

**TOWN OF NEWBURGH PLANNING BOARD**

**APPLICATION PACKAGE  
for  
SUBDIVISIONS,  
SITE PLANS,  
LOT LINE CHANGES  
And  
SPECIAL EXCEPTION USE PERMITS**

**Procedures and Requirements**

**July 2013**

**TOWN OF NEWBURGH PLANNING BOARD  
308 GARDNERTOWN ROAD  
NEWBURGH, NEW YORK 12550  
(845) 564-7804  
fax: (845) 564-7802  
[planningboard@hvc.rr.com](mailto:planningboard@hvc.rr.com)**

JULY 2013

**TO WHOM IT MAY CONCERN:**

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

**JOHN P. EWASUTYN, Chairman**  
**Town of Newburgh Planning Board**

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

LZL Equities / Dunkin Donuts

**2. Owner of Lands to be reviewed:**

**Name** LZL Equities, LLC

**Address** 82 Alize Drive

Kinnelon, New Jersey 07405

**Phone** (973) 464-4419

**3. Applicant Information (If different than owner):**

**Name** Minuta Architecture, PLLC

**Address** 554 Temple Hill Road

New Windsor, New York 12553

**Representative** Joseph J. Minuta

**Phone** (845) 565-0055

**Fax** (845) 565-6622

**Email** jjm@minutaarchitecture.com

**4. Subdivision/Site Plan prepared by:**

**Name** Minuta Architecture, PLLC

**Address** 554 Temple Hill Road

New Windsor, New York 12553

**Phone/Fax** (845) 565-0055 / (845)565-6622

**5. Location of lands to be reviewed:**

301 NYS Route 32

**6. Zone** B- Business

**Acreage** 0.50

**Fire District** Cronomer Valley

**School District** NECSD

**7. Tax Map: Section** 14 **Block** 1 **Lot** 43

8. Project Description and Purpose of Review:

Number of existing lots \_\_\_\_\_ Number of proposed lots \_\_\_\_\_

Lot line change \_\_\_\_\_

Site plan review Site configuration/ Request easement to access Rte. 300

Clearing and grading \_\_\_\_\_

Other Use subject to site plan review by the Planning Board ( Restaurant)

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

9. Easements or other restrictions on property:

(Describe generally) \_\_\_\_\_

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title ARCHITECT

Date: 1.14.14

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

LZL Equities / Dunkin Donuts

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11. x Surveyor,s Certification
12. x Surveyor's seal and signature
13. x Name of adjoining owners
14. x Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. x Flood plain boundaries
16. TBD Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. x Metes and bounds of all lots
18. x Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. x Show existing or proposed easements (note restrictions)
20. x Right-of-way width and Rights of Access and Utility Placement
21. x Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. x Lot area (in sq. ft. for each lot less than 2 acres)
23. x Number of lots including residual lot
24. x Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. x Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. TBD Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. x Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. x Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. x Number of acres to be cleared or timber harvested
33. 0 Estimated or known cubic yards of material to be excavated and removed from the site
34. x Estimated or known cubic yards of fill required
35. x The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 
38. x List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  \_\_\_\_\_  
Licensed Professional

Date: 1.14.14

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): 01/14/14



## **STATEMENT TO APPLICANTS**

### **RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW**

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH  
APPLICATION FOR CLEARING AND GRADING**

Name of applicant: Minuta Architecture, PLLC

Name of owner on premises: LZL Equities, LLC

Address of owner: 82 Alize Drive Kinnelon, New Jersey 07405

Telephone number of owner: (973) 464-4419

Telephone number of applicant: (845) 565-0055

State whether applicant is owner, lessee, agent, architect, engineer or contractor:  
Architect

Location of land on which proposed work will be done: 301 route 32

Section: 14 Block: 1 Lot: 43 Sub. Div.: \_\_\_\_\_

Zoning District of Property: B- Business Size of Lot: 0.50 Acres

Area of lot to be cleared or graded: .05 Acres Cleared .43 Acres Graded

Proposed completion of date: \_\_\_\_\_

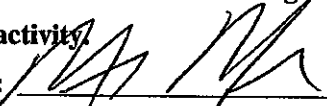
Name of contractor/agent, if different than owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone number: \_\_\_\_\_

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  Date: 1-14-14

Signature of applicant (if different than owner): \_\_\_\_\_

**TOWN ACTION:**

Examined: \_\_\_\_\_ 20 \_\_\_\_\_

Approved: \_\_\_\_\_ 20 \_\_\_\_\_

Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Michael Nafas

APPLICANT'S NAME (printed)

[Handwritten Signature]

APPLICANTS SIGNATURE

12-4-13

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

(OWNER) Michael Nafash, DEPOSES AND SAYS THAT HE/SHE  
RESIDES AT 82 ALIZE DRIVE KINNELON  
IN THE COUNTY OF ~~USA~~ MORRIS  
AND STATE OF New Jersey  
AND THAT HE/SHE IS THE OWNER IN FEE OF \_\_\_\_\_

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND \_\_\_\_\_ IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 12-4-13

  
OWNERS SIGNATURE

Michael Nafash  
OWNERS NAME (printed)

  
WITNESS' SIGNATURE

EILEEN JACOBS  
WITNESS' NAME (printed)

NAMES OF ADDITIONAL  
REPRESENTATIVES

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12-4-13

**DATED**

Michael Nafash

**APPLICANT'S NAME (printed)**



**APPLICANT'S SIGNATURE**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

\_\_\_\_\_ **NONE**

\_\_\_\_\_ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_ **TOWN BOARD**  
\_\_\_\_\_ **PLANNING BOARD**  
\_\_\_\_\_ **ZONING BOARD OF APPEALS**  
\_\_\_\_\_ **ZONING ENFORCEMENT OFFICER**  
\_\_\_\_\_ **BUILDING INSPECTOR**  
\_\_\_\_\_ **OTHER**

12-4-13  
**DATED**

  
\_\_\_\_\_  
**INDIVIDUAL APPLICANT**

\_\_\_\_\_  
**CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

### AGRICULTURAL NOTE

**(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)**

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.



N/A

**AGRICULTURAL DATA STATEMENT**

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

**Name and address of the applicant:** \_\_\_\_\_

**Description of the proposed project:** \_\_\_\_\_

**Location of the proposed project:** \_\_\_\_\_

**Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:** \_\_\_\_\_

**A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.**

\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

\_\_\_\_\_  
**DATE**

## ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

N/A

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** \_\_\_\_\_

**NAME OF PROJECT:** \_\_\_\_\_

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

Type (steel, wood, block, split block, etc.)

\_\_\_\_\_

**COLOR OF THE EXTERIOR OF BUILDING:**

\_\_\_\_\_

**ACCENT TRIM:**

**Location:** \_\_\_\_\_

**Color:** \_\_\_\_\_

**Type (material):** \_\_\_\_\_

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

\_\_\_\_\_

**ROOF:**

**Type (gabled, flat, etc.):** \_\_\_\_\_

**Material (shingles, metal, tar & sand, etc.):** \_\_\_\_\_

**Color:** \_\_\_\_\_

N/A

**WINDOWS/SHUTTERS:**

**Color (also trim if different):** \_\_\_\_\_

**Type:** \_\_\_\_\_

**DOORS:**

**Color:** \_\_\_\_\_

**Type (if different than standard door entrée):** \_\_\_\_\_

**SIGN:**

**Color:** \_\_\_\_\_

**Material:** \_\_\_\_\_

**Square footage of signage of site:** \_\_\_\_\_

\_\_\_\_\_  
**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

\_\_\_\_\_  
**Signature**

### LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

334600 16-2-5.21  
St Pierre, Raymond J  
St Pierre, Doris  
1681 Rte 300  
Newburgh NY 12550

334600 17-1-73  
Langlitz, George Jr  
80 Sumner Ave  
Springfield MA 01108

334600 35-3-2.1  
Kavanaghs Jewelers Llc  
1668 Rte 300  
Newburgh NY 12550

334600 35-1-1  
Brite, Paul C  
Friedman, Carol B  
7 Horizons Dr  
Newburgh NY 12550

334600 14-1-42.1  
Town of Newburgh  
1496 Route 300  
Newburgh NY 12550

334600 17-1-64  
RKA Realty LLC  
168 Hopper Ave  
Waldwick NJ 07463

334600 17-1-65.2  
RKA Realty LLC  
168 Hopper Ave  
Waldwick NJ 07463

334600 16-5-3  
Partington, Paul G  
Partington, Lou-Ann  
5 Holt Ln  
Newburgh NY 12550

334600 14-1-144.2  
Erden Enterprises LTD  
23 Sweetbriar Dr  
Ballston Lake NY 12019

334600 17-1-62  
Carfora, Louis  
Carfora, Chris  
9 Weyants Ln  
Newburgh NY 12550

334600 17-1-66  
Kirkpatrick, Robert L.E.  
Kirkpatrick, Catherine L.E.  
350 Water St 5-3  
Newburgh NY 12550

334600 14-1-42.2  
Town of Newburgh  
1496 Route 300  
Newburgh NY 12550

334600 35-1-2  
Torres, Jose  
Torres, Rachel  
1659 Rte 300  
Newburgh NY 12550

334600 35-1-3  
Kestler, Betty A  
Helga Stoekel Living Trust  
New Windsor NY 12553

334600 16-5-1  
DiPietro, Nancy  
DiPietro, Carlo  
1675 Route 300  
Newburgh NY 12550

334600 14-1-43  
Oconnor, John J Jr  
7650 SW Parkway Dr  
Stewart FL 34997

334600 17-1-68  
Guzman L.E., Iris  
Guzman, Luis I Jr  
328 Route 32  
Newburgh NY 12550

334600 17-1-65.1  
Greco Frank C  
10 Penn Centre  
Philadelphia PA 19103

334600 16-5-2  
Mullings, Angela J  
1671 Route 300  
Newburgh NY 12550

334600 14-1-46.221  
Amato, Sebastian  
Amato, Nancy  
349 Carter Ave  
Newburgh NY 12550

334600 35-3-1  
Kaur Realty, LLC  
83-32 253 St  
Bellrose NY 11426

334600 16-2-5.22  
Montalvo, Yasmin  
1679 Route 300  
Newburgh NY 12550

334600 17-1-67  
Gizzarelli, Michael D  
318 Plattekill Tpke  
Newburgh NY 12550

Town of Newburgh  
Office of the Assessor  
1496 Route 300  
Newburgh, NY 12550

SEC 14  
BLK 1  
LOT 43

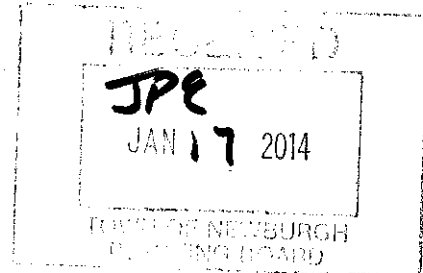
# MINUTA ARCHITECTURE

554 Temple Hill Road, New Windsor, New York 12553 P: 845.565.0055 F: 845.565.6622 E: info@minutaarchitecture.com

## Narrative

To: Hon. John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board Chairman  
308 Gardnertown Rd  
Newburgh, NY 12550

From: Joseph J. Minuta, AIA  
CC: File, Owner  
Via: Hand  
Pages: 1 of 1  
Date: January 14, 2014  
Re: Dunkin' Donuts 301 Route 32 Proposed Redevelopment of an Existing Site



2014-02

Dear Mr. Ewasutyn:

Pursuant to "Town of Newburgh Planning Board Application for Subdivisions and Site Plans" this correspondence shall serve as my narrative for the proposed scope of work at 301 Route 32 in the Town of Newburgh NY. This project is in schematic design phase and is being submitted for concept approval at this time.

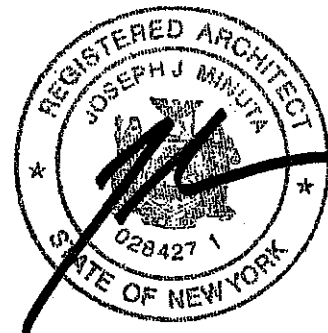
It is our clients' intent to raze the site and construct a new building with a drive through on this site that was previously a flower shop and formerly a restaurant.

1. **Existing Conditions:** The existing property is 0.50 acres with one existing building, 1,668 square feet +/-, on the property. The site has an existing parking area with a parking ratio of 18/1000 square feet at the intersection of State Route 32 and State Route 300. There is an existing curb cut that accesses NYS Route 32. This parcel is in the B-Business Zone.
2. **New Construction (Option 1/ Preferred):** Demolish existing building and construct new building with drive through and new curb cut to access Route 300 as shown on plans. Alternately, it may be appropriate to request and access easement from the Town of Newburgh Water Department's Driveway on Rte 300. The existing lot configuration is redesigned in the spirit of The Town of Newburgh Design Guidelines. The new building design will comply with the design guidelines for Dunkin Donuts Corporate.
3. **Existing Renovations (Option 2):** Utilize existing 1,668 square feet +/- building and renovate the interior and exterior per the Dunkin Donuts design guidelines. The existing parking area will also be redesigned in accordance with The Town of Newburgh Design Guidelines.

See the attached drawings for additional information. We seek an initial workshop meeting to vet these options. Thank you for your consideration.

Respectfully Submitted,

Joseph J. Minuta, RA, AIA, NCARB, CACB



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>				
Name of Action or Project: LZL EQUITIES/ DUNKIN DONUTS				
Project Location (describe, and attach a location map): 301 ROUTE 32 NEWBURGH, NEW YORK 12550				
Brief Description of Proposed Action: THE EXISTING PROPERTY IS .50 ACRES WITH ONE EXISTING BUILDING, 1,668 SQUARE FEET +/-, ON THE PROPERTY. THE SITE HAS AN EXISTING PARKING AREA WITH A PARKING RATIO OF 18/1000 SQUARE FEET AT THE INTERSECTION OF STATE ROUTE 32 AND STATE ROUTE 300. THERE IS AN EXISTING CURB CUT THAT ACCESSES NYS ROUTE 32. THIS PARCEL IS IN THE B-BUSINESS ZONE. DEMOLISH EXISTING BUILDING IN ITS ENTIRETY AND CONSTRUCT NEW DUNKIN DONUTS BUILDING WITH DRIVE THROUGH AND EASEMENT TO ACCESS ROUTE 300 THROUGH THE TOWN OF NEWBURGH WATER DEPARTMENT DRIVEWAY IS REQUESTED. THE EXISTING LOT CONFIGURATION WILL BE REDESIGNED IN ACCORDANCE WITH THE TOWN OF NEWBURGH DESIGN GUIDELINES. THE NEW BUILDING DESIGN WILL COMPLY WITH THE DESIGN GUIDELINES FOR DUNKIN DONUTS.				
Name of Applicant or Sponsor: LZL EQUITIES, LLC		Telephone: (973) 464-4419	E-Mail: mnaflash@gmail.com	
Address: 82 ALIZE DRIVE				
City/PO: KINNELON	State: NEW JERSEY	Zip Code: 07405		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NEW YORK STATE DEPARTMENT OF TRANSPORTATION ORANGE COUNTY DEPARTMENT OF HEALTH			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.50 acres		
b. Total acreage to be physically disturbed?		.36 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.50 acres		
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): MUNICIPAL <input checked="" type="checkbox"/> Parkland				



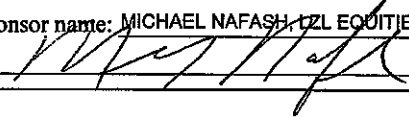
5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ Underground infiltration system.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES Municipal storm water catch basins. _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: MICHAEL NAFASH, L2L EQUITIES, LLC

Date: JANUARY 14, 2014

Signature: 

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

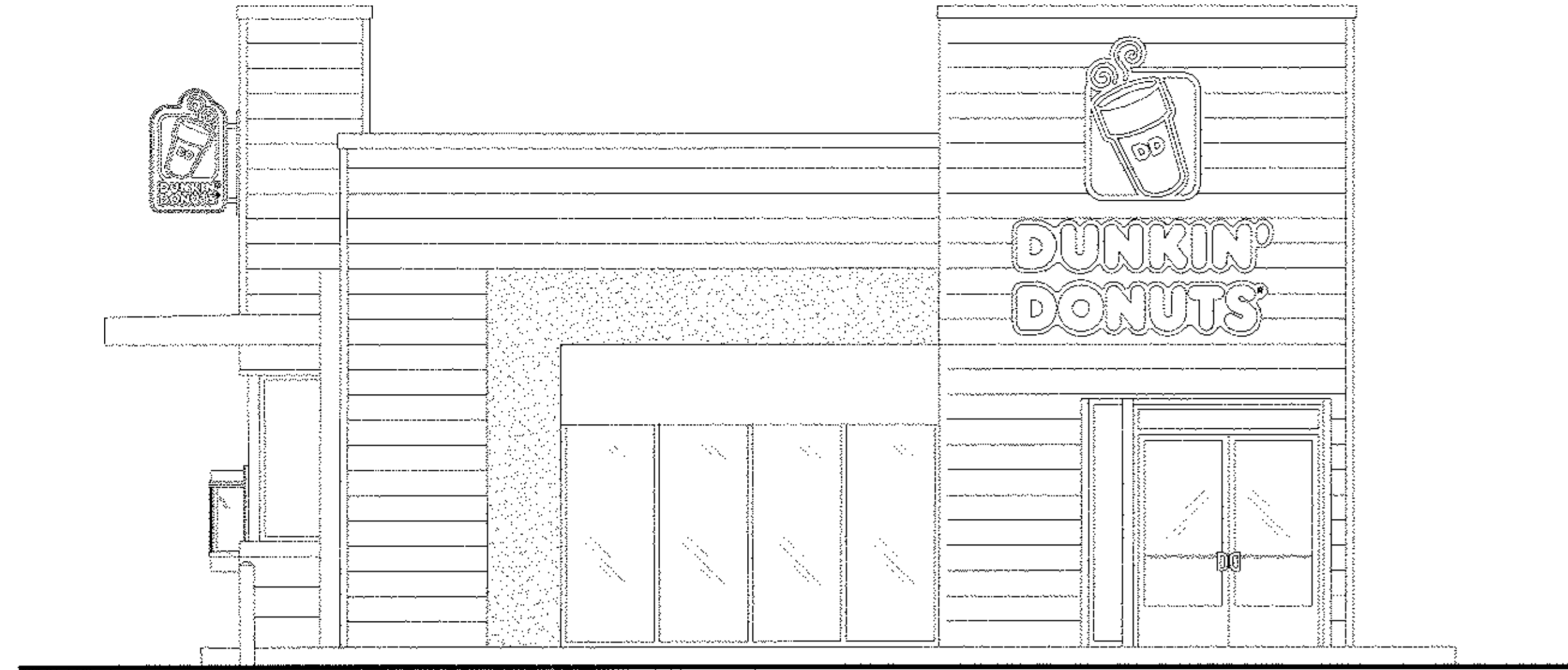
**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

