

Full Size Site Plans

are available for viewing at the

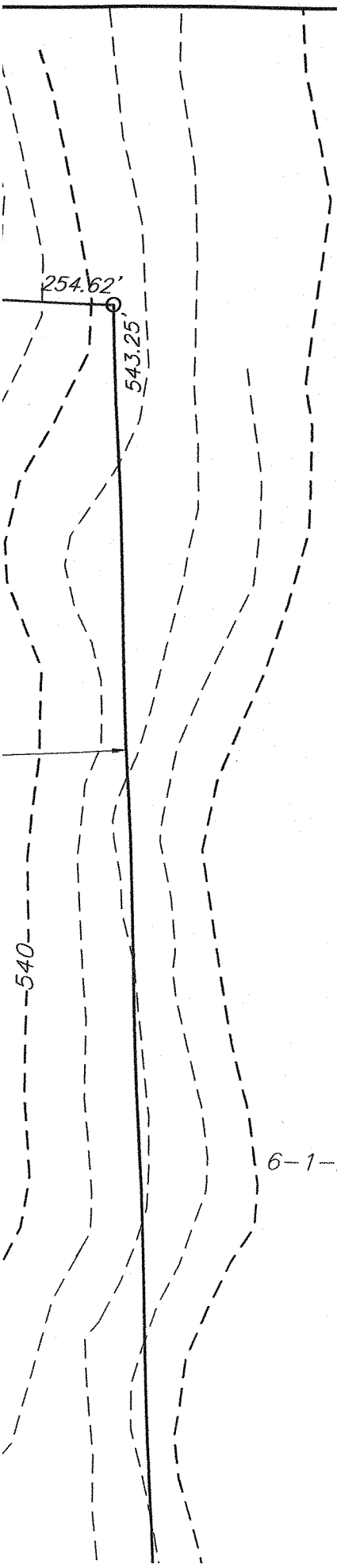
Zoning Board of Appeals

Office located at

308 Gardnertown Road

Newburgh, NY

845-566-4901

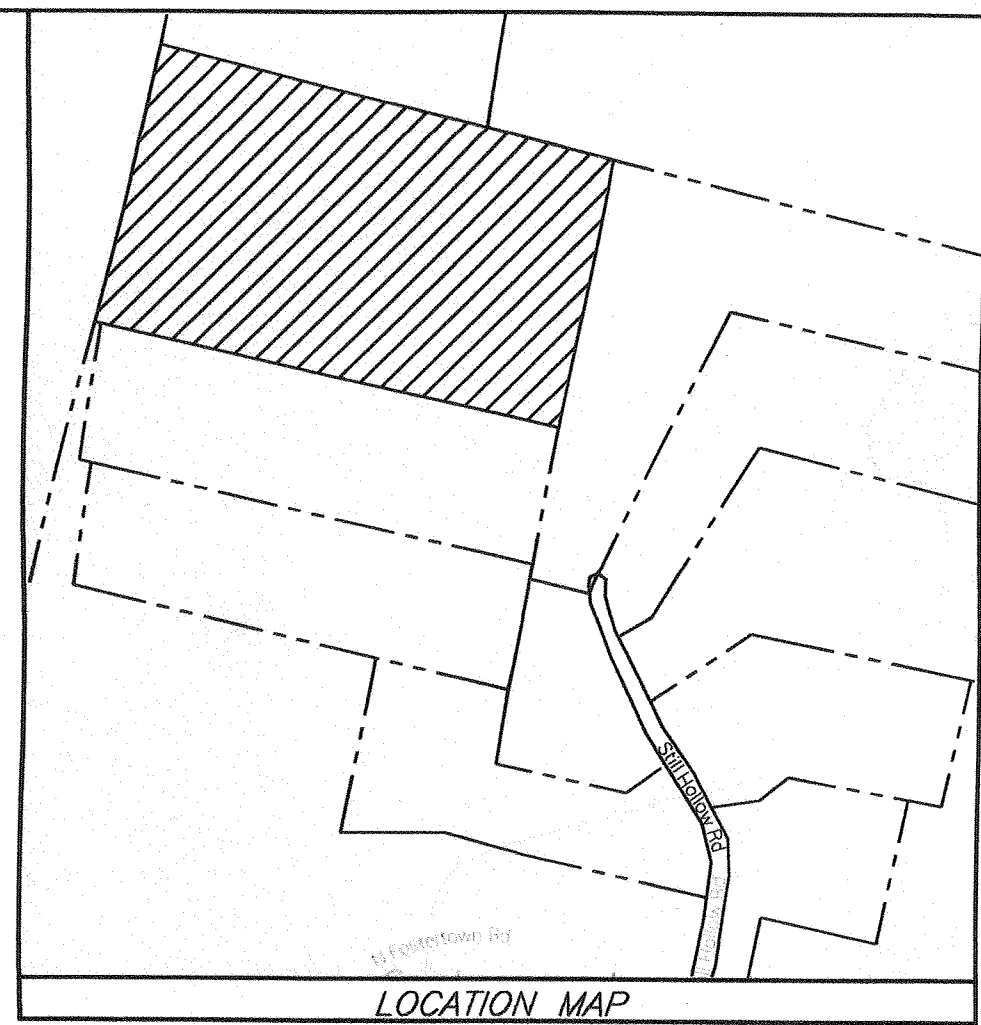


6-1-23.21

ZONING SCHEDULE

ZONE: AR

	<u>REQUIRED</u>	<u>PROVIDED</u>
MINIMUM LOT AREA	40,000	521,721sf
MINIMUM YARDS (feet)		
FRONT	50'	257'
REAR	50'	604'
SIDE		
ONE	30'	139'
BOTH	50'	514'
MINIMUM LOT WIDTH (feet)	150'	564'
MINIMUM LOT DEPTH (feet)	150'	924'
MAXIMUM SURFACE COVERAGE (%)	20%	5%
