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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: CVS PHARMACY/STORE
PROJECT NO.: 15-23
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 5.2
PROJECT REPRESENTATIVE: VHB ENGINEERS
REVIEW DATE: 30 OCTOBER 2015
MEETING DATE: 5 NOVEMBER 2015

1. A City of Newburgh flow acceptance letter will be required for the project. The Applicant's representative should provide Jim Osborne the Town Engineer with Narrative description and calculated hydraulic loading from the site to provide to the City of Newburgh for acceptance.
2. Stormwater management facilities are proposed at or near property boundary with the State Highway. Guiderails should be provided to prevent vehicles from accidentally entering stormwater management facilities.
3. In response to our previous Comment No. 2 regarding access to the adjoining parcel for the southerly access point any information pertaining to proposed easements should be submitted to Mike Donnely's office for review. Access via the site plan as well as utility connections are critical based on the current site plan design.
4. Comment No. 6 Town of Newburgh Water and Sewer Notes must be added to the plans as a requirement of the Town.
5. A stormwater management report and SWPPP has been submitted and is under review by this office.
6. Valving must be provided on the 6 inch waterline such that if fire flow is turned off, potable water is turned off. A valve should also be provided on the potable line which can terminate potable water while leaving fire flow active.

7. Information regarding soil permeability for all infiltration practices must be identified in the field. In addition stormwater management report is based on soils being in hydrologic soil group B while many of the soils in the site area are identified in hydrologic soil group D and/or human impacted soils. Field evaluation should be undertaken to identify infiltration and percolation capacities to substantiate stormwater design model which relies on infiltration.
8. The stormwater management report should identify the capacity of the existing pipe under Route 52 as well as any tributary flows to that pipe to assure that the free flow conditions identified in the report exist.
9. All retaining walls in excess of 4 feet high will require submittal to the Building Department with stamped design plans and calculations.
10. The Applicant's are requesting a waiver for parking in the front yard and have provided a narrative report regarding the parking layout.
11. Provide design calculations in support of the proposed sand filter.
12. The Applicant's should evaluate the use of perforated pipe under the infiltration basin. The perforated pipe will short circuit the infiltration practice.
13. All retaining walls in excess of 4 feet will need stamped design plans submitted to Code Enforcement prior to construction.
14. Planning Board's attention is called to the retaining walls along property frontage which are approximately 18 feet in height. Guiderail and fencing should be provided along the retaining walls. The Applicant's representatives are requested to evaluate grading of the 8% access drive from Route 52 currently stormwater is designed to flow across the driveway from a west to easterly direction. Winter maintenance of this may be an issue based on stormwater discharging across the driveway and potentially freezing along the 8% grade.
15. The rain gardens must have practices to protect them from buildup of sediment. Rain gardens must be designed in compliance with NYSDEC design guidelines including storm diaphragms, forebays, etc.
16. Infiltration basins should be evaluated with regard to depth of infiltration provided based on outlet elevations for drainage in manhole 14. Approximately 1 ½ feet of elevation differences proposed between the infiltration basin and the discharge pipe.
17. The location of any signage should be depicted on the plan, a signage chart should be provided to identify allowable signage versus proposed signage.

18. The Applicant should discuss the sidewalk termination with NYSDOT. The sidewalk currently dead ends at the property line.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C***

Patrick J. Hines
Principal

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: CVS/pharmacy Store with Drive Thru Window		
Project Location (describe, and attach a general location map): Site is identified as Section 60, Block 3 Lot 5.2 on South Plank Road (Rt 52); South side of South Plank Road (Rt 52) west of Union Ave (Rt 300) intersect.		
Brief Description of Proposed Action (include purpose or need): The proposed action involves general site preparation and the construction of a 13,600 SF free standing retail/pharmacy with drive thru, and improving the site with associated landscaping, retaining walls, driveways, signage, loading/parking areas, corresponding utility connections and site infrastructure.		
Name of Applicant/Sponsor: Tracey J. Roll - T.M. Crowley & Associates - VP of Real Estate		Telephone: 401-721-1609
		E-Mail: tjroll@tmcrowley.com
Address: 14 Breakneck Hill Road, Suite 101		
City/PO: Lincoln	State: Rhode Island	Zip Code: 02865
Project Contact (if not same as sponsor; give name and title/role): Mark Grocki, PE - Senior Project Engineer		Telephone: 860-807-4300
		E-Mail: mgrocki@vhb.com
Address: 100 Great Meadow Road, Suite 200		
City/PO: Wethersfield	State: Connecticut	Zip Code: 06109
Property Owner (if not same as sponsor): Yvonne Sun - Route 52 Newburgh LLC		Telephone: 201-489-1177
		E-Mail: ysun@cofinancegroup.com
Address: 788 Shrewsbury Avenue		
City/PO: Tinton Falls	State: NJ	Zip Code: 07724

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh, NY - Planning Board	
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Water Permits Sewer Permits	
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Orange County, NY Planning Board - Advisory Review	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS Dept. of Environmental Conservation NYS Dept. of Transportation	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
The Site is located within the B-Business District and partially within the IB - Interchange Business District
- b. Is the use permitted or allowed by a special or conditional use permit? (Site Plan Approval Req'd) Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? Newburgh Enlarged City School District
- b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department
- c. Which fire protection and emergency medical services serve the project site?
Fire - Winona Lake Engine Company # 2 Medical Services - Town of Newburgh Emergency Medical Services
- d. What parks serve the project site?
Algonquin Park, Cronomer Hill County Park and Todd Oval Park

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? The general nature of the proposed action is commercial.

- b. a. Total acreage of the site of the proposed action? _____ +/- 2.7 acres
b. Total acreage to be physically disturbed? _____ +/- 2.7 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ +/- 2.7 acres
- c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ 12 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: +/- 30 ft. height; 96 ft. width; and 143 ft. length

iii. Approximate extent of building space to be heated or cooled: +/- 13,600 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ +/- 350 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Town of Newburgh Water Supply
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: n/a
- Source(s) of supply for the district: Chadwick Lake Reservoir and New York City DEP's Delaware Aqueduct

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____
Project will use public water supply.

vi. If water supply will be from wells (public or private), maximum pumping capacity: n/a gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ +/- 400 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater will be generated.

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh Wastewater Treatment Plant
- Name of district: Crossroads Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
 N/A

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 N/A

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 1.73 acres (impervious surface)
 _____ Square feet or 2.7 acres (parcel size)
 ii. Describe types of new point sources. Runoff from parking, drive aisle and building is conveyed to stormwater detention/infiltration features and released into state ROW pipe network within Route 52

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
The storm runoff will be directed to an on-site stormwater management facility where it will be treated and infiltrated prior to releasing into state ROW underground piping within Route 52. See Stormwater Management Report for a full discussion on the proposed system.

 • If to surface waters, identify receiving water bodies or wetlands: _____
n/a

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend Weekday evening is the peak hour for CVS, followed by Saturday afternoon. AM trips are insignificant.

Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: +/- 2 trips weekly

iii. Parking spaces: Existing 0 Spaces Proposed 74 Spaces Net increase/decrease +74 Spaces

iv. Does the proposed action include any shared use parking? (REDUCED FROM 91) Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
New full access curb cut off of South Plank Road (Route 52)

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
315,000 KwH/yr

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Anticipated source is to be grid/ local utility.

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7AM - 6PM</u> • Saturday: <u>8AM - 4PM</u> • Sunday: <u>8AM - 4PM</u> • Holidays: <u>8AM - 4PM</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>6AM - 12AM</u> • Saturday: <u>6AM - 12AM</u> • Sunday: <u>6AM - 12AM</u> • Holidays: <u>6AM - 12AM</u>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
 The equipment used in construction will exceed the existing ambient noise levels and will be between 7AM and 7PM. During operations the CVS/pharmacy store will not exceed ambient noise levels.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Clearing of existing site is required for development.

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 The proposal includes site lights on poles, under canopy lighting, soffet lighting, wall sconces and goose neck lighting. Pole mounted lighting will be approx. 20 ft. in heights and building lighting will be approx. 18 ft. in height.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Clearing of existing site is required for development

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):
Herbicides and pesticides will be used as needed in maintaining the lawn and landscaped areas on site.

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: TBD by contractor tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: General construction debris.
- Operation: CVS pharmacies are equipped with a dumpster and compactor on site. Most waste generated is paper or cardboard which is disposed of in the compactor for recycling.

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Licensed private commercial hauler
- Operation: Licensed private commercial hauler

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
- Forest Agriculture Aquatic Other (specify): Vacant

ii. If mix of uses, generally describe:

Site is vacant but is surrounded by industrial buildings, commercial buildings, restaurants and a gas station, along a developed transportation and commercial corridor.

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0 Acres	1.73 Acres	+ 1.73 Acres
• Forested	1 Acres	0 Acres	- 1 Acres
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.7 Acres	0 Acres	-1.7 Acres
• Agricultural (includes active orchards, field, greenhouse etc.)	0 Acres	0 Acres	0 Acres
• Surface water features (lakes, ponds, streams, rivers, etc.)	0 Acres	0 Acres	0 Acres
• Wetlands (freshwater or tidal)	0 Acres	0 Acres	0 Acres
• Non-vegetated (bare rock, earth or fill)	0 Acres	0 Acres	0 Acres
• Other Describe: <u>Landscaped Areas</u>	0 Acres	0.97 Acres	+ 0.97 Acres

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Tots-N-U's Daycare is located +/- 800 ft north of the site on Union Avenue.

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): 0900744 & 1100032
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures:
Site has not been part of the RCRA corrective activities. The DEC ID Numbers provided above are for the adjacent site to the west located at 209 South Plank Rd, the existing gas station, and not the subject property.
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): n/a
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Spill Incidents have been reported on adjacent gas station property at 209 South Plank Rd. and not on the site to be developed.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 7-16 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Udorthents (gravelly sandy loam)	_____	69 %
Wayland Soils Complex (silt loam)	_____	25 %
Smartswood&Mardin(gravelly loam)	_____	6 %

d. What is the average depth to the water table on the project site? Average: _____ 9 feet

e. Drainage status of project site soils: Well Drained: _____ 75 % of site
 Moderately Well Drained: _____ 0 % of site
 Poorly Drained _____ 0 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 94 % of site
 10-15%: _____ 6 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Bushfield Creek (+/- 160' North of Site, Across 52) Classification C
- Lakes or Ponds: Name N/A Classification _____
- Wetlands: Name N/A Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Sciurus Carolinensis, Grey Squirrel _____
 Marmota Monax, Woodchuck _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 Upland forest "UF" (oak-tulip tree community), Upland Successional Forest "SF" (locust/Honeysuckle) and scrub-shrub open/vacant land "OL"
 ii. Source(s) of description or evaluation: VHB Environmental Scientist field Visit, May 11, 2015
 iii. Extent of community/habitat:
 • Currently: UF: 0.5 / SS: 0.5 / OL: 1.7 acres
 • Following completion of project as proposed: UF: 0.0 / SS: 0.0 / OL: 0.0 acres
 • Gain or loss (indicate + or -): UF: -0.5 / SS: -0.5 / OL: -1.7 acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 The USFWS Has Determined that the project will not result in a "take" of any federally listed endangered species, including Indiana bats and/or long-eared bats given teh location (no known roosts/ foraging habitat), small acreage of tree removal at teh site (~1 acre), and conservation measures (e.g. tree clearing between October 1 and March 31). See USFWS Jurisdiction letter, dated August 4, 2015.

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 Indiana Bat (Myotis Sodalis) - Endangered species specified by the NYS NHP letter regarding site dated 8/18/2015 states that they have been documented within 2 miles of the project site. The Dept has determined that no "take" of the state-listed Indiana Bat will occur providing that the cutting of trees on site is limited to take place between October 1 and March 31. See NYS DEC Jurisdiction Determination, dated September 9, 2015.

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: Gardner, Silas, House - 1141 Union Ave (approx. 300 ft northeast of site, not visible to CVS due to existing vegetation)

iii. Brief description of attributes on which listing is based:
It is a colonial stone house; built in 1783 for Silas Gardner, a miller. It has been listed on the National Register of Historic Places since 1980.

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

SITE IS LOCATED 300FT AWAY FROM ARCHAEOLOGY SURVEY NO. 04SR55181. ARCHAEOLOGY SURVEY IS NOT PRESENT ON SUBJECT PROPERTY

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Stewart State Forest (3miles), Chadwick Lake (1.8 miles)

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State Park, Local Park

iii. Distance between project and resource: _____ Between 1.8 to 3 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information


Attach any additional information which may be needed to clarify your project.

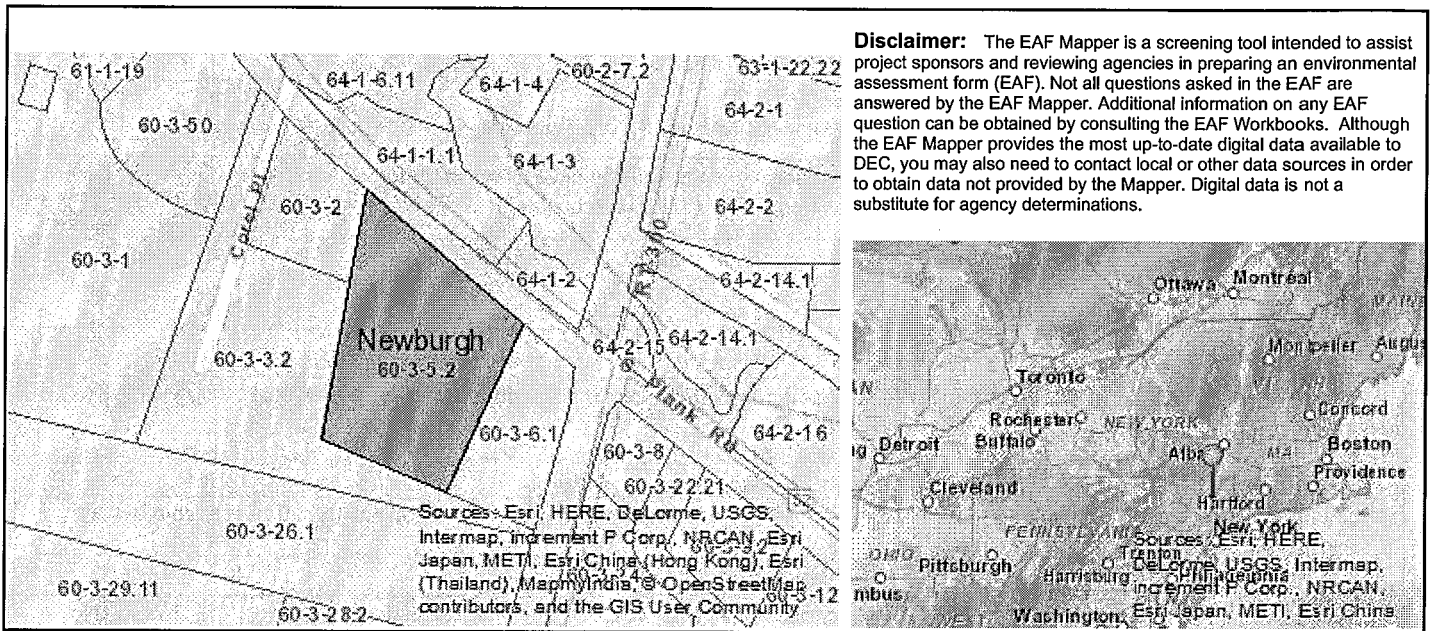
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Mark Grocki for TM Crowley Date 10/20/15

Signature  Title Senior Project Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.p. [Rare Plants or Animals]	No

E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Gardner, Silas, House
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Platt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

September 9, 2015

Erika Reeves
VHB
100 Great Oaks Boulevard
Suite 118
Albany, New York 12203

Re: JURISDICTION DETERMINATION – ENDANGERED AND THREATENED SPECIES
Proposed CVS Pharmacy/Store 10688
Corel Place; Section 60, Block 3, Lot 5.2
Town of Newburgh, Orange County

Dear Ms. Reeves:

The Department of Environmental Conservation, Region 3 Office, has reviewed letter dated September 3, 2015 requesting an endangered species determination for the above noted proposed project.

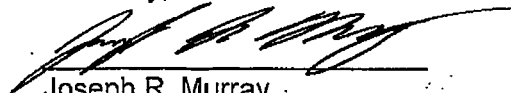
As stated in previous correspondence, the project is located within or near New York State Natural Heritage Program records of the state-listed Indiana Bat [*Myotis sodalis* Miller and Allen, 1928].

The Department has determined that no "take" of the state-listed Indiana Bat will occur providing that the cutting of trees on site is limited to take place between October 1st and March 31st. Therefore, the Department will not move to invoke Article 11, Title 5, Section 535 of the Environmental Conservation Law, Threatened and Endangered Species, on condition that tree removal is limited to the above noted timeframe. This timing restriction shall be documented in the notes of any plans regarding this project.

This determination does not, however, relieve the applicant of any requirements under any other applicable laws which may exist. You are advised to have the applicant contact all appropriate Federal, State and/or local agencies for any approvals that may be required.

If you have any questions or comments in regard to this letter, or your responsibilities under the New York State Environmental Conservation Law, please do not hesitate to contact this office.

Sincerely,



Joseph R. Murray
Environmental Analyst
Division of Environmental Permits



Department of
Environmental
Conservation



United States Department of the Interior



FISH AND WILDLIFE SERVICE

3817 Luker Road
Cortland, NY 13045

August 4, 2015

Ms. Erika Reeves
Environmental Scientist
VHB
100 Great Oaks Blvd., Suite 118
Albany, NY 12203

Dear Ms. Reeves:

This is in response to your electronic mails dated July 14 and July 21, 2015, for a proposed CVS store/pharmacy located at Route 52 and 300 in the Town of Newburgh, Orange County, New York.

We understand that no federal funding or permits are needed and that you are looking for information on federally-listed species for the proposed project. The U.S. Fish and Wildlife Service (Service) appreciates this opportunity to provide comments on species under our jurisdiction.

We also understand that you assessed the potential for listed species impacts from the proposed project using our online process to determine which species may be at the site. You have concluded there is potentially suitable habitat for the federally-listed endangered Indiana bat (*Myotis sodalis*) and the federally-listed threatened northern long-eared bat (*Myotis septentrionalis*). However, we agree that "take"¹ of Indiana bats and/or northern long-eared bats is not anticipated given the location (no known roosts/foraging habitat), small acreage of tree removal at the site (~1 acre), and conservation measures (e.g., tree clearing between October 1 and March 31).

You also concluded there will be no impacts to the federally-listed endangered dwarf wedgemussel (*Alasmidonta heterodon*) or the federally-listed threatened bog turtle (*Glyptemys [=Clemmys] muhlenbergii*) or small whorled pogonia (*Isotria medeoloides*) as no suitable habitat for these species occurs in the vicinity of the proposed project site. We have no further comments on these species.

No further coordination with the Service is required pursuant to the Endangered Species Act (ESA) of 1973 (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) for this project. Should

¹ Take is defined in Section 3 of the ESA as harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct.

project plans change, or if additional information on listed or proposed species or critical habitat becomes available, this determination may be reconsidered. The most recent compilation of federally-listed and proposed endangered and threatened species in New York is available for your information. Until the proposed project is complete, we recommend that you check our website every 90 days from the date of this letter to ensure that listed species presence/absence information for the proposed project is current.*

The above comments pertaining to endangered species under our jurisdiction are provided pursuant to the ESA. This response does not preclude additional Service comments under other legislation.

Any additional information regarding the proposed project and its potential to impact listed species should be coordinated with both this office and with the New York State Department of Environmental Conservation's Region 3 Office.

Thank you for your time. If you require additional information please contact Robyn Niver at 607-753-9334. Future correspondence with us on this project should reference project file 151126.

Sincerely,

A handwritten signature in black ink that reads "David A. Stilwell". The signature is written in a cursive style with a large, stylized "S" for the last name.

David A. Stilwell
Field Supervisor

*Additional information referred to above may be found on our website at:
<http://www.fws.gov/northeast/nyfo/es/section7.htm>

cc: NYSDEC, New Paltz, NY (Env. Permits, Wildlife)

TOWN OF NEWBURGH PLANNING BOARD

CVS Pharmacy/Store

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements N/A - No wetlands on or adjoining site
15. N/A Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

Vanasse Hangen Brustlin, Inc.

By: P. D. O'Leary
Licensed Professional

Date: 10/20/15

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):



October 21, 2015

Ref: 41847.44

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: Response to Technical Review Comments
CVS pharmacy/store
Section 60, Block 3, Lot 5.2

Dear Chairman Ewasutyn and Members of the Planning Board:

VHB, Inc. is pleased to provide the following response to review comments that have been received to date:

- McGoey, Hauser and Edsall Consulting Engineers, PC, review date Sept. 1, 2015
- Orange County Department of Planning, dated September 3, 2015
- Creighton Manning Engineering, LLP, dated August 31, 2015

**McGoey, Hauser and Edsall Consulting Engineers, P.C.
Town of Newburgh Planning Review Technical Review Comments
Letter Dated: September 1, 2015**

Comment 1: The Applicant's Representative is requested to evaluate the Town of Newburgh Design Guidelines with regard to the proposed development. Parking in front yard of the project is not in compliance with design guidelines. Any requested waivers of the design guidelines should be specifically requested from the Planning Board with a rationale as to why the waiver is required.

Response: We reviewed the "Town of Newburgh, New York Design Guidelines", dated June 2007, and have designed the proposed CVS site in accordance with these recommendations to the extent feasible in light of the site's layout, location and topographic constraints. This is discussed in detail in a memorandum attached to this correspondence, dated October 21, 2015.

The proposed CVS site, with its entrance facing Route 52, provides parking along the side of the building as well as in front of the building. Parking located at the front of the building allows separation between the pedestrian traffic and the drive

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C&F: 2916624.1

Engineers | Scientists | Planners | Designers

100 Great Meadow Road
Wethersfield, Connecticut 06109
P 860.807.4300
F 860.372.4570



thru queue as well as separation from the building's loading area making for proper site circulation.

The front yard parking area allows for the site to provide an abundance of landscaping within the front yard along the street frontage, in addition to large landscaped islands at the end of the internal parking rows and throughout the parking area onsite to accommodate the plantings and trees within these islands. The applicant is also proposing two large rain garden features in the front yard to bolster the landscaped buffer between the street and the parking area and to provide storm water management. The proposal offers many other pedestrian and landscaping features, which are detailed in the attached memorandum. These include stamped crosswalks and speed tables to help control traffic and provide an aesthetically pleasing appearance. A benched open seating area and bike rack are also provided onsite, together with shade and ornamental trees strategically placed to provide seasonally appropriate shade in these areas. Accordingly, the applicant is requesting the Planning Board to waive and/or modify any recommendation in the Design Guidelines that the Board finds appropriate so the applicant may proceed with the proposed site plan.

Additionally, in order to place parking within the southern portion of the site, the entrance to the store would have to be located on the southern side of the building, to allow access from the parking areas to the entrance (including handicapped accommodations), which would result in the rear of the building (not the front) to face Route 52. The proposed layout has the front of the building facing Route 52. The proposed layout also prevents the drive thru queue from encroaching into the right of way. Locating the parking on the southern portion of the site would move the drive thru to the western side of the building and close to Route 52. Shifting the building and the drive-thru closer to Route 52 on the western side of the building would likely require the addition of another access curb cut. The current configuration minimizes curb cuts and the possibility of right of way encroachment onto South Plank Road (Route 52) in compliance with the Town's recommendations. Also note that the site narrows as you move from north to south, which effectively requires the parking to be placed on the northern side of the building. If moved to the southern side of the site, the configuration of the parking area would result in a reduction of the overall parking total due to the reduction in lot width at the southern property line. Additional cut excavation, bedrock excavation and retaining walls would be required for locating the parking on the southern portion of the site given the configuration of the site.

Comment 2: The Applicant's Representative is requested to provide proof of access to the adjoining parcel for the southerly access point.



Response: CVS's lease agreement is contingent upon the underlying property owner securing an easement for the benefit of CVS to provide utilities and access to Route 300 as shown on the project drawings. The easement will be recorded once project approvals are obtained.

Comment 3: NYSDOT approval for the access to NYS Route 52 is required. Ken Wersted's and DOT comments should be received regarding the need for a traffic study at this entrance point.

Response: An application for a Highway Work Permit for the proposed site's Route 52 access will be submitted to the NYSDOT prior to the November 5th, 2015 meeting along with VHB's Traffic Impact Study, dated October 2015. We received Ken Wersted's comments and coordinated the scope of the Traffic Impact Study with him while preparing the Study. Our responses to Mr. Wested's initial comments are contained below in this correspondence.

Comment 4: A Stormwater Pollution Prevention Plan (SWPPP), in compliance with NYSDEC and Town requirements, should be provided.

Response: A Draft Stormwater Pollution Prevention Plan (SWPPP) is included with this submission to the Planning Board.

Comment 5: The Applicants are requested to evaluate a pedestrian interconnect to the neighboring Dairy Queen Parcel.

Response: VHB explored providing a pedestrian access way to the Dairy Queen property located east of the proposed CVS development, but determined that such access is not practical due to the significant and sharp grade differential (of 15 feet) between the two parcels. The location of the required LID and natural stormwater management features onsite, including a rain garden and grassed filter strips are also critical limiting factors. As well as the on-site retaining wall adjacent to the LID and stormwater management features. As such, it is not feasible to construct a stairwell with the necessary site layout. Additionally, there is a retaining wall on the Dairy Queen property, at the edge or property line, that significantly limits the opportunity to install a stair-well between the two parcels, which would be necessary given the grade change.

Comment 6: Potable water and fire flow lines must be one common line separating outside the building with valving such that if fire flow water line is turned off potable water will also be terminated to the structure. Standard Town water and sewer notes are required.

Response: The water service lines have been depicted on the Utility Plan, Sheet C-3. The site will be serviced by a 6" line off of the main within South Plank Road and then split



off into a 6" Fire Protection line and 2" domestic line at the rear of the building prior to entering the building. Additionally, because there are substantial Town Water & Sewer notes, rather than fit all the notes on the plans, a note referencing said Standard Town Water and Sewer Installation Standards and Procedures has been added to the Utility Plan, Sheet C-3.

Comment 7: The Planning Board's attention is called to the proposed plastic wheel stops along the entire building frontage. Will vehicle protection bollards be required at these locations? Vehicles sticking over the wheel stops will significantly reduce sidewalk width.