# LZL EQUITIES / DUNKIN DONUTS

## 301 ROUTE 32



**1** Conceptual Front East Elevation  
T-1 Scale: N.T.S.

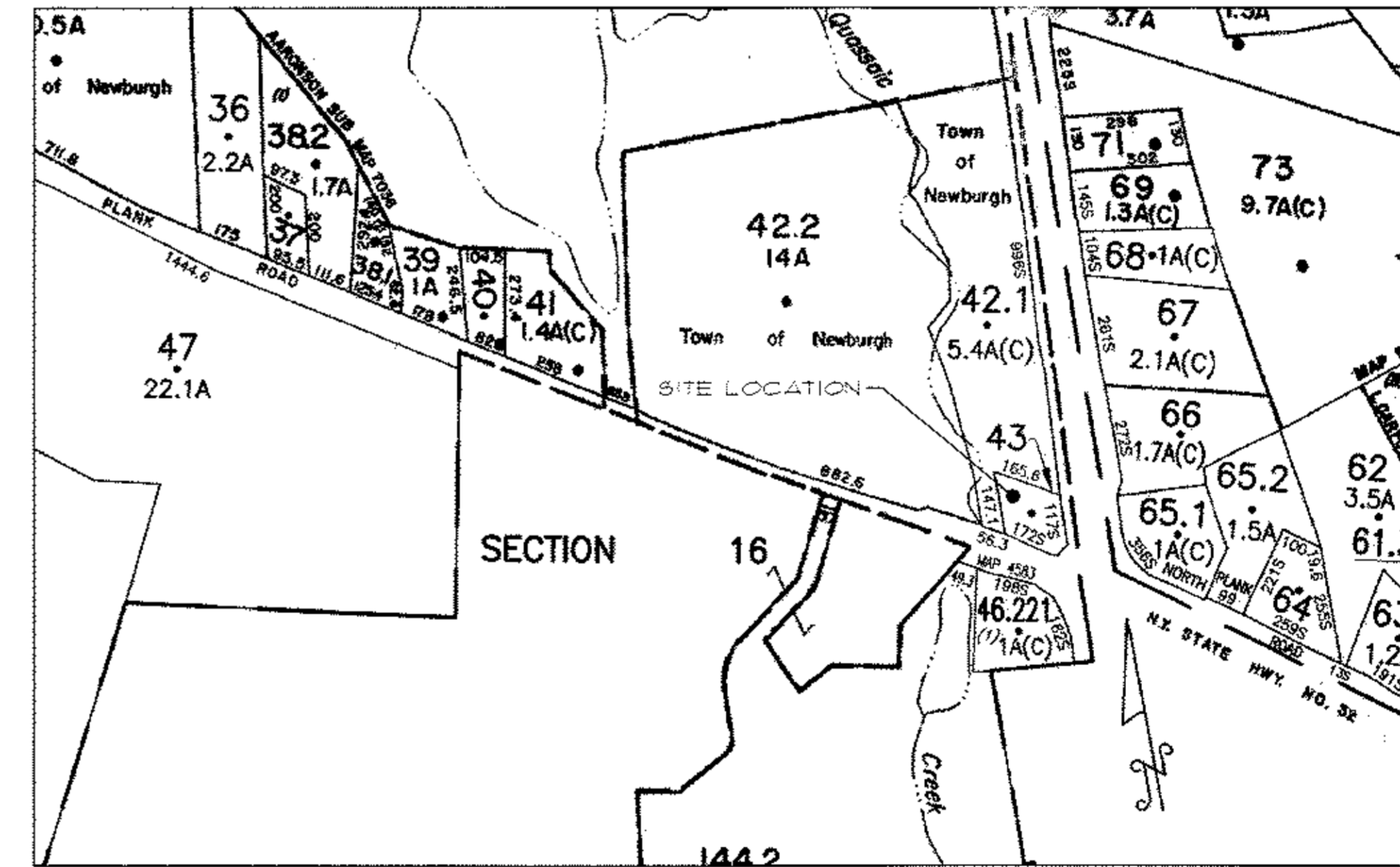
LIST OF DRAWINGS	
T-1	TITLE SHEET
S-1	EXISTING SITE PLAN & BULK TABLE
S-2	DEMOLITION SITE PLAN
S-3	PROPOSED SITE PLAN
S-4	TYPICAL DETAILS
S-5	TYPICAL DETAILS
S-6	TYPICAL DETAILS
S-7	TYPICAL DETAILS
A-1	CONCEPTUAL EXTERIOR ELEVATIONS

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER TO ALTER AN ITEM IN ANY WAY IF SUCH ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED. THE ALTERING ARCHITECT OR ENGINEER SHALL APPEAR TO HOLD THE SEAL AND THE NOTATION AS FOLLOWS: FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION. NOTE: DO NOT SCALE.



Legend	
[Symbol]	AREA NOT IN SCOPE OF WORK
[Symbol]	WATER CLOSET
[Symbol]	LAVATORY
[Symbol]	NEW DOOR
[Symbol]	EXISTING DOOR
[Symbol]	EXISTING WALL
[Symbol]	NEW CMU WALL
[Symbol]	NEW RATED SHAFT WALL
[Symbol]	NEW MASONRY WALL
[Symbol]	NEW STUD WALL
[Symbol]	CENTER LINE
[Symbol]	BEAM ABOVE
[Symbol]	PROPERTY BOUNDARY
[Symbol]	FENCE LINE
[Symbol]	SETBACK AREA
[Symbol]	FOOTING
[Symbol]	GRADE
[Symbol]	CALL OUT
[Symbol]	SECTION MARKER
[Symbol]	ELEVATION MARKER
[Symbol]	BACKFILL/DISTURBED EARTH
[Symbol]	EXIST EARTH
[Symbol]	TARGET ELEVATION
[Symbol]	CENTERLINE
[Symbol]	WALL ASSEMBLY MARKER
[Symbol]	DOOR SCHEDULE MARKER
[Symbol]	WINDOW SCHEDULE MARKER
[Symbol]	COLUMN LINE MARKER

Abbreviations			
ADA	AMERICAN DISABILITIES ACT	HT.	HEIGHT
APP	ABOVE FINISH FLOOR	INSTALL.	INSTALLATION
A.H.J.	AUTHORITY HAVING JURISDICTION	INSUL.	INSULATION
ALUM	ALUMINUM	JSTS	JOISTS
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	lb.	POUND
APPROX.	APPROXIMATE	LL.	LIVE LOAD
ASBY.	ASSEMBLY	LVL.	LAMINATED VENEER LUMBER
BOCY	BUILDING CODE NEW YORK	MAX.	MAXIMUM
BO	BOARD	MIL.	MILLIMETER
B.I.	BUILDING INSPECTOR	MIN.	MINIMUM
BLDG.	BUILDING	M.O.	MASONRY OPENING
B.O.	BOTTOM OF	MTL.	METAL
BTM	BOTTOM	N/A	NOT APPLICABLE
CL	CLOSET	N.T.S.	NOT TO SCALE
CLNG	CEILING	O.C.	ON CENTER
C.O.	CARBON MONOXIDE DETECTOR	O.H.	OVER HEAD/ OVER HANG
CONC	CONCRETE	P.E.	PROFESSIONAL ENGINEER
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
COV.	COVERAGE	P.S.I.	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	R.A.	REGISTERED ARCHITECT
D.H.	DOUBLE HUNG	REINF.	REINFORCING
DIA.	DIAMETER	REF.	REFRIGERATOR
D.L.	DEAD LOAD	R.O.	ROUGH OPENING
D.TL	DETAIL	R.Y.	REAR YARD
ELEC.	ELECTRIC	SD	SMOKE DETECTOR
EQ.	EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SF.	SQUARE FEET
EW	EACH WAY	SS	STAINLESS STEEL
FDN.	FOUNDATION	STL.	STEEL
FI.	FIRE INSPECTOR	STOR.	STORAGE
FIN.	FINISH	S.Y.	SIDE YARD
FLR.	FLOOR	T.B.A.	TO BE ANNOUNCED
FT.	FOOT	T.O.	TOP OF
FTS.	FOOTING	T.W.S.	TYPICAL WALL SECTION
F.Y.	FRONT YARD	TYP.	TYPICAL
GALV.	GALVANIZED	VERT.	VERTICAL
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
G.S.L.	GROUND SNOW LOAD	W/	WITH
GYP.	GYPSPUM	W.I.C.	WALK-IN CLOSET
HORIZ.	HORIZONTAL	W.W.M.	WELDED WIRE MESH



**2** Site Location Map  
T-1 Scale: N.T.S.

LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)

Michael Minuta  
S.B.L. 14145  
301 Route 32  
Newburgh, New York 12550

For Planning Board Review / Not For Permit or Construction

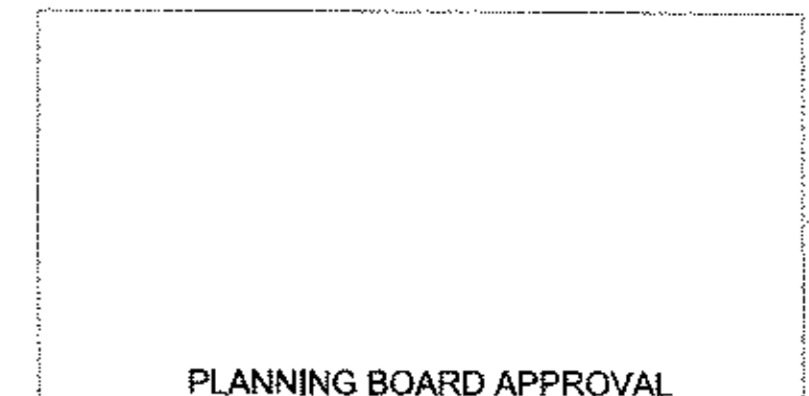
Date: 03/14/14  
Revisions:



THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT.

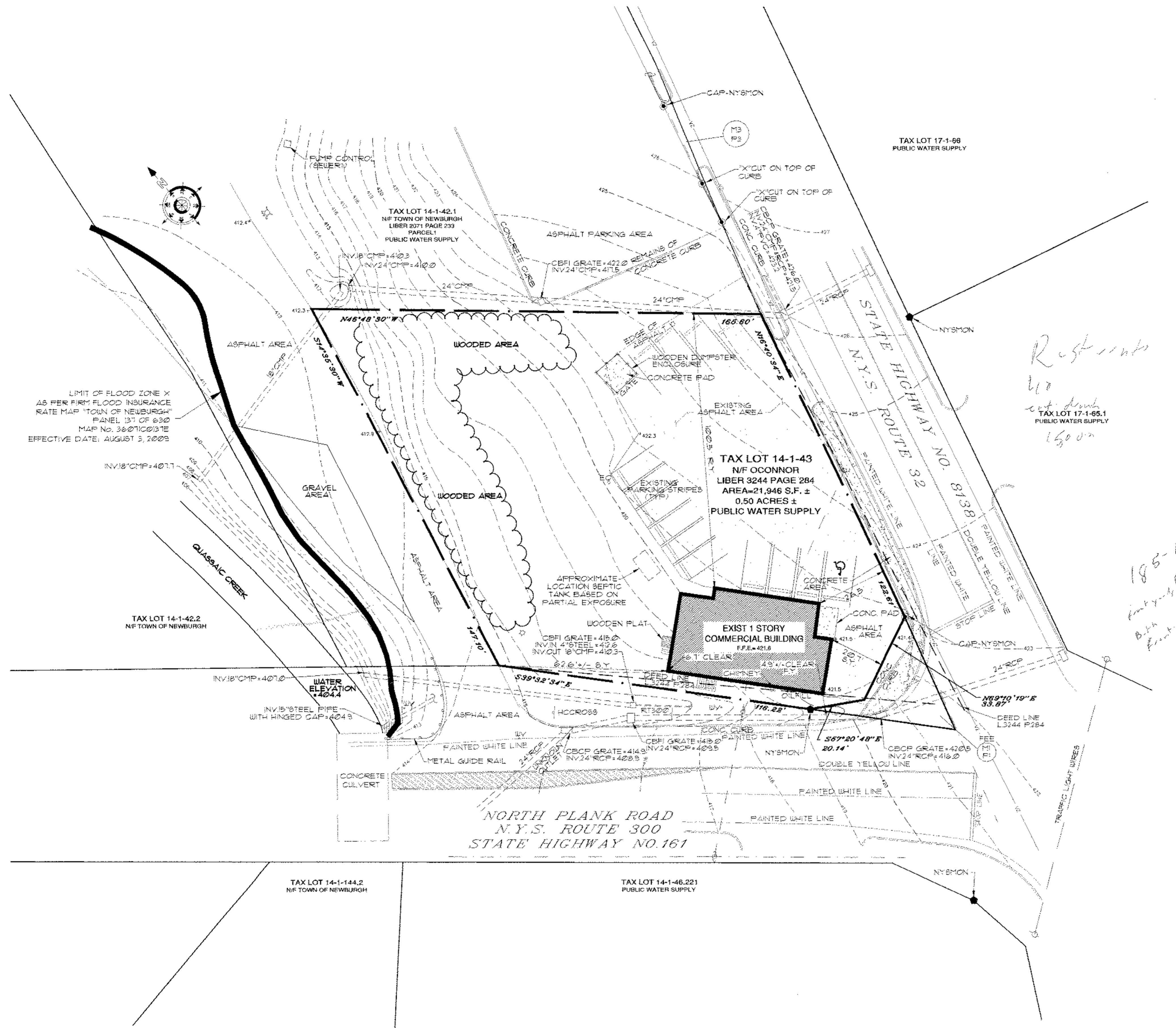
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DATE \_\_\_\_\_

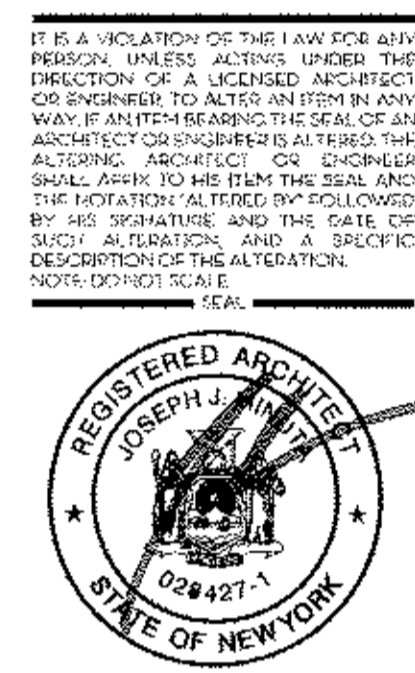


PLANNING BOARD APPROVAL  
SECT: 14; BLK: 1; LOT: 43

T-1



BULK TABLE REQUIREMENTS				
ZONING INFORMATION	ZONE: Business B DISTRICT			
	Use: Restaurant			
	Permitted with: Uses Subject to Site Plan Review by the Planning Board			
MINIMUM REQUIREMENTS				
	Required	Existing	Proposed	
Lot Area	40,000 SQ. FT.	21,946 SQ. FT. +/-	21,946 SQ. FT.	
Lot Width	150 FT.	150 FT. +/-	150 FT.	
Lot Depth	150 FT.	130 FT. +/-	130 FT.	
YARD SETBACKS				
	Required	Existing	Proposed	
Front	50 FT.	4.5 FT. +/-	36.5 FT.	
Rear	30 FT.	100.5 FT. +/-	47.5 FT.	
Side	50 FT.	20.7 FT. +/-	36.8 FT.	
Both	30 FT.	83.4 FT. +/-	83.6 FT.	
MAXIMUM PERMITTED				
	Permitted	Existing	Proposed	
Habitable Floor Area Per Dwelling Unit	---	---	---	
Dwelling Units Per Acre	---	---	---	
Lot Building Coverage	40% 8,718.4 SQ. FT.	8% 1,741 SQ. FT. +/-	7.3% 16,202 SQ. FT. +/-	
Building Height	35 FT.	15 FT. +/-	21.5 FT. +/-	
Lot Surface Coverage	80% 17,556.8 SQ. FT.	48% 9,666 SQ. FT. +/-	72% 15,203 SQ. FT. +/-	
* INDICATES PRE-EXISTING NONCONFORMING CONDITION ** INDICATES VARIANCE REQ'D.				



LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)

Michael Nafah  
 S-54, 14-43  
 307 Route 32  
 Newburgh, New York 12550

Date: 03/14/14  
 Revisions:

For Planning Board Review / Not For Permit or Construction

1 Existing Site Plan (Option #2 of Narrative)  
 S-1 Scale: 1" = 20'-0"

NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY DARREN J. STRIDIRON, P.L.S. NY6 LIC. # 050487 FOR MR. NARASH DATED: DECEMBER 17, 2013

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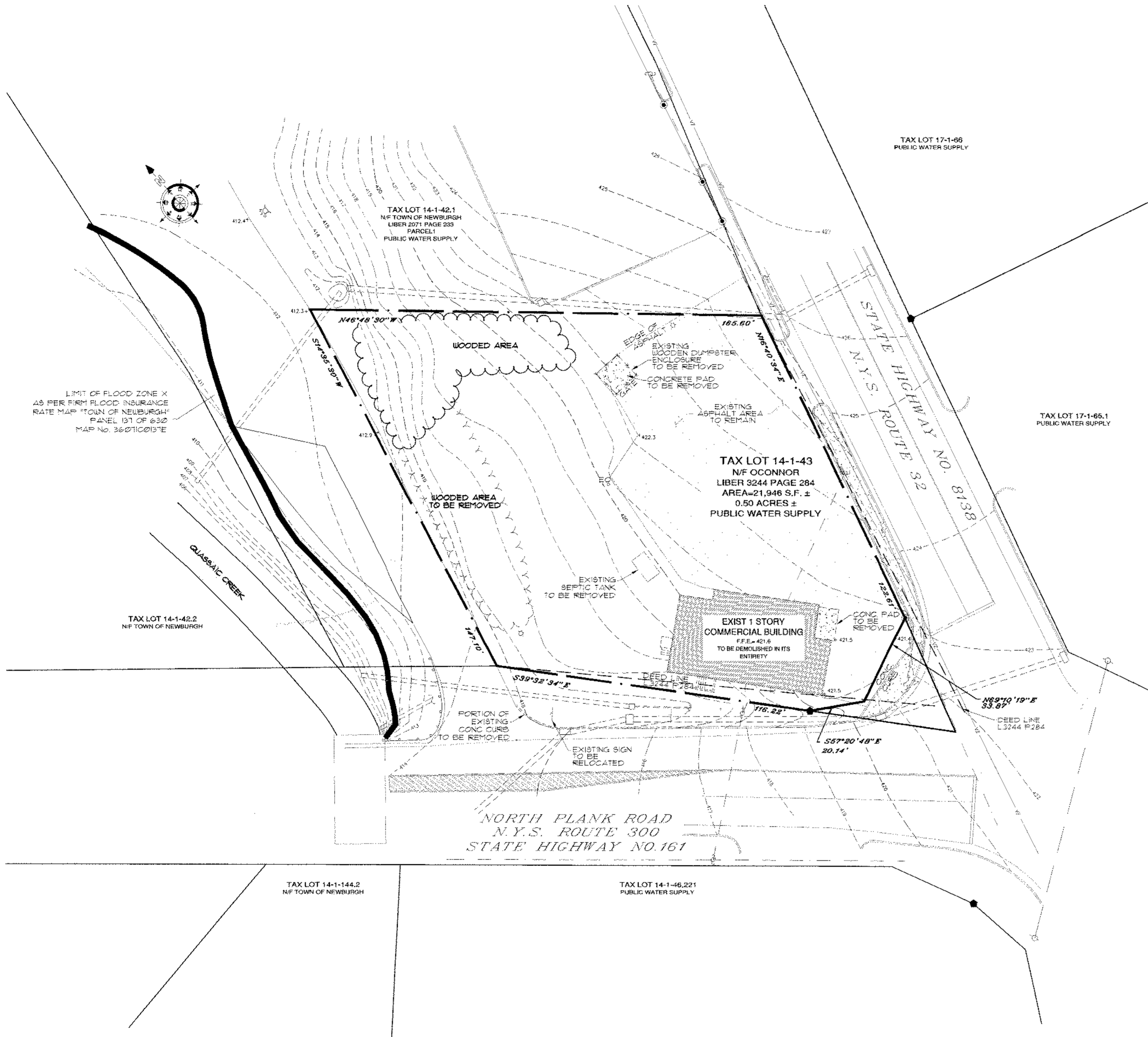
THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

PLANNING BOARD APPROVAL  
 SECT: 14; BLK: 1; LOT: 43

Z:\2013 Projects\3123.LZL Dunkin Donuts Newburgh\CAD\3123.LZL Dunkin Donuts Newburgh S-1 011514.dwg S-1, 01/20/14 2:04:11 PM  
 11. COPYRIGHT 2013 Minuta Architecture, PLLC - ALL RIGHTS RESERVED - FOR USE ONLY BY THE OWNER AND SITE LISTED



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LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)

Michael Nafash  
 S.D.L., L.S.L.S.  
 301 Route 32  
 Newburgh, New York 12550

For Planning Board Review / Not For Permit or Construction

Date: 01/14/14  
 Revisions:

Drawn By: DB & LC

**S-2**

3 of 9

**1** Demolition Site Plan  
 S-2 Scale: 1" = 20'-0"

NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY DARREN J. STRIDIRON, P.L.S., NYS LIC. # 050487 FOR MR. NAFASH DATED: DECEMBER 17, 2013

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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