LOT BUILDING COVERAGE	10%	3%
MAXIMUM HEIGHT	35'	35'max.



LOCATION MAP

LEGEND

- ——— ○ PROPERTY LINE EXISTING
- — — — — PROPERTY LINE ADJOINING
- - - - - EXISTING CONTOURS (2')
- - - - - EXISTING CONTOURS (10')
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')
- - - - - EASEMENT

- ⊕ WELL EXISTING
- ⊕^P WELL PROPOSED
- ▨ HOUSE EXISTING
- ▨ HOUSE PROPOSED
- SEPTIC TANK

6-1-11

6-1-23.22

6-1-23.21

671.89' S 60°21'37" E

254.62'

543.25'

139.99'

132.06'
100' min.

86.08'
50' min.

604.67'

257.11'

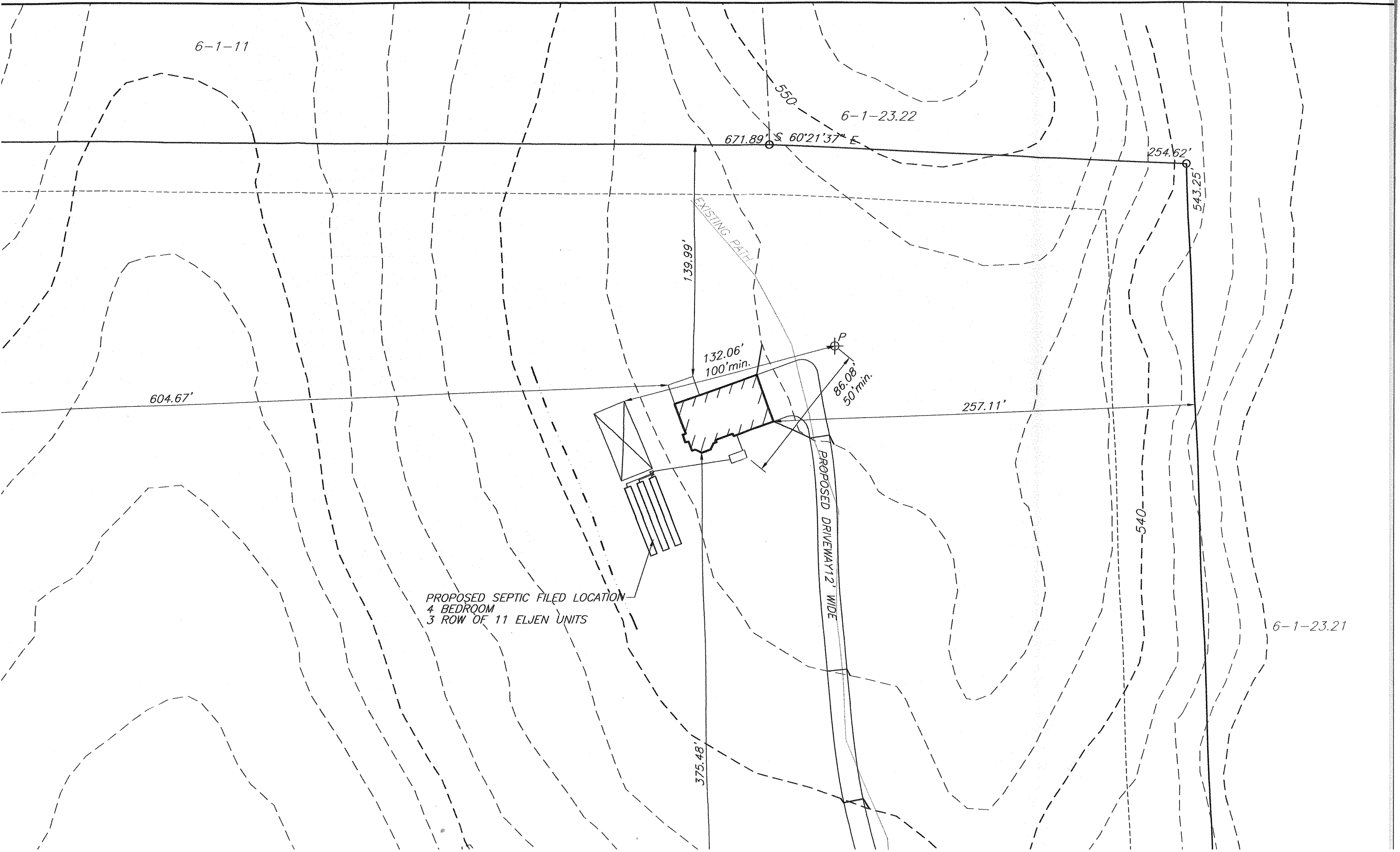
540'

