



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS**

PROJECT: DIXON II LOT SUBDIVISION
PROJECT NO.: 14-15
PROJECT LOCATION: SECTION 3, BLOCK 1, LOT 103.31
REVIEW DATE: 1 AUGUST 2016
MEETING DATE: 4 AUGUST 2016
PROJECT REPRESENTATIVE: TALCOTT ENGINEERING

1. Project is before the Board for a Public Hearing for the 2 Lot subdivision.
2. Our 5 July 2016 comment letter should be addressed on revised plans.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

REGIONAL OFFICES

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •

ZONING SCHEDULE			
ZONE: AR	REQUIRED	LOT #1 PROPOSED	LOT #2 PROPOSED
MINIMUM LOT AREA	0.92ac (40,000sf.)	105,051sf.	193,278sf.
MINIMUM LOT WIDTH (feet)	150'	295'	348'
MINIMUM LOT DEPTH (feet)	150'	357'	472'
MINIMUM YARDS (feet)			
FRONT	50'	110'	51'
REAR	50'	82'	391'
SIDE			
ONE	30'	121'	31'
BOTH	80'	258'	279'
MINIMUM HABITABLE FLOOR AREA	900sf.	>900sf.	>900sf.
MAXIMUM LOT BUILDING COVERAGE	10%	3%	1%
MAXIMUM BUILDING HEIGHT	35'	35'max.	35'max.
MAXIMUM LOT SURFACE COVERAGE	20%	18%	4%
MINIMUM BUILDING AREA	10,000sf.	46,267sf.	25,799sf.

LOT #1 NOTES

1. THE PROPOSED WELL ON LOT #1 SHALL BE CONSTRUCTED PRIOR TO THE PLANNING BOARD CHAIRMAN SIGNING OF MAPS FOR FILING THE SUBDIVISION IN ORANGE COUNTY.

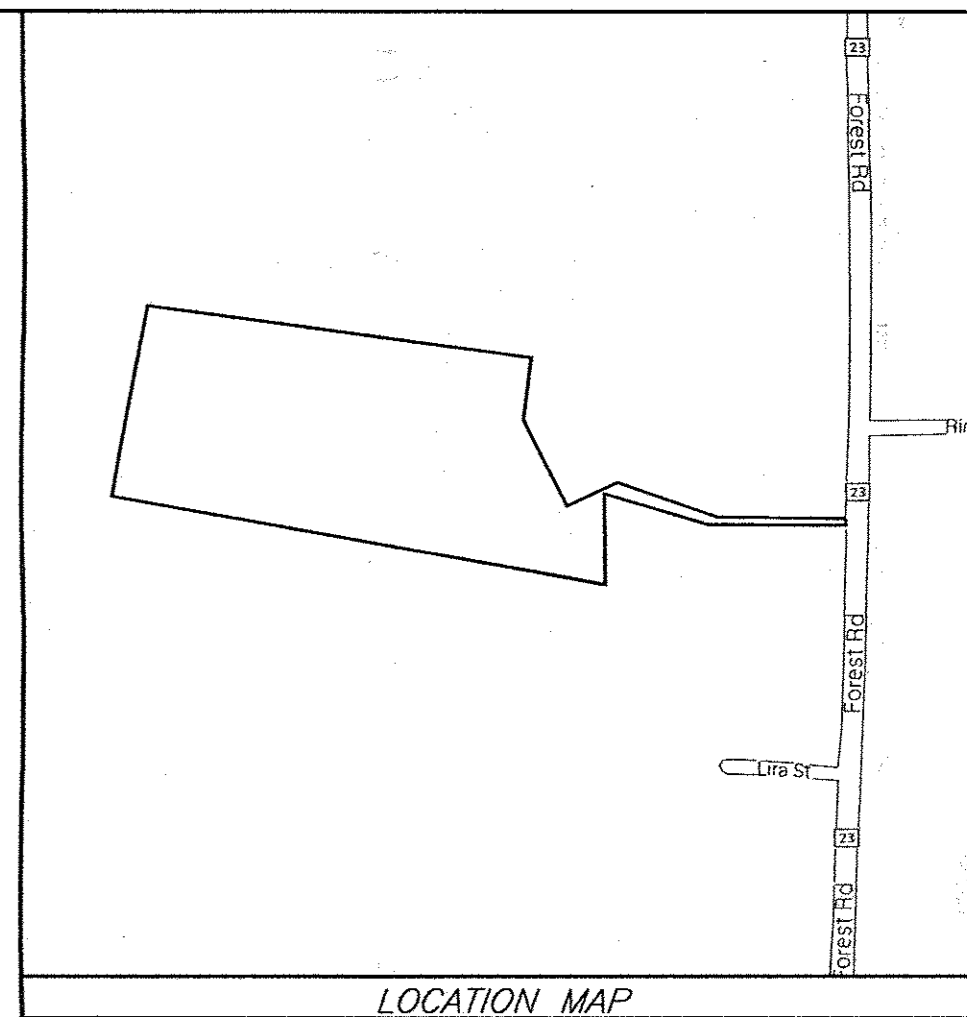
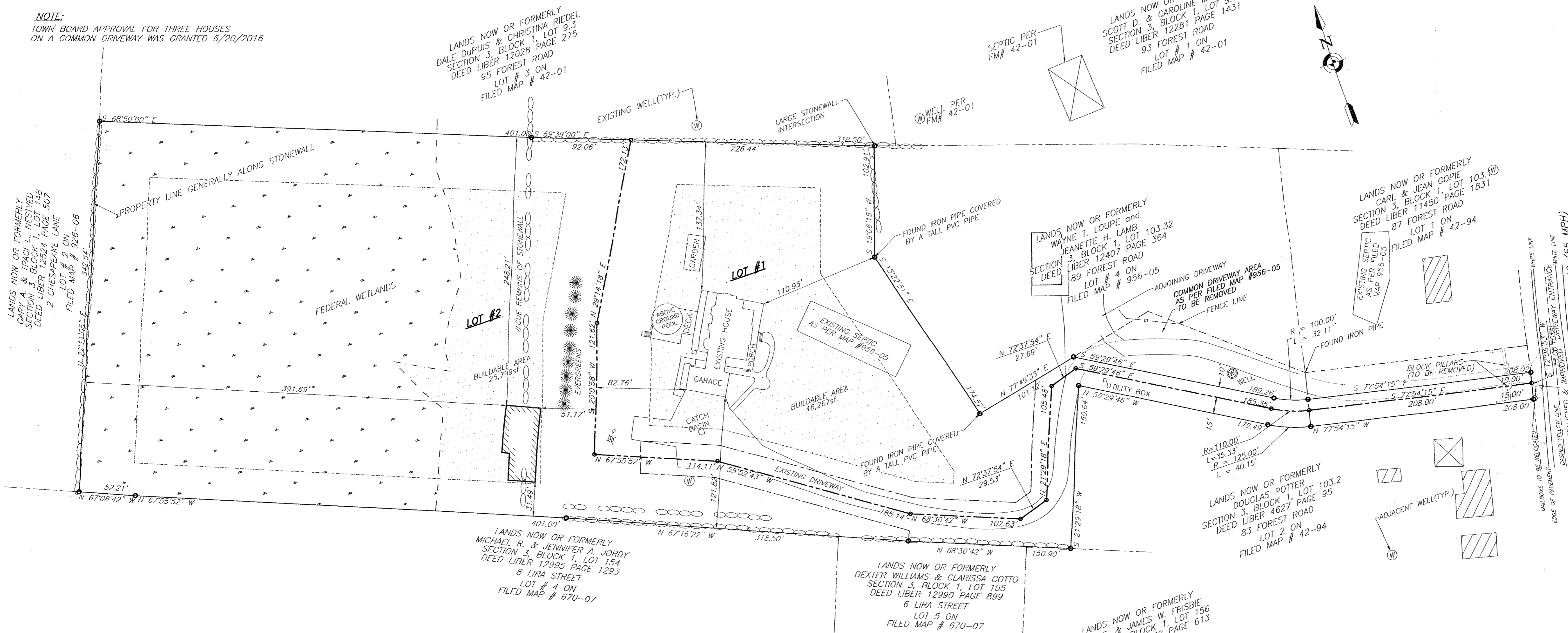
LOT #2 NOTES

1. LOT SPECIFIC PLOT PLANS FOR LOT #2 SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION AND FOUNDATION AND SEPTIC FIELDS SHALL BE STAKED OUT, PER PLOT PLAN, BY A LICENSED SURVEYOR, PRIOR TO CONSTRUCTION.

MAP REFERENCES:

- ALL EXISTING FEATURES, INCLUDING TOPOGRAPHY, BUILDINGS, PROPERTY LINES AND ROADS PER A SURVEY ENTITLED "PERCY DIXON & KIMBERLY DIXON" PERFORM BY MARGARET M. HILLRIEGEL, P.L.S., LAST REVISED ON AUGUST 7, 2013.
- EXISTING FEDERAL WETLAND BOUNDARY FLAGGED BY BIOLOGIST MIKE NOWICKI AND LOCATED BY MARGARET M. HILLRIEGEL, P.L.S., DURING JULY 2013.

NOTE:
TOWN BOARD APPROVAL FOR THREE HOUSES ON A COMMON DRIVEWAY WAS GRANTED 6/20/2016



COUNTY STANDARD NOTE:
"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

APPLICANT:
PERCY & KIMBERLY DIXON
35 FOREST ROAD
WALKKILL, NY 12589

RECORD OWNER'S CONSENT NOTE:
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE _____ PERCY & KIMBERLY DIXON
35 FOREST ROAD
WALKKILL, NY 12589

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED BY ME IN THE FIELD ON AUGUST 7, 2013.