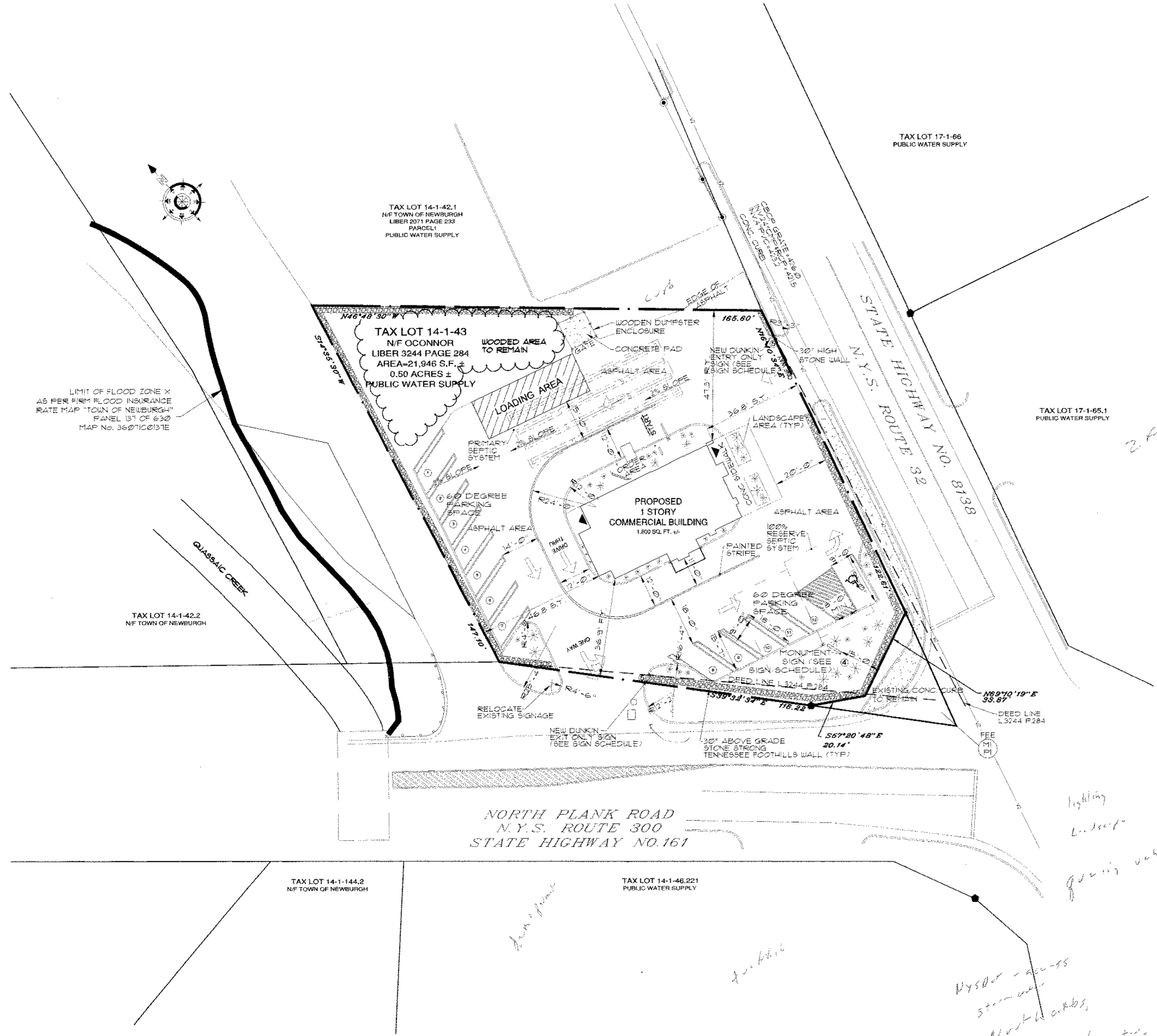
PLANNING BOARD APPROVAL  
 SECT: 14; BLK: 1; LOT: 43

NOTES:  
1. ESTIMATED 1500+ CUBIC YARDS OF MATERIAL TO BE EXCAVATED FOR FULL BASEMENT.  
2. ESTIMATED 2000+ CUBIC YARDS OF FILL REQUIRED TO REGRADE SITE.

BULK TABLE REQUIREMENTS			
ZONING INFORMATION	ZONE : Business B DISTRICT		
	Use : Restaurant		
	Permitted with: Uses Subject to Site Plan Review by the Planning Board		
<b>MINIMUM REQUIREMENTS</b>			
	Required	Existing	Proposed
Lot Area	40,000 SQ. FT.	21,046 SQ. FT +/-	21,046 SQ. FT.
Lot Width	150 FT.	160 FT +/-	160 FT.
Lot Depth	150 FT.	130 FT +/-	130 FT.
<b>YARD SETBACKS</b>			
	Required	Existing	Proposed
Front	5.0 FT.	4.5 FT +/-	136.9 FT.
Rear	3.0 FT.	100.5 FT +/-	41.3 FT.
Side	15 FT.	22.7 FT +/-	36.8 FT.
Both	3.0 FT.	83.4 FT +/-	83.6 FT.
<b>MAXIMUM PERMITTED</b>			
	Permitted	Existing	Proposed
Habitable Floor Area Per Dwelling Unit	---	---	---
Dwelling Units Per Acre	---	---	---
Lot Building Coverage	40% 16,000 SQ. FT.	8% 1,741 SQ. FT +/-	7.5% 16,000 SQ. FT +/-
Building Height	35 FT.	15 FT +/-	21.5 FT +/-
Lot Surface Coverage	80% 32,000 SQ. FT.	45% 9,360 SQ. FT +/-	72% 15,000 SQ. FT +/-

\* INDICATES PRE-EXISTING NONCONFORMING CONDITION  
\*\* INDICATES VARIANCE REQ'D

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER TO ALTER AN INSTRUMENT OF PROFESSIONAL SERVICE OR TO SIGN ANY INSTRUMENT OF PROFESSIONAL SERVICE OR TO SIGN ANY INSTRUMENT OF PROFESSIONAL SERVICE UNLESS THE ARCHITECT OR ENGINEER IS ALREADY REGISTERED IN THE STATE OF NEW YORK. THE ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND SIGNATURE AND THE DATE OF SUCH ALLEGATION AND A SPECIFIC DESCRIPTION OF THE ALLEGATION. NOTE: DO NOT SCALE.



SIGNAGE SCHEDULE		
SIGN #	PROPOSED	PERMITTED
	SIGN AREA	TOTAL AREA OF SIGNS } OF THE LENGTH OF STREET FRONTAGE OF THE LOT IN LINEAR FEET
1	2137 SQ. FT. (SEE A-1)	1316.4 SQ. FT.
2	2123 SQ. FT. (SEE A-1)	1316.4 SQ. FT.
3	3030 SQ. FT. (SEE A-1)	1316.4 SQ. FT.
4	5278 SQ. FT. (BOTH SIDES) (SEE B-3 & 1/5-B)	1316.4 SQ. FT.
5	905 SQ. FT. (BOTH SIDES) (SEE B-3 & 4/5-B)	3 SQ. FT. DIRECTIONAL
TOTAL SIGNAGE AREA PROPOSED = 12572 SQ. FT.		TOTAL SIGNAGE AREA PERMITTED = 1316.4 SQ. FT.

NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY DARREN J. STRIDIRON, F.L.S. NYS L.C. # 050481 FOR MR. NAFASH DATED: DECEMBER 17, 2013

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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

PLANNING BOARD APPROVAL  
SECT: 14; BLK: 1; LOT: 43

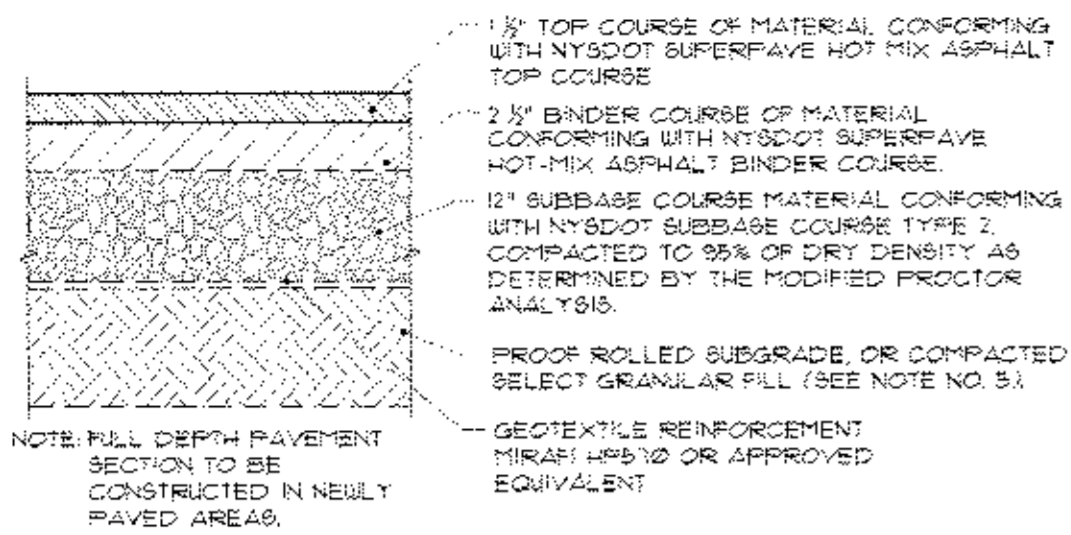
LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)  
Michael Nafash  
S.B.E. 14643  
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Newburgh, New York 12550  
For Planning Board Review / Not For Permit or Construction

Date: 01/14/14  
Revisions:

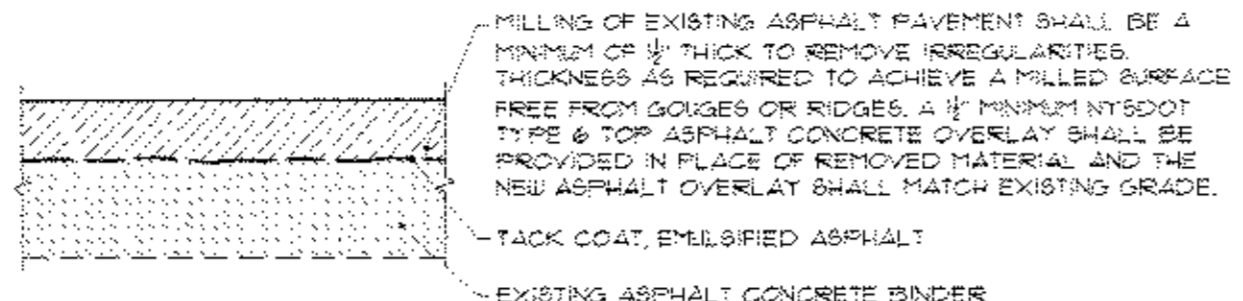
Drawn By: DB & LC

**S-3**

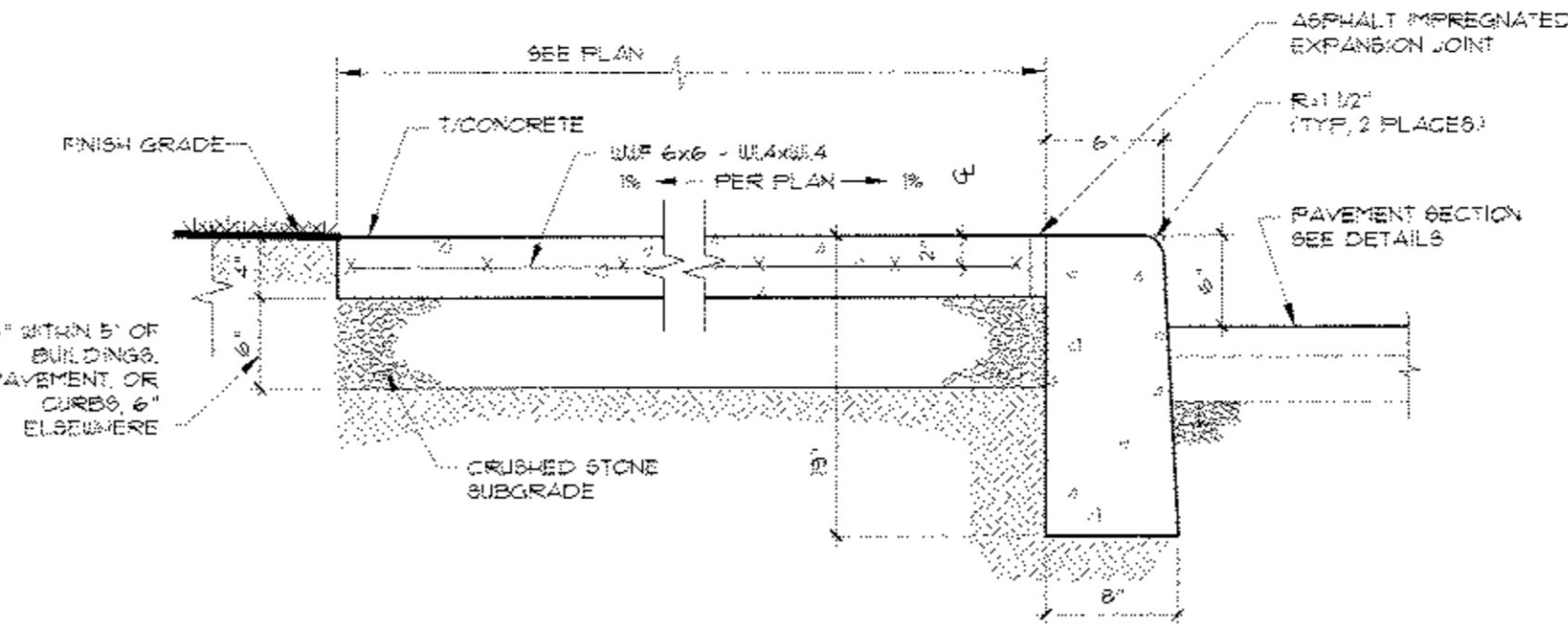
4 of 9



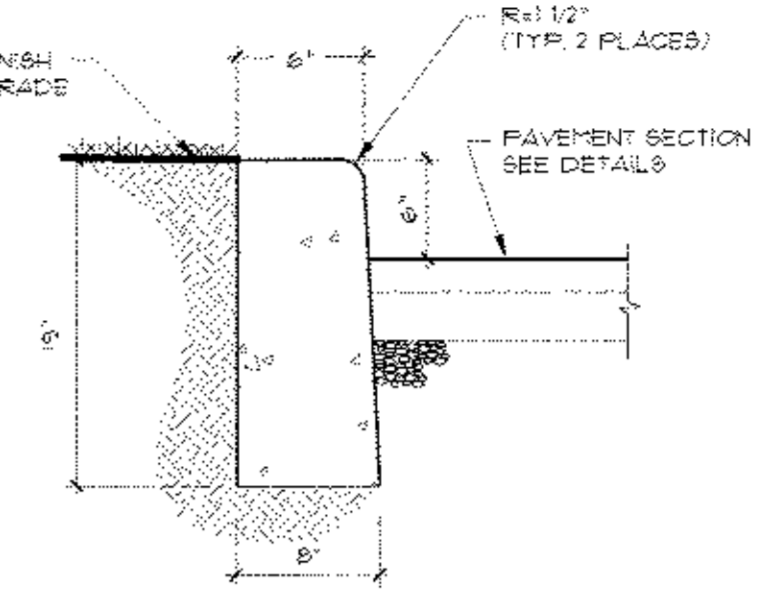
- NOTES:**
- MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO.
  - SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
  - HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 420 - HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 420 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 420 - HOT MIX ASPHALT (HMA) PAVEMENTS.
  - TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 421 - TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203 - EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.



- NOTES:**
- COLD MILLING SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 480 - COLD MILLING OF THE NYSDOT STANDARD SPECIFICATIONS, CURRENT AS OF MAY 1, 2008.
  - MILLED SURFACES SHALL BE SWEPT CLEAN OF LOOSE MILLINGS AND CLEANED OF ALL FINES AND DUST.
  - ALL MATERIALS REMOVED DURING THE MILLING OPERATION MUST BE DISPOSED OF BY THE CONTRACTOR.
  - IF AREAS ARE ENCOUNTERED THAT ARE UNSUITABLE TO SUPPORT THE ASPHALT OVERLAY, THESE AREAS ARE TO BE SOVED OUT AND THE FULL PAVEMENT SECTION IS TO BE REMOVED. THE PAVEMENT SECTION IS TO BE REPLACED TO MATCH THE EXISTING SECTION WITH A MINIMUM OF A 1 1/2" TOP COURSE AND 2" BINDER AND ONLY 1" SUBBASE.
  - MILLED SURFACES TO BE OVERLAID WITH ASPHALT SHALL BE COVERED WITH A DENSE GRADED ASPHALT COURSE WITHIN A 48 HOUR PERIOD OF THE MILLING OPERATION.
  - TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 421 - TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  - MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO.
  - HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 420 - HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 420 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 420 - HOT MIX ASPHALT (HMA) PAVEMENTS FOR MUNICIPALITIES.



- NOTES:**
- CURB SHALL BE CAST IN PLACE 4000 PSI @ 28 DAYS CONCRETE WITH RUBBED FINISH.
  - EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 (TEN) FOOT INTERVALS.
  - ALL CONCRETE FOR SIDEWALKS SHALL BE 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND A 1% MIN. 2% MAX. CROSS SLOPE.



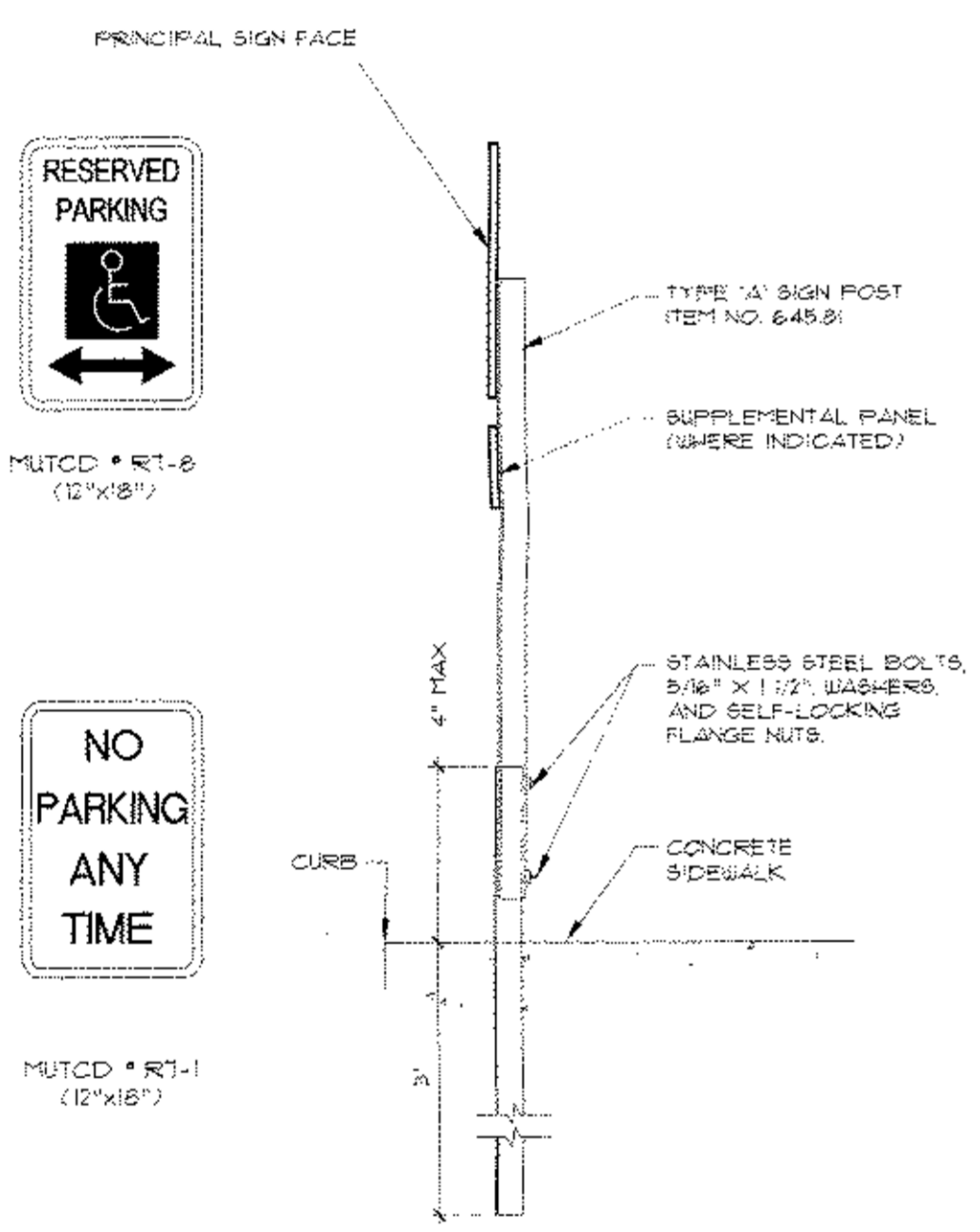
- NOTES:**
- CURB SHALL BE CAST IN PLACE 4000 PSI @ 28 DAYS CONCRETE WITH RUBBED FINISH.
  - EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 (TEN) FOOT INTERVALS.
  - ALL CONCRETE FOR SIDEWALKS SHALL BE 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND A 1% MIN. 2% MAX. CROSS SLOPE.