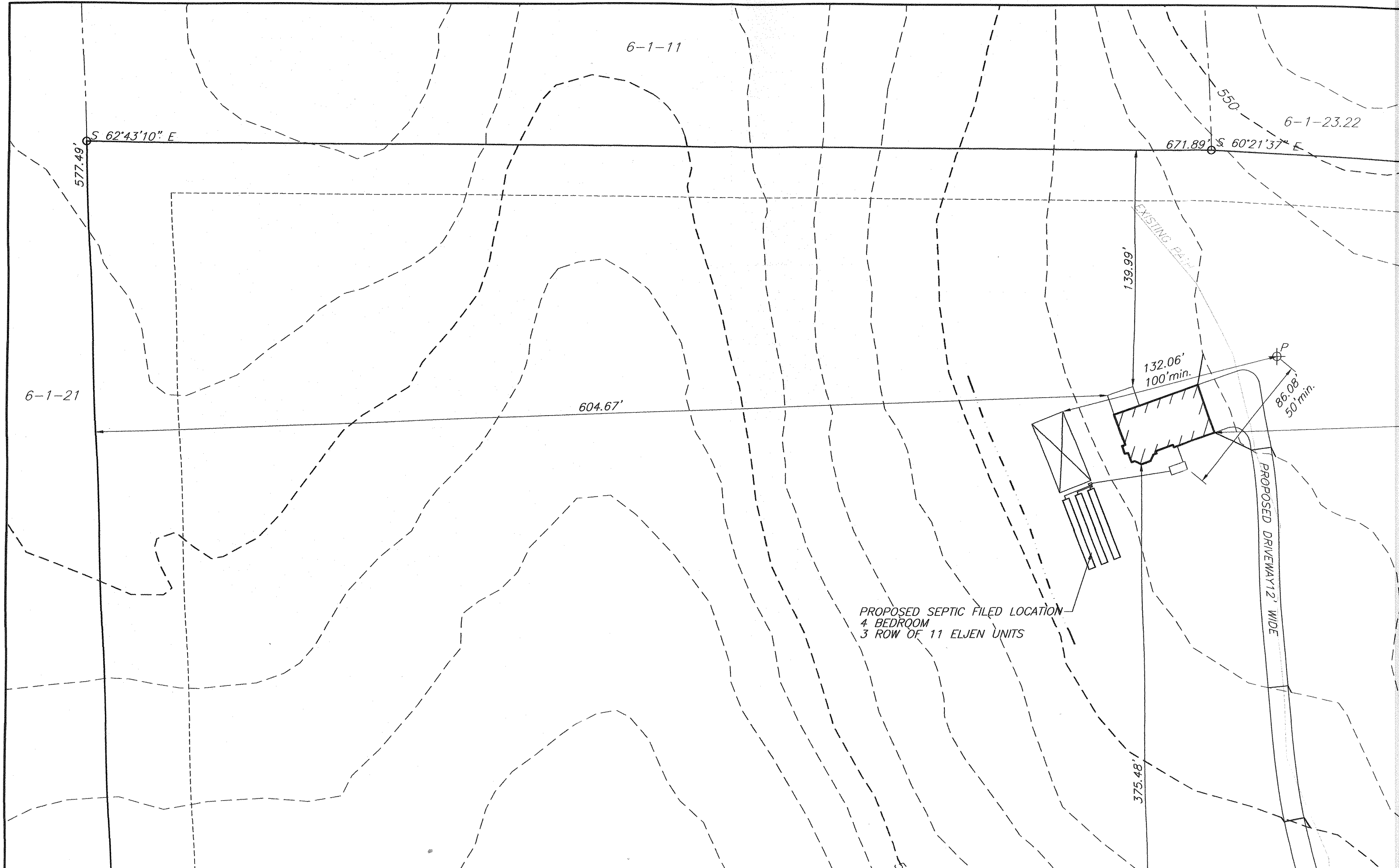
375.48'

PROPOSED SEPTIC FILED LOCATION
4 BEDROOM
3 ROW OF 11 ELJEN UNITS

PROPOSED DRIVEWAY 12' WIDE

EXISTING PATH





6-1-11

6-1-23.22

6-1-21

PROPOSED SEPTIC FILED LOCATION
4 BEDROOM
3 ROW OF 11 ELJEN UNITS

PROPOSED DRIVEWAY 12' WIDE

EXISTING PATH

577.49' S 62°43'10" E

671.89' S 60°21'37" E

604.67'