Response: Per discussions at the Preliminary Planning Board Hearing on September 3, 2015 the Planning Board and its Consultants confirmed that the proposed plastic wheel stops installed at 3 feet from the edge of sidewalk to the front of the bumper were sufficient in reducing vehicle overhang within the sidewalk along the building to provide adequate pedestrian safety. These have been incorporated on the plans.

Comment 8: Sanitary sewer should be depicted on the plans. A City of Newburgh Flow Acceptance Letter will be required.

Response: Sanitary sewer routing has been depicted on plans per discussions with Town Sewer Department. Coordination with Town of Newburgh Sewer has commenced in order to obtain a Flow Acceptance Letter. Said letter will be forwarded once received.

Comment 9: Future more detailed submissions will require submission to the Orange County Planning Department for review.

Response: Understood. The revised plans have been updated with appropriate detail.

Comment 10: Landscaping plans, in compliance with Town Requirements, must be provided.

Response: Detailed Landscape Plans are included with this submission as Sheets L-1 and L-2. The site plan set demonstrates the significant amount of landscaping strategically proposed throughout the site, including two large rain garden features which creates a large landscaped buffer between Route 52 and the parking area. The proposed landscaping will soften views between the parking area, building, street frontages, and adjacent properties. At least 5% of the parking lot is devoted to interior landscaping. This is in addition to landscaping along the street and property lines. The parking lot contains several shade or flowering ornamental tree in median dividers and islands. Other features include a 4 foot high decorative fencing around the drainage features along the front and sides of the site, as well as fencing around the front and side parking areas. Fencing and screening enclosures are also proposed around the dumpster and compactor areas.



Comment 11: Planning Board must discuss the need for sidewalks along property frontage.

Response: This site is located along a heavily-developed commercial and transportation corridor where the adjacent property frontages do not include sidewalks. There are also no pedestrian crossings located within the vicinity of the proposed CVS site. The proposed site plan includes sidewalks throughout the site, extending to the right-of-way and property lines where the applicant's control over the land ends. This allows for future sidewalks to be installed, if possible.

Comment 12: Architectural review of the structure will be required on future submissions.

Response: An architectural footprint and architectural elevations have been included in this submission as Sheets A-1 and A-4.

Orange County Department of Planning Advisory Comments
Letter dated, September 3, 2015
Referral ID # NBT 36-15M

Comment 1: Green Infrastructure/Runoff Reduction: the property is at the bottom of a hill, at the intersection of two heavily-developed corridors. Due to these conditions, stormwater runoff and snow storage may be of concern on this site, and only underground facilities for stormwater are shown on the project site due to the constraints of the development. We advise the Town and the applicant to find ways for stormwater to infiltrate onsite, in order to prevent flooding, and to find locations onsite that can accommodate snow storage. Infiltration options may include a green roof on the proposed building or permeable pavement on some of all of the parking spaces, for example.

Response: The proposed CVS site includes multiple water quality treatment and detention measures. The proposed stormwater drainage design has been revised to accommodate a number of effective LID measures, including two (2) Rain Gardens, a Grassed Infiltration Basin, an underground Sand Filter, and underground "Retain-It" chambers. A great amount of detail has contributed to the design of the proposed stormwater management system to ensure groundwater recharge and infiltration, as well as peak runoff reduction from existing to proposed conditions. Detailed calculations and further discussions are provided in the Stormwater Management Report. Snow Management discussion are also provide in the Stormwater Management Report, dated October 2015. In summary, ample snow storage area is provided between the front parking field and the front driveway, to the southwest of the rear driveway, on the embankment directly behind the building, and in the landscaped area to the east of the building. Snow storage will be kept out of the infiltration basin and rain garden features to the maximum extent possible so sands, sediment, and salt do not clog the infiltration practices. If



required during heavy snow events, snow will be removed from the site via private truck hauling.

Comment 2: Necessary Referrals: The project proposed to pave nearly the entirety of an existing undeveloped site. We advise the Town to evaluate whether a variance is necessary for the maximum lot coverage requirement.

Response: **Town of Newburgh Lot Surface Coverage for retail within the B- Business District that is supplied by public water and sewer is a maximum of 85%. The proposed CVS site will have a lot surface coverage of 63.7%, which is well below the allowable limit. A variance is not required for the maximum lot coverage requirement. The proposed CVS project will also comply with the Town of Newburgh's maximum building coverage standard of 60%. The CVS plan proposes a building coverage of less than 12%, approximately 48% less than the maximum.**

Comment 3: Drive-Thru Lane: The proposed drive-thru lane on the CVS takes up space that could be otherwise used to reduce impervious surfacing on the project site and allows for stormwater infiltration. Further, a drive-thru lane will increase the number of entrances and exits onto Route 52, many of which will occur during morning and evening peak travel hours. We advise the Town to consider whether the project could be developed without this amenity.

Response: **The drive-thru is not a traffic generator. Rather it is provided by CVS as a benefit for area customers that would already be coming to the CVS site. Eliminating the drive thru facility would be detrimental to CVS's operational needs and the needs of its customers. Patrons using the drive-thru are typically elderly, ill or infirmed and need convenient access to the pharmacy. For example, the drive-thru is an important component of the CVS pharmacy/store that is especially useful to parents with sick children, the elderly and the disabled. The inability to obtain important prescriptions and medicines from their vehicles can often be discouraging and make trips to the pharmacy much more difficult.**

VHB's Traffic Impact Study demonstrates that the peak hour of the proposed CVS store does not coincide with the roadway AM Peak hour; therefore the impact during the AM peak hour is inconsequential. The store peak hour typically occurs in the afternoon, with the peak use of the drive-thru typically occurring in the after-school hours and typically prior to the peak hour of the adjacent roadway. The Traffic Impact Study includes an evaluation of the PM and Saturday peak hour conditions at the driveways out to Route 52 and Route 300 and concludes that the CVS driveway intersections will both operate at acceptable levels of service. Based on the Study's findings VHB has concluded that the construction of the proposed CVS pharmacy/store with the drive thru facility will not have a significant adverse impact on area traffic operating conditions.



Nonetheless, in response to this comment from the County and suggestions from the Planning Board the applicant has offered to reduce the proposed off-street parking spaces from 91 to 74, removing approximately 17 spaces from the site (with the understanding the reduced parking amount satisfies the Town of Newburgh Zoning Code). The applicant has also reduced the drive aisle width at the rear of the building.

Creighton Manning Engineering, LLP
CM Project No. 115-011.4
Letter Dated: August 31, 2015

Comment 1: Proposed 13,600 SF pharmacy with drive-thru is estimated to generate approximately 50 trips in the AM peak hour, 135 trips in the PM peak hour, and 110 trips in the Saturday peak hour according to data published by ITE. Of these trips, approximately 50% originate from existing traffic during the PM peak hour.

Response: **Comment noted. VHBS's Traffic Impact Study is consistent with this comment.**

Comment 2: Access to Route 52 will require approval from NYSDOT and issuance of a highway work permit. The applicant should review the application procedures outlined within the Departments Perm 33-COM permit form.

Response: **A Perm-33 COM permit application and a traffic study will be submitted to the NYSDOT prior to our appearance at the November 5th, 2015 meeting with the Board.**

Comment 3: The site is located adjacent to the Route 300/Route 52 intersection. Previous traffic studies (10 years ago) identified this location as operating at or above capacity during the PM peak hour and Saturday peak hours without improvements. Improvements studied included the addition of left turn lanes on the Route 52 approaches. A current traffic study for this area is recommended.

Response: **Comment noted. VHB has completed a Traffic Impact Study, dated October 2015, including analysis of the Route 300/Route 52 intersection. The Study is included with this submission to the Planning Board and will be provided to the NYSDOT. Based on the findings of the Study, VHB has concluded that the construction of the proposed CVS pharmacy/store will not have a significant adverse impact on area traffic operating conditions. The Study identifies certain traffic signal improvements that are not specific to or necessary to accommodate the proposed CVS development. These improvements would, however, result in an overall improvement in the existing traffic operating conditions at the Route 52 and Route**



300 intersection should the Town wish to approach the NYSDOT to discuss implementing these measures.

Comment 4: A truck circulation route has been shown on the plan. Some off-tracking into the opposing lanes will occur and is expected on the site. Will any right turns onto Route 52 occur? Will trucks require use of the south entrance to Route 300?

Response: Truck access is currently only provided at the driveway off Route 52 (South Plank Rd). We have provided separate truck turning movement sheets, see sheets TT-1 and TT-2 in the planset. Please note, the radius on the eastern side of the driveway curb cut at Route 52 has been increased to a 45ft-radius to accommodate the swing of the trailer. The truck currently is not proposed to exit the southern driveway, however if the truck were to exit the southerly driveway and then continue north or south onto Route 300 (Union Ave), modifications to the site's internal landscape islands would be required to accommodate the swing of the trailer. This option has not been incorporated at this time as the applicant is seeking to maximize internal landscaping onsite.

Comment 5: According to ITE Parking Generation (4th Edition), the store will have an average peak weekday demand of 32 parking spaces and an 85th percentile peak of 40 spaces. The demand on a Saturday is 30 and 40 spaces, respectively. The site plan depicts a total of 91 parking spaces to meet code. The applicant and Board should discuss and consider a reduction in the number of proposed parking spaces.

Response: The proposed site plan has been revised to reduce the number of proposed off-street parking spaces to a total of 74 spaces onsite (with the understanding that the proposed amount satisfies the Town of Newburgh Zoning Code).

We hope you find these responses satisfactory. If you wish for additional information, please feel free to contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Grocki".

Mark Grocki, P.E.

Senior Project Engineer
mgrocki@vhb.com

C&F: 2916624.1

Chairman Ewasutyn
Ref: 41847.44
October 21, 2015
Page 9



cc: Gerald Canfield, Code Compliance Officer/Supervisor
James W. Osborne, P.E., Town Engineer
Michael H. Donnelly, Esq., Planning Board Attorney
Patrick J. Hines, McGoey, Hauser and Edsall Consulting Engineers P.C.
Kenneth W. Wersted, Creighton Manning Engineering, LLP
Tracey Roll, TMC
Shannon Rutherford, P.E., VHB
Anthony F. Morando, Esq. & Lucia Chiochio, Esq., Cuddy & Feder, LLP

C&F: 2916624.1



To: Chairman Ewasutyn and Members of
the Town of Newburgh Planning
Board

Date: October 21, 2015

Memorandum

Project #: 41847.44

From: Mark Grocki, P.E.
Senior Project Engineer

Re: Design Guidelines Memo
Proposed CVS/pharmacy
Corel Place (Route 52 & Route 300)
Newburgh, NY

VHB has reviewed the "Town of Newburgh, New York Design Guidelines", dated June 2007 and has designed the proposed CVS pharmacy/store project site in a manner consistent with its recommendations and suggestions for Commercial Area Design to the extent feasible. The CVS proposal offers the following design elements:

- Landscaping & Stormwater Management:
 - The applicant has made landscaping an essential component in the overall design concept of the proposed CVS site. The proposed CVS plan includes an abundance of landscaping throughout the site and within the front yard area along the South Plank Rd frontage, including two large rain garden features which creates a large landscaped buffer between South Plank Rd and the parking field. Landscaping is detailed on Sheets L-1 and L-2 of the site plan set included with the applicant's most recent submission to the Board.
 - The proposed landscaping will soften views between the parking area, building, street frontages, and adjacent properties. At least 5% of the parking lot is devoted to interior landscaping. This is in addition to landscaping along the street and property lines. The parking lot contains several shade or flowering ornamental tree in median dividers and islands. Other features include a 4 foot high decorative fencing around the drainage features along the front and sides of the site, as well as fencing around the front and side parking areas. Fencing and screening enclosures are also proposed around the dumpster and compactor areas.
 - The plan proposes appropriate plant and tree species internally and along the edges of the site, in addition to green swales to create buffers and to blend in with the environment and adjacent areas.
 - The proposed site stormwater management system has been designed for treatment and infiltration and includes 2 rain gardens in the front yard (between the parking area and Route 52) with grassed channels for pre-treatment, a grassed infiltration basin, a sand filter, and an underground infiltration system.
 - Stormwater from the parking areas and drive-aisles is directed to the 2 rain gardens onsite for pre-treatment and watering of the plantings.
 - The 2 rain gardens, grassed infiltration basin, and underground infiltration system are designed to store the water quality volume before it is infiltrated into the ground.

100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
P 860.807.4300

- VHB confirmed that the stormwater from the neighboring property to the west drains through the CVS development property. Accordingly, a grassed swale have been designed to improve runoff, direct this stormwater and safely manage and pass it through the site. The swale also serves as an appropriate green buffer to the west.
- The rain gardens and grassed infiltration basin provided an attractive focal point for the landscape at the front of the site along Route 52, softening views of the developed site. They resemble natural features due to their plantings, mulch, and grassy areas. We have made all attempts to maximize the surrounding greenspace to incorporate Low Impact Design (LID) measures in order to avoid underground manmade structural stormwater quality and quantity features.
 - A 4ft high decorative fence has been incorporated around the drainage features.
- Large landscaped islands are located at the end of the internal parking rows and throughout the parking field onsite to better accommodate the plantings and trees located within these islands.
- Urban tolerant plant species are specified within the paved parking areas.
- The number of curb cuts for the site are at a minimum with only one proposed off of Route 52 and one at the rear of the property which connects to the private drive located on the abutting property to the south.
- We will attempt to provide natural rock outcroppings with respect to the proposed retaining wall designs, however this is subject to further Geotechnical investigations, and if it is discovered the rock outcroppings are unstable, an alternative method for retaining wall design will need to be explored.
- Sidewalks & Pedestrian Walkways:
 - The building is connected to the street edge via sidewalk pedestrian walkway located along the main drive aisle running north to south.
 - Stamped crosswalks are located on site which will also serve as a raised speed table to help control traffic passing through the site and provide for a more aesthetically looking feature. The crosswalks are designed with paving material, color and texture to distinguish from adjacent paved areas and to enhance pedestrian safety throughout the site. A benched open seating area and bike rack is provided onsite, located in between the stamped crosswalks just west of the proposed building. Additional shade and ornamental trees have been strategically placed around these features to provide shade in the summer, yet allow sunshine through the winter. The bench faces north which, when combined with the raised site grades, gives a pleasant view over the site's landscaped frontage and Route 52 (South Plank Rd).
 - VHB explored providing a pedestrian access way to the Dairy Queen property located east of the proposed CVS development, but determined that such access is not practical due to the significant and sharp grade differential (of 15 feet) between the two parcels. The location of the required LID and natural stormwater management features onsite, including a rain garden and grassed filter strips

are also critical limiting factors. As such, it is not feasible to construct a stairwell with the necessary site layout. Additionally, there is a retaining wall on the Dairy Queen property, at the edge or property line, that significantly limits the opportunity to install a stair-well between the two parcels, which would be necessary given the grade change.

- Parking Lot:
 - The proposed parking area will not have a negative impact on the streetscape given the significant landscaping, fencing and natural stormwater features offered on the site plan. A portion of the parking is located along the side of the proposed building, as well as the drive-thru facility which is screened from the Route 52 and Route 300 intersection as a result of the building's location and the drive-thru location along the western side of the site.
 - The parking lot is divided by landscaped islands and surrounded by decorative fencing to soften views of the site. The plan offers larger perimeter islands and ample pedestrian walkways/sidewalks.
- Service Areas:
 - The transformer is located setback significantly from the front yard and is appropriately screened from site by arborvitae. The refuse containers are also setback great distance from the front yard and is screened by an enclosure. The arborvitae trees screening the transformer will also help screen the dumpster enclosure. There is a 30-yd compactor located in the rear of the site, completely screened by an enclosure and the building from view originating from Route 52 (South Plank Rd).
 - The compactor and refuse container are located as far away from entrance ways and onsite bench and bicycle racks as possible, and are located in areas to have the minimal amount of visual and noise impacts to the neighbors.
 - Shopping cart storage areas are proposed within the proposed building.
- Automobile Oriented Commercial Development:
 - The location of the drive-thru and building orientation were designed to maximize queuing length onsite and minimize any chances of the vehicle queue from blocking onsite or offsite traffic. The drive-thru facility is located as far from Route 52 (South Plank Rd) as possible and is adequately screened and buffered from view by the building and front landscaping. Further, there is adequate landscaping around the rear perimeter of the site that will also help block views of the drive-thru.
 - As mentioned above, several traffic calming principles including a speed table and stamped crosswalks have been incorporated into the site design to ensure vehicle-pedestrian safety.
 - The CVS site is oriented to focus drive-thru pickup and drop-off activities at the rear of the site in order to screen these activities and better utilize the front of the site for landscaping and reinforced pedestrian access.

- If the drive-thru facility or building were located towards the front of the site, closer to Route 52 (South Plank Rd), it would not allow for adequate drive-thru queuing of vehicles and would also take away from the LID stormwater management features proposed throughout the site because of site grading and steep existing slopes given to work with.



CONSULTANT:

DEVELOPER:

REVISIONS:

DRAWING BY:	KLP
DATE:	10/05/15
JOB NUMBER:	#####
TITLE:	

EXTERIOR ELEVATIONS
SHEET NUMBER:

COMMENTS:
RELEASED FOR PERMIT

TAG	MATERIAL / DESCRIPTION	SPR / STY / CAT. NO.	COLOR	NOTES
(1)	EIFS DEFS	STO LOUISIAN SYSTEM BY STOUT, LOUISIAN 1.5	MADE-0520	INSTALLED PER MANUF. SPECIFICATIONS
(2)	EIFS	STO LOUISIAN SYSTEM BY STOUT, LOUISIAN 1.5	MADE-0007	CORNER
(3)	SPLIT FACE CMU	CONCRETE ARCHITECTURAL	CONCRETE	HOCON ENVIROCORE MORTAR CORN
(4)	SPLIT FACE CMU ACCENT	CONCRETE ARCHITECTURAL	CONCRETE	HOCON ENVIROCORE MORTAR CORN
(5)	PAINT	BENJAMIN MOORE	7174-30	HARVARD YELLOW
(6)	BOLLARD COVER	RIMPLAST BOLLARDGUARD 62752 OR 80462	SEDAVA CLAY	TPP FOR ALL PIPE BOLLARDS
(7)	PREFINISHED METAL COPING		YELLOW	TPP FOR ALL PIPE BOLLARDS
(8)	ALUM STOREFRONT		CLEAR ANODIZED	
(9)	ALUM AUTOMATIC DOOR	STANLEY DUNBARRE 5390	CLEAR ANODIZED	
(10)	VINYL AWNING	BURTON SIGNWORKS, INC.	WEB ON #2326 DEEP RED	SUPPLIED & INSTALLED BY GC
(11)	ALUMINUM CANOPY	MERSS ARCHITECTURAL CANOPIES	CLASS 1 CLEAR ANODIZED	

NOTE: SOURCE UNDER SEPARATE PERMIT. REFER TO APPROVED CONTRACT FOR PERMIT FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNS TO BE EXPANDED AND ANCHORED.

TAG	MATERIAL / DESCRIPTION	COLOR TO MATCH	NOTES
(12)	SPLIT FACE CMU	CONCRETE	HOCON ENVIROCORE MORTAR CORN
(13)	SPLIT FACE CMU ACCENT	CONCRETE	HOCON ENVIROCORE MORTAR CORN
(14)	SPLIT FACE CMU	CONCRETE	HOCON ENVIROCORE MORTAR CORN
(15)	SPLIT FACE CMU ACCENT	CONCRETE	HOCON ENVIROCORE MORTAR CORN

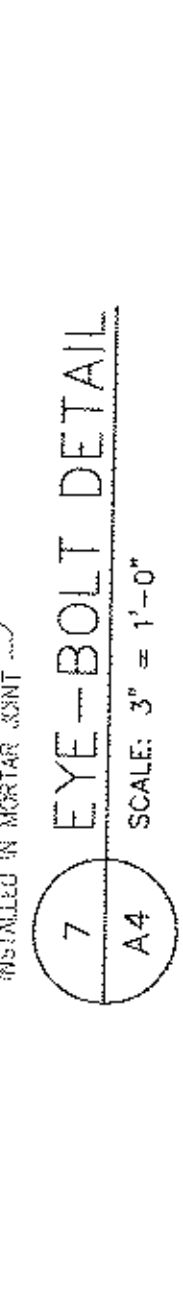
NOTE: SEE SPECIFICATIONS MANUAL FOR CONTACT INFORMATION

TAG	MATERIAL / DESCRIPTION	COLOR TO MATCH	NOTES
(16)	WASHER W/ SEALANT		
(17)	3/4" DIA X 5" SHANK		
(18)	3/4" RODD EYE DIA		
(19)	STAINLESS STEEL EYE BOLT		
(20)	LAG SCREW RIGHT TO MATCH ADJACENT SPLIT FACE CMU		
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NOTE: SOURCE UNDER SEPARATE PERMIT. REFER TO APPROVED CONTRACT FOR PERMIT FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNS TO BE EXPANDED AND ANCHORED.

LEGEND
PILON SIGNAGE EPS COLOR TO MATCH THE BUILDING EPS COLOR. (X) - RE: EXTERIOR FINISH SCHEDULE

7 EYE-BOLT DETAIL
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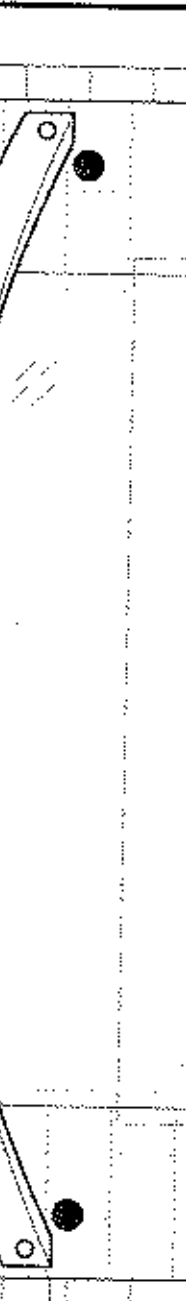
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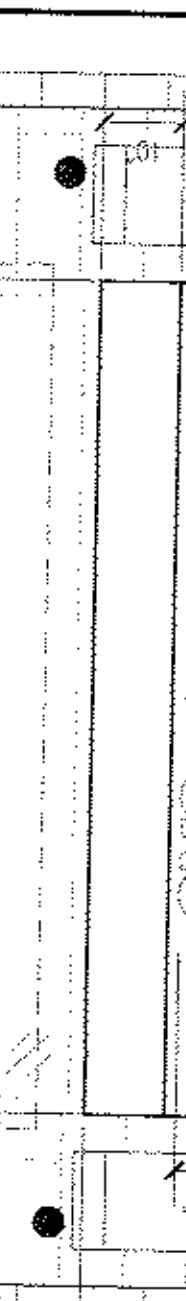
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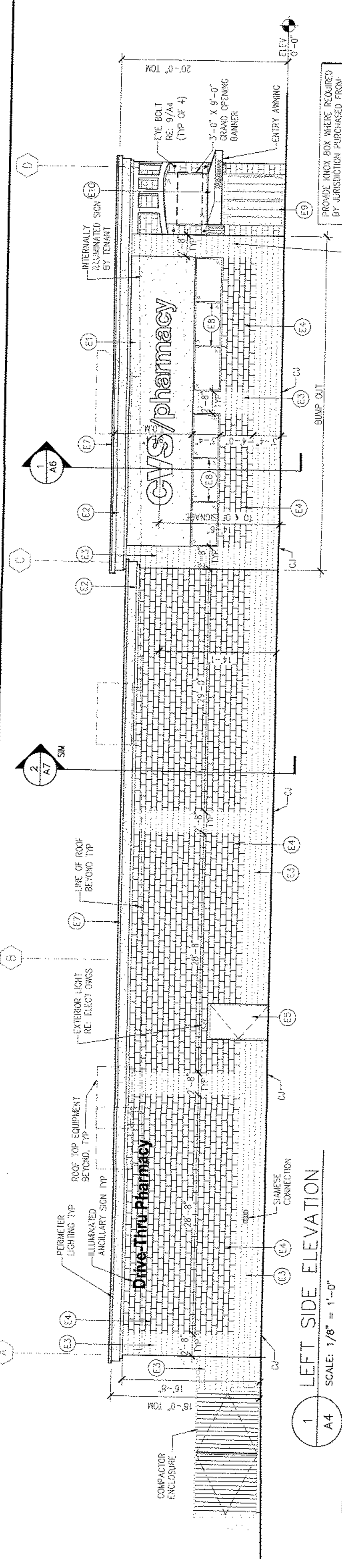
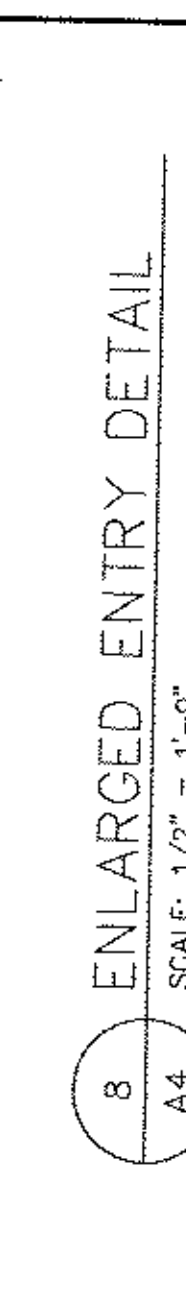
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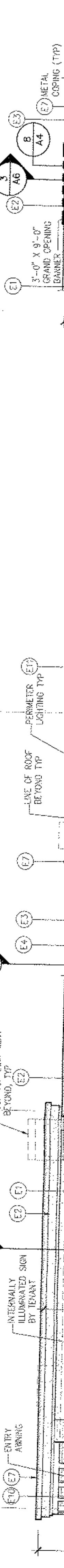
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1 LEFT SIDE ELEVATION
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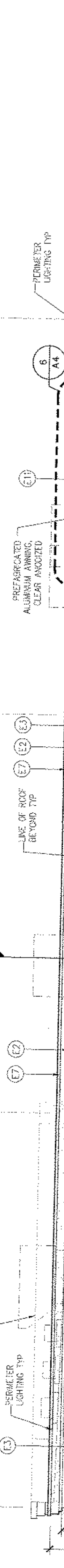
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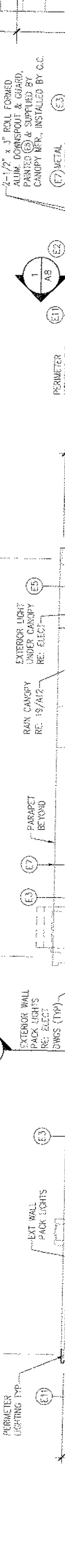
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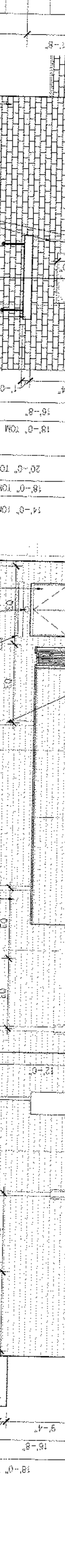
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1 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



