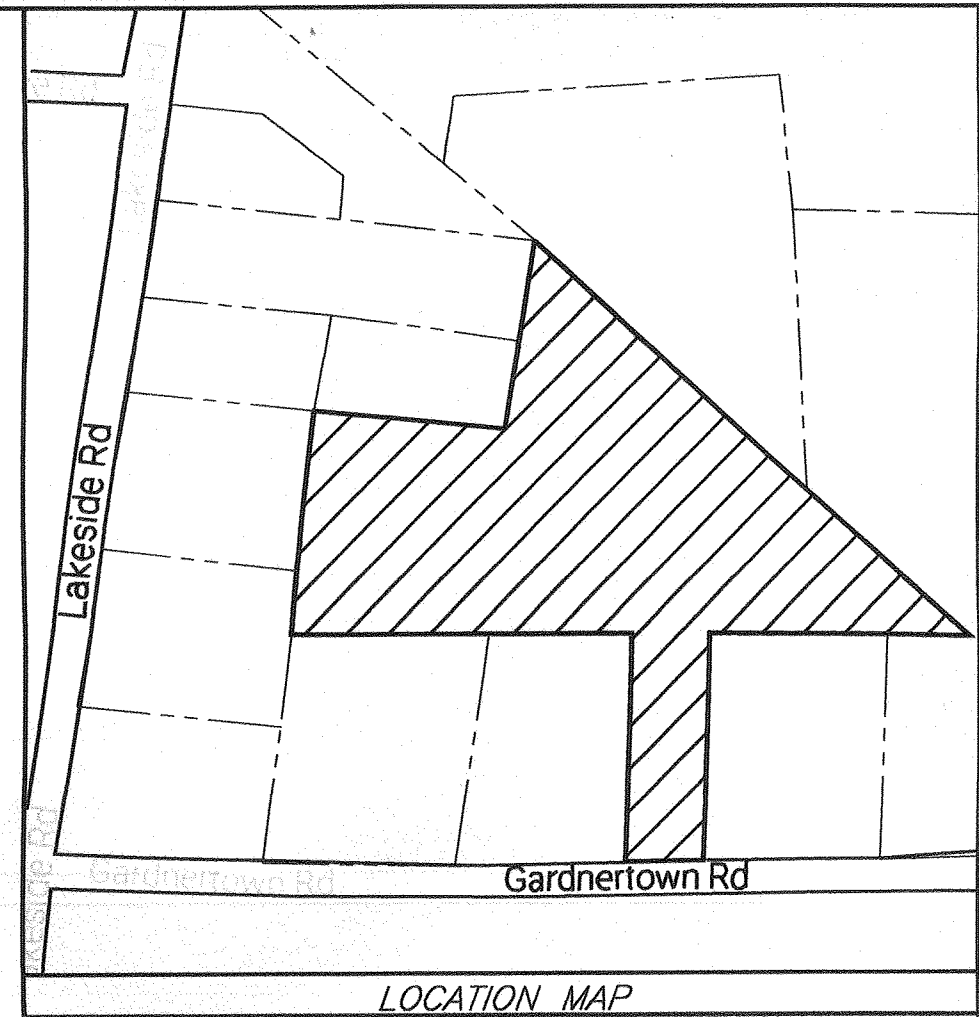
ZONING SCHEDULE

	<u>REQUIRED</u>	<u>LOT # 1 PROVIDED</u>	<u>LOT # 2 PROVIDED</u>
ZONE: R-1			
MINIMUM LOT AREA	40,000 sf	*23,543sf	*33,795sf
MINIMUM YARDS (feet)			
FRONT	50'	*26'	52'
REAR	40'	*34'	88'
SIDE			
ONE	30'	38'	41'
BOTH	80'	93'	88'
MINIMUM LOT WIDTH (feet)	150'	158'	*116'
MINIMUM LOT DEPTH (feet)	150'	*127'	392'
MAXIMUM LOT BUILDING COVERAGE (%)	10%	9%	5%
MAXIMUM LOT SURFACE COVERAGE (%)	20%	26%	15%
MAXIMUM HEIGHT	35'	<35'	<35'
MINIMUM BUILDING AREA	10,000sf.	3,291sf,	4,380sf.

\* NON-CONFORMING, VARIANCE REQUIRED

MAP REFERENCE:

1. EXISTING FEATURES INCLUDING PROPERTY LINES AND TOPOGRAPHY PER A SURVEY PERFORMED BY JONATHAN N. MILLEN, L.L.S. LAST REVISED 2017.



ly lands of  
Judith M. Pellegrino  
- Page 756  
M. 9764  
-1-51.3

now or formerly lands of  
June Palmer L.E. & Richard E. Palmer  
Liber 13321 - Page 1592  
Tax ID: #47-1-58

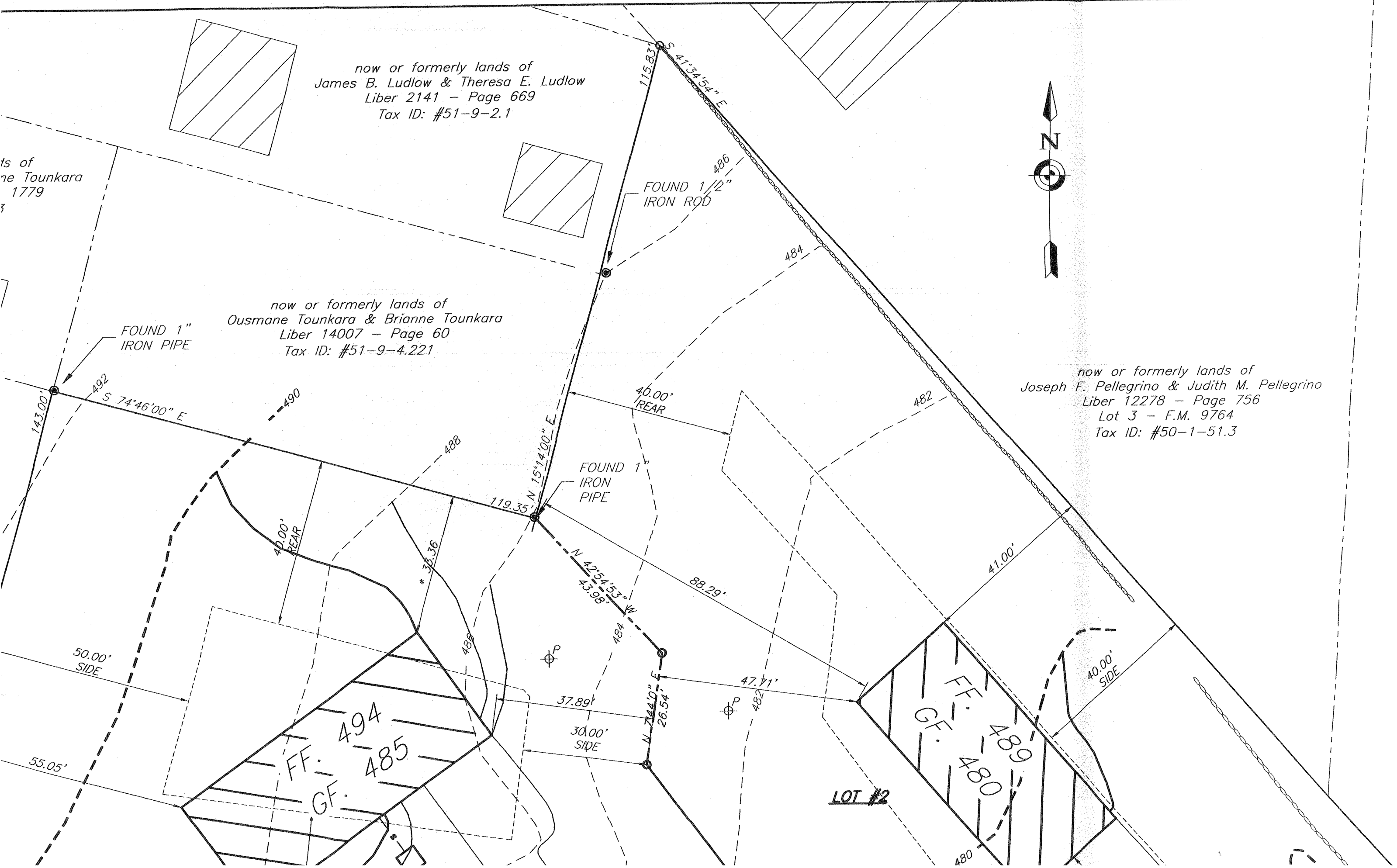
LEGEND

- ⊙———⊙ PROPERTY LINE EXISTING
- ⊙- - - -⊙ PROPERTY LINE PROPOSED
- PROPERTY LINE ADJOINING
- - - - - EXISTING CONTOURS (2')
- - - - - EXISTING CONTOURS (10')
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')