139.99'

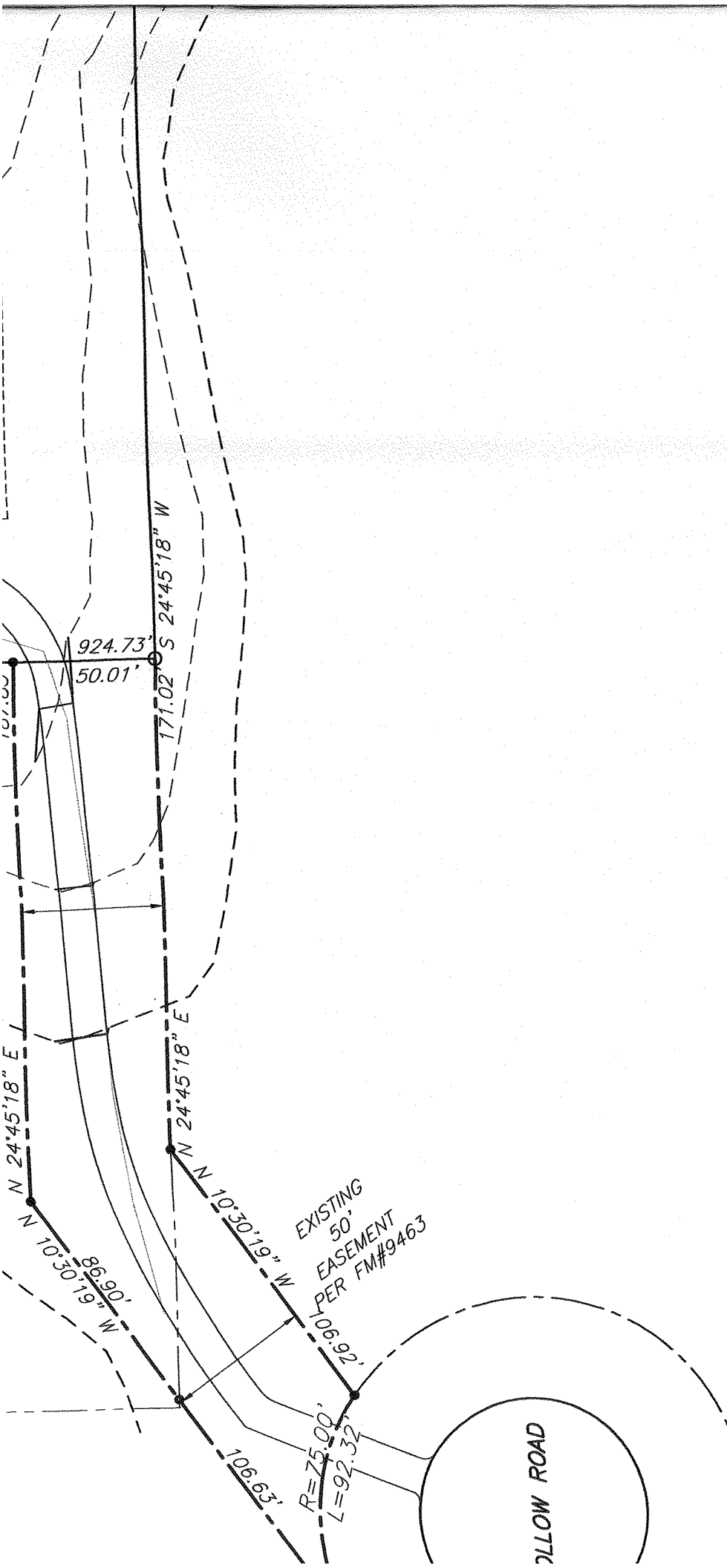
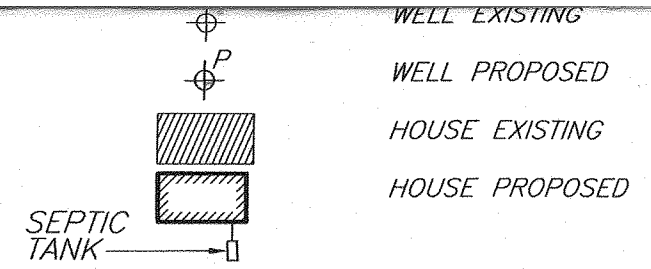
132.06'
100' min.

86.08'
50' min.