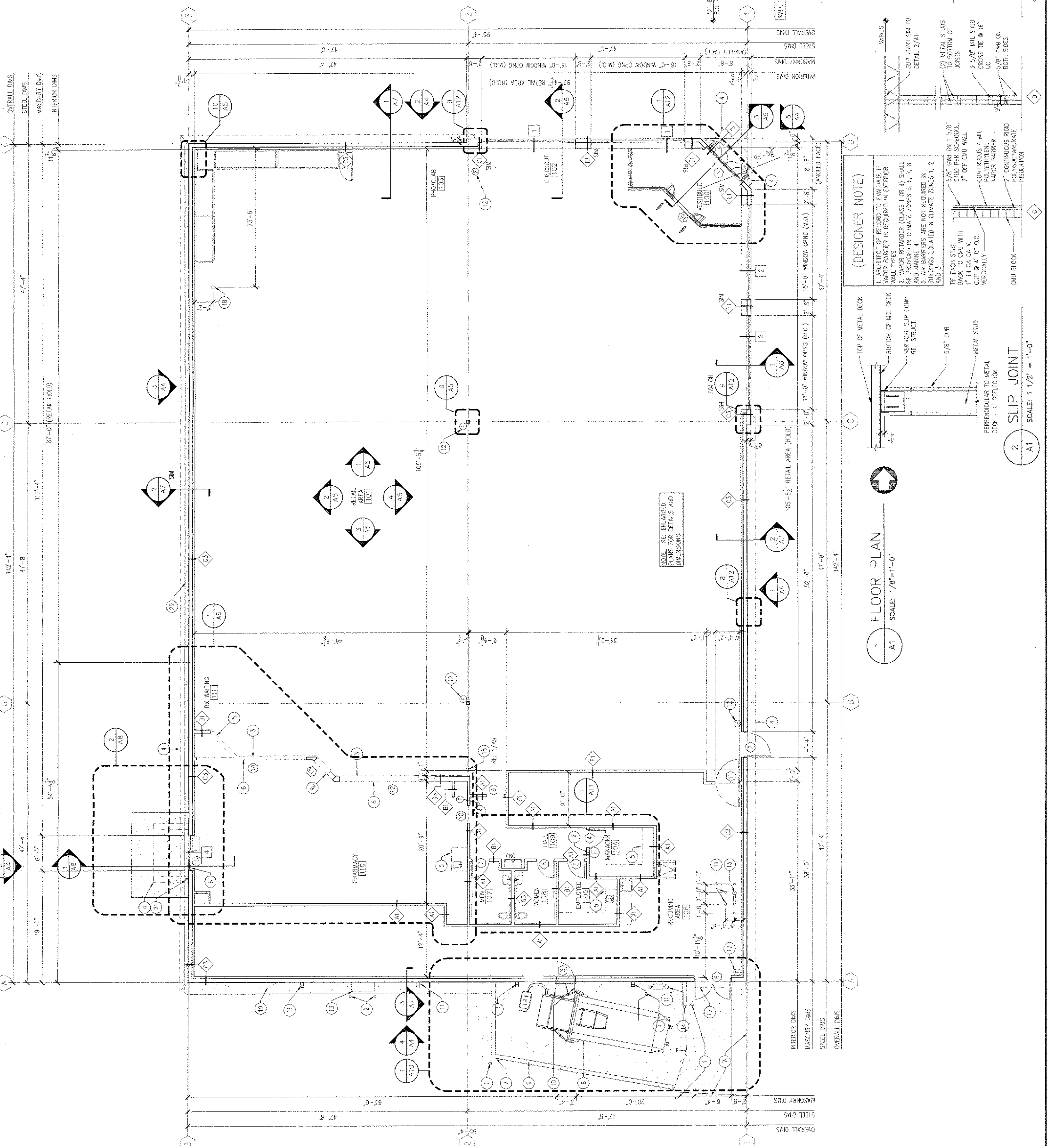
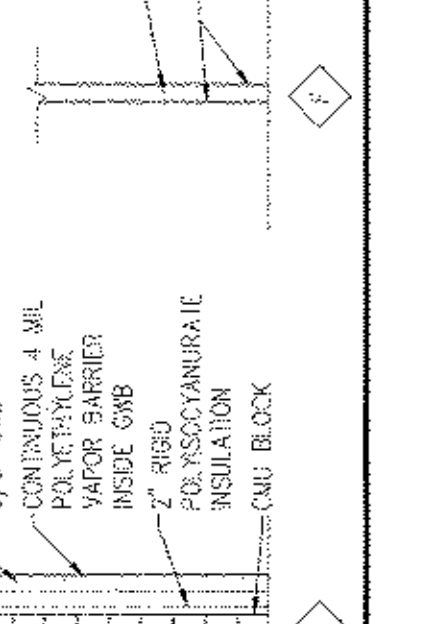
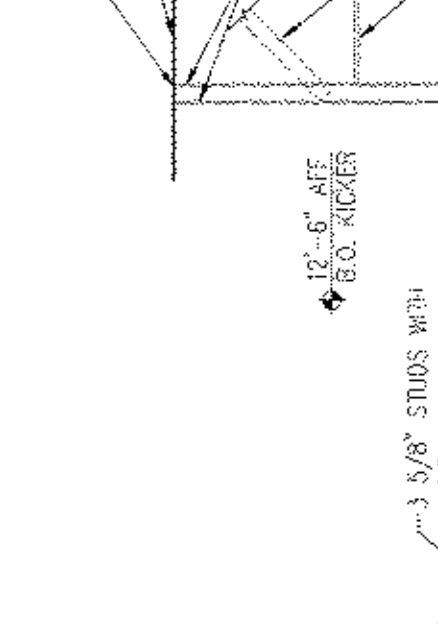
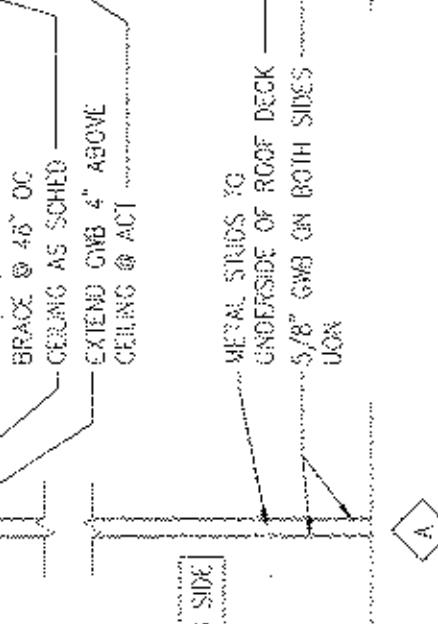
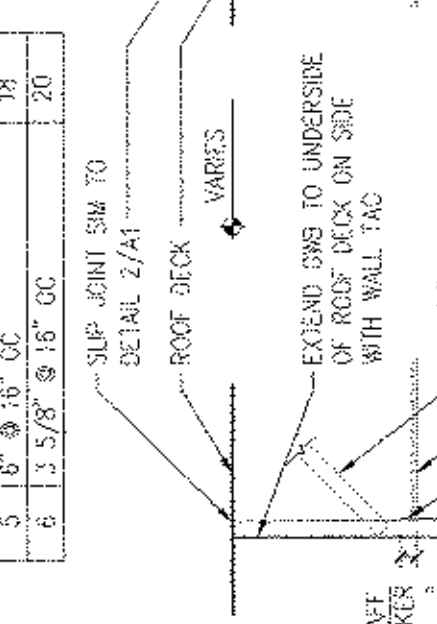
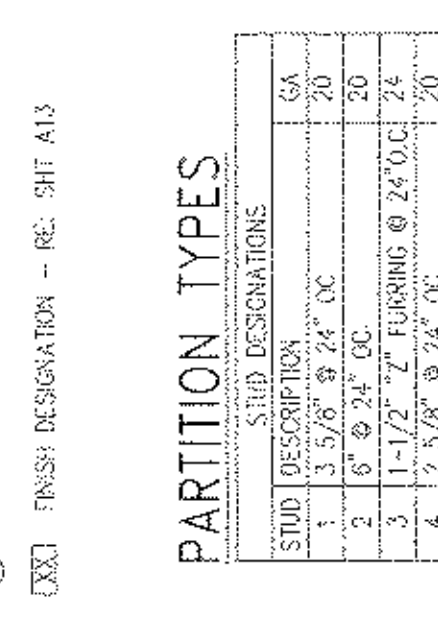
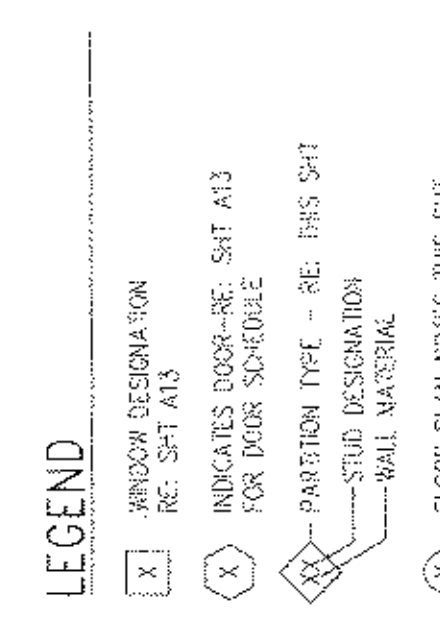
1 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

- NOTES BY SYMBOL**
- 1 1/2" PIPE BOLLARD - RE: 4/A10 AND EXTERIOR FINISH SCHEDULE.
 - 2 1/2" PIPE BOLLARD - RE: 4/A10 AND EXTERIOR FINISH SCHEDULE.
 - 3 WALL SECTION.
 - 4 FACE OF CANOPY / AWNING / ROOF LINE ABOVE.
 - 5 CASSET BY MILLWORK SUPPLIER - RETAILING PLAN F1.
 - 6 COILING GRILLE
 - 7 8" THICK CONCRETE PAD FOR COMPACTOR AND LANDING AREA - RE: STRUCTURAL DRAWINGS.
 - 8 COMPACTOR
 - 9 COMPACTOR ENCLOSURE
 - 10 COMPACTOR CHUTE
 - 11 DOWNSPOUT LEADER - WITH DOWNSPOUT BOARD RE: 6/A10
 - 12 PROVIDE LISTED AND LABELED DRY-CHEMICAL UL-RATED FIRE EXTINGUISHER, RE: SPECS
 - 13 ELECTRICAL METER AND DISCONNECT BY UTILITY CO. RE: ELEC.
 - 14 GAS METER, RE: PLUMBING
 - 15 FIRE RISER: COORDINATE BOLLARD LOCATION WITH FIRE RISER LOCATION
 - 16 4" PIPE BOLLARD, SURFACE MOUNTED RE: 10/A10
 - 17 BAIN CANOPY RE: 19/A12
 - 18 FLOOR CLEANOUT, RE: PLUMBING
 - 19 CONC. CURB, RE: CIVIL
 - 20 CONC. CURB, RE: A8
 - 21 DOWNSPOUT LEADER AND GUARD.

- LEGEND**
- X WINDOW DESIGNATION RE: SHT A10
 - X INDICATES DOOR-RE: SHT A13 FOR DOOR SCHEDULE
 - X PARTITION TYPE - RE: FHS SPT
 - X STUD DESIGNATION - WALL MATERIAL
 - X FLOOR PLAN NOTES THIS SHT
 - X EXH1 FINISH DESIGNATION - RE: SHT A10

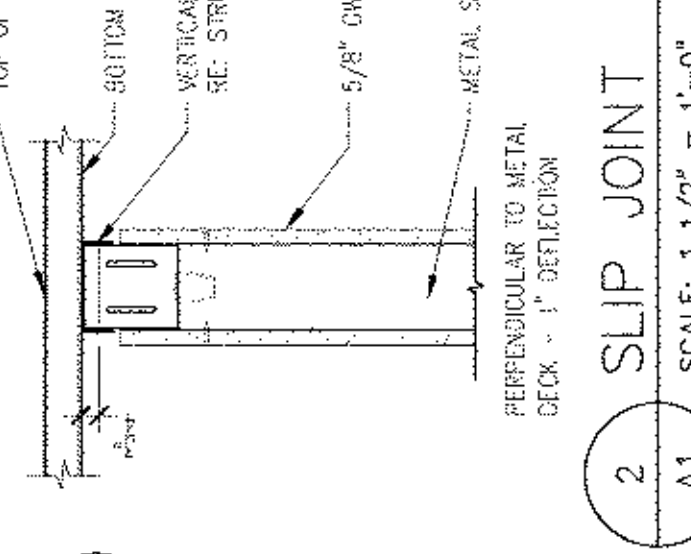
PARTITION TYPES

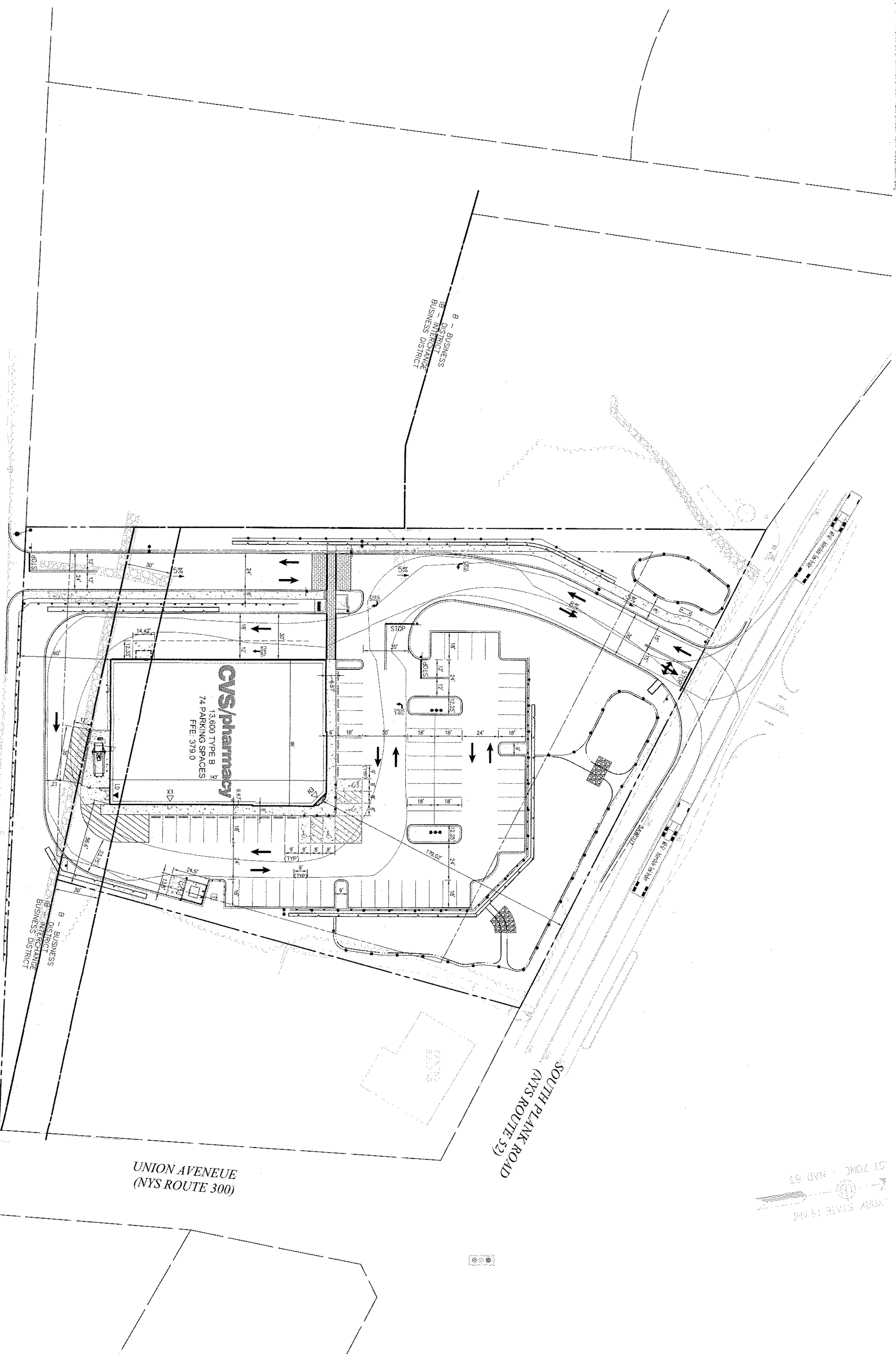
STUD DESIGNATION	STUD DESCRIPTION
1	3/8" @ 24" OC
2	1/2" @ 24" OC
3	1-1/2" @ 24" OC
4	2-1/2" @ 24" OC
5	3-1/2" @ 24" OC
6	4-1/2" @ 24" OC
7	5-1/2" @ 24" OC
8	6-1/2" @ 24" OC
9	7-1/2" @ 24" OC
10	8-1/2" @ 24" OC
11	9-1/2" @ 24" OC
12	10-1/2" @ 24" OC
13	11-1/2" @ 24" OC
14	12-1/2" @ 24" OC
15	13-1/2" @ 24" OC
16	14-1/2" @ 24" OC
17	15-1/2" @ 24" OC
18	16-1/2" @ 24" OC
19	17-1/2" @ 24" OC
20	18-1/2" @ 24" OC
21	19-1/2" @ 24" OC
22	20-1/2" @ 24" OC



(DESIGNER NOTE)

1. ARCHITECT OF RECORD TO EVALUATE IF VAPOR BARRIER IS REQUIRED IN EXTERIOR WALLS. BARRIER (CLASS 1 OR 1) SHALL BE PROVIDED IN CLIMATE ZONES 5, 6, 7, 8 AND WARE 4
2. AIR BARRIERS ARE NOT REQUIRED IN BUILDINGS LOCATED IN CLIMATE ZONES 1, 2, AND 3
3. IF EACH STUD BACK TO CURB WITH 1" H GA GALLY CLIP @ 4'-0" O.C. VERTICALLY
4. 5/8" CWB ON 1 5/8" STUD PER SCHEDULE, 2" OFF CWB WALL
5. CONTINUOUS 4 MIL POLYETHYLENE VAPOR BARRIER
6. 5/8" CWB ON BOTH SIDES
7. CONTINUOUS RIGID POLYISOCYANURATE INSULATION
8. GMB BLOCK





vhb.com

101 Walnut Street
 PO Box 9151
 Watertown, MA 02471
 617.924.1770

CVS/pharmacy
 South Plank Rd & Union Ave
 Newburgh, NY

NO.	DESCRIPTION	DATE	APPROVED

Not Approved for Construction
 October 20, 2015
**Truck Turning
 Movement Plan 1
 WB-62**

TT-1

Scale 1" = 1'

* Z = LUMINAIRE MOUNTING HEIGHT A.F.G.

Luminaire Label	X	Y	Z *	Orient	Tht
1	A	436	23	180	0
2	D250	352	23	180	0
3	D250	432	23	180	0
4	F	272	432	28	333.772
5	F	251	273	28	0
6	CB	315	125	9.33	0
7	CB	316	125	9.33	0
8	CB	318	122	9.33	0
9	CB	315	132	9.33	0
10	CB	315	132	9.33	0
11	OC	4131	248	0	0
12	S4	319.14	108.13	16.66	90
13	S6	383.61	248.58	16.66	0
14	S8	319.17	246.08	16.66	90
15	S8	414.79	199.48	16.66	30
16	S6	414.79	193.48	16.66	30
17	S8	414.79	187.48	16.66	90
18	S6	414.79	181.48	16.66	90
19	S6	414.79	175.48	16.66	90
20	S8	414.79	169.48	16.66	90
21	S8	414.79	163.48	16.66	90
22	S6	414.79	157.48	16.66	90
23	S6	414.79	151.48	16.66	90
24	S6	414.79	145.48	16.66	90
25	S6	414.79	139.48	16.66	90
26	S6	414.79	133.48	16.66	90
27	S6	414.79	127.48	16.66	90
28	S6	414.79	121.48	16.66	90
29	S6	414.79	115.48	16.66	90
30	S6	414.79	109.48	16.66	90
31	S6	414.79	103.48	16.66	90
32	S6	414.79	97.48	16.66	90
33	S6	414.79	91.48	16.66	90
34	S6	414.79	85.48	16.66	90
35	S6	414.79	79.48	16.66	90
36	S6	414.79	73.48	16.66	90
37	S6	414.79	67.48	16.66	90
38	S6	414.79	61.48	16.66	90
39	S6	414.79	55.48	16.66	90
40	S6	414.79	49.48	16.66	90
41	S6	414.79	43.48	16.66	90
42	S6	414.79	37.48	16.66	90
43	S6	414.79	31.48	16.66	90
44	S6	414.79	25.48	16.66	90
45	S6	414.79	19.48	16.66	90
46	S6	414.79	13.48	16.66	90
47	S6	414.79	7.48	16.66	90
48	S6	414.79	1.48	16.66	90
49	S6	414.79	-4.48	16.66	90
50	S6	414.79	-10.48	16.66	90
51	S6	414.79	-16.48	16.66	90
52	S6	414.79	-22.48	16.66	90
53	S6	414.79	-28.48	16.66	90
54	S6	414.79	-34.48	16.66	90
55	S6	414.79	-40.48	16.66	90
56	S6	414.79	-46.48	16.66	90
57	S6	414.79	-52.48	16.66	90
58	S6	414.79	-58.48	16.66	90
59	S6	414.79	-64.48	16.66	90
60	S6	414.79	-70.48	16.66	90
61	WP	388.6	100.9	12	270
62	WP	320.3	100.3	12	270
63	WP	388.6	100.9	12	270
64	WS	415	242.7	7	45
65	WS	407.9	248.7	7	45

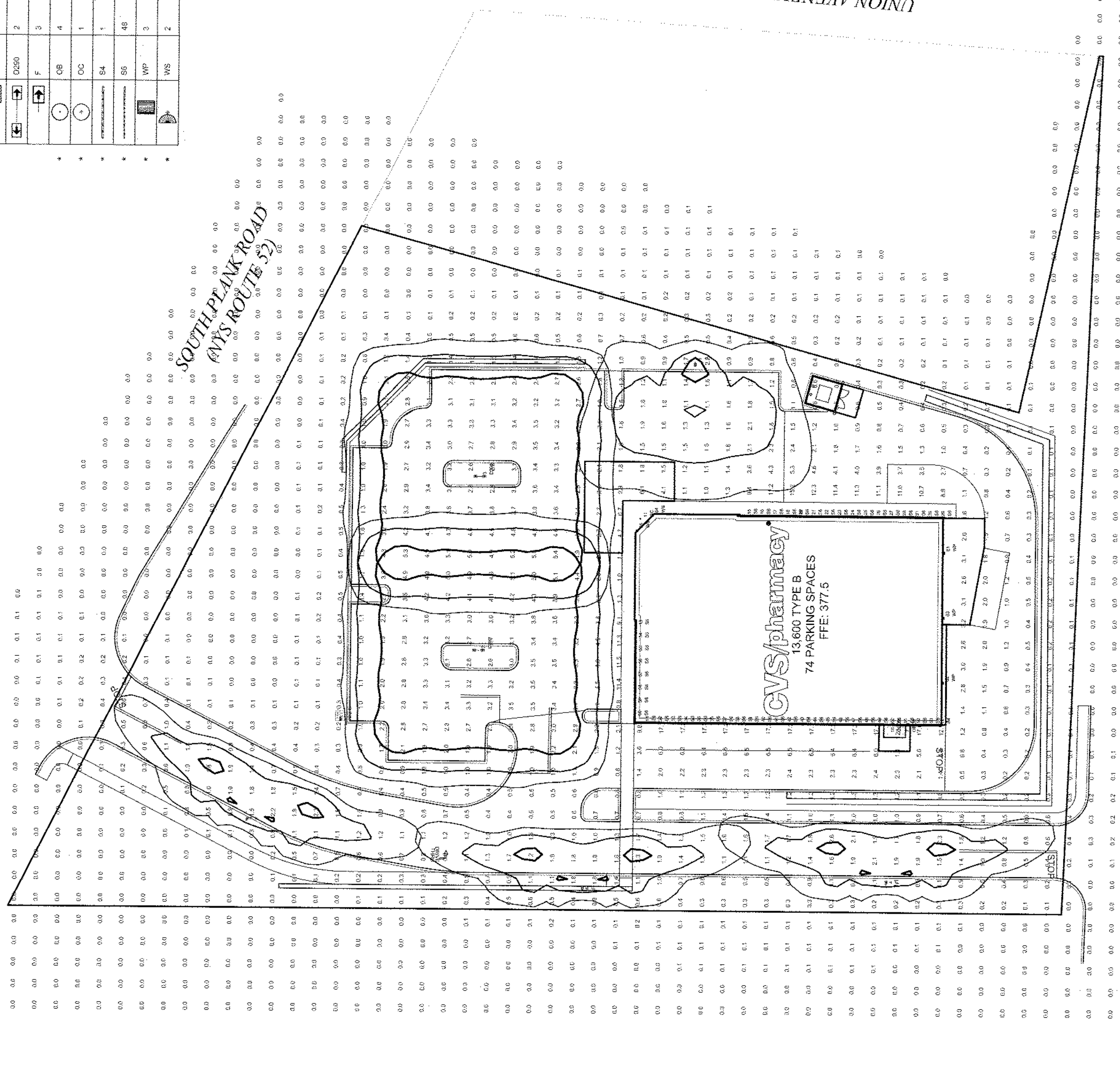
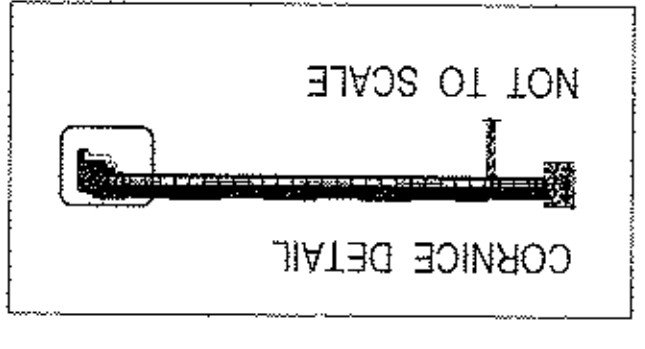
* HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lum. Werts	Lum. Lumens	LMF	LOD	BF	LIF
→	A	1	CL1-60L-K-4 (Hubbell Lig)	SINGLE	141	12336	0.950	0.950	1.000	0.903
→	D250	2	QTY 2 - CL1-90L-K-3M (Hubbell Lig)	BACK-BACK	207.8	18522	0.950	0.950	1.000	0.903
→	F	3	CL1-60L-K-2-BC (Hubbell Lig)	SINGLE	141.9	7898	0.950	0.950	1.000	0.903
○	CB	4	PI2013-6V155	SINGLE	18.0	1130	0.950	0.950	1.000	0.903
○	OC	1	EVO 4/129 5AR 120	SINGLE	48.9	3108	0.950	0.950	1.000	0.903
○	S4	1	ECVXWET-4-120-K-2786	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
○	S5	48	ECVXWET-6-120-K-2780	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
○	WP	3	DSXW1 LED 10C 1000-40K TFM MVOLT	SINGLE	40	3065	0.950	0.950	1.000	0.903
○	WS	2	AZ-3L-LED75-K-12-REU-9B-CTR-9Z	SINGLE	77.3	5187	0.950	0.950	1.000	0.903