**1** Typical New Pavement Section  
S-4 Scale: 1" = 1'-0"

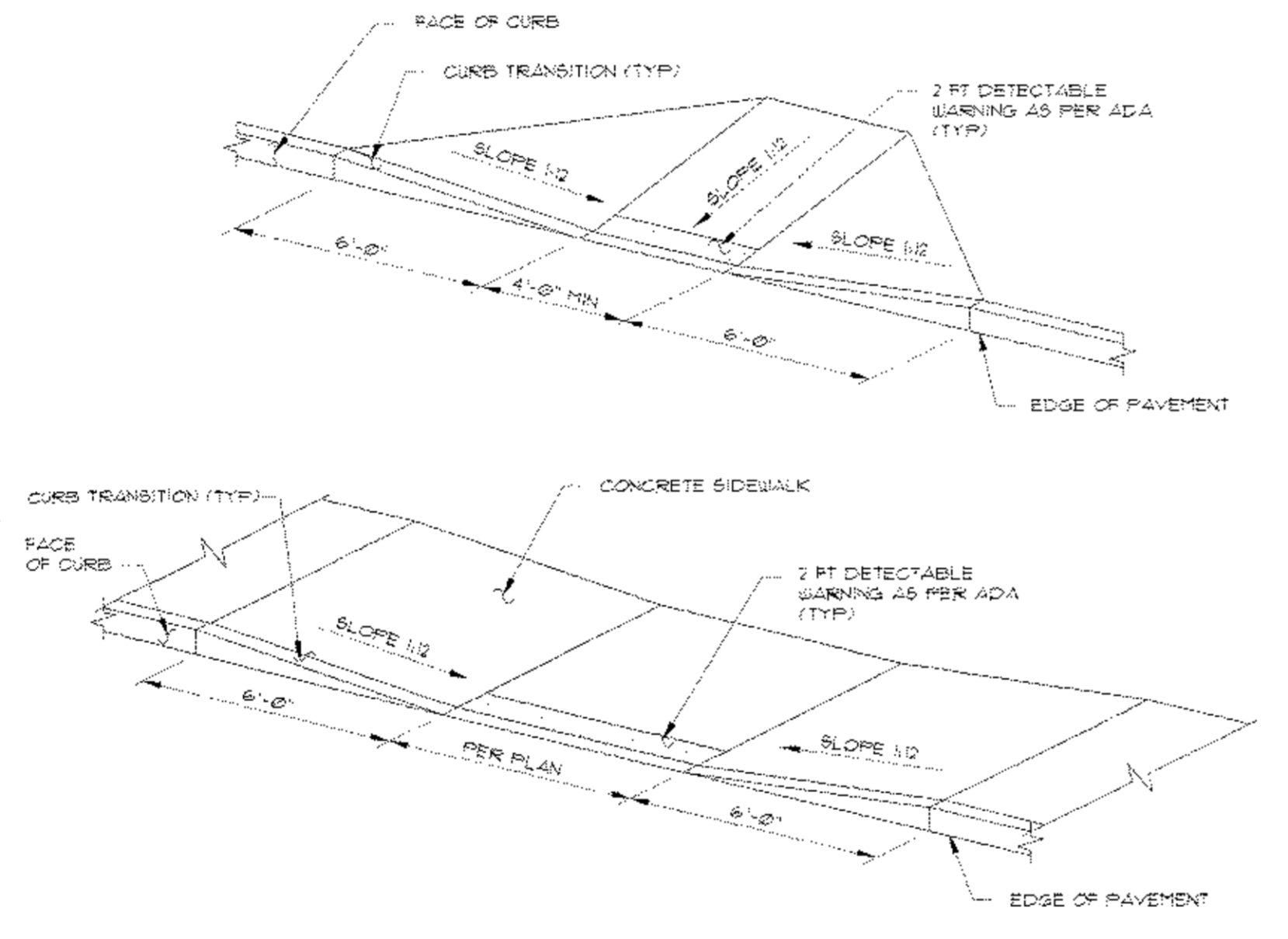
**2** Typical Pavement Overlay Section  
S-4 Scale: 1" = 1'-0"

**3** Typical Concrete Curb & Sidewalk Detail  
S-4 Scale: 1" = 1'-0"

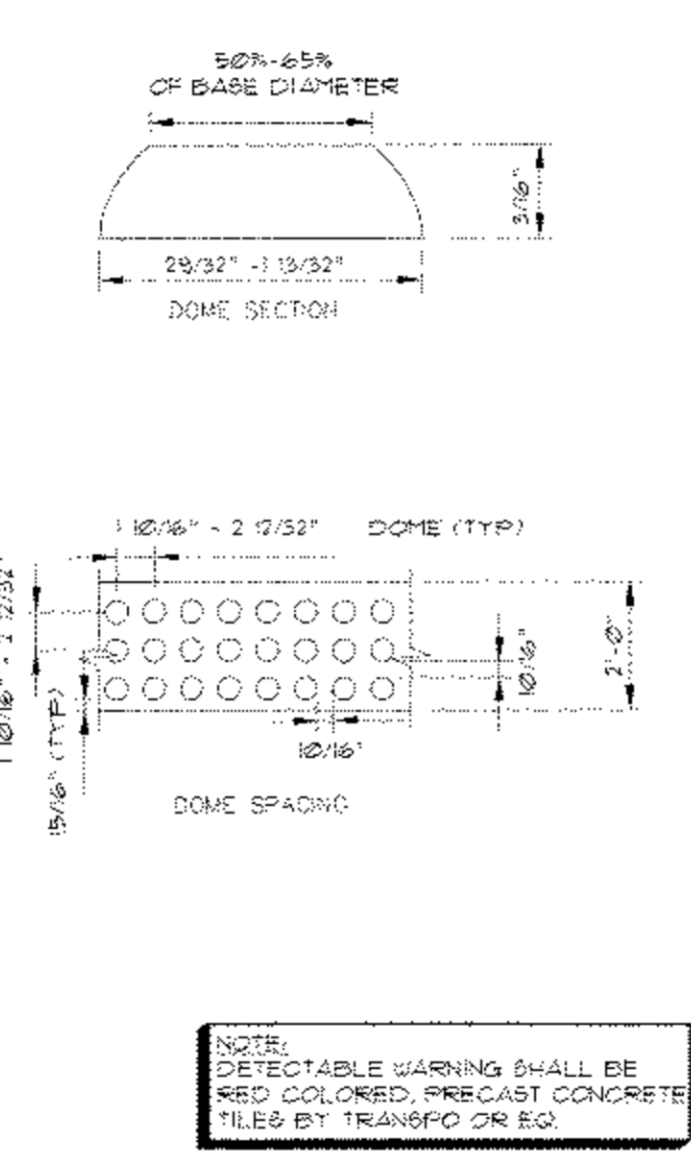
**4** Typical Concrete Curb @ Pavement Detail  
S-4 Scale: 1" = 1'-0"



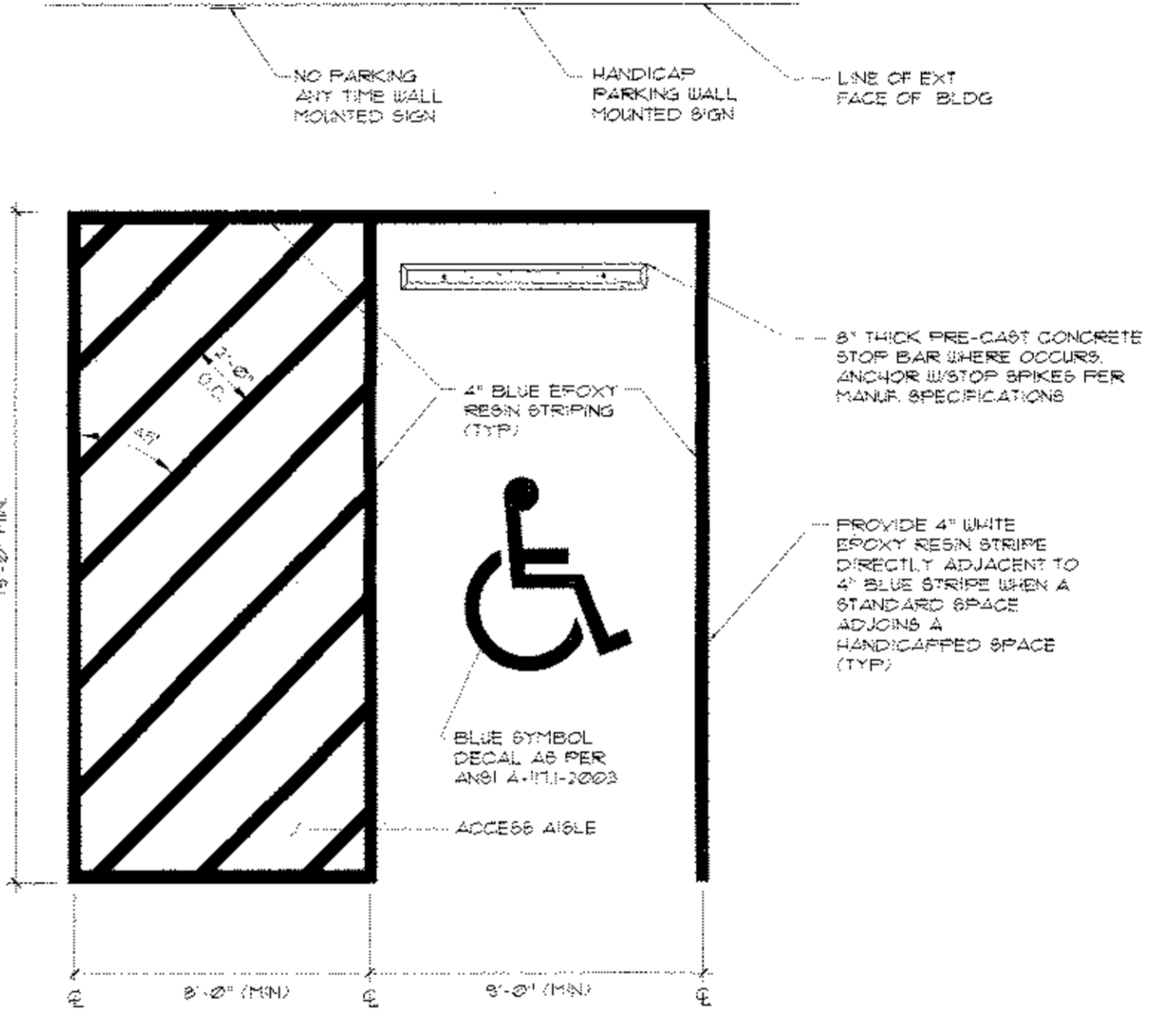
**5** Typical Sign Detail  
S-4 Scale: N.T.S.



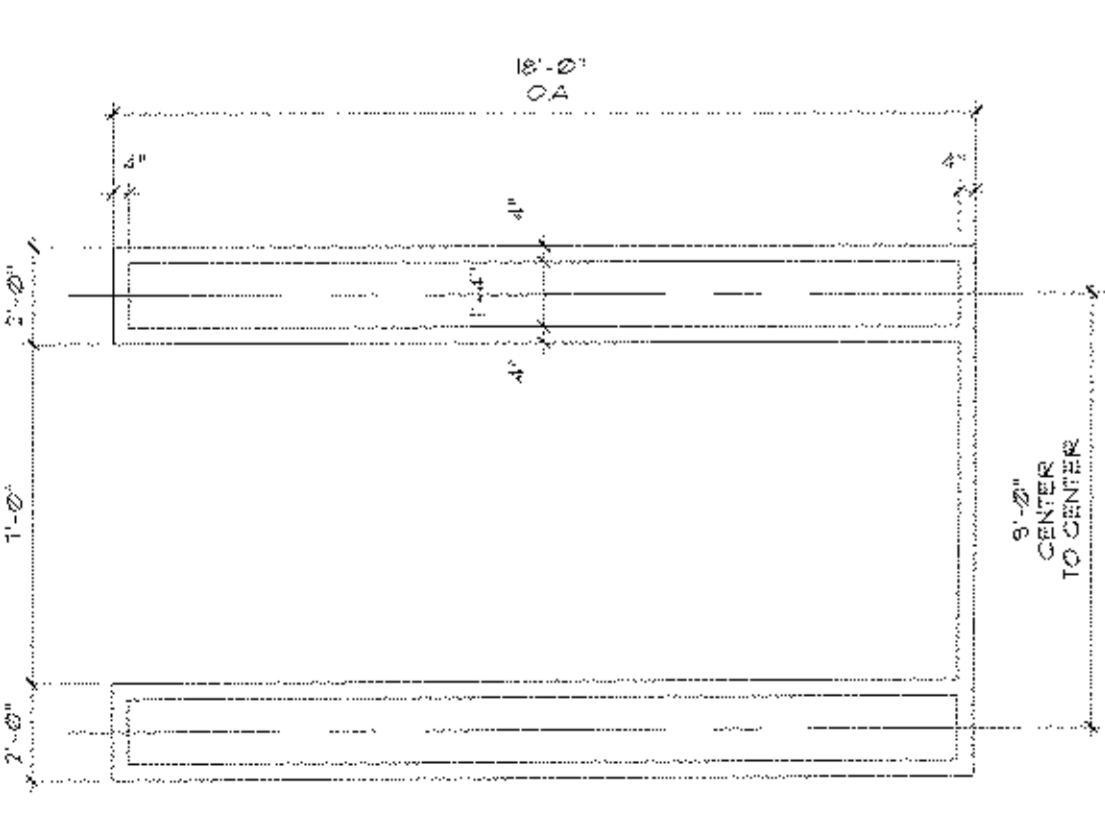
**6** Typical Handicap Ramp Details  
S-4 Scale: N.T.S.



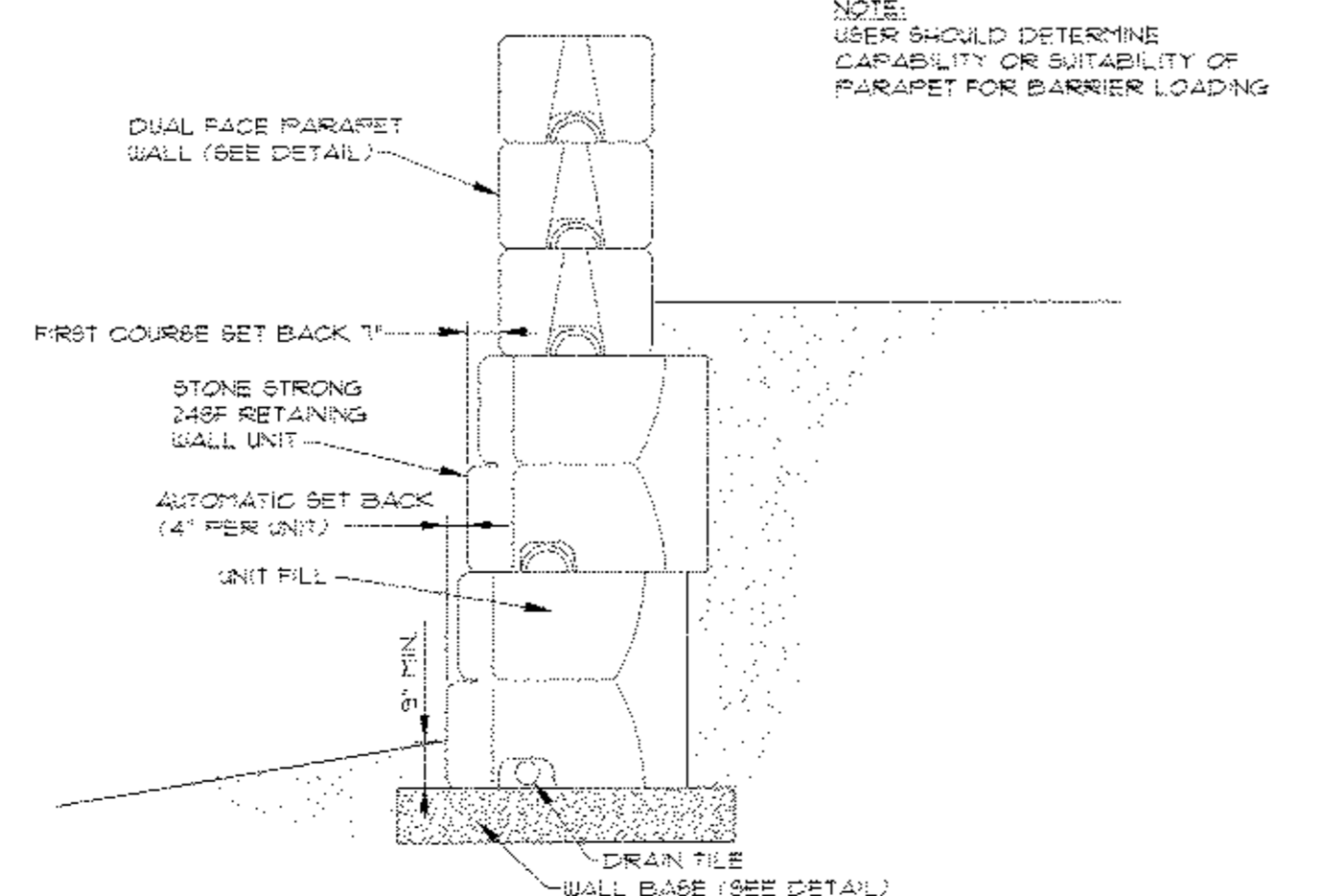
**NOTE:** DETECTABLE WARNING SHALL BE RED COLORED, PRECAST CONCRETE TILES BY TRANSPO OR EQ.



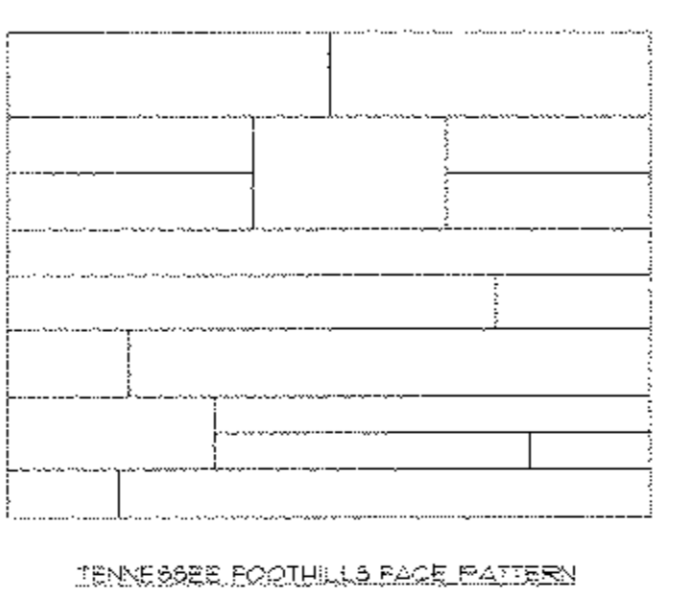
**7** Typical Handicap Parking Detail ANSI A117.1 2010 COMPLIANT  
S-4 Scale: N.T.S.



