



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: DOLLAR GENERAL -ROUTE 52
PROJECT NO.: 23-25
PROJECT LOCATION: SECTION 60, BLOCK 2, LOT 65
REVIEW DATE: 31 MAY 2024
MEETING DATE: 6 JUNE 2024
PROJECT REPRESENTATIVE: MECURIO-NORTON TAROLLI-MARSHALL- ENGINEERING & LAND SURVEYING

1. Status of the NYSDOT review of the project should be received. A land donation is proposed to NYSDOT to allow installation of the sidewalk within the DOT right-of-way. Detectable warning should be added to the sidewalk termination at the northwestern portion of the site.
2. Previous comment requested information pertaining to the connection of the proposed extension of the drainage crossing NYS Route 52. A concrete headwall is identified at the discharge location. Standard connection, as identified in the response comment will not connect to a concrete headwall.
3. A Flood Plain Development Permit is required to be received from the Town Building Department.
4. The stormwater landscaping note on Sheet 6 of 11 appears to conflict with the bio-retention details and Landscaping Plan. The northerly most bio-retention area is proposed to have a mulch surface, not seeded.
5. The size of the fire protection water line and potable water line should be identified on the plans. Details should be modified to match water surface sizing.
6. A decorative dry laid stone wall has been proposed along the property frontage. The stone wall contains breaks which are landscaped.
7. Drainage is designed to sheet flow from the site into the stormwater management practices. Curbing is not proposed on the outer perimeters of the site to allow the sheet flow drainage. Based on elevations on the site and the water course along the eastern property line. Curbs and closed pipe drainage will not function.
8. Coverage under the NYSDEC Stormwater SPDES Permit is required prior to stamping of the plans.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

9. Architectural renderings have been provided for the Planning Boards use. The architectural review form has been provided.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive style with a large initial 'P'.

Patrick J. Hines
Principal

PJH/kbw

Lawrence J. Marshall, P.E.

Timothy J. Martz, L.S.

Zachary A. Peters, P.E.

May 14, 2024

Planning Board
Town of Newburgh
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Re: Job No. 4980
Tax Parcel: 60-2-65
NYS Route 52
Town of Newburgh
Orange County
Dollar General Site Plan
Town of Newburgh Project No.: 2023-25

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Ten (10) copies of the revised Site Plan
2. Ten (10) copies of the Building Rendering
3. Ten (10) copies of the Architectural Review Form
4. Ten (10) copies of the Traffic Engineer's Responses to Comments

The following comments are in response to a review by Patrick J. Hines, of McGoey, Hauser, & Edsall Consulting Engineers, dated April 26, 2024:

1. A Floodplain Development Permit for the proposed construction will be obtained from the Town of Newburgh Building Department prior to construction. The proposed grading results in a approximately 41 cubic yards of fill being placed in the floodplain and 585 cubic yards of material being removed from the floodplain. The resulting 544 cubic yards of material removed from the floodplain will provide an additional approximately 109,850 gallons of additional storage on the project site for the 100-year storm event.
2. No response required.
3. No response required.
4. No response required.
5. No response required.
6. No response required.
7. No response required.
8. No response required.
9. The existing concrete headwall at the outlet of the 18" CMP pipe crossing NYS Route 52 will be removed. The pipe extension will be attached to the existing pipe with a standard coupling.
10. Copies of the proposed building rendering and Architectural Review Form has been enclosed for consideration.



11. The landscaping plan has been updated to address Town Code Section 185-13D(9)(a). The parking and loading areas encumber a total of 18,808 square feet of land. The three (3) landscaped islands located around the front and northwest side of the building total 1,058 square feet or 5.6% of the parking and loading areas.

The following comments are in response to a review by Kenneth Wersted, P.E., of Creighton Manning, dated May 1, 2024:

1. Comment responded to in letter from Stephan A. Maffia, P.E.
2. Comment responded to in letter from Stephan A. Maffia, P.E.
3. Comment responded to in letter from Stephan A. Maffia, P.E.
4. Comment responded to in letter from Stephan A. Maffia, P.E.
5. Comment responded to in letter from Stephan A. Maffia, P.E.
6. The sidewalk on the north end has been revised to connect to the edge of the existing pavement on NYS Route 52. The sidewalk on the south end has been revised to include a sidewalk ramp.

Please place this project on the next available meeting agenda for continued discussion.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at lmmarshall@mntm.co.

Sincerely,



Lawrence Marshall, P.E.

LM/lm
Enc.

Cc: Primax Properties, LLC (*via email*) – w. enc.
Dominic Cordisco, Esq. (*via email*) – w. enc.
Kenneth Wersted, P.E.. (*via mail & email*) – w. enc.
Patrick Hines (*via mail & email*) – w. enc.
Karen Arent, L.A. (*via mail*) – w. enc.





VIA EMAIL

May 2, 2024

Lawrence Marshall, PE, President
Mercurio-Norton-Tarolli-Marshall, P.E.
45 Main Street
Pine Bush, NY 12566

Re: Dollar General – Route 52 – Newburgh, NY
Responses to Town Consultant Comments

Dear Mr. Marshall:

I have completed my responses to the Town consultant comments on the traffic study that I prepared for the proposed Dollar General store in February 2024. The comments were transmitted to the Town Planning Board in a May 1, 2024 letter from Creighton Manning Engineering, LLP (CM). That document is in Attachment A to this letter for ease of reference. Each comment in the CM document was assigned a number and my responses are keyed to those assignments without repeating the entire comment.

1. (and 5.) The CM letter provided the names and locations of eight other development projects that may add traffic to the Route 300/Route 52 intersection. My study included traffic from two nearby developments that I believed would be completed/occupied by the build year for Dollar General – 2025. The timing of the other developments is not known, and some may not be completed and fully occupied by the end of 2025.

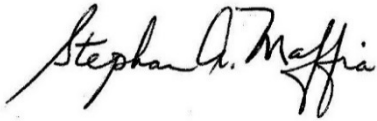
However, in Comment 5, CM indicated that, while the Dollar General impact on the intersection will be minor, the cumulative impacts of all of the potential developments should be addressed. In doing so, the Town may then be able to assign fair share contributions from each development to fund traffic related improvements. In that regard, the fair share contribution of the Dollar General store – and those of all of the other development proposals – are being determined by the Town Board. The basis for determining fair shares was not provided; however, I recommend that Dollar General signal its acceptance of that condition to the Town once its fair share percent/amount is determined. Further, I recommend that the Town provide information on its process/methodology regarding the fair share program for our review and to understand its effect on the Dollar General plan.

2. Noted.

3. Noted.
4. Noted.
5. See 1, above.
6. Pedestrian facilities will be addressed in a revised site plan.

I trust this information is helpful in moving forward with the approval process for this project. Please let me know if you have any questions. Thank you.

Sincerely,

A handwritten signature in black ink that reads "Stephan A. Maffia". The signature is written in a cursive, flowing style.

Stephan A. Maffia, P.E.

same response to cm comments 4-2-24

ATTACHMENT A



May 1, 2024

Mr. John Ewasutyn
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

**RE: Review Comments for Dollar General, 242 South Plank Rd (NY-52), Town of Newburgh, NY;
CM Project #123-001.14, Town Project #23-24**

Dear Mr. Ewasutyn:


We have received the project submission and site plan prepared by MNTM, last revised April 11, 2024 and the Traffic Impact Study prepared by Stephan A. Maffia, PE dated February 22, 2024. Based on our review of the enclosed, we offer the following:

1. The No-Build analysis includes two projects – Patton Ridge and MKJC. There are additional projects that should have been included in the No-Build and subsequent Build analyses that include:
 - a. Monarch Woods (Rt 52/Monarch Drive)
 - b. O'Donnell (~396 S. Plank Road)
 - c. Newburgh Chicken (Route 300/Route 52)
 - d. MKJ (325 N. Plank Road - different site from MKJC)
 - e. Farrell Industrial Park (1618 Route 300)
 - f. Hillside Warehouse (~18 Jeanne Drive)
 - g. Polo Club (1582 Route 300)
 - h. Matrix (Route 300/Matrix Dr)Information on these projects can be provided by contacting our office.
2. CM agrees with the ITE trip generation numbers and trip distribution. The project will generate between 31 and 58 trips during the AM, PM, and Saturday peak hours.
3. CM agrees that the no left turn conditions can be removed in the absence of any evidence or record of why it was installed for the Storage Stop project.
4. CM agrees on the accident and ITE parking analysis.
5. Although the traffic study indicates that the Route 52/Route 300 intersection operates at an overall LOS B/C/D, it does not include the other development projects noted above; therefore, the results are better than we expect when these projects are accounted for. Regardless, the project will have some, albeit minor impacts to the intersection. Given the cumulative effect of other projects reducing the capacity of the intersection, we suggest that Dollar General contribute its fair share to the intersection subject to the determination of that share by the Town Board, which is presently working on quantifying those shares for multiple projects in the area.
6. The current site plan proposes a sidewalk across the entire project frontage; it should tie back to the shoulder of Route 52 at the north end and connect to the main driveway with a ramp at the south end. Consider a sidewalk connection and crosswalk perpendicular from the Route 52 sidewalk to the main entrance.

Mr. John Ewasutyn
May 1, 2024
Page 2 of 2

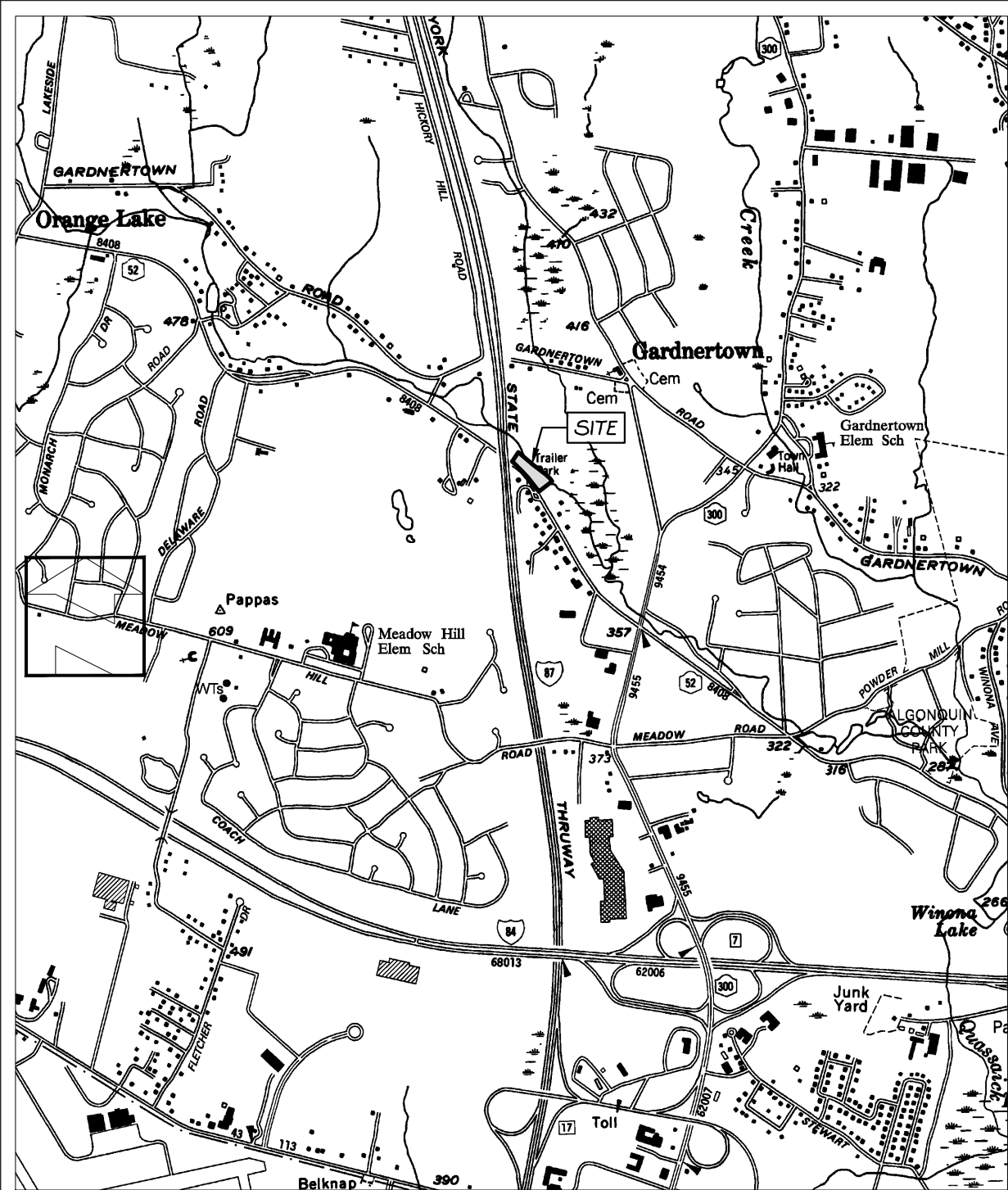
If you have any questions about the above comments, please don't hesitate to contact our office at 518-689-1834 or kwersted@cmellp.com.

Respectfully,
Creighton Manning Engineering, LLP


Kenneth Wersted, PE, PTOE
Associate

C: Pat Hines – MHE
Dominic Cordisco – PB Attorney
Jim Campbell – Code Enforcement
Jim Osborne- Town Engineer
Karen Arent – Landscape Architect
Siby-Zachariah-Carbone - NYSDOT

N:\Projects\2023\123-001 Newburgh - 2023 Reviews\Working\14-Dollar General (23-25)\Dollar General Review 3.docx



Location Map
SCALE: 1" = 2,000'

Legend

	PROPERTY LINE & CORNER		PROPOSED CONTOUR LINE
	SET 3/8" IRON ROD WITH PLASTIC ID CAP AT PROPERTY CORNER		PROPOSED STRUCTURE
	ADJOINER PROPERTY LINE		PROPOSED CONCRETE AREA
	DEED LIBER, PAGE		PROPOSED WATER LINE
	TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)		PROPOSED WATER VALVE
	EXISTING UTILITY POLE & LINE		PROPOSED SEWER SERVICE
	EXISTING CULVERT & SIZE		PROPOSED POLE-MOUNTED LIGHTING FIXTURE
	CHAIN LINK FENCE		PROPOSED SIDEWALK
	WATERCOURSE		PROPOSED CURBING
	APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE		PROPOSED GRAVEL DIAPHRAGM
	SIGN LOCATION		
	EXISTING MILE MARKER & INFORMATION		
	EXISTING CONTOUR LINE		
	EXISTING SEWER MANHOLE		
	EXISTING UNDERGROUND SEWER LINE		
	EXISTING FIRE HYDRANT		
	EXISTING UNDERGROUND GAS LINE		
	EXISTING WATER MAIN		

Zoning Legend: B

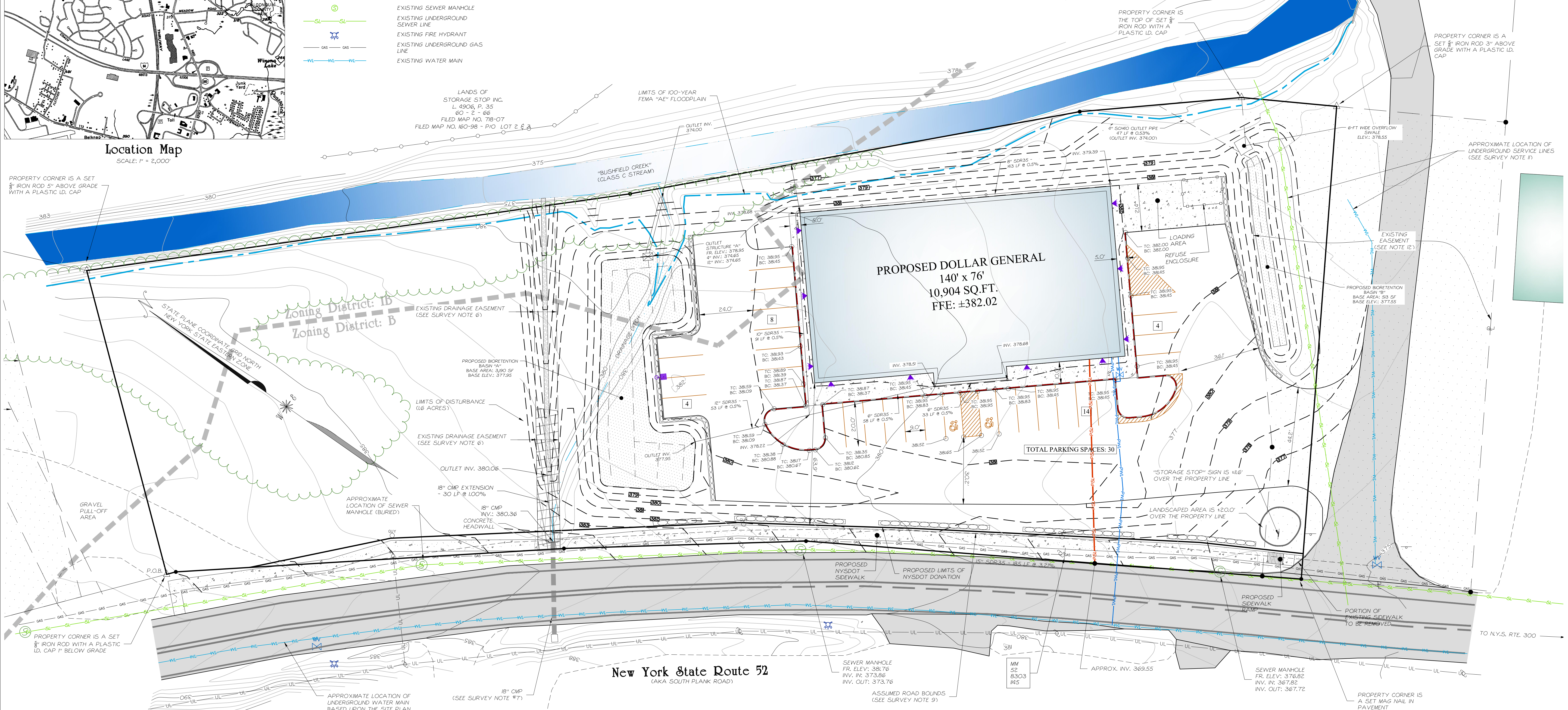
	REQUIRED	LOT 1	LOT 2
MINIMUM LOT AREA	15,000 S.F.	60,541 S.F.	27,809 S.F.
MINIMUM LOT WIDTH	100'	347.7'	187.0'
MINIMUM LOT DEPTH	12.5'	175.9'	146.6'
MINIMUM FRONT YARD	60'	61.0'	-
MINIMUM REAR YARD	30'	21.2'	-
MINIMUM SIDE YARD - ONE	15'	86.5'	-
MINIMUM SIDE YARD - BOTH	30'	20.9'	-
MAXIMUM LOT BUILDING COVERAGE (1)	60%	18.0%	-
MAXIMUM BUILDING HEIGHT	3.5'	5.3%	-
MAXIMUM LOT SURFACE COVERAGE (2)	85%	57.2%	-

Parcel Information

TAX PARCEL:	60 - 2 - 65
AREA:	2.121 ACRES (92,418 SQ. FT.)
RECORD OWNER:	TRINITY SQUARE, LLC P.O. BOX 39 MARLBORO NY 12542
DEED REFERENCE:	LIBER 12496 PAGE 1764
MAP REFERENCE:	FILED MAP NO. 718-07 - LOT 1 & FILED MAP NO. 160-98 - PIO LOT 1 (SEE NOTE 5)

Site Plan Notes:

- NO OUTSIDE STORAGE OF DISTRIBUTION OR SHIPPING MATERIALS SHALL BE PERMITTED ON THE SITE WITHOUT TOWN OF NEWBURGH PLANNING BOARD REVIEW AND APPROVAL.



PROPERTY CORNER IS A SET 3/8" IRON ROD 5" ABOVE GRADE WITH A PLASTIC ID. CAP

PROPERTY CORNER IS THE TOP OF SET 3/8" IRON ROD WITH A PLASTIC ID. CAP

PROPERTY CORNER IS A SET 3/8" IRON ROD 3" ABOVE GRADE WITH A PLASTIC ID. CAP

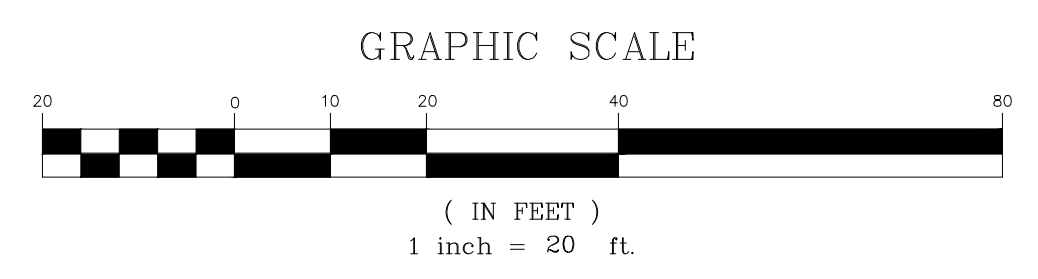
APPROXIMATE LOCATION OF UNDERGROUND SERVICE LINES (SEE SURVEY NOTE 11)

PROPERTY CORNER IS A SET 3/8" IRON ROD WITH A PLASTIC ID. CAP 1" BELOW GRADE

PROPERTY CORNER IS A SET MAG NAIL IN PAVEMENT

Parking Requirements

USE:	TOWN PARKING REQUIREMENT:	PROPOSED CRITERIA:	SPACES REQUIRED:
RETAIL	1 SPACE PER 150 SQ.FT.	10,904 SQ.FT.	73
TOTAL SPACES REQUIRED:			73
TOTAL SPACES PROVIDED:			30
PARKING VARIANCE GRANTED:			43



TOWN OF NEWBURGH PROJECT NO. 2023-25

New York State Route 52
(AKA SOUTH PLANK ROAD)

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
3	5-18-24	SITE PLAN REVISIONS	LJM
2	4-11-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP

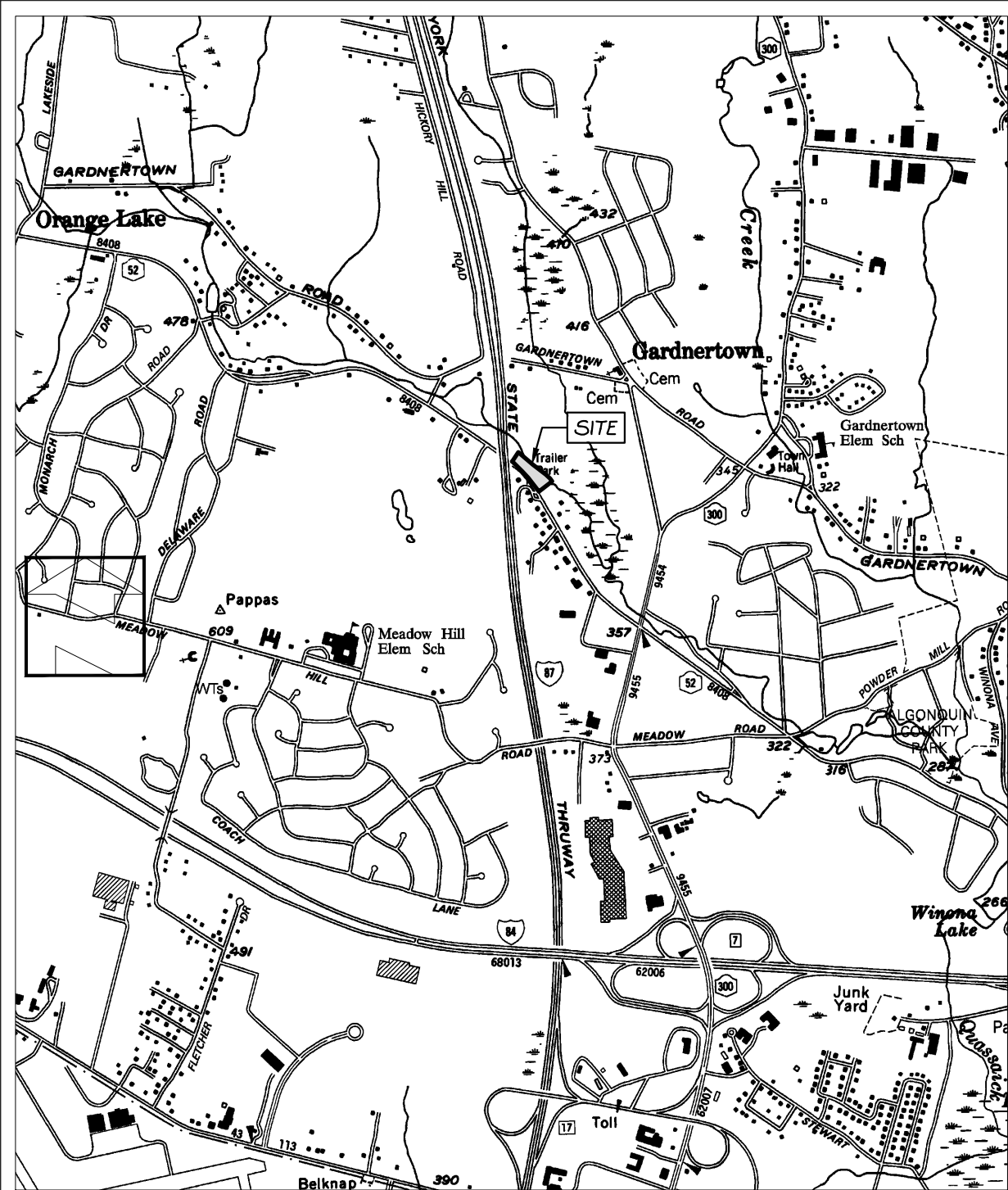
PLANNING BOARD APPROVAL

Site Plan for Dollar General

MNTM
Mercurio-Norton-Tarolli-Marshall
PLANNING & LAND SURVEYING
PO BOX 166 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.