MARGARET M. HILLRIEGEL
LICENSE NO. 50253

TOWN PROJECT #14-15
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

TALCOTT ENGINEERING DESIGN PLLC

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NEWBURGH, NY 12550
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JUN 23 2016



ENGINEER
CHARLES T. BROWN, P.E.

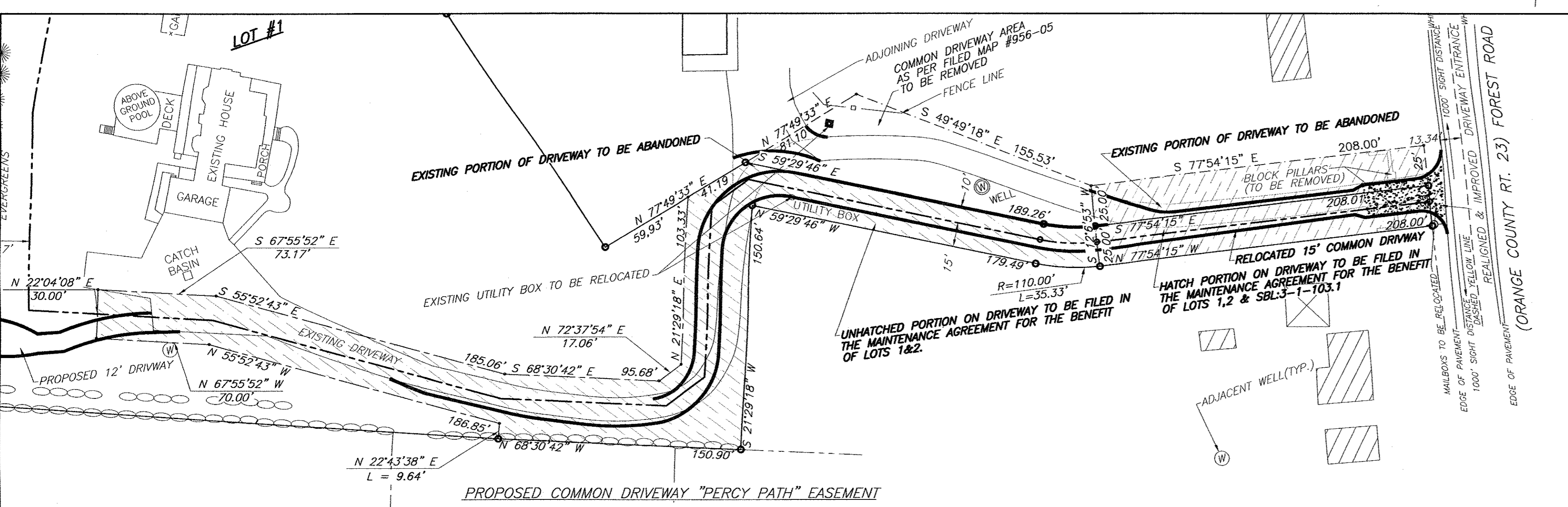
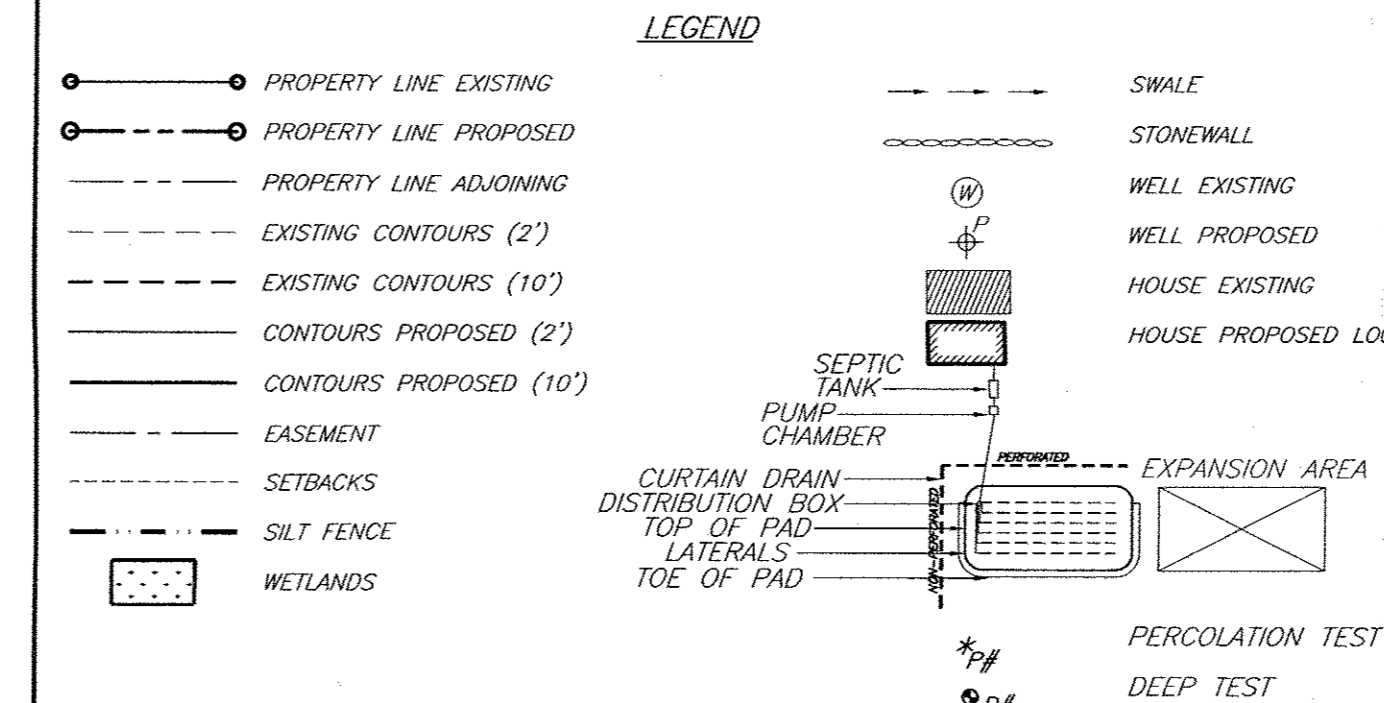
P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

LOT LAYOUT

PROPOSED SUBDIVISION ENTITLED "DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.31, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 05/27/14 SCALE: 1"=50' JOB NUMBER: 13074-PEI SHEET NUMBER: 1 OF 4

REVISIONS			
REV.	DATE	BY	DESCRIPTION
4	06/21/16	RBM	REVISED DRIVEWAY
3	03/03/15	RBM	REVISED DRIVEWAY
2	11/21/14	RBM	REVISED TOWN COMMENTS
1	11/11/14	RBM	REVISED COMMON DRIVEWAY



CALL BEFORE YOU DIG... IT'S THE LAW
WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811

TOWN CERTIFICATION:
I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE PROPOSED SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

SWALES/DITCHES:

- ALL DITCHES AND SWALES ARE REQUIRED TO BE REGRADED TO ENSURE POSITIVE DRAINAGE UPON COMPLETION OF THE INSTALLATION OF THE PROPOSED CULVERT PIPE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED NOR THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
- ALL SWALES ARE REQUIRED TO BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE.
- ALL DISTURBED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS.

LANDSCAPING:

- NO PLANTINGS (SHRUBS/TREES) OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, STONE MAILBOXES, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT OF WAY.
- ANY PLANTING AND LANDSCAPING FEATURES ARE REQUIRED TO BE OFFSET FROM THE PROPERTY LINE BY 4 FEET.

SEPTIC SYSTEM GENERAL NOTES:

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINES ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 35' OF ANY WATER COURSE DRAINAGE DITCH.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
- "WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
- "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
- "PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

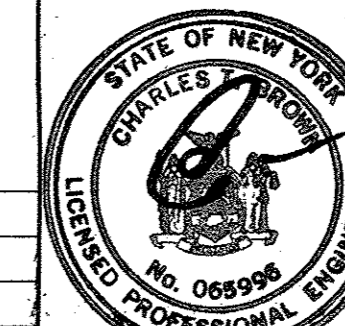
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GRADING

PROPOSED SUBDIVISION ENTITLED
"DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.31, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 05/27/14 SCALE: 1"=50' JOB NUMBER: 13074-PEI SHEET NUMBER: 2 OF 4

REV.	DATE	BY	DESCRIPTION
3	06/21/16	RBM	REVISED DRIVEWAY
2	11/21/14	RBM	REVISED TOWN COMMENTS
1	11/11/14	RBM	REVISED COMMON DRIVEWAY

LEGEND

- PROPERTY LINE EXISTING
- - -○ PROPERTY LINE PROPOSED
- - - - - PROPERTY LINE ADJOINING
- - - - - EXISTING CONTOURS (2')
- - - - - EXISTING CONTOURS (10')
- - - - - CONTOURS PROPOSED (2')
- - - - - CONTOURS PROPOSED (10')
- - - - - EASEMENT
- - - - - SETBACKS
- - - - - SILT FENCE
- ▨ WETLANDS
- SWALE
- STONEWALL
- ⊙ WELL EXISTING
- ⊙ WELL PROPOSED
- ▭ HOUSE EXISTING
- ▭ HOUSE PROPOSED LOCATION
- ⊙ SEPTIC TANK
- ⊙ PUMP CHAMBER
- ⊙ CURTAIN DRAIN
- ⊙ DISTRIBUTION BOX
- ⊙ TOP OF PAD
- ⊙ LATERALS
- ⊙ TOE OF PAD
- ⊙ PERCOLATION TEST
- ⊙ DEEP TEST