**8** Typical Parking Stall Striping Detail  
S-4 Scale: N.T.S.



**9** Typical Stone Strong System Retaining Wall w/ Parapet Detail  
S-4 Scale: N.T.S.



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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT.  
SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

PLANNING BOARD APPROVAL  
SECT: 14; BLK: 1; LOT: 43

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER IN ANY WAY IF ANYTHING THE SEAL OF AN ARCHITECT OR ENGINEER OR ALTER THE ALIEN ARCHITECT OR ENGINEER SEAL UPON TO HIS FIRM THE SEAL AND THE NOTATION THEREBY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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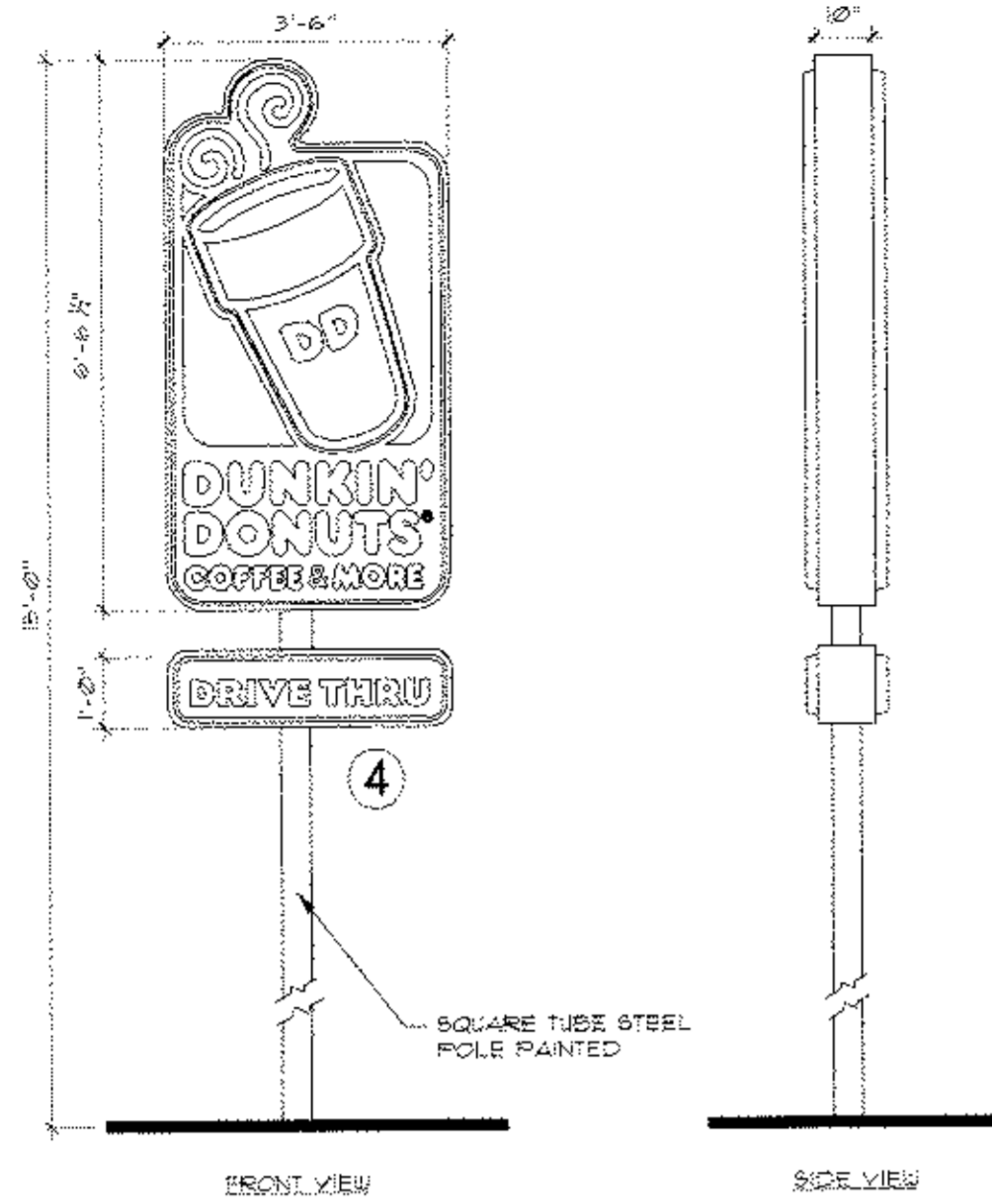
Date: 01/14/14  
Revised:

Drawn By: DB & LC

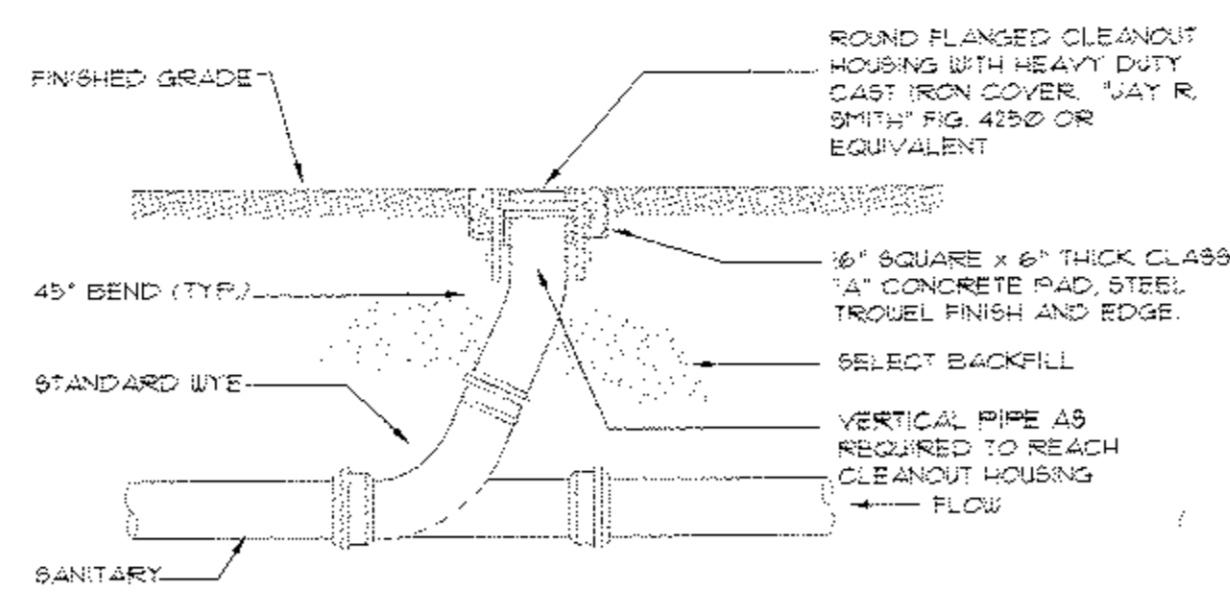
**S-4**

For Planning Board Review / Not For Permit or Construction



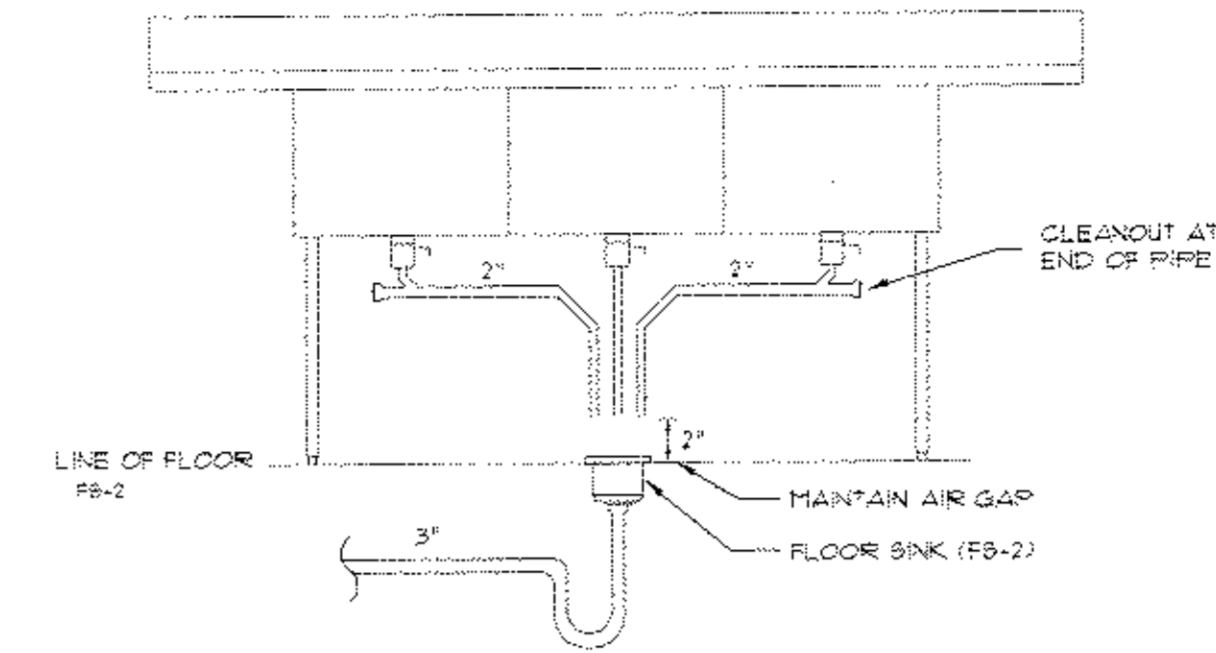


**1**  
**S-5** Typical Monument Sign Detail  
 Scale: N.T.S.



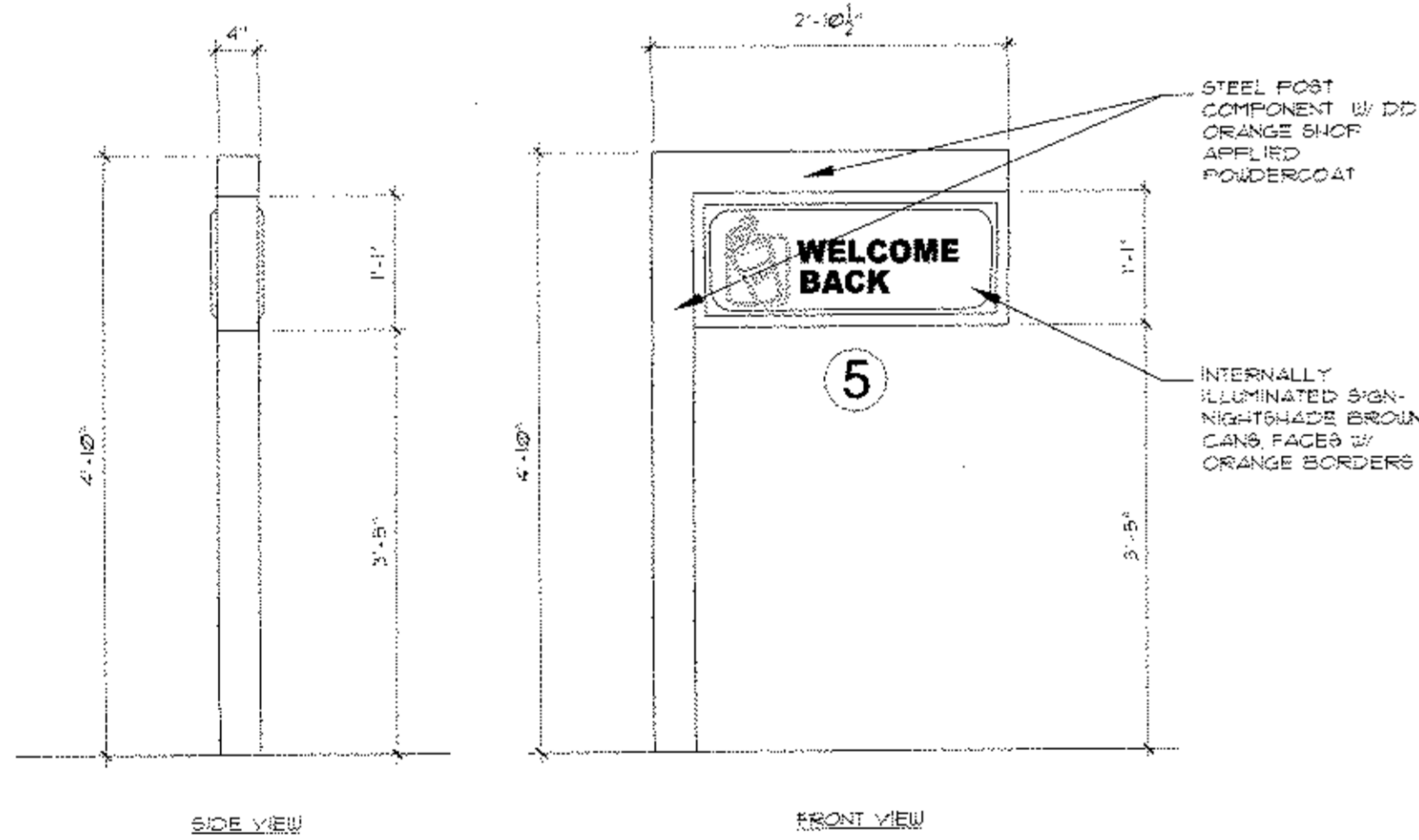
**NOTES:**  
 1. SANITARY SEWER PIPING AND FITTINGS SHALL BE OF THE MATERIAL INDICATED ON THE PLANS.  
 2. CLEANOUT LOCATION SHALL BE AS SHOWN ON PLANS.

**2**  
**S-5** Exterior Cleanout Detail  
 Scale: N.T.S.

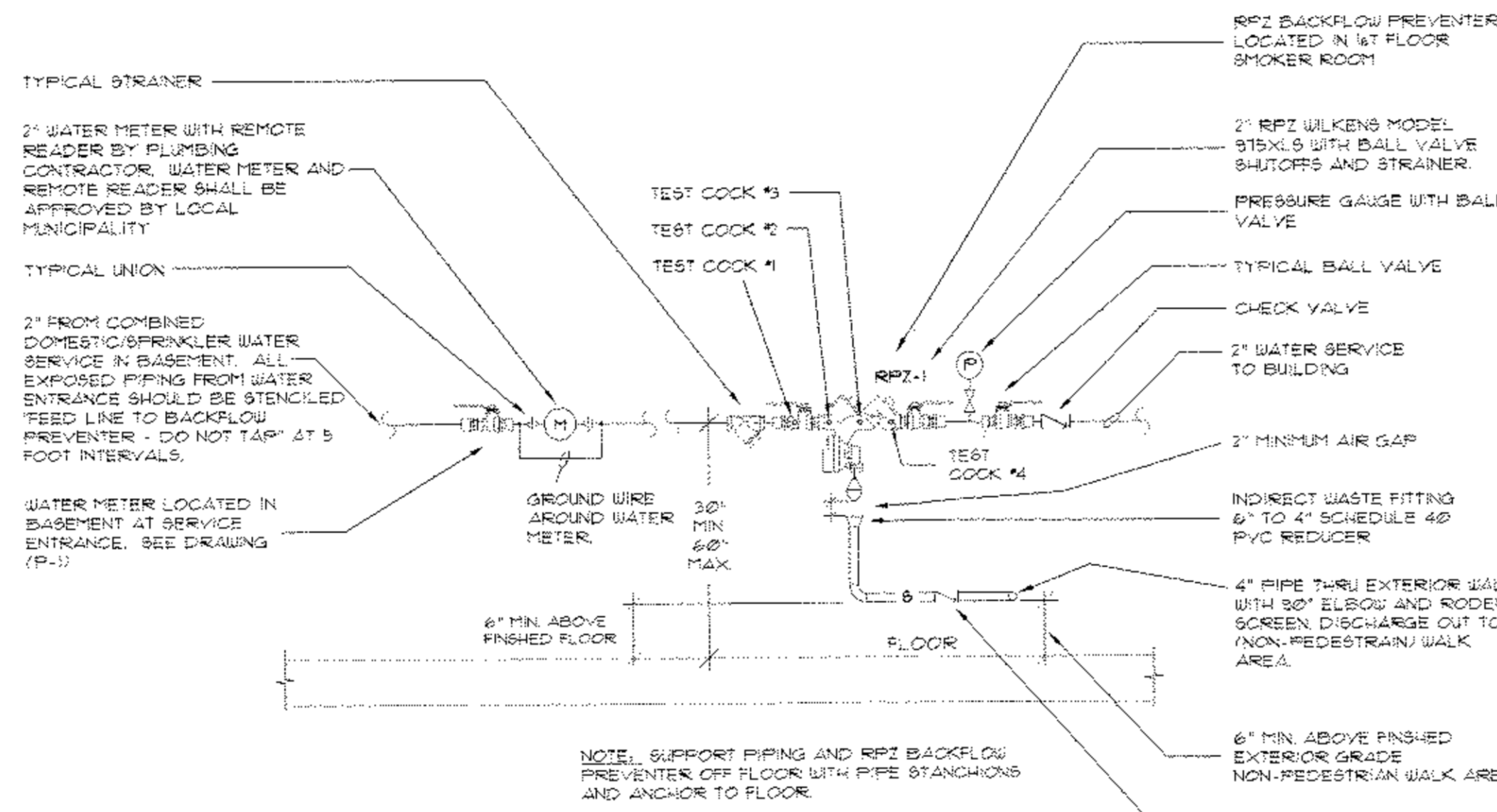


ARRANGEMENT SHOWN IS SCHEMATIC. ADJUST TO SUIT PARTICULAR SINK ARRANGEMENT, FIELD CONDITIONS OR MEET LOCAL CODE REQUIREMENTS. ALL FITTINGS SHOWN SHALL BE HUBLESS CAST-IRON PIPE, FITTINGS AND CONNECTORS.