now or formerly lands of  
James B. Ludlow & Theresa E. Ludlow  
Liber 2141 - Page 669  
Tax ID: #51-9-2.1

now or formerly lands of  
Ousmane Tounkara & Brianne Tounkara  
Liber 14007 - Page 60  
Tax ID: #51-9-4.221

now or formerly lands of  
Joseph F. Pellegrino & Judith M. Pellegrino  
Liber 12278 - Page 756  
Lot 3 - F.M. 9764  
Tax ID: #50-1-51.3



**LOT #2**

FF. 494  
GF. 485

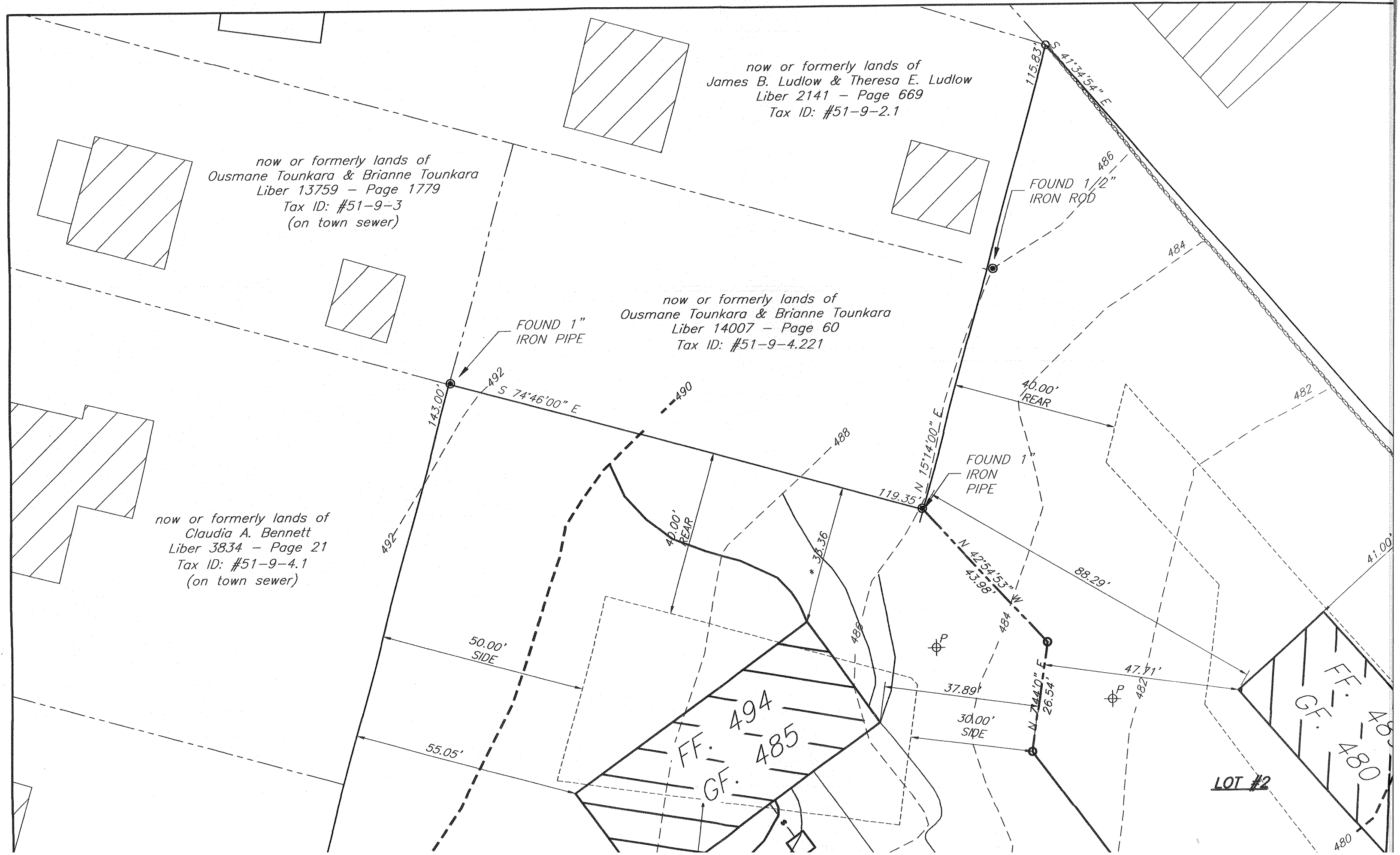
FF. 489  
GF. 480

now or formerly lands of  
James B. Ludlow & Theresa E. Ludlow  
Liber 2141 - Page 669  
Tax ID: #51-9-2.1

now or formerly lands of  
Ousmane Tounkara & Brianne Tounkara  
Liber 13759 - Page 1779  
Tax ID: #51-9-3  
(on town sewer)

now or formerly lands of  
Ousmane Tounkara & Brianne Tounkara  
Liber 14007 - Page 60  
Tax ID: #51-9-4.221

now or formerly lands of  
Claudia A. Bennett  
Liber 3834 - Page 21  
Tax ID: #51-9-4.1  
(on town sewer)