Label	Description	Units	Avg	Min	Max	AvgMin	MaxMin
CVS PARKING	1.0 FC MINIMUM	Fc	3.10	11.5	1.0	3.10	11.50

POLE SPEC FOR CIMARRON:
 SINGLE FIXTURE
 SSS-XX-XX-X-A2-XX
 TWIN FIXTURE 180 DEGREE APART
 SSS-XX-XX-X-C2-XX

FOR PRICING CONTACT
NESCO
 40 Hudson Rd
 Canton, MA 02021
 Tel: 781-828-9494
 Fax: 781-575-1398
 E-Mail: CVSpans@nescoweb.com



NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY

CVS #10688
 NEWBURGH, NY

1576391

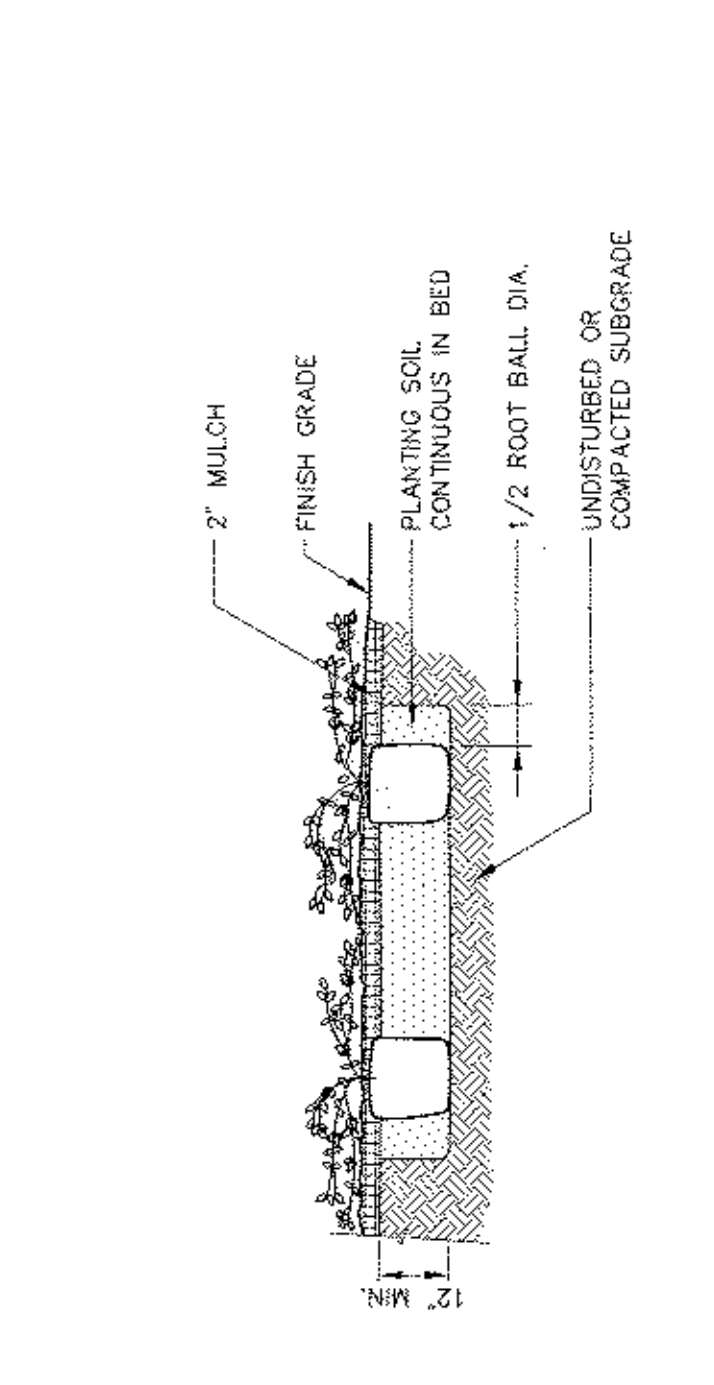
SITE LIGHTING PLAN SL-1

1. THE CONSULTANT HAS CONDUCTED VISUAL LIGHTING ANALYSIS AND DESIGN OF THE LUMINAIRE SYSTEM AS SHOWN ON THESE PLANS. THE CONSULTANT HAS NOT CONDUCTED VISUAL LIGHTING ANALYSIS FOR THE ENTIRE PROJECT. VISUAL LIGHTING ANALYSIS FOR THE ENTIRE PROJECT IS THE RESPONSIBILITY OF THE CLIENT. VISUAL LIGHTING ANALYSIS FOR THE ENTIRE PROJECT IS THE RESPONSIBILITY OF THE CLIENT. VISUAL LIGHTING ANALYSIS FOR THE ENTIRE PROJECT IS THE RESPONSIBILITY OF THE CLIENT.

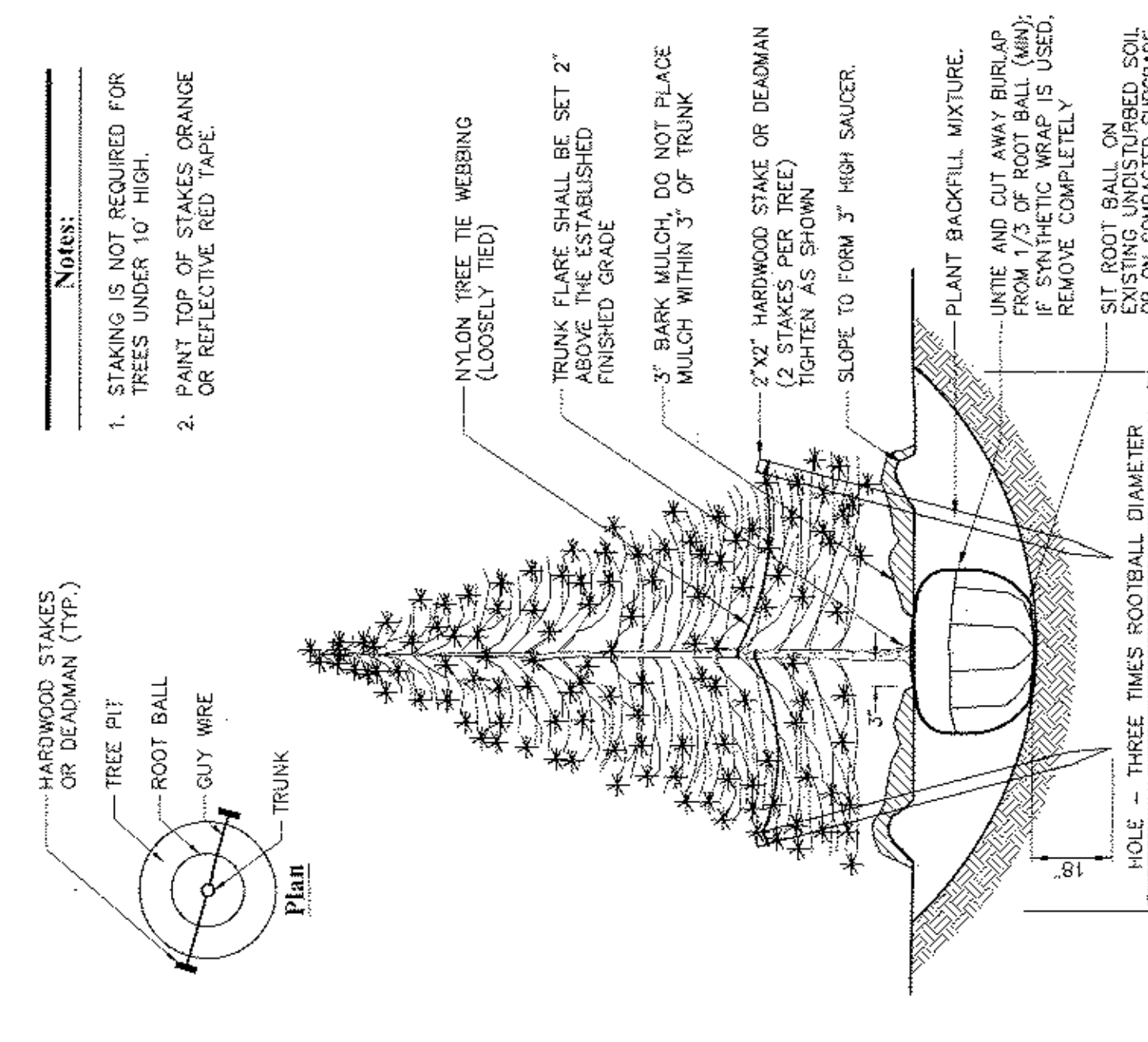
Notes:

- STAKING IS NOT REQUIRED FOR TREES UNDER 10' HIGH.
- PANT TOP OF STAKES ORANGE OR REFLECTIVE RED TAPE.

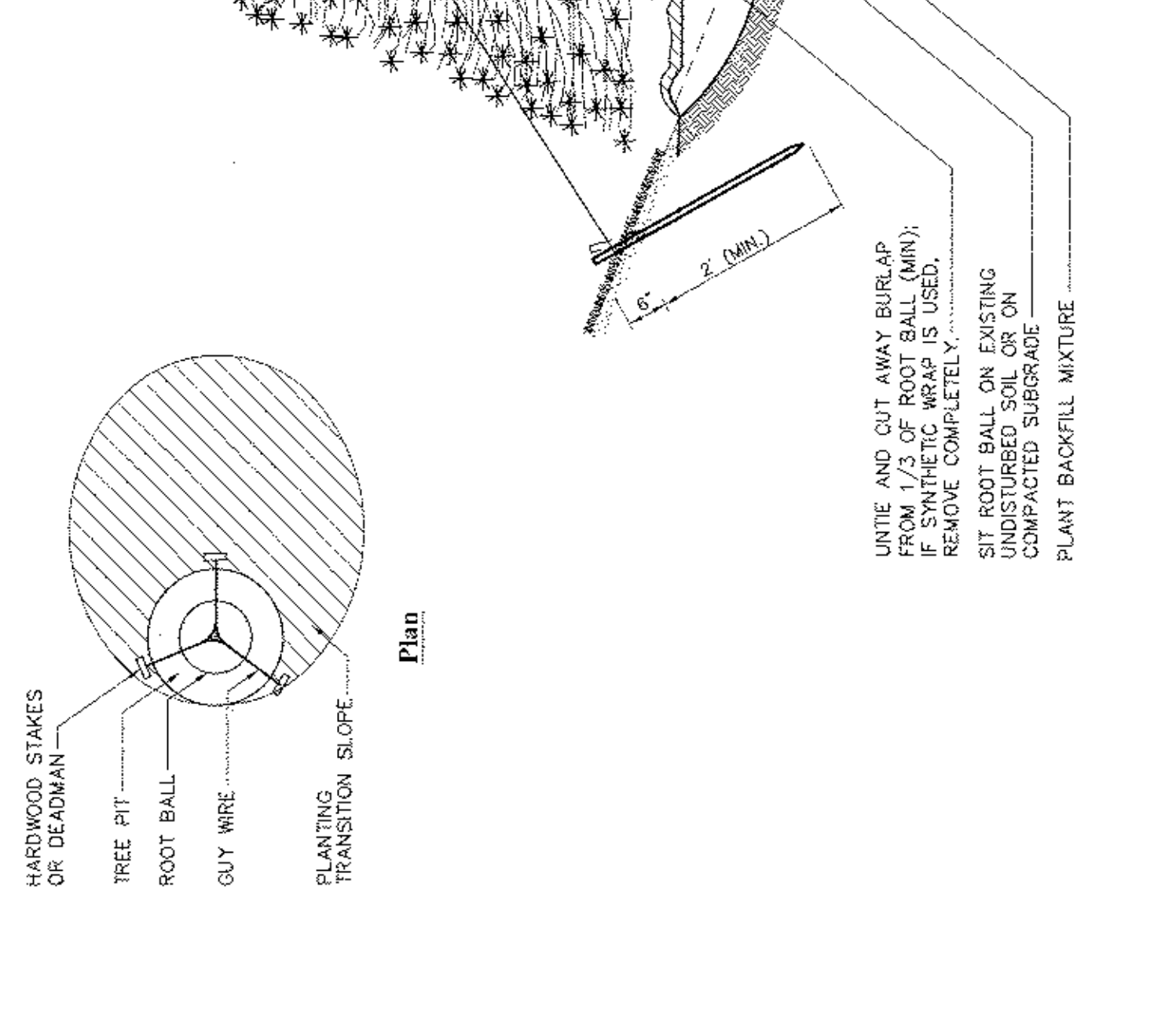
PLANT SPACING (A)	ROW SPACING (B)
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.



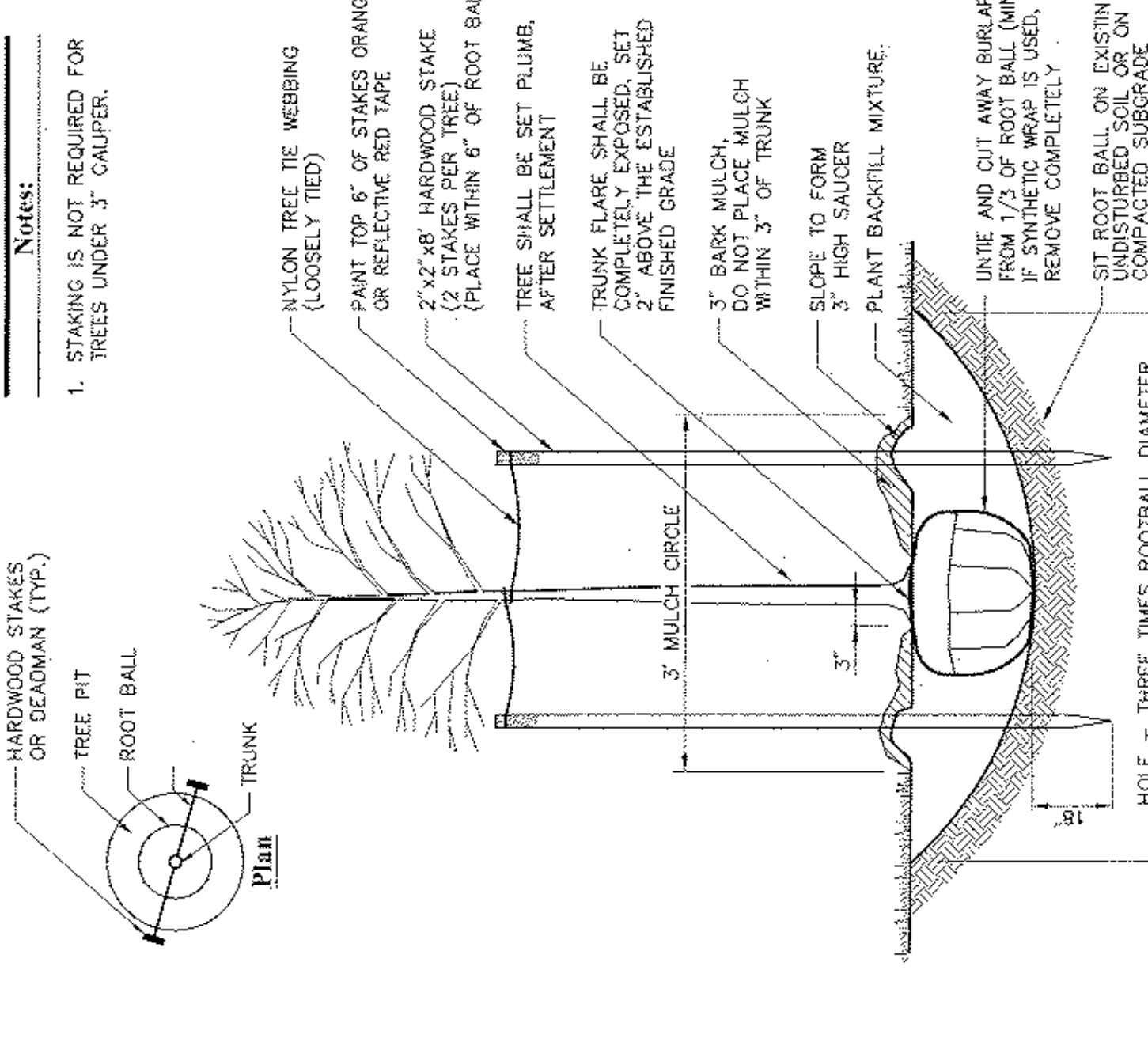
Ground Cover Planting
N.T.S. Source: VHB 11/09 LD_515



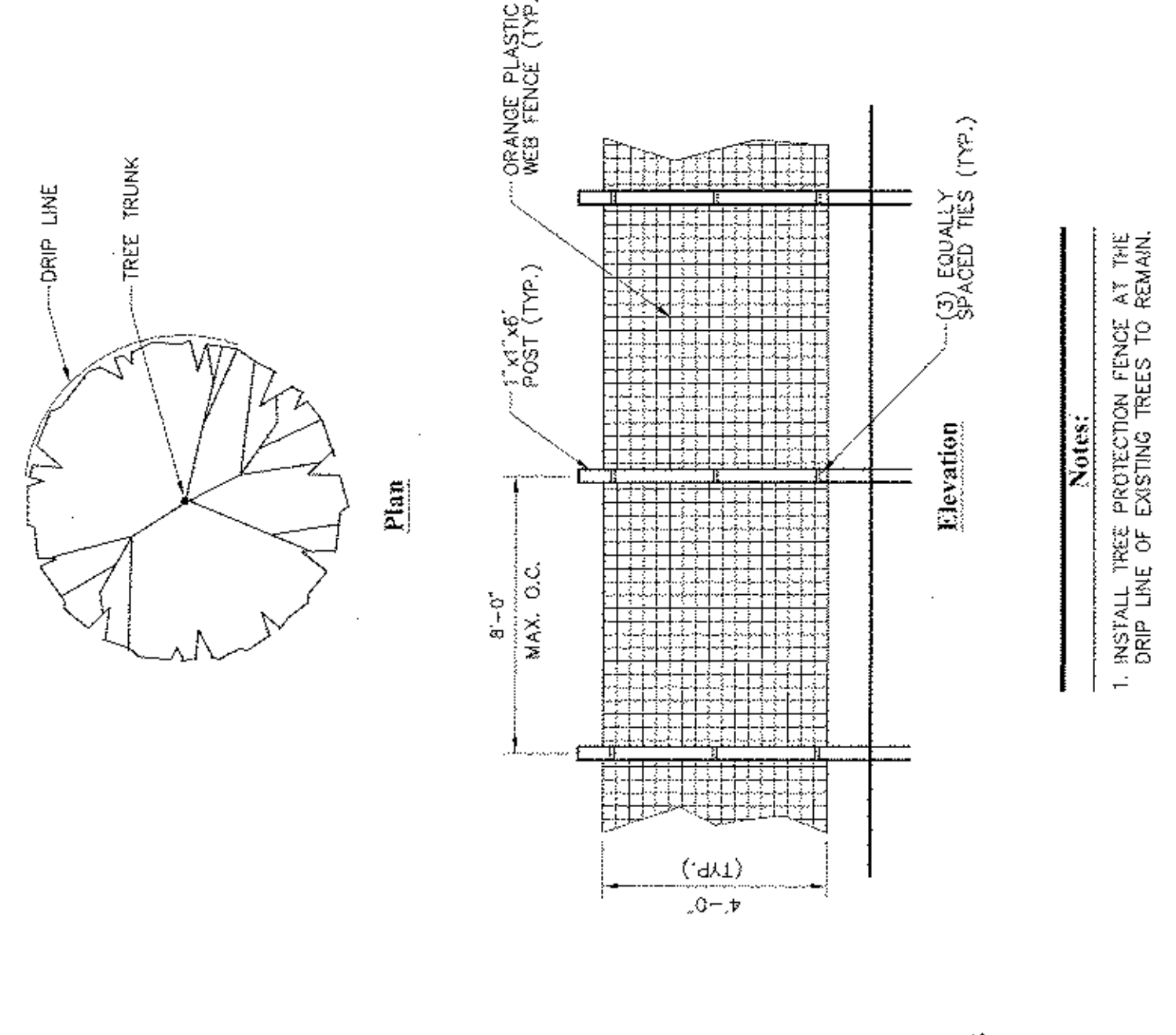
Evergreen Tree Planting
N.T.S. Source: VHB 9/08 LD_804



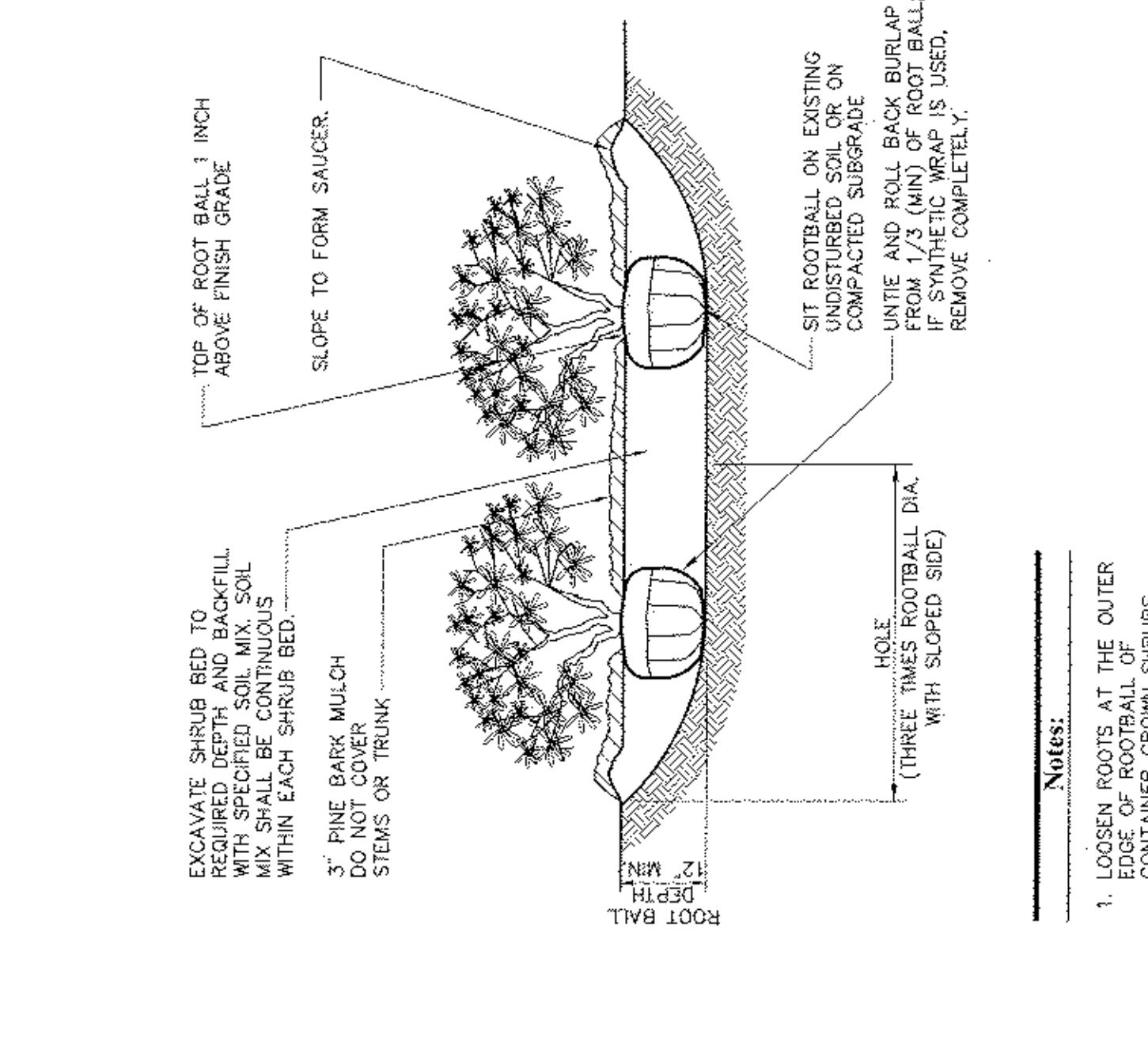
Tree Planting on Slope
N.T.S. Source: VHB 7/12 LD_605