**3**  
**S-5** Indirect Drainage Detail  
 Scale: N.T.S.

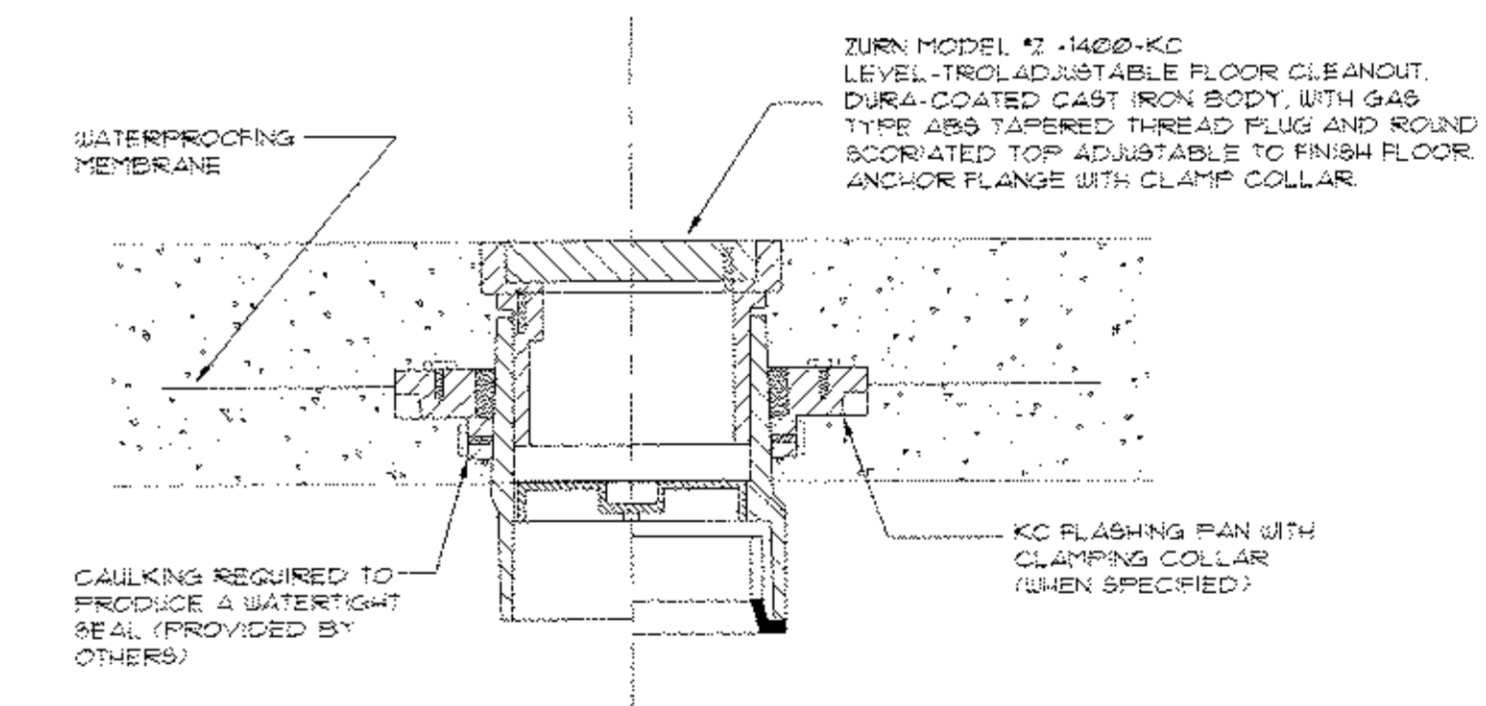


**4**  
**S-5** Typical Entry & Exit Sign Detail  
 Scale: N.T.S.



**REQUIRED CLEARANCES (RPZ)**  
 1. FRONT OF RPZ (2'-6") MINIMUM  
 2. BEHIND RPZ (8") MINIMUM  
 3. DISCHARGE PORT (1'-6") MINIMUM ABOVE FINISHED FLOOR  
 4. BACKFLOW PREVENTER MINIMUM (2'-6") ABOVE FINISHED FLOOR  
 5. BACKFLOW PREVENTER MAXIMUM (3'-0") ABOVE FINISHED FLOOR  
 6. ABOVE BACKFLOW PREVENTER MINIMUM (2")

**5**  
**S-5** Water Service Detail  
 Scale: N.T.S.



**6**  
**S-5** Floor Cleanout Detail  
 Scale: N.T.S.

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 NOTES: 10/27/2014  
 SEAL



LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)  
 Michael Ndalah  
 S.B.C. License  
 Newburgh, New York 12550  
 For Planning Board Review / Not For Permit or Construction

Date: 03/14/14  
 Revisions:

Drawn By: DB&IC

**S-5**

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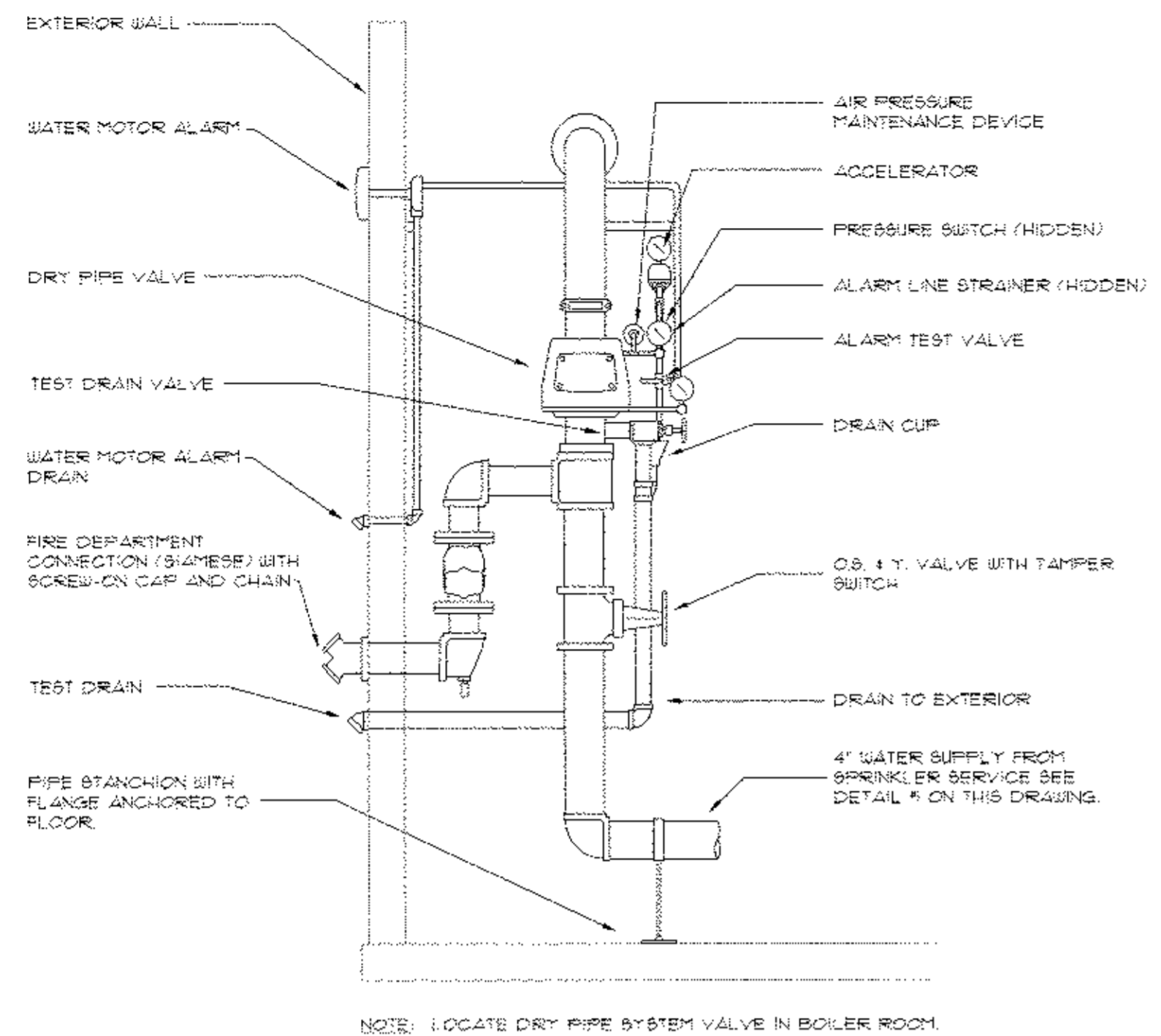
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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

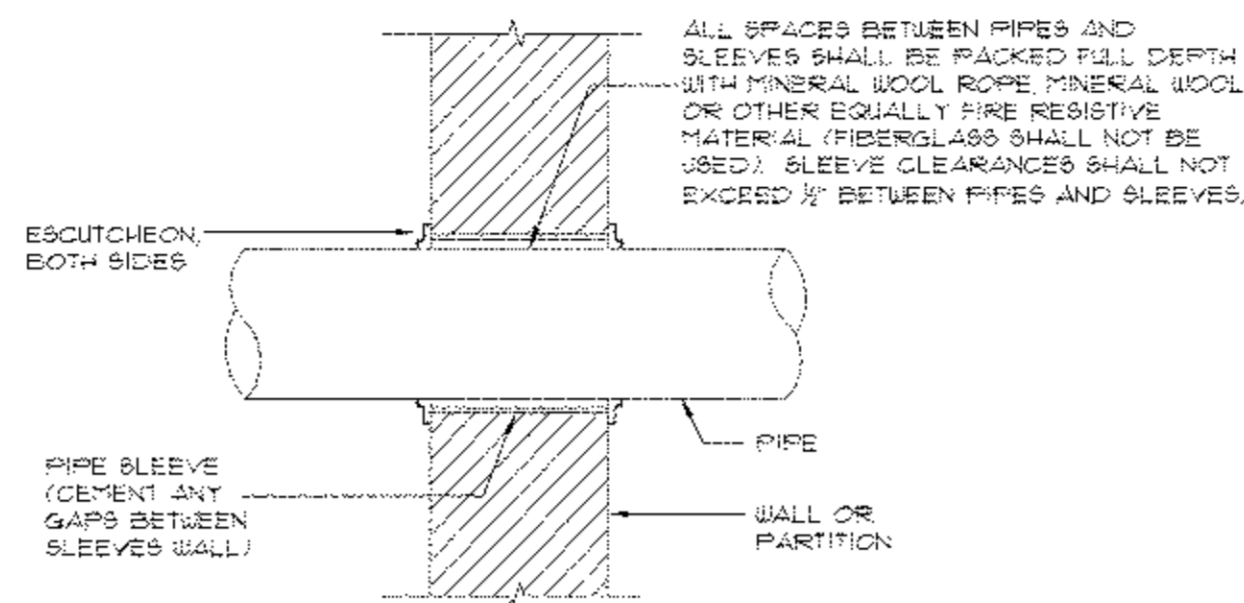
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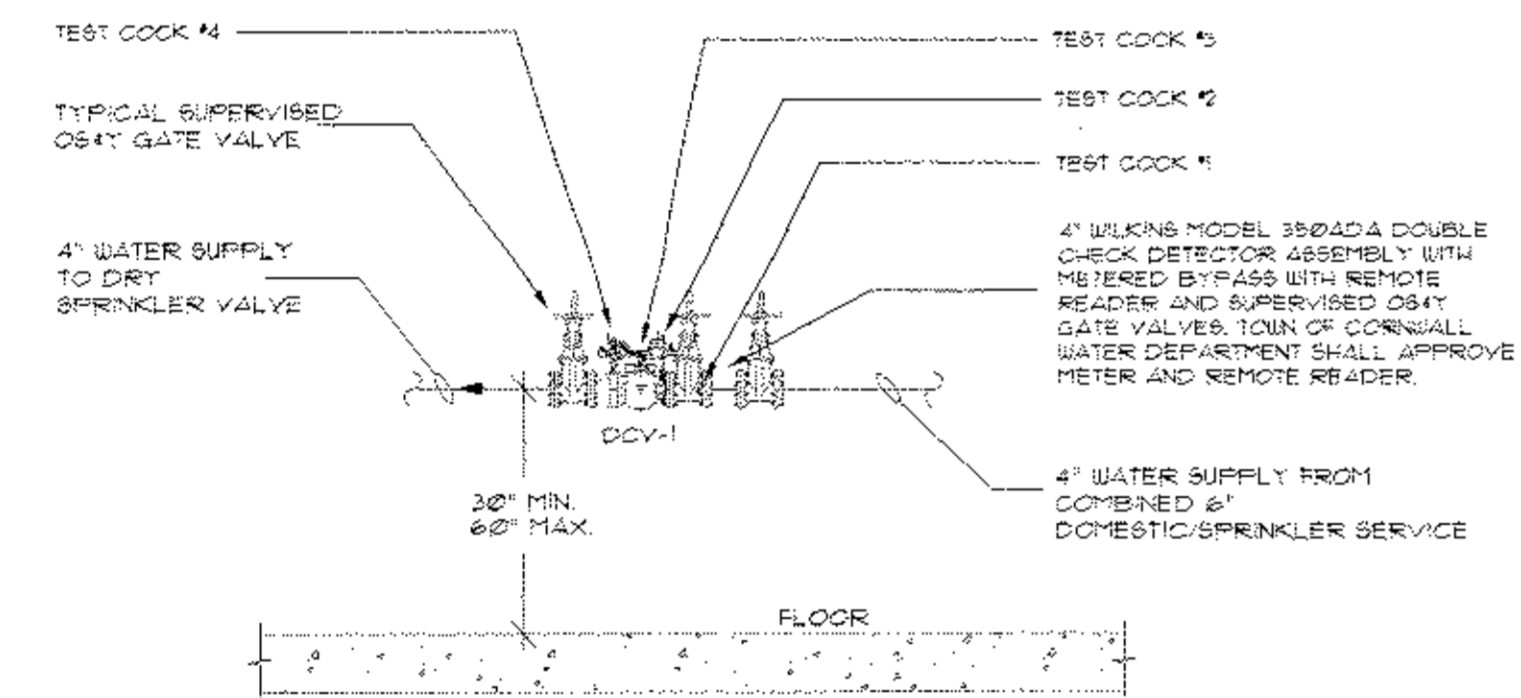
PLANNING BOARD APPROVAL  
 SECT: 14; BLK: 1; LOT: 43



**1 Dry Pipe System Schematic**  
Scale: N.T.S.

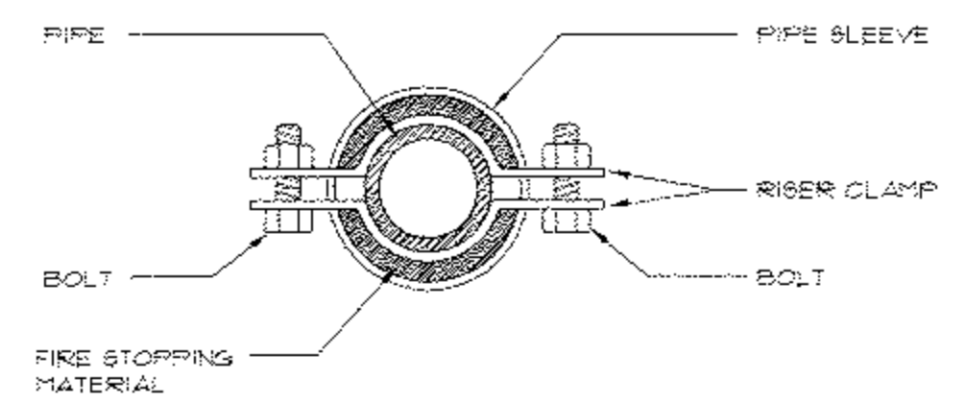


**3 Fire Rated Partitions & Walls**  
Scale: N.T.S.



- REQUIRED CLEARANCES (DOUBLE CHECKVALVE)**
- FRONT OF CHECKVALVE (2'-6") MINIMUM
  - BEHIND DOUBLE CHECKVALVE (12") MINIMUM
  - DISCHARGE PORT (1'-6") MINIMUM ABOVE FINISHED FLOOR
  - BACKFLOW PREVENTER MINIMUM (2'-6") ABOVE FINISHED FLOOR
  - BACKFLOW PREVENTER MAXIMUM (5'-0") ABOVE FINISHED FLOOR
  - MINIMUM (12") CLEAR ABOVE BACKFLOW PREVENTER

**2 Sprinkler System Equipment**  
Scale: N.T.S.



**4 Support / Anchor For Pipe Risers**  
Scale: N.T.S.

SPRINKLER SYSTEM TESTS	
1.	HYDROSTATIC - 200 PSI FOR 2 HOURS WITHOUT LOSS OF PRESSURE.
2.	DRY PIPE AND DOUBLE INTERLOCK SYSTEMS AIR TEST - IN ADDITION TO HYDROSTATIC TEST, AIR PRESSURE LEAKAGE TEST AT 40 PSI FOR 24 HOURS WITH LESS THAN 1 1/2 PSI LOSS.
3.	SYSTEM OPERATIONAL TESTS - WATER FLOW DETECTING DEVICES
4.	MAIN DRAIN VALVE - STATIC AND RESIDUAL PRESSURES.
5.	CONTRACTOR SHALL PERFORM ALL SPRINKLER SYSTEM TESTS REQUIRED BY LOCAL FIRE INSPECTOR OR AUTHORITY HAVING JURISDICTION.
6.	ALL TESTS WITNESSED BY LOCAL FIRE INSPECTOR OR AUTHORITY HAVING JURISDICTION. SUBMIT REPORT ON ALL TESTS TO LOCAL FIRE INSPECTOR AND ENGINEER FOR APPROVAL.

SPRINKLER SYSTEM REQUIREMENTS	
<b>OCCUPANCY CLASSIFICATIONS</b>	
1.	NFPA 13 LIGHT HAZARD OCCUPANCY - RESTAURANT / ATTIC AREAS ORDINARY GROUP 1 - STORAGE / KITCHEN PREP AREAS / MECH ROOMS
<b>DRY SPRINKLER SERVICE REQUIREMENTS</b>	
1.	NFPA 13 - LIGHT HAZARD: A. MINIMUM WATER SUPPLY (1500 GPM x 10 (DRY) x 13 (SLOPE)) 254 GPM 100 GPM B. TOTAL COMBINED INSIDE AND OUTSIDE HOSE STREAMS. MINIMUM 354 GPM
FLOOR TEST ON MANIFOLD SYSTEM BY SPRINKLER CONTRACTOR. SPRINKLER SYSTEM HYDRAULIC CALCULATIONS SHALL BE BASED ON FLOW TEST.	FINAL FLOW BASED ON APPROVED HYDRAULIC CALCULATIONS

**SPRINKLER NOTES**

- CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE AND OPERATIVE AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM, INCLUDING MAIN VALVES AND TIE-INS WITH FIRE ALARM SYSTEM AS NECESSARY TO COMPLY WITH NFPA 13 SPRINKLER SYSTEM.
- ALL SPRINKLER SYSTEM WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, NYS OTH GUIDELINES, NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 13, AND ALL APPLICABLE LOCAL CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PIPING, VALVES, SPRINKLER HEADS, TESTS, HANGERS, FITTINGS AND MISCELLANEOUS COMPONENTS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE SPRINKLER SYSTEM COMPLETE, OPERABLE, AND IN ACCORDANCE WITH APPLICABLE CODES AND GENERALLY ACCEPTED INDUSTRY STANDARDS.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PIPING, SPRINKLER HEADS AND EQUIPMENT WITH OTHER CONTRACTORS TO AVOID CONFLICTS.
- CONTRACTOR SHALL SEAL AROUND ALL PIPE PENETRATIONS THROUGH FIRE RATED WALLS AND CEILING WITH HILTI INTUMESCENT FIRE STOP MATERIALS TO MAINTAIN FIRE AND SMOKE RATINGS.
- CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER, AND AGREES TO REPLACE DEFECTIVE WORK AT NO ADDITIONAL COST TO OWNER DURING THE GUARANTEE PERIOD.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL EQUIPMENT, SPRINKLER HEADS AND PIPING WITH HYDRAULIC CALCULATIONS TO ENGINEER AND LOCAL FIRE INSPECTOR FOR APPROVAL. HYDRAULIC CALCULATIONS SHALL BE BASED ON RESIDUAL FLOW TEST AT SITE. DEMONSTRATE SPRINKLER SYSTEM TO OWNER AND REVIEW MAINTENANCE PROCEDURES. SUBMIT (2) EQUIPMENT MANUALS TO ENGINEERS.
- PROVIDE CHROME PLATED ESCUTCHEON PLATES WHERE PIPES PASS THROUGH WALL, FLOORS, AND CEILING IN FINISHED AREAS.
- CONTRACTOR SHALL COORDINATE FINAL LOCATIONS OF ALL PIPING IN FINISHED AREAS TO ENSURE CONCEALMENT OF ALL PIPING IN WALLS, FLOORS AND CEILING.
- CONTRACTOR SHALL PAY FOR ALL PERMITS AND INSPECTIONS FEES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS WITHOUT PERMISSION OF ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR CUTTING, PATCHING AND PAINTING ASSOCIATED WITH SPRINKLER WORK. SEE ARCHITECT'S SPECIFICATIONS AND GENERAL CONDITIONS FOR APPROVED MATERIALS AND METHODS.
- EXACT LOCATION OF FIRE DEPARTMENT CONNECTION AND SPRINKLER SYSTEM TEST/DRAIN SHALL BE APPROVED BY LOCAL FIRE DEPARTMENT CHIEF AND LOCAL FIRE INSPECTOR PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, TRENCHING, BACKFILL, COMPACTION AND REBURFING ASSOCIATED SPRINKLER WORK. SEE ARCHITECT'S SPECIFICATIONS AND GENERAL CONDITIONS FOR APPROVED MATERIALS AND METHODS.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OBSERVE ALL CLEARANCES.
- ALL CONTROL WIRING SHALL BE IN ACCORDANCE WITH NEC ELECTRICAL CODE AND ALL LOCAL CODES. ALL CONDUCTORS SHALL BE COPPER. 20'V - MINIMUM CONDUCTOR SIZE #12. 24V MINIMUM CONDUCTOR SIZE #8. SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION METHODS.
- CONTRACTOR SHALL OBSERVE CLEARANCES TO OBSTRUCTIONS.
- CONTRACTOR SHALL CHAIN CONTROL VALVE IN THE OPEN POSITION.
- CONTRACTOR SHALL COORDINATE POWER CONNECTION TYPE AND LOCATION OF DRY PIPE SPRINKLER SYSTEM AIR COMPRESSOR WITH ELECTRICAL CONTRACTOR PRIOR TO INSTALLING AIR COMPRESSOR.
- SPRINKLER CONTRACTOR SHALL PAY FOR DEDICATED POWER CONNECTION.
- CONTRACTOR SHALL FURNISH SHOP DRAWINGS INDICATING LOCATIONS OF ALL EQUIPMENT AND DEVICES INSTALLED IN CEILING. THESE DRAWINGS SHALL BE APPROVED BY ALL CONTRACTORS PRIOR TO INSTALLING ANY EQUIPMENT IN CEILING. CONTRACTORS THAT DO NOT FOLLOW SHOP DRAWINGS SHALL BEAR ALL COSTS FOR RELOCATING DEVICES AND EQUIPMENT IN CONFLICT WITH OTHER EQUIPMENT.
- CONTRACTOR SHALL FURNISH & INSTALL KNOX BOX AND EXTERIOR INDICATING LIGHTS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.