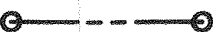

















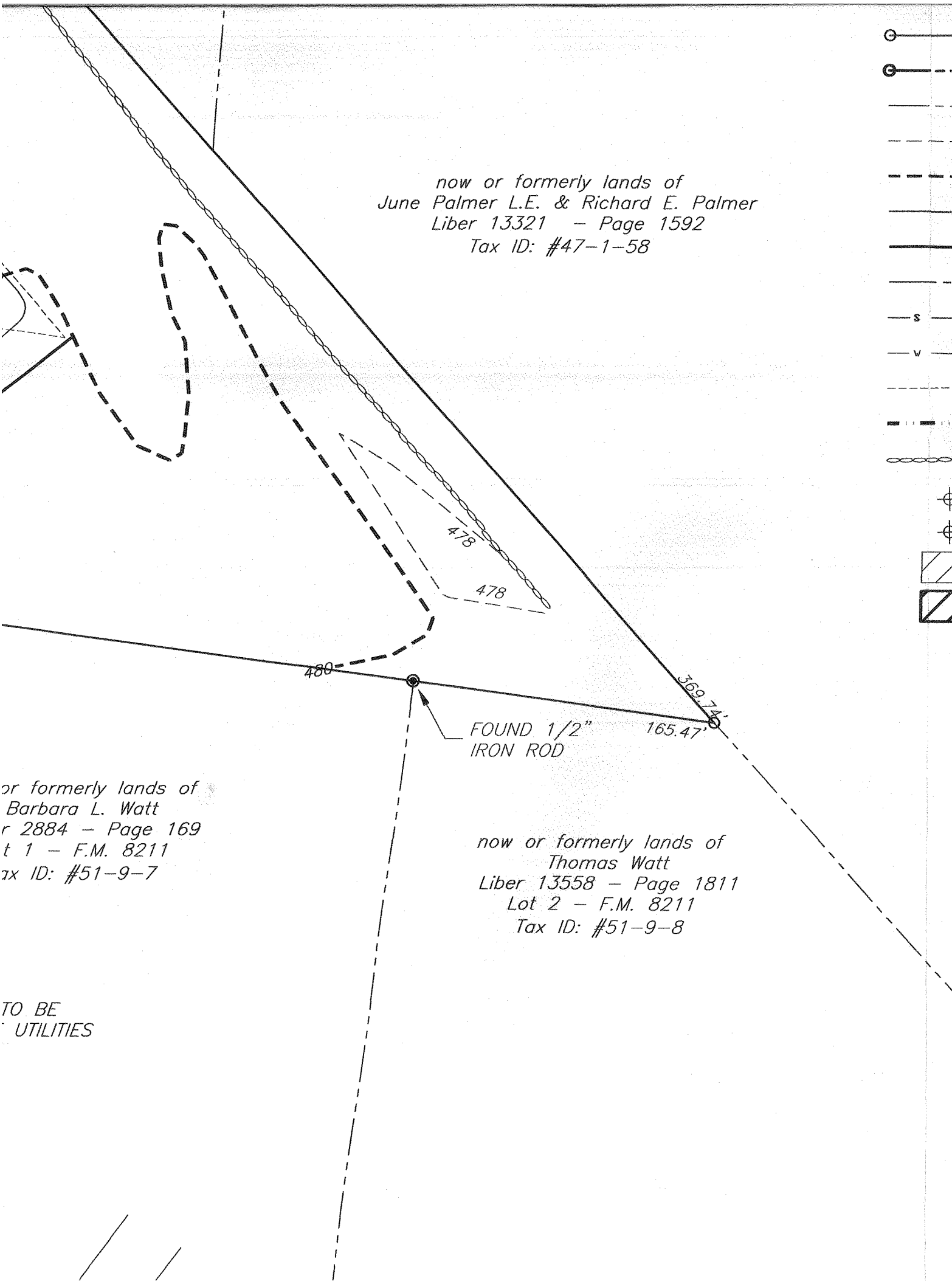
now or formerly lands of  
June Palmer L.E. & Richard E. Palmer  
Liber 13321 - Page 1592  
Tax ID: #47-1-58

now or formerly lands of  
Barbara L. Watt  
Liber 2884 - Page 169  
Lot 1 - F.M. 8211  
Tax ID: #51-9-7

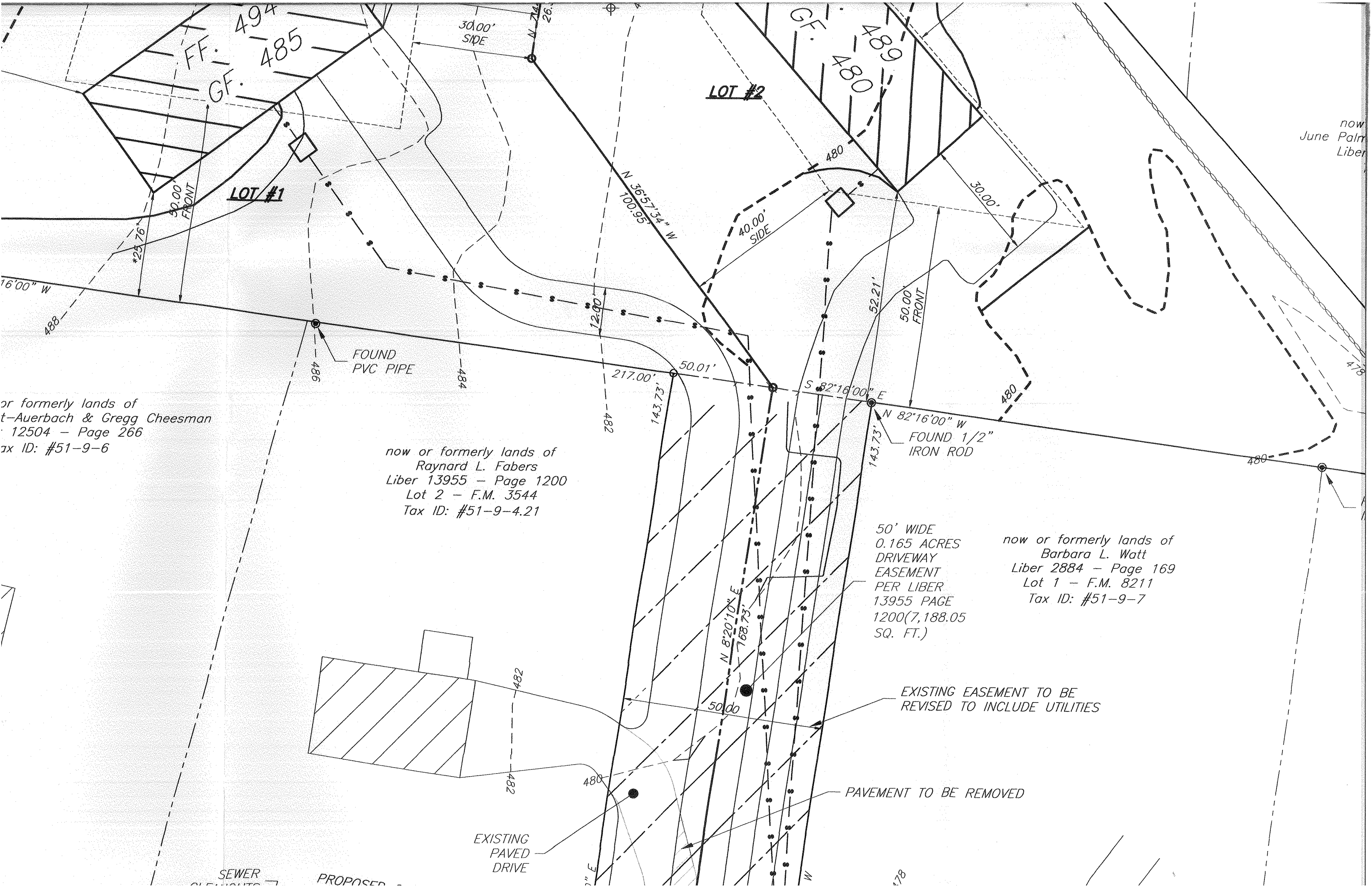
now or formerly lands of  
Thomas Watt  
Liber 13558 - Page 1811  
Lot 2 - F.M. 8211  
Tax ID: #51-9-8

TO BE  
UTILITIES

-  PROPERTY LINE EXISTING
-  PROPERTY LINE PROPOSED
-  PROPERTY LINE ADJOINING
-  EXISTING CONTOURS (2')
-  EXISTING CONTOURS (10')
-  CONTOURS PROPOSED (2')
-  CONTOURS PROPOSED (10')
-  EASEMENT
-  SEWER LINE
-  WATERLINE
-  SETBACKS
-  SILT FENCE
-  STONEWALL
-  WELL EXISTING
-  WELL PROPOSED
-  HOUSE EXISTING
-  HOUSE PROPOSED







or formerly lands of  
t-Auerbach & Gregg Cheesman  
12504 - Page 266  
ax ID: #51-9-6

now or formerly lands of  
Raynard L. Fabers  
Liber 13955 - Page 1200  
Lot 2 - F.M. 3544  
Tax ID: #51-9-4.21

50' WIDE  
0.165 ACRES  
DRIVEWAY  
EASEMENT  
PER LIBER  
13955 PAGE  
1200(7,188.05  
SQ. FT.)