SEPTIC DESIGN CRITERIA: LOT#2

1. NO. OF BEDROOMS- 3max.
2. SEPTIC TANK DESIGN-1,250 GAL
3. STABILIZED PERCOLATION RATE-43 MIN/IN
4. FLOW RATE (GALS /DAY)- 330
5. DESIGN LENGTHS: PROVIDE 4 LATERALS @ 86' = 344ft. (330ft. REQ'D)
6. FILL REQUIRED: 18"min. SHALLOW TRENCH SYSTEM
7. PUMP CHAMBER REQUIRED

PERCOLATION DATA: LOT 2

P1	12" DEEP	11/18/13	1	2	3	4
FINISH	2:02	2:38	3:22	4:06		
START	1:32	2:03	2:39	3:23		
TIME	:28	:36	:43	:43		
STABILIZED PERCOLATION RATE: 43 MINUTES /INCH						

P2

P2	12" DEEP	11/15/13	1	2	3	4
FINISH	1:59	2:30	3:07	3:45		
START	1:36	1:59	2:30	3:08		
TIME	:23	:31	:37	:37		
STABILIZED PERCOLATION RATE: 37 MINUTES /INCH						

DEEP TEST DATA: LOT#2

D1	72" DEEP	11/15/13
0-7"	TOPSOIL	
7"-6'	CLAY LOAM	
	MOTTLING @ 4"	

D2	72" DEEP	11/15/13
0-7"	TOPSOIL	
7"-6'	CLAY LOAM	
	MOTTLING @ 4"	

SEPTIC CERTIFICATION:

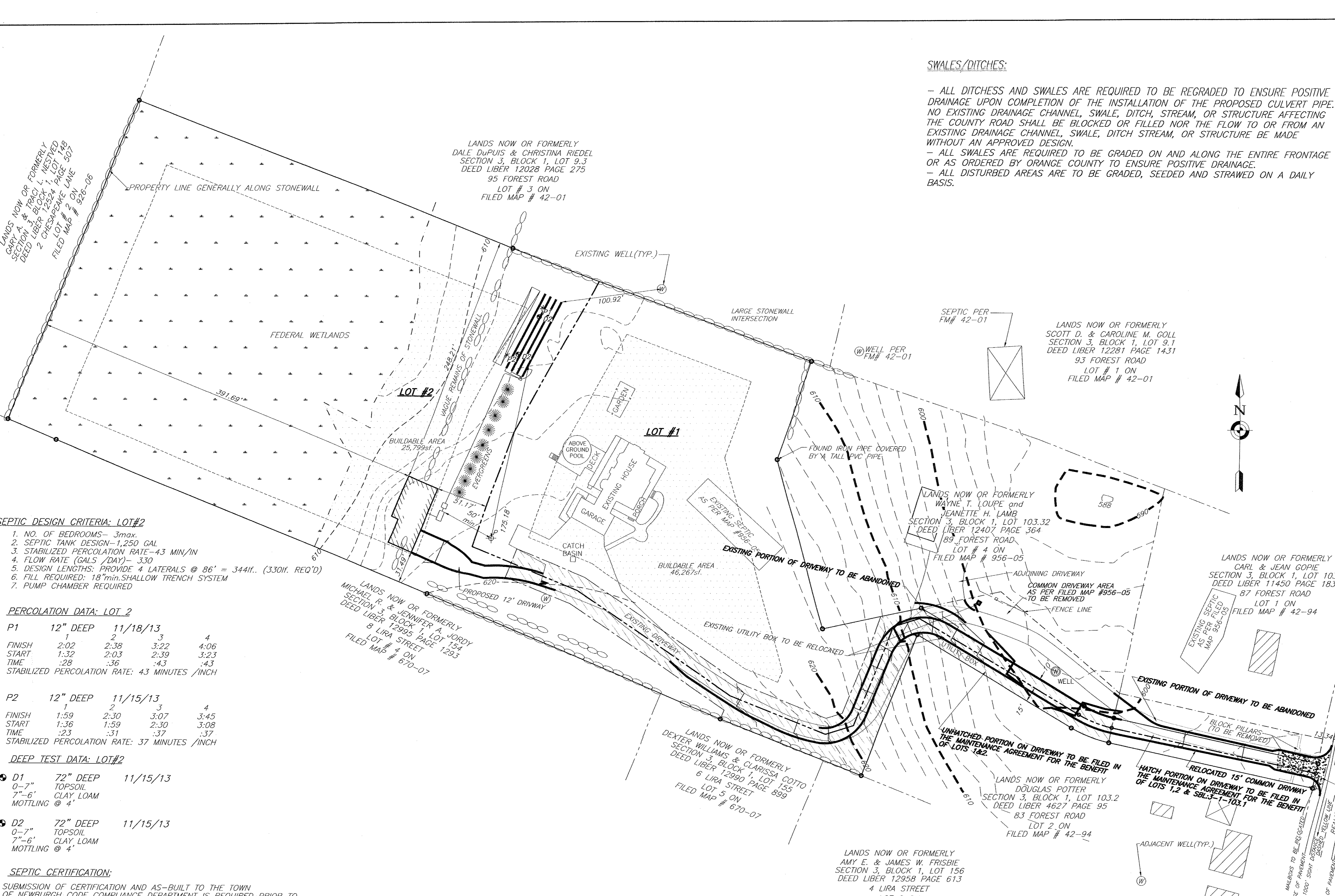
SUBMISSION OF CERTIFICATION AND AS-BUILT TO THE TOWN OF NEWBURGH CODE COMPLIANCE DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR LOT #2.

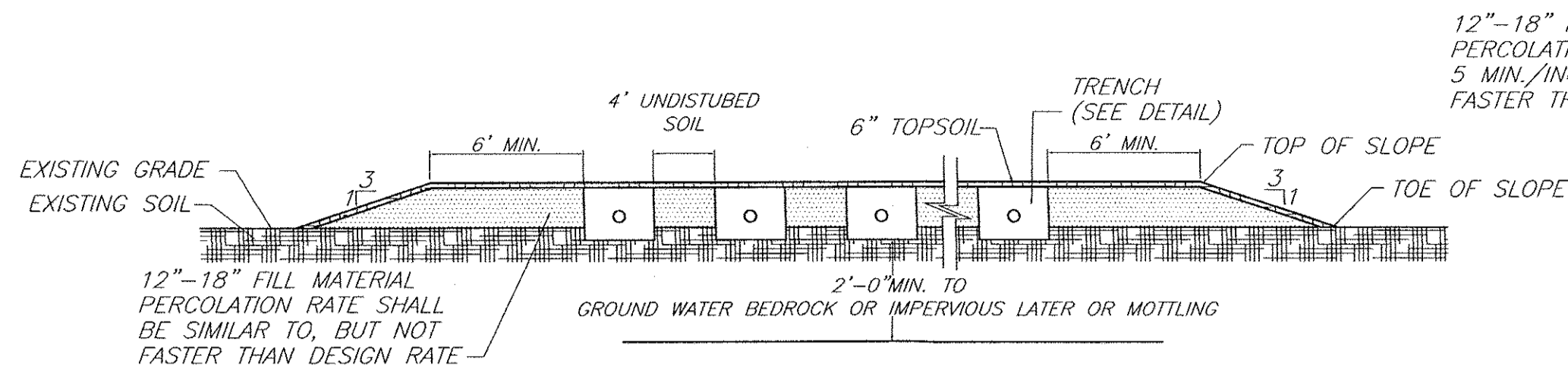
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CALL BEFORE YOU DIG... IT'S THE LAW

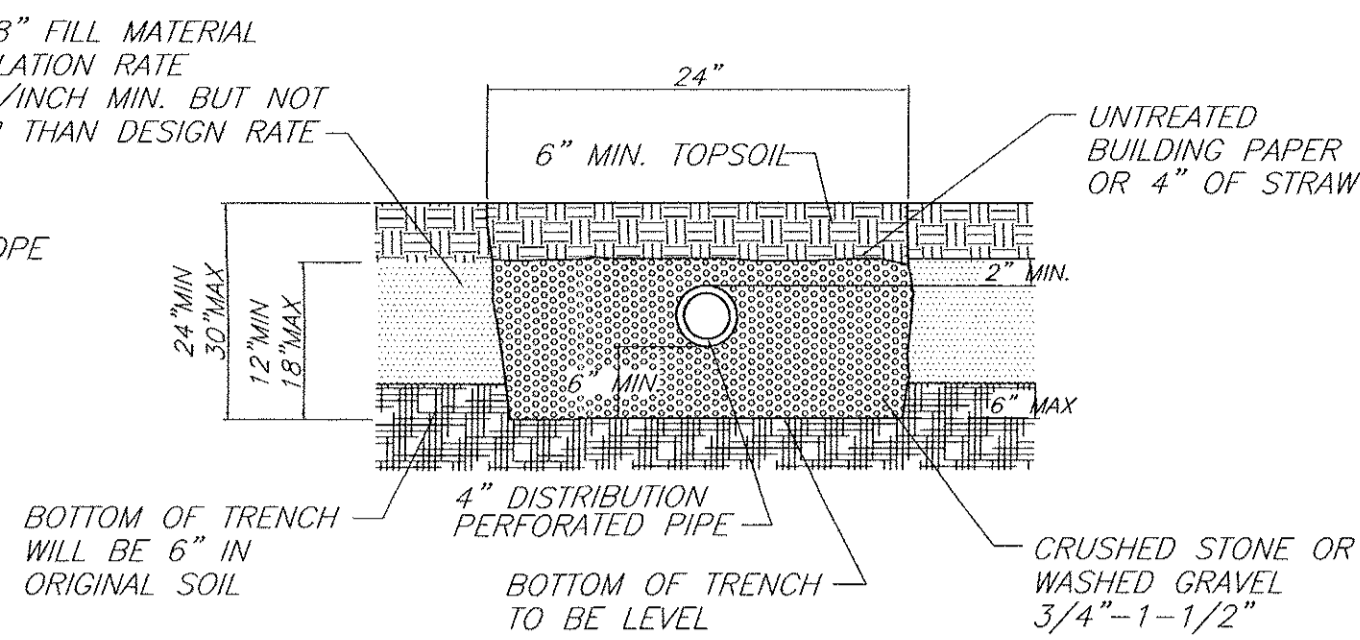
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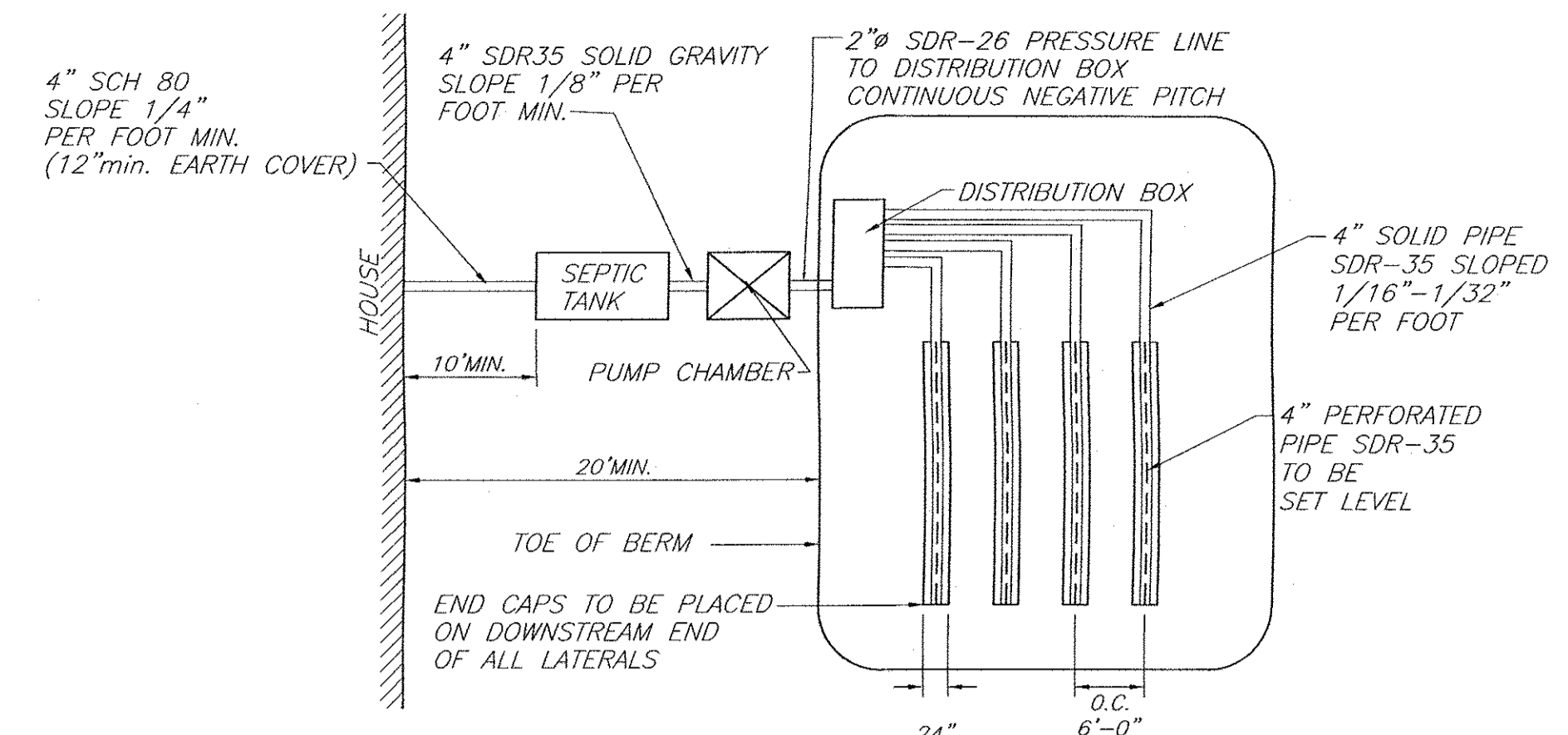


SHALLOW SYSTEM DETAIL
N.T.S.

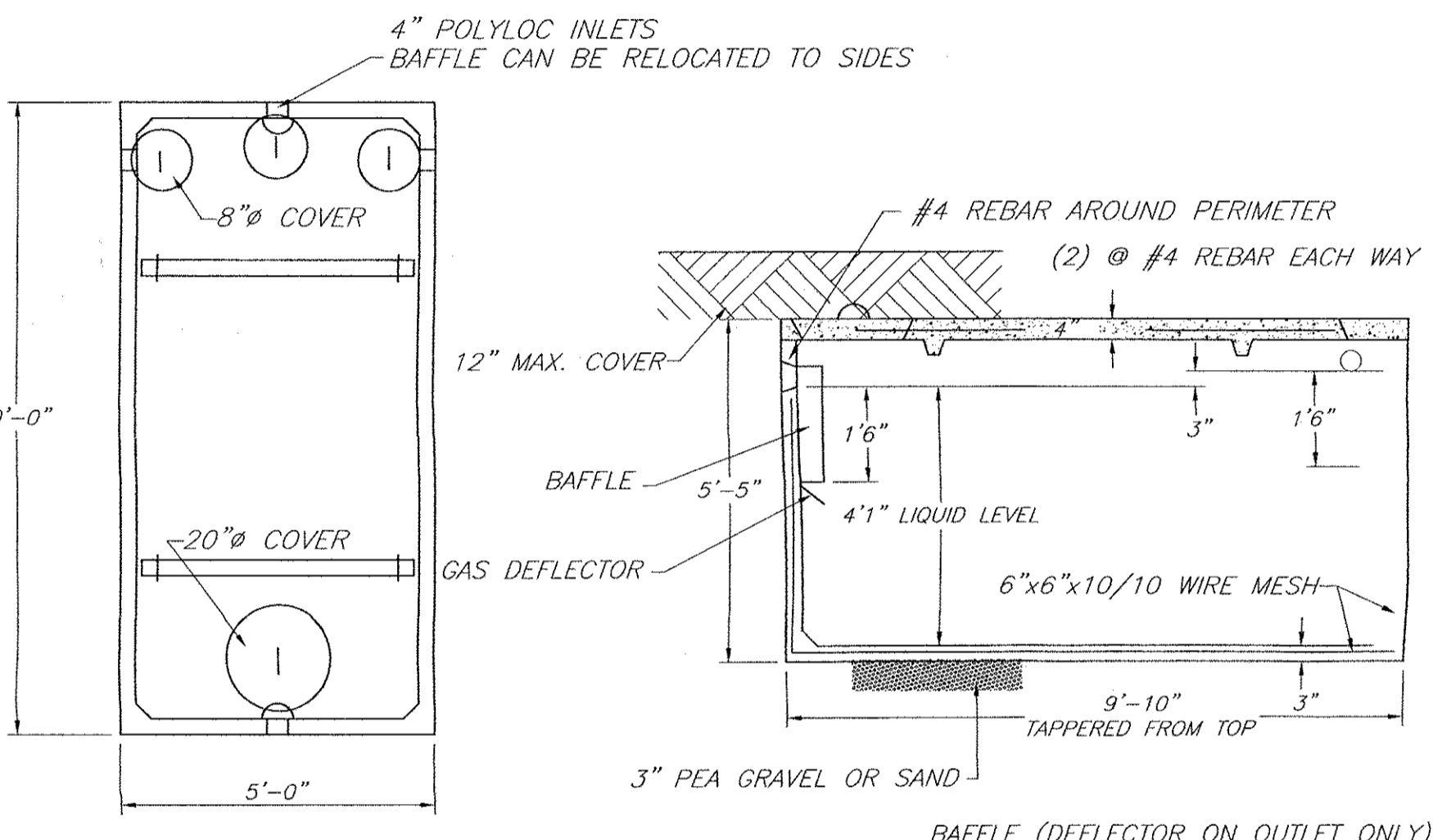
- NOTES:
1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL.
 2. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".
 3. MAXIMUM COVER OVER TRENCH AGGREGATE SHALL NOT EXCEED 12".



SHALLOW SYSTEM TRENCH DETAIL
N.T.S.



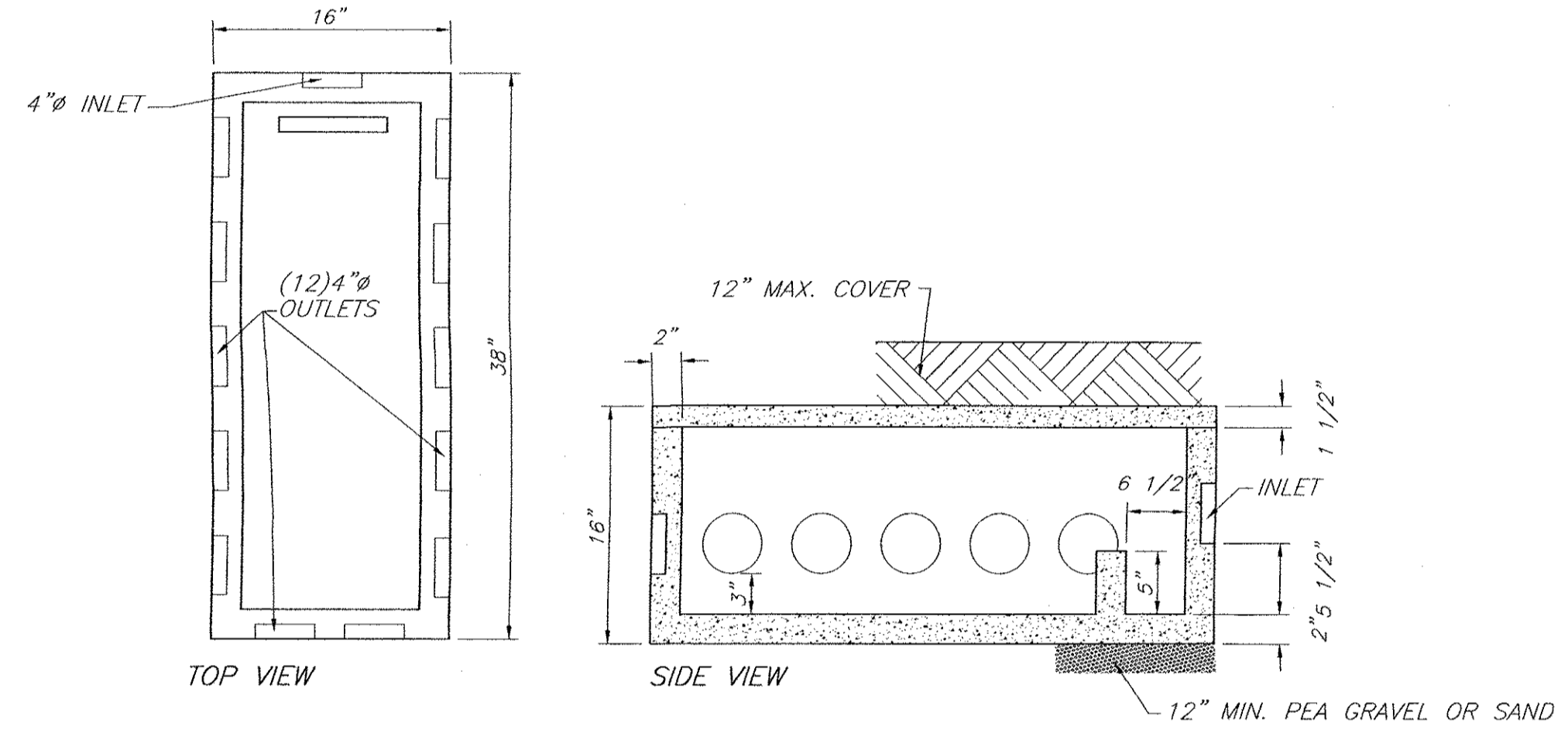
TYPICAL PLAN VIEW
N.T.S.



WOODARD'S 1250gal SEPTIC TANK OR EQUAL
N.T.S.

SPECIFICATIONS

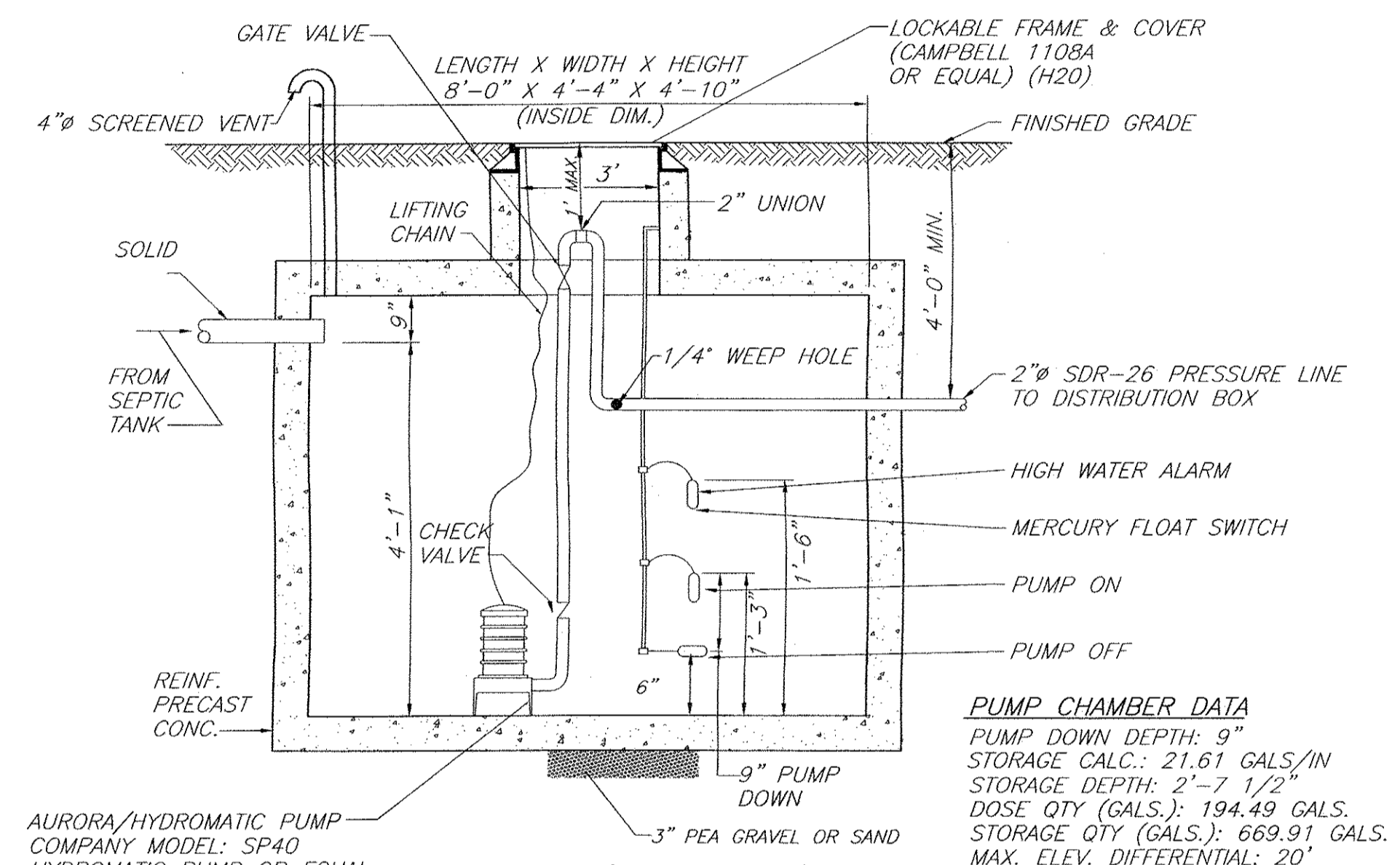
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6"10GA. WWF, #4 REBAR
 AIR ENTRAPMENT- 5%
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 9,500LBS



WOODARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL
N.T.S.

SPECIFICATIONS

CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6"10GA. WIRE MESH
 AIR ENTRAPMENT- 5%
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 325 LBS.



PUMP CHAMBER (RESERVE AREA)
N.T.S.

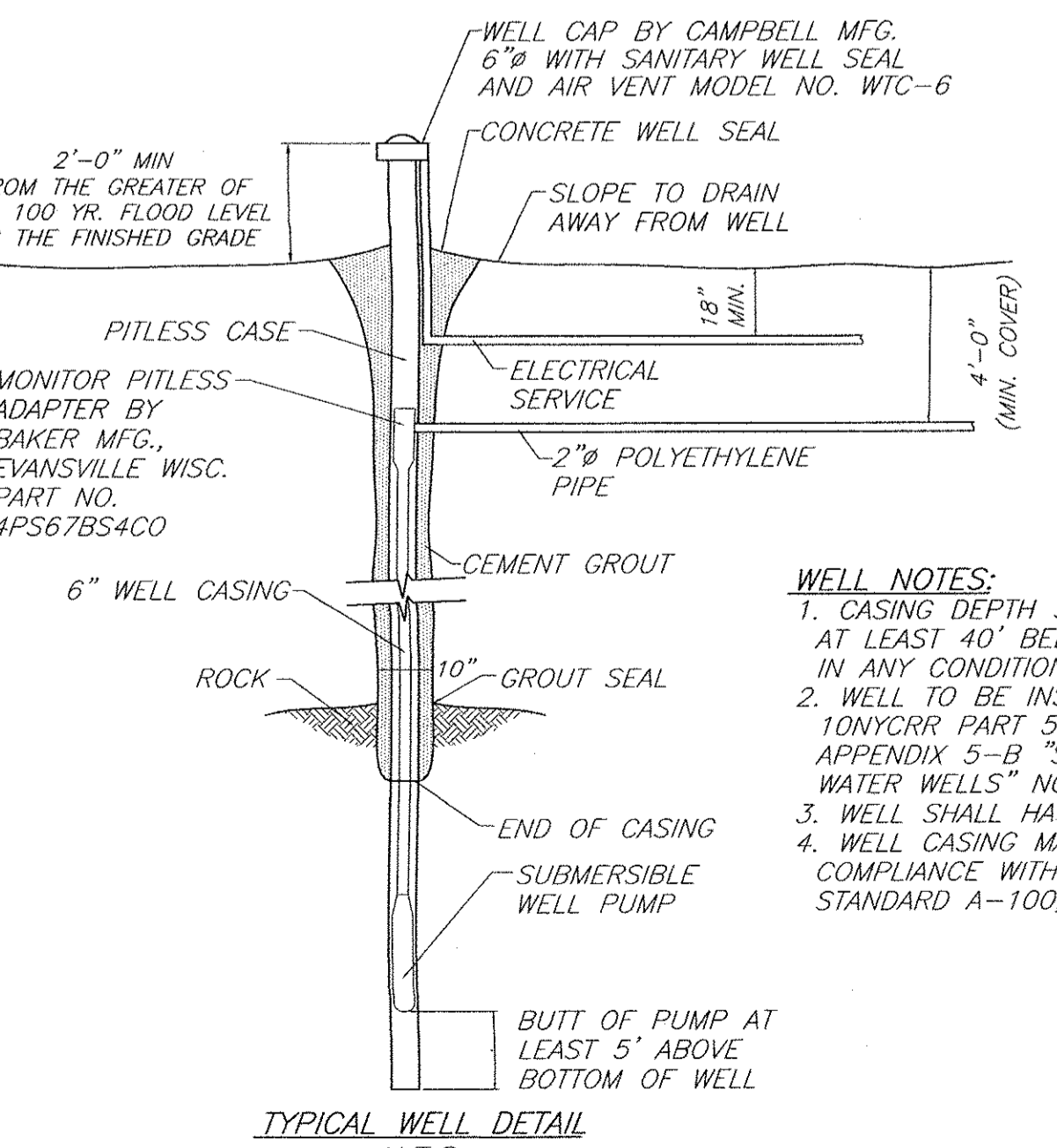
PUMP CHAMBER DATA

PUMP DOWN DEPTH: 9"
 STORAGE CALC.: 21.61 GAL/S/IN
 STORAGE DEPTH: 2'-7 1/2"
 DOSE QTY (GALS.): 194.49 GALS.
 STORAGE QTY (GALS.): 669.91 GALS.
 MAX. ELEV. DIFFERENTIAL: 20'

- PUMP CHAMBER NOTES:**
1. CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
 2. ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
 3. THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
 4. A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
 5. QUANTITY DOSED IS BASED UPON 75% OF 4" PIPE AND 100% OF FORCE MAIN.
 6. QUANTITY STORED IS BASED UPON (1) DAYS FLOW MINIMUM.
 7. AS-BUILT MUST SHOW FORCE MAIN LOCATION.

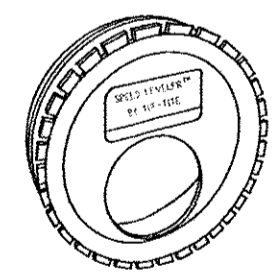
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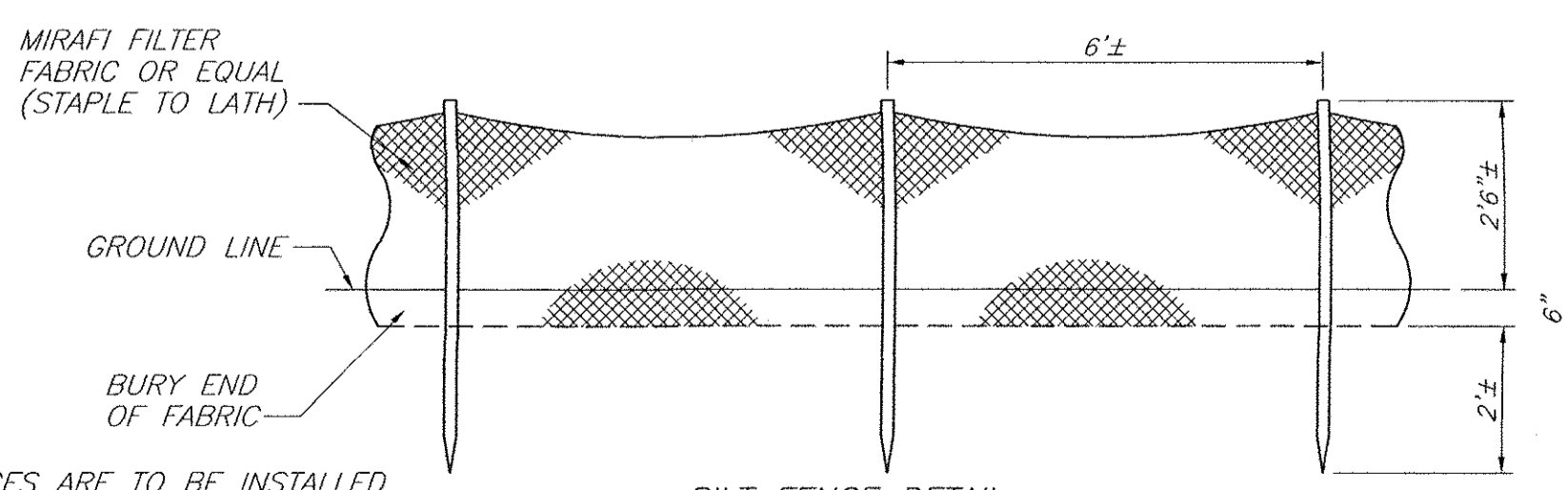
- WELL NOTES:**
1. CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION
 2. WELL TO BE INSTALLED PER 10NYCRR PART 5 APPENDIX 5-B "STANDARDS FOR WATER WELLS" NOV. 2005 EDITION
 3. WELL SHALL HAVE A MIN. YIELD OF 5 GPM.
 4. WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.

TYPICAL WELL DETAIL
N.T.S.



1. INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DROPBOX.
2. ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.

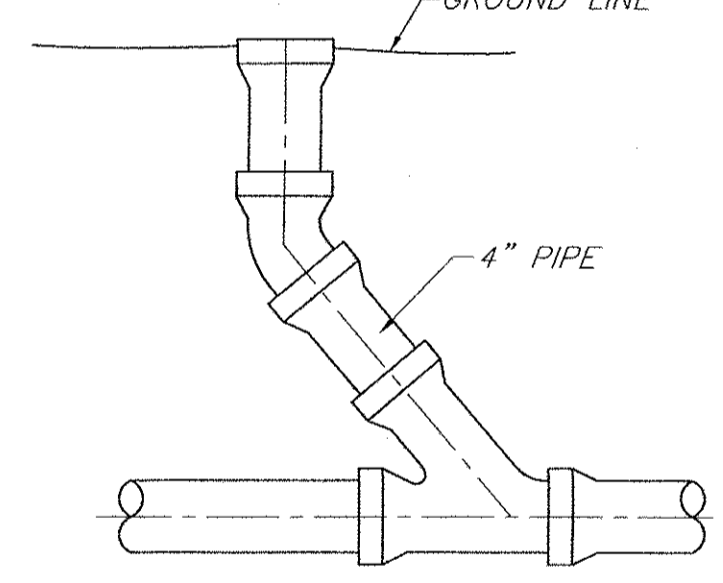
WOODARD'S SPEED LEVELER FSL-4
N.T.S.



SILT FENCE DETAIL
N.T.S.