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LZ Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)  
Michael Nafash  
S.P.L. 144-43  
301 Plaza 32  
Newburgh, New York 12550

Date: 01/14/14  
Revisions:

Drawn By: DB & LC

**S-6**

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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT.

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

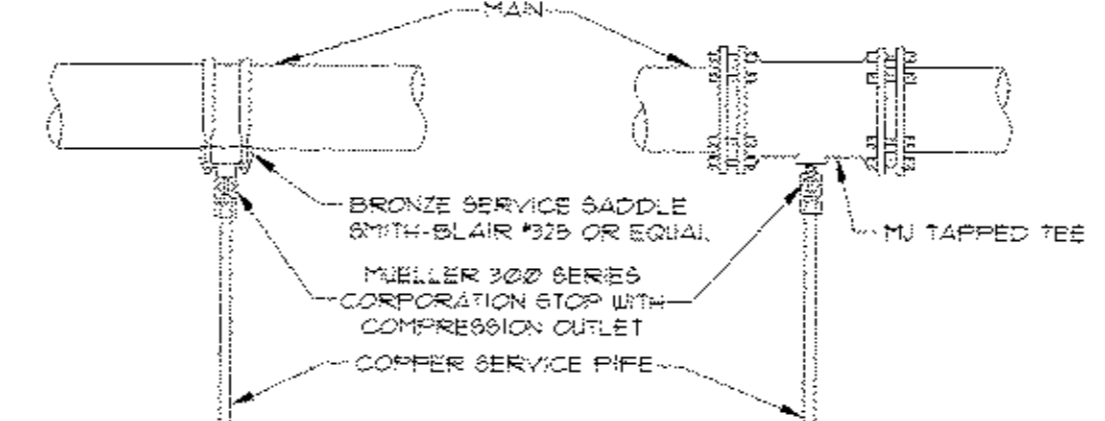
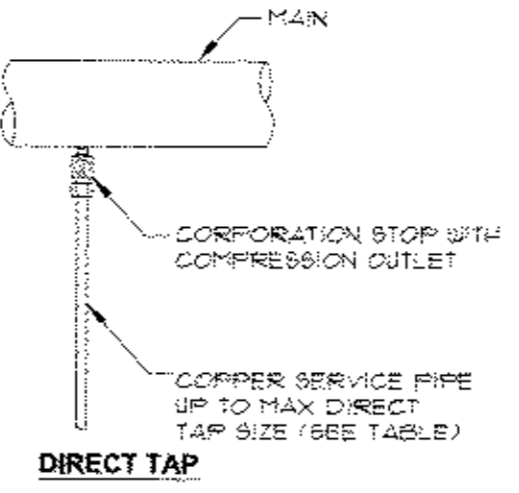
PLANNING BOARD APPROVAL  
SECT: 14; BLK: 1; LOT: 43

**MAX DIRECT TAP SIZE FOR DIP**

PIPE SIZE (INCHES)	THICKNESS CLASS	WALL THICKNESS (INCHES)	MAX TAP SIZE (INCHES)
4"	52	0.29	3/4"
6"	52	0.31	1"

**MAX DIRECT TAP SIZE FOR DIP**

PIPE SIZE (INCHES)	PRESSURE CLASS	WALL THICKNESS (INCHES)	MAX TAP SIZE (INCHES)
4"	350	0.25	3/4"
6"	350	0.25	1"



**3 Typical Copper Water Service Taps**  
 Scale: N.T.S.

- WATER**
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
  - ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C900/215-81 OR LATEST REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER FISH-ON OR MECHANICAL JOINT AS REQUIRED.
  - THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALIG SERIES 100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED JOINT RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
  - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C150/215-81 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C914/215-94 FOR LATEST REVISION DUCTILE IRON COMPACT FITTINGS.
  - ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C529 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
  - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-60 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVE CONFORMING TO ANSI/AWWA C529 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
  - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOP SHALL BE MUELLER 300 SERIES BALL CORPORATION VALVE WITH COMPRESSION TYPE NUT OR APPROVED EQUIVALENT.
  - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
  - THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
  - PRESSURE LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
  - DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
  - THE SERVICE CONNECTION SHALL BE INSTALLED AT A CONTINUOUS GRADE WITH NO AERIAL, HIGH POINTS OR LOW POINTS.
  - THE WATER LINE MAY BE DEFLECTED WITHIN PIPE SPECIFICATIONS OR LAID DEEPER IN AREAS WHERE CROSSINGS WITH THE SANITARY OR STORM WATER LINES OCCUR TO ACHIEVE THE REQUIRED 18" VERTICAL SEPARATION DISTANCE AND 10" HORIZONTAL SEPARATION DISTANCE. REFER TO THE SANITARY/STORM SEWER/WATER LINE SEPARATION DETAIL, SHEET SD2.
  - ALL FACILITIES SHALL BE CONSTRUCTED WITH WATER CONSERVING FIXTURES.
  - BUILDING SHALL BE EQUIPPED WITH BACKFLOW PREVENTORS. BACKFLOW PREVENTORS SHALL BE REVIEWED AND APPROVED BY TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO INSTALLATION.
  - PROPOSED WATER METER TO BE LOCATED WITHIN THE BUILDING AND SHALL BE APPROVED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO INSTALLATION.
  - WATERLINE SHALL NOT BE PLACED UNTO SERVICE UNTIL SO AUTHORIZED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER TO ALTER ANY ITEM IN ANY WAY IF ANY ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED. THE ALTERING ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE SEAL AND THE NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATIONS AND A SPECIFIC DESCRIPTION OF THE ALTERATION. (NOTED: DO NOT SCALE)

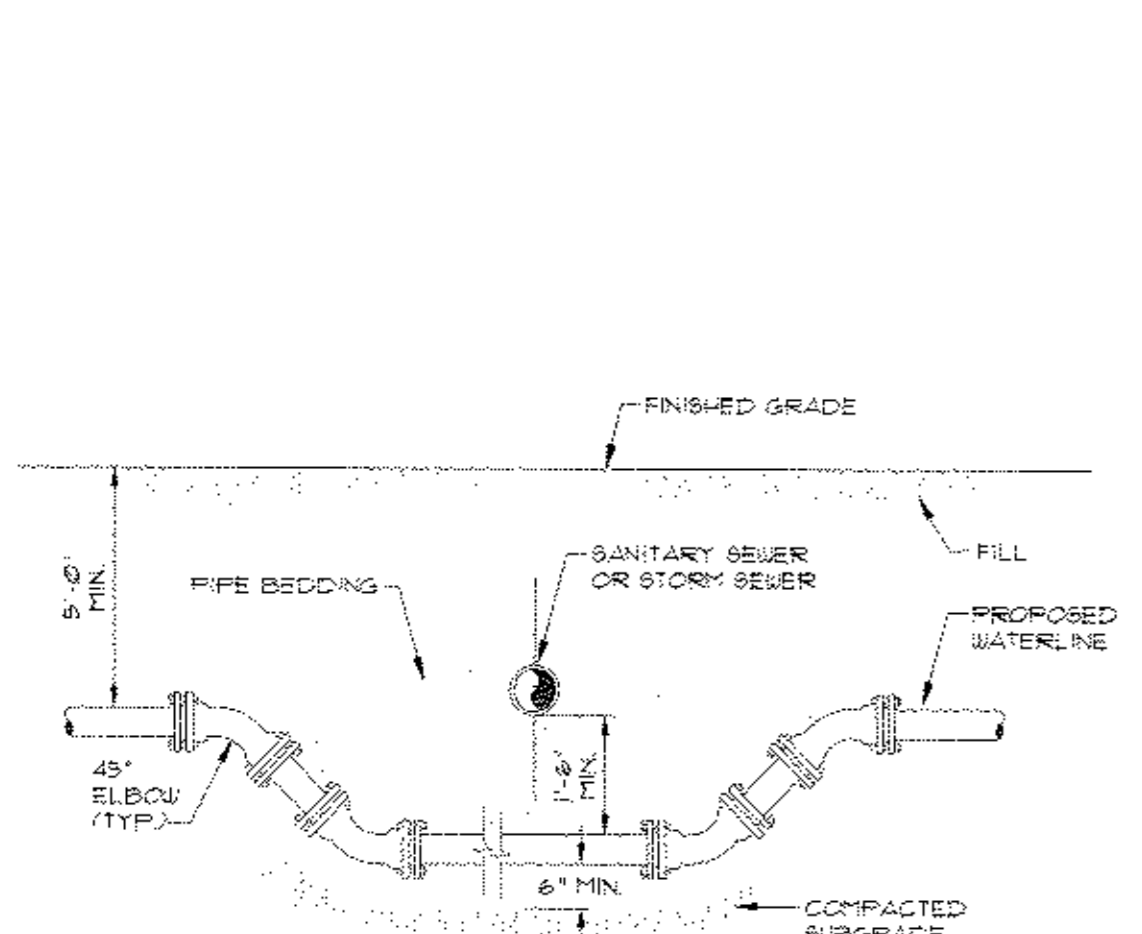


**SCHEDULE OF JOINT RESTRAINT**  
 BARE DIP (NOT POLYWRAPPED)  
 (LENGTH OF PIPE EACH SIDE OF FITTING TO BE RESTRAINED IN FEET)

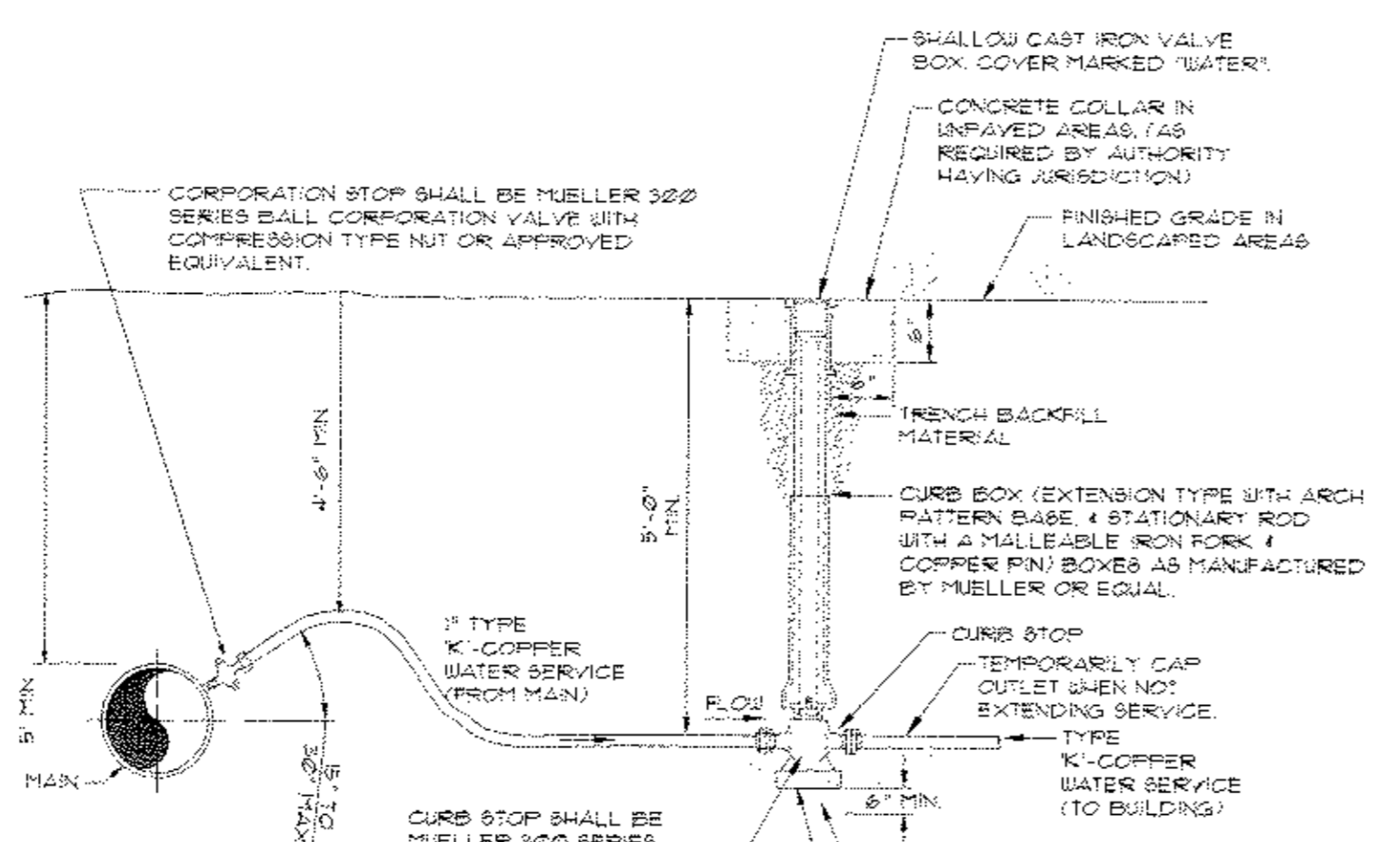
PIPE SIZE (INCHES)	FITTING TYPE													
	90°	45°	22 1/2°	11 1/4°	TEE	VALVE	DEAD END	REDUCER						
30"	192	80	38	19	142	144	144	50	31	16	12	10	8	6"
24"	155	65	31	15	115	116	116	50	23	16	12	10	8	6"
18"	119	49	24	12	85	88	88	33	18	12	10	8	6"	5"
16"	106	44	21	10	76	78	78	33	16	12	10	8	6"	5"
12"	81	34	16	8	57	59	59	23	12	10	8	6"	5"	4"
10"	68	28	14	7	48	50	50	20	10	8	6"	5"	4"	3"
8"	56	23	11	5	38	41	41	17	8	6"	5"	4"	3"	2"
6"	43	18	8	4	29	31	31	13	6"	5"	4"	3"	2"	1"

- NOTES:**
- THE LENGTH OF PIPE REQUIRING RESTRAINT IS BASED UPON THE FOLLOWING ASSUMPTIONS:
    - A. BEDDING TYPE 2 - FLAT BOTTOM TRENCH BACKFILL LIGHTLY CONSOLIDATED TO CENTER LINE OF PIPE
    - B. SOIL TYPE CLAY 1 - CLAY OF MEDIUM TO LOW PLASTICITY, LL45-60, 60% COURSE PARTICLES <math>\leq 0.075</math>
    - C. INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
    - D. INORGANIC SILTS, VERY FINE SAND, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS
    - E. PIPE IS BARE DUCTILE IRON PIPE (NOT POLYWRAPPED)
    - F. DEPTH TO TOP OF PIPE 5'-0" MINIMUM
    - G. MAXIMUM OPERATING PRESSURE OF 150 PSI
    - H. FACTOR OF SAFETY OF 1.5
  - FOR END PLUGS, RESTRAIN PIPE LENGTH GIVEN FOR DEAD END FITTINGS.
  - THE LENGTH OF NEW PIPE TO BE RESTRAINED IS THE LENGTH FOR EACH SIDE OF THE FITTING CONNECTIONS TO EXISTING PIPE. PIPE SHALL NOT BE RESTRAINED SOLELY WITH RESTRAINED JOINTS. CONCRETE THRUST JOINTS SHALL BE USED.
  - THE ABOVE INFORMATION WAS PROVIDED USING THE THRUST RESTRAINT PROGRAM ISSUED BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) AND IS BASED ON THE ASSUMPTIONS LISTED IN NOTE 1. RESTRAINED LENGTH REQUIREMENTS FOR FIELD CONDITIONS AND PIPE SIZES DIFFERING FROM THOSE LISTED ABOVE SHOULD BE EVALUATED SEPARATELY.
  - RESTRAINED JOINT PIPE AND FITTINGS SHALL BE USED ONLY AS ALLOWED BY THE PROJECT PLANS AND/OR SPECIFICATION. (IF THRUST BLOCKS ARE USED SEE THRUST BLOCK DETAIL.)

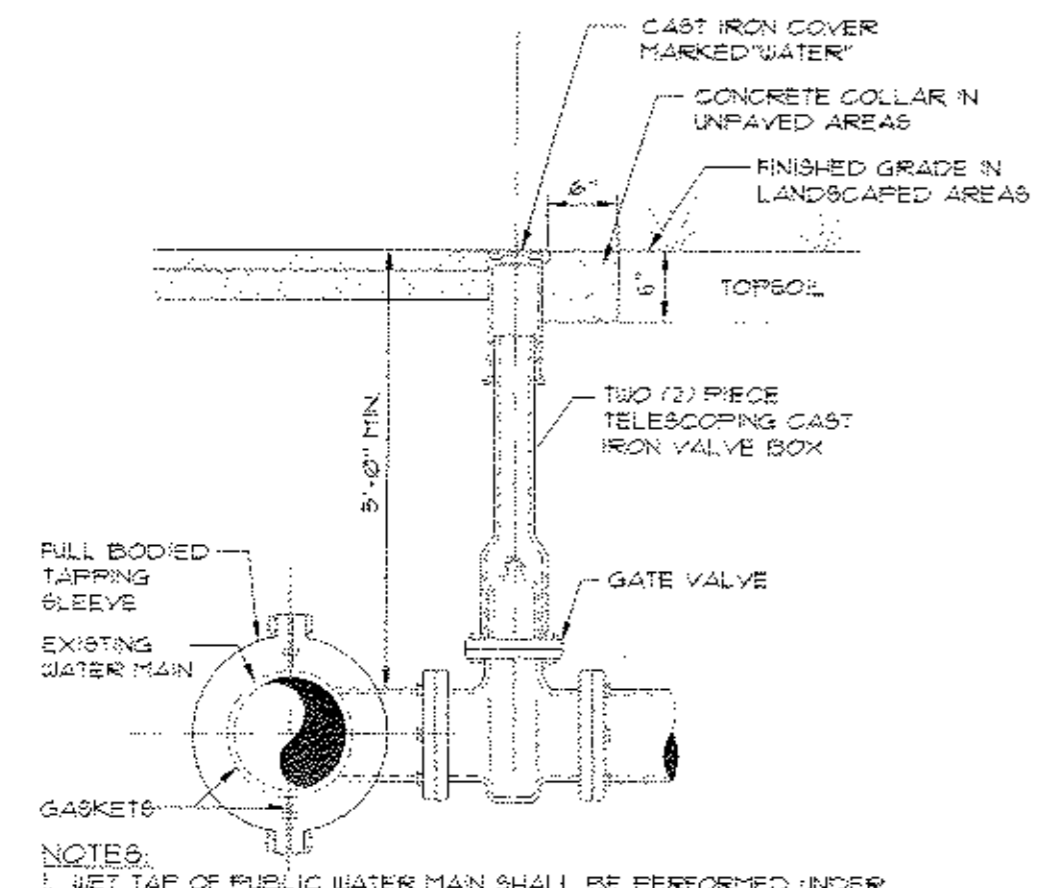
**6 Joint Restraint Schedule & Notes**  
 Scale: N.T.S.