TAX MAP PARCEL: 60 - 2 - 65
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: KMW
DATE: NOVEMBER 17, 2023
PROJECT: 4980
SHEET: 1 / 11



Location Map
SCALE: 1" = 2,000'

Survey Notes:

- 1) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON NOVEMBER 17, 2023.
- 2) THIS SURVEY IS BASED ON TITLE ABSTRACT REPORT NUMBER M-086606 PREPARED BY SMPR TITLE AGENCY, INC. DATED OCTOBER 3, 2023.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF NEW YORK STATE ROUTE 52 (SOUTH PLANK ROAD) FOR USE AS A PUBLIC HIGHWAY.
- 5) THE SUBJECT PARCEL IS KNOWN AS A PORTION OF LOTS 1 & 2 ON A MAP ENTITLED "3 LOT COMMERCIAL SUBDIVISION LANDS OF IRA CONKIN III" PREPARED BY VINCENT DOCE ASSOCIATES AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 17, 1998 AS MAP NO. 160-98 AND IS ALSO KNOWN AS LOT 1 ON A MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF ANTHONY COOCH, JR. AND STORAGE STOP, INC." PREPARED BY VINCENT J. DOCE ASSOCIATES AND FILED ORANGE COUNTY CLERK'S OFFICE ON AUGUST 16, 2007 AS MAP NO. 718-07. SUBJECT TO ALL NOTES AND DETAILS ON SAID FILED MAPS.
- 6) THE 10' WIDE DRAINAGE EASEMENT SHOWN AND DESCRIBED IN LIBER 722 PAGE 397 EXTENDS 180' FROM THE NORTHEASTERLY SIDE OF NEW YORK STATE ROUTE 52 TO THE WESTERLY EDGE OF A STREAM AS IT EXISTED IN 1930. SAID STREAM IS PRESUMED TO HAVE BEEN RELOCATED SINCE SAID DEED & MAP WERE PRODUCED AS THE WESTERLY EDGE OF THE STREAM (KNOWN AS BUSHFIELD CREEK) IS NOW 118' FROM THE EASTERLY SIDE OF NEW YORK STATE ROUTE 52. FILED MAP #160-98 APPEARS TO SHOW THE LIMITS OF THE EASEMENT DESCRIBED AND SHOWN IN LIBER 722 PAGE 397 AS WELL AS AN EXTENSION OF THE EASEMENT TO THE EASTERLY SIDE OF BUSHFIELD CREEK. AS PER NOTE #6 OF FILED MAP #160-98 "EASEMENTS PROVIDED TO NEW YORK STATE SHALL BE EXTENDED TO STREAM AS SHOWN AND THE DRAINAGE SWALE WILL BE RE-CONSTRUCTED WITHIN THE BOUNDS OF EACH EASEMENT". FILED MAP #718-07 SHOWS THE 10' WIDE DRAINAGE EASEMENT BEING 118' FROM THE EASTERLY SIDE OF NEW YORK STATE ROUTE 52. IT IS NOT KNOWN IF THE EXTANTING OF THE DRAINAGE EASEMENT TO NEW YORK STATE DEPARTMENT OF PUBLIC WORKS WAS FORMALLY ACCEPTED BY THE RECEIVING PARTY. AS SUCH, THE VALIDITY OF THE EXTENSION CANNOT BE VERIFIED.
- 7) THE CULVERT RUNNING UNDER NEW YORK STATE ROUTE 52 IS PRESUMED TO BE AN 18" CMP (AS PER FILED MAP #160-98 & 718-07). SAID CULVERT WAS NOT VISIBLE DUE TO DEBRIS CLOGGING THE INLET & OUTLET LOCATIONS ON EITHER SIDE OF NEW YORK STATE ROUTE 52.
- 8) THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON ACTUAL FIELD LOCATIONS COMPLETED DURING THE BOUNDARY SURVEY. VERTICAL DATUM IS NAVD88.
- 9) THE ASSUMED ROAD BOUNDS OF NEW YORK STATE ROUTE 52 IS A 15' ROAD WIDE OFFSET FROM THE CENTER OF THE AFOREMENTIONED ROAD BASED UPON THE LOCATION OF THE CENTERLINE AS IT WAS LOCATED ON NOVEMBER 17, 2023.
- 10) THE EASEMENT AREA LOCATED NORTHWESTERLY OF THE SUBJECT PROPERTY IS SHOWN ON FILED MAP #718-07. DUE TO THE LOT LINE CHANGE SHOWN ON #718-07, THE EASEMENT DOES NOT APPEAR TO CONNECT TO ANY PORTION OF THE BENEFITED PARCEL (TAX PARCEL 60-2-65), BUT DOES NOT APPEAR TO HAVE BEEN EXTINGUISHED.
- 11) BASED UPON SHEET 2 OF A PREVIOUS SITE PLAN OF THE SUBJECT PROPERTY ENTITLED "GRADING, DRAINAGE & UTILITY PLAN FOR TRINITY SQUARE" FILED IN THE TOWN OF NEWBURGH BUILDING DEPARTMENT AND PROVIDED BY THE TOWN OF NEWBURGH ENGINEERING DEPARTMENT, WATER AND SEWER SERVICE LINES FOR LOT 2 (TAX PARCEL 60-2-66) ENCROACH INTO THE PROPERTY OF LOT 1 (TAX PARCEL 60-2-65) AND ARE LOCATED WITHIN THE EASEMENT AREA WHICH BENEFITS LOT 1 (TAX PARCEL 60-2-65).
- 12) TOGETHER WITH THE RIGHTS OF INGRESS AND EGRESS, AS WELL AS THE RIGHT TO PLACE UTILITIES OVER THOSE PORTIONS OF LOT 2 (TAX PARCEL 60-2-66) WHICH ADJOINS NEW YORK STATE ROUTE 52, LIBER 4906 PAGE 35 ONLY DESCRIBES THE EASEMENT AREA OVER THE EXISTING DRIVE LEADING TO LOT 2 (TAX PARCEL 60-2-66). WHEREAS FILED MAP #160-98 & FILED MAP #718-07 SHOW 2 EASEMENT AREAS IN FAVOR OF LOT 1 (TAX PARCEL 60-2-65). SEE SURVEY NOTE 10. THE ORIGINAL EASEMENT GRANTED ALONG THE SOUTHEASTERLY BOUNDS OF THE SUBJECT PARCEL ON FILED MAP NO. 160-98 EXTENDS INTO THE CURRENTLY BENEFITED PARCEL (TAX PARCEL 60-2-65) DUE TO THE LOT LINE CHANGE COMPLETED IN FILED MAP #718-07. THE ENTIRE BOUNDS OF THE EASEMENT HAVE BEEN SHOWN.
- 13) SUBJECT TO UTILITY EASEMENTS IN FAVOR OF NEW YORK TELEPHONE COMPANY AS DESCRIBED IN LIBER 969 PAGE 246 & LIBER 969 PAGE 248. SAID EASEMENTS ARE NOT PLOTTABLE, HOWEVER, GRANT ACCESS TO NEW YORK TELEPHONE COMPANY TO MAINTAIN, CONSTRUCT, PROVIDE CLEARANCE, ETC. OF 10' FROM THE WIRES OF SAID CORPORATION AS DESCRIBED IN THE AFOREMENTIONED DEEDS.
- 14) THE SUBJECT PARCEL WAS PREVIOUSLY SUBJECT TO A PERMANENT DRAINAGE EASEMENT AS SHOWN AND DESCRIBED IN LIBER 1997 PAGE 62. SAID EASEMENT DOES NOT AFFECT THE SUBJECT PROPERTY DUE TO THE LOT LINE CHANGE SHOWN ON FILED MAP #718-07.
- 15) SUBJECT TO THE TERMS SET FORTH IN A SEWER OUTSIDE USER AGREEMENT DESCRIBED IN LIBER 3578 PAGE 179. (NOT PLOTTABLE)
- 16) SUBJECT TO A CROSS EASEMENT AND MAINTENANCE DECLARATION IN LIBER 4873 PAGE 88. NO METES AND BOUNDS DESCRIPTIONS ARE GIVEN FOR SAID EASEMENTS, HOWEVER, REFERS TO THE EASEMENT AREAS SHOWN ON FILED MAP #160-98 & #718-07 (SEE NOTE 10).

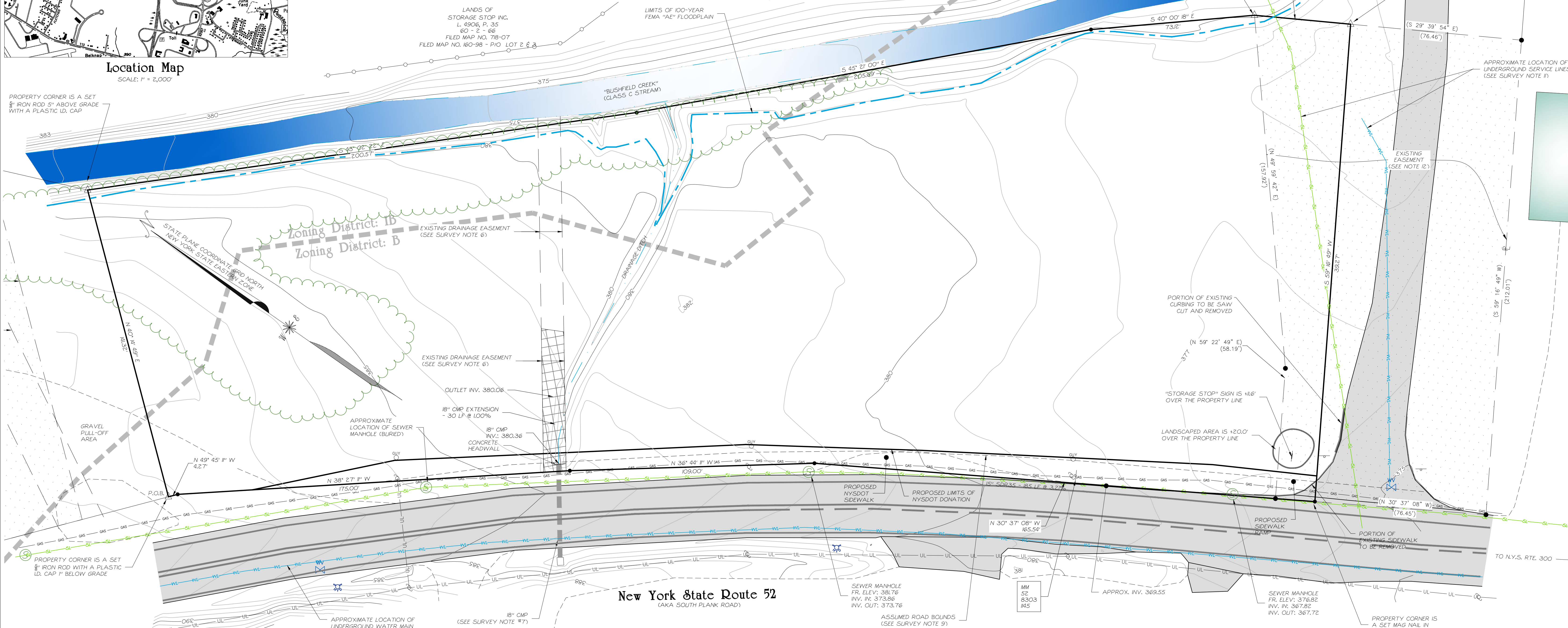
Legend

- PROPERTY LINE & CORNER
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Zoning Legend: B

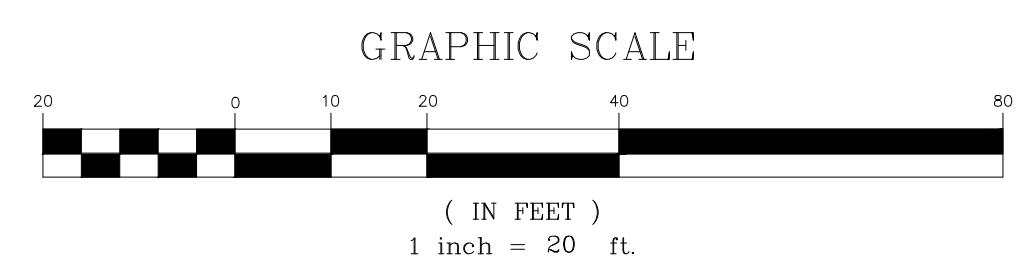
RETAIL STORE	REQUIRED	LOT 1	LOT 2
MINIMUM LOT AREA	15,000 S.F.	60,541 S.F.	27,809 S.F.
MINIMUM LOT WIDTH	100'	347.7'	187.0'
MINIMUM LOT DEPTH	125'	175.9'	116.6'
MINIMUM FRONT YARD	60'	61.0'	-
MINIMUM REAR YARD	30'	21.2'	-
MINIMUM SIDE YARD - ONE	15'	86.5'	-
MINIMUM SIDE YARD - BOTH	30'	201.9'	-
MAXIMUM LOT BUILDING COVERAGE (1)	60%	18.0%	-
MAXIMUM BUILDING HEIGHT	35'	< 35'	-
MAXIMUM LOT SURFACE COVERAGE (2)	85%	57.2%	-

- (1) LOT BUILDING COVERAGE DEFINED AS THE PERCENTAGE OF THE AREA OF THE LOT COVERED BY A BUILDING OR BUILDINGS.
- (2) LOT SURFACE COVERAGE DEFINED AS THE PERCENTAGE OF THE AREA OF LOT COVERED BY ANY IMPERVIOUS SURFACE, INCLUDING BUILDINGS, PARKING LOTS, ETC.



Parcel Information

TAX PARCEL:	60 - 2 - 65
AREA:	2.121 ACRES (92,418 SQ. FT.)
RECORD OWNER:	TRINITY SQUARE, LLC P.O. BOX 31 MARLBORO NY 12542
DEED REFERENCE:	LIBER 12496 PAGE 1764
MAP REFERENCE:	FILED MAP NO. 718-07 - LOT 1 & FILED MAP NO. 160-98 - P/O LOT 1 (SEE NOTE 5)



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NO.	DATE	REVISION	BY
2	4-1-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP
NO.			

**Existing Conditions Plan
for
Dollar General**

MNTM
Mercurio-Norton-Tarolli-Marshall
ENGINEERING & LAND SURVEYING
PO BOX 166 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

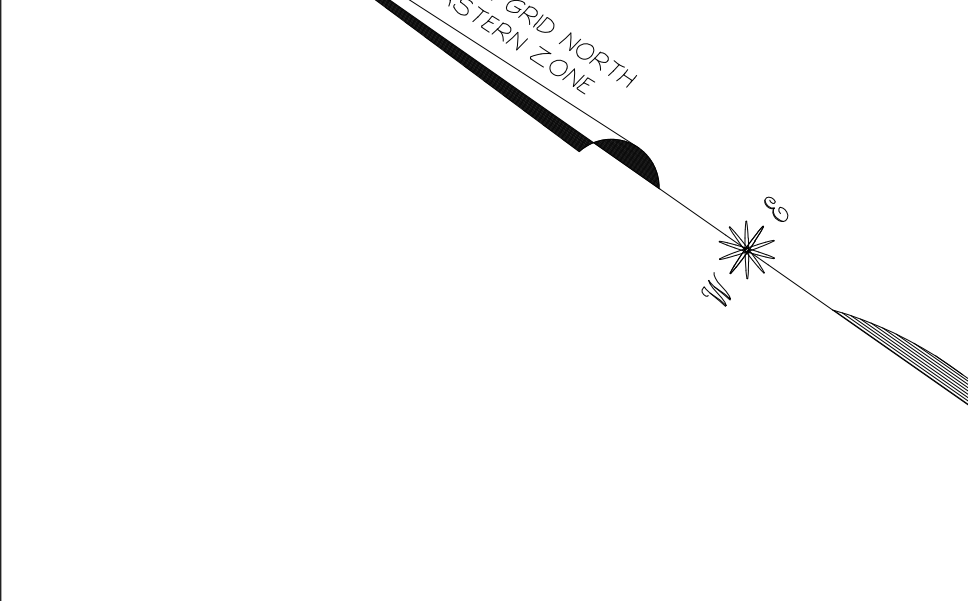
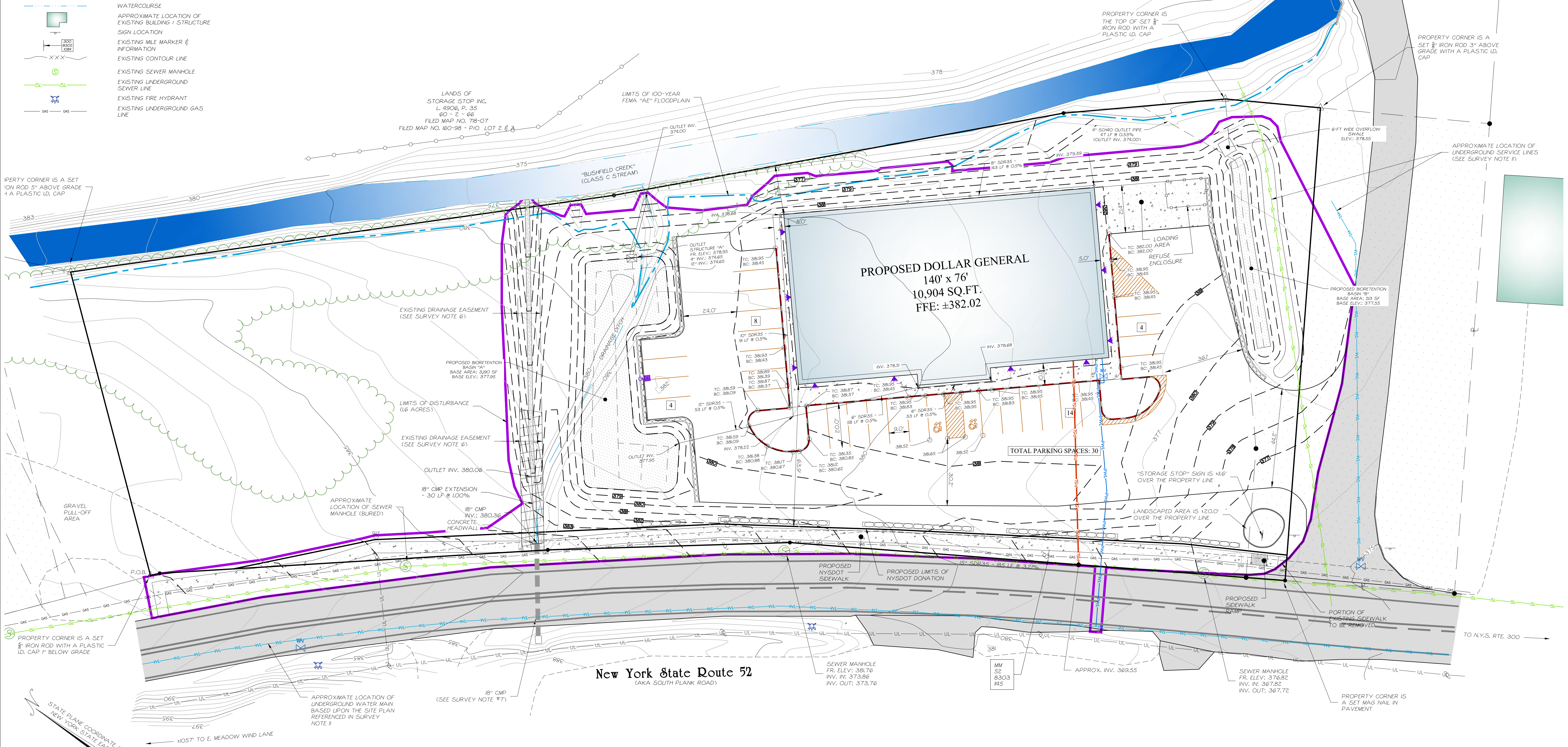
THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: 60 - 2 - 65
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: KVM
DATE: NOVEMBER 17, 2023
PROJECT: 4980
SHEET: 2 / 11

Legend

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROD WITH PLASTIC ID CAP AT PROPERTY CORNER
- ADJOINER PROPERTY LINE
- DEED LIBER, PAGE
- TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- EXISTING UTILITY POLE & LINE
- EXISTING CULVERT & SIZE
- CHAIN LINK FENCE
- WATERCOURSE
- APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE
- SIGN LOCATION
- EXISTING MILE MARKER & INFORMATION
- EXISTING CONTOUR LINE
- EXISTING SEWER MANHOLE
- EXISTING UNDERGROUND SEWER LINE
- EXISTING FIRE HYDRANT
- EXISTING UNDERGROUND GAS LINE

Parking Requirements

USE:	TOWN PARKING REQUIREMENT:	PROPOSED CRITERIA:	SPACES REQUIRED:
RETAIL	1 SPACE PER 150 SQ.FT.	10,904 SQ.FT.	73
TOTAL SPACES REQUIRED:			73
TOTAL SPACES PROVIDED:			30
PARKING VARIANCE REQUIRED:			43



GRAPHIC SCALE

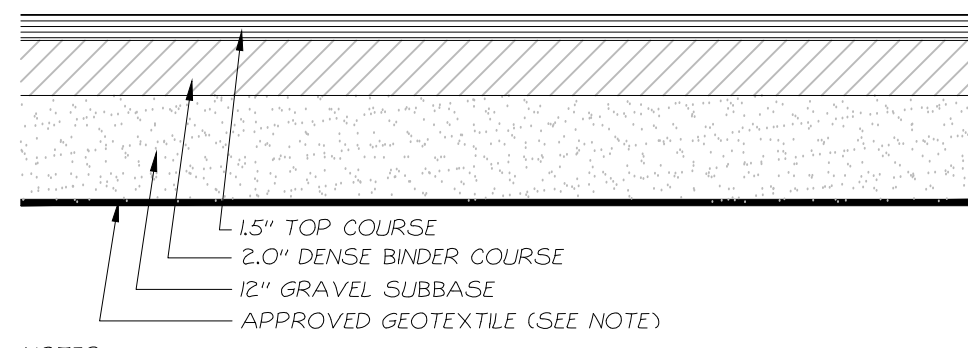
"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
 "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
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NO.	DATE	REVISION	BY
2	4-11-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP

Site Plan Detail for Dollar General

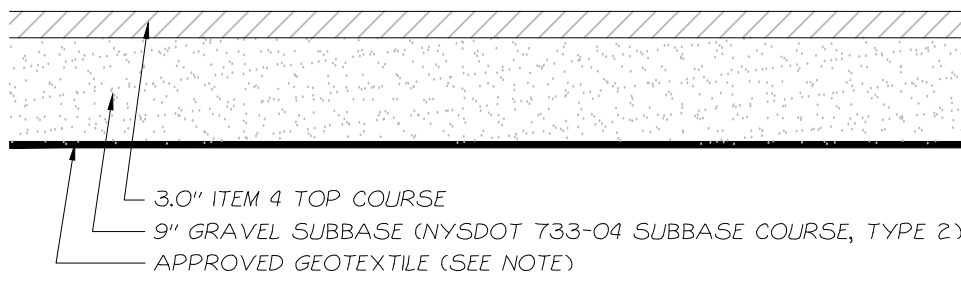
MNTM
 Mercurio-Norton-Tarolli-Marshall
 ENGINEERING AND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
 TAX MAP PARCEL: 60 - 2 - 65
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: KMV
 DATE: NOVEMBER 17, 2023
 PROJECT: 4980
 SHEET: 3 / 11



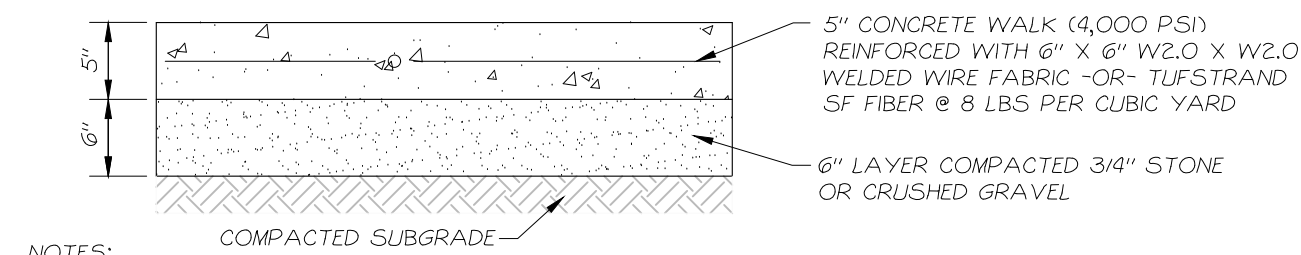
NOTES:
 1) GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

Standard Asphalt Pavement Section



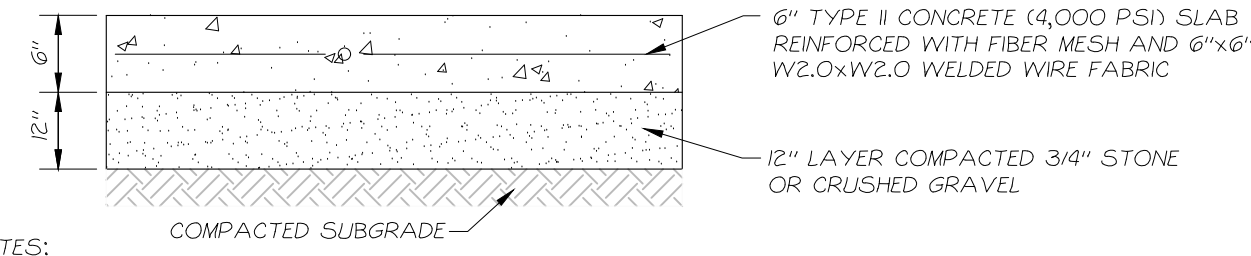
NOTES:
 1) GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

Gravel Pavement Section



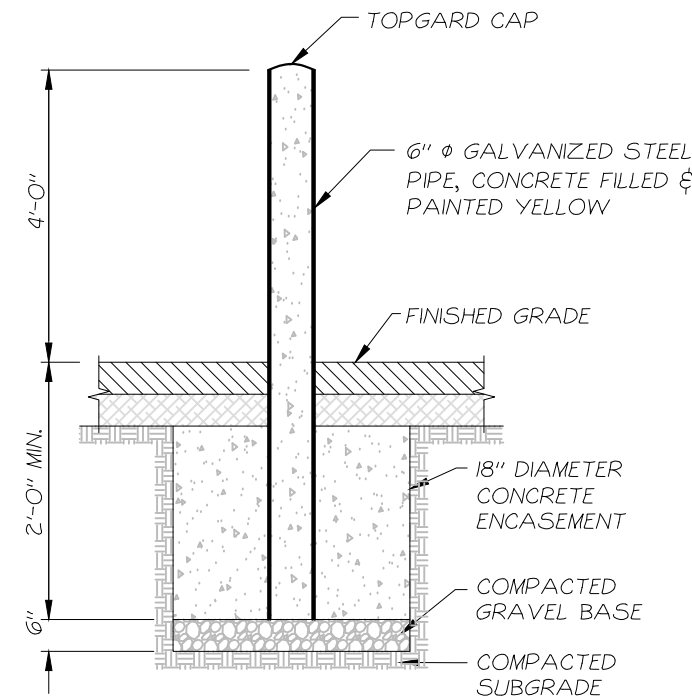
NOTES:
 1) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 15 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS.
 2) DOWELS SHALL BE PLACED ACROSS SLAB EXPANSION JOINTS TO LIMIT DIFFERENTIAL SETTLEMENTS.
 3) THE OUTER 2 FEET OF CONCRETE SHALL HAVE A THICKNESS OF 12 INCHES WHERE THE CONCRETE ADJOINS THE ASPHALT PAVEMENT. THE THICKNESS SHALL TAPER BACK TO THE THICKNESS SHOWN AT A 45 DEGREE ANGLE.
 4) SEE HEAVY-DUTY CONCRETE DETAIL FOR CONCRETE IN DUMPSTER ENCLOSURE DETAIL.