now or formerly lands of  
Barbara L. Watt  
Liber 2884 - Page 169  
Lot 1 - F.M. 8211  
Tax ID: #51-9-7

EXISTING EASEMENT TO BE  
REVISED TO INCLUDE UTILITIES

PAVEMENT TO BE REMOVED

EXISTING  
PAVED  
DRIVE

SEWER  
CLEANOUT

PROPOSED

now  
June Palm  
Liber

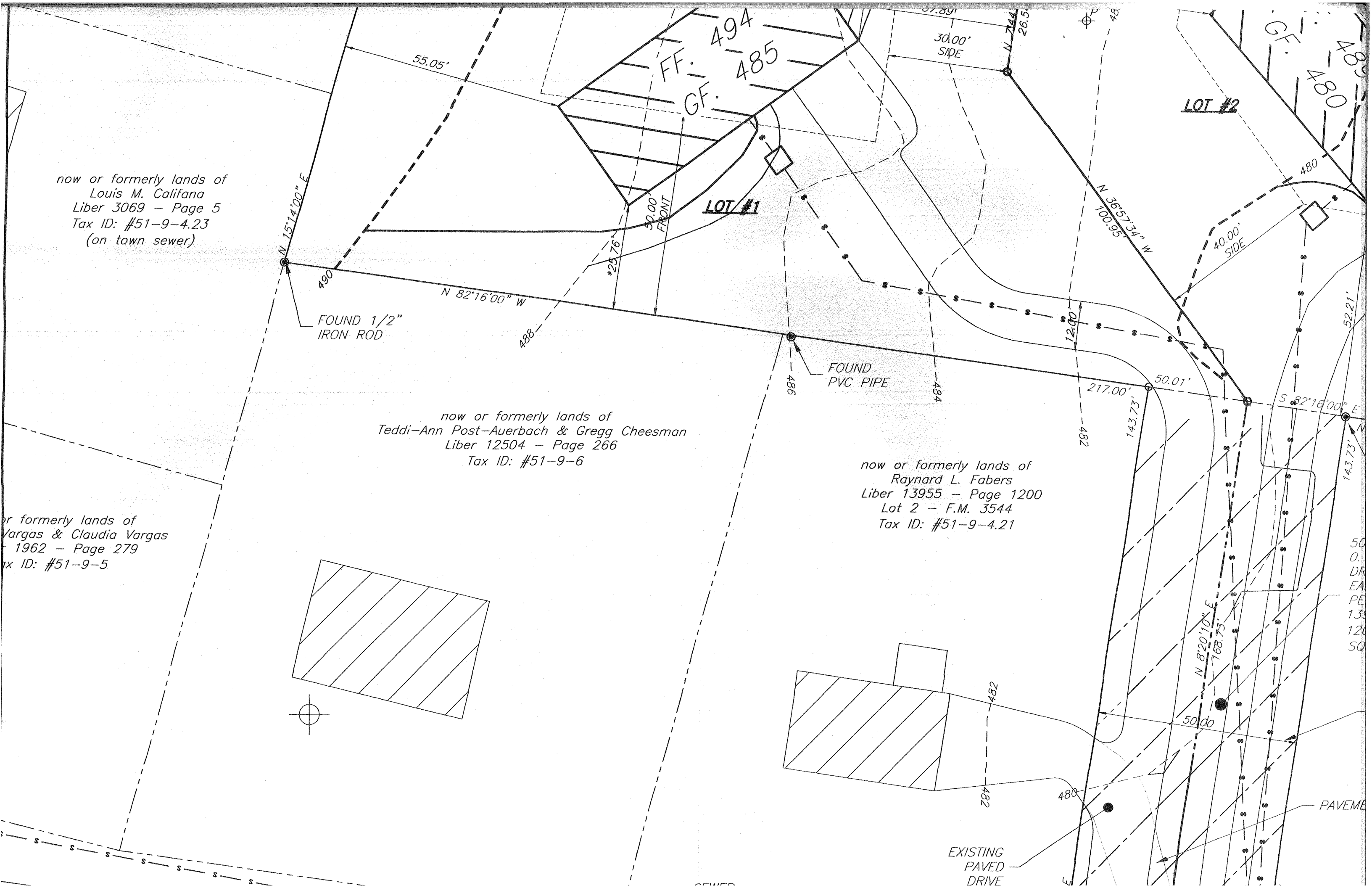
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


now or formerly lands of  
Louis M. Califana  
Liber 3069 - Page 5  
Tax ID: #51-9-4.23  
(on town sewer)

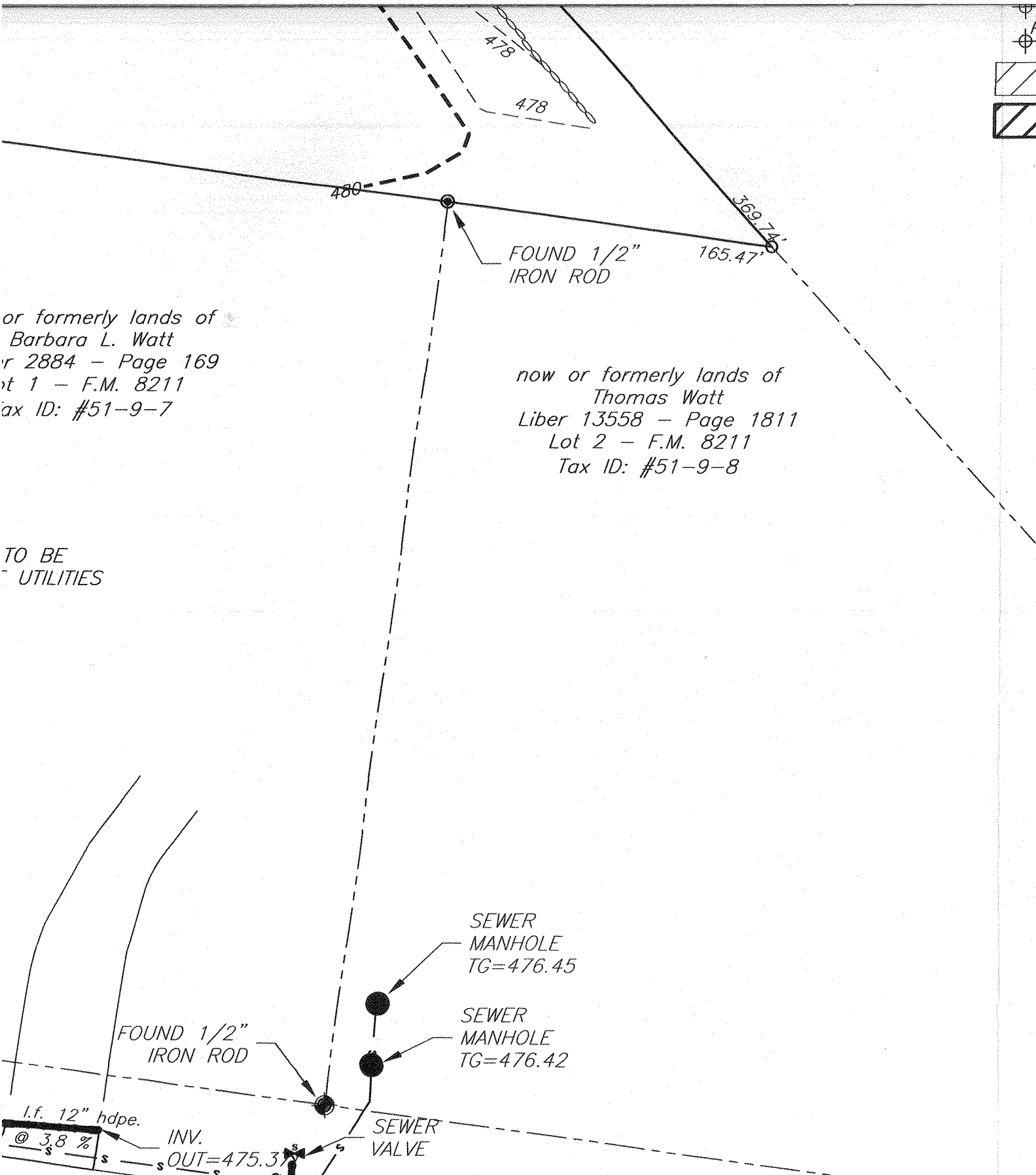
now or formerly lands of  
Teddi-Ann Post-Auerbach & Gregg Cheesman  
Liber 12504 - Page 266  
Tax ID: #51-9-6

now or formerly lands of  
Raynard L. Fabers  
Liber 13955 - Page 1200  
Lot 2 - F.M. 3544  
Tax ID: #51-9-4.21

now or formerly lands of  
Vargas & Claudia Vargas  
Liber 1962 - Page 279  
Tax ID: #51-9-5