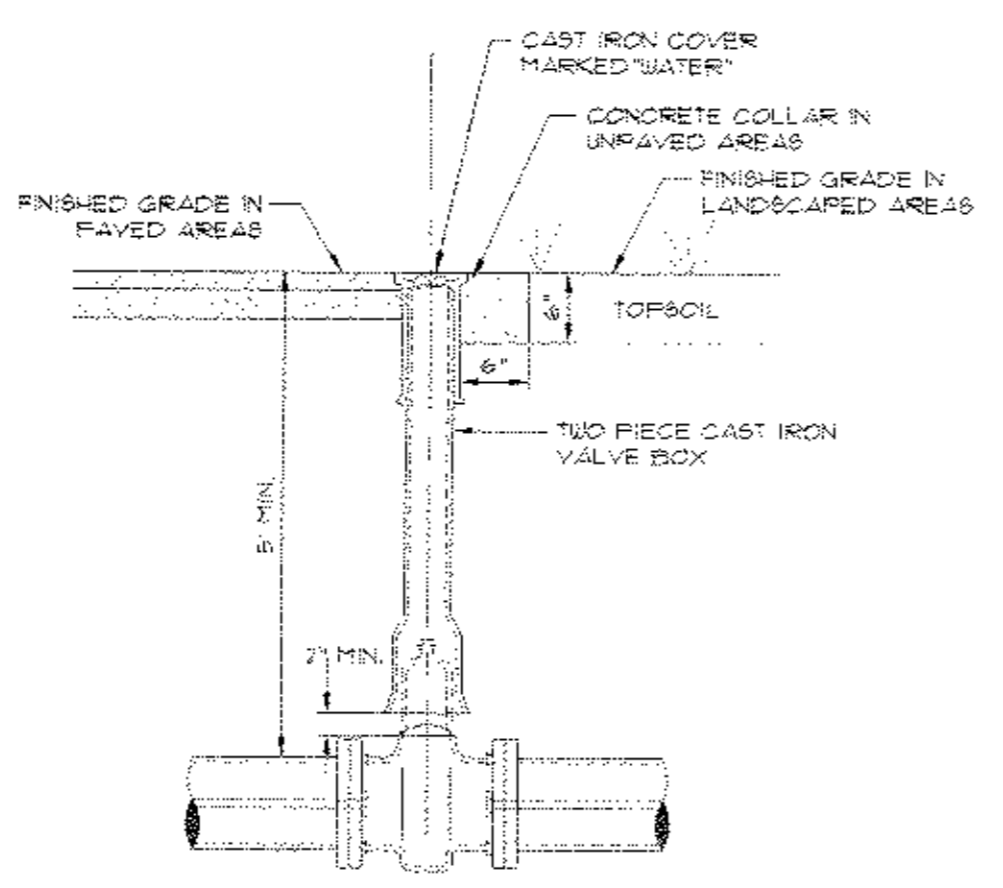
**1 Waterline Offset Detail**  
 Scale: N.T.S.



**2 Copper Water Service**  
 Scale: N.T.S.



**4 Tapping Sleeve & Valve Detail**  
 Scale: N.T.S.



**5 Typical Gate Valve Detail**  
 Scale: N.T.S.

LZL Equities / Dunkin Donuts (Town of Newburgh Project # 2014-02)  
 Michael Nafash, S.E., M.A.S.  
 301 Duane St.  
 Newburgh, New York 12550  
 Date: 01/14/12  
 Revision:  
 Drawn By: DB & LC



THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

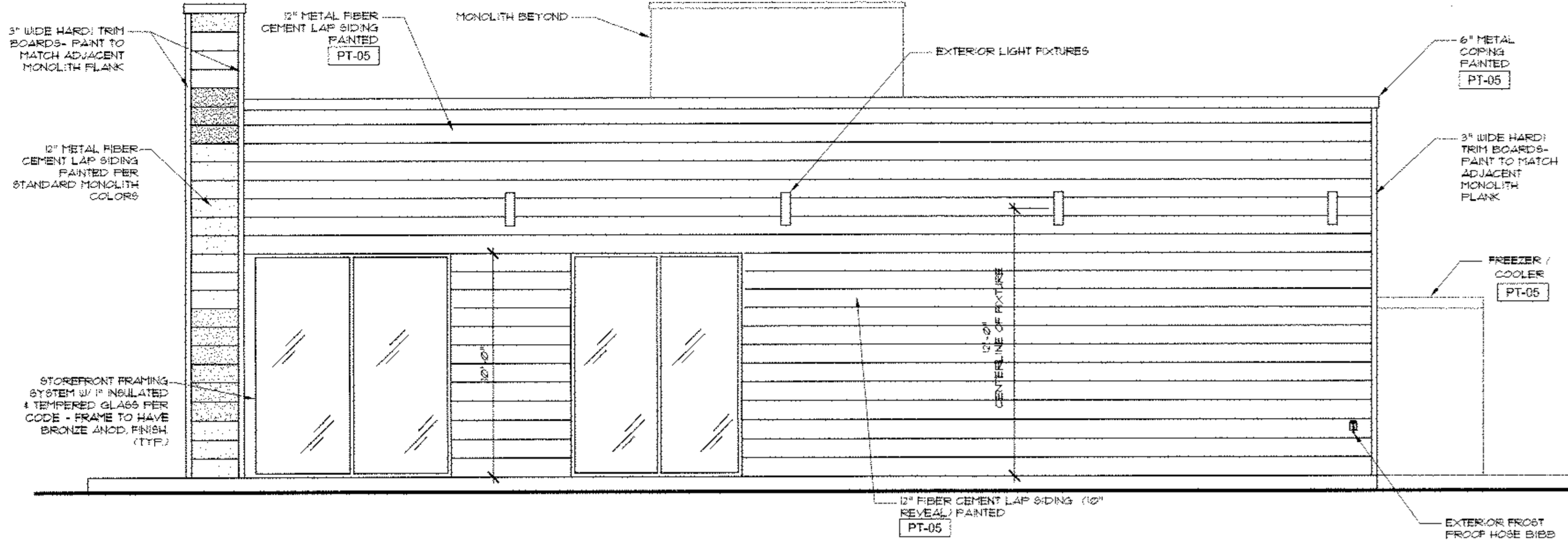
SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

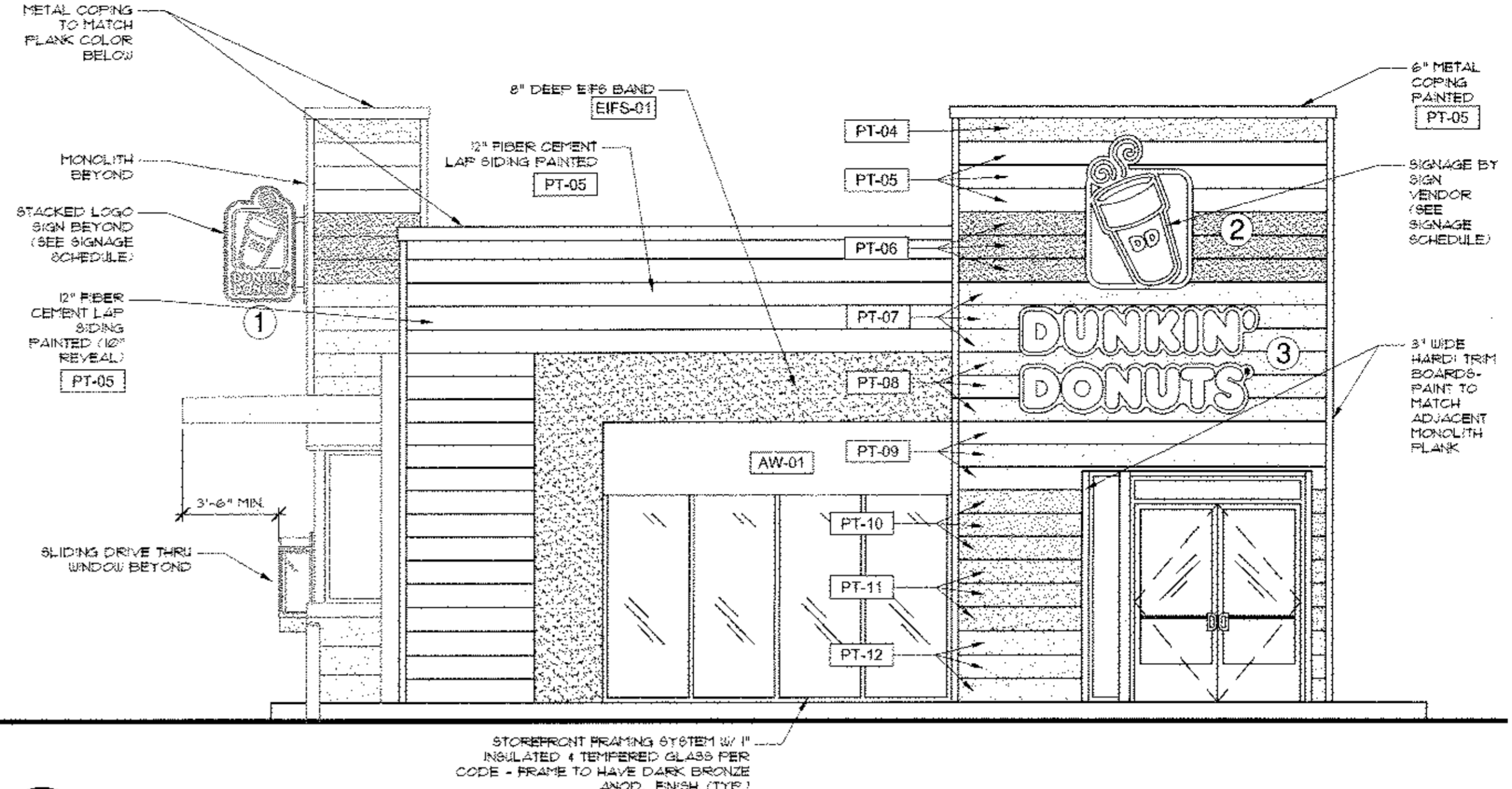
PLANNING BOARD APPROVAL  
 SECT: 14; BLK: 1; LOT: 43

**S-7**

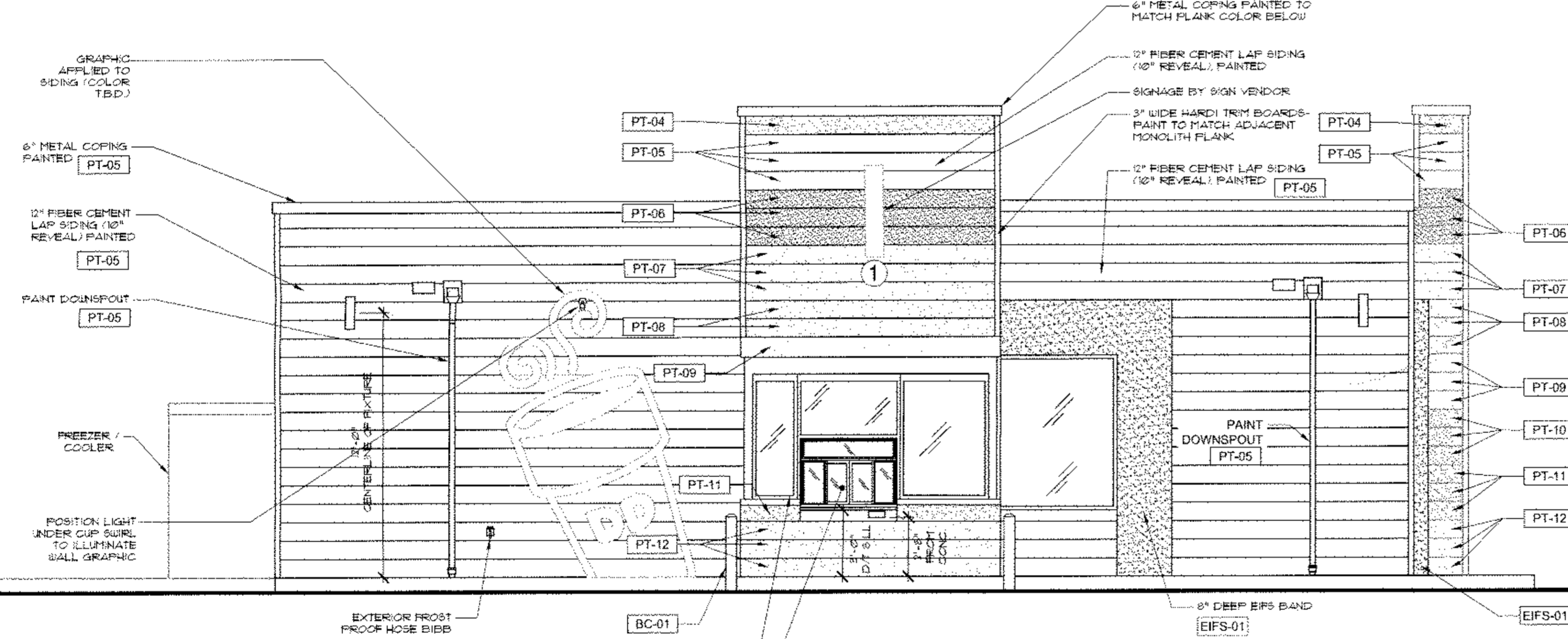
2/2013 Projects\131321 LZL Dunkin Donuts Nafash Newburgh S-7.dwg, S-7, 1/15/2014 3:17:22 PM, P1, COPYRIGHT 2013 Minuta Architecture, PLLC - ALL RIGHTS RESERVED - FOR USE ONLY BY THE OWNER AND SITE LISTED



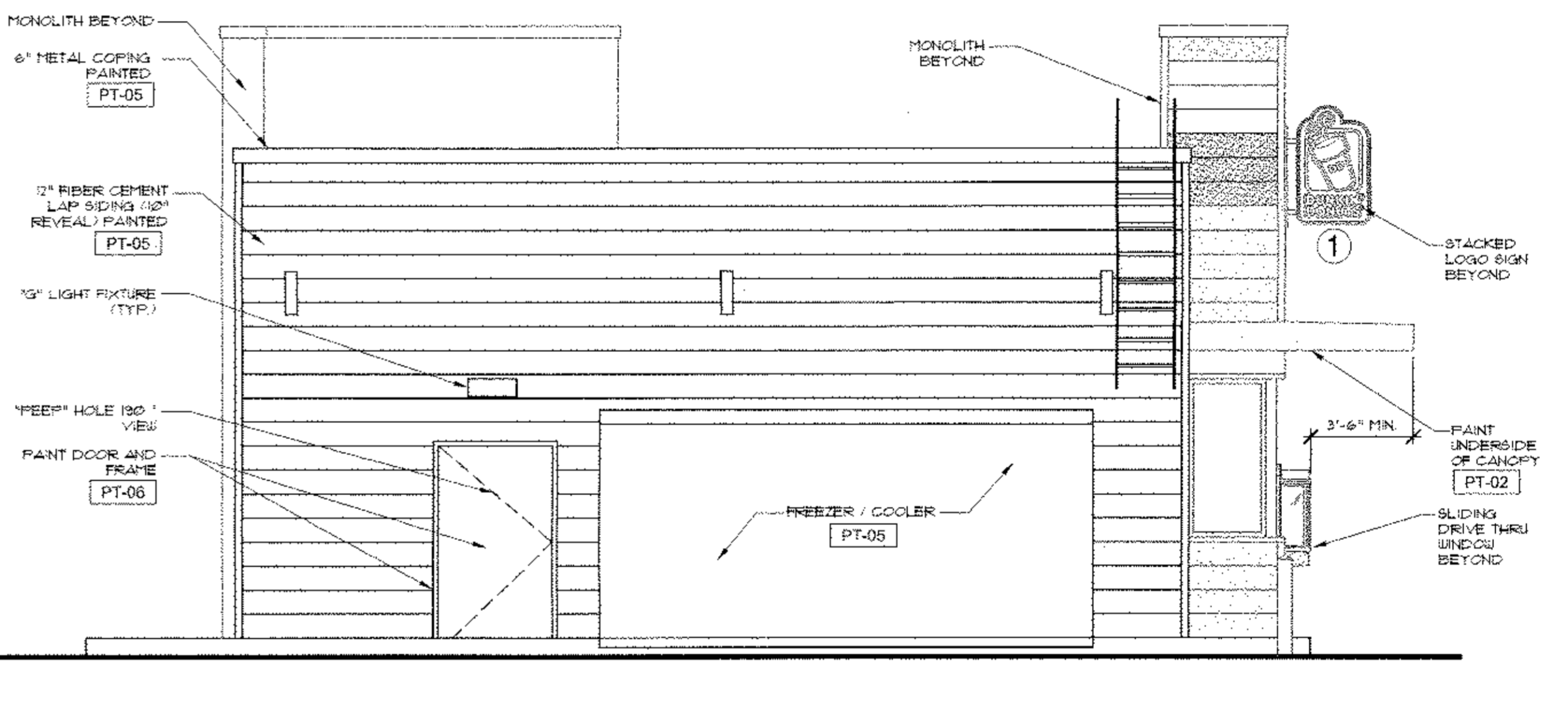
**1**  
**A-1** Conceptual North Elevation  
 Scale: 1/4" = 1'-0"



**2**  
**A-1** Conceptual East Elevation (Route 32)  
 Scale: 1/4" = 1'-0"



**3**  
**A-1** Conceptual South Elevation (Route 300)  
 Scale: 1/4" = 1'-0"



**4**  
**A-1** Conceptual West Elevation  
 Scale: 1/4" = 1'-0"

**EXTERIOR FINISH MATERIAL SCHEDULE:**

CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	REMARKS
AW-01	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING WITH FRESH BREW MESSAGING	STANDARD AWNING FOR COMBO DESIGNS
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING WITH FRESH BREW MESSAGING	ALTERNATE AWNING FOR FB DESIGNS WHERE ORANGE BAND IS NOT ALLOWED OR PRACTICAL TO OVERALL DESIGN
BC-1	BOLLARD COVERS	IDEAL SHIELD	BC1-CC-4-52-S	4"W X 52"H ORANGE BOLLARD SLEEVE	
EIFS-01	EIFS	DRYVIT SYSTEMS, INC	DUDD-10-10200P	MATCH DD ORANGE PMS 165C	ORANGE BAND MATERIAL
EIFS-02	EIFS	DRYVIT SYSTEMS, INC	DUDD-10-10200P	PAINT COLORS TO MATCH MONOLITH SCHEME	"ALTERNATE MATERIAL TO HARDPLANK BOARDS ON MONOLITH"
EIFS-03	EIFS	DRYVIT SYSTEMS, INC	DUDD-10-10200P	MATCH SHERWIN WILLIAMS 7536 "BITTERSWEET STEM"	"ALTERNATE BUILDING MATERIAL TO HARDPLANK FIELD SIDING (FROM MONOLITH)"
PT-01	PAINT	SHERWIN WILLIAMS	6372	"INVITING IVORY"	SATIN
PT-02	PAINT	SHERWIN WILLIAMS	6894	"OBSTINATE ORANGE"	GLOSS (EXTERIOR)
PT-03	PAINT	SHERWIN WILLIAMS	6140	"MODERATE WHITE"	SATIN
PT-04	PAINT	SHERWIN WILLIAMS	7517	"CHINA DOLL"	SATIN
PT-05	PAINT	SHERWIN WILLIAMS	7536	"BITTERSWEET STEM"	SATIN
PT-06	PAINT	SHERWIN WILLIAMS	6100	"PRACTICAL BEIGE"	SATIN
PT-07	PAINT	SHERWIN WILLIAMS	7714	"OAK BARREL"	SATIN
PT-08	PAINT	SHERWIN WILLIAMS	6096	"JUTE BROWN"	SATIN
PT-09	PAINT	SHERWIN WILLIAMS	6097	"STURDY BROWN"	SATIN
PT-10	PAINT	SHERWIN WILLIAMS	6090	"JAVA"	SATIN
PT-11	PAINT	SHERWIN WILLIAMS	6069	"FRENCH ROAST"	SATIN
PT-12	PAINT	SHERWIN WILLIAMS	6006	"BLACK BEAN"	SATIN

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LZL Equities / Dunkin' Donuts (Town of Newburgh Project # 2014-02)  
 Michael Nafah  
 SDBL 144-03  
 300 Duane St  
 Newburgh, New York 12550  
 Date: 03/14/14  
 Revisions:

Drawn By: DB & LC

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THE OWNER HAS REVIEWED AND IS IN CONCURRENCE WITH THE PLAT:

SIGNATURE \_\_\_\_\_  
 DATE \_\_\_\_\_

PLANNING BOARD APPROVAL  
 SECT: 14; BLK: 1; LOT: 43

**A-1**

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