Standard Concrete Pavement Section

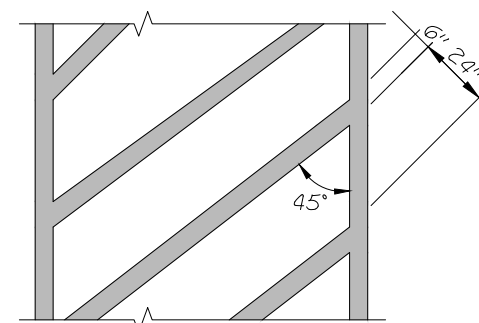


NOTES:
 1) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.
 2) CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS.
 3) SEE DUMPSTER ENCLOSURE DETAIL. FOR ALL OTHER AREAS, SEE TYPICAL CONCRETE DETAIL.

Heavy Duty Concrete Pavement Section

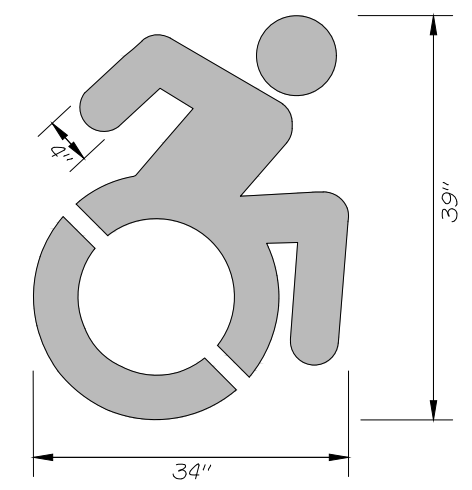


Typical Bollard Detail

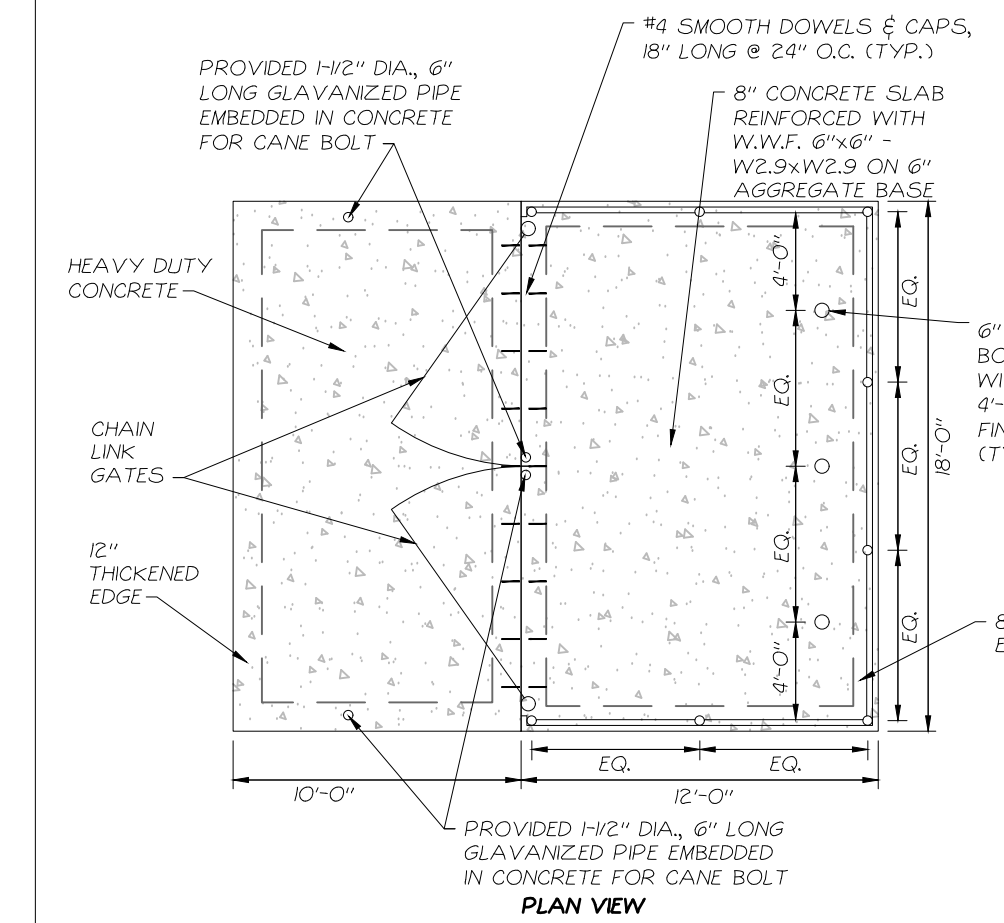
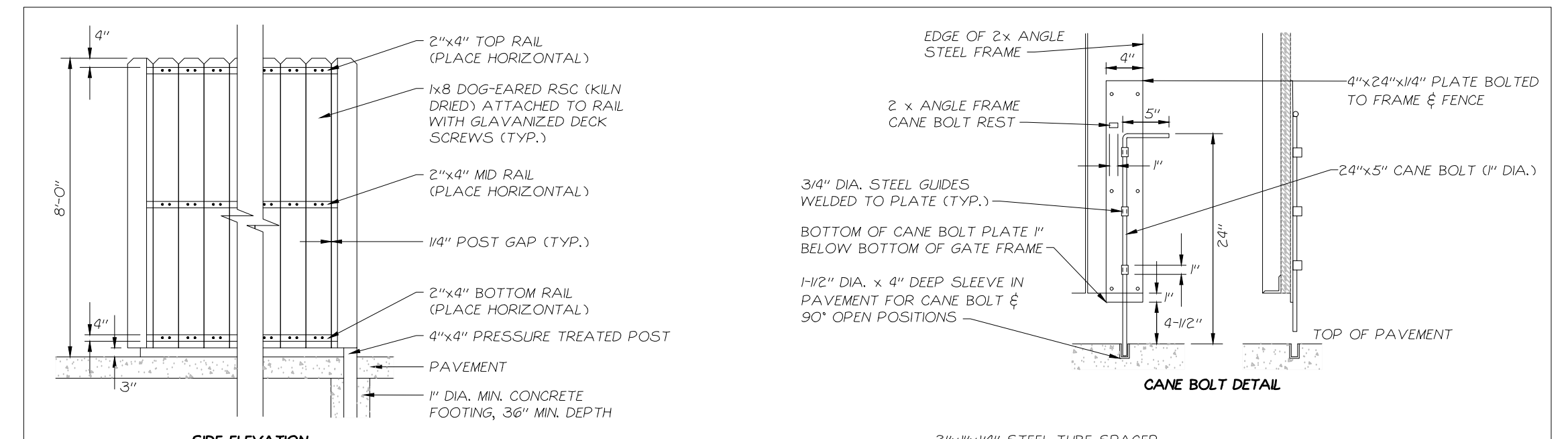


NOTES:
 1) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 PARKING LOT STRIPING: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOWTMS494

Island Striping Detail

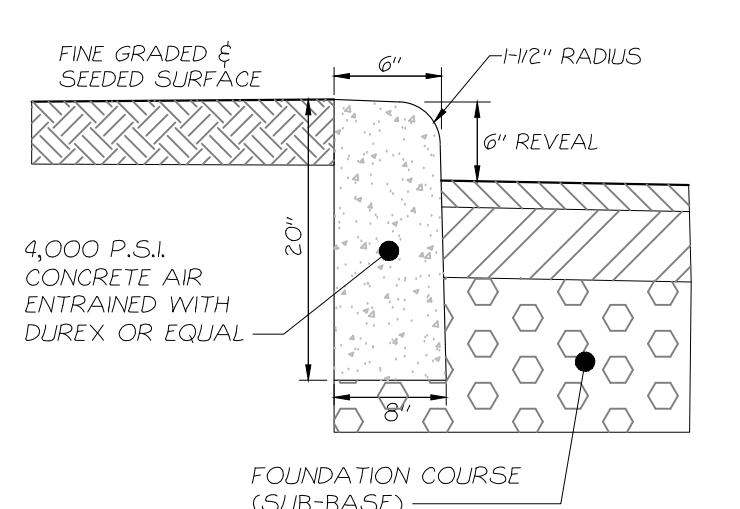


Accessible Parking Symbol



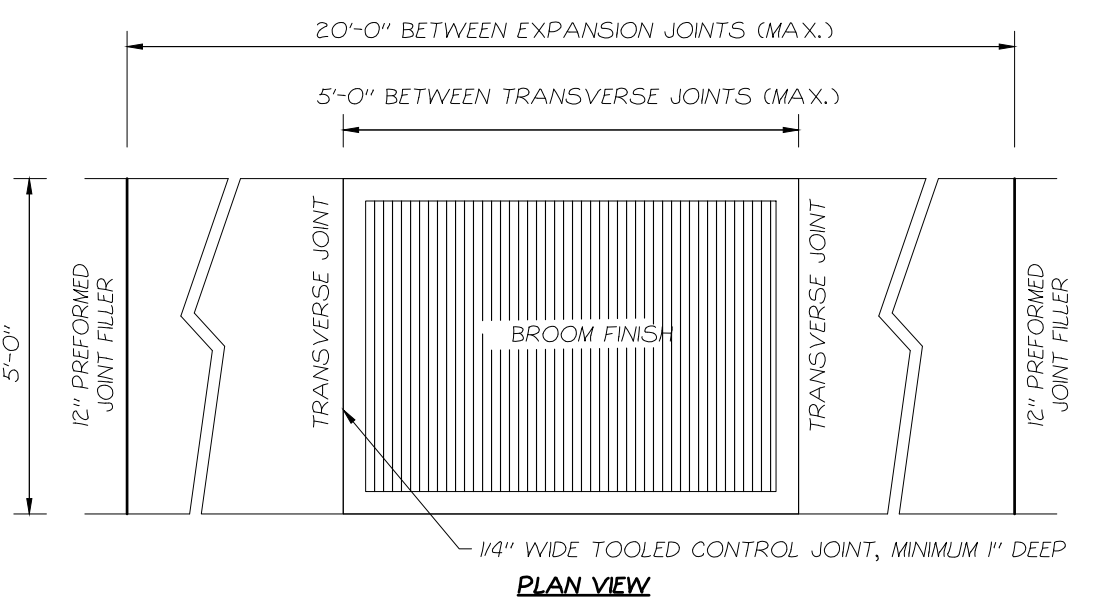
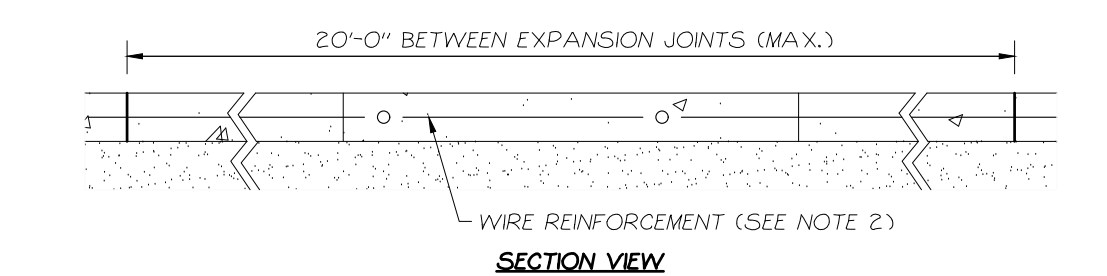
DUMPSTER ENCLOSURE NOTES:
 1) DUMPSTER ENCLOSURE SHALL BE 18 FEET X 12 FEET.
 2) FOUR (4) BOLLARDS SHALL BE INSTALLED ON THE INSIDE OF THE ENCLOSURE, ACROSS THE REAR FENCE.
 3) FRONT GATES SHALL BE CONSTRUCTED OF METAL CHAIN LINK AND CONSIST OF 2 - 9 FOOT GATES WITH NO CENTER POST BETWEEN THE TWO GATES. CLOSING RODS SHALL BE INSTALLED ON EACH GATE AND HOLES SHALL BE DRILLED IN THE CONCRETE PAD TO RECEIVE RODS. DARK BROWN VINYL SCREENING SLATS SHALL BE INSTALLED IN CHAINLINK PORTION OF THE GATES.
 4) CHAINLINK FENCE SHALL CONSIST OF 9 GA. GALVANIZED (2" MESH) FABRIC WITH 1 5/8" O.D., 2.27 LBS. PER FOOT (MIN.) RAILS.
 5) 8" THICK CONCRETE SLAB OVER 6" THICK CRUSHED AGGREGATE. 12"x12" THICKENED EDGE FOR APPROACH SLAB. #4 REBAR @ 2'-0" O.C. EACH WAY.

Dumpster Enclosure Details



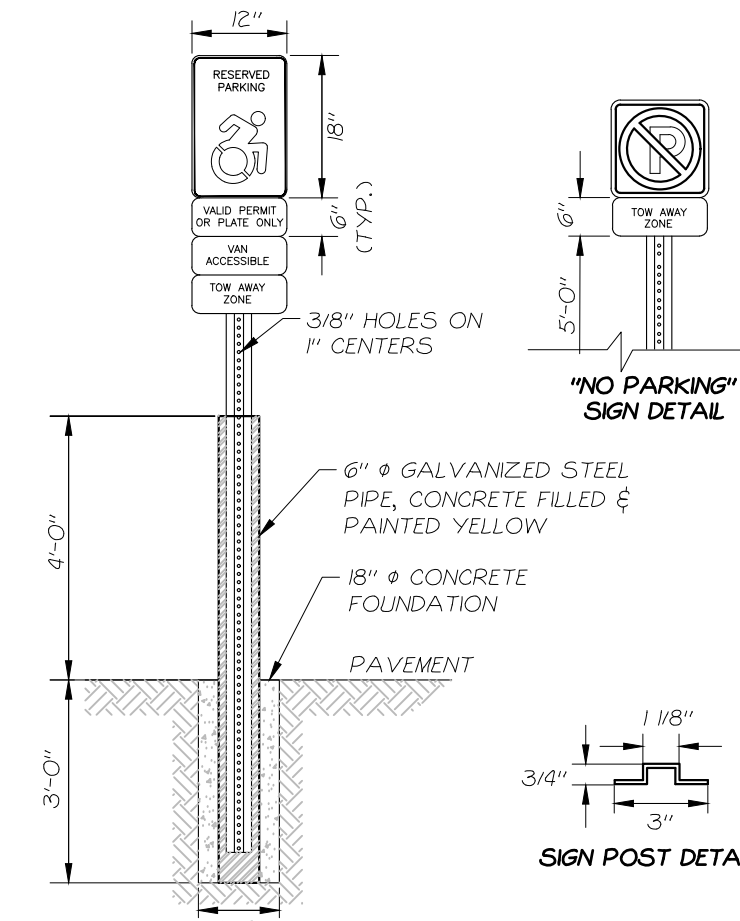
NOTES:
 1) CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE INSTALLED WHERE REQUIRED (AT CURB BOXES, CATCH BASINS, BRIDGES, ETC.) CONTRACTION (CONTROL) JOINTS SHALL BE INSTALLED AT 20' INTERVALS.
 2) THIS DETAIL SHALL BE UTILIZED FOR INSTALLATION OF CURBING WITHIN PROJECT SITE.

Standard Curb Detail

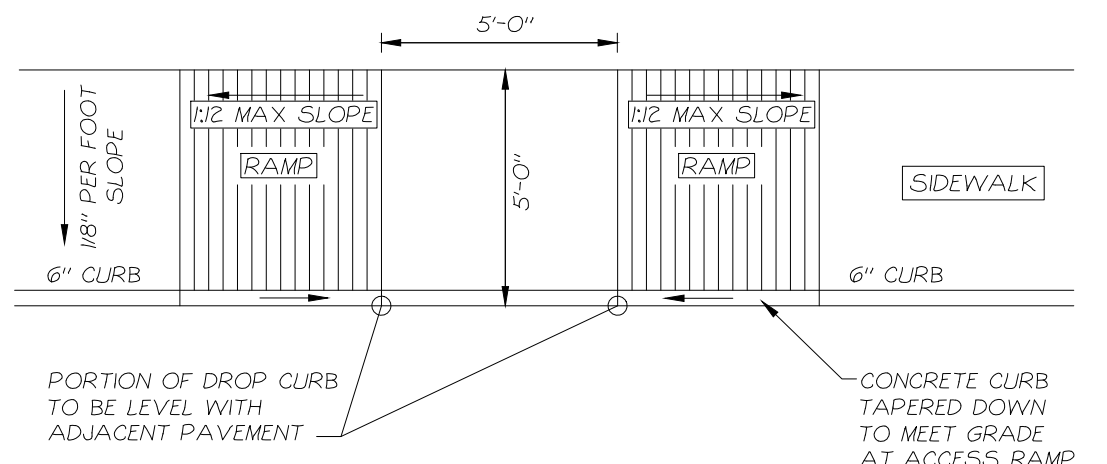


NOTES:
 1) SEE STANDARD CONCRETE PAVEMENT DETAIL FOR MATERIAL SPECIFICATIONS.
 2) SIDEWALK REINFORCEMENT SHALL CONSIST OF 6"x6" W2.9xW2.9 WELDED WIRE FABRIC.

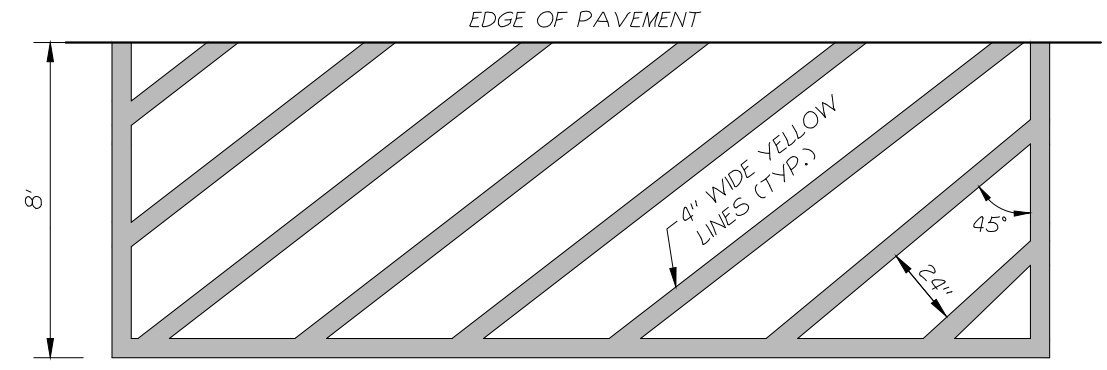
Typical Sidewalk Detail



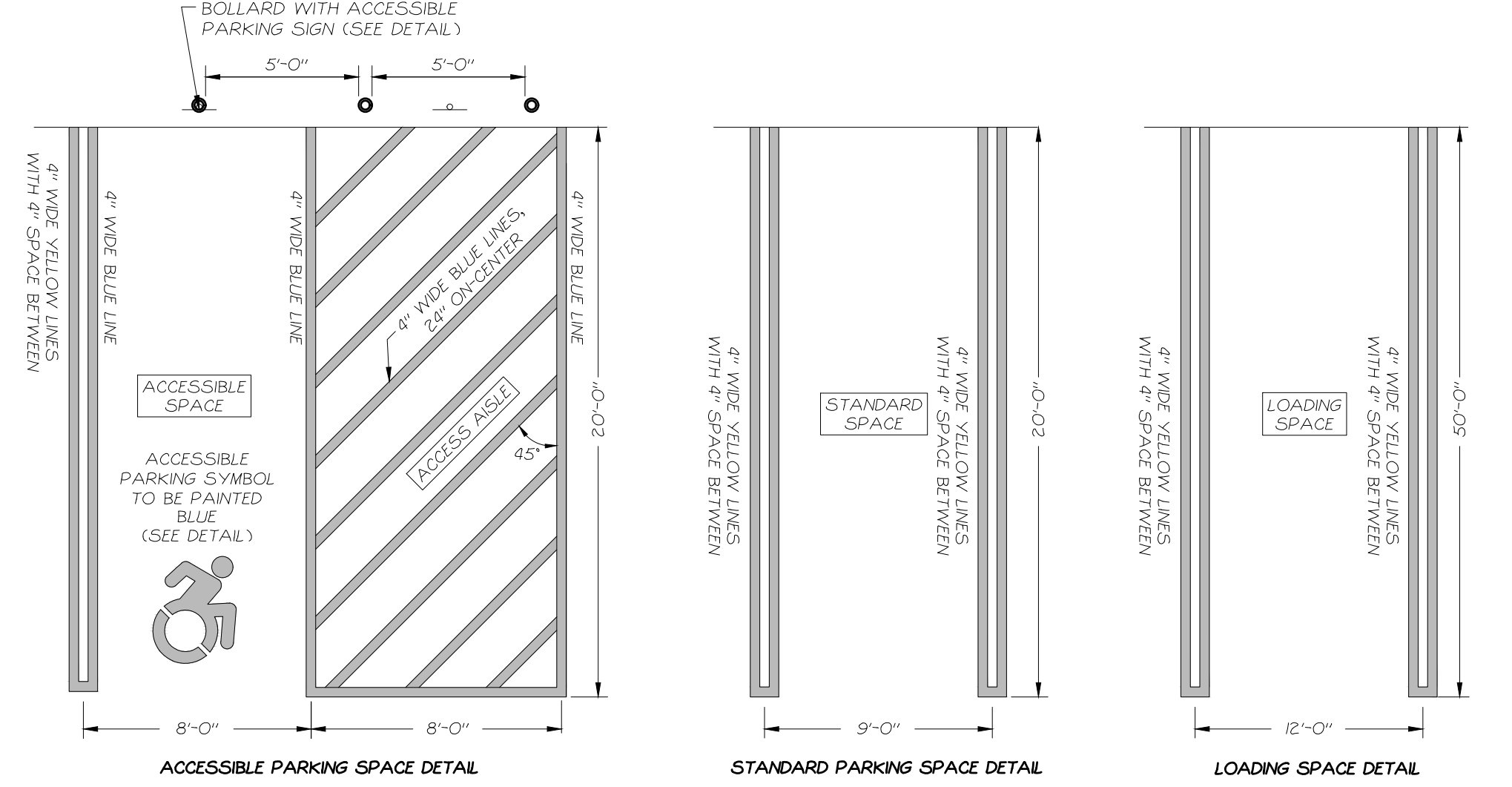
Accessible Signage Details



Typical Accessible Drop Curb Detail



Typical Fire Lane Detail



NOTES:
 1) ALL ACCESSIBLE RAMP AND ACCESS AISLES SHALL MEET ALL CURRENT CODES AND ADAAG REGULATIONS.
 2) PROPOSED ACCESS RAMP SHALL CONSIST OF COLORED TOoled/SERRATE SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE AS REQUIRED BY AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CODE REGULATIONS.
 3) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 CURBING & BOLLARDS: TWO (2) COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL, SAFETY YELLOW BSSY300
 PARKING LOT STRIPING & WHEELSTOPS: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOWTMS494
 ACCESSIBLE STRIPING & DETAIL: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, "HC" BLUE
 4) ALL CURBING LESS THAN 6" HIGH SHALL BE PAINTED IN KIND WITH THE BOLLARDS.
 5) THE MAXIMUM DESIGN SLOPE ACROSS THE ACCESSIBLE SPACES AND ACCESS AISLES SHALL BE 1.5%.

Typical Parking Space Details

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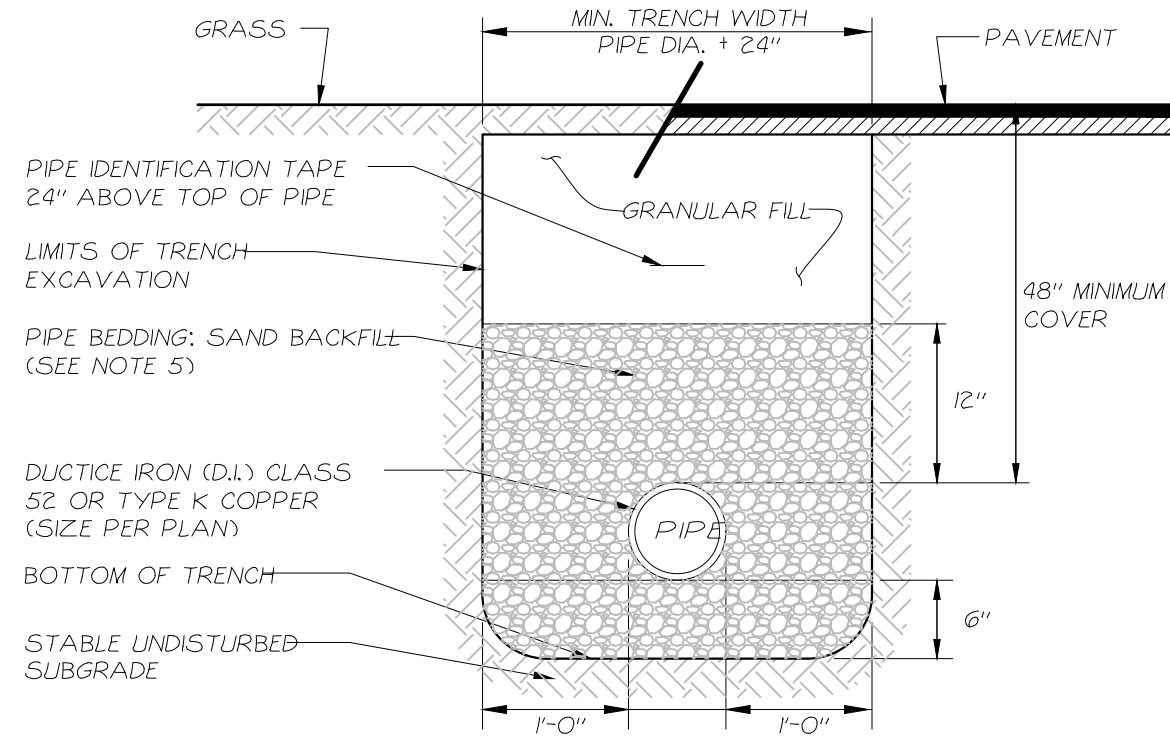
NO.	DATE	REVISION	BY
2	4-11-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP
NO.			