-  WELL PROPOSED
-  HOUSE EXISTING
-  HOUSE PROPOSED



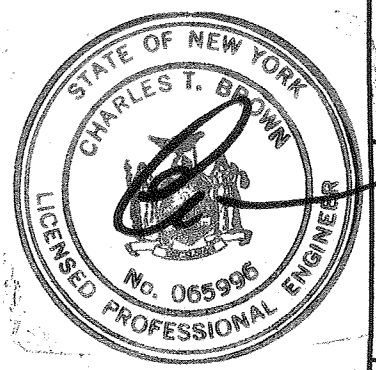
**TOWN PROJECT # 2017-05**

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

**ENGINEER**

**TALCOTT ENGINEERING DESIGN PLLC**

1 GARDNERTOWN ROAD  
NEWBURGH, NY 12550  
(845)-569-8400  
(FAX)(845)-569-4583  
TALCOTTDESIGN12@GMAIL.COM



**PROPOSED SUBDIVISION ENTITLED:**  
**FABRIZIO 2 LOT SUBDIVISION**  
GARDNERTOWN ROAD, SBL: 51-9-9, LOT#3, FM# 8211  
TOWN OF NEWBURGH, ORANGE COUNTY, NY

REVISIONS			
REV.:	DATE:	BY:	DESCRIPTION:
1	03/01/17	RBM	ZONNING BOARD

CHARLES T. BROWN, P.E.

DATE 01/19/17	SCALE 1"=20'	JOB NUMBER 16293-FAB	SHEET NUMBER 1 OF 2
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ID 1/2" ROD

now or formerly lands of  
Teddi-Ann Post-Auerbach & Gregg Cheesman  
Liber 12504 - Page 266  
Tax ID: #51-9-6

now or formerly lands of  
Raynard L. Fabers  
Liber 13955 - Page 1200  
Lot 2 - F.M. 3544  
Tax ID: #51-9-4.21

now or formerly lands of  
Barbara L. Watt  
Liber 2884 - Page 169  
Lot 1 - F.M. 8211  
Tax ID: #51-9-7

50' WIDE  
0.165 ACRES  
DRIVEWAY  
EASEMENT  
PER LIBER  
13955 PAGE  
1200(7,188.05  
SQ. FT.)

EXISTING EASEMENT TO BE  
REVISED TO INCLUDE UTILITIES

PAVEMENT TO BE REMOVED

EXISTING  
PAVED  
DRIVE

PROPOSED COMMON DRIVEWAY

SEWER  
CLEANOUTS

1 1/2" SEWER MAIN

CULVERT EXTENSION  
AT SAME PITCH

GARDNERTOWN ROAD

CULVERT EXTENSION AT SAME  
PITCH  
INV. OUT=476.24

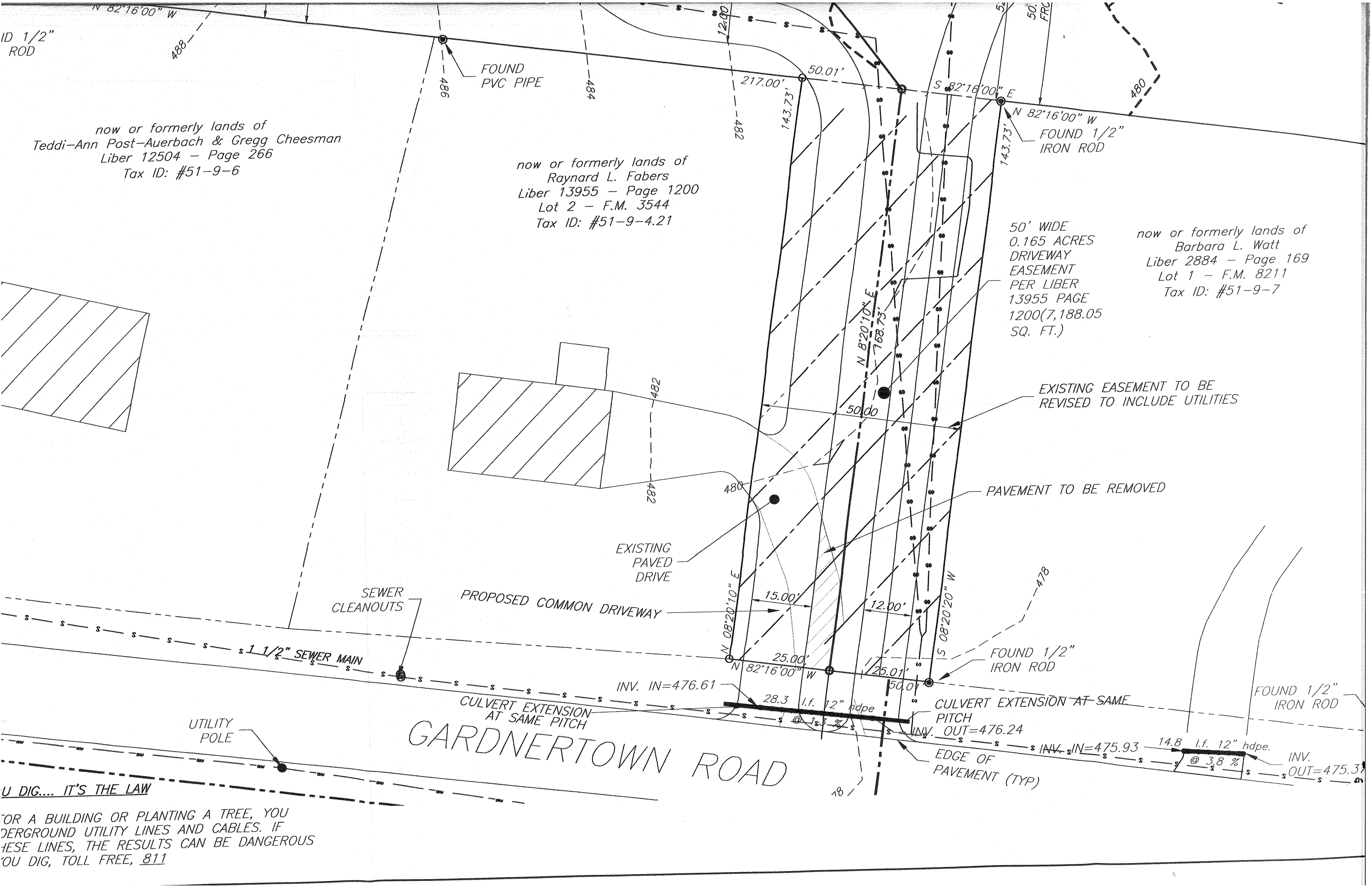
EDGE OF  
PAVEMENT (TYP)