375.48'

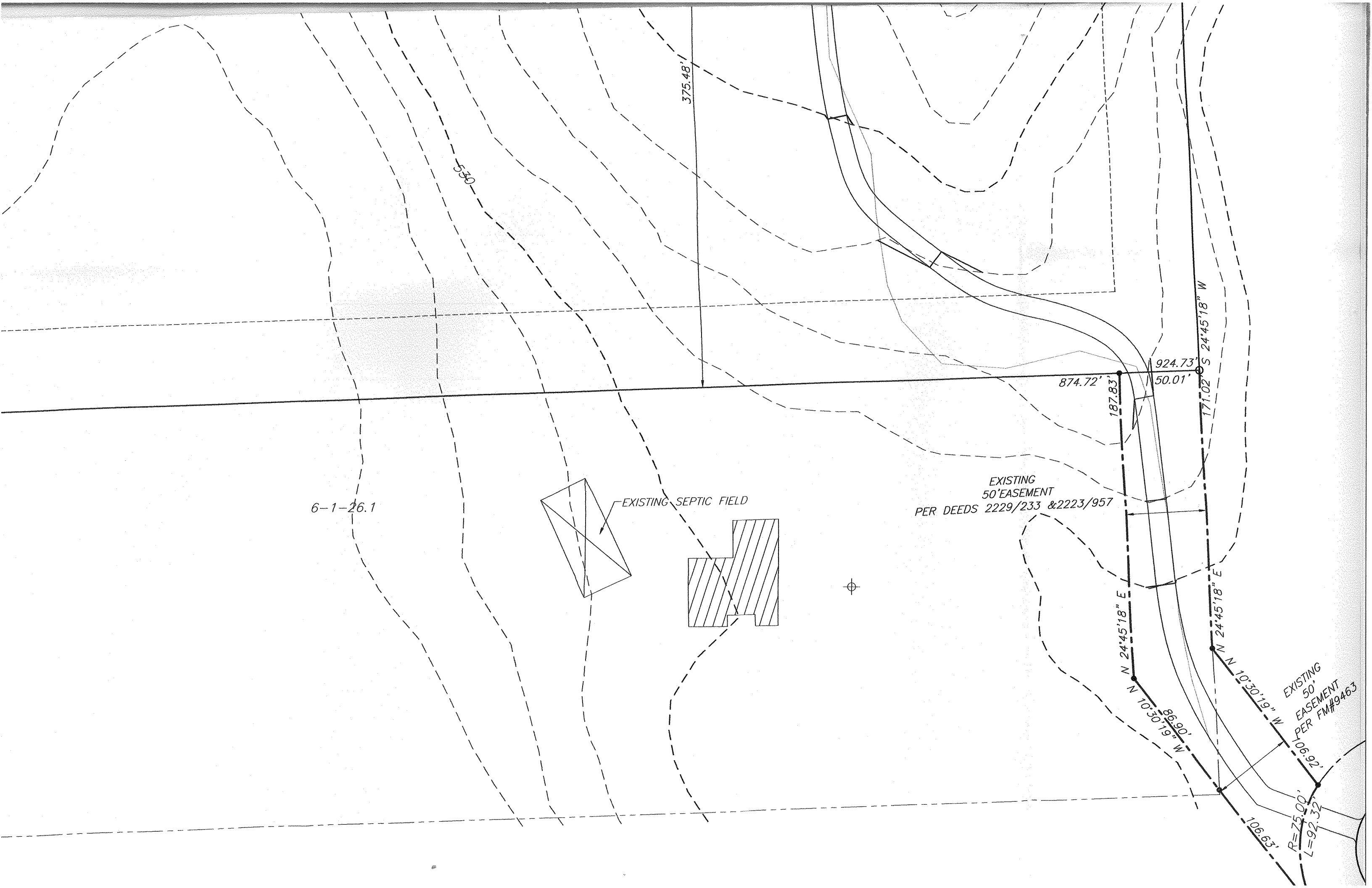
550

- PROPERTY LINE ADJOINING
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- CONTOURS PROPOSED (2')
- CONTOURS PROPOSED (10')
- EASEMENT
- SETBACKS
- SILT FENCE



MAP REFERENCE:

1. TOPOGRAPHY PER ORANGE COUNTY USGS
2. EXISTING EASEMENTS AND PROPERTY LINES PER SUBDIVISION ENTITLED "R&K REAL ESTATE MANAGEMENT INC." FM #9463
3. PROPOSED SEPTIC PER A PLAN ENTITLED "LAND OF DICKINSON" PREPARED BY VALDINA CONSULTING ENGINEERS
4. EXISTING PROPERTY LINES PER A SURVEY PREPARED BY VALDINA CONSULTING ENGINEERS

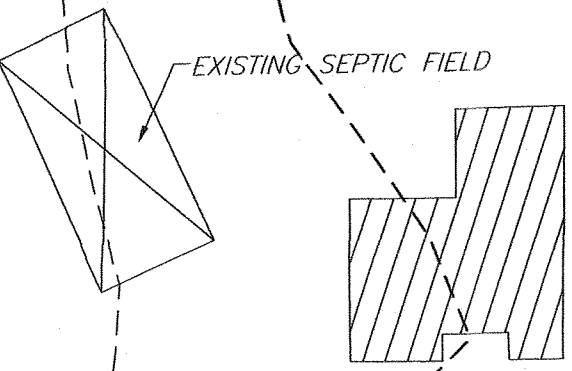


375.48'