LAWRENCE MARSHALL PE #087107

**Construction Details
for
Dollar General**

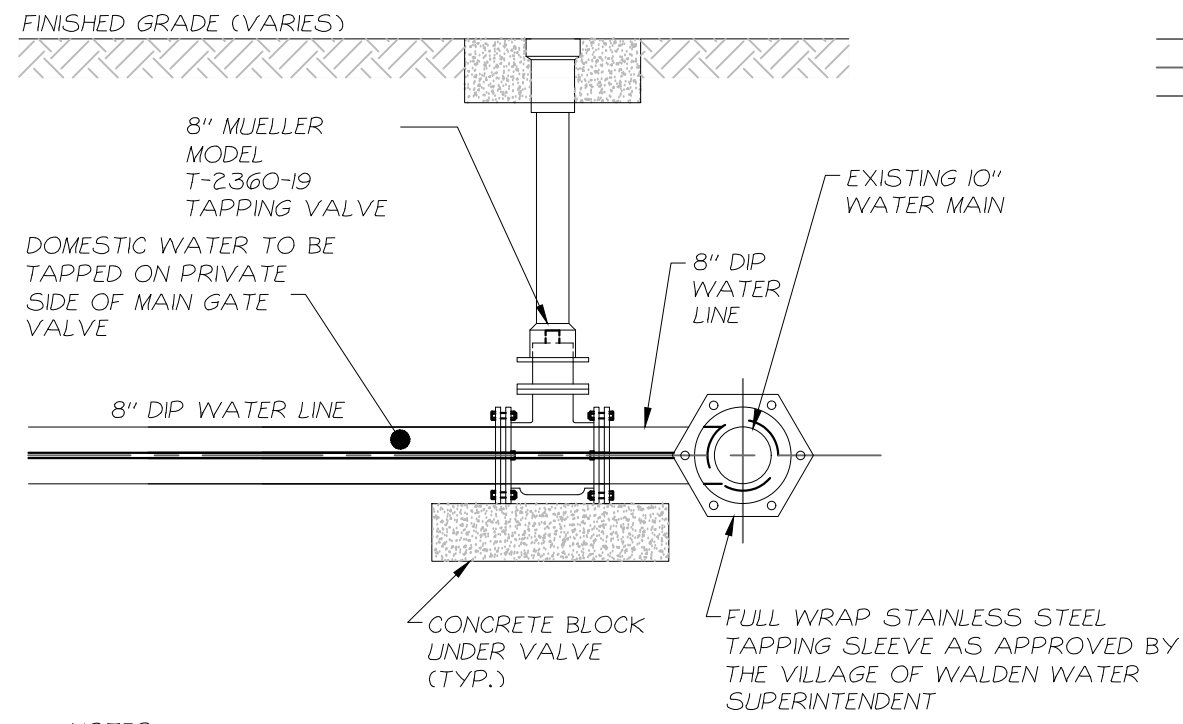
MNTM
 Mercurio-Norton-Tarolli-Marshall
 PROFESSIONAL LAND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.COM

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
 TAX MAP PARCEL: 60 - 2 - 65
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: FEBRUARY 20, 2024
 PROJECT: 4980
 SHEET: 4 / 11



- NOTES:**
- 1) PIPE INSTALLATION MUST ADHERE TO APPLICABLE AWWA C600 STANDARDS, LATEST REVISION.
 - 2) GRANULAR FILL SHALL CONSIST OF SELECT GRANULAR FILL OR SUITABLE ON-SITE EXCAVATED SOIL (LARGEST STONE SHALL BE LESS THAN 3"). GRANULAR FILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PROCTOR DENSITY.
 - 3) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE RUN-OF-BANK GRAVEL AND SHALL BE SEED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
 - 4) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 6" ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 2" ASPHALT TOP COURSE.
 - 5) PIPE BEDDING SHALL CONSIST OF SAND MEETING NYS DOT 703-06 CUSHION SAND SPECIFICATIONS AND COMPACTED TO 95% PROCTOR DENSITY IN 6" MAXIMUM LIFTS.

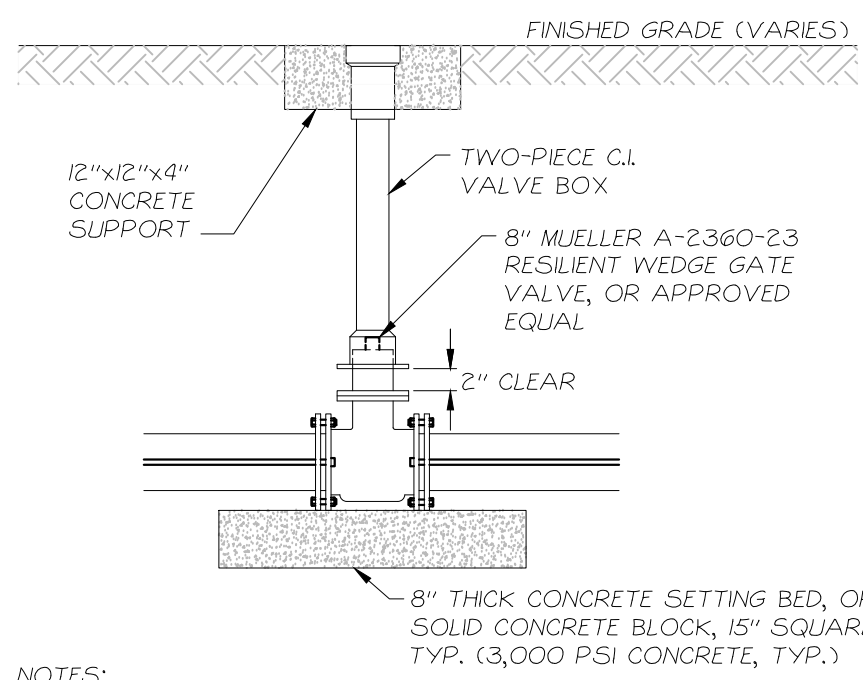
Typical Water Pipe Bedding Detail



- NOTES:**
- 1) WET TAP TO BE PERFORMED BY CONTRACTOR WITH VILLAGE OF WALDEN WATER SUPERINTENDENT AND VILLAGE ENGINEER ON SITE.
 - 2) CONTRACTOR TO CONTACT VILLAGE OF WALDEN WATER DEPARTMENT FOR ALL INSTALLATION REQUIREMENTS.
 - 3) TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (CAST IRON, DUCTILE IRON, A.C.) AND OUTSIDE DIAMETERS.
 - 4) MEGA LUGS TO BE USED ON ALL MECHANICAL JOINT FITTINGS.

Water Wet Tap Detail

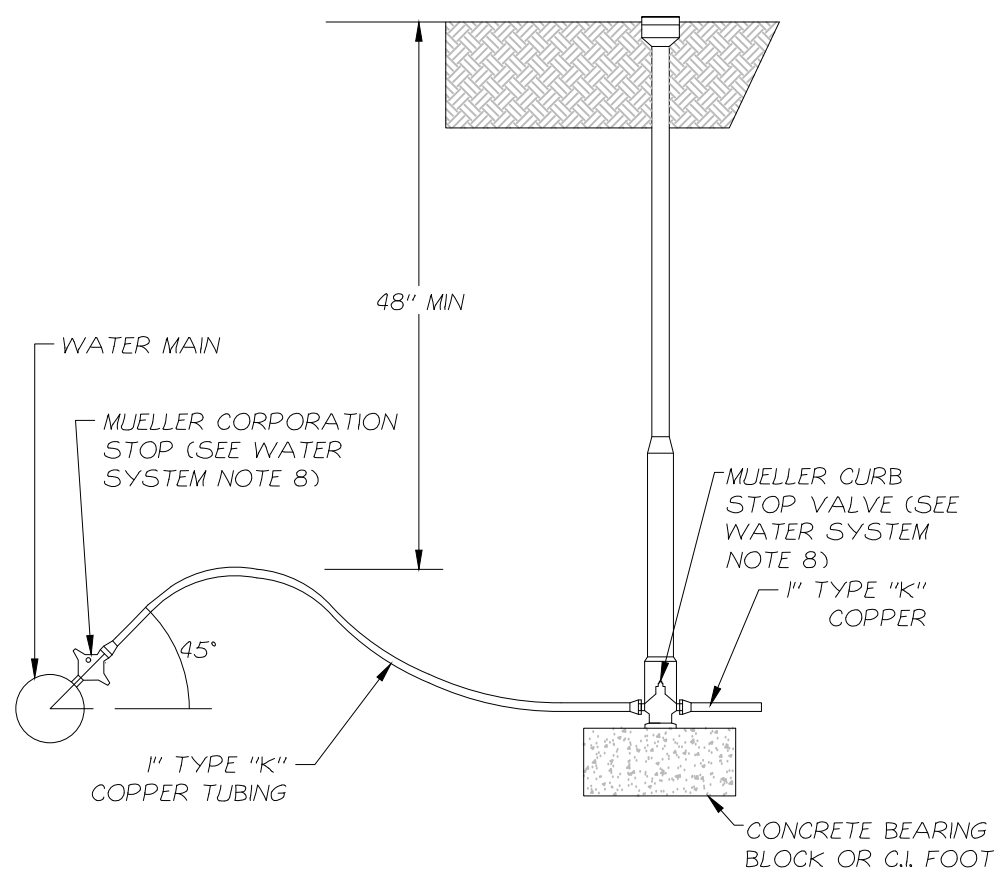
NOT TO SCALE



- NOTES:**
- 1) ALL VALVES TO INCLUDE MEGA-LUG RESTRAINER GLANDS.
 - 2) WATER MAIN VALVES FOR FOUR-INCH THROUGH FORTY-EIGHT-INCH SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).

Typical Water Valve Detail

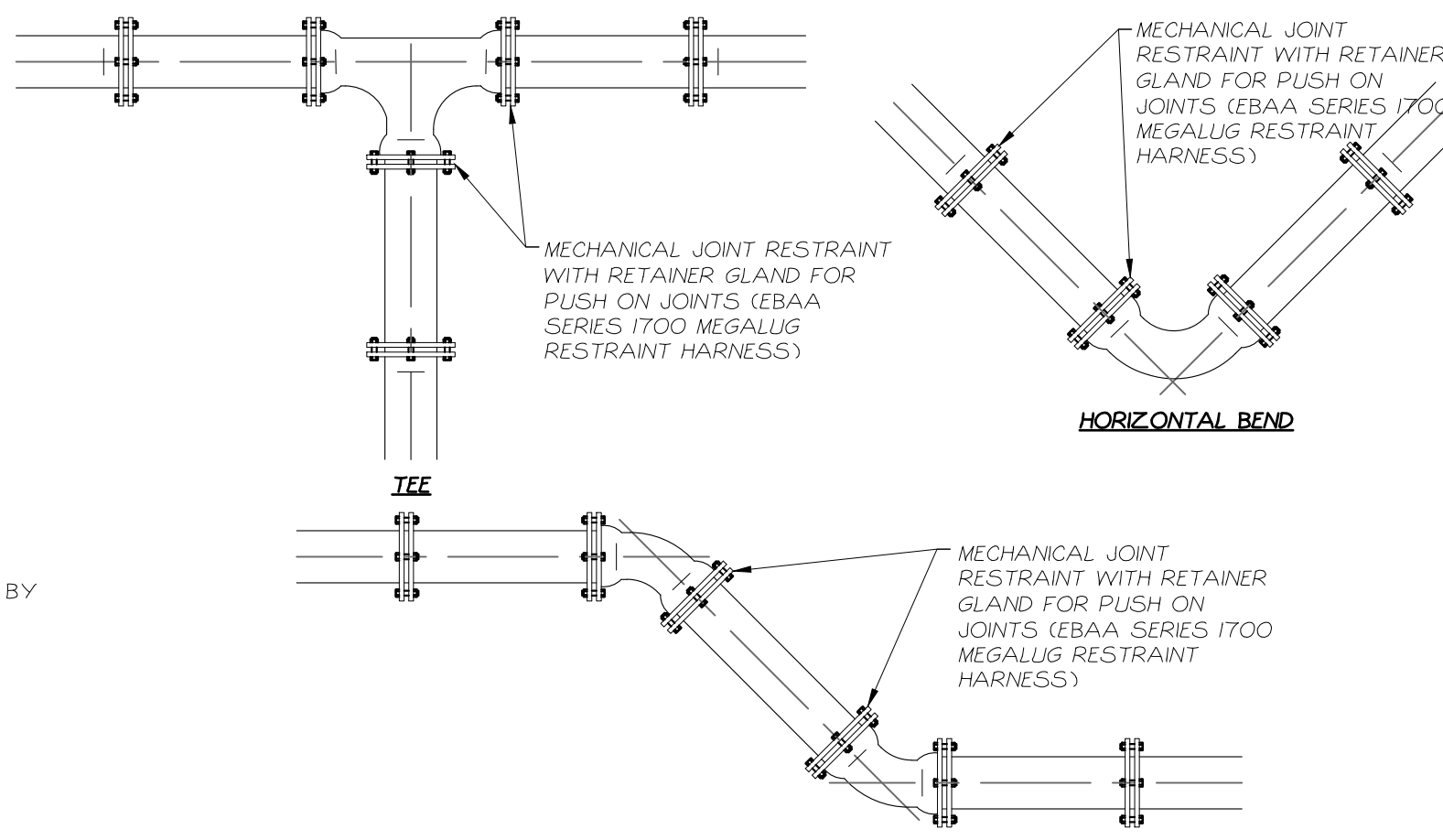
NOT TO SCALE



- NOTES:**
- 1) ALL CORPORATION STOP, CURB STOP, CURB BOX, AND SERVICE LINES SHALL MEET MUNICIPAL WATER DEPARTMENT REGULATIONS. SEE WATER SYSTEM NOTES.
 - 2) THIS DETAIL APPLIES ONLY TO THE WATER SERVICE FOR OFFICE, MODEL, AND STORAGE BUILDING.

Water Service Detail

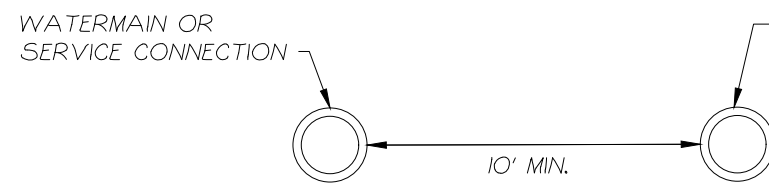
NOT TO SCALE



- NOTE:**
- 1) ALL RESTRAINING GLANDS TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY AND MUNICIPAL WATER DEPARTMENT STANDARDS.
 - 2) ALL PIPES SHALL BE STANDARD PUSH ON BELL JOINTS.

Water Main Pipe Thrust Restraint Detail

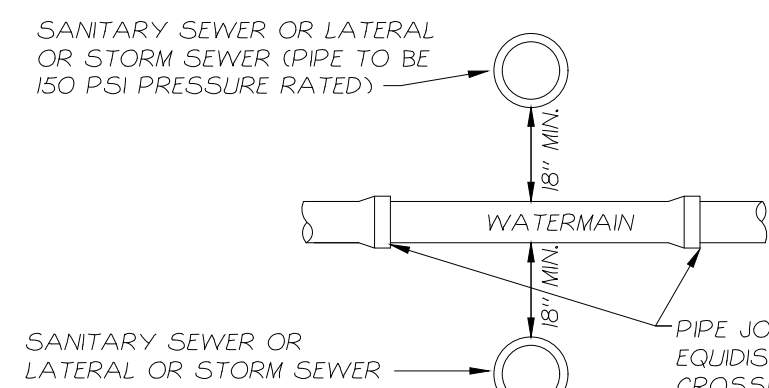
NOT TO SCALE



- NOTES:**
- 1) A MINIMUM HORIZONTAL LATERAL SEPARATION OF TEN (10) FEET IS REQUIRED.
 - 2) NO EXCEPTION WITHOUT WRITTEN PERMISSION OF COUNTY DEPARTMENT OF HEALTH.

Parallel Sanitary Sewer / Storm Sewer Water Main Installation

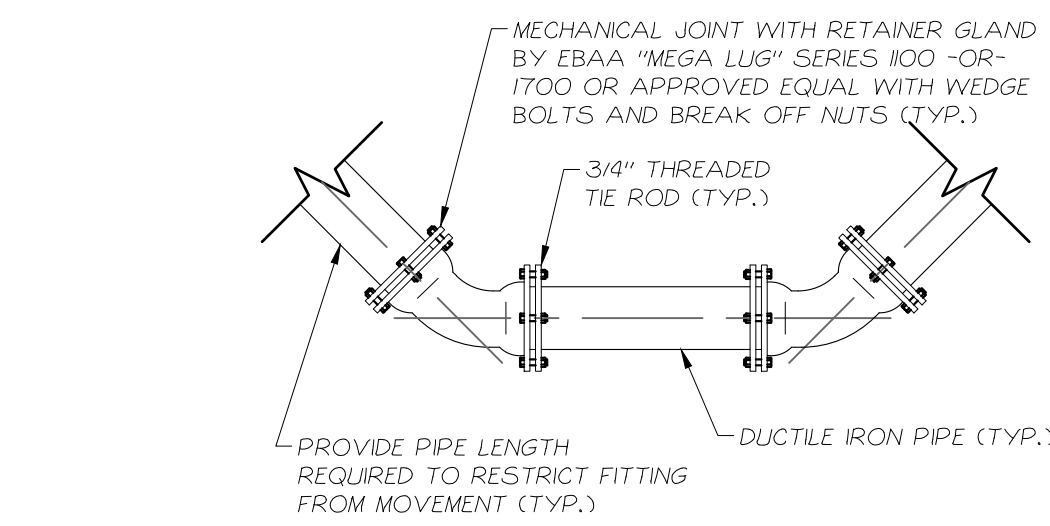
NOT TO SCALE



- NOTES:**
- 1) A MINIMUM VERTICAL LATERAL SEPARATION OF EIGHTEEN (18) INCHES IS REQUIRED.
 - 2) NO EXCEPTION WITHOUT WRITTEN PERMISSION OF COUNTY DEPARTMENT OF HEALTH.

Storm / Sanitary Sewer - Water Main Crossing

NOT TO SCALE



- NOTES:**
- 1) THRUST BLOCKING IS NOT PERMITTED.
 - 2) PIPE RESTRAINING TO BE USED FOR VERTICAL DEFLECTIONS ALSO.
 - 3) SEE TABLES A AND B FOR REQUIRED RESTRAINED LENGTH FOR DUCTILE IRON PIPE. ALL MINIMUM RESTRAINT LENGTHS BASED UPON A TESTING PRESSURE OF 100 PSI. MINIMUM LENGTHS ARE NOT VALID AT HIGHER TESTING PRESSURES.
 - 4) PIPE BEDDING SHALL BE IN ACCORDANCE WITH WATER PIPE TRENCH DETAIL.
 - 5) THE CONTRACTOR SHALL PERFORM SOIL TEST TO DETERMINE SOIL TYPE(S) INDICATED IN TABLES A AND B.

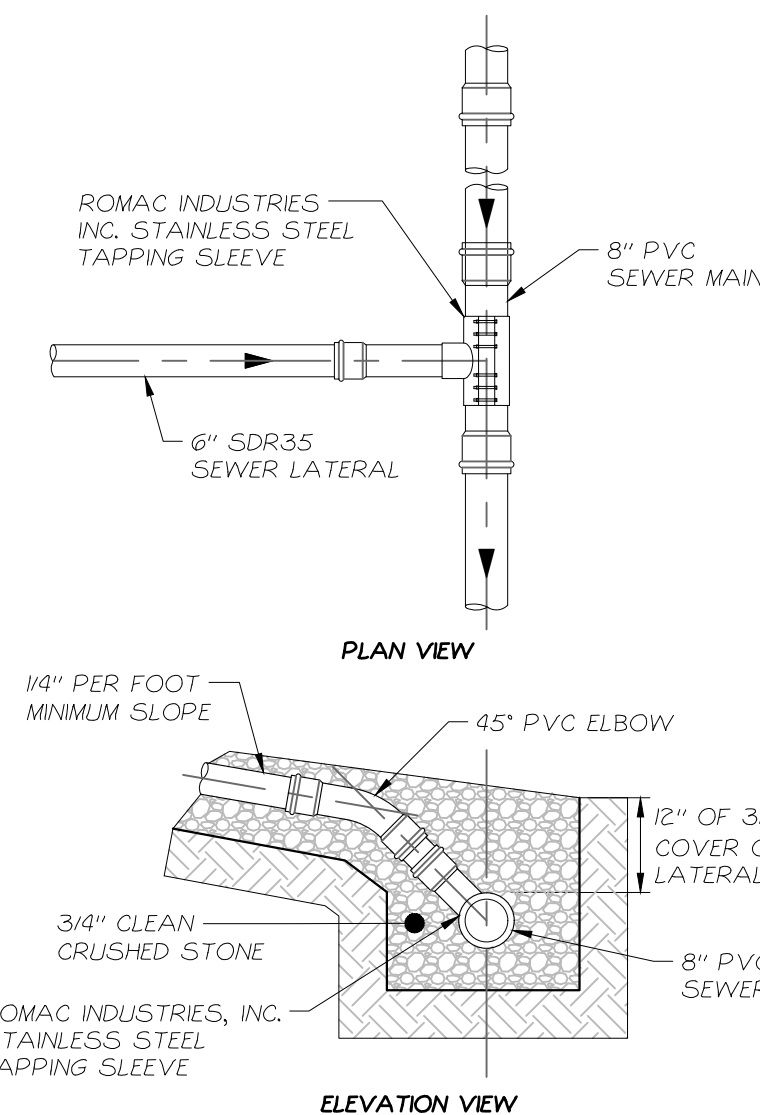
TABLE A - REQUIRED RESTRAINED LENGTH FOR 8" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)

PIPE SIZE	45 DEGREE						22.5 DEGREE						12.5 DEGREE						
	H BEND		V BEND (UP)		V BEND (DN)		H BEND		V BEND (UP)		V BEND (DN)		H BEND		V BEND (UP)		V BEND (DN)		
UNIFIED SOIL CLASSIFICATION	CL	5	5	5	5	5	3	3	3	3	3	3	3	3	3	3	3	3	3
	ML	6	6	6	6	6	3	3	3	3	3	3	3	3	3	3	3	3	3
	GC, SC	5	5	5	5	5	2	2	2	2	2	2	2	2	2	2	2	2	2
	GM, SM	5	5	5	5	5	2	2	2	2	2	2	2	2	2	2	2	2	2
	SW, GW	4	4	4	4	4	2	2	2	2	2	2	2	2	2	2	2	2	2
SP	5	5	5	5	5	3	3	3	3	3	3	3	3	3	3	3	3	3	3

TABLE B - REQUIRED RESTRAINED LENGTH FOR 6" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)

PIPE SIZE	45 DEGREE			22.5 DEGREE			12.5 DEGREE			TEE (6X4)		DEAD END	
	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	H BEND	V BEND (UP)	V BEND (DN)	TEE (6X4)	DEAD END		
UNIFIED SOIL CLASSIFICATION	CL	4	4	4	2	2	2	4	1	1	2	1	1
	ML	4	4	4	2	2	2	5	1	1	3	1	2
	GC, SC	3	3	3	2	2	2	4	1	1	2	1	1
	GM, SM	4	4	4	2	2	2	4	1	1	2	1	1
	SW, GW	3	3	3	2	2	2	3	1	1	2	1	1
SP	4	4	4	2	2	2	4	1	1	2	1	1	

Water Main Pipe Restraint Tables



- NOTES:**
- 1) FIELD LOCATION AND ALIGNMENT OF NEW SADDLE TO BE APPROVED BY THE TOWN OF NEWBURGH WATER/SEWER SUPERINTENDENT PRIOR TO INSTALLATION.
 - 2) NEW STAINLESS STEEL TAPPING SLEEVE ON EXISTING SANITARY SEWER MAIN IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, TOWN OF NEWBURGH CODE, AND TEN STATE STANDARDS.