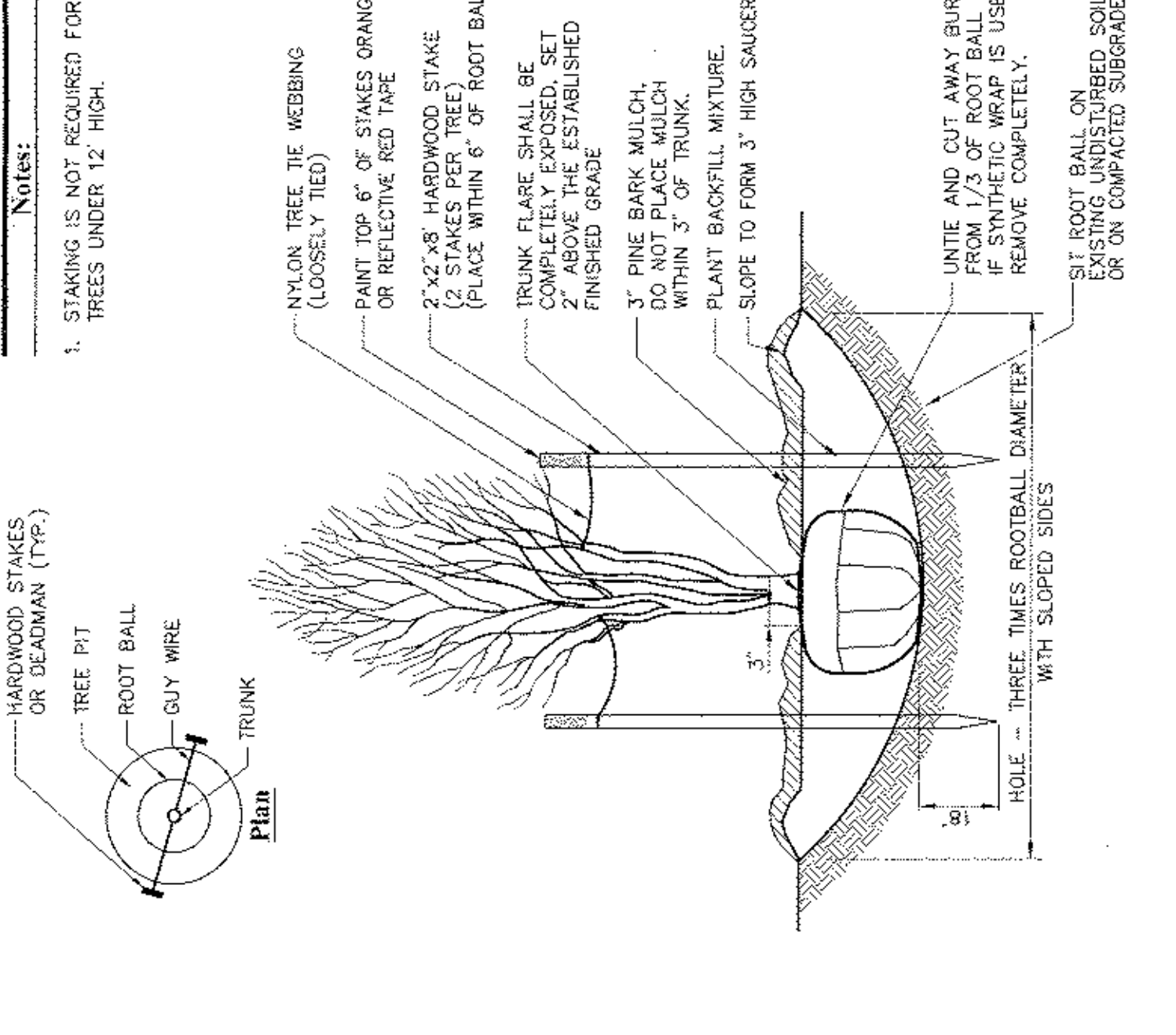
Tree Planting (For Trees Under 4" Caliper)
N.T.S. Source: VHB 1/10 LD_602



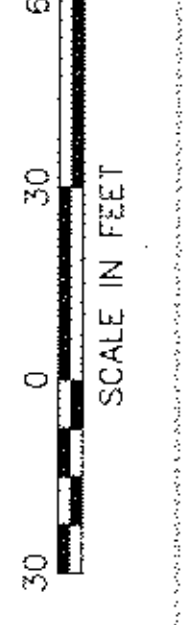
Tree Protection Fence
N.T.S. Source: VHB 2/13 LD_610



Shrub Bed Planting
N.T.S. Source: VHB 6/08 LD_506



Multistem Tree Planting
N.T.S. Source: VHB 6/08 LD_506



Landscaping Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED CAREFULLY AS SHOWN ON THE PLANS FOR FIELD REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED AND STABILIZED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICTS.
4. A 3-INCH DEEP SHREDED PINE BARK SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. BIOTRETION AREA IN RAIN GARDEN SHALL BE MULCHED AS NOTED BELOW.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED, OR APPROVED BY THE OWNERS REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNERS REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED 'LOAM & SOD' SHALL RECEIVE 8" OF LOAM AND SPECIFIED SOD MIX. LAWNS OVER 3:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC (E.C.F.) AT 3:1 SLOPE AND STEEPER SHALL BE STAKED WITH 6-INCH MINIMUM STAKE AND FULL STAKES AT A MINIMUM OF 1 FEET X 2 SQUARE FEET, OR PER THE REQUIREMENT OF THE MANUFACTURER.
11. AREAS DESIGNATED 'LOAM AND HYDROSEED (TYP)' SHALL RECEIVE A MINIMUM OF 4" OF LOAM AND SPECIFIED HYDROSEED (TYP) MIX. LAWNS 3:1 SLOPE AND STEEPER SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
12. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND HYDROSEED (TYP) OR MULCHED AS DIRECTED BY OWNERS REPRESENTATIVE.
13. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AT THE FOLLOWING POINTS DURING CONSTRUCTION:
O TO REVIEW PLANT LAYOUT/STAKING/PLANT BEDS AND TREE PITS AT ONE SITE VISIT
O FOR FINAL WALK-THROUGH AND PUNCH LIST AT WHICH TIME THE CONTRACTOR SHALL DEMONSTRATE THE FULLY INSTALLED IRRIGATION SYSTEM.
14. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT:
O ALL SEED AND SOD MIXES
O PLANTING SOILS TEST RESULTS AND RECOMMENDATIONS FROM TESTING LABORATORY
O MANUFACTURER'S DATA ON ALL SOIL AMENDMENTS
15. THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Irrigation Notes

- 1. CONTRACTOR SHALL PROVIDE FOR OWNER THE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE COMPLETED AND STABILIZED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICTS. IRRIGATION DESIGNER'S DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS. IRRIGATION DESIGNER'S DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
5. (INSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
6. (INSIDE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
7. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

Rain Garden - Construction Notes

- 1. RAIN GARDEN SHALL NOT BE PLACED ON-LINE UNTIL THE ENTIRE CONTRIBUTING BIOTRETION AREA HAS BEEN STABILIZED AND VEGETATION HAS ESTABLISHED. THE BIOTRETION BASIN AREA SHALL BE PROTECTED FROM SEDIMENT LOOSEN RAINFALL.
2. THE RAIN GARDEN SHALL CONTAIN A PLANTING SOIL OF SANDY LOAM (LOAM, SOD, OR A LOAM/SOD MIX WITH THE FOLLOWING COMPOSITION RESULTS OF TESTING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION):
- SAND 80-85% BY VOLUME
- CLAY < 2%
- SILT 9-12%
- ORGANIC MATTER 3-5%
3. SOIL SHALL BE FREE FROM STONES OVER 2" DIAMETER, STUMPS, ROOTS OR OTHER DEBRIS. PLANTING SOIL SHALL CONFORM TO THE FOLLOWING (BY RANGES 3 TO 6.5): MAGNESIUM SOLUBLE COMPACTS SHALL BE 300-400 PPM. PROVIDE SOIL TEST RESULTS TO CONFIRM SOIL COMPLIANCE TO THE ABOVE CRITERIA.
4. TESTING SHALL BE COORDINATED BY THE CONTRACTOR AND DONE BY AN APPROVED LABORATORY. CONTRACTOR SHALL PROVIDE REQUIRED REPRESENTATIVE SAMPLES OF MATERIAL FOR TESTING TO THE TESTING LABORATORY SITE.
5. THE RESULTS OF THE TESTING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
6. AUGMENT PLANTING SOIL TO 30-40% COMPOST. COMPOST SHALL BE PROCESSED YARD WASTE OR AGED LEAVES. COMPOST SHALL NOT CONTAIN BIOLOGICALS.
7. PROVIDE A 3" DEEP LAYER OF AGED (6 MOS. MIN.) COMPOSTED, SHREDDED PINE MULCH OVER SOIL SURFACE.
8. SAND SHALL CONFORM TO ASTM D-422, AND BE FREE OF DELETERIOUS MATERIAL.
9. TOPSOIL SHALL CONSIST OF TOPSOIL FROM ON-SITE STOCKPILE, OR LOAM BORROW, WITH SOIL AMENDMENTS ADDED TO MEET THE ABOVE SPECIFICATION.
10. PLANTING SOIL SHALL BE PLACED IN LIFTS OF LESS THAN 12 INCHES AND LIGHTLY COMPACTED MANUALLY COMPACTOR. OVERLAP LIFTS WITH A HAND-OPERATED LANDSCAPE ROLLER. HEAVY EQUIPMENT SHALL BE RESTRICTED FROM TRAVELING OVER THE BIOTRETION AREA.
11. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR DIMENSIONS, ELEVATIONS, PIPE MATERIALS AND SIZES, LOCATIONS AND INVERTS OF BIOTRETION BASIN AND BIOTRETION AREA ELEMENTS.
12. BASIN SIDESLOPES: SEED SIDESLOPES OF BASIN (ALL SIDES) WITH EROSION CONTROL & RESTORATION FABRIC (SITES AT 3:1 SLOPE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL)).
13. EROSION CONTROL BLANKET/MATTING TO BE CURE@ PHOTO-DEGRADABLE BLANKET. INSTALL EROSION CONTROL BLANKET/MATTING AFTER SEED PLACEMENT AND SECURE PER DETAIL SPECS CONSTRUCTION NOTES; THIS SHEET.

Infiltration Basin & Small Detention Basin

- 1. THE INFILTRATION BASIN SHALL NOT BE PLACED ON-LINE UNTIL THE ENTIRE INFILTRATION AREA, INCLUDING SIDE SLOPES, HAS BEEN STABILIZED AND PROTECTED FROM SEDIMENT LOOSEN RAINFALL.
2. BASIN BOTTOM: LOAM AND SOD ON BOTTOM OF STORMWATER DETENTION BASIN TO BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES AT 3:1 SLOPE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. (AMHERST, MA (OR APPROVED EQUAL)).
3. BASIN SIDESLOPES: LOAM AND SOD (ALL SIDES) WITH EROSION CONTROL & RESTORATION FABRIC (SITES AT 3:1 SLOPE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL)).
4. EROSION CONTROL BLANKET/MATTING TO BE CURE@ PHOTO-DEGRADABLE BLANKET. INSTALL EROSION CONTROL BLANKET/MATTING AFTER SEED PLACEMENT AND SECURE PER DETAIL SPECS CONSTRUCTION NOTES; THIS SHEET.
5. TOPSOIL ON BOTTOM OF INFILTRATION BASIN TO BE 4" OF SANDY LOAM, MATCHING THE SPECS NOTED UNDER BIOTRETION BASIN. CONSTRUCTION NOTES; THIS SHEET.

PLANT SCHEDULE

Table with columns: COMMON NAME, QTY, BOTANICAL NAME, SIZE, SPACING. Lists various plants like Acer rubrum, Gleditsia triacanthos, Quercus plurexia, Prunus incesa, etc.

LEGEND showing symbols for IV, PC, SA, CC, SOD.

CVS pharmacy logo and address: 13,600 SF - TYPE B SIDE DRIVE-THRU SOUTH PLANK ROAD (RT 52) & UNION AVE (RT 300) TOWN OF NEWBURGH, NY

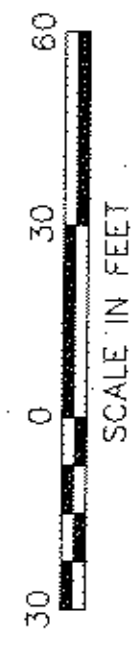
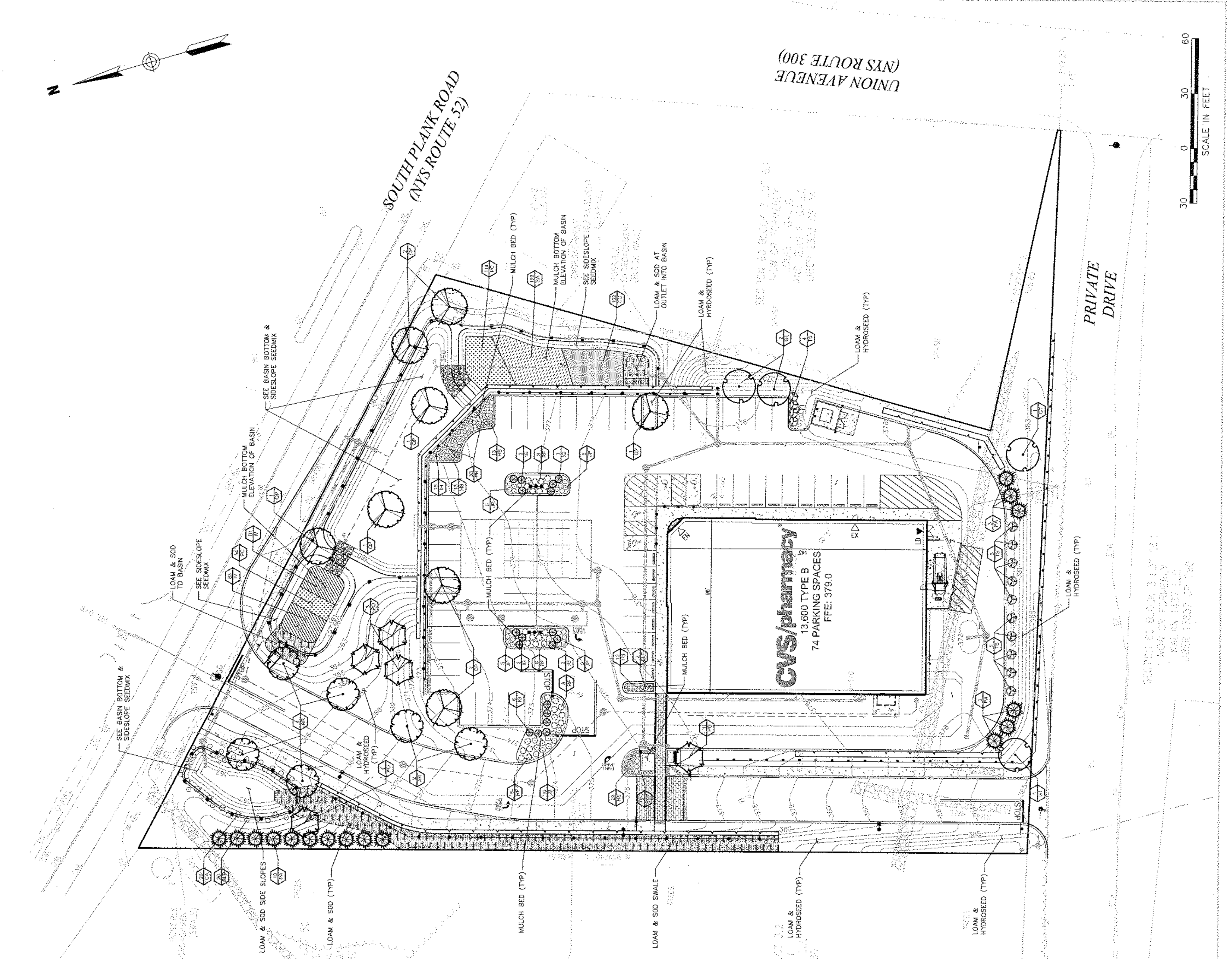
ENGINEER: Whb logo and address: 100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300

CONSULTANT: DEVELOPER: T.M. CROWLEY & ASSOCIATES 771 CROWLEY & ASSOCIATES 14 BREAKNECK HILL ROAD SUITE 101 LINCOLN RHODE ISLAND 02865 TEL (401) 721-6007 FAX (401) 721-6011

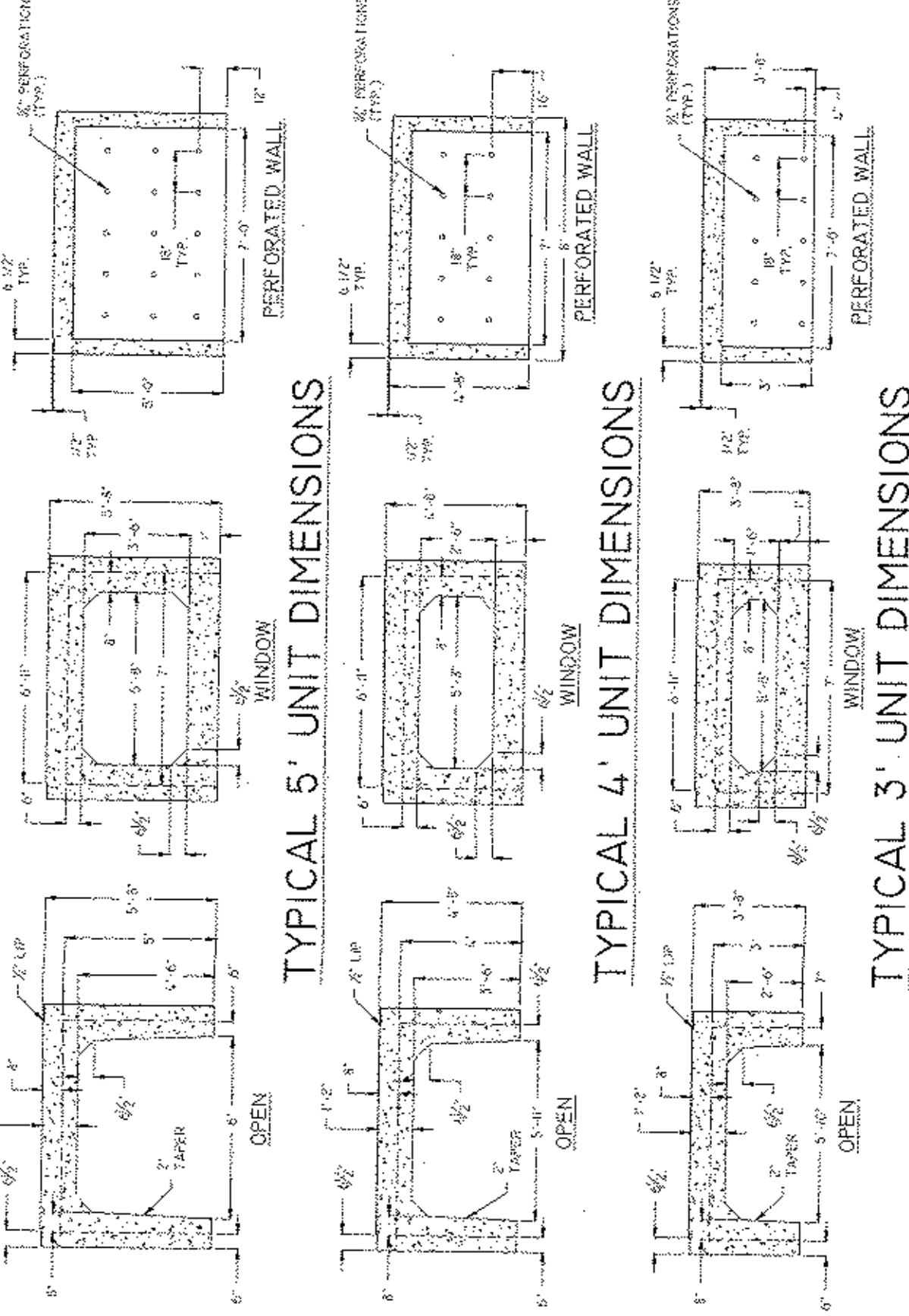
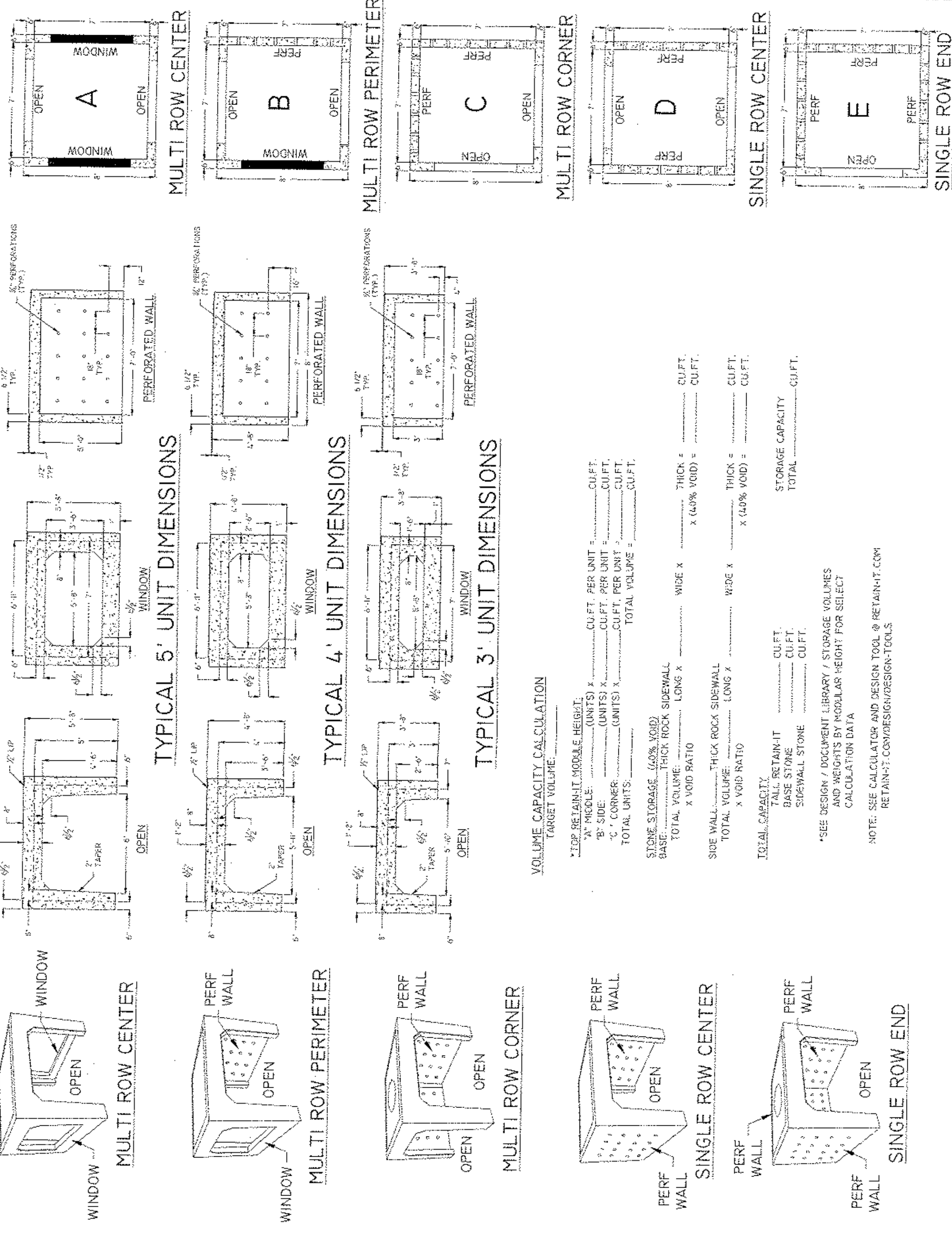
SEAL: STATE OF NEW YORK PROFESSIONAL ENGINEER SEAL

REVISIONS: PROJECT MANAGER: PNO PLANNING ENGINEER: ATRK / ABP REVIEWED BY: MRC DATE: October 11, 2015 JOB NUMBER: 41847.44 TITLE: Planting Plan SHEET NUMBER: L-1

NOT ISSUED FOR CONSTRUCTION 07-31887-4-EC-CLD.DWG



SYSTEM EXAMPLES



ASTM SPECIFICATIONS:
 1. CONCRETE - 5,000 PSI, 28 DAYS
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44

ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT IT BEING APPROVED BY THE ENGINEER SHALL BE VOID.