FOUND 1/2" IRON ROD

INV. OUT=475.3

YOU DIG... IT'S THE LAW

BEFORE ANY BUILDING OR PLANTING A TREE, YOU  
MUST LOCATE ALL UNDERGROUND UTILITY LINES AND CABLES. IF  
YOU DO NOT, THE RESULTS CAN BE DANGEROUS  
AND COSTLY. CALL 811 FOR A FREE SERVICE.  
YOU DIG... IT'S THE LAW



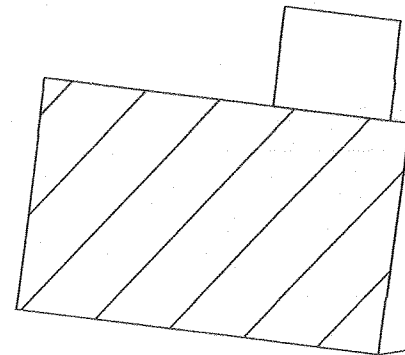
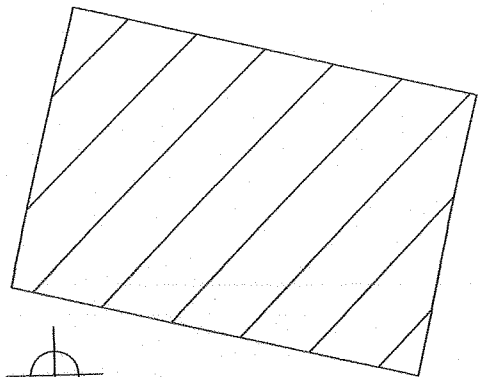
FOUND 1/2" IRON ROD

FOUND PVC PIPE

now or formerly lands of  
Teddi-Ann Post-Auerbach & Gregg Cheesman  
Liber 12504 - Page 266  
Tax ID: #51-9-6

now or formerly lands of  
Raynard L. Fabers  
Liber 13955 - Page 1200  
Lot 2 - F.M. 3544  
Tax ID: #51-9-4.21

now or formerly lands of  
Vargas & Claudia Vargas  
Liber 1962 - Page 279  
Tax ID: #51-9-5



SEWER CLEANOUTS

EXISTING PAVED DRIVE

PROPOSED COMMON DRIVEWAY

1 1/2" SEWER MAIN

INV. IN=476.61

CULVERT EXTENSION AT SAME PITCH

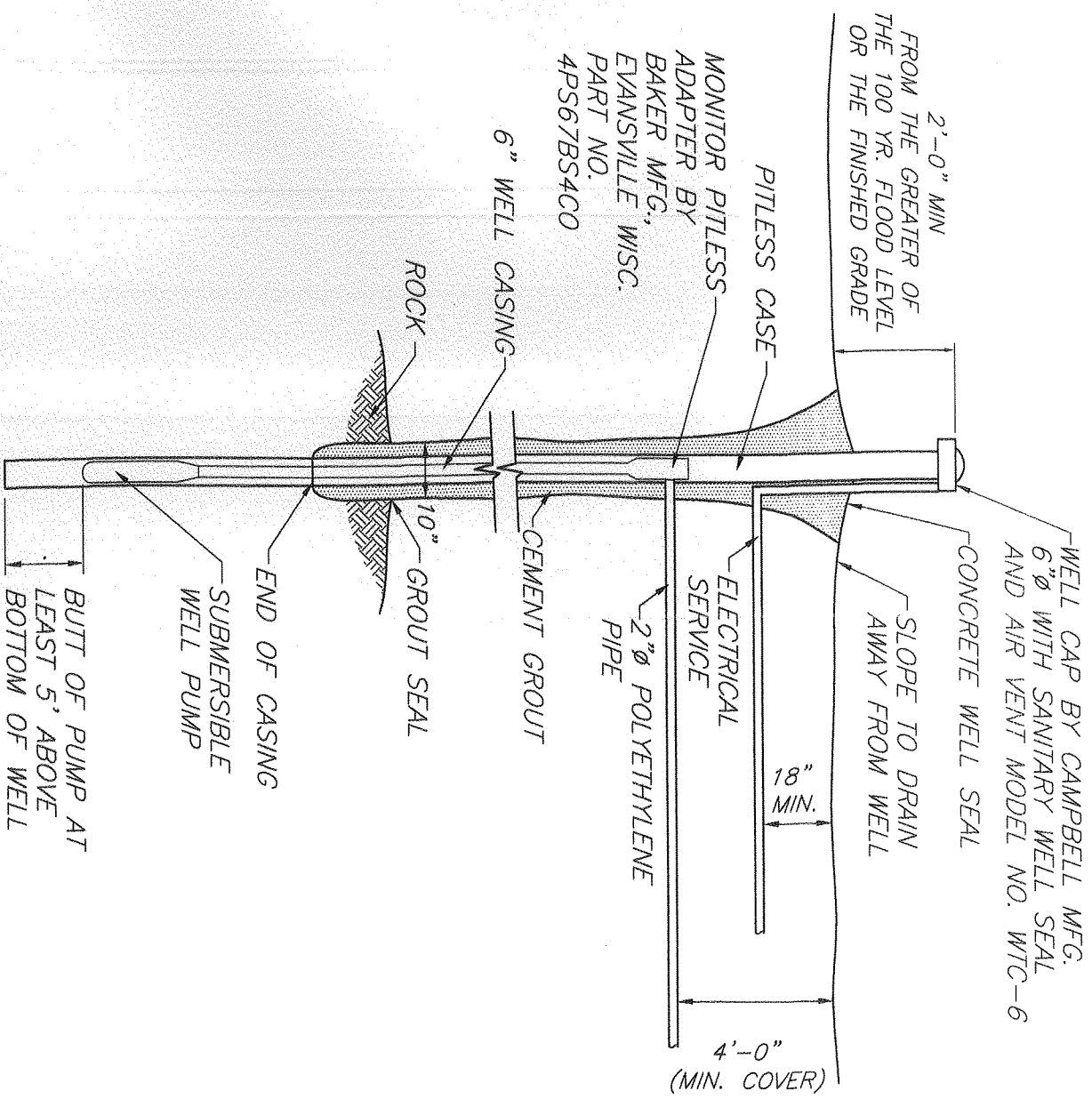
GARDNERTOWN ROAD

UTILITY POLE

CULVERT PITCH OUT= INV. OUT=

CALL BEFORE YOU DIG... IT'S THE LAW

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY- TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811