Sanitary Sewer Lateral Tap Detail

Water System Notes:

- 1) CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH, ORANGE COUNTY DEPARTMENT OF HEALTH, AND TOWN OF NEWBURGH.
- 2) ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSIAWWA C518/519 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- 3) THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE, EXCEPT AS SHOWN FOR THE HYDRANT INSTALLATIONS. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. JOINT RESTRAINTS SHALL BE EBAA IRON MEGALUG SERIES 100 FOR FLANGED FITTINGS AND EBAA IRON MEGALUG SERIES 1700 RESTRAINT HARNESSES FOR PIPES WITH PUSH ON JOINTS. MAKE AND MODEL MAY BE SUBSTITUTED WITH AN APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE MUNICIPAL WATER DEPARTMENT.
- 4) ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSIAWWA C1042/1043 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSIAWWA C53/A2L53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- 5) ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- 6) TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-815 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE MUNICIPAL WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- 7) HYDRANTS SHALL BE DRY-BARREL HYDRANTS, TYPE MUELLER SUPER CENTURION, IN ACCORDANCE WITH ANSIAWWA C502. HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF FIVE INCHES NOMINAL, ONE (1) FIVE-INCH STORZ DISCHARGE, TWO (2) TWO-AND-A-HALF-INCH NST HOSE NOZZLES, A ONE-AND-ONE-HALF-INCH PENTAGON OPERATING NUT AND A SIX-INCH MECHANICAL JOINT INLET SHOW CONNECTION WITH ACCESSORIES. THE HYDRANT DIRECTION OF OPENING SHALL BE LEFT (COUNTERCLOCKWISE).
- 8) ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-5030N FOR 3/4 AND 1 INCH MUELLER H-5030N OR B-2520M FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-502-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520M FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-0381N FOR 3/4 AND 1 INCH AND MUELLER H-0301N FOR 1 1/2 AND 2 INCH SIZES.
- 9) ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE MUNICIPAL WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE LOCAL MUNICIPALITIES AND THE MUNICIPAL WATER DEPARTMENT. ALL DUCTILE IRON PIPES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA STANDARD C600-17 OR LATEST REVISION.
- 10) THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH TOWN OF NEWBURGH, ORANGE COUNTY DEPARTMENT OF HEALTH, NEW YORK STATE DEPARTMENT OF HEALTH REQUIREMENTS AND AWWA STANDARD C65-H1 OR LATEST REVISION REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY.
- 11) A BACKFLOW PREVENTION DEVICE (BPD) IS REQUIRED TO BE DESIGNED AND INSTALLED ON THE DOMESTIC WATER SUPPLY LINE AS PART OF THE BUILDING PLUMBING PLANS. A DOUBLE CHECK VALVE SHALL BE DESIGNED AND INSTALLED ON THE FIRE SUPPRESSION LINE AS PART OF THE BUILDING PLUMBING PLANS. THE BACKFLOW PREVENTION DEVICE AND DOUBLE CHECK VALVE SHALL BE REVIEWED AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.
- 12) THE FINAL LAYOUT OF THE PROPOSED WATER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF THE SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

Sewer Design Calculations:

1) THE DESIGN FLOW RATE FOR THE PROPOSED USES WAS DETERMINED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

ASSUME 10 EMPLOYEES
15 GPD PER EMPLOYEE * 10 EMPLOYEES = 150 GPD

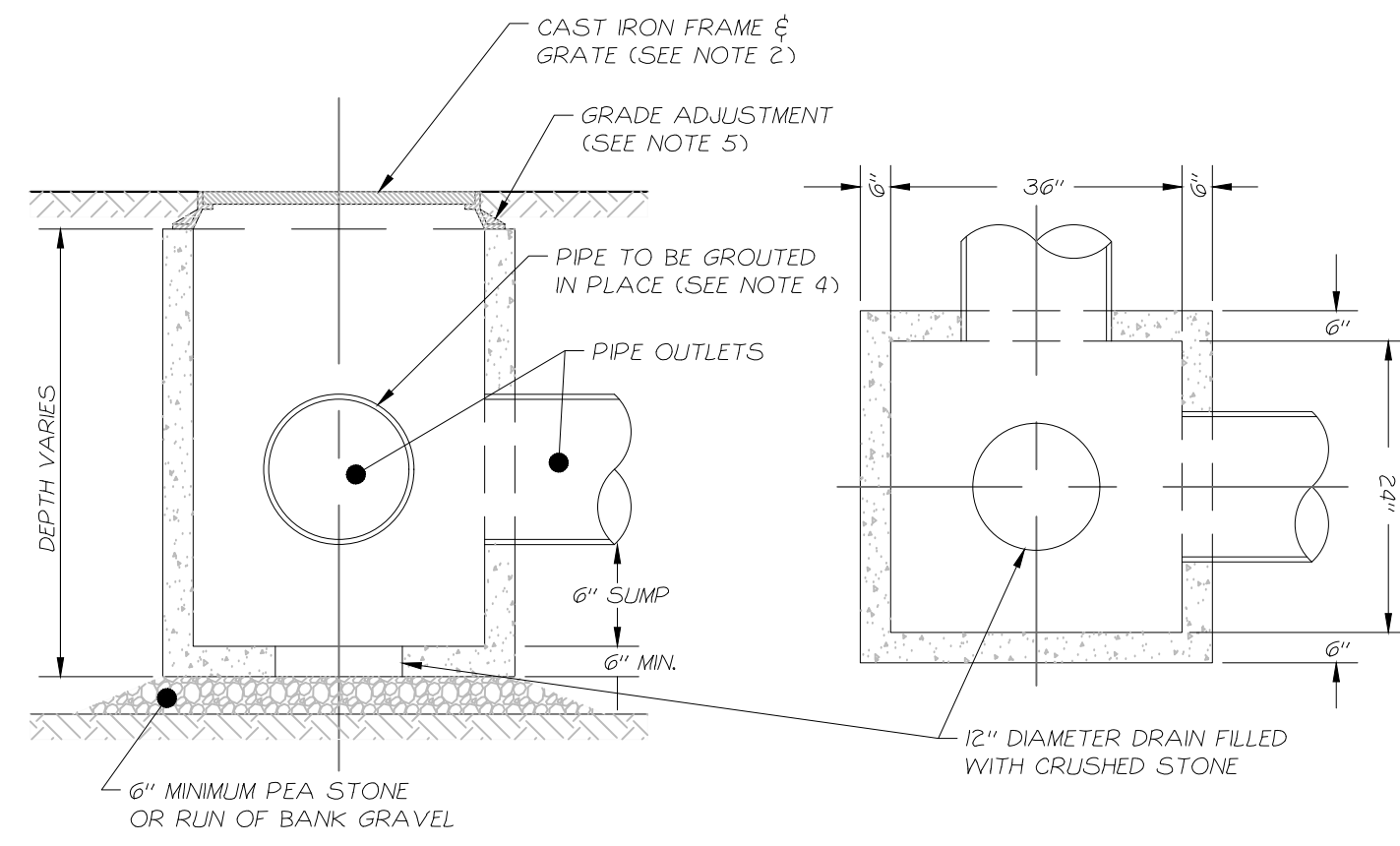
DESIGN FLOW = 150 GPD

Town of Newburgh Sewer System Notes:

- 1) CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- 2) ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- 3) ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3012. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- 4) THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- 5) THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

<p>"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."</p> <p>"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."</p> <p>"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."</p>										<p>THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.</p> <p>TAX MAP PARCEL: 60 - 2 - 65</p> <p>TOWN OF NEWBURGH</p> <p>COUNTY OF ORANGE</p> <p>STATE OF NEW YORK</p> <p>DRAFTED BY: ZAP</p> <p>DATE: FEBRUARY 20, 2024</p> <p>PROJECT: 4980</p> <p>SHEET: 5 / 11</p>		
2	4-1-24	SITE PLAN REVISIONS	LJM	1	2-26-24	DETAILED SITE PLAN	ZAP	LAWRENCE MARSHALL PE #087107				<p>Water & Sewer Connection Details</p> <p>for</p> <p>Dollar General</p> <p>MNTM</p> <p>Mercurio-Norton-Tarolli-Marshall</p> <p>PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566</p> <p>P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO</p>
NO.	DATE	REVISION	BY									

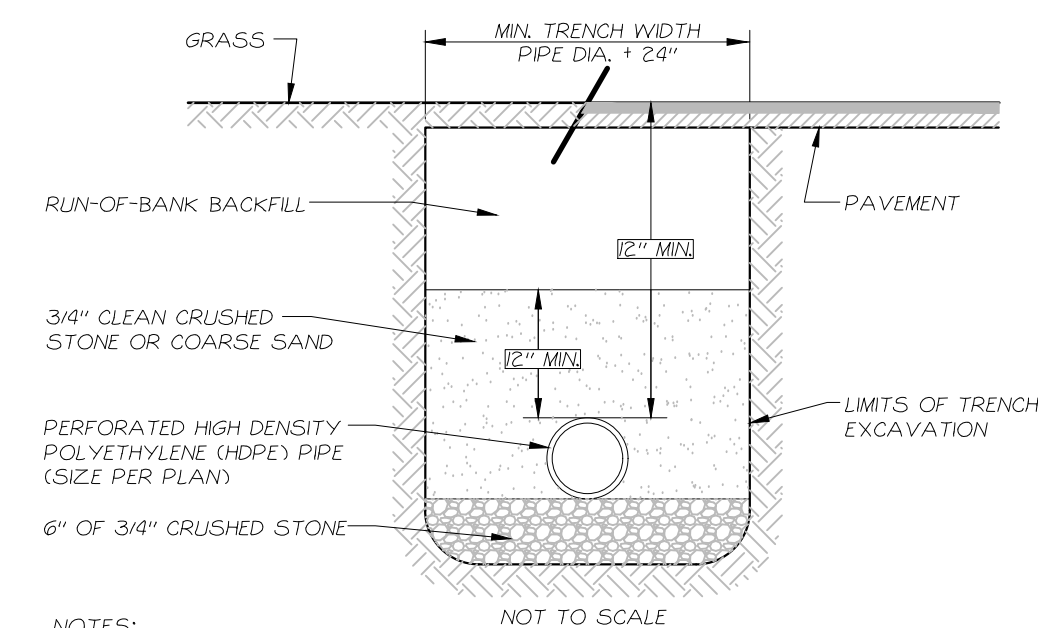




- NOTES:**
- CATCH BASINS SHALL BE PRECAST CONCRETE CATCH BASIN MODEL 24"x36", OR APPROVED EQUAL, AS MANUFACTURED BY:
 - A & R CONCRETE PRODUCTS
 - 7 RUSCOTT ROAD
 - NEW WINDSOR, NEW YORK 12533
 - (845) 562-0640
 - WWW.ARCONCRETE.COM
 - CATCH BASINS SHALL BE EQUIPPED WITH A FLAT TOP FRAME AND GRATE, MODEL GRATE-30x48. GRATES SHALL BE BICYCLE GRATES, FRAMES AND GRATES.
 - STEPS SHALL BE PROVIDED 12" ON CENTER WHEN DEPTH OF BASIN EXCEEDS 4'-0".
 - CONNECTIONS BETWEEN BASIN AND PIPE SHALL BE MADE BY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL.
 - GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 2.5" SHALL BE MADE WITH BEDDING MATERIAL MEETING THE REQUIREMENTS OF MORTAR FOR CONCRETE MASONRY, CONCRETE GROUTING MATERIALS OR CONCRETE REPAIR MATERIAL. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 6" SHALL BE MADE WITH COMBINATION OF PRECAST CONCRETE PAVERS AND BEDDING MATERIALS. GRADE ADJUSTMENT FOR TOP SLABS AND/OR FRAMES AND GRATES OF UP TO 12" SHALL BE MADE WITH CAST-IN-PLACE CONCRETE OR A COMBINATION OF PRECAST CONCRETE ADJUSTMENT ELEMENTS AND BEDDING MATERIALS.
 - ALL CATCH BASINS SHALL BE CONSTRUCTED TO WITHSTAND A MINIMUM OF H-20 LOADING.

Typical Catch Basin Detail

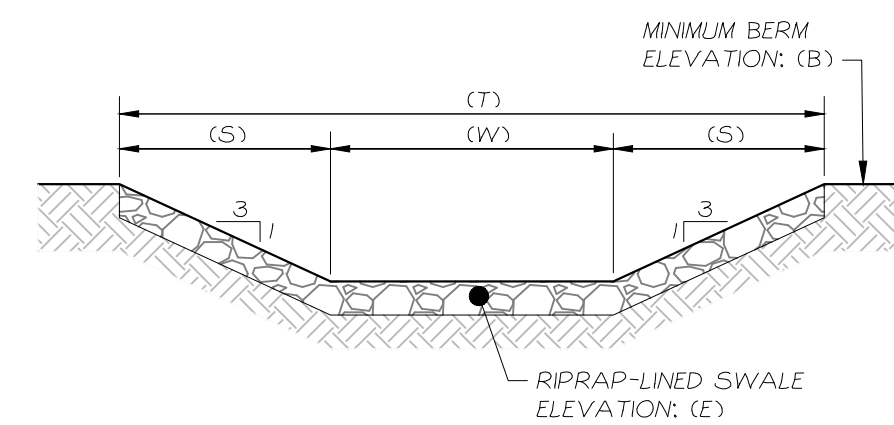
NOT TO SCALE



- NOTES:**
- RUN-OF-BANK BACKFILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PROCTOR DENSITY. RUN OF BANK GRAVEL SHALL NOT CONTAIN STONES LARGER THAN 4".
 - IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE RUN-OF-BANK GRAVEL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
 - IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 4" ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 1/2" ASPHALT TOP COURSE.

Typical Storm Sewer Trench Detail

NOT TO SCALE

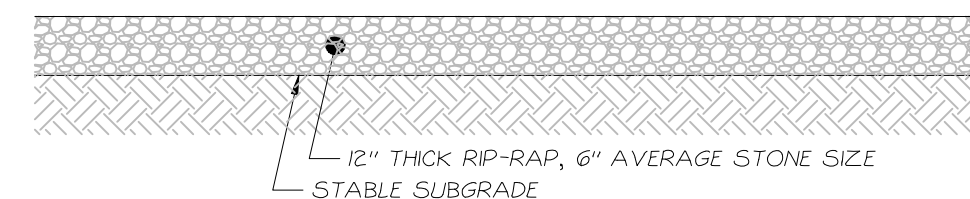


- NOTES:**
- THE SWALE SHALL BE SLOPED WITH 10% MINIMUM SLOPE TO THE OUTLET.
 - THE SWALE SHALL BE STABILIZED WITH RIPRAP IMMEDIATELY UPON COMPLETION. ANY DISTURBED AREAS ADJACENT TO THE SWALE SHALL ALSO BE STABILIZED WITH 3" MINIMUM TOPSOIL, SEEDED & MULCHED IMMEDIATELY FOLLOWING COMPLETION.
 - INDIVIDUAL RIPRAP SWALE SPECIFICATIONS ARE INCLUDED IN THE TABLE BELOW:

SWALE ID	(W)	(F)	(S)	(T)	(B)
SW-1	6'	378.55	3'	13.5'	379.80

Typical Riprap Swale Detail

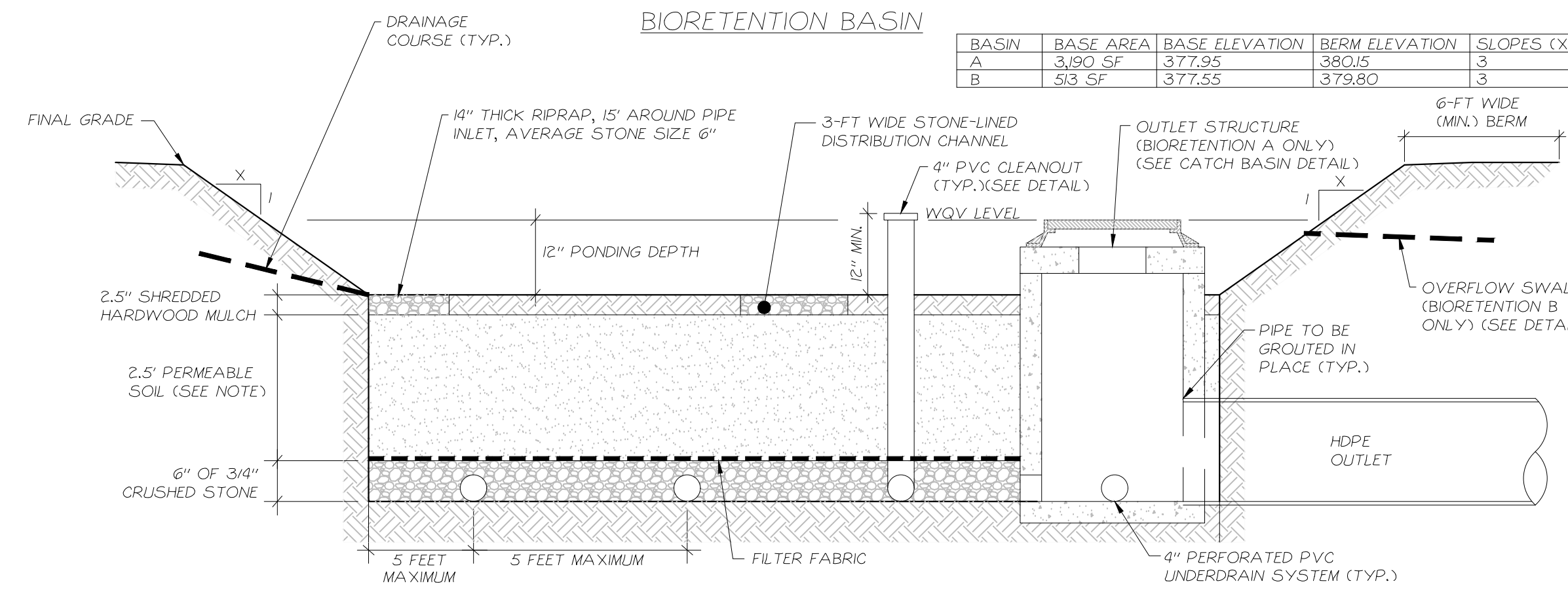
NOT TO SCALE



- NOTES:**
- RIPRAP PROTECTION AT CULVERT INLETS, OUTLETS, & SPECIFIED AREAS AS SHOWN ON THE SITE PLAN SHALL CONFORM TO THE SECTION SPECIFICATIONS NOTED ABOVE, UNLESS OTHER SPECIFIED.

Riprap Protection Section

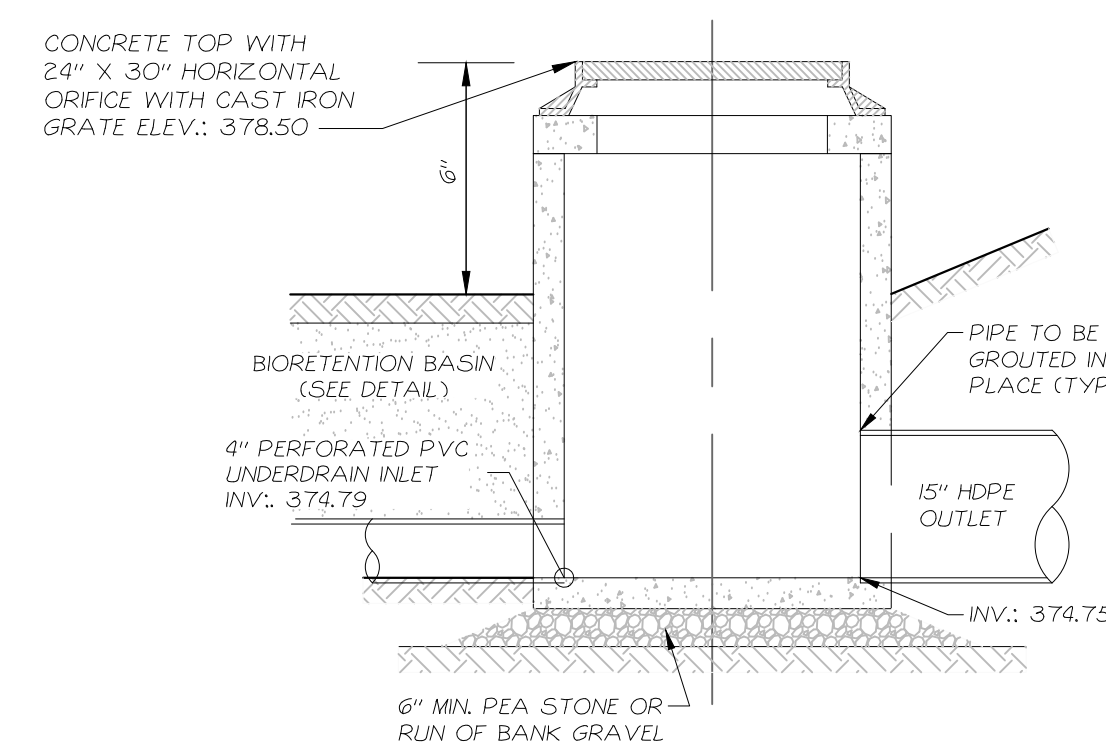
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- NOTES:**
- A MINIMUM 2.5 INCHES OF WELL-AGED SHREDDED HARDWOOD MULCH SHALL COVER THE SURFACE OF THE BASIN AND SURROUND THE PLANTINGS WITHIN PLANTINGS SHALL BE INSTALLED AS PER THE LANDSCAPING SCHEDULE.
 - FINAL CONSTRUCTION OF THE BIORETENTION BASIN INCLUDING INSTALLATION OF UNDERDRAIN & PERMEABLE SOIL, SHALL NOT OCCUR UNTIL ALL TRIBUTARY AREAS HAVE BEEN STABILIZED.

Bioretention Area Detail

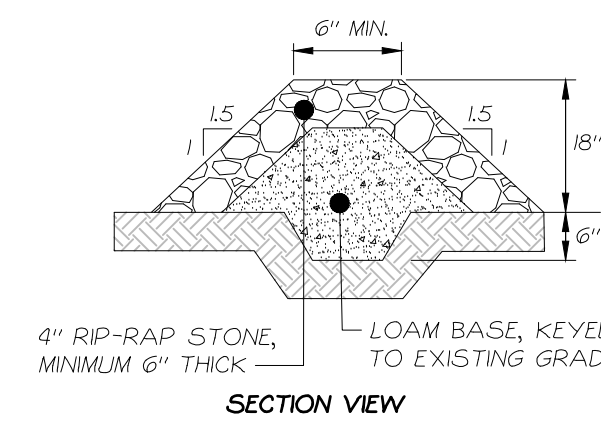
NOT TO SCALE



- NOTES:**
- OUTLET STRUCTURE "05-1" SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS NOTED IN THE TYPICAL CATCH BASIN DETAIL INCLUDED IN THE SITE PLAN SET.

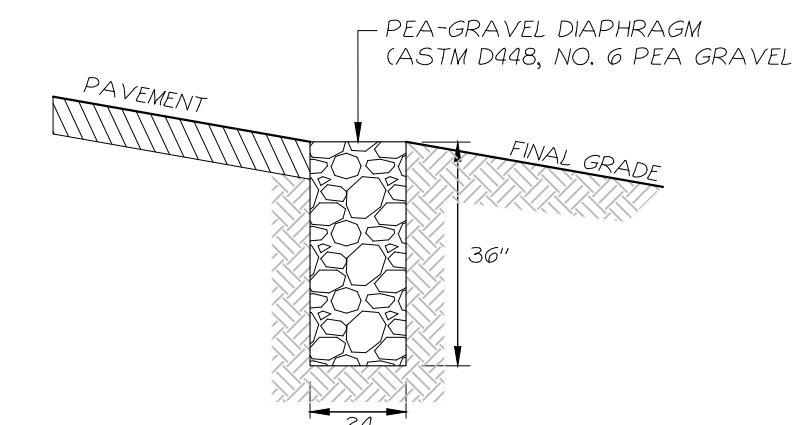
Outlet Structure 1 Detail

NOT TO SCALE



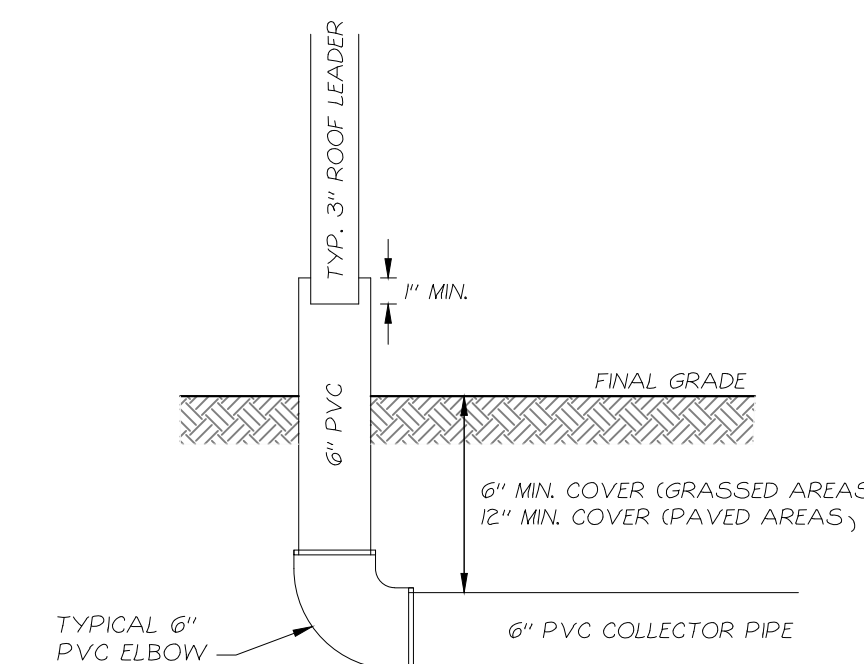
Permanent Riprap Check Dam Detail

NOT TO SCALE



Pea-Gravel Diaphragm Detail

NOT TO SCALE



Typical Roof Drain Detail

NOT TO SCALE

Stormwater Landscaping Notes

BIORETENTION BASINS AND DRY SWALES SHALL BE PLANTED WITH REDTOP (AGROSTIS ALBA).
 REDTOP SHALL BE PLANTED VIA SEEDING AT A DEPTH OF 0-1/4 INCH INTO A SMOOTH, FIRM, WELL-DRAINED, WEED FREE SEED BED. SEEDING SHALL BE COMPLETED AT A MINIMUM RATE OF 1 LB PER 1,000 SQUARE FEET.

Stormwater Facility Maintenance Requirements

THE OWNER / OPERATOR WILL BE RESPONSIBLE FOR ENSURING LONG TERM MAINTENANCE OF THE CONSTRUCTED WATER QUALITY AND QUANTITY CONTROL DEVICES. MAINTENANCE OF THE DEVICES IS REQUIRED TO ENSURE PROPER TREATMENT OF STORMWATER RUNOFF AND INCLUDES THE FOLLOWING:

BIORETENTION BASIN: BIORETENTION BASINS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER FUNCTION. PARTICULAR ATTENTION SHALL BE GIVEN TO THE CLOGGING OF OUTLET DEVICES, EVIDENCE OF EROSION, AND ACCUMULATION OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM THE BIORETENTION BASIN WHEN MORE THAN ONE (1) INCH HAS ACCUMULATED, OR DRAWDOWN EXCEEDS 36-HOURS. ANY DEBRIS LOCATED WITHIN THE BASIN SHALL BE REMOVED DURING MOWING OPERATIONS. VEGETATION SHALL BE LIMITED TO A HEIGHT OF 18 INCHES ON THE BERM. DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED. THE BASIN SHALL BE RE-MULCHED ANNUALLY. ANY SCOURING OR EROSION OF PREVIOUSLY STABILIZED AREAS SHALL BE REPAIRED ON AN ANNUAL BASIS. REHABILITATE OR REPLACE THE TOP SIX (6) INCHES, MINIMUM, OF PERMEABLE SOIL MEDIA WHEN WATER PONDS ON THE SURFACE OF THE BASIN FOR MORE THAN 48-HOURS.