**STORM WATER MANAGEMENT
 DETENTION / RETENTION AND INFILTRATION SYSTEM
 SINGLE SYSTEM**

**AUTOCAD
 TYPICAL
 DETAILS**

Project: _____
 Date: 5/2/14
 Scale: N.T.S.
1 OF 3

CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU

STORE NUMBER: **10688**
 SOUTH PLANK ROAD (RT 52) &
 TOWN AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: **84094**

ENGINEER:

 100 Great Meadow Road
 Suite 200
 Weathersfield, CT 06109
 860.807.4300

CONSULTANT:

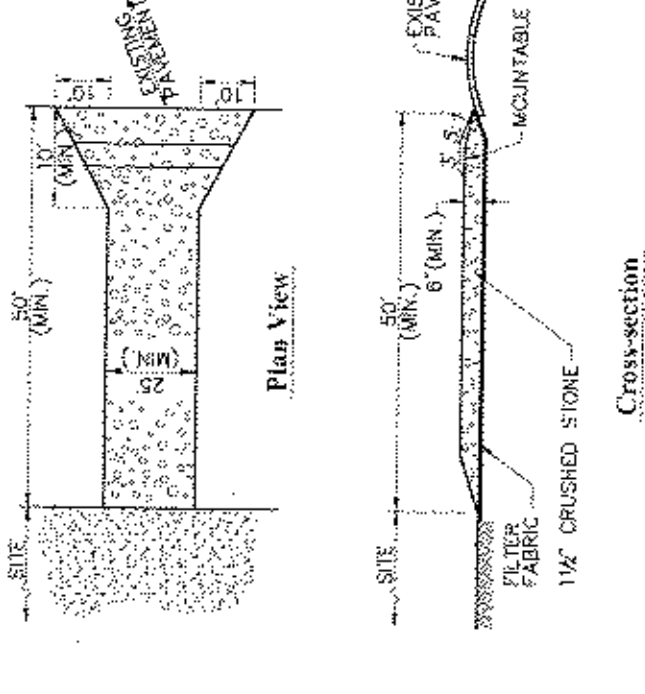
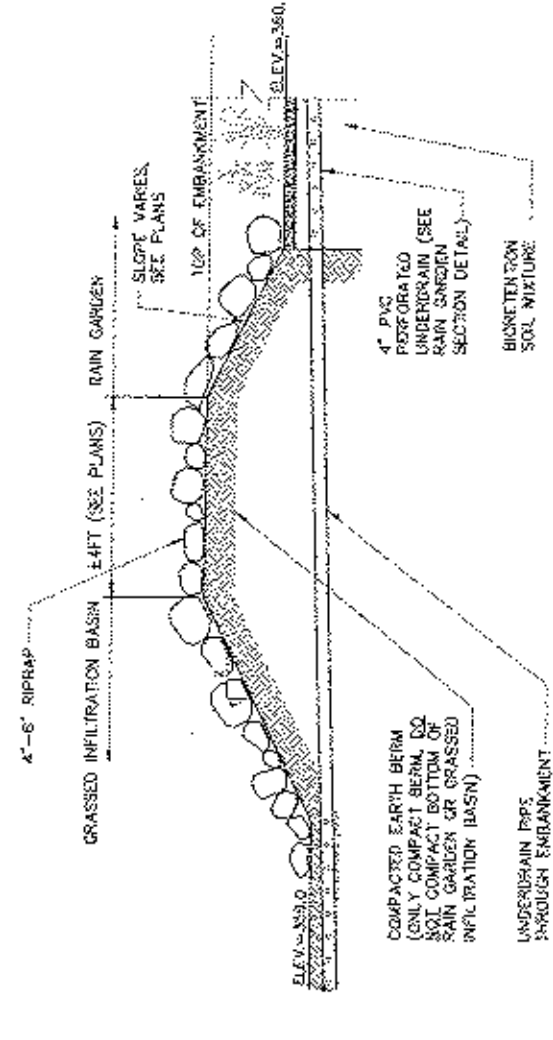
DEVELOPER:
 T.M.
CROWLEY & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-6007
 FAX (401) 721-6011

SEAL:

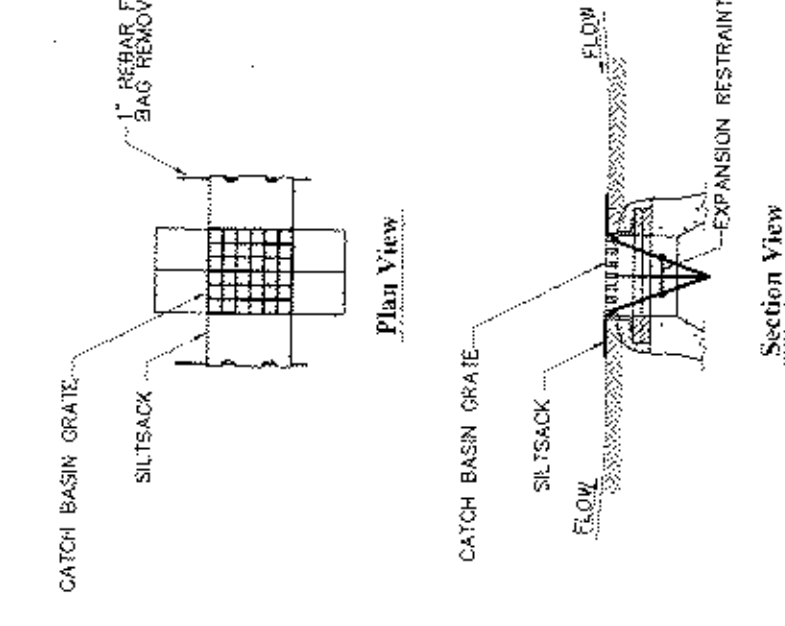
REVISIONS:

PROJECT MANAGER:	PNO
PLANNING ENGINEER:	ARK / AEF
REVIEWED BY:	MRC
DATE:	October 19, 2015
JOB NUMBER:	41847.44
TITLE:	

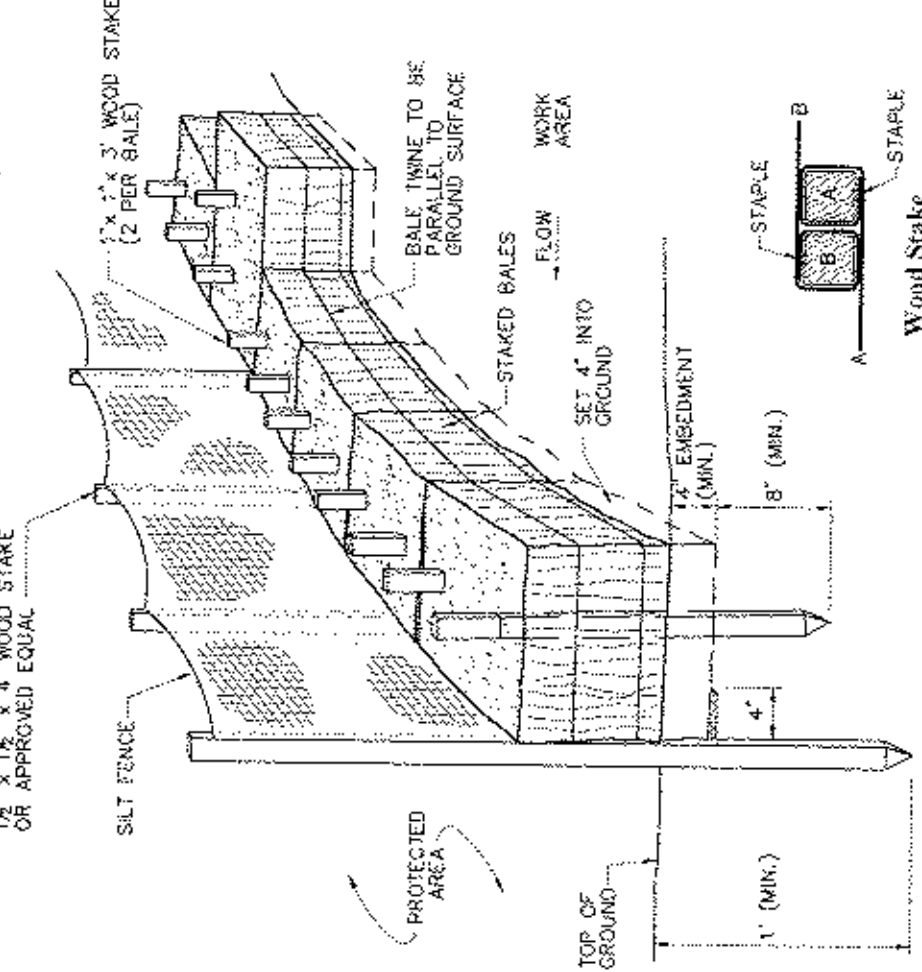
Site Details 5
 SHEET NUMBER: **C-10**
 COMMENTS: NOT ISSUED FOR CONSTRUCTION



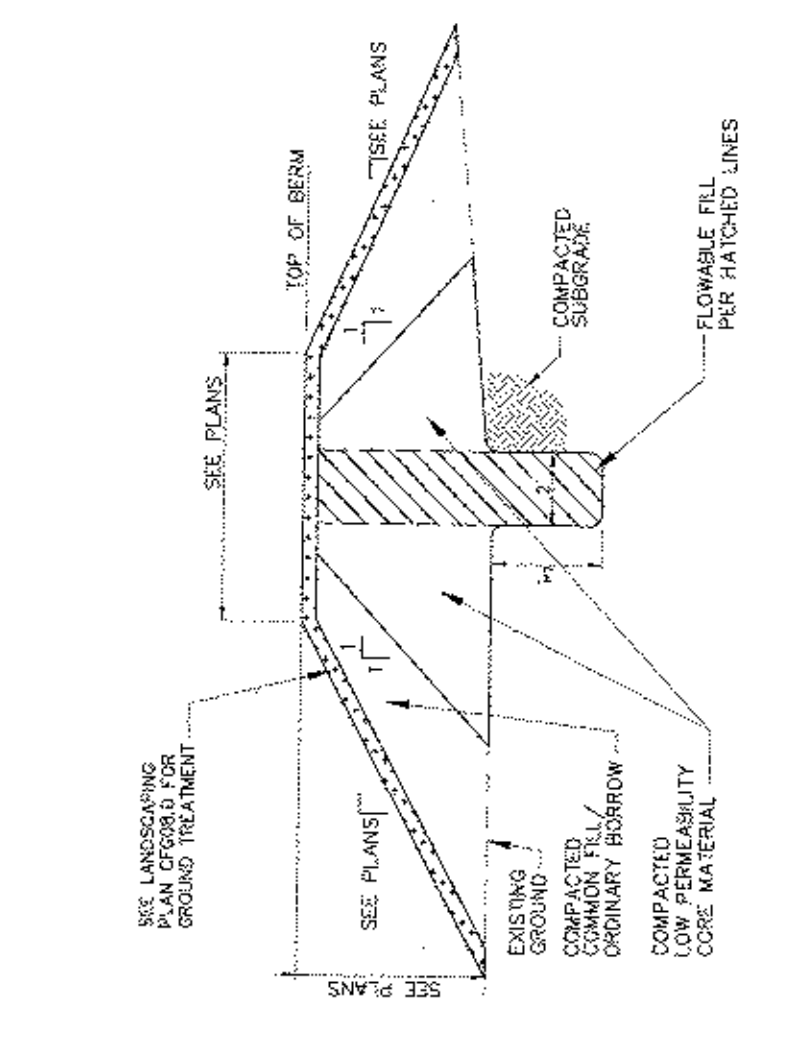
NOTES:
 1. OVERLAP WITH ADJACENT UNIT FIVE (5) FEET MINIMUM, BUT NOT LESS THAN 18" AT POINTS WHERE INGRESS OF EGGS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ADDITIONAL STONE AS CONDITIONS DEMAND SHALL BE INSTALLED TO MAINTAIN PROPER TRAP SEAM. ALL SEDIMENT SHALL BE TRAPPED AND TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.



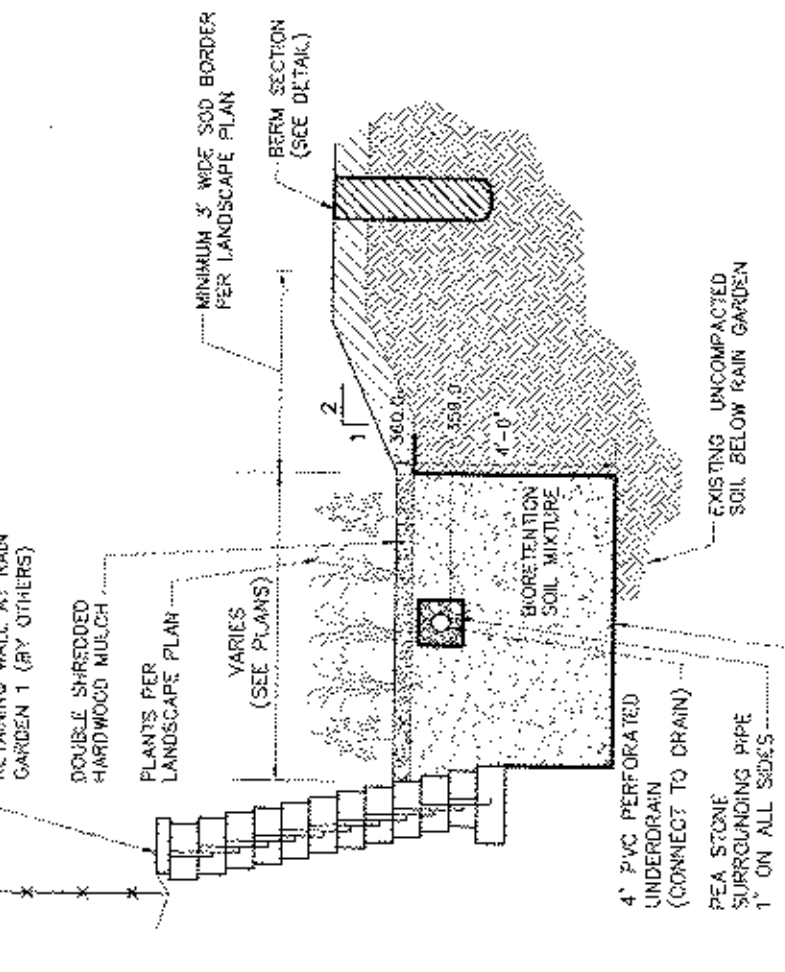
NOTES:
 1. INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS. A 1/2" x 1/2" x 1/2" SILT SACK SHALL BE PLACED AND BALE RALES BEING REMOVED.
 2. GRADE TO BE PLACED OVER SILT SACK.
 3. SILT SACKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORMWATER HAS BEEN REMOVED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.



NOTES:
 1. PLACE ONE BALE PERPENDICULAR ALONG BALE BARRIER (100' O.C.).



NOTES:
 1. THE FILL DESIGNATED FOR THE CORE OF DETENTION BASIN EMBANKMENT SHALL BE LOW PERMEABILITY FILL.
 2. A 10% PERMEABILITY RATE OF NO MORE THAN 1,000 CM/SEC.
 3. LOW PERMEABILITY FILL SHALL BE PLACED IN A MANNER TO PROVIDE THE FULL LENGTH OF THE MATERIALS AND FLOWABLE FILL IS CONTIGUOUS FOR THE ENTIRE LENGTH OF THE BERM.
 4. THE BERM SECTION IS SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.



NOTES:
 1. CONNECT TO DRAIN PER PLAN.
 2. SIDE SLOPES SHALL BE PER PLAN.

CVS
pharmacy
13,600 SF - TYPE B
SIDE DRIVE-THRU

STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) & UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEI FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:
 vhb
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

CONSULTANT:

DEVELOPER:
T. M.
CROWLEY & ASSOCIATES
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN RHODE ISLAND 02865
TEL (401) 721-6007
FAX (401) 721-6001

SEAL:

REVISIONS:

PROJECT MANAGER: PNO
PLANNING ENGINEER: ATK / AEF
REVIEWED BY: MEG
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE: Site Details 4

SHEET NUMBER: C-9

CONTENTS: NOT ISSUED FOR CONSTRUCTION
10/19/15 9/79 REV 13-171
Source: WB

NOTES:

- MANHOLE AND COVER SHALL BE CAST IN PLACE CONCRETE WITH 4" MINIMUM COVER AT ALL MANHOLES IN FEET OF COVER. ALL MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH 4" MINIMUM COVER AT ALL MANHOLES IN FEET OF COVER.
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CENTRAL HUDSON GAS & ELECTRIC CORP.
THREE PHASE PAD SPECIFICATIONS
DATE: 7-1-10
SCALE: 1/8" = 1'-0"
DRAWN: [Name]
CHECKED: [Name]
APP.:

NOTES:

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CENTRAL HUDSON GAS & ELECTRIC CORP.
THREE PHASE PAD SPECIFICATIONS
DATE: 7-1-10
SCALE: 1/8" = 1'-0"
DRAWN: [Name]
CHECKED: [Name]
APP.:

NOTES:

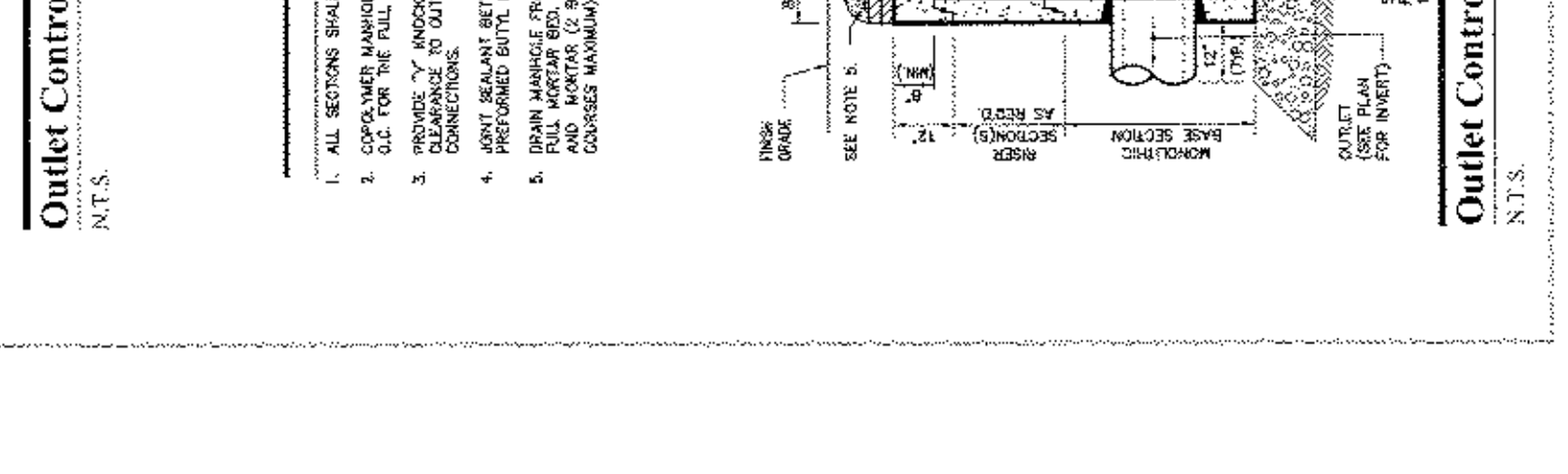
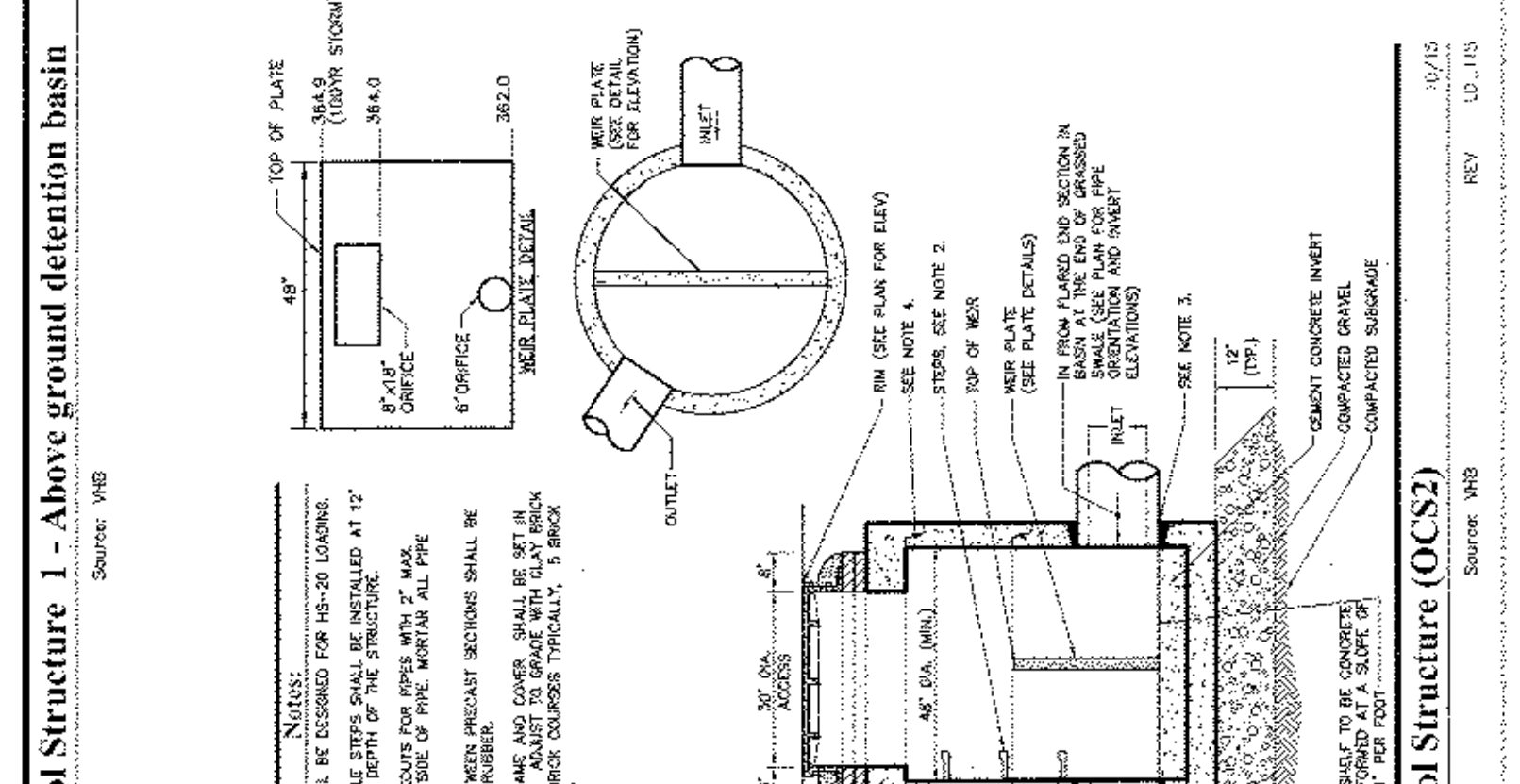
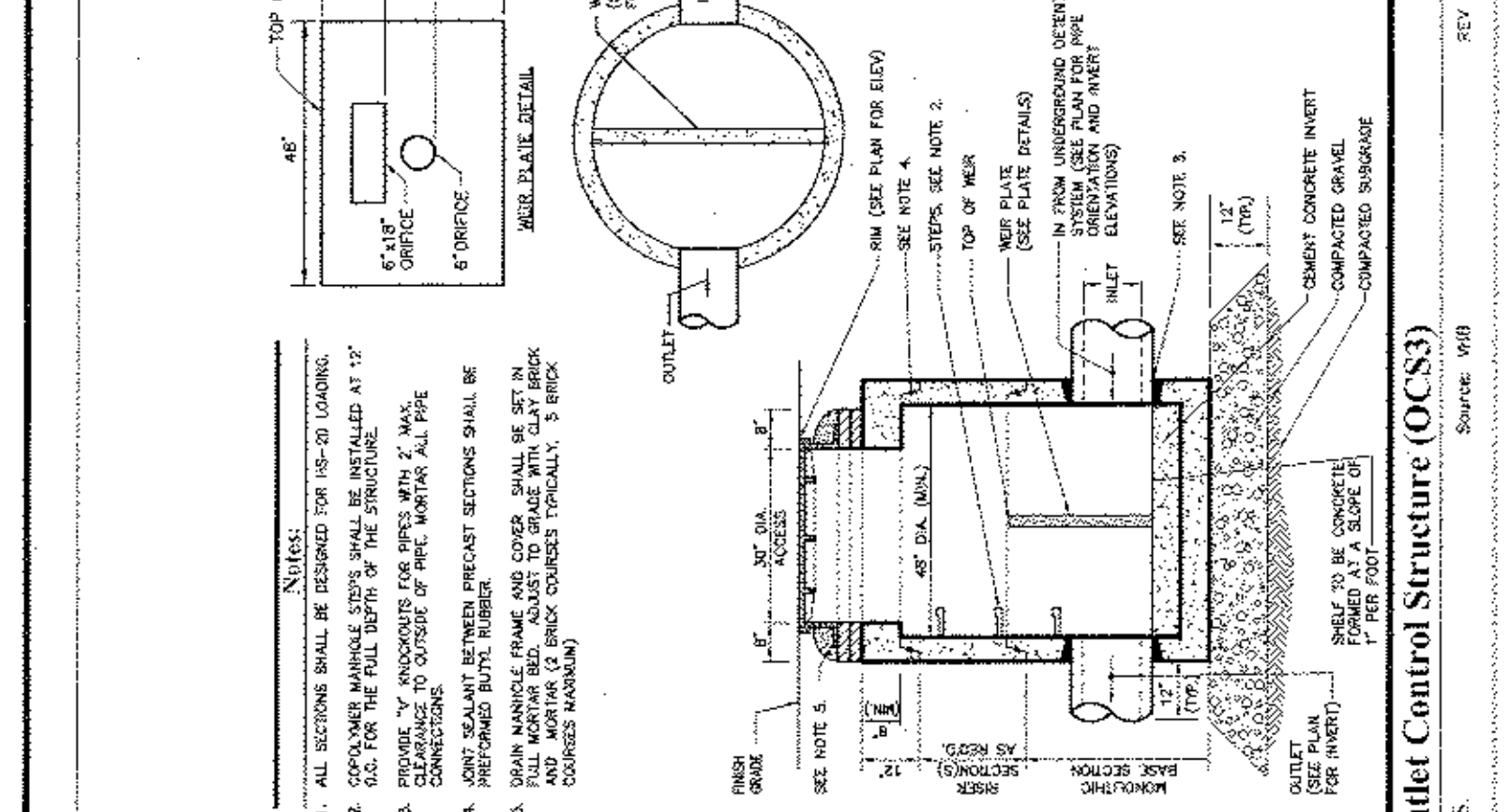
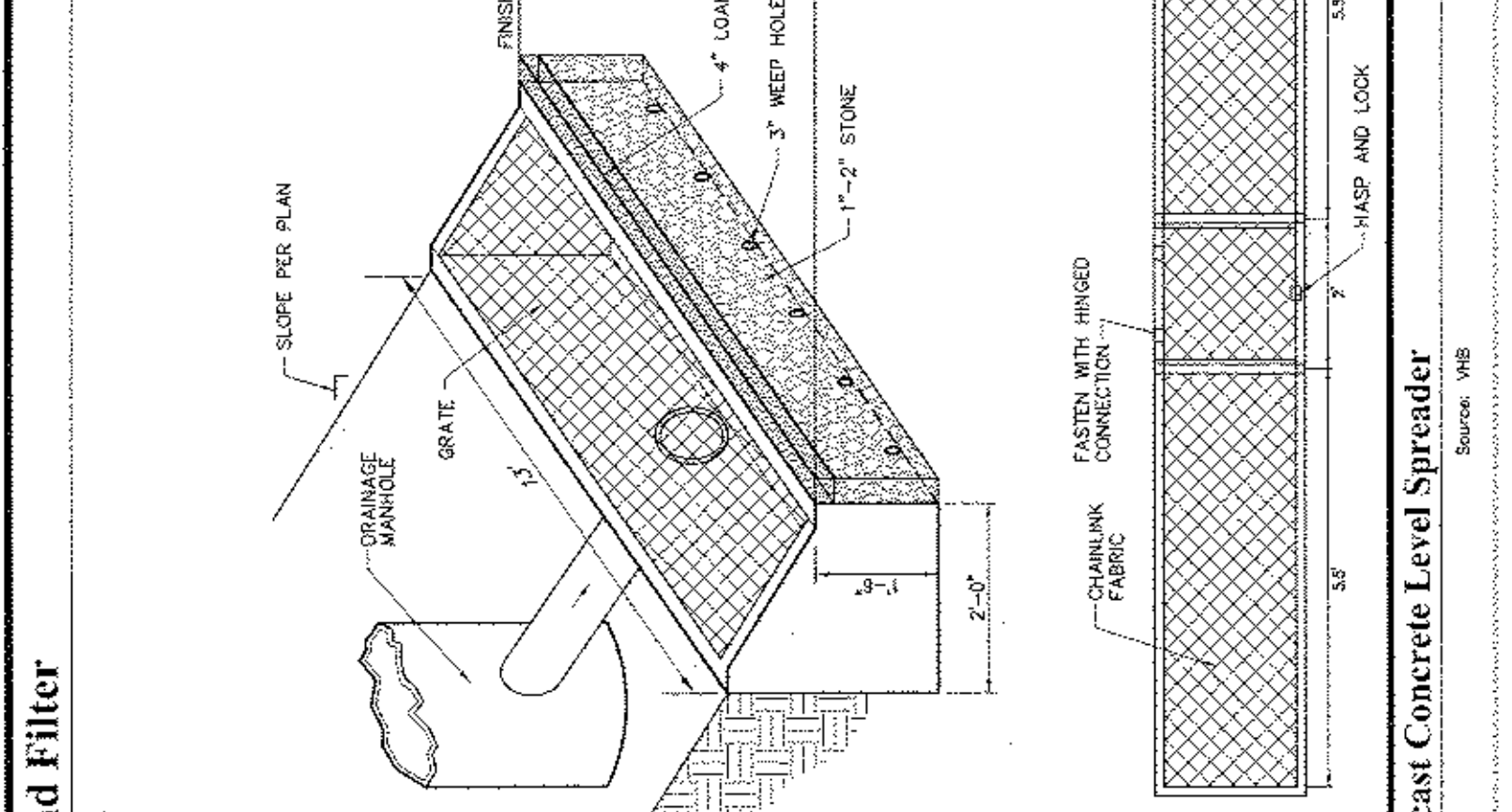
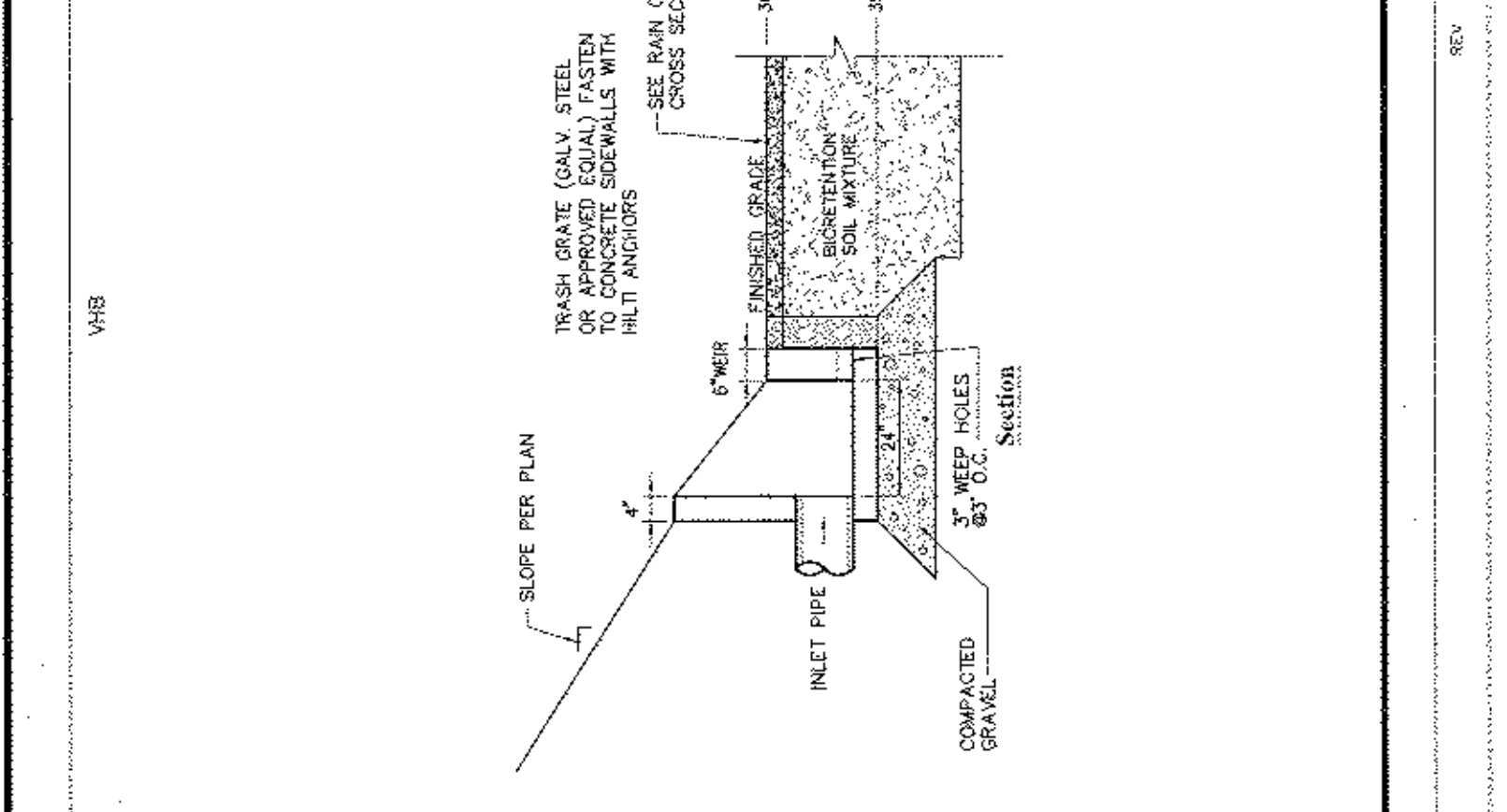
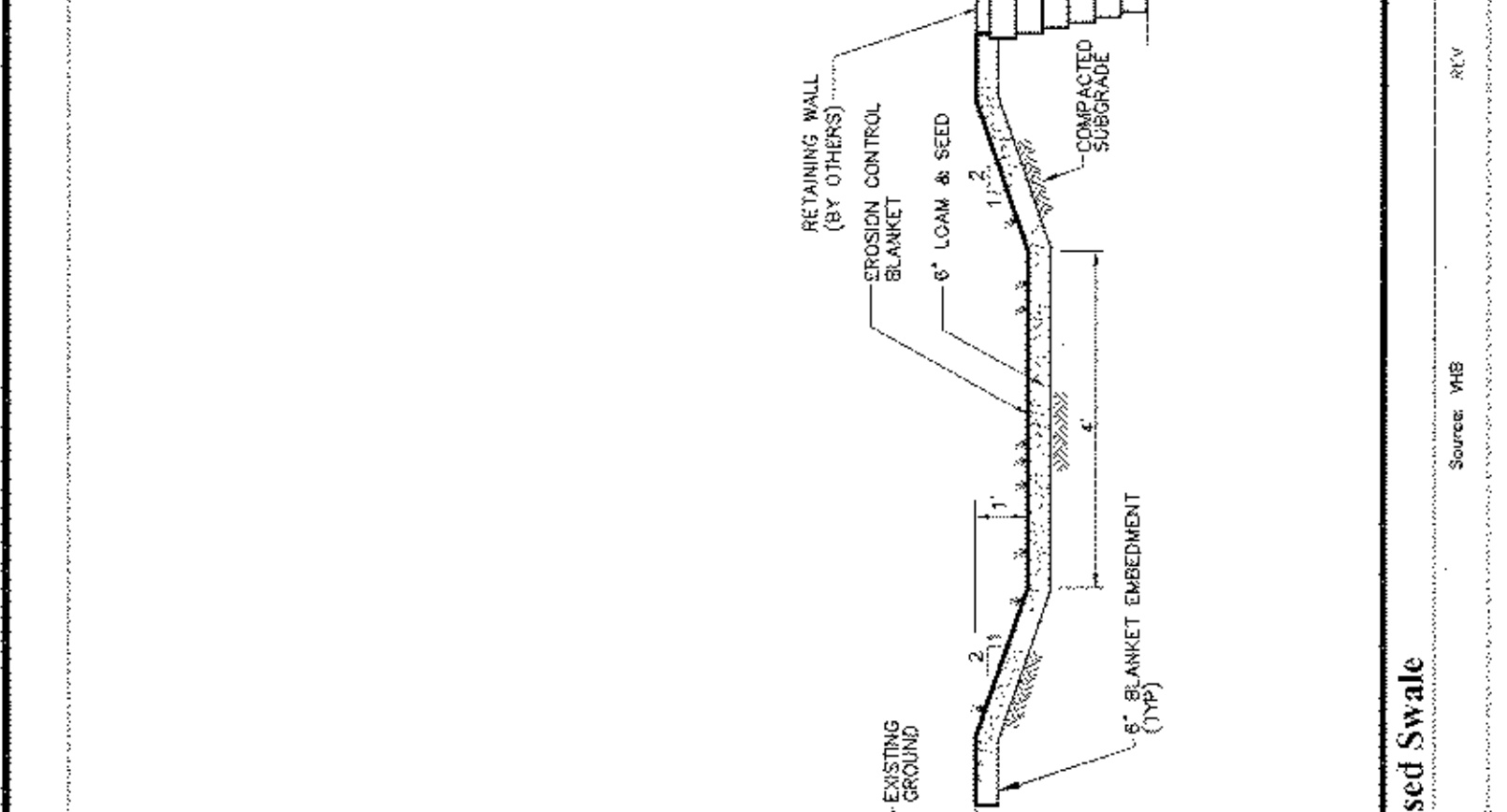
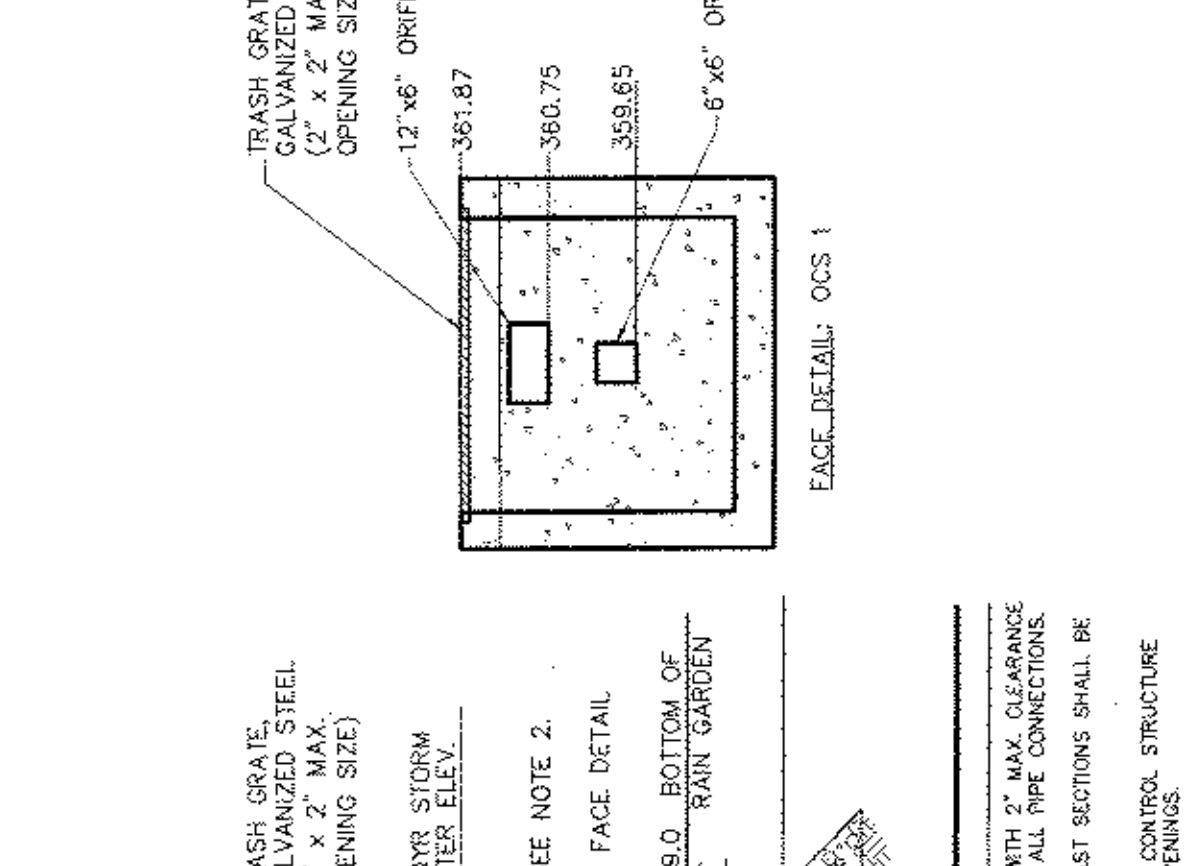
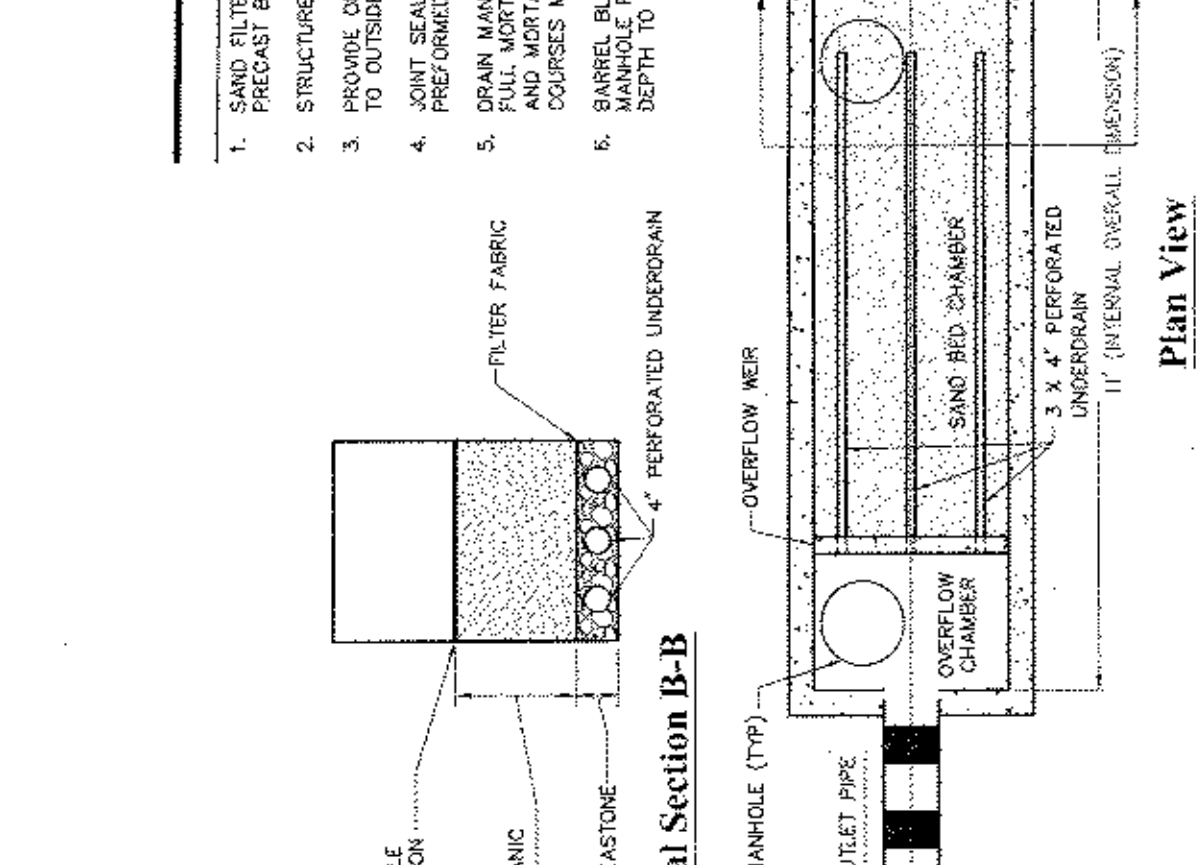
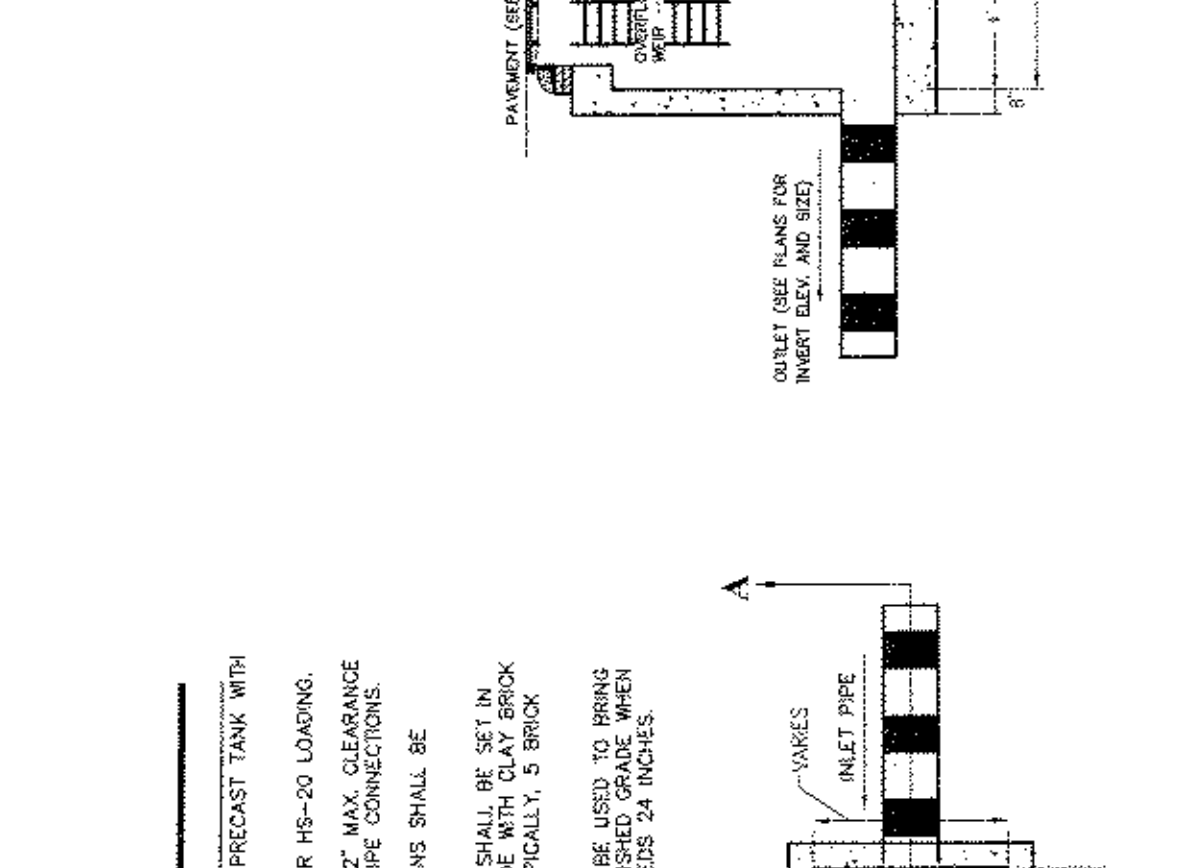
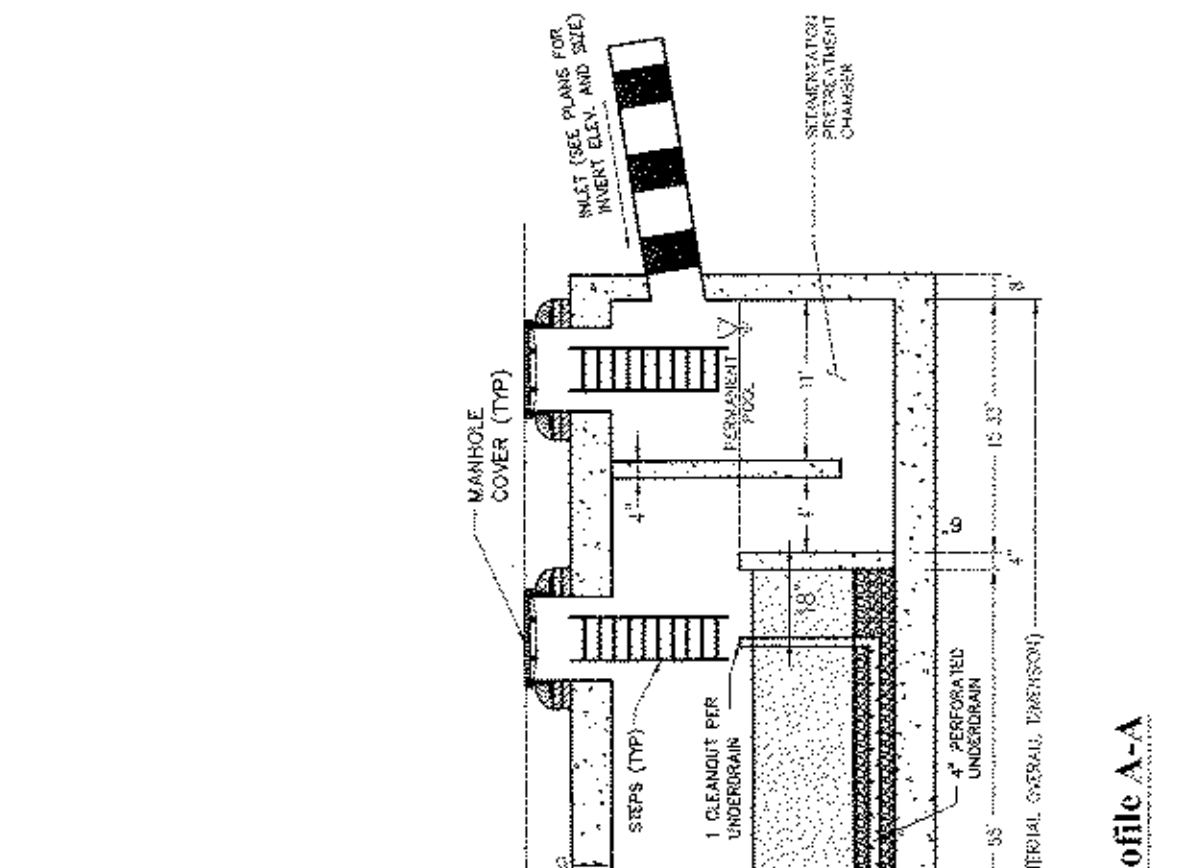
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CENTRAL HUDSON GAS & ELECTRIC CORP.
THREE PHASE PAD SPECIFICATIONS
DATE: 7-1-10
SCALE: 1/8" = 1'-0"
DRAWN: [Name]
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APP.:

NOTES:

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CENTRAL HUDSON GAS & ELECTRIC CORP.
THREE PHASE PAD SPECIFICATIONS
DATE: 7-1-10
SCALE: 1/8" = 1'-0"
DRAWN: [Name]
CHECKED: [Name]
APP.:



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13 600 SF - TYPE B
SIDE DRIVE-THRU

STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094



ENGINEER:
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

CONSULTANT:

DEVELOPER:
T.M.
CROWLEY
& ASSOCIATES

T.M. CROWLEY & ASSOCIATES
14 BREAUNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-6077
FAX (401) 721-6071

SEAL:



REVISIONS:

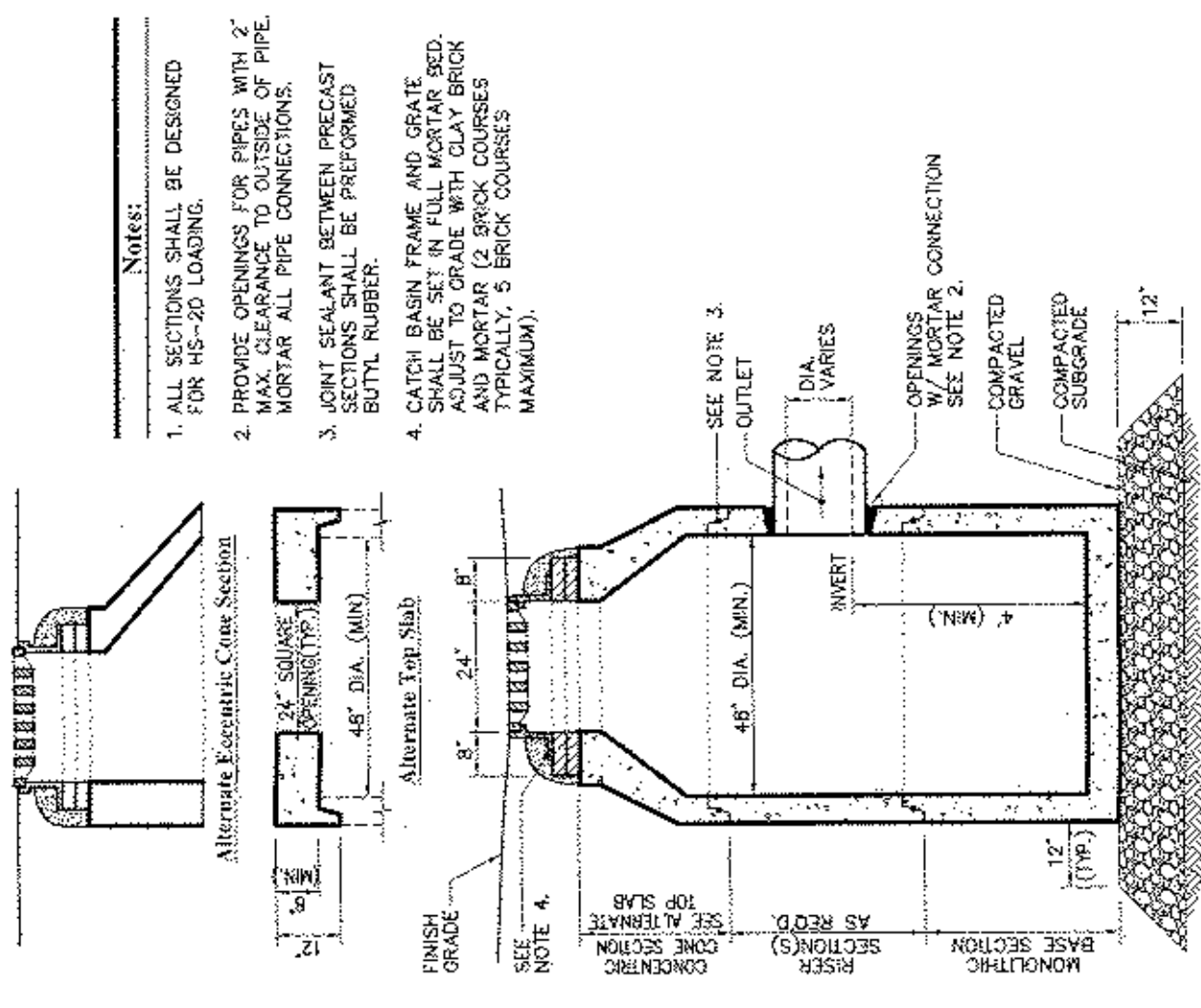
PROJECT MANAGER: PND
PLANNING ENGINEER: ATK / AEP
REVIEWED BY: MGC
DATE: October 14, 2015
JOB NUMBER: 4184744
TITLE:

Site Details 3

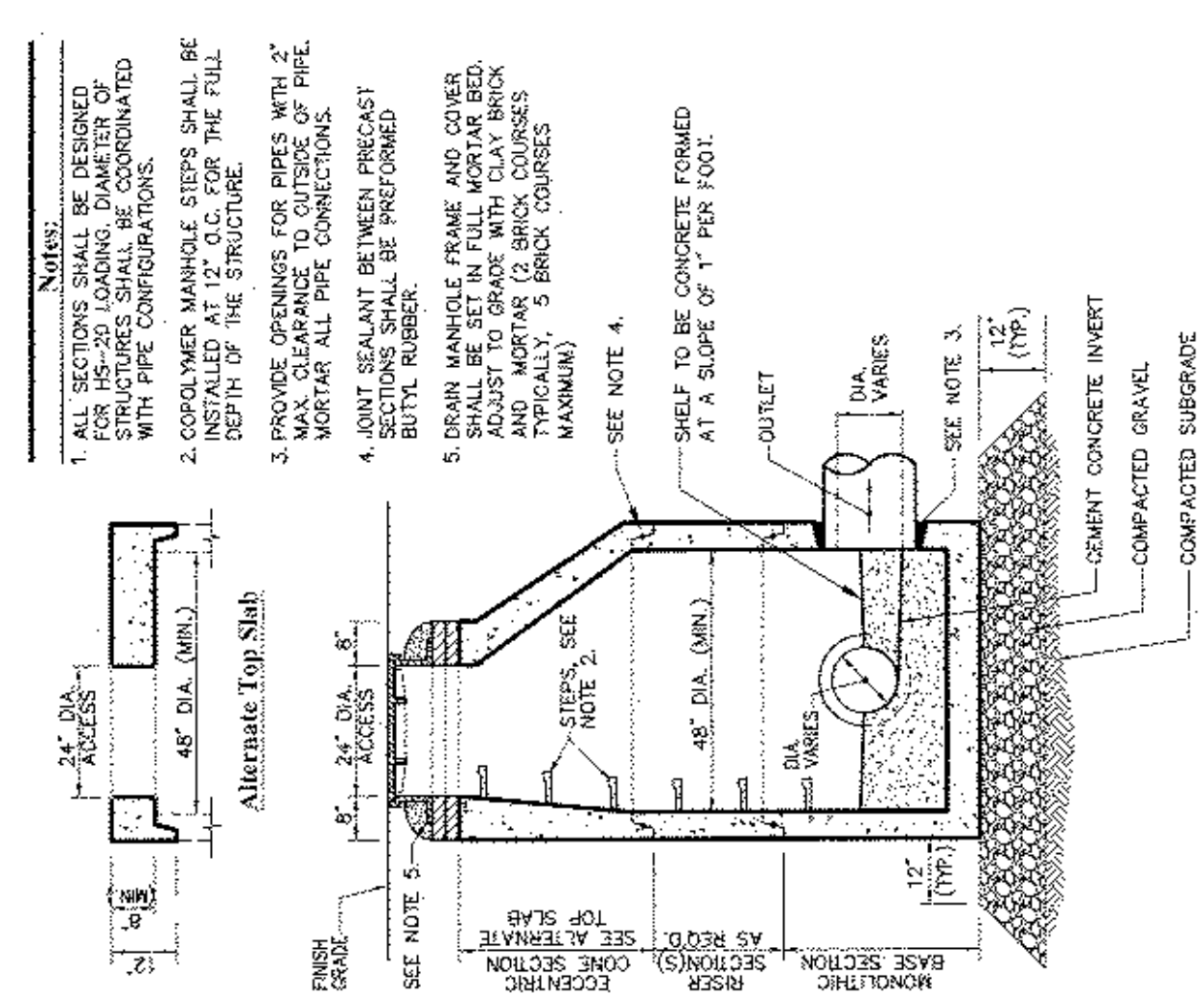
SHEET NUMBER:

C-8

COMMENTS: NOT ISSUED FOR CONSTRUCTION
DATE: 08-18-87 14:30:15 PM



Catch Basin (CB)
NT.S.
Source: vhb
6/08
10_200



Drain Manhole (DMH)
NT.S.
Source: vhb
4/17
10_115



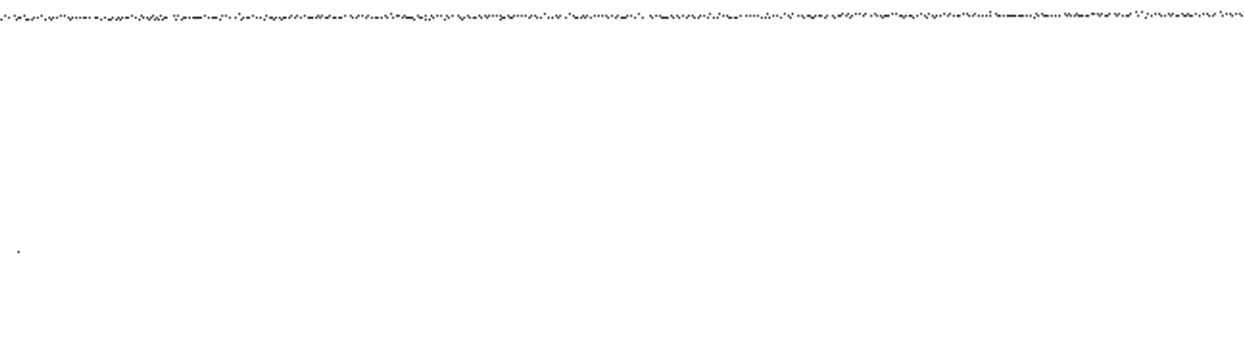
Sanitary Sewer Manhole (SMH)
NT.S.
Source: vhb
5/28
10_200



Utility Trench
NT.S.
Source: vhb
6/07
10_200



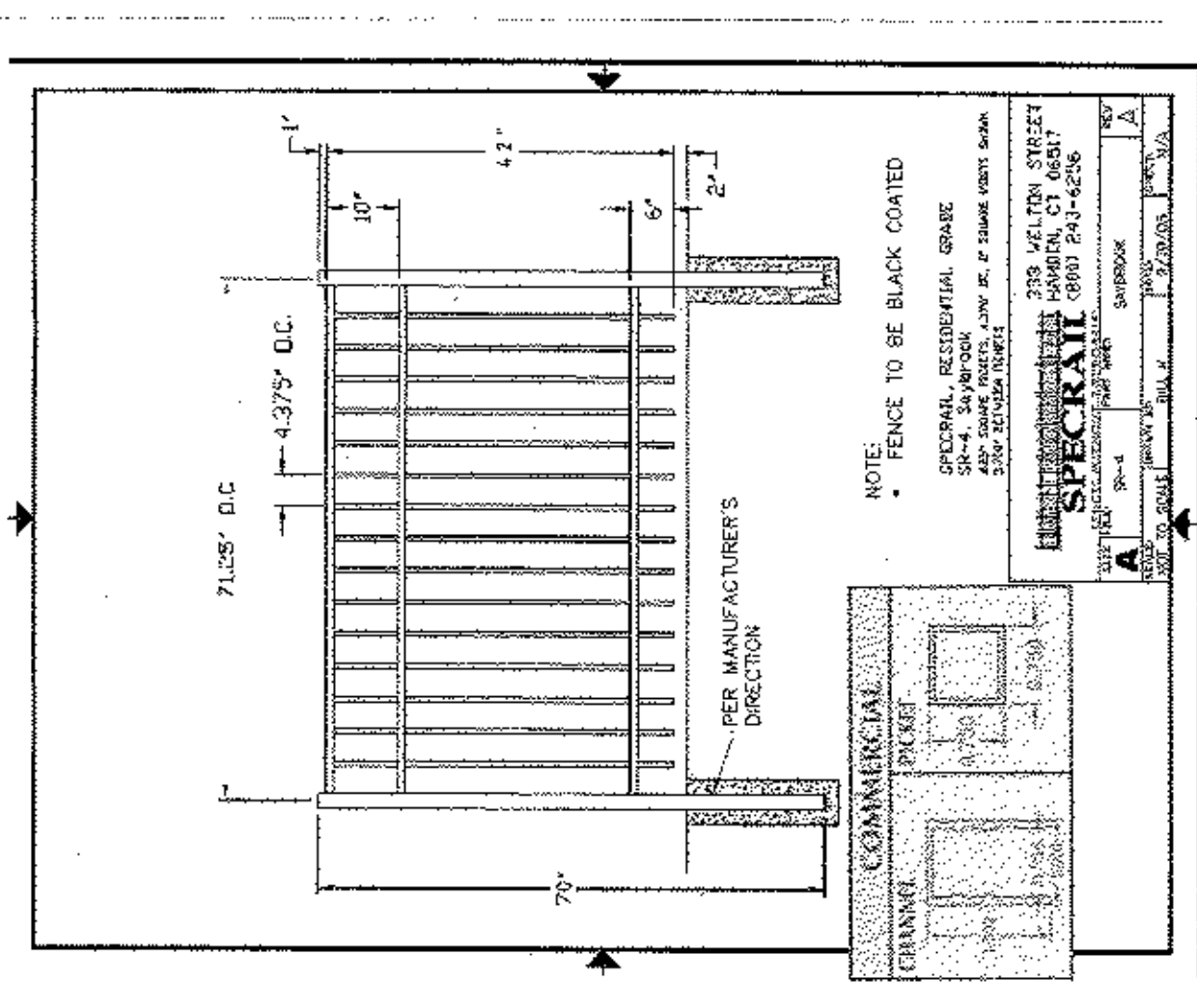
Foundation Drain
NT.S.
Source: vhb
6/08
10_200



Cleanout - Paved Area
NT.S.
Source: vhb
6/09
10_200



Cleanout - Landscaped Area
NT.S.
Source: vhb
6/09
10_200



4' Decorative Fence
NT.S.
Source: SPECIAL
11/08
10_200



Corporation/Curb Stop with Box
NT.S.
Source: vhb
6/09
10_256



Cleanout - Landscaped Area
NT.S.
Source: vhb
6/09
10_200

\\vbl\pcv\wetherse\rdh\418927\44\twd\1\plm\02_418417_44_01.dwg

CVS
pharmacy
13 600 SF - TYPE B
SIDE DRIVE-THRU
STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:
vhb
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

CONSULTANT:

DEVELOPER:
T.M.
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& ASSOCIATES
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

SEAL:



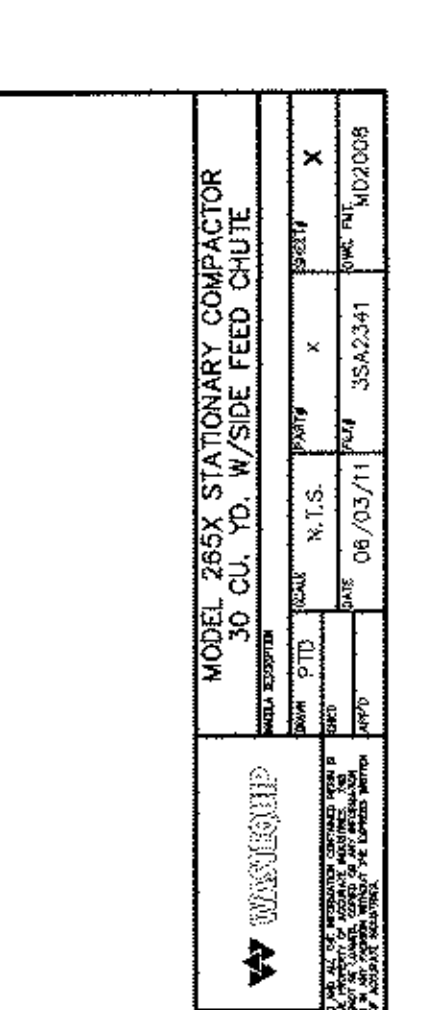
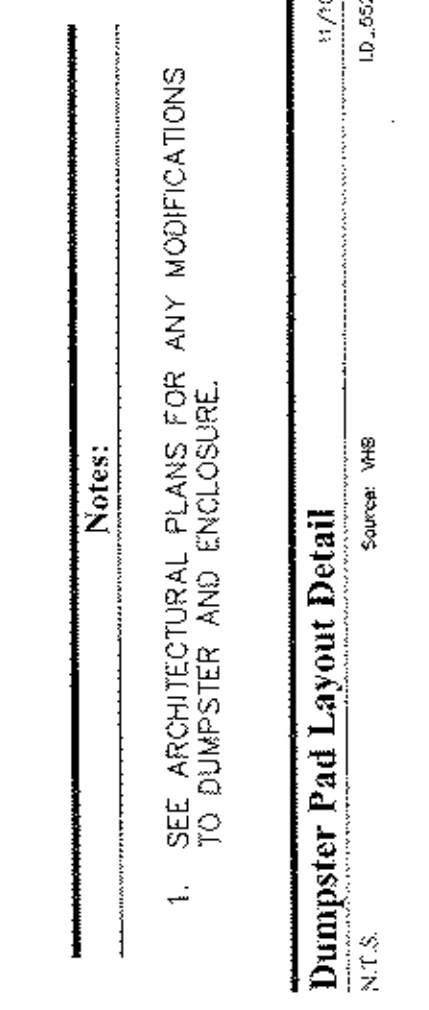
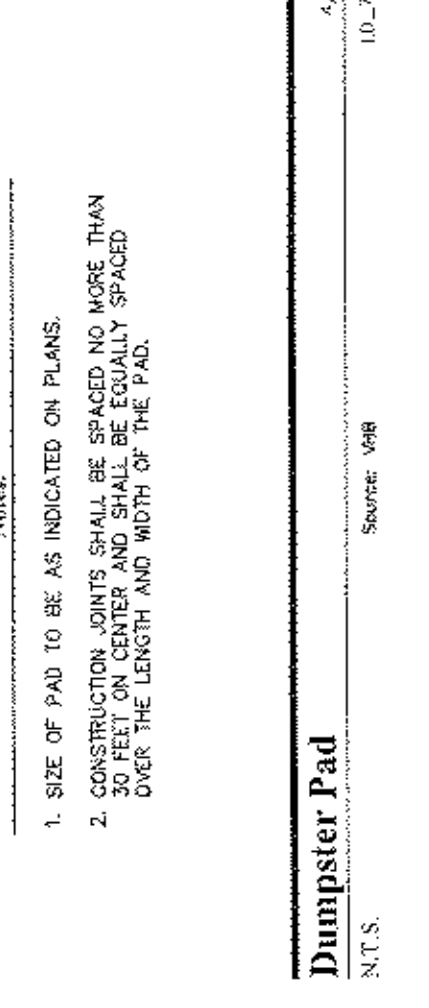
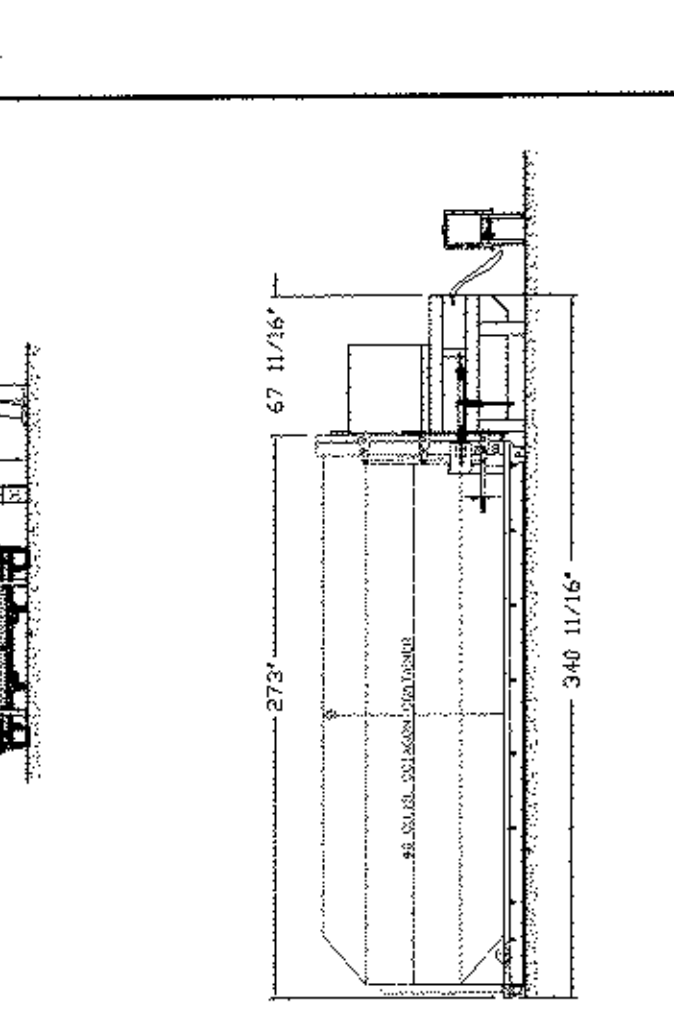
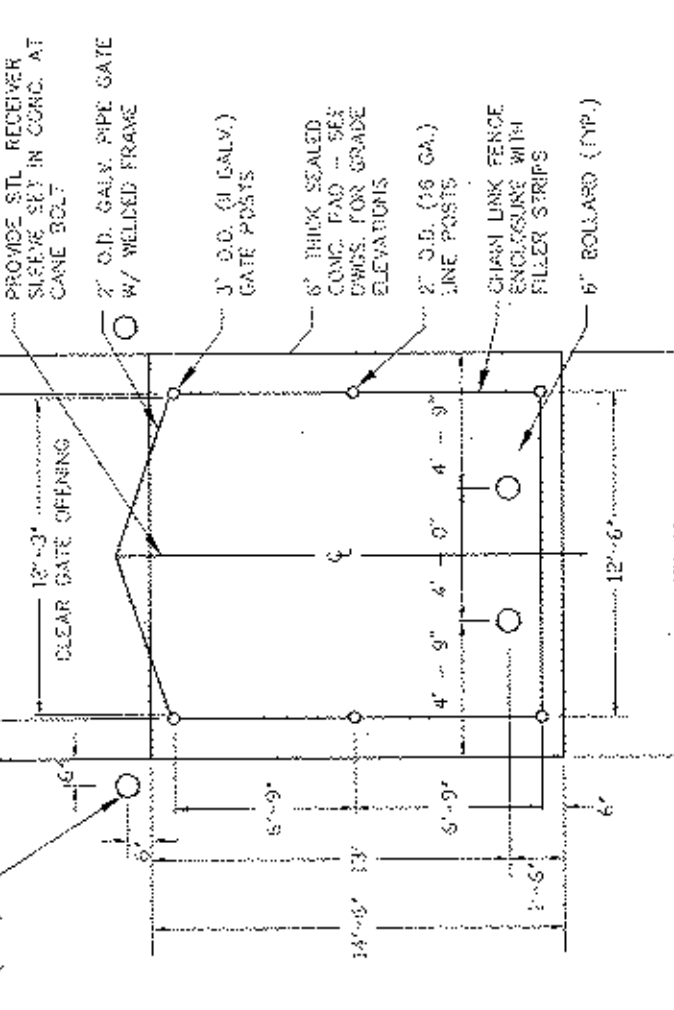
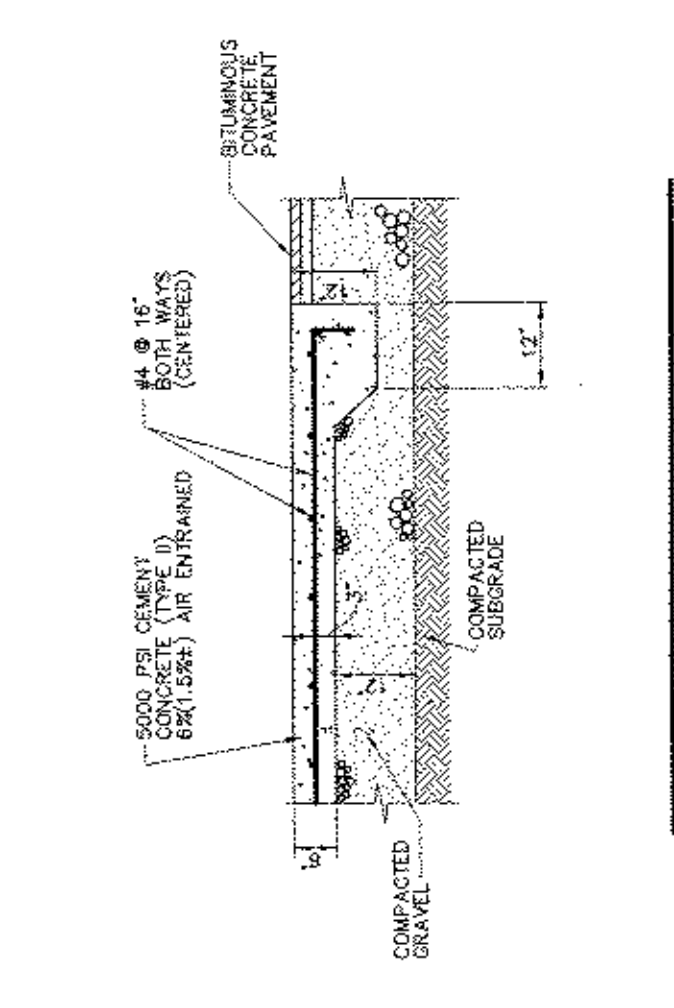
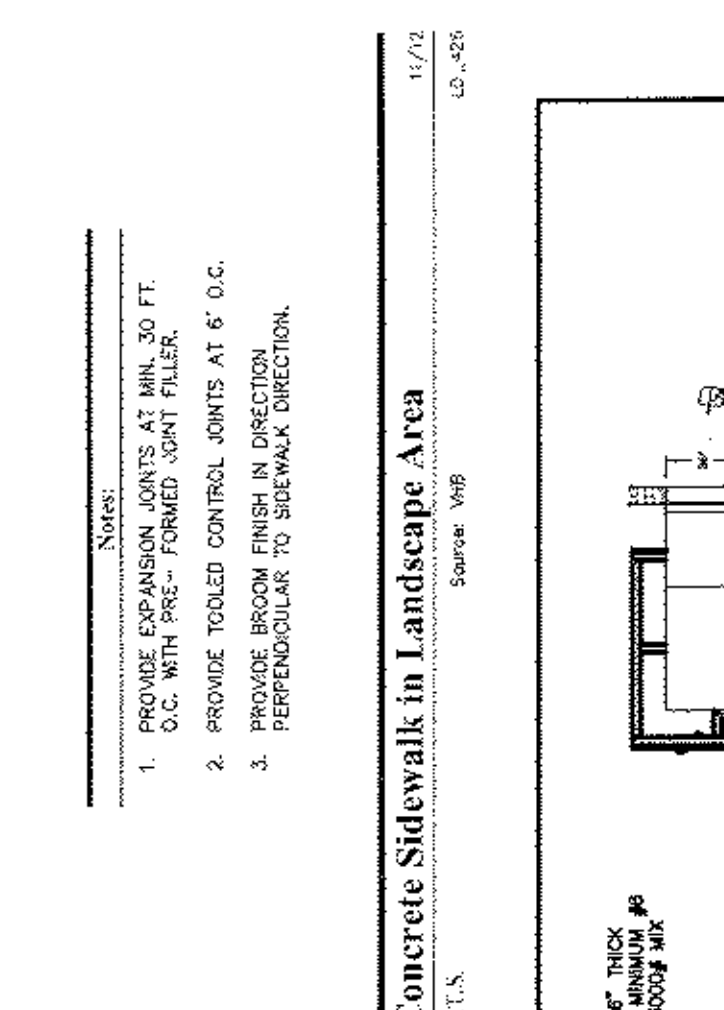
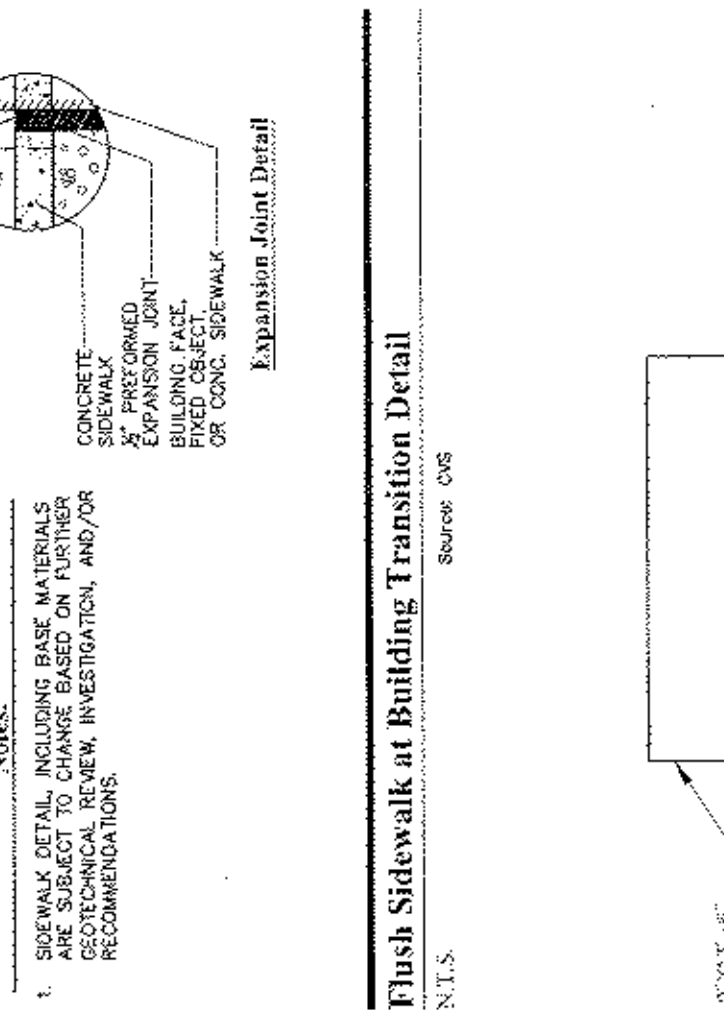