530

6-1-26.1

EXISTING SEPTIC FIELD



EXISTING 50' EASEMENT PER DEEDS 2229/233 & 2223/957



874.72'

187.83'

924.73'

50.01'

S 24°45'18" W

N 24°45'18" E

N 10°30'19" W

86.90'

N 24°45'18" E

N 10°30'19" W

EXISTING 50' EASEMENT PER FM#9463

R=75.00'
L=92.32'

109.91'

N 24°43'8" E

N 64°11'18" W

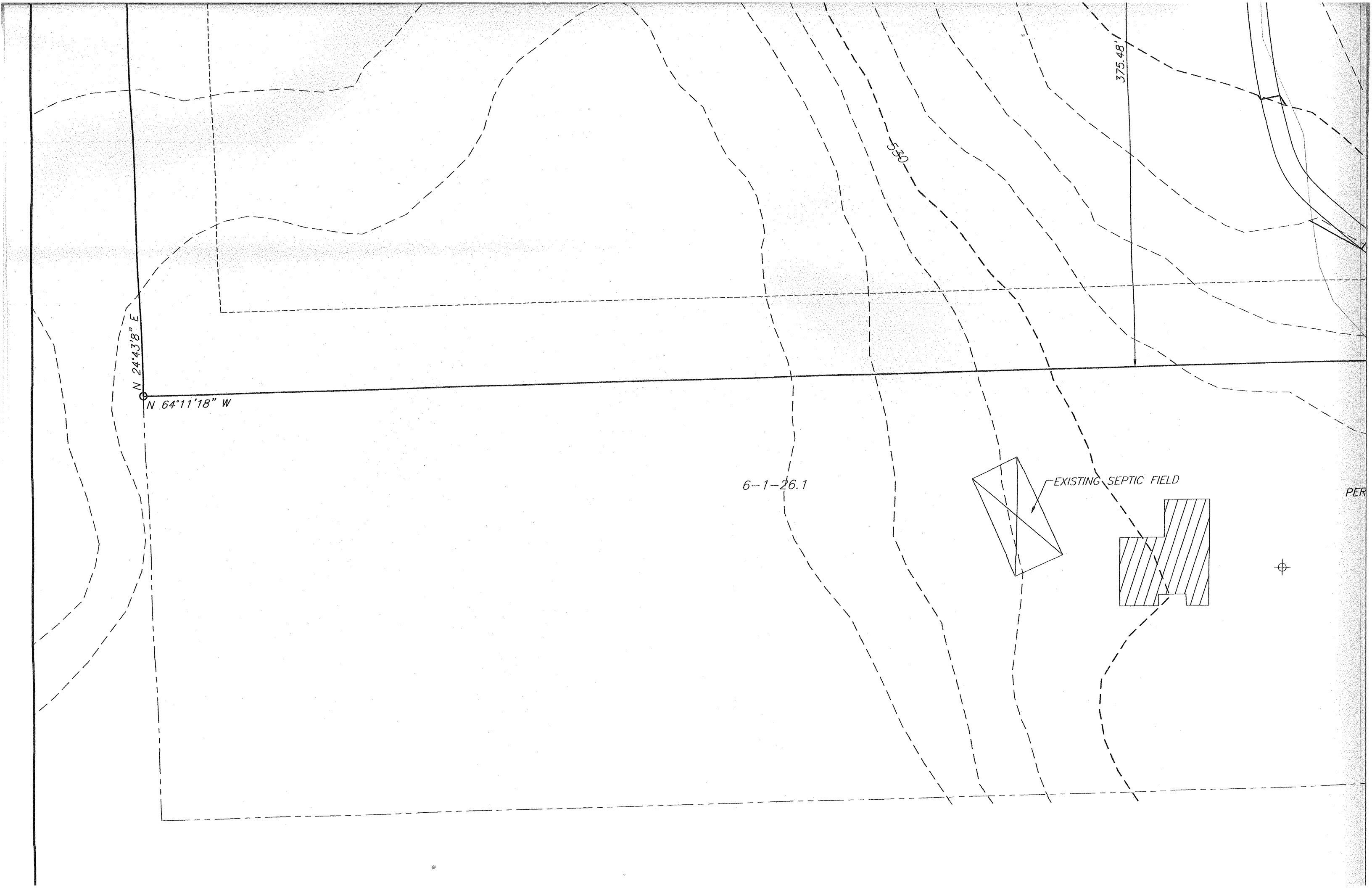
375.48'