OUTLET STRUCTURE: OUTLET STRUCTURES SHALL BE INSPECTED REGULARLY TO ENSURE THE DEVICES ARE PROPERLY FUNCTIONING. ANY AND ALL DEBRIS LOCATED WITHIN THE BASINS SHALL BE REMOVED DURING INSPECTION. SPECIAL ATTENTION SHOULD BE GIVEN TO THE OUTLET PIPE TO ENSURE PROPER DISCHARGE.

ROCK OUTLET PROTECTION: ROCK OUTLET PROTECTION AREAS SHALL BE INSPECTED REGULARLY FOR EVIDENCE OF EROSION OR SEDIMENT TRANSFER. ANY AND ALL DEBRIS SHALL BE REMOVED DURING THE COURSE OF THE INSPECTION. THE ROCK PAD SHALL BE CLEANED AND REPAIRED OR REPLACED WHENEVER MORE THAN ONE (1) INCH OF SEDIMENT HAS ACCUMULATED ON THE SURFACE OF THE STONE. ACCUMULATED SEDIMENT AT THE OUTLET IS INDICATIVE OF SCOURING OR EROSION OCCURRING UPSLOPE. IF SEDIMENT ACCUMULATION IS EVIDENT AT THE ROCK OUTLET PROTECTION, A THOROUGH INSPECTION OF THE UPSLOPE DRAINAGE SYSTEM SHOULD BE COMPLETED TO DETERMINE THE CAUSE.

SOIL RESTORATION: VEGETATED AREAS SHALL BE INSPECTED PERIODICALLY. BARE OR BROOD AREAS SHALL BE REPAIRED AND RESEDED TO ESTABLISH A STABILIZED COVER. VEGETATED AREAS SHALL BE KEPT CLEAR OF VEHICULAR AND FOOT TRAFFIC.

Permeable Soil Notes

1.) PLANTING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM, OR A LOAM/SAND MIX (CONTAINING 35-60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHALL BE LESS THAN 25% BY VOLUME. SOILS SHALL FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 10 FEET PER DAY (0.5"/HR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHALL BE IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (STAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).

2.) THE SOIL SPECIFICATIONS ARE AS FOLLOWS:

PARAMETER	VALUE
PH RANGE	5.2 TO 7.0
ORGANIC MATTER	3.0 TO 5.0%
MAGNESIUM	35 LBS. PER ACRE, MIN.
PHOSPHORUS	75 LBS. PER ACRE, MIN.
POTASSIUM	85 LBS. PER ACRE, MIN.
SOLUBLE SALTS	500 PPM
CLAY	0 TO 10%
SILT	10 TO 20%
SAND	75% MINIMUM

3.) A MINIMUM OF 2.5" OF MULCH SHALL BE APPLIED ON THE INTERIOR OF THE BASIN. MULCH SHALL ALSO BE APPLIED AROUND INDIVIDUAL PLANTINGS WITHIN THE BASIN. THE MULCH LAYER SHALL BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE, SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHALL BE WELL AGED (STOCKPILE OR STORED FOR AT LEAST TWELVE (12) MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, STONES, ROOTS, ETC.

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NO.	DATE	REVISION	BY
2	4-1-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP

LAWRENCE MARSHALL PE #087107

Stormwater Details for Dollar General



PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
 TAX MAP PARCEL: 60 - 2 - 65
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: FEBRUARY 20, 2024
 PROJECT: 4980
 SHEET: 6 / 11

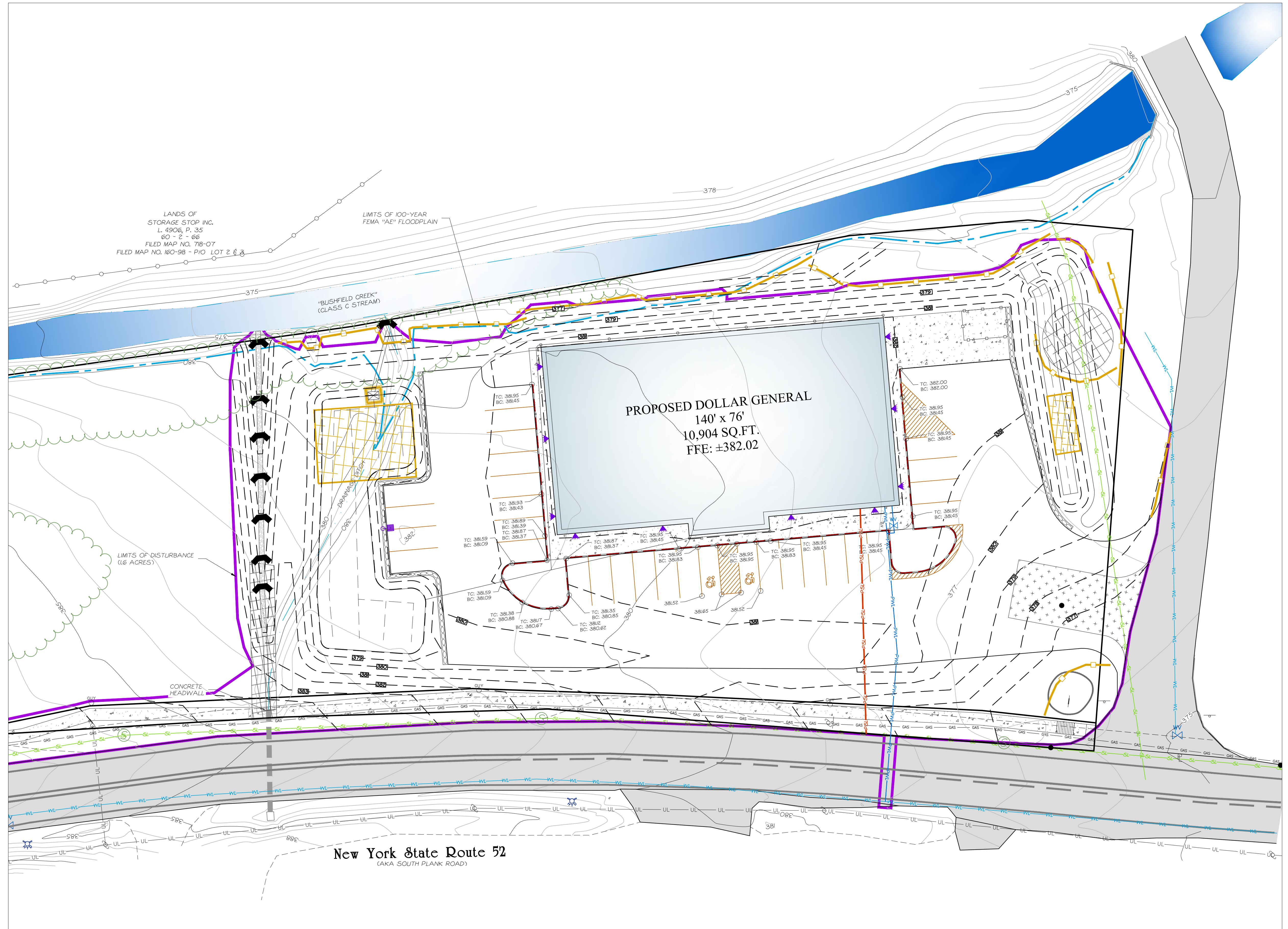
Construction Sequence:

THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. DURING THE COURSE OF CONSTRUCTION, IT MAY BECOME NECESSARY TO AMEND, ALTER, OR OTHERWISE CHANGE THE ORDER OF WORK TO ACCOMMODATE EXISTING SITE CONDITIONS OR SPECIFIC ISSUES THAT DEVELOP. ANY ALTERATION TO THE SEQUENCE OF CONSTRUCTION SHALL BE REVIEWED AND APPROVED BY THE SWPPP PREPARER OR DESIGN ENGINEER AND APPROPRIATE CHANGES SHALL BE MADE AND IMPLEMENTED IN THE FIELD. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

- HOLD A PRE-CONSTRUCTION MEETING WITH THE SITE CONTRACTORS, DESIGN ENGINEER, AND, AS NECESSARY, PERMITTING AUTHORITIES TO REVIEW THE PROPOSED SITE WORK AND CONSTRUCTION SEQUENCE. IDENTIFY THE TRAINED CONTRACTORS' AND QUALIFIED INSPECTOR RESPONSIBLE FOR THE SWPPP INSPECTIONS.
- INSTALL THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ASSOCIATED WITH THE PROPOSED PHASE 1 DISTURBANCE (STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE).
- EXCAVATE THE TEMPORARY SEDIMENT TRAPS ASSOCIATED WITH THE CURRENT DISTURBANCE AND IMMEDIATELY STABILIZE. DIRECT ALL RUNOFF FROM DISTURBED AREAS TO THE SEDIMENT TRAP DURING CONSTRUCTION, UTILIZING TEMPORARY DIVERSION SWALES WITH CHECK DAMS WHERE NECESSARY.
- COMPLETE SITE CLEARING AND ROUGH GRADING ASSOCIATED WITH THE PROPOSED DISTURBANCE. STOCKPILE TOPSOIL AND SUBSOIL FOR FINAL GRADING AND STABILIZATION. INSTALL SILT FENCING AROUND STOCKPILES AND TEMPORARILY STABILIZE. DO NOT COMPLETE FINAL INSTALLATION OF STORMWATER FACILITIES AT THIS TIME.
- INSTALL CATCH BASINS AND STORM DRAINAGE FOR THE PROPOSED DISTURBANCE. INSTALL FABRIC DROP INLET PROTECTION AT EACH CATCH BASIN.
- INSTALL GRAVEL SUBBASE ALONG ACCESS DRIVE AND PARKING AREAS.
- PERFORM SOIL RESTORATION IN THE AREAS OF DISTURBANCE. ALL NON-IMPERVIOUS DISTURBED AREAS SHALL BE ADEQUATELY STABILIZED WITH SOD, TOPSOIL, SEED, & HAY, OR LANDSCAPING MULCH.
- BEGIN CONSTRUCTION OF PROPOSED BUILDING AND ASSOCIATED UTILITIES.
- INSTALL BASE COURSE PAVEMENT ALONG ACCESS DRIVE AND PARKING AREAS.
- AFTER ALL DISTURBED AREAS ARE STABILIZED, ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (SILT FENCE, CHECK DAMS) SHALL BE REMOVED.
- ONCE ALL TRIBUTARY AREAS HAVE BEEN STABILIZED CONSTRUCT THE PROPOSED STORMWATER FACILITIES IN ACCORDANCE WITH PLAN SPECIFICATIONS.
- INSTALL TOP COURSE PAVEMENT ALONG ACCESS DRIVE AND PARKING AREAS.
- SUPPLEMENT, REPAIR, AND RE-STABILIZE ALL DISTURBED AREAS AS NECESSARY TO ACHIEVE FINAL STABILIZATION AS DEFINED BY NYSDEC.
- WHEN ALL DISTURBED AREAS REACH FINAL STABILIZATION (AS DEFINED IN GP 0-20-00), THE NOTICE OF TERMINATION (NOT) MAY BE FILED IN ACCORDANCE WITH PERMIT SPECIFICATIONS.

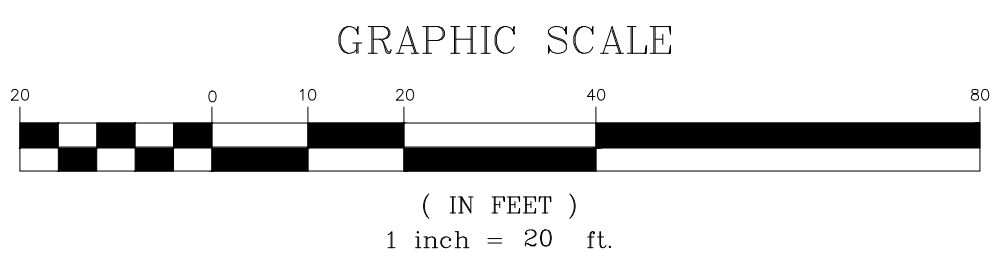
Erosion & Sediment Control Notes:

- DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.
- THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 1.6 ACRES.
- DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION REQUIREMENTS IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016 EDITION. TEMPORARY STABILIZATION SPECIFICATIONS INCLUDE:
 - ANNUAL OR PERENNIAL RYEGRASS SEEDING WITH STRAW MULCHING AT A RATE OF 30 LBS PER ACRE.
 - COARSE WOOD CHIPS AT A RATE OF 500 LBS PER ACRE.
 - WOOD FIBER HYDROMULCH, AS PER MANUFACTURERS SPECIFICATIONS.



Legend

- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE (SEE DETAIL)
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL)
- PROPOSED TEMPORARY CHECK DAM (SEE DETAIL)
- PROPOSED TEMPORARY SEDIMENT TRAP (SEE DETAIL)
- PROPOSED SLOPE STABILIZATION MATTING (SEE DETAIL)
- PROPOSED CONCRETE WASHOUT AREA
- PROPOSED TEMPORARY SOIL STOCKPILE LOCATION
- PROPOSED FABRIC DROP INLET PROTECTION (SEE DETAIL)



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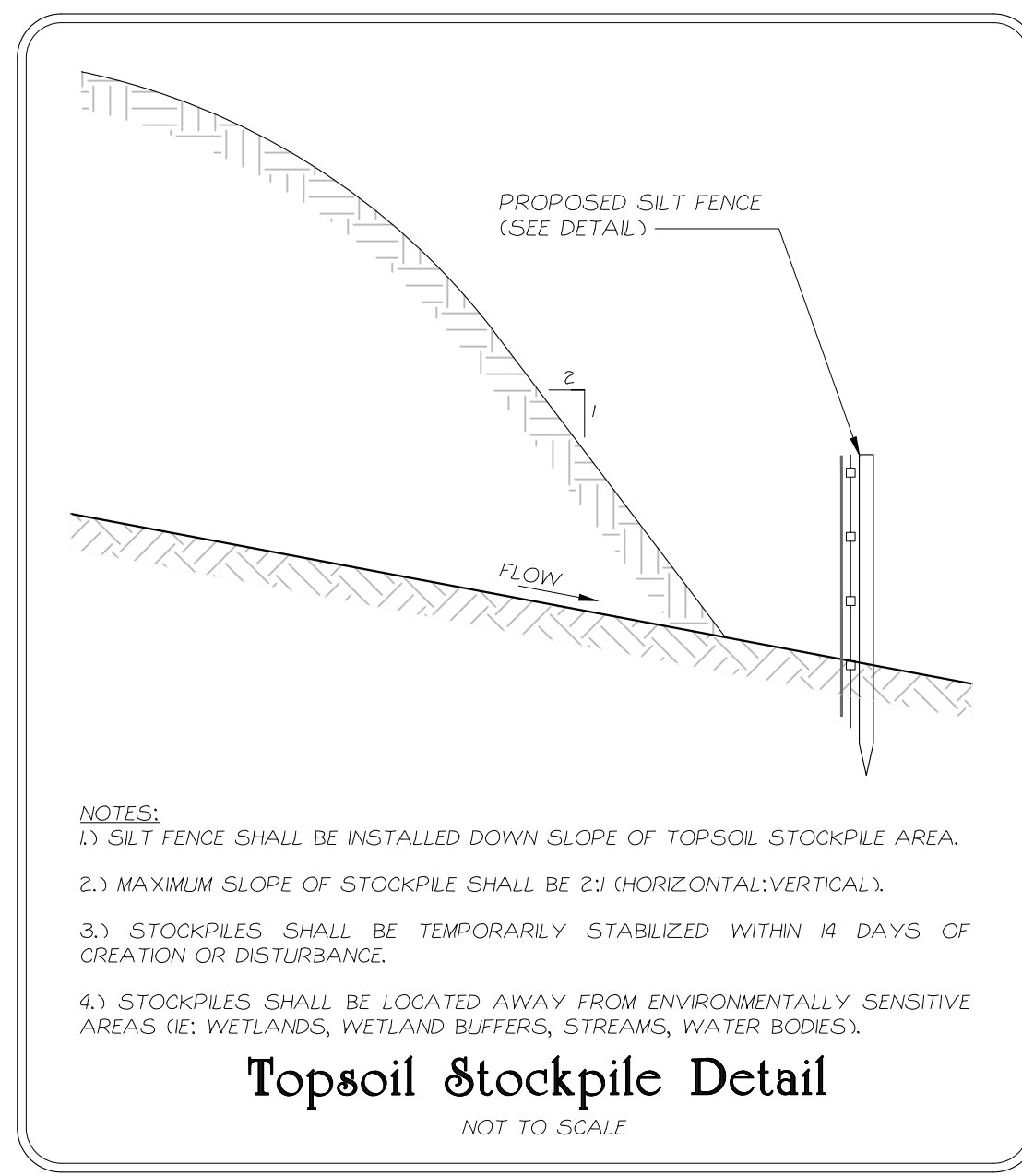
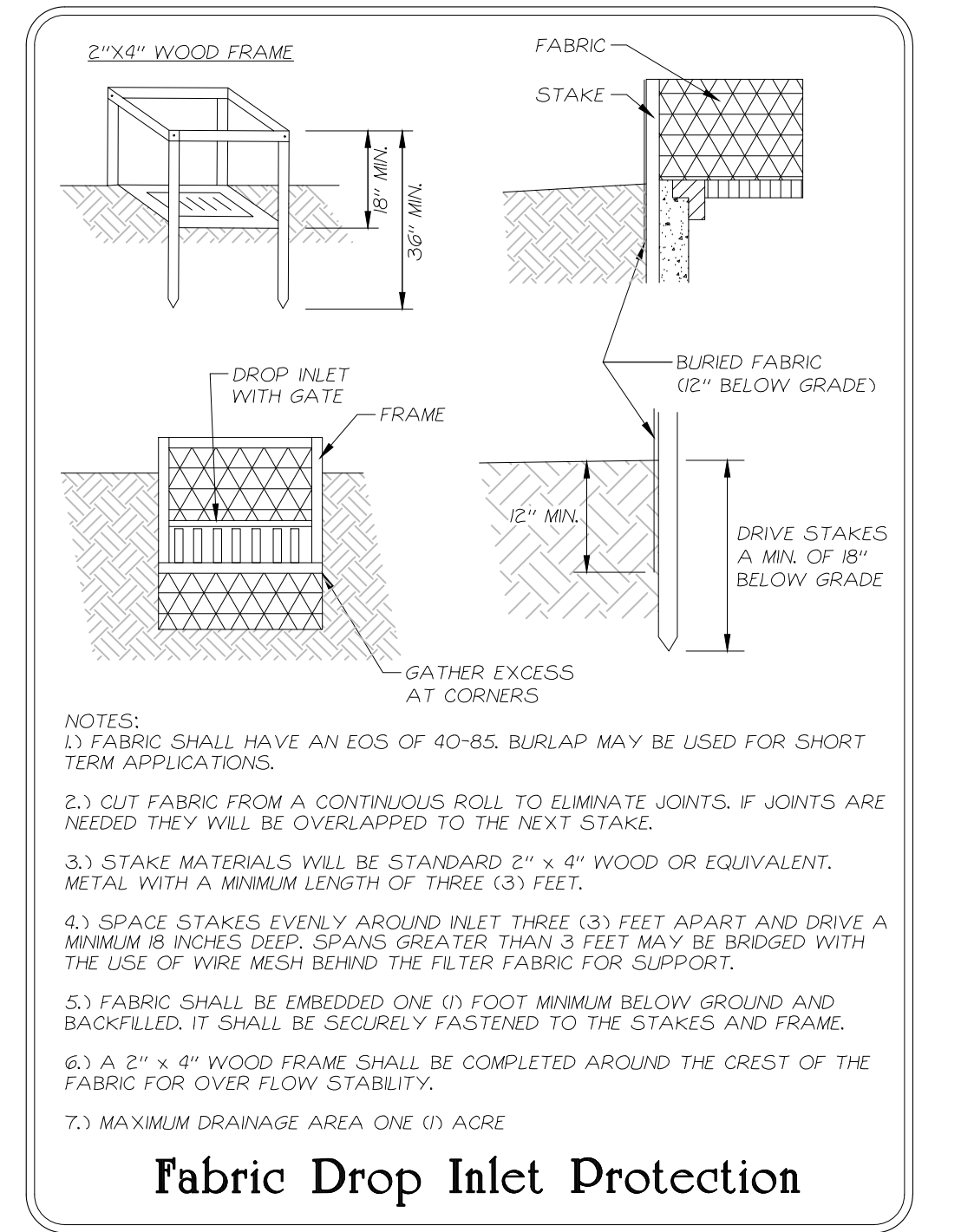
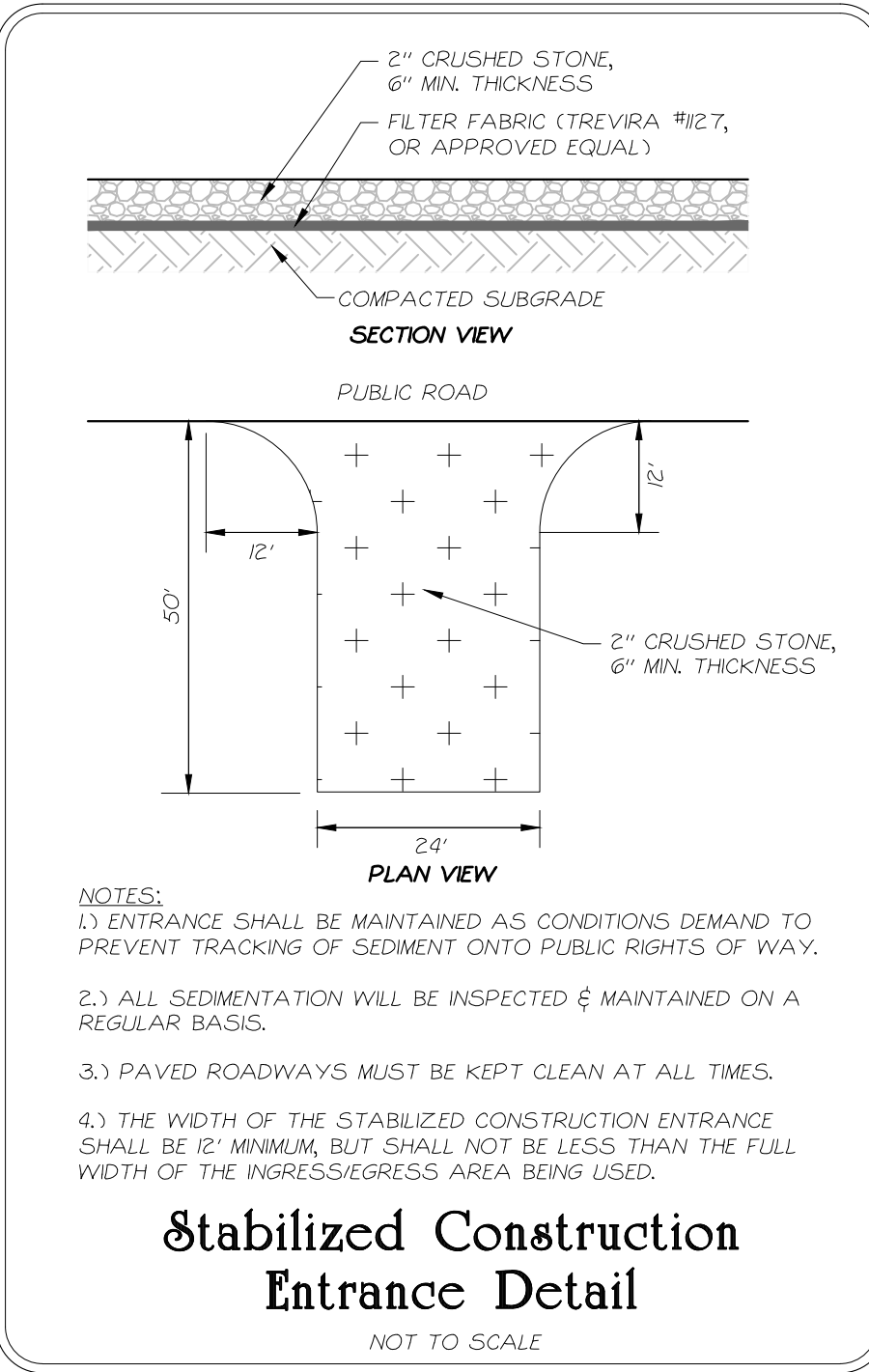
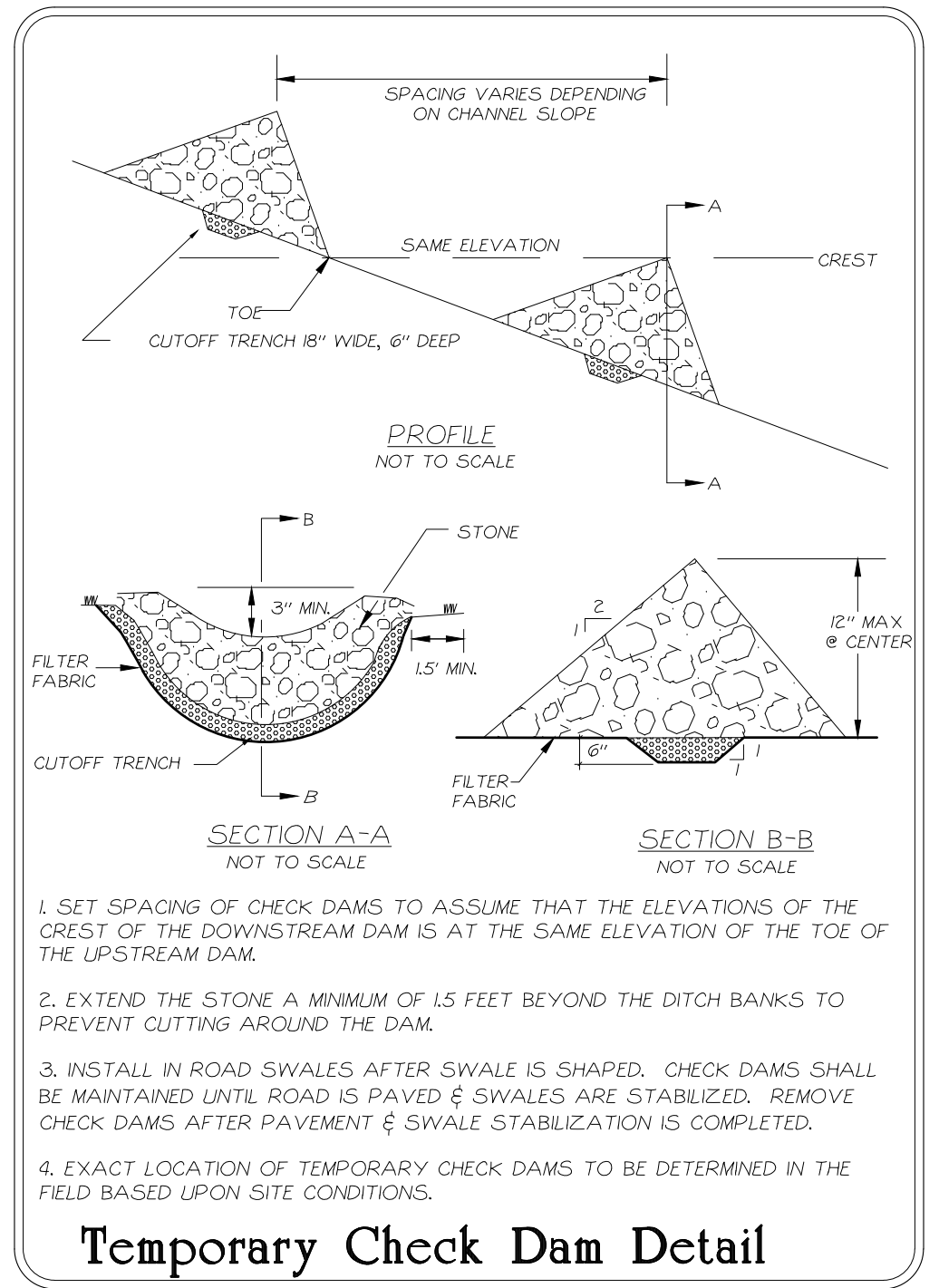
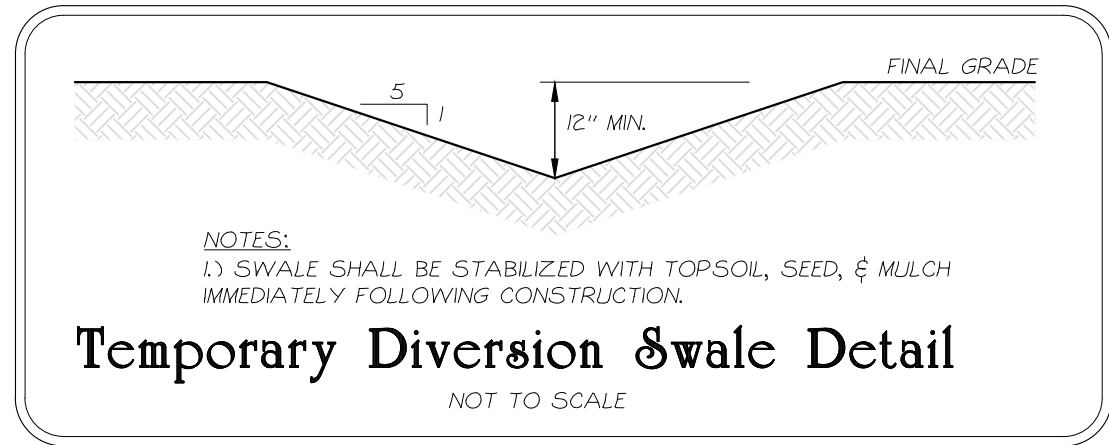
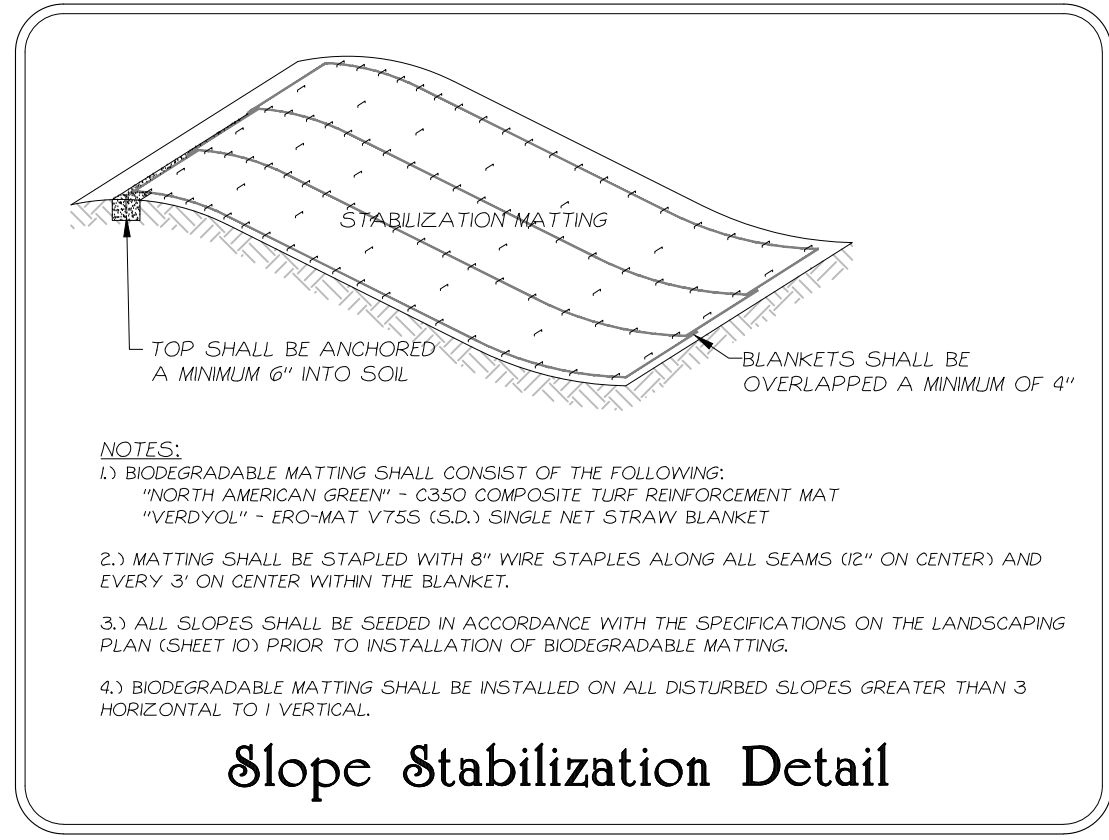
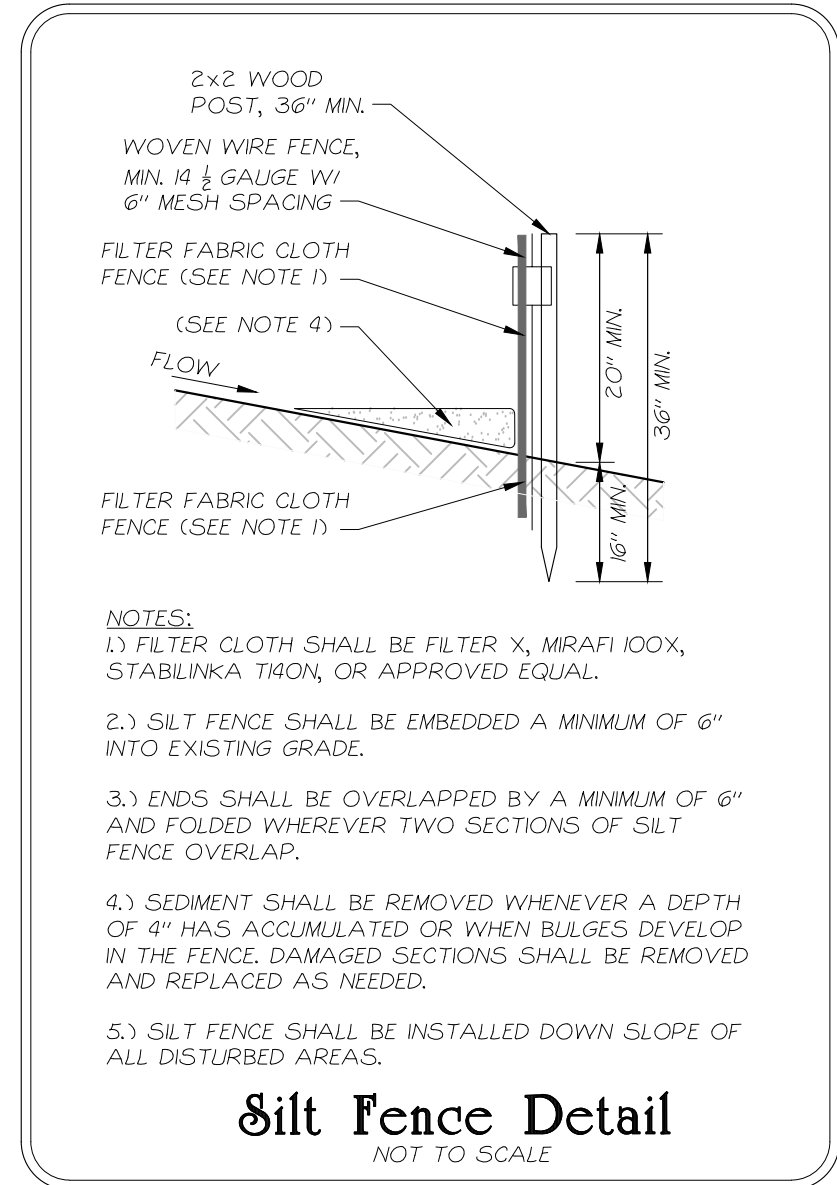
NO.	DATE	REVISION	BY
2	4-11-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP