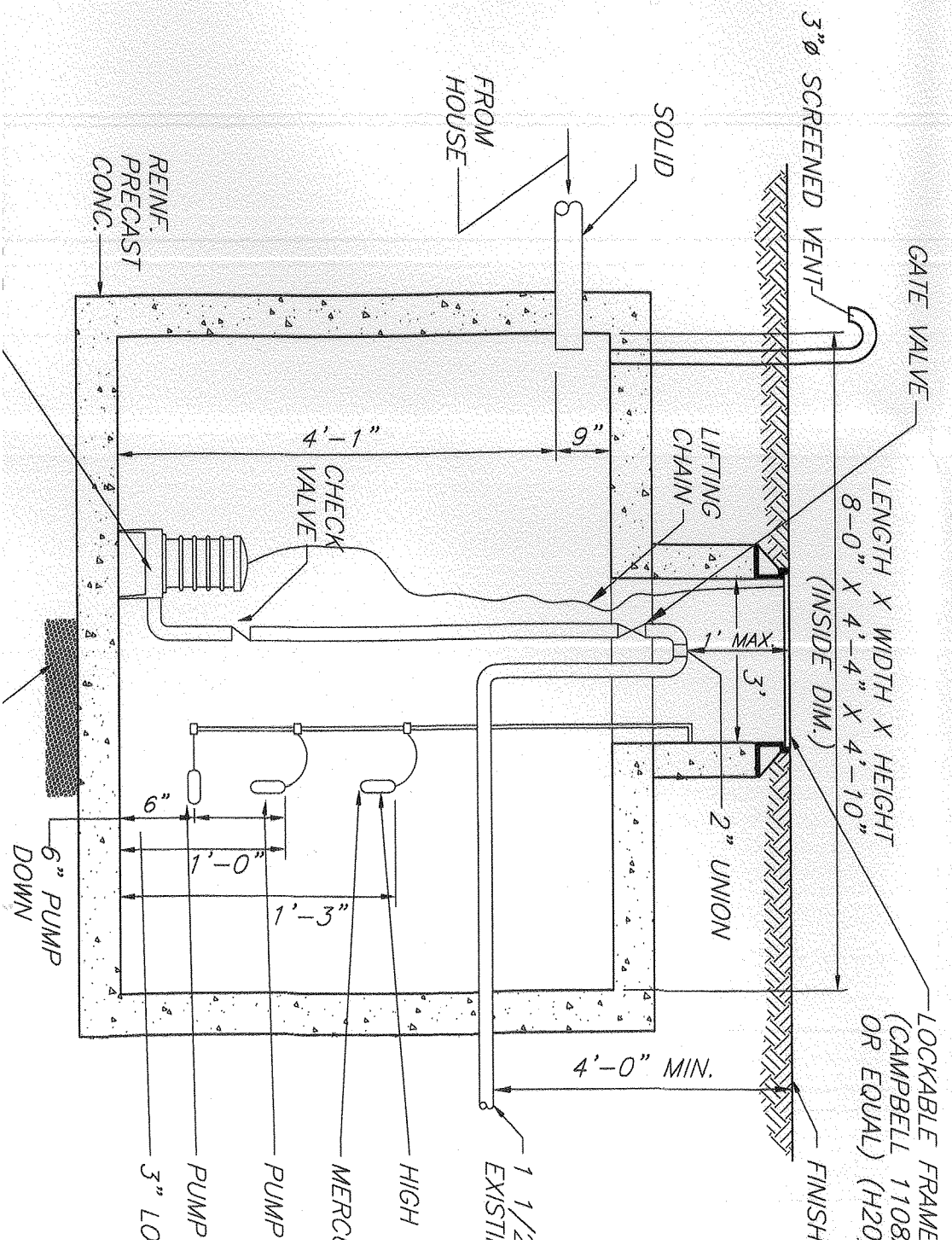


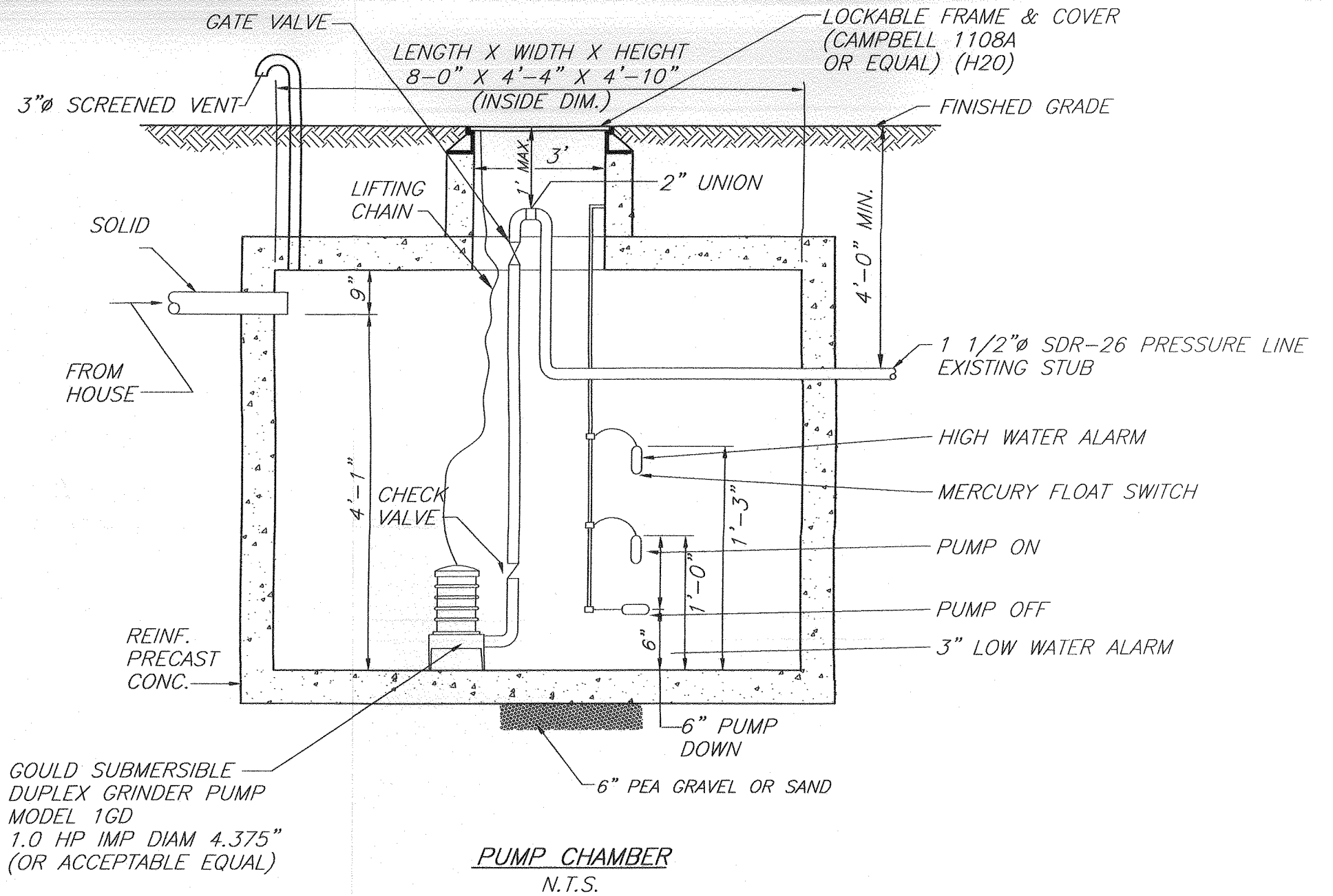
**TYPICAL WELL DETAIL**

N.T.S.