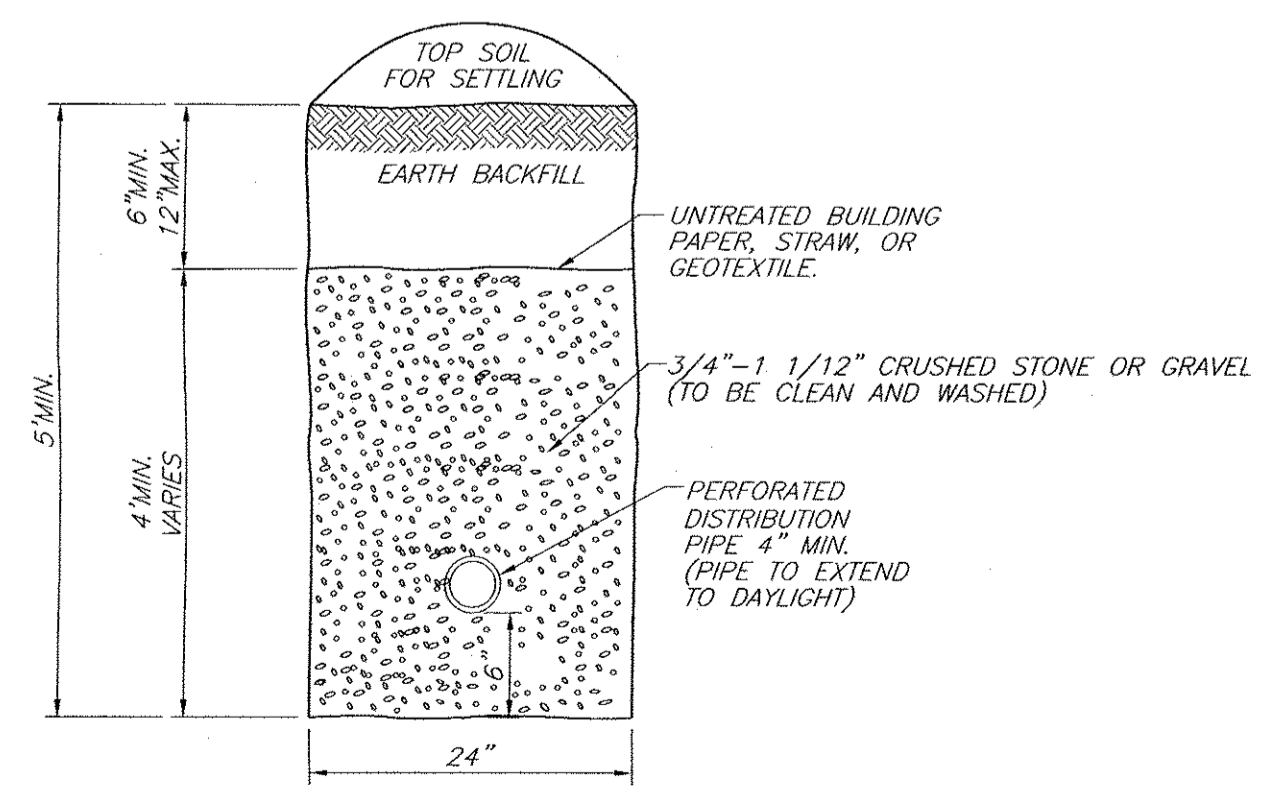
NOTE: SILT FENCES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. SILT FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT IS TO BE REMOVED IN FRONT OF FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE FENCES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. SILT FENCES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.



CLEANOUT DETAIL
N.T.S.

TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS AND AT EVERY 75' OF STRAIGHT PIPE. (DO NOT USE WITH PUMP CHAMBER)



CURTAIN DRAIN
N.T.S.

REVISIONS

REV.	DATE	BY	DESCRIPTION
2	06/21/16	RBM	REVISED DRIVEWAY
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TALCOTT ENGINEERING DESIGN PLLC

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TALCOTTDESIGN12@GMAIL.COM

ENGINEER

CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

DETAILS

PROPOSED SUBDIVISION ENTITLED "DIXON SUBDIVISION II"
 85 FOREST ROAD (COUNTY RT 23)
 SBL 3-1-103.3, LOT #3 FM#42-94
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 05/27/14 SCALE: AS NOTED JOB NUMBER: 13074-PIE SHEET NUMBER: 3 OF 4



SWALES/DITCHES:

- ALL DITCHES AND SWALES ARE REQUIRED TO BE REGRADED TO ENSURE POSITIVE DRAINAGE UPON COMPLETION OF THE INSTALLATION OF THE PROPOSED CULVERT PIPE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED NOR THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
- ALL SWALES ARE REQUIRED TO BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE.
- ALL DISTURBED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS.

DRIVEWAY NOTES:

1. THE DRIVEWAY APRON OF THE RESIDENTIAL ENTRANCE SHALL BE PAVED PER ORANGE COUNTY SPECIFICATIONS FOR THE FIRST 20 FEET FROM THE EDGE OF PAVEMENT
2. THE SUBBASE SHALL BE 12 INCHES OF NYS DOT ITEM 304.12
3. THE TOP COURSE SHALL BE ITEM NUMBER 402.127102 MIX TYPE 12.5F1 70 SERIES COMPACTION BASED ON THE NYS DOT STANDARD SPECIFICATIONS JANUARY 9 2014
4. ALL SIDE SLOPES AT THE PROPOSED ENTRANCE SHALL BE A 1 ON 3 MINIMUM

SWALES/DITCHES NOTES: (IF REQUIRED)

1. ALL DITCHES AND SWALES SHALL BE REGRADED TO ENSURE POSITIVE DRAINAGE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED. THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
2. ALL SWALES SHALL BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE
3. ALL DISTRIBUTED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS

BACKFILL MATERIALS (IF REQUIRED):

1. SEE CROSS SECTION FOR BACKFILL REQUIREMENTS WITHIN THE ASPHALT, WITHIN 8 FEET OF THE EDGE OF THE PAVEMENT, AND 8 FEET BEYOND FROM THE EDGE OF PAVEMENT
2. DRY K CRETE SHALL BE USED AT ALL ROAD CROSSING (TOWN ROADS), COMMERCIAL ENTRANCES, AND ALL TRENCHES WITHIN ASPHALT OR AS DIRECTED BY ORANGE COUNTY INSPECTOR
3. ITEM NO. 4: ITEM 304.12 SUBBASE COURSE TYPE 2 SHALL TO BE USED AS BACKFILL FROM EDGE OF PAVEMENT OUT EIGHT FEET
4. EXCAVATED IS ALLOWED TO BE USED AS BACKFILL MATERIAL 8 FT. BEYOND THE EDGE OF PAVEMENT. NO BOULDER/ROCKS OVER 12 INCHES ARE ALLOWED TO BE USED AS BACKFILL
5. MATERIAL TICKETS SHALL BE PROVIDED TO THE ORANGE COUNTY INSPECTOR ON A DAILY BASIS FOR ALL MATERIAL USED IN THE COUNTY RIGHT OF WAY

COMPACTION

ALL FOLLOWING EQUIPMENT SHALL BE ON SITE ON A DAILY BASIS AND FULLY OPERATIONAL

1. VIBRATORY TRENCH ROLLER; PRIMARY COMPACTION EQUIPMENT
2. JUMPING JACK COMPACTOR; SECONDARY COMPACTION EQUIPMENT FOR USE IN TIGHT AREAS, WHERE THE VIBRATORY TRENCH ROLLER CAN NOT BE USED
3. MECHANICAL SWEEPER
4. SIDE-DUMP LOADER OR SKID STEER (I.E. BOBCAT)
5. ASPHALT ROLLER

IF ANY OF THE EQUIPMENT LISTED ABOVE IS NOT OPERATIONAL, NO EXCAVATING SHALL BE PERFORMED UNTIL ALL EQUIPMENT IS

ASPHALT RESTORATION:

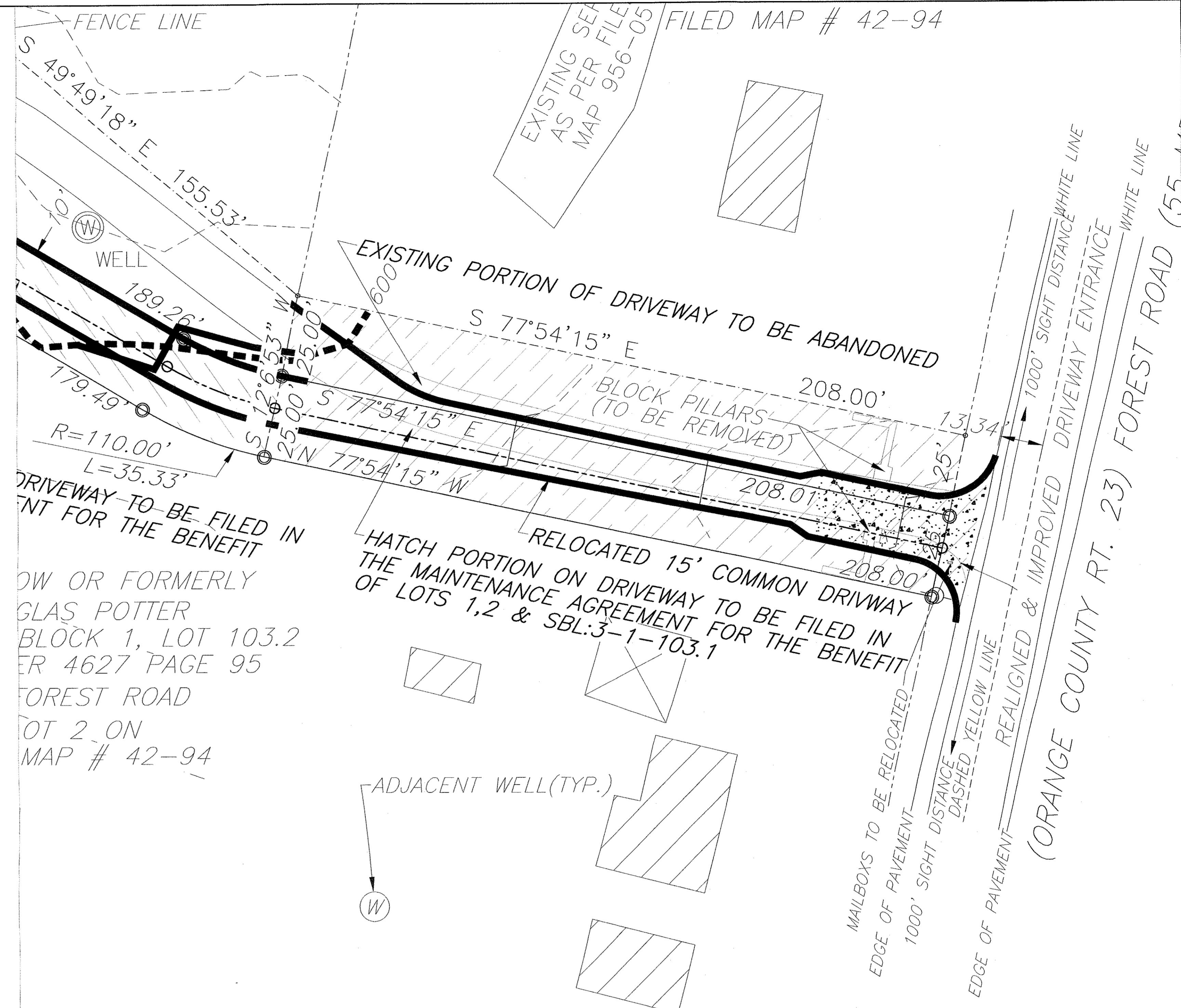
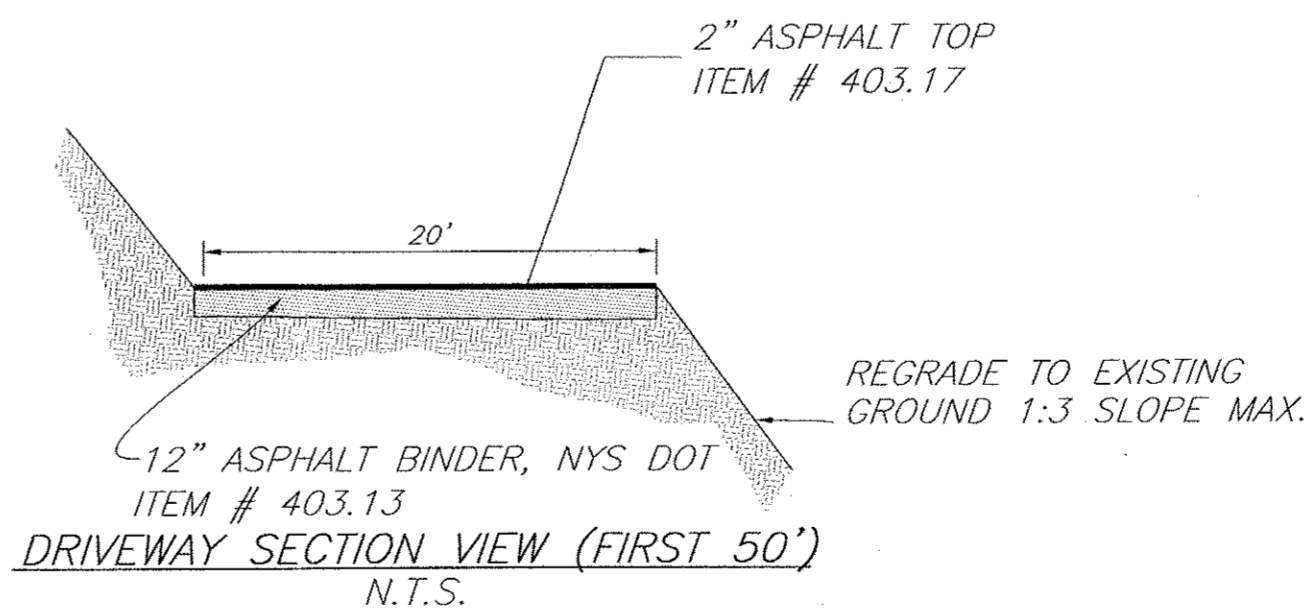
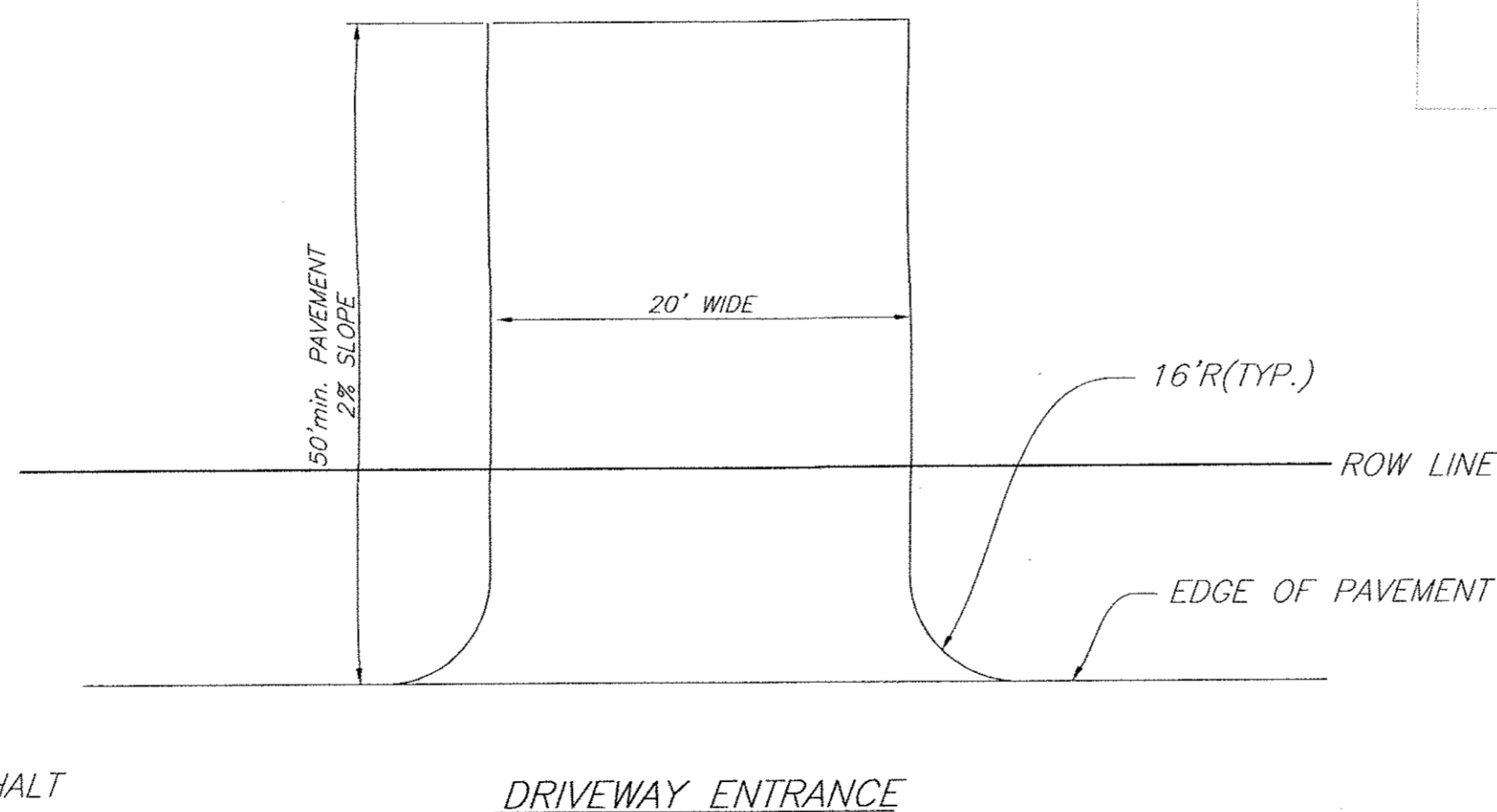
1. ALL PAVEMENT RESTORATION NEEDS TO BE COMPLETED ON A DAILY BASIS
2. RAGGED TRENCH EDGES MUST SAW CUT PRIOR TO ANY PAVING (TEMPORARY OR PERMANENT)
3. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE 5" OF BINDER COURSE FLUSH WITH THE EXISTING PAVEMENT SURFACE THROUGHOUT THE DURATION OF THE PROJECT. FINAL ASPHALT RESTORATION IS TO BE COMPLETED AT THE COMPLETION OF THE PROJECT
4. ALL TEMPORARY ASPHALT SHALL BE 5 INCHES THICK AND PLACED IN TWO LIFTS OF 2 1/2"
5. ALL EDGES OF EXISTING ASPHALT SHALL BE SWEEPED AND TACK COATED PRIOR TO PAVING
6. ALL ASPHALT SHALL BE SAW CUT PARALLEL OR PERPENDICULAR TO THE TRENCH OR TO THE EXISTING ASPHALT. NO REGGED EDGES ARE ACCEPTABLE
7. ALL SAW CUTTING SHALL BE PERFORMED PRIOR TO PLACING ASPHALT BINDER. MILLING OUT THE JAGGED EDGES ON OR THE TOP COURSE OR FINAL ASPHALT WILL NOT BE ACCEPTED BY ORANGE COUNTY.
8. ALL ASPHALT JOINTS SHALL BE CRACK SEALED UPON COMPLETING FINAL PAVING.

COUNTY STANDARD NOTE:

"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

LANDSCAPING:

- NO PLANTINGS (SHRUBS/TREES) OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, STONE MAILBOXES, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT OF WAY.
- ANY PLANTING AND LANDSCAPING FEATURES ARE REQUIRED TO BE OFFSET FROM THE PROPERTY LINE BY 4 FEET.



REVISIONS			
REV.	DATE	BY	DESCRIPTION
1	06/21/16	R.B.M.	REVISED DRIVEWAY

TOWN PROJECT #14-15
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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ENGINEER
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P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

DRIVEWAY ENTRANCE EMPROVEMENTS
PROPOSED SUBDIVISION ENTITLED
"DIXON SUBDIVISION II"
85 FOREST ROAD (COUNTY RT 23)
SBL 3-1-103.3, LOT #3 FM#42-94
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 06/06/14
SCALE: AS NOTED
JOB NUMBER: 13074-PIE
SHEET NUMBER: 4 OF 4