



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH  
PLANNING BOARD  
REVIEW COMMENTS**

**PROJECT: DIXON 2 LOT SUBDIVISION**  
**PROJECT NO.: 14-15**  
**PROJECT LOCATION: SECTION 3, BLOCK 1, LOT 103.31**  
**REVIEW DATE: 5 JULY 2016**  
**MEETING DATE: 7 JULY 2016**  
**PROJECT REPRESENTATIVE: TALCOTT ENGINEERING**

1. Portions of the driveway to be abandoned should be addressed, are they to be removed and replanted? Notes pertaining to how the driveway will be abandoned should be added to the plans.
2. Common driveway access and maintenance agreements should be provided.
3. Applicant's representative notes that Town Board granted 3 houses on a common driveway on 20 June 2016. Confirmation from Town Board minutes should be received for Planning Board file.
4. A condition of approval is noted that the well on proposed Lot #1 must be constructed prior to signing of the maps as the new proposed Lot #2 will utilize the existing well which serves lot #1. Confirmation that the well has been connected to Lot #1's existing house should be received.
4. Orange County DPW approval for the driveway should be received.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Associate

REGIONAL OFFICES

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •

# Talcott Engineering DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550  
(845) 569-8400 ~ (fax) (845) 569-4583

JUN 27 2016

June 24, 2016

Town of Newburgh  
Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re: Dixon Subdivision II (2 Lots)  
Town Project No. 2014-15  
S-B-L: 3-1-103.31  
Job No. 13074-PEI

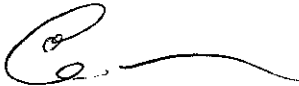
Dear John,

Please be advised that Talcott Engineering has prepared a revised subdivision plan set for the above referenced project. Said plan set has been revised to address the following:

- 1) The driveway entrance to Forest Road (County Rte. 23) has been revised per the County DPW.
- 2) The driveway has been modified per the owner of S/B/L: 3-1-103.32
- 3) Town Board approval granted for 3 houses on a common driveway is noted on Sheet 1.

We have prepared 12 subdivision plan sets, and delivered to the Planning Board office, delivered one set to Patrick Hines, and mailed a set to Michael Donnelly.

Respectfully yours,



Charles T. Brown, P.E. – President  
Talcott Engineering Design

Pc: Percy Dixon, Owner

**ZONING SCHEDULE**

ZONE: AR

	REQUIRED	LOT #1 PROPOSED	LOT #2 PROPOSED
MINIMUM LOT AREA	0.92ac. (40,000sf.)	103,051sf.	193,278sf.
MINIMUM LOT WIDTH (feet)	150'	295'	348'
MINIMUM LOT DEPTH (feet)	150'	357'	472'
MINIMUM YARDS (feet)			
FRONT	50'	110'	51'
REAR	50'	82'	391'
SIDE			
ONE	30'	121'	31'
BOTH	80'	258'	279'
MINIMUM HABITABLE FLOOR AREA	900sf.	>900sf.	>900sf.
MAXIMUM LOT BUILDING COVERAGE	10%	3%	1%
MAXIMUM BUILDING HEIGHT	35'	35' max.	35' max.
MAXIMUM LOT SURFACE COVERAGE	20%	18%	4%
MINIMUM BUILDING AREA	10,000sf.	46,267sf.	25,799sf.

**LOT #1 NOTES**

1. THE PROPOSED WELL ON LOT #1 SHALL BE CONSTRUCTED PRIOR TO THE PLANNING BOARD CHAIRMAN SIGNING OF MAPS FOR FILING THE SUBDIVISION IN ORANGE COUNTY.

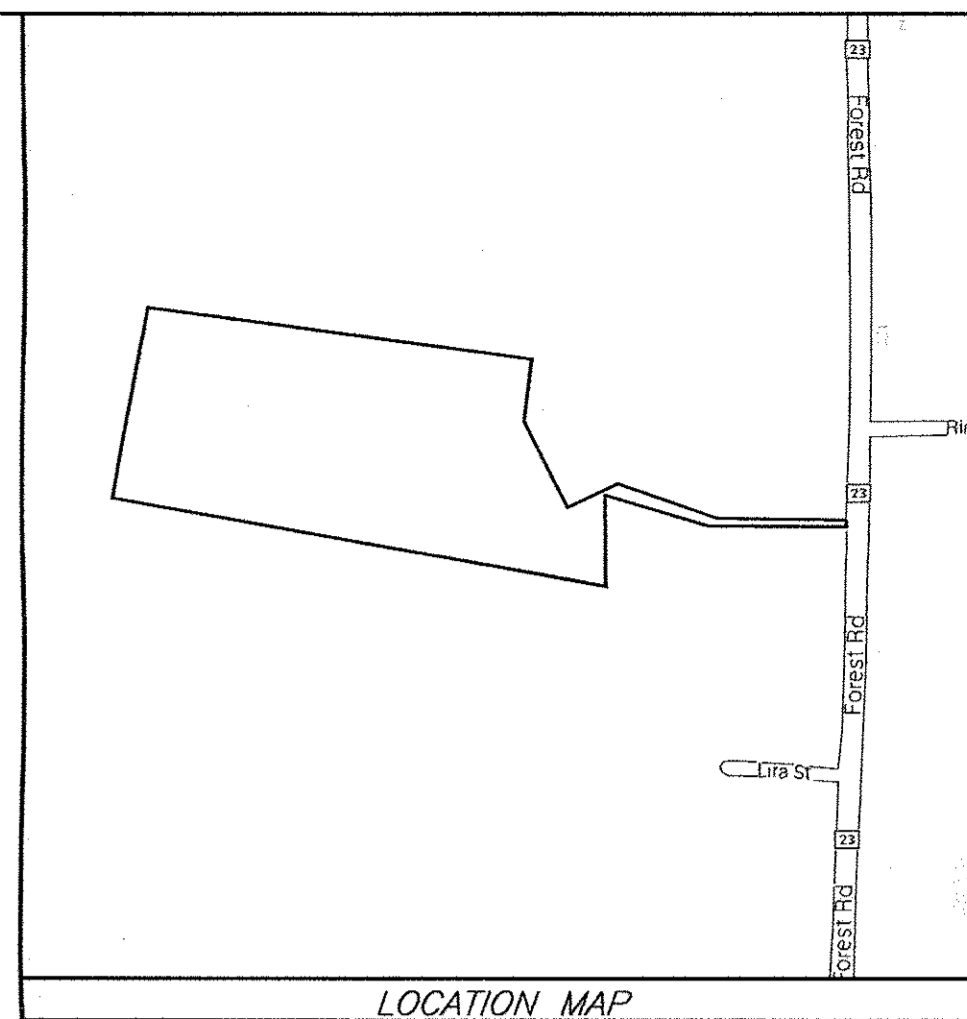
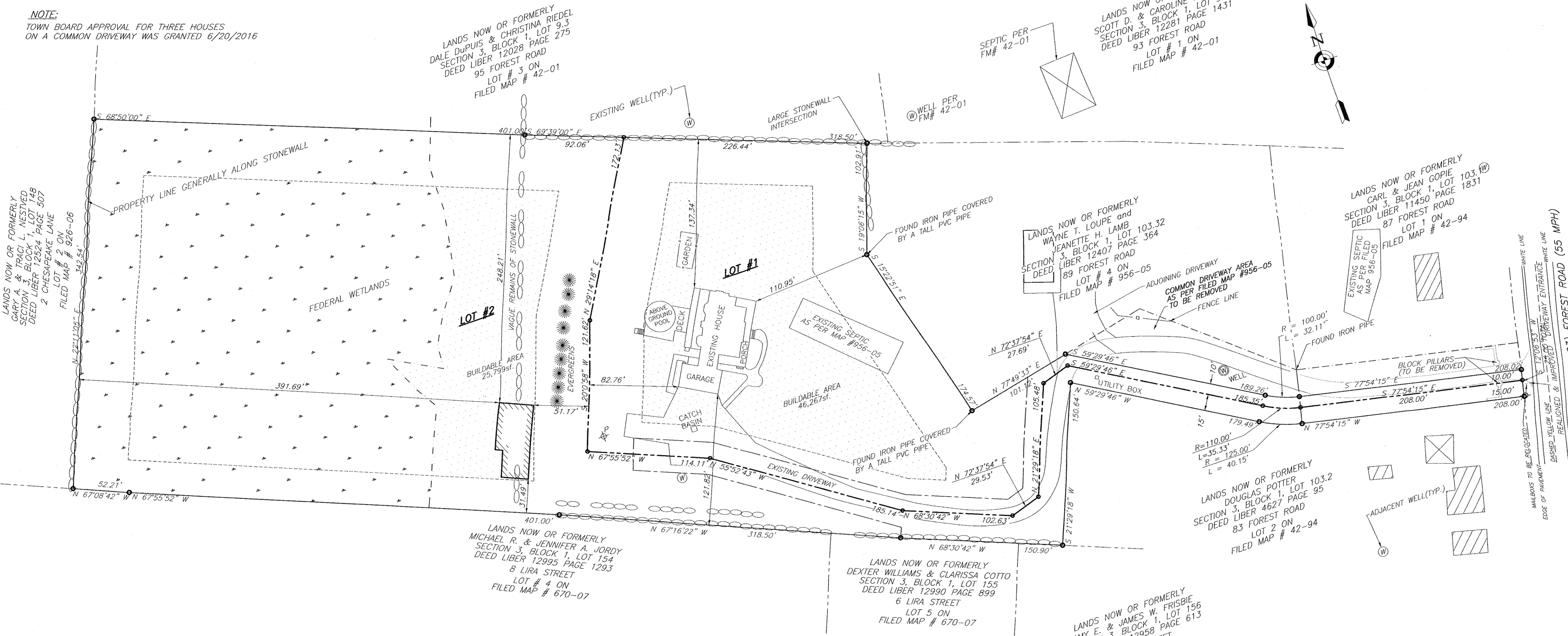
**LOT #2 NOTES**

1. LOT SPECIFIC PLOT PLANS FOR LOT #2 SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION AND FOUNDATION AND SEPTIC FIELDS SHALL BE STAKED OUT, PER PLOT PLAN, BY A LICENSED SURVEYOR, PRIOR TO CONSTRUCTION.

**MAP REFERENCES:**

- ALL EXISTING FEATURES, INCLUDING TOPOGRAPHY, BUILDINGS, PROPERTY LINES AND ROADS PER A SURVEY ENTITLED "PERCY DIXON & KIMBERLY DIXON" PERFORM BY MARGARET M. HILLRIEGEL, P.L.S., LAST REVISED ON AUGUST 7, 2013.
- EXISTING FEDERAL WETLAND BOUNDARY FLAGGED BY BIOLOGIST MIKE NOWICKI AND LOCATED BY MARGARET M. HILLRIEGEL, P.L.S., DURING JULY 2013.

**NOTE:**  
TOWN BOARD APPROVAL FOR THREE HOUSES ON A COMMON DRIVEWAY WAS GRANTED 6/20/2016



**COUNTY STANDARD NOTE:**  
"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

**APPLICANT:**

PERCY & KIMBERLY DIXON  
35 FOREST ROAD  
WALKKILL, NY 12589

**RECORD OWNER'S CONSENT NOTE:**

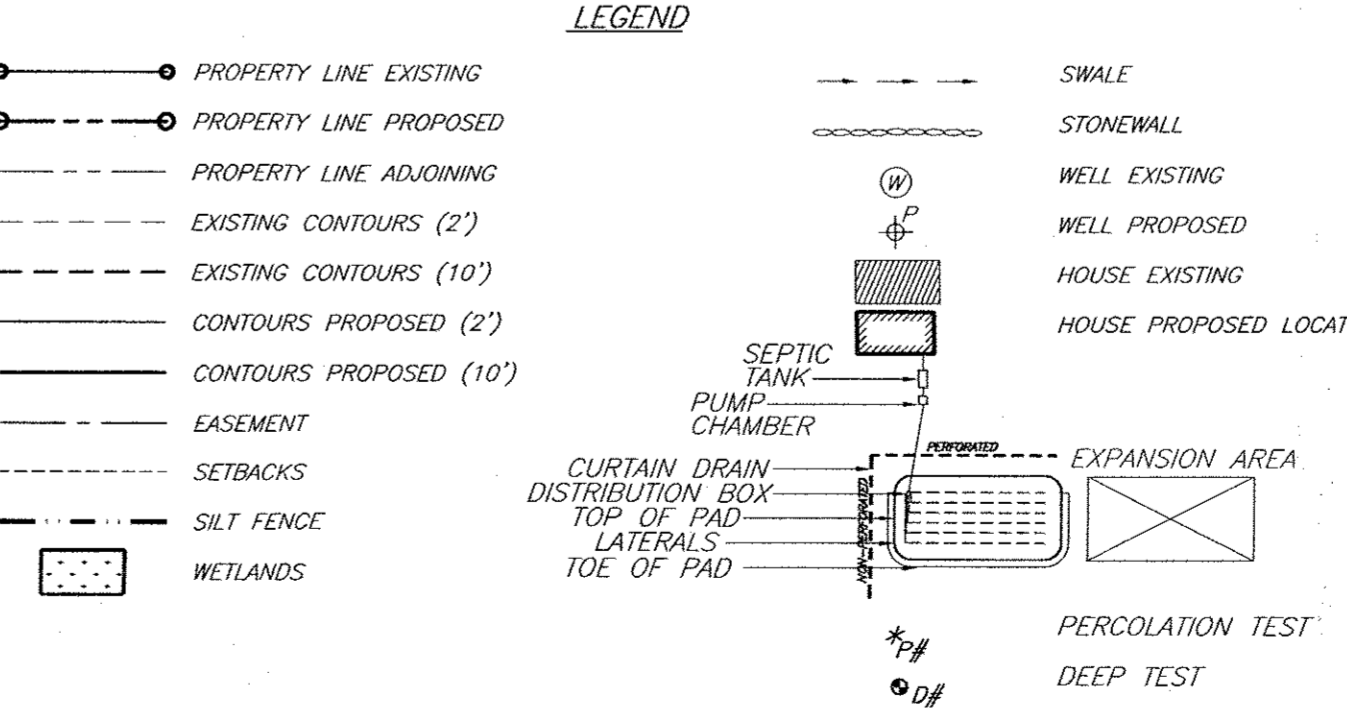
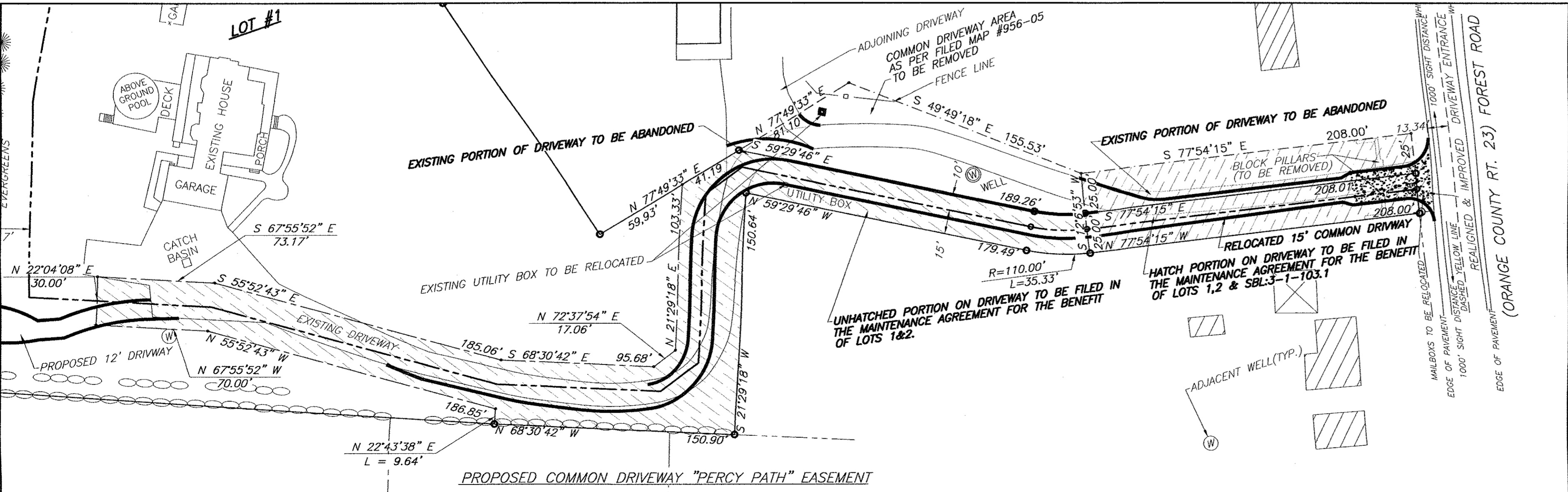
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE \_\_\_\_\_ PERCY & KIMBERLY DIXON  
35 FOREST ROAD  
WALKKILL, NY 12589

**SURVEYOR'S CERTIFICATION:**

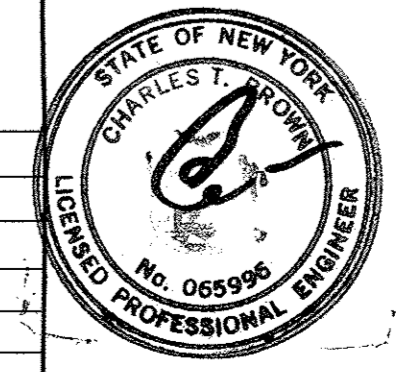
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED BY ME IN THE FIELD ON AUGUST 7, 2013.

MARGARET M. HILLRIEGEL  
LICENSE NO. 50253



**REVISIONS**

REV.	DATE	BY	DESCRIPTION
4	06/21/16	RBM	REVISED DRIVEWAY
3	03/03/15	RBM	REVISED DRIVEWAY
2	11/21/14	RBM	REVISED TOWN COMMENTS
1	11/11/14	RBM	REVISED COMMON DRIVEWAY



TOWN PROJECT #14-15  
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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(FAX) (845)-569-4583  
TALCOTTDESIGN12@GMAIL.COM

JUN 23 2016

<b>ENGINEER</b>	<b>CHARLES T. BROWN, P.E.</b>		
	P.O. BOX 4470 NEW WINDSOR, N.Y. 12553		
	<b>LOT LAYOUT</b>		
	<b>PROPOSED SUBDIVISION ENTITLED "DIXON SUBDIVISION II"</b>		
	<b>85 FOREST ROAD (COUNTY RT 23)</b>		
	<b>SBL 3-1-103.31, LOT #3 FM#42-94</b>		
	<b>TOWN OF NEWBURGH, ORANGE COUNTY, NY</b>		
DATE	SCALE	JOB NUMBER	SHEET NUMBER
05/27/14	1"=50'	13074-PEI	1 OF 4

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811

**TOWN CERTIFICATION:**

I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE PROPOSED SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER.

CALL BEFORE YOU DIG... IT'S THE LAW

**SWALES/DITCHES:**

- ALL DITCHES AND SWALES ARE REQUIRED TO BE REGRADED TO ENSURE POSITIVE DRAINAGE UPON COMPLETION OF THE INSTALLATION OF THE PROPOSED CULVERT PIPE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED NOR THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
- ALL SWALES ARE REQUIRED TO BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE.
- ALL DISTURBED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS.

**LANDSCAPING:**

- NO PLANTINGS (SHRUBS/TREES) OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, STONE MAILBOXES, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT OF WAY.
- ANY PLANTING AND LANDSCAPING FEATURES ARE REQUIRED TO BE OFFSET FROM THE PROPERTY LINE BY 4 FEET.

**SEPTIC SYSTEM GENERAL NOTES:**

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINES ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 35' OF ANY WATER COURSE DRAINAGE DITCH.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
  - "WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
  - "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
  - "PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."
- "THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY. TOWN PROJECT #14-15 THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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ENGINEER

**CHARLES T. BROWN, P.E.**

P.O. BOX 4470  
NEW WINDSOR, N.Y. 12553



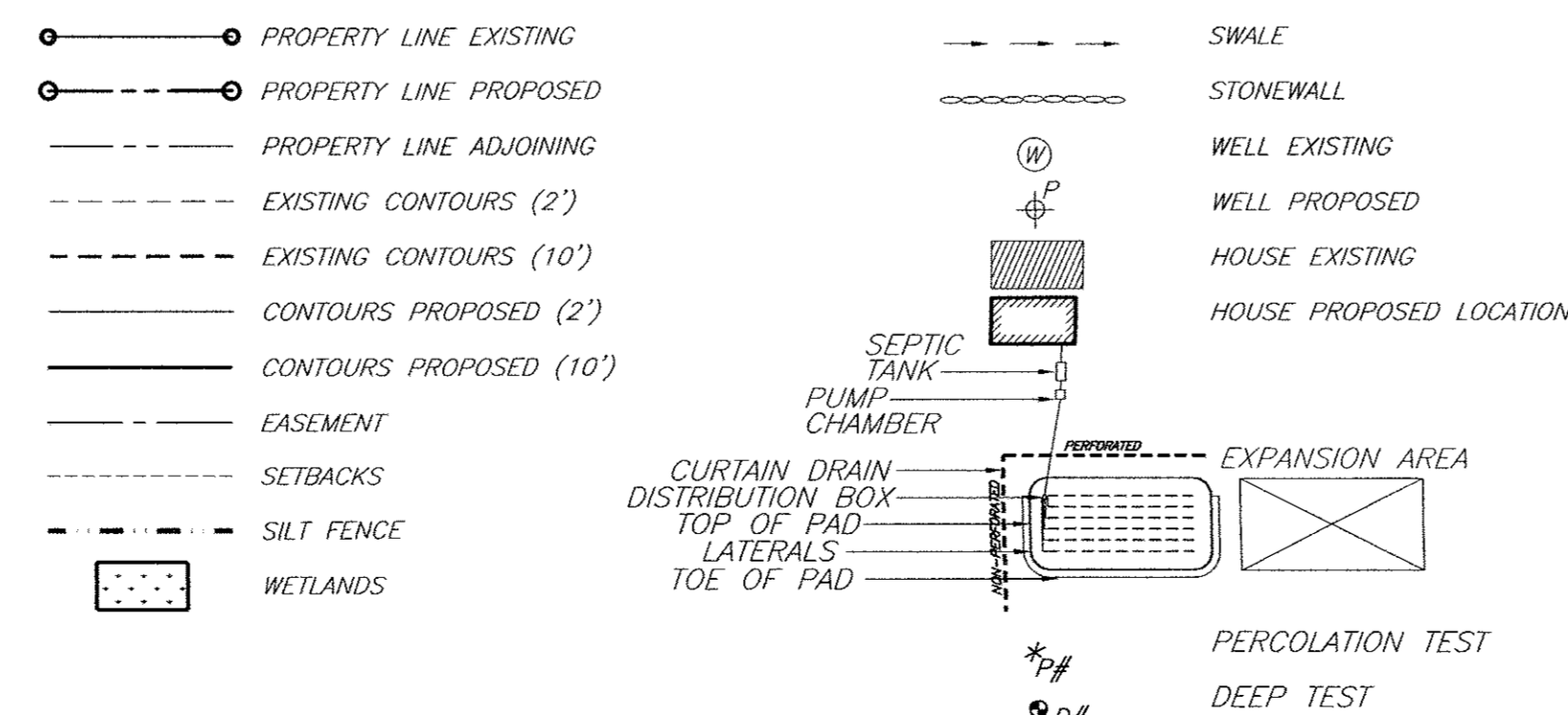
**GRADING**

PROPOSED SUBDIVISION ENTITLED  
"DIXON SUBDIVISION II"  
85 FOREST ROAD (COUNTY RT 23)  
SBL 3-1-103.31, LOT #3 FM#42-94  
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
05/27/14	1"=50'	13074-PEI	2 OF 4

REV.	DATE	BY	DESCRIPTION
3	06/21/16	RBM	REVISED DRIVEWAY
2	11/21/14	RBM	REVISED TOWN COMMENTS
1	11/11/14	RBM	REVISED COMMON DRIVEWAY

**LEGEND**



**SEPTIC DESIGN CRITERIA: LOT#2**

1. NO. OF BEDROOMS- 3max.
2. SEPTIC TANK DESIGN-1,250 GAL
3. STABILIZED PERCOLATION RATE-43 MIN/IN
4. FLOW RATE (GALS /DAY)- 330
5. DESIGN LENGTHS: PROVIDE 4 LATERALS @ 86' = 344ft. (330ft. REQ'D)
6. FILL REQUIRED: 18"min. SHALLOW TRENCH SYSTEM
7. PUMP CHAMBER REQUIRED

**PERCOLATION DATA: LOT 2**

P1	12" DEEP	11/18/13	1	2	3	4
FINISH	2:02	2:38	3:22	4:06		
START	1:32	2:03	2:39	3:23		
TIME	:28	:36	:43	:43		
STABILIZED PERCOLATION RATE: 43 MINUTES /INCH						

**P2 12" DEEP 11/15/13**

P2	12" DEEP	11/15/13	1	2	3	4
FINISH	1:59	2:30	3:07	3:45		
START	1:36	1:59	2:30	3:08		
TIME	:23	:31	:37	:37		
STABILIZED PERCOLATION RATE: 37 MINUTES /INCH						

**DEEP TEST DATA: LOT#2**

D1	72" DEEP	11/15/13
0-7"	TOPSOIL	
7'-6"	CLAY LOAM	
	MOTTLING @ 4"	

**SEPTIC CERTIFICATION:**

SUBMISSION OF CERTIFICATION AND AS-BUILT TO THE TOWN OF NEWBURGH CODE COMPLIANCE DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR LOT #2.

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LANDS NOW OR FORMERLY CARL & JEAN GOPIE SECTION 3, BLOCK 1, LOT 103.31 DEED LIBER 12504 PAGE 1831 FILED MAP # 42-94

LANDS NOW OR FORMERLY DALE DUPUIS & CHRISTINA RIEDEL SECTION 3, BLOCK 1, LOT 9.3 DEED LIBER 12028 PAGE 275 95 FOREST ROAD LOT # 3 ON FILED MAP # 42-01

LANDS NOW OR FORMERLY SCOTT D. & CAROLINE M. GOLL SECTION 3, BLOCK 1, LOT 9.1 DEED LIBER 12281 PAGE 1431 93 FOREST ROAD LOT # 1 ON FILED MAP # 42-01

LANDS NOW OR FORMERLY WAYNE T. LOUPE and JEANETTE H. LAMB SECTION 3, BLOCK 1, LOT 103.32 DEED LIBER 12407 PAGE 364 89 FOREST ROAD LOT # 4 ON FILED MAP # 956-05

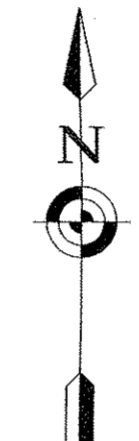
LANDS NOW OR FORMERLY CARL & JEAN GOPIE SECTION 3, BLOCK 1, LOT 103.31 DEED LIBER 11450 PAGE 1831 87 FOREST ROAD LOT 1 ON FILED MAP # 42-94

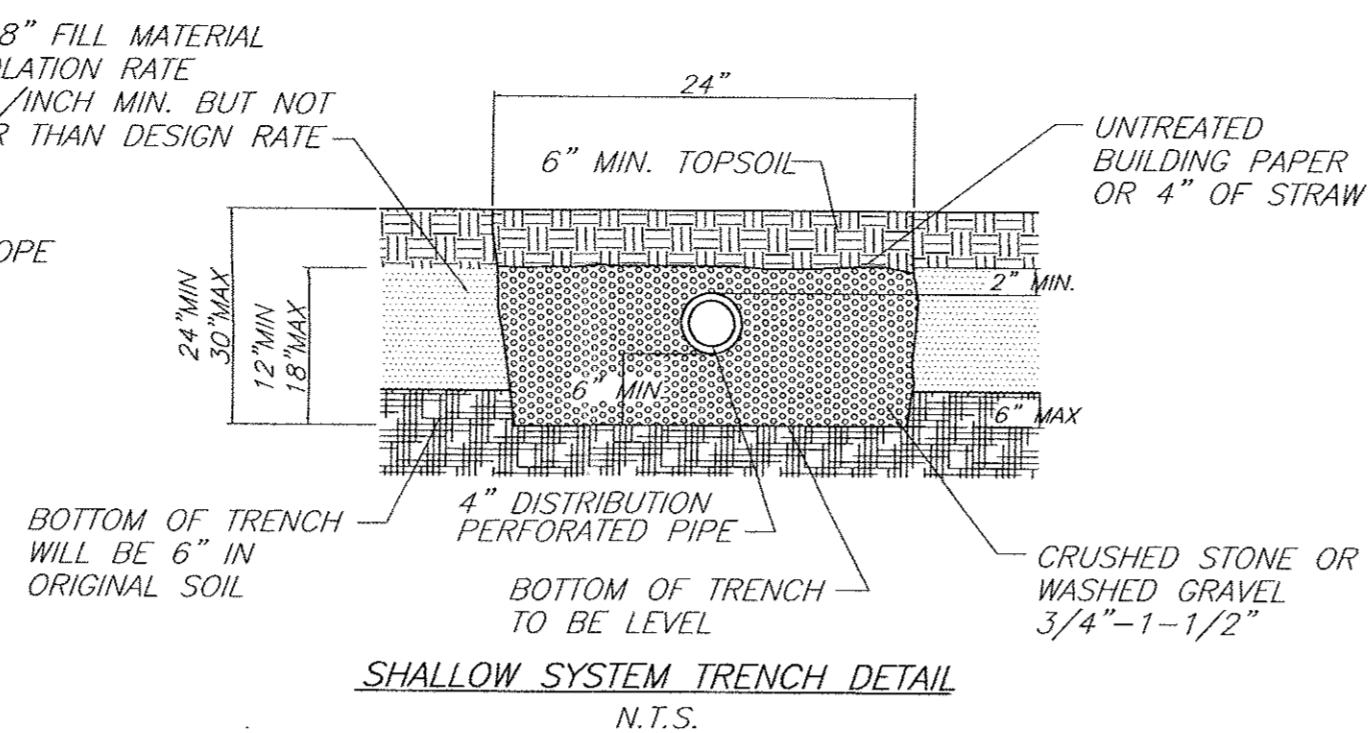
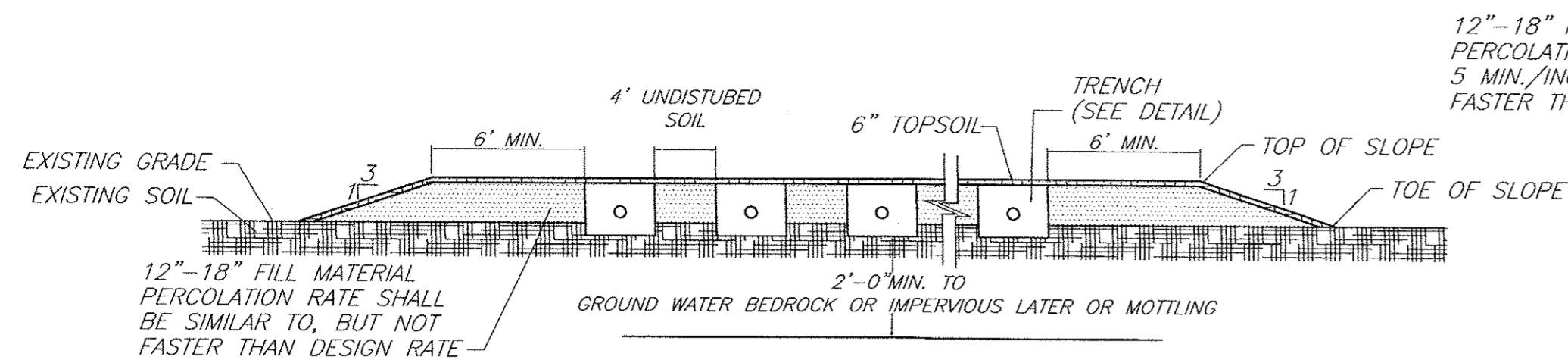
LANDS NOW OR FORMERLY MICHAEL R. & JENNIFER A. JORDY SECTION 3, BLOCK 1, LOT 154 DEED LIBER 12995 PAGE 1293 8 LIRA STREET LOT # 4 ON FILED MAP # 670-07

LANDS NOW OR FORMERLY DEXTER WILLIAMS & CLARISSA COTTO SECTION 3, BLOCK 1, LOT 155 DEED LIBER 12990 PAGE 899 6 LIRA STREET LOT 5 ON FILED MAP # 670-07

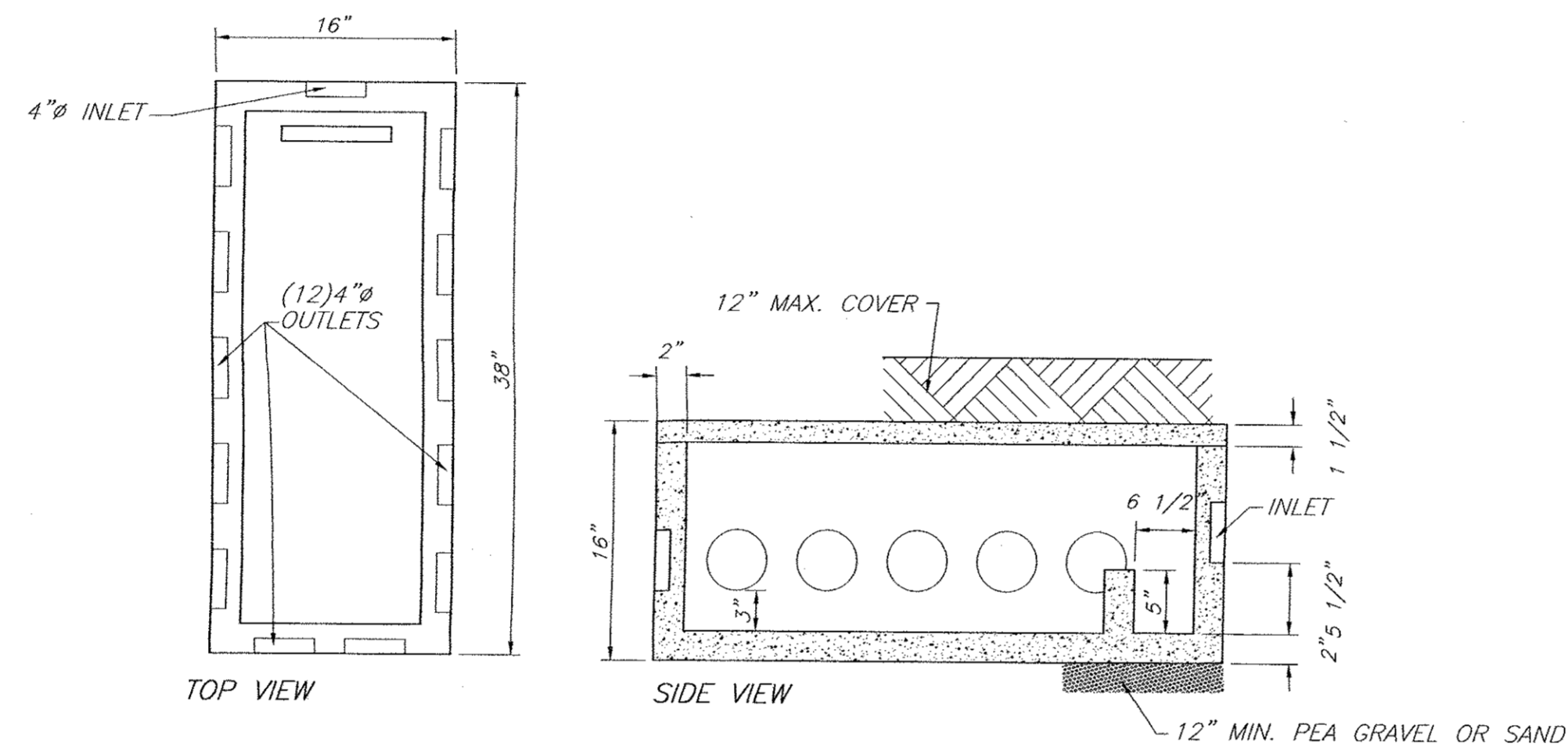
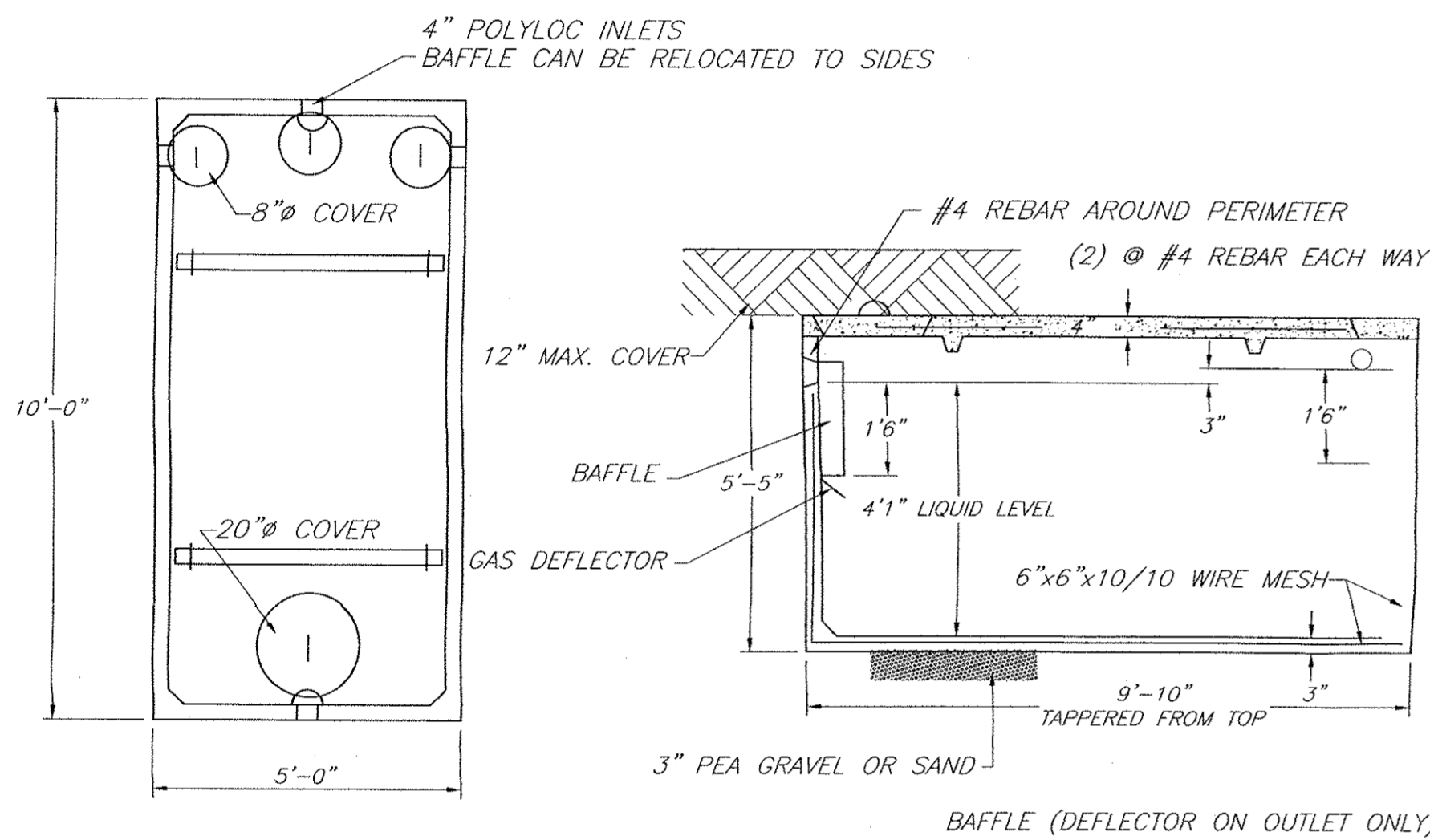
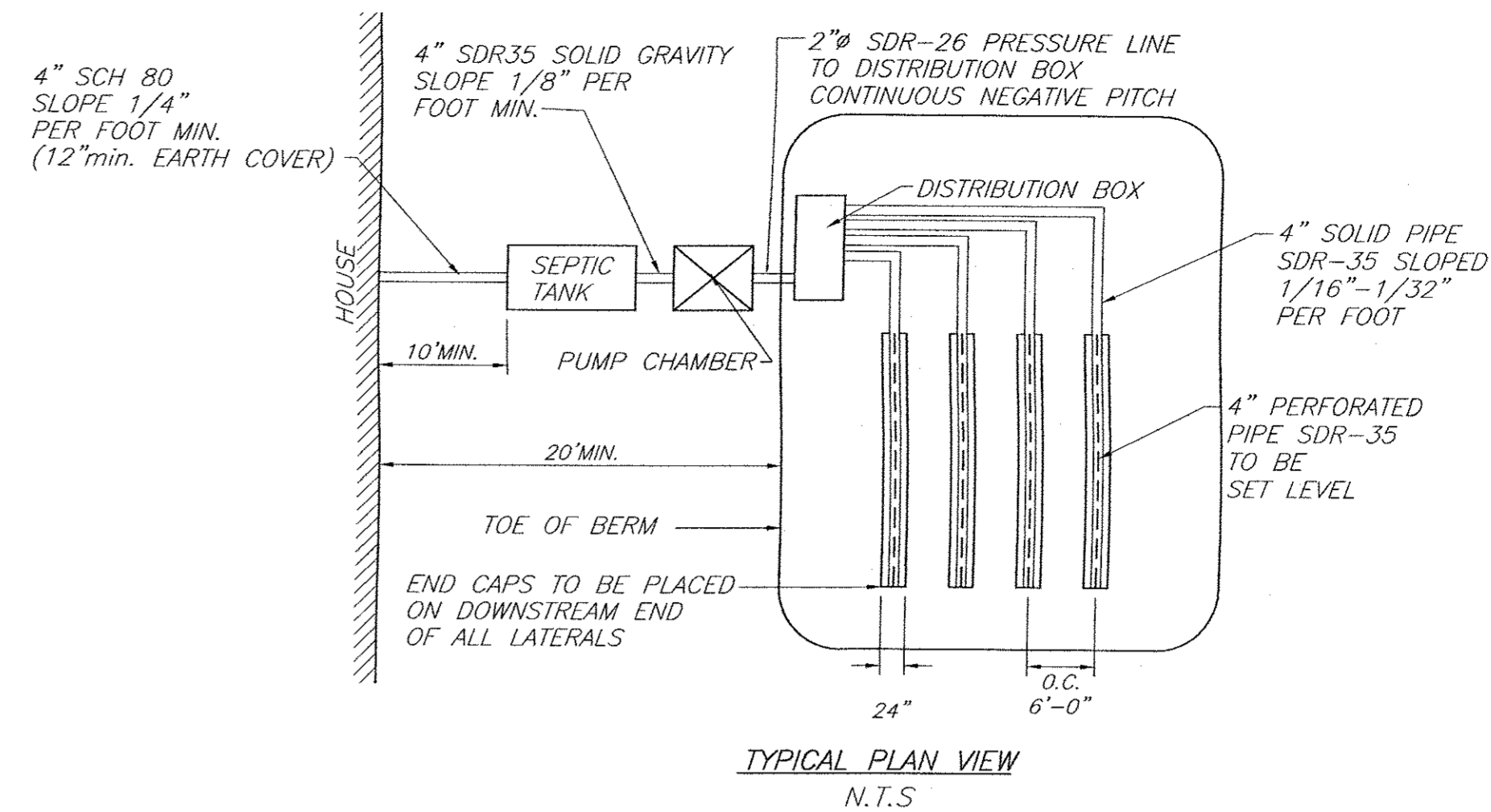
LANDS NOW OR FORMERLY DOUGLAS POTTER SECTION 3, BLOCK 1, LOT 103.2 DEED LIBER 4627 PAGE 95 83 FOREST ROAD LOT 2 ON FILED MAP # 42-94

LANDS NOW OR FORMERLY AMY E. & JAMES W. FRISBIE SECTION 3, BLOCK 1, LOT 156 DEED LIBER 12958 PAGE 613 4 LIRA STREET LOT 6 ON FILED MAP # 670-07





- NOTES:  
 1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL.  
 2. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".  
 3. MAXIMUM COVER OVER TRENCH AGGREGATE SHALL NOT EXCEED 12".

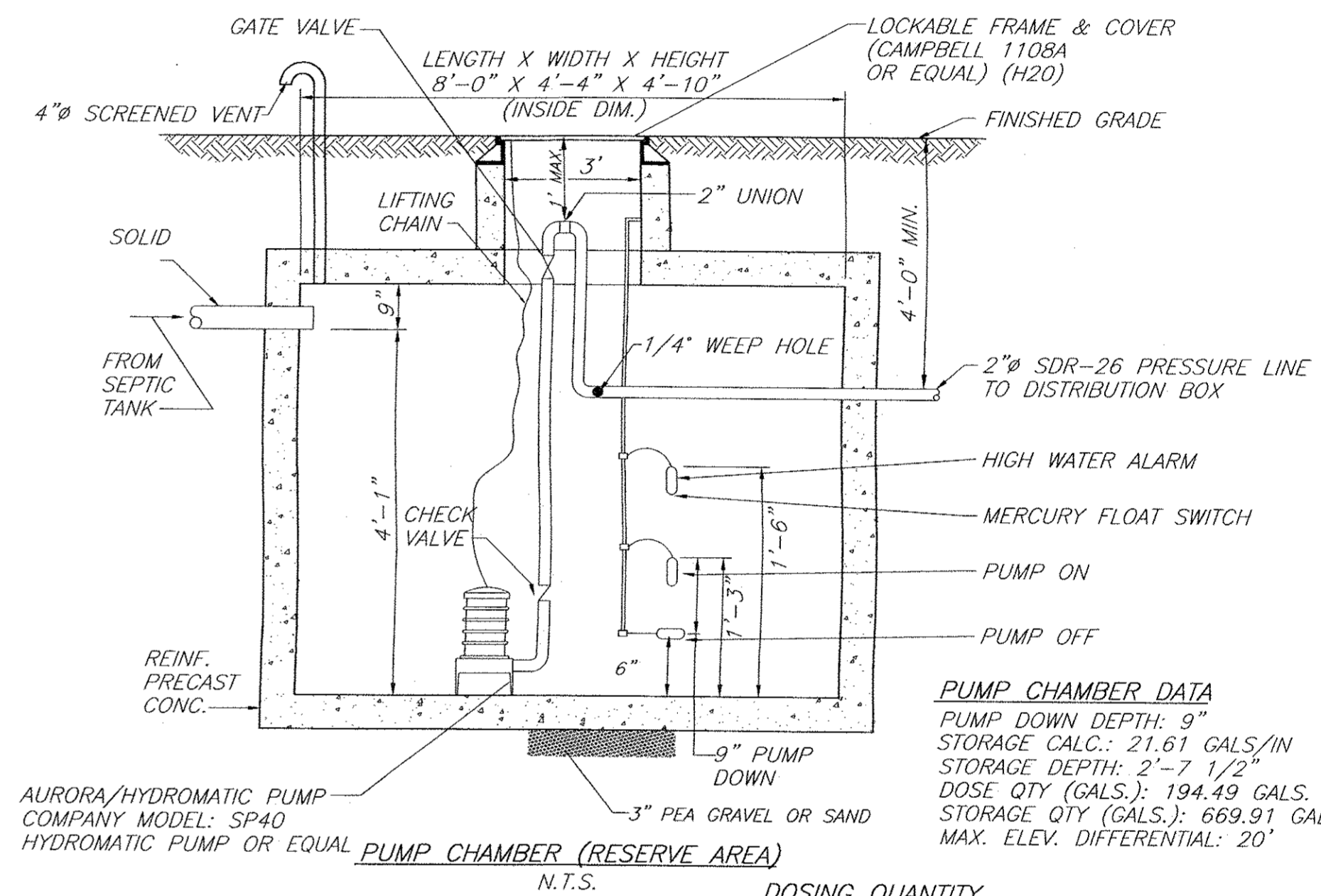


WOODARD'S 1250gal SEPTIC TANK OR EQUAL  
N.T.S.

**SPECIFICATIONS**  
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS  
 REINFORCEMENT- 6"x6"10GA. WWF, #4 REBAR  
 AIR ENTRAPMENT- 5%  
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT  
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)  
 LOAD RATING- 300PSF WEIGHT = 9,500LBS

WOODARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL  
N.T.S.

**SPECIFICATIONS**  
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS  
 REINFORCEMENT- 6"x6"10GA. WIRE MESH  
 AIR ENTRAPMENT- 5%  
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)  
 LOAD RATING- 300PSF WEIGHT= 325 LBS.



**PUMP CHAMBER DATA**  
 PUMP DOWN DEPTH: 9"  
 STORAGE CALC.: 21.61 GALS/IN  
 STORAGE DEPTH: 2'-7 1/2"  
 DOSE QTY (GALS.): 194.49 GALS.  
 STORAGE QTY (GALS.): 669.91 GALS.  
 MAX. ELEV. DIFFERENTIAL: 20"

**DOSING QUANTITY**  
 FORCE MAIN: 170' X 0.163GAL/LF = 27.71 GAL.  
 LATS.: 75% X 344LF X 0.653GAL/LF = 168.47 GAL.  
 196.18 GAL. TOTAL

PUMP CHAMBER NOTES:

- CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
- ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
- THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
- A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
- QUANTITY Dosed IS BASED UPON 75% OF 4" PIPE AND 100% OF FORCE MAIN.
- QUANTITY STORED IS BASED UPON (1) DAYS FLOW MINIMUM.
- AS-BUILT MUST SHOW FORCE MAIN LOCATION.

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ENGINEER

CHARLES T. BROWN, P.E.

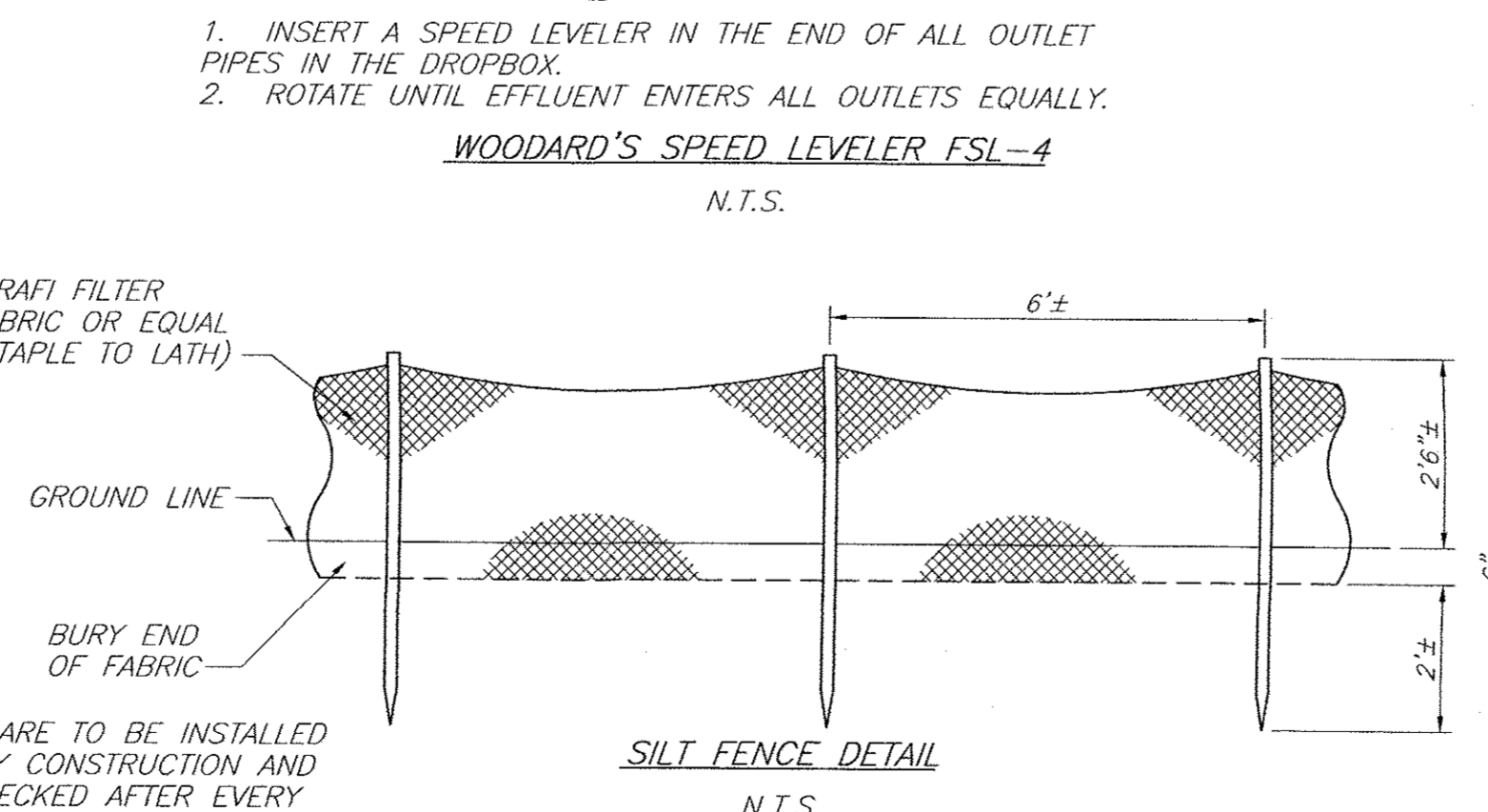
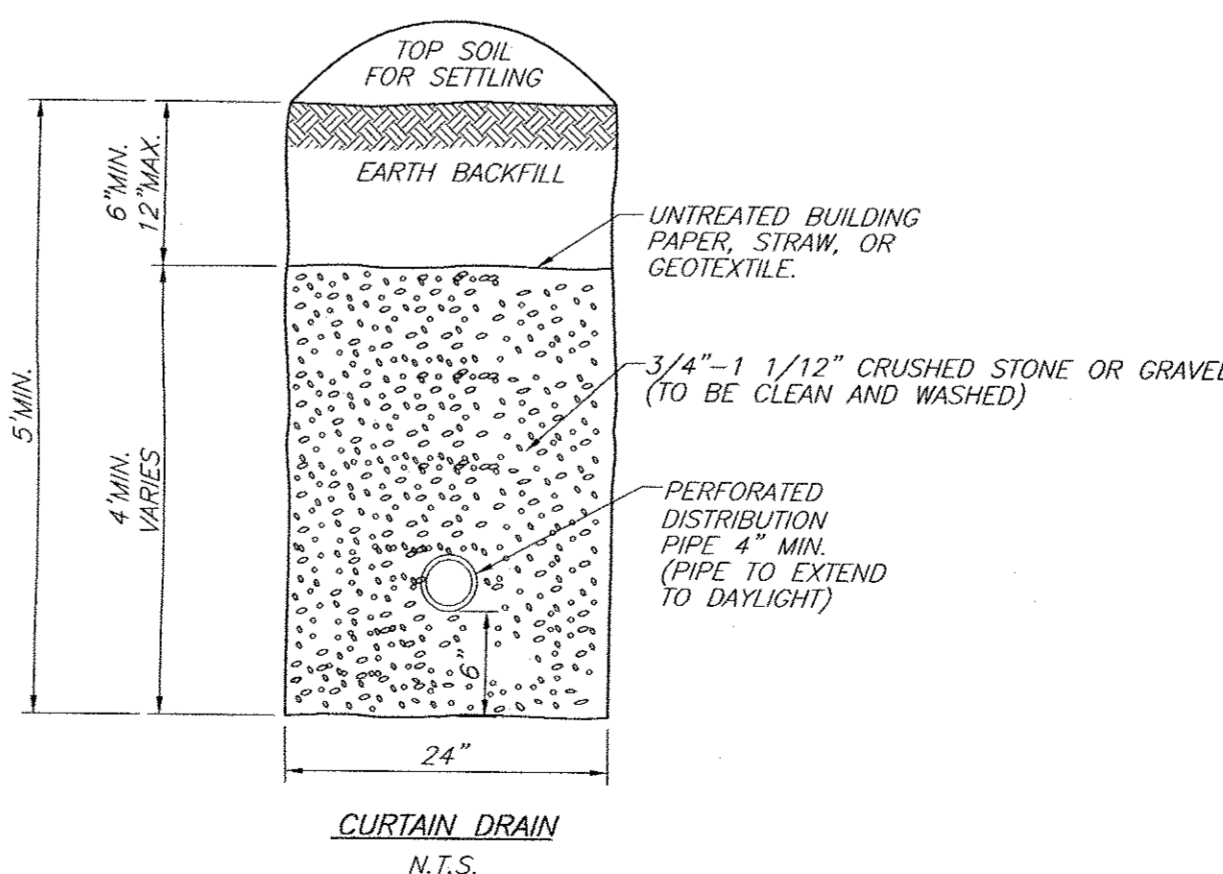
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DETAILS

PROPOSED SUBDIVISION ENTITLED  
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 SBL 3-1-103.3, LOT #3 FM#42-94  
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