**WELL NOTES:**

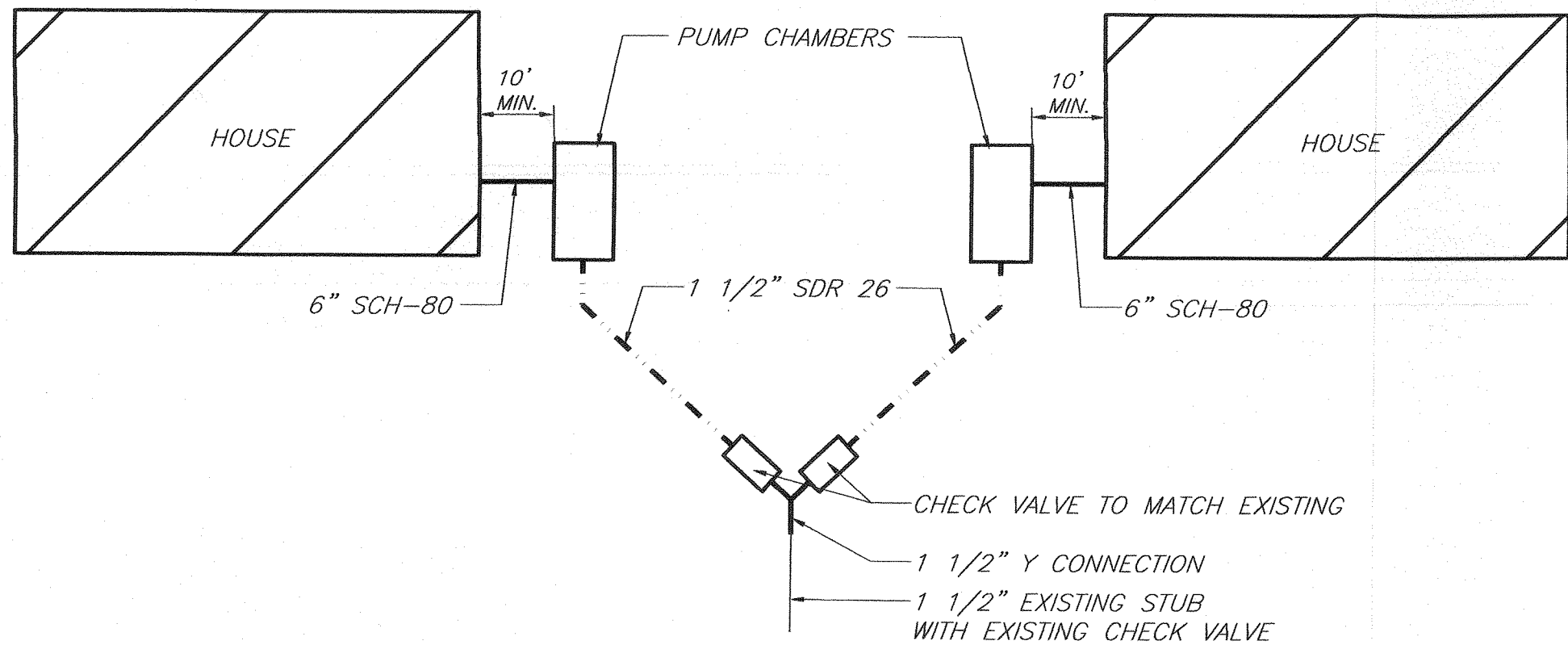
1. CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION
2. WELL TO BE CONSTRUCTED PER NYSDOH APPENDIX 5B "STANDARDS FOR WATER WELL" LATEST EDITION
3. WELL SHALL HAVE A MIN. YIELD OF 5 GPM.
4. WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.





**PUMP CHAMBER NOTES:**

1. DUPLEX PUMP SHALL HAVE INDIVIDUAL AUDIO AND VISUAL ALARM TO INDICATE PUMP MALFUNCTION.
2. PUMP SHALL ALTERNATE ON A LEAD LAG BASIS WITH A 24 HR CYCLE TIME.
3. FORCE MAIN TO BR TESTED TO MINIMUM WATER PRESSURE OF 50 PSI OR AIR PRESSURE OF 10 PSI FOR 2 HOURS WITH ZERO DROP IN PRESSURE ALLOWED.
4. INSTALLATION OBSERVATION OF PUMP STATION, MANHOLE, GRAVITY SEWER AND TESTING TO BE BY OR UNDER THE DIRECT SUPERVISION OF A NYS LICENSED PROFESSIONAL ENGINEER.
5. WELL SHALL BE METERED WITH METERS ACCEPTABLE TO THE TOWN NEWBURGH.



TYPICAL PLAN VIEW  
N.T.S.

NOTE:  
SILT FENCE IS TO BE INSTALLED  
PRIOR TO ANY CONSTRUCTION AND  
SHALL BE CHECKED AFTER EVERY  
RAIN STORM. SILT FENCES ARE

MIRAFI FILTER  
FABRIC OR EQUAL  
(STAPLE TO LATH)  
GROUND LINE

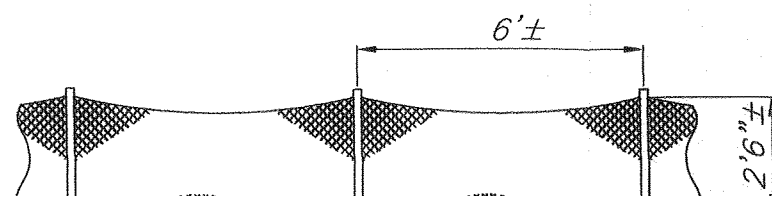




TABLE FRAME & COVER  
 PBELL 1108A  
 (QUAL) (H20)

FINISHED GRADE



1 1/2" Ø SDR-26 PRESSURE LINE  
 EXISTING STUB

HIGH WATER ALARM

MERCURY FLOAT SWITCH

PUMP ON

PUMP OFF

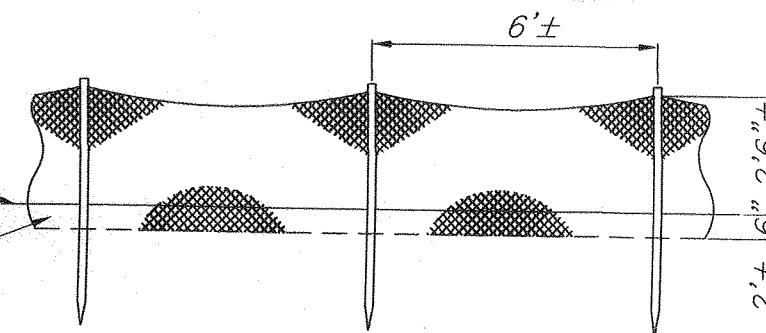
3" LOW WATER ALARM

NOTE:  
 SILT FENCE IS TO BE INSTALLED  
 PRIOR TO ANY CONSTRUCTION AND  
 SHALL BE CHECKED AFTER EVERY  
 RAIN STORM. SILT FENCES ARE  
 TO BE REPLACED AS NECESSARY  
 DUE TO DAMAGE OR WHEN FILLED  
 WITH SILT. SILT TO BE REMOVED  
 IN FRONT OF FENCES REGULARLY  
 TO PREVENT EXCESSIVE SOIL  
 BEARING WEIGHT ON THE FENCES  
 AND FENCE POSTS.

MIRAFI FILTER  
 FABRIC OR EQUAL  
 (STAPLE TO LATH)

GROUND LINE

BURY END  
 OF FABRIC



SILT FENCE DETAIL

N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND  
 INITIALIZE EROSION CONTROL MEASURES, SILT FENCING IS TO BE USED FOR  
 SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING  
 CONSTRUCTION, SILT FENCING IS TO BE MAINTAINED TO THE SATISFACTION  
 OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND  
 COVER IS REESTABLISHED.

N.Y.S. RAISED SEPTIC SYSTEM GENERAL NOTES:

1. PERCOLATION RATE OF FILL MATERIAL SHALL BE BETWEEN 5 AND 30  
 MINUTES PER INCH BOTH AT THE BORROW PIT PRIOR TO EXCAVATION  
 AND AFTER THE MATERIAL HAS BEEN PLACED
2. FILL SHALL BE EITHER PLACED IN 6" LIFTS AND COMPACTED WITH A  
 TRACK TYPE MACHINE OR ALLOWED TO SETTLE FOR 6 MONTHS MINIMUM  
 AND A FREEZE THAW CYCLE.
3. FILL MATERIAL SHALL EXTEND 3'-6" BEYOND END OF LATERALS, EACH END.
4. FILL MATERIAL WILL NOT BE PLACED WHEN UNDERLYING SOIL HAVE HIGH  
 MOISTURE CONTENT.
5. ALL TREES, STUMPS BRUSH, WEEDS ETC. SHALL BE CUT AT GRADE AND  
 REMOVED. ALL LEAVES, LIMBS, AND BOULDERS ABOVE GRADE SHALL BE  
 CAREFULLY REMOVED.
6. SITE SOILS MUST BE LEFT UNDISTURBED PRIOR TO PLACEMENT OF FILL.