LAWRENCE MARSHALL PE #087107

Erosion & Sediment Control Plan
for
Dollar General

MNTM
Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: 60 - 2 - 65
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: FEBRUARY 20, 2024
PROJECT: 4980
SHEET: 7 / 11



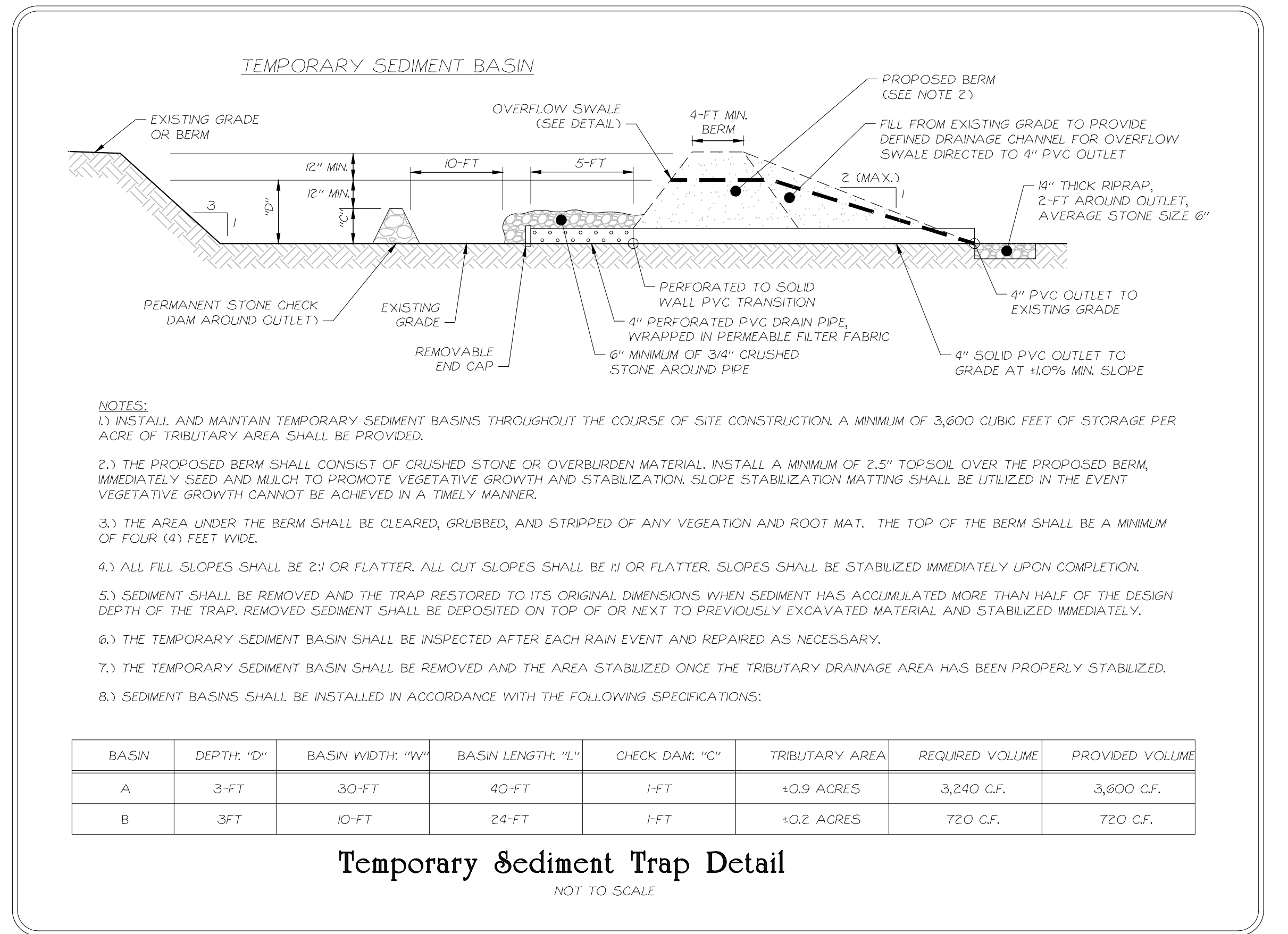
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY-NO CHANGE IN GRADE	AERATE & APPLY 6" INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (RESTORATION/DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PREVIOUS AREA.	

*ERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.

FULL SOIL RESTORATION SPECIFICATIONS:
1) SOIL RESTORATION SHALL BE PERFORMED DURING THE LANDSCAPING PHASE OF THE PROJECT. SOIL RESTORATION SHALL INCLUDE THE FOLLOWING STEPS:
A. APPLY 3" OF COMPOST OVER SUBSOIL.
B. TILL COMPOST INTO SUBSOIL TO A MINIMUM DEPTH OF 12".
C. REMOVE ALL STONE/ROCK MATERIAL GREATER THAN 4" IN SIZE.
D. APPLY 6" OF TOPSOIL.
E. VEGETATE IN ACCORDANCE WITH THE LANDSCAPING PLAN.
2) COMPOST SHALL BE AGED AND FROM PLANT DERIVED MATERIALS, FREE OF WEEDS, SEEDS, WATER, AND DUST. COMPOST SHOULD PASS THROUGH A HALF INCH SCREEN AND HAVE SUITABLE PH FOR PLANT GROWTH.
3) MAINTENANCE SHALL INCLUDE THE FOLLOWING:
A. INSPECTIONS AFTER EACH STORM EVENT GREATER THAN HALF-INCH FOR THE FIRST SIX MONTHS.
B. RESEEDING OF BARE OR GROWING AREAS TO ESTABLISH A STABILIZED COVER.
C. WATER EVERY THREE DAYS FOR THE FIRST MONTH, THEN PROVIDE A HALF INCH OF WATER PER WEEK.
4) VEGETATED AREAS SHALL BE KEPT FREE OF VEHICULAR AND FOOT TRAFFIC.
5) ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED.

NOTES:
1) SOIL RESTORATION AS SPECIFIED IN THE CHART ABOVE SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.

Soil Restoration Specifications
NOT TO SCALE



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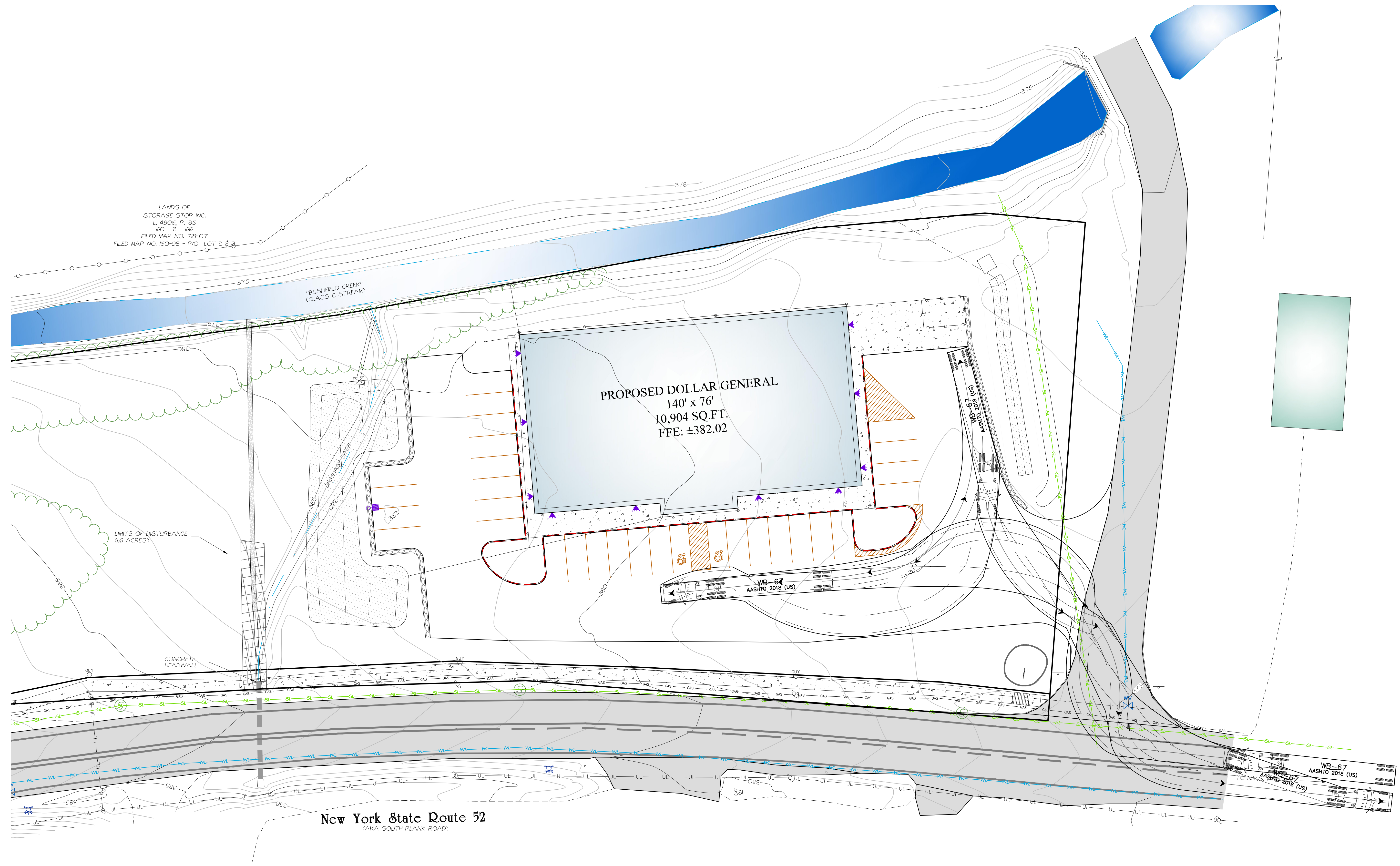
NO.	DATE	REVISION	BY
2	4-11-24	SITE PLAN REVISIONS	LJM
1	2-26-24	DETAILED SITE PLAN	ZAP

LAWRENCE MARSHALL PE #087107

Erosion & Sediment Control Details
for
Dollar General

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TAX MAP PARCEL: 60 - 2 - 65
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: FEBRUARY 20, 2024
PROJECT: 4980
SHEET: 8 / 11

MNTM
Mercurio-Norton-Tarolli-Marshall
ENGINEERING & LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO



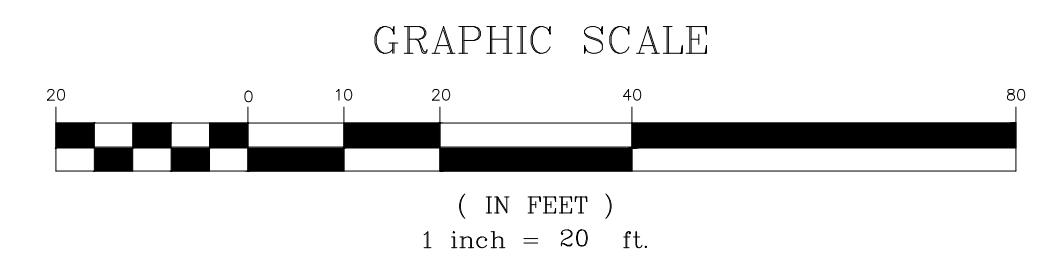
LANDS OF STORAGE STOP INC.
 L. 1906, P. 35
 60 - 2 - 66
 FILED MAP NO. 718-07
 FILED MAP NO. 160-98 - P/O LOT 2 & 3

PROPOSED DOLLAR GENERAL
 140' x 76'
 10,904 SQ.FT.
 FFE: ±382.02

LIMITS OF DISTURBANCE
 (1.6 ACRES)

CONCRETE HEADWALL

New York State Route 52
 (AKA SOUTH PLANK ROAD)



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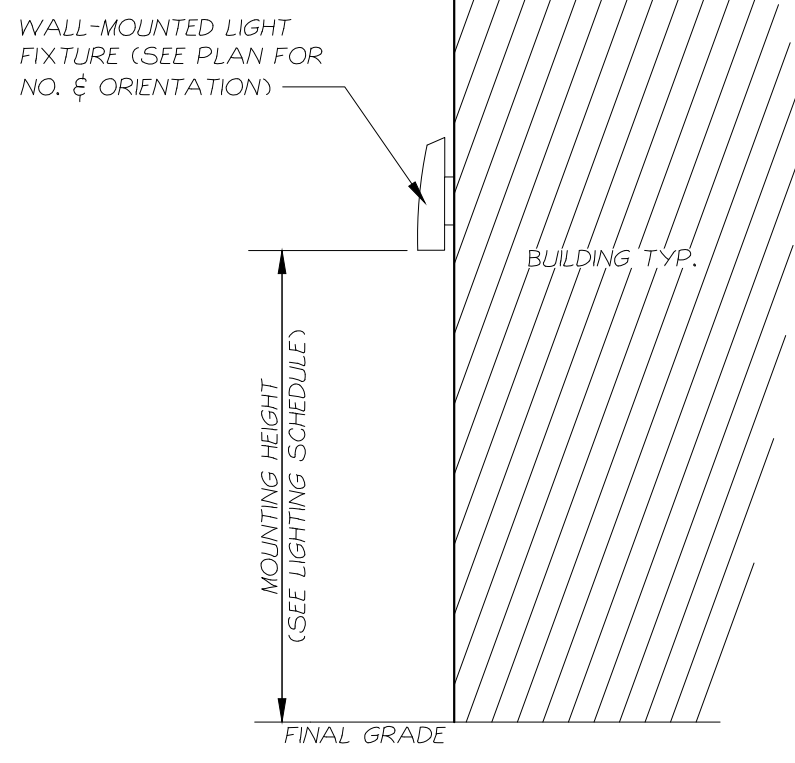
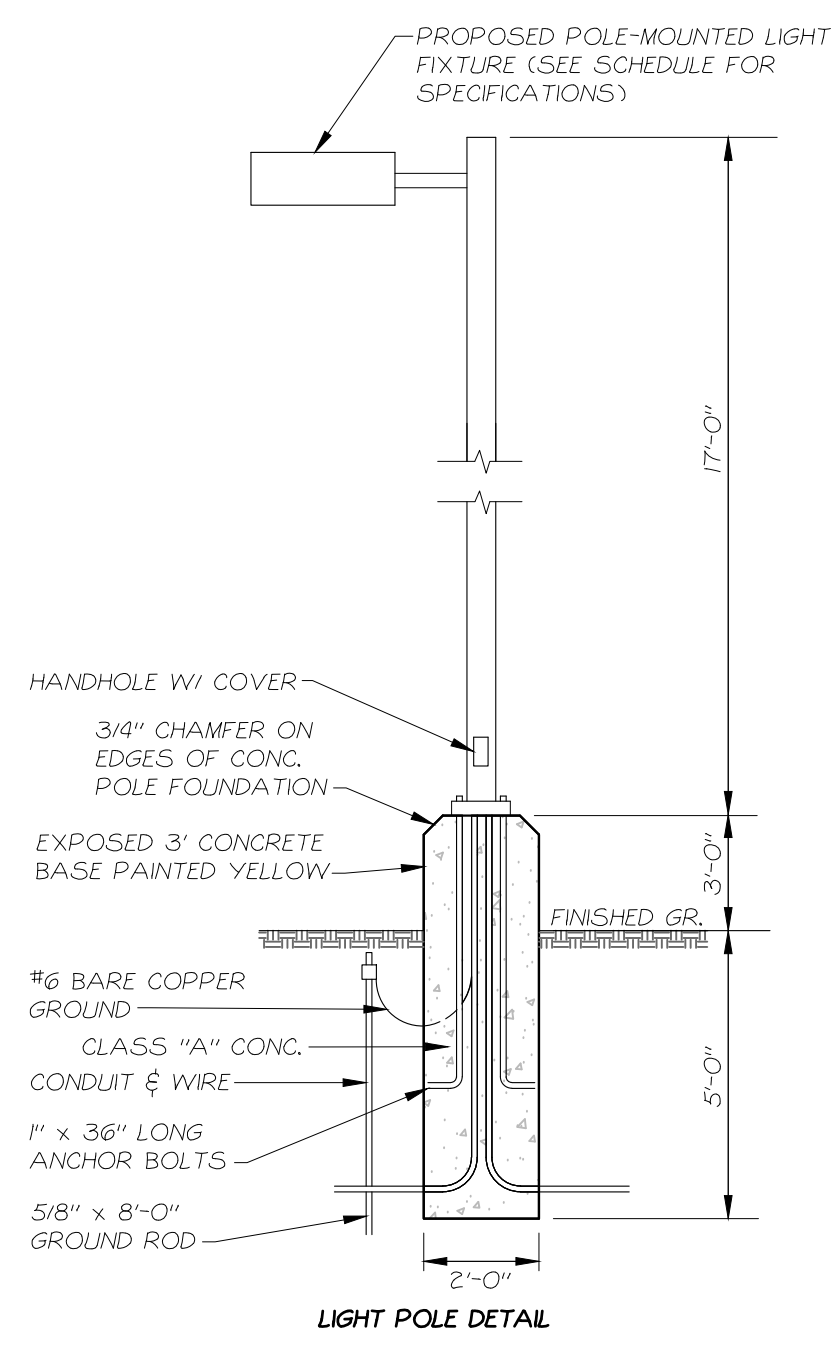
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1	2-26-24	DETAILED SITE PLAN	ZAP

LAWRENCE MARSHALL PE #087107

Turning Diagram
 for
Dollar General

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
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 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: FEBRUARY 20, 2024
 PROJECT: 4980
 SHEET: 9 / 11



Wall Mounted Fixture Detail

1.) WALL MOUNTED LIGHT FIXTURES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS

2.) ALL LIGHTING FIXTURES SHALL BE DOWNWARD FACING.

Light Pole Detail

1.) ALL LIGHT INTENSITIES PROVIDED BY: US LED 500 MORRIS OLIVER WAY SUITE 200 KATY, TX 77494 (866)972-9991

2.) ALL POLE MOUNTED LIGHTING FIXTURES SHALL BE TURNED OFF ONE HOUR AFTER THE CLOSING OF THE STORE.

Lighting Schedule

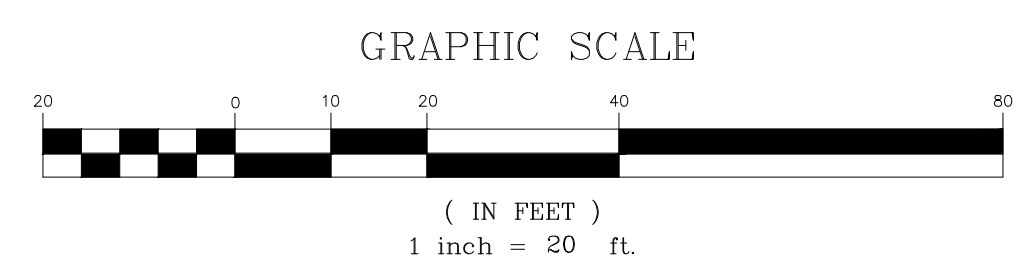
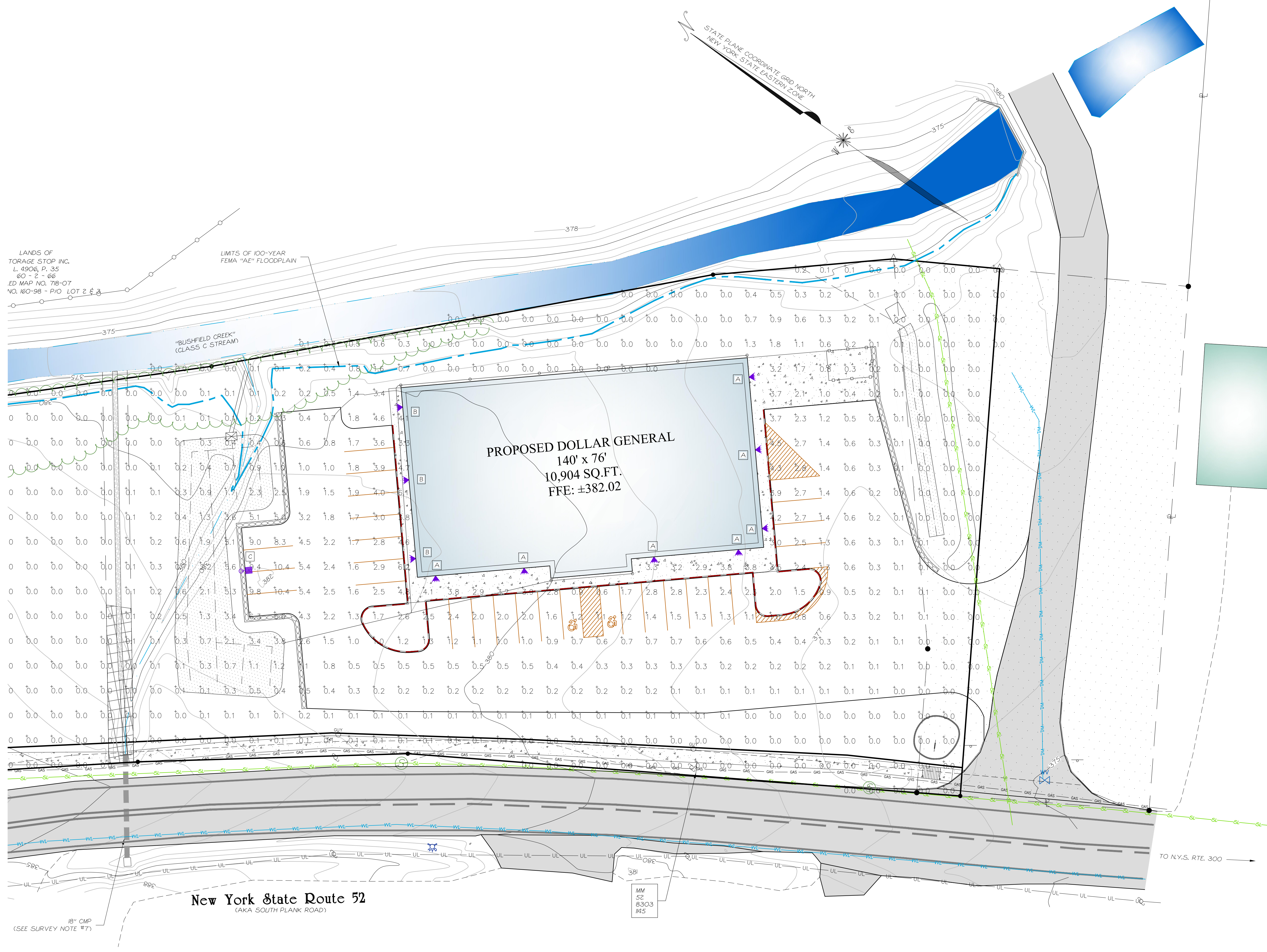
LIGHT	LABEL	MANUFACTURER	QUANTITY	MOUNTING LOCATION	MOUNTING HEIGHT	COLOR TEMP	LUMENS
A	WPR3-UNVL-30-4-50-BZ	US LED	7	WALL	16-FT	5000K	4,616
B	WPR3-UNVL-30-4-50-BZ	US LED	3	WALL	12-FT	5000K	4,616
C	QDXLR-150-50-UNVL-1-3-N-Z5	US LED	1	POLE	20-FT	5000K	20,790

CALCULATION SUMMARY

LABEL	AVG	MAX	MIN
SITE FT-C @ GRADE	0.59	10.4	0.0

Lighting Legend

- PROPOSED POLE MOUNTED FIXTURE (SEE LIGHTING SCHEDULE)
- PROPOSED WALL MOUNTED FIXTURE (SEE LIGHTING SCHEDULE)
- LIGHT KEY



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NO.	DATE	REVISION	BY
-	-	-	-
-	-	-	-

LAWRENCE MARSHALL PE #087107

Lighting Plan for Dollar General

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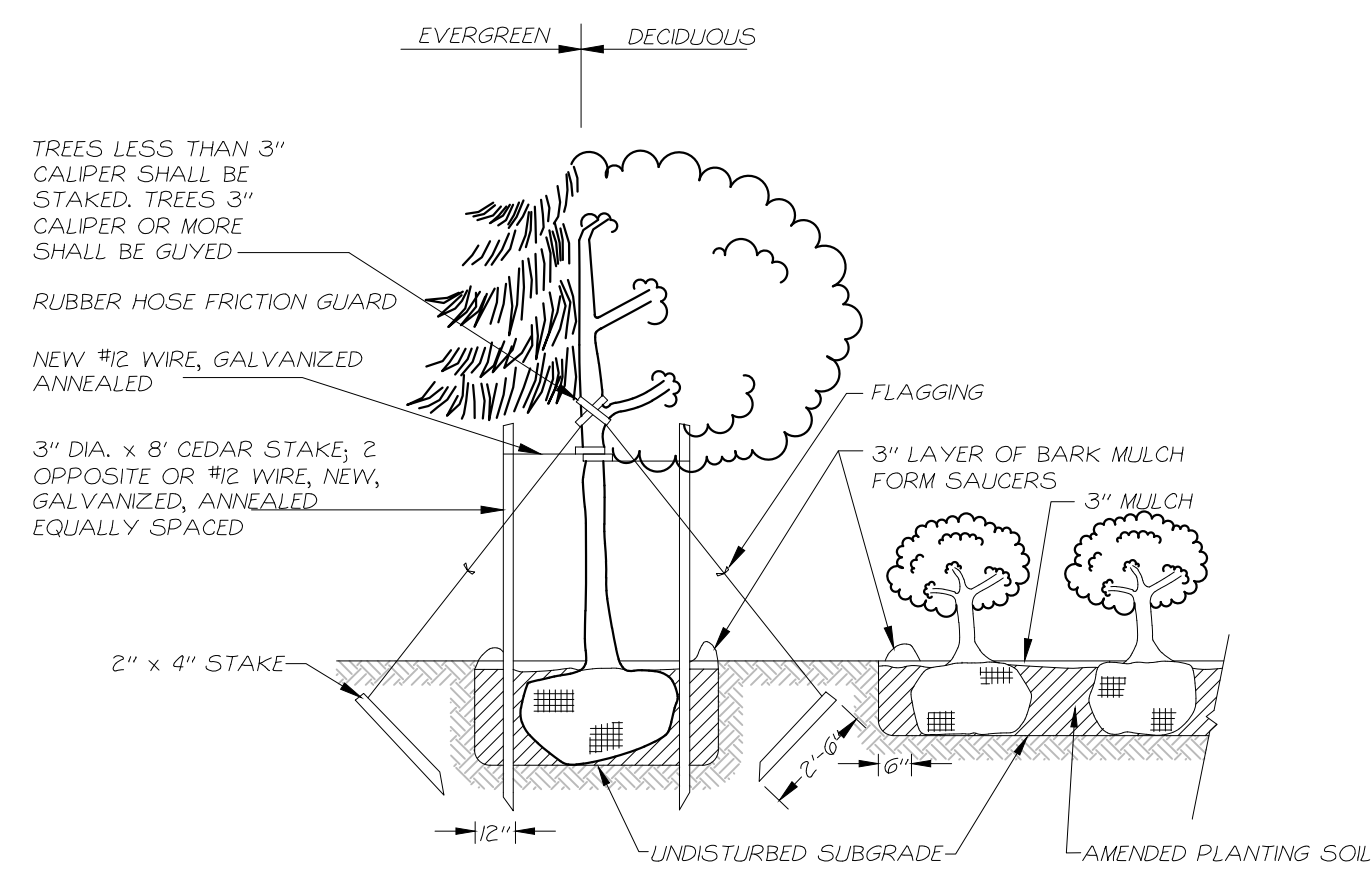
TAX MAP PARCEL: 60-2-65
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: KMY
DATE: NOVEMBER 17, 2023
PROJECT: 4980
SHEET: 10 / 11

Planting Soil Notes:

- 1) ALL PLANTING AREAS SHOULD HAVE A MINIMUM OF TWO (2) FEET OF TOPSOIL COMPOST MIX. ALL TREES PLANTED INDIVIDUALLY MUST HAVE TOPSOIL COMPOST MIX AT TWO TIMES THE WIDTH OF THE BALL AT THE SAME DEPTH OF THE BALL.
- 2) TOPSOIL-COMPOST MIX SHALL CONSIST OF 85%-90% STOCKPILED TOPSOIL (IF AVAILABLE) AND 10%-15% WELL-ROTTED COMPOST. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL, CHARACTERISTICS OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE FROM STONES, CLAY LUMPS, ROOTS, AND OTHER FOREIGN MATTER, WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7 pH. IF STOCKPILED TOPSOIL IS NOT AVAILABLE, USE PURCHASED TOPSOIL IN SUFFICIENT QUANTITY TO COMPLETE THE REQUIREMENTS AS SPECIFIED. PURCHASED SOIL SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTIONS:
 - LESS THAN OR EQUAL TO 15% OF GRAVEL (75.00 mm)
 - 40%-60% OF SAND (0.05-2.00 mm)
 - 30%-40% OF SILT (0.002-0.05 mm)
 - 10%-20% CLAY (<0.002 mm)
 - 10%-15% WELL-ROTTED TOPSOIL WITH AN ACIDITY LEVEL 5.5-7.0 pH
- 3) TOPSOIL AND PURCHASED TOPSOIL SHALL BE SUBJECT TO APPROVAL BY A LANDSCAPE ARCHITECT.
- 4) PLANTS SHOULD BE INSPECTED BEFORE PLANTING. DEAD PLANTS SHOULD BE REPLACED ONCE OR TWICE A YEAR DURING THE GROWING SEASON UNTIL THE TWO-YEAR WARRANTY PERIOD IS PASSED. SUCCESSFUL PLANT ACCLIMATION IS HIGHLY DEPENDENT ON PLANTING IN HIGH QUALITY SOIL. LANDSCAPE BOND WILL ONLY BE RELEASED UPON SUCCESSFUL PLANT ACCLIMATION.
- 5) CONTRACTOR/APPLICANT IS RESPONSIBLE FOR CONTACTING THE TOWN LANDSCAPE ARCHITECT TO INSPECT SOILS AT THE BEGINNING OF SOIL WORK TO ENSURE SOIL MEETS SPECIFICATIONS ON THE APPROVED PLAN. PROFESSIONAL SOIL ANALYSIS MAY BE REQUIRED.
- 6) SOILS SHOULD BE INSPECTED AGAIN BEFORE PLANTING OPERATIONS BEGIN.
- 7) PLANTS SHOULD ALSO BE INSPECTED BEFORE PLANTING TO ENSURE PLANTS PROVIDED MEET SIZE SPECIFICATIONS AND ARE THE SAME SPECIES AS SPECIFIED.
- 8) LANDSCAPING SHALL BE INSPECTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). SOIL QUALITY IS DETERMINED IF PLANTS LIVE, DIE, WITHER, OR THRIVE. INSTALLATION OF SOIL AS DEFINED ON THE PLAN IS IMPORTANT FOR A CERTIFICATE OF OCCUPANCY (CO) AND RELEASE OF THE LANDSCAPING BOND.
- 9) A PARTIAL RELEASE OF THE LANDSCAPING BOND CAN BE REQUESTED AFTER ONE (1) YEAR, AND WILL BE RECOMMENDED FOR APPROVAL, IF MORE THAN NINETY PERCENT (90%) OF THE PLANTS, INCLUDING GROUND COVERS, ARE IN GOOD HEALTH AT THE TIME OF INSPECTION. A FULL RELEASE OF THE BOND AFTER TWO (2) YEARS WILL BE RECOMMENDED FOR APPROVAL IF NINETY PERCENT (90%) OF PLANTS ARE IN GOOD HEALTH AT THE TIME OF INSPECTION. IF MORE THAN TEN PERCENT (10%) OF THE PLANTS ARE NOT IN GOOD HEALTH, RECOMMENDATION FOR RELEASE OF THE BOND CANNOT BE MADE. PLANTS WILL NEED TO BE REPLACED AND MUST LIVE FOR ANOTHER YEAR BEFORE THE BOND CAN BE RECOMMENDED FOR RELEASE. THE CONTRACTOR MUST INSTALL SOIL AS DEFINED ON THE PLANS (AND THE PLANTS MUST BE APPROPRIATELY WATERED) FOR THE LANDSCAPING TO MEET REQUIREMENTS AND FOR RELEASE OF THE LANDSCAPING BOND TO BE RECOMMENDED.

Landscaping Notes:

- 1) TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS TO A MINIMUM COMPACTED THICKNESS OF 4". TOPSOIL SHALL BE FINELY GRADED AND LOOSENEED TO REMOVE STONES AND ENSURE SEED ACCEPTANCE. SEE PLANTING SOIL NOTE 1 FOR REQUIRED TOPSOIL DEPTHS IN PLANTING AREAS.
- 2) ALL DISTURBED AREAS NOT ENCUMBERED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, GRAVEL, OR OTHER IMPERVIOUS COVER WITHOUT A SPECIFIED GROUND COVER SHALL BE STABILIZED WITH A PERMANENT CONSTRUCTION AREA PLANTING MIXTURE IN ACCORDANCE WITH TABLE 4.4 OF THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AND THE PERMANENT GRASS BLEND SPECIFICATION SHOWN ON THIS SHEET.
- 3) TREE AND SHRUB PLANTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
 - SPRING PLANTING: MARCH 1 - JUNE 30
 - FALL PLANTING: SEPTEMBER 1 - NOVEMBER 1
- 4) PLANTING BEDS SHALL BE INSTALLED AROUND ALL PROPOSED TREES AND SHRUBS IMMEDIATELY FOLLOWING INSTALLATION PLANTING BEDS SHALL CONSIST OF HARDWOOD MULCH. SEE PLANTING SOIL NOTES FOR SOIL REQUIREMENTS WITHIN PLANTING BEDS.
- 5) STEEP SLOPES AND OTHER SPECIFIED AREAS SHALL BE STABILIZED WITH A WILDFLOWER MIX. THE MIX SHALL BE "NATIVE NORTHEAST WILDFLOWER MIX" AS MANUFACTURED BY AMERICAN MEADOWS, OR APPROVED EQUIVALENT.



Typical Planting Detail
NOT TO SCALE

Site Planting Table

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTING SIZE	MATURE SIZE
DECIDUOUS TREES:					
Ac	SHADBLOW SERVICEBERRY	AMELANCER CANADENSIS	19	8" - 10" HST.	20' - 30'
ArO	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	3	2.0 - 2.5" C.	40' - 50'
BnH	HERITAGE RIVER BIRCH	BETULA NIGRA 'HERITAGE'	10	10" - 12" (CLUMP)	40' - 60'
DECIDUOUS SHRUBS:					
Ca	SILKY DOGWOOD	CORNUS AMOMUM	21	24" - 30"	6' - 10'
IvR	RED SPRITE INKBERRY	ILEX VERTICALLATA 'RED SPRITE'	8	18" - 24"	3' - 5'
RaG	GRO LOW SUMAC	RHUS AROMATICA 'GRO LOW'	27	15" - 18"	5' - 8'
Rt	ARCTIC FIRE RED TWIG DOGWOOD	CORNUS STOLONIFERA 'ARCTIC FIRE'	28	15" - 18"	4' - 6'
Vd	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	12	24" - 30"	5' - 9'
EVERGREEN SHRUB:					
BmGv	GREEN VELVET BOXWOOD	BUXUS MICROPHYLLA 'GREEN VELVET'	19	24" - 30"	2' - 4'
GRASSES:					
PdH	DWARF FOUNTAIN GRASS	PENNETSETUM ALOPECUROIDES 'HAMELII'	35	#2 CANS	2' - 3'

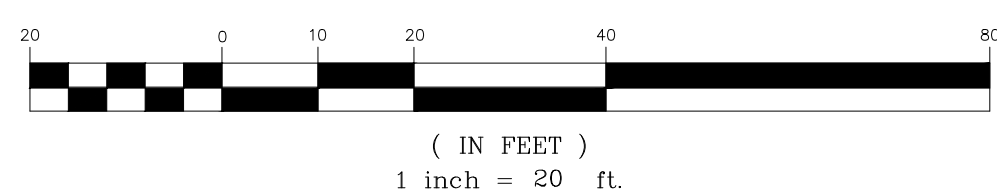
Permanent Grass Blend (Mix #6)

SEED MIXTURE	VARIETY	SEEDING RATE (LBS PER ACRE)	SEEDING RATE (LBS PER 1,000 SF.)
CREeping RED FESCUE	ENSYLVA, PENNLAWN, BOREAL	20	0.45
CHEWINGS FESCUE	COMMON	20	0.45
PERENNIAL RYEGRASS	PENNFINE, LINN	5	0.10
RED CLOVER	COMMON	10	0.45

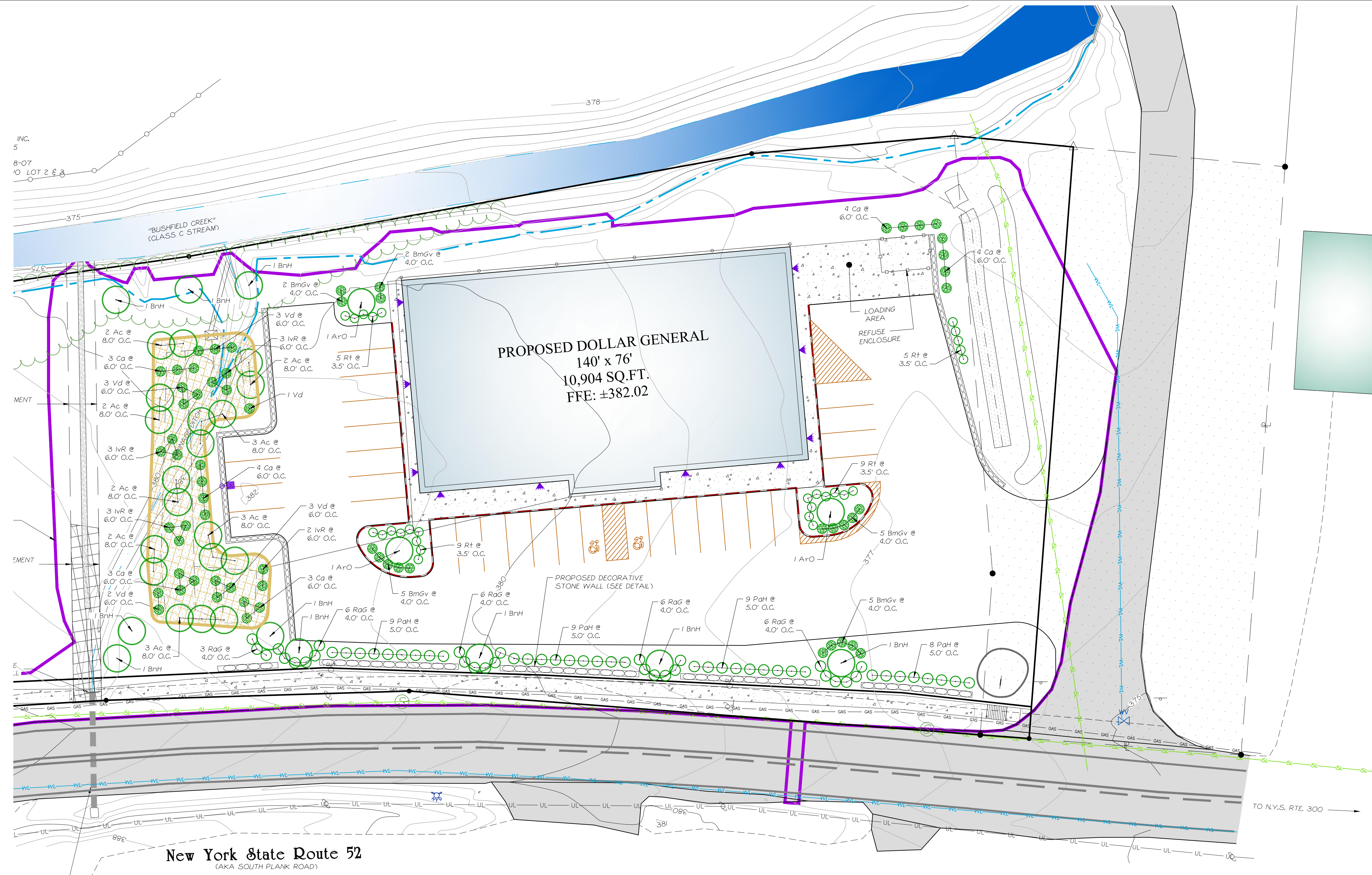
Groundcover Specifications

- PERMANENT GRASS BLEND (MIX #6)
- SHREDDED HARDWOOD MULCH
- WILDFLOWER MIX (SEE LANDSCAPING NOTE 6)

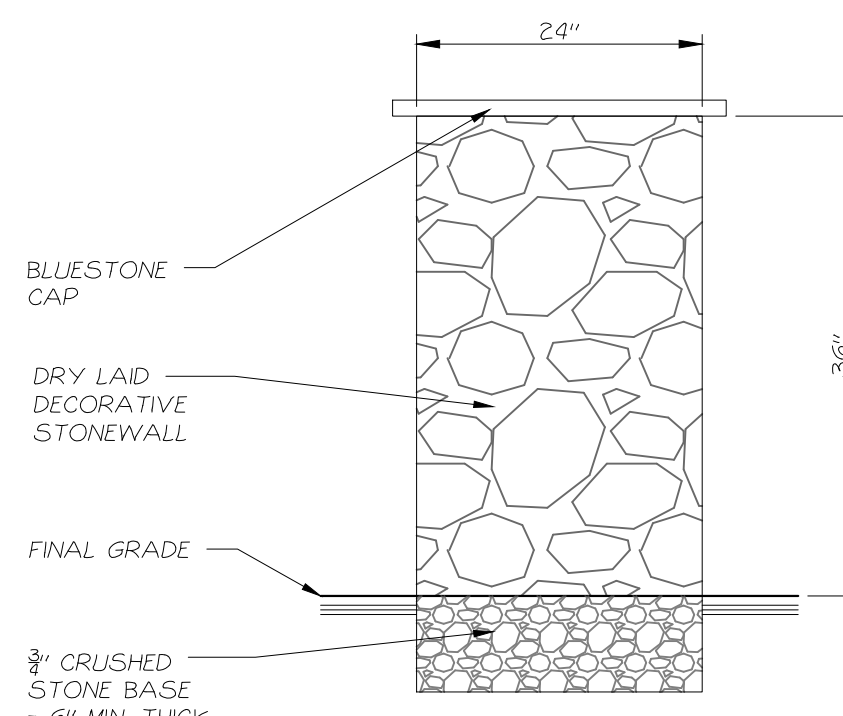
GRAPHIC SCALE



PROPOSED DOLLAR GENERAL
140' x 76'
10,904 SQ.FT.
FFE: ±382.02



Decorative Stonewall Detail



STATE PLANE COORDINATE GRID, NORTH
NEW YORK STATE EASTERN ZONE

Call 811
before you dig

Dig Safely. New York

Landscaping Plan for Dollar General

MNTM
Mercurio-Norton-Tarolli-Marshall
REGISTERED LAND SURVEYORS
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
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		REVISION	BY
		LAWRENCE MARSHALL	PE #087107

Concept Elevation Newburgh, NY.

January 9, 2024



Front Left Elevation



Front Right Elevation



Rear Parking Side Elevation



Rear Parking Side Elevation