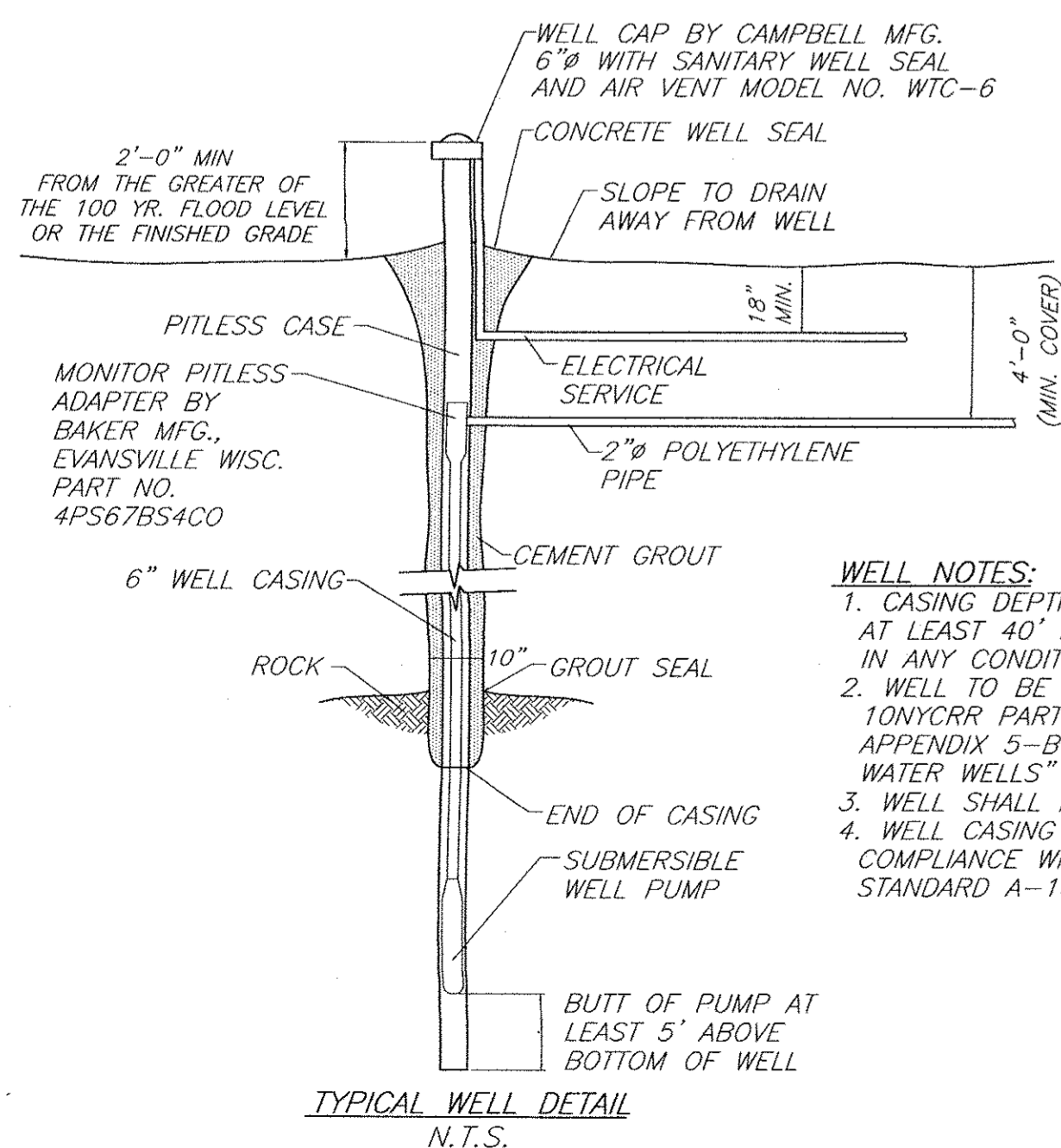


REV.	DATE	BY	DESCRIPTION
2	06/21/16	RBM	REVISED DRIVEWAY
1	11/11/14	RBM	REVISED COMMON DRIVEWAY



NOTE:  
 SILT FENCES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. SILT FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT IS TO BE REMOVED IN FRONT OF FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE FENCES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. SILT FENCES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.



- WELL NOTES:**  
 1. CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION  
 2. WELL TO BE INSTALLED PER 10NYCRR PART 5 APPENDIX 5-B "STANDARDS FOR WATER WELLS" NOV. 2005 EDITION  
 3. WELL SHALL HAVE A MIN. YIELD OF 5 GPM.  
 4. WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.

**SWALES/DITCHES:**

- ALL DITCHES AND SWALES ARE REQUIRED TO BE REGRADED TO ENSURE POSITIVE DRAINAGE UPON COMPLETION OF THE INSTALLATION OF THE PROPOSED CULVERT PIPE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED NOR THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
- ALL SWALES ARE REQUIRED TO BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE.
- ALL DISTURBED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS.

**DRIVEWAY NOTES:**

1. THE DRIVEWAY APRON OF THE RESIDENTIAL ENTRANCE SHALL BE PAVED PER ORANGE COUNTY SPECIFICATIONS FOR THE FIRST 20 FEET FROM THE EDGE OF PAVEMENT
2. THE SUBBASE SHALL BE 12 INCHES OF NYS DOT ITEM 304.12
3. THE TOP COURSE SHALL BE ITEM NUMBER 402.127102 MIX TYPE 12.5F1 70 SERIES COMPACTION BASED ON THE NYS DOT STANDARD SPECIFICATIONS JANUARY 9 2014
4. ALL SIDE SLOPES AT THE PROPOSED ENTRANCE SHALL BE A 1 ON 3 MINIMUM

**SWALES/DITCHES NOTES: (IF REQUIRED)**

1. ALL DITCHES AND SWALES SHALL BE REGRADED TO ENSURE POSITIVE DRAINAGE. NO EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE AFFECTING THE COUNTY ROAD SHALL BE BLOCKED OR FILLED. THE FLOW TO OR FROM AN EXISTING DRAINAGE CHANNEL, SWALE, DITCH, STREAM, OR STRUCTURE BE MADE WITHOUT AN APPROVED DESIGN.
2. ALL SWALES SHALL BE GRADED ON AND ALONG THE ENTIRE FRONTAGE OR AS ORDERED BY ORANGE COUNTY TO ENSURE POSITIVE DRAINAGE
3. ALL DISTRIBUTED AREAS ARE TO BE GRADED, SEEDED AND STRAWED ON A DAILY BASIS

**BACKFILL MATERIALS (IF REQUIRED):**

1. SEE CROSS SECTION FOR BACKFILL REQUIREMENTS WITHIN THE ASPHALT, WITHIN 8 FEET OF THE EDGE OF THE PAVEMENT, AND 8 FEET BEYOND FROM THE EDGE OF PAVEMENT
2. DRY K CRETE SHALL BE USED AT ALL ROAD CROSSING (TOWN ROADS), COMMERCIAL ENTRANCES, AND ALL TRENCHES WITHIN ASPHALT OR AS DIRECTED BY ORANGE COUNTY INSPECTOR
3. ITEM NO. 4: ITEM 304.12 SUBBASE COURSE TYPE 2 SHALL TO BE USED AS BACKFILL FROM EDGE OF PAVEMENT OUT EIGHT FEET
4. EXCAVATED IS ALLOWED TO BE USED AS BACKFILL MATERIAL 8 FT. BEYOND THE EDGE OF PAVEMENT. NO BOULDER/ROCKS OVER 12 INCHES ARE ALLOWED TO BE USED AS BACKFILL
5. MATERIAL TICKETS SHALL BE PROVIDED TO THE ORANGE COUNTY INSPECTOR ON A DAILY BASIS FOR ALL MATERIAL USED IN THE COUNTY RIGHT OF WAY

**COMPACTION**

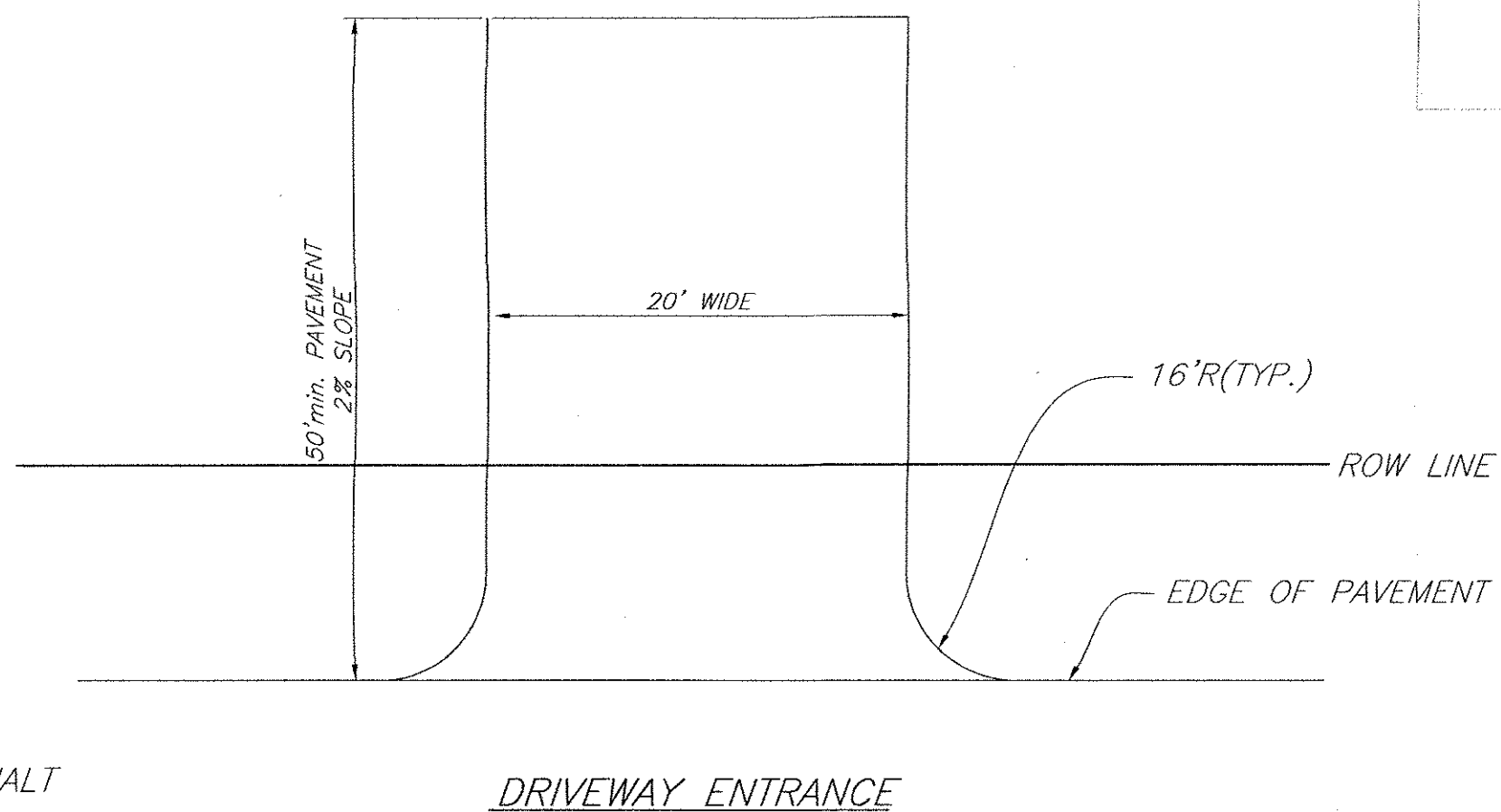
ALL FOLLOWING EQUIPMENT SHALL BE ON SITE ON A DAILY BASIS AND FULLY OPERATIONAL

1. VIBRATORY TRENCH ROLLER; PRIMARY COMPACTION EQUIPMENT
2. JUMPING JACK COMPACTOR; SECONDARY COMPACTION EQUIPMENT FOR USE IN TIGHT AREAS, WHERE THE VIBRATORY TRENCH ROLLER CAN NOT BE USED
3. MECHANICAL SWEEPER
4. SIDE-DUMP LOADER OR SKID STEER (I.E. BOBCAT)
5. ASPHALT ROLLER

IF ANY OF THE EQUIPMENT LISTED ABOVE IS NOT OPERATIONAL, NO EXCAVATING SHALL BE PERFORMED UNTIL ALL EQUIPMENT IS

**ASPHALT RESTORATION:**

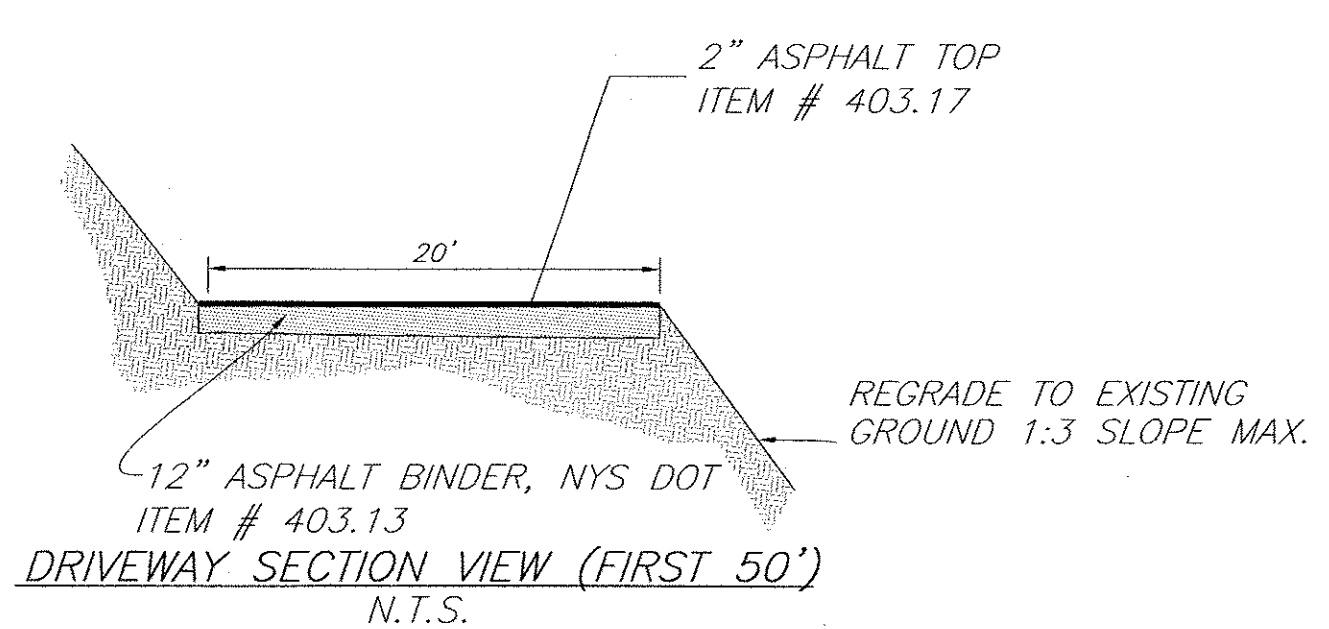
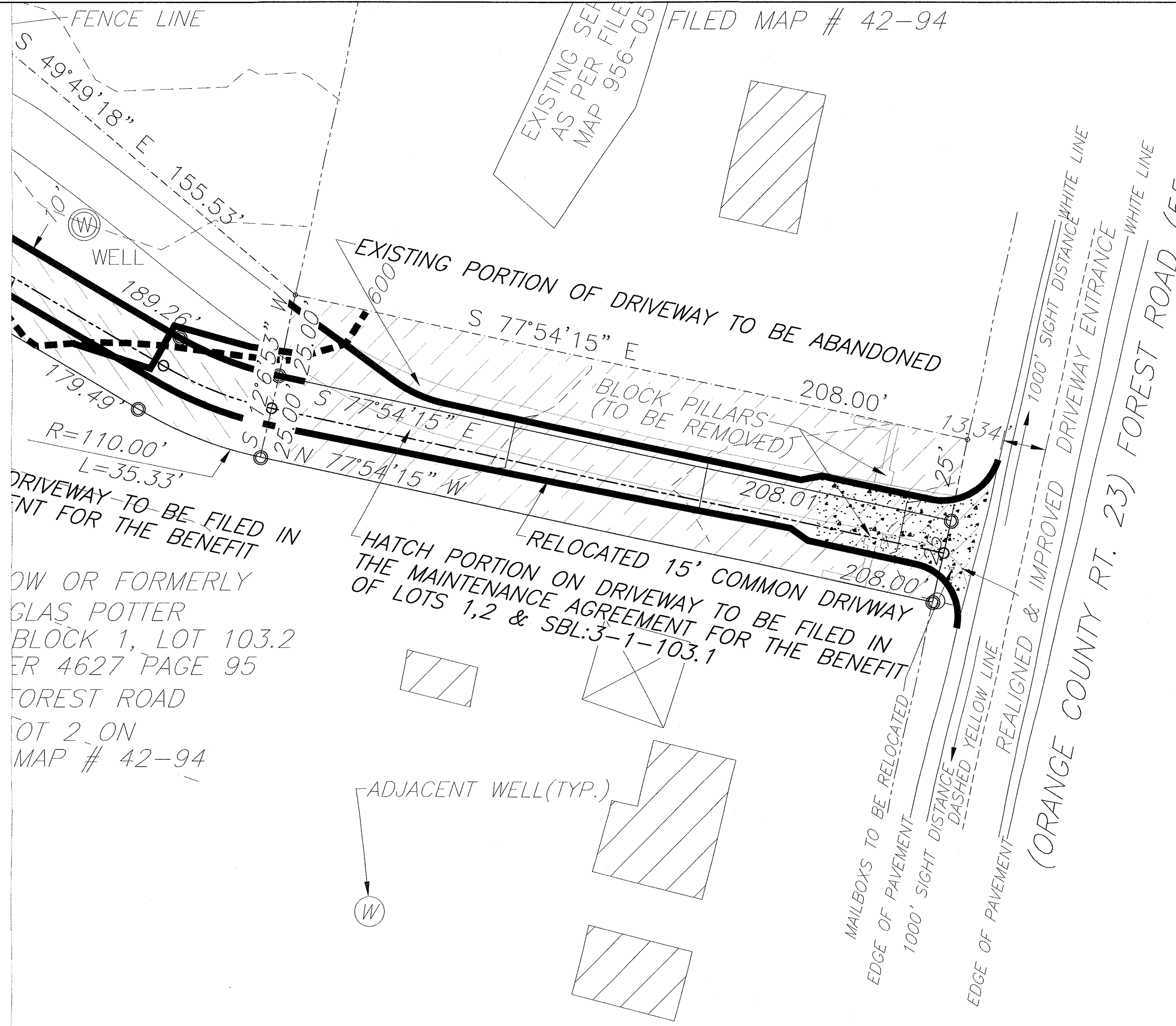
1. ALL PAVEMENT RESTORATION NEEDS TO BE COMPLETED ON A DAILY BASIS
2. RAGGED TRENCH EDGES MUST SAW CUT PRIOR TO ANY PAVING (TEMPORARY OR PERMANENT)
3. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE 5" OF BINDER COURSE FLUSH WITH THE EXISTING PAVEMENT SURFACE THROUGHOUT THE DURATION OF THE PROJECT. FINAL ASPHALT RESTORATION IS TO BE COMPLETED AT THE COMPLETION OF THE PROJECT
4. ALL TEMPORARY ASPHALT SHALL BE 5 INCHES THICK AND PLACED IN TWO LIFTS OF 2 1/2"
5. ALL EDGES OF EXISTING ASPHALT SHALL BE SWEEPED AND TACK COATED PRIOR TO PAVING
6. ALL ASPHALT SHALL BE SAW CUT PARALLEL OR PERPENDICULAR TO THE TRENCH OR TO THE EXISTING ASPHALT. NO REGGED EDGES ARE ACCEPTABLE
7. ALL SAW CUTTING SHALL BE PERFORMED PRIOR TO PLACING ASPHALT BINDER. MILLING OUT THE JAGGED EDGES ON OR THE TOP COURSE OR FINAL ASPHALT WILL NOT BE ACCEPTED BY ORANGE COUNTY.
8. ALL ASPHALT JOINTS SHALL BE CRACK SEALED UPON COMPLETING FINAL PAVING.



DRIVEWAY ENTRANCE

**LANDSCAPING:**

- NO PLANTINGS (SHRUBS/TREES) OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, STONE MAILBOXES, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT OF WAY.
- ANY PLANTING AND LANDSCAPING FEATURES ARE REQUIRED TO BE OFFSET FROM THE PROPOERTY LINE BY 4 FEET.



DRIVEWAY SECTION VIEW (FIRST 50') N.T.S.

**COUNTY STANDARD NOTE:**

"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

REVISIONS			
REV.	DATE	BY	DESCRIPTION
1	06/21/16	R.B.M.	REVISED DRIVEWAY

TOWN PROJECT #14-15  
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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**ENGINEER**  
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P.O. BOX 4470  
NEW WINDSOR, N.Y. 12553

**DRIVEWAY ENTRANCE EMPROVEMENTS**  
**PROPOSED SUBDIVISION ENTITLED "DIXON SUBDIVISION II"**  
**85 FOREST ROAD (COUNTY RT 23)**  
**SBL 3-1-103.3, LOT #3 FM#42-94**  
**TOWN OF NEWBURGH, ORANGE COUNTY, NY**

DATE: 06/06/14 SCALE: AS NOTED JOB NUMBER: 13074-PIE SHEET NUMBER: 4 OF 4