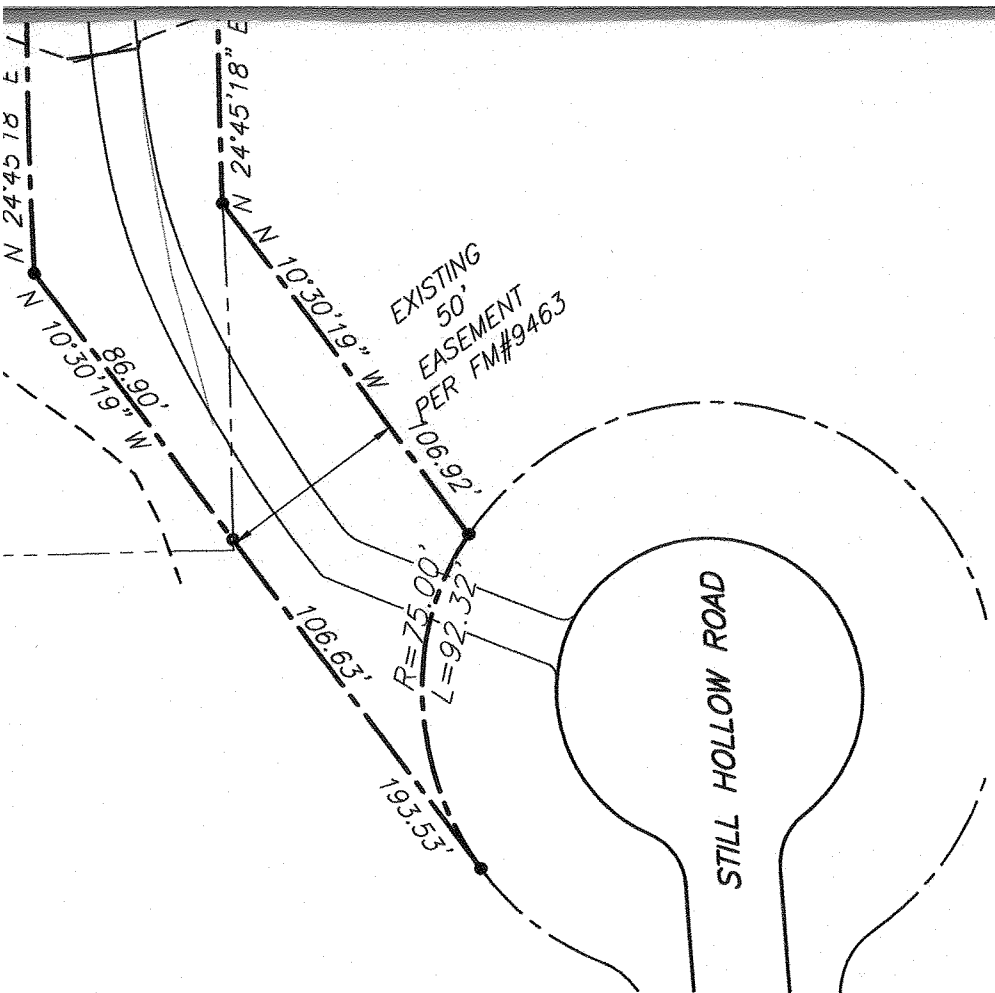
530

6-1-26.1

EXISTING SEPTIC FIELD

PER





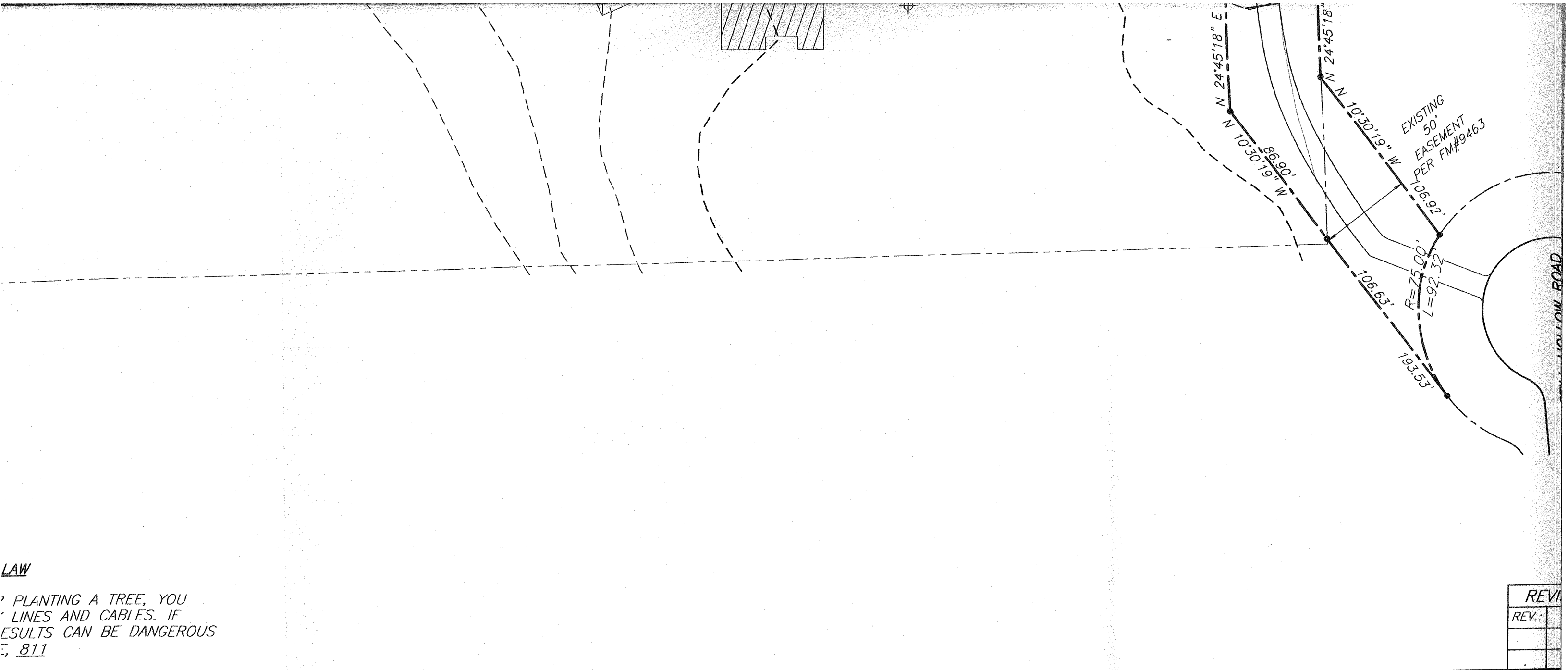
REVISIONS			
REV.:	DATE:	BY:	DESCRIPTION:

ENGINEER	TALCOTT ENGINEERING DESIGN PLLC		
	1 GARDNERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX)(845)-569-4583 TALCOTTDESIGN12@GMAIL.COM		
	PLOT PLAN FOR: DICKINSON STILL HOLLOW ROAD, S-B-L: 6-1-12 TOWN OF NEWBURGH, ORANGE COUNTY, NY		
DATE	SCALE	JOB NUMBER	SHEET NUMBER
03/24/16	1"= 50'	15115-DKN	1 OF 1

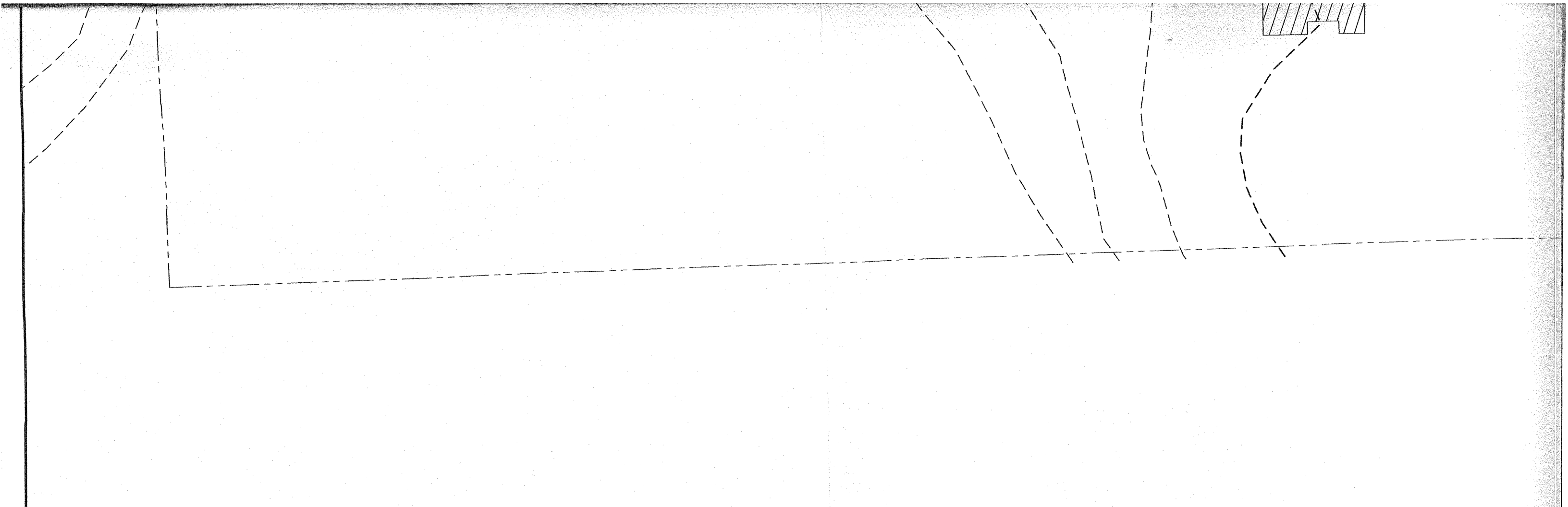
CHARLES T. BROWN, P.E.

LAW

PLANTING A TREE, YOU
LINES AND CABLES. IF
RESULTS CAN BE DANGEROUS
811



REV.	DATE
REV.:	



CALL BEFORE YOU DIG... IT'S THE LAW

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY- TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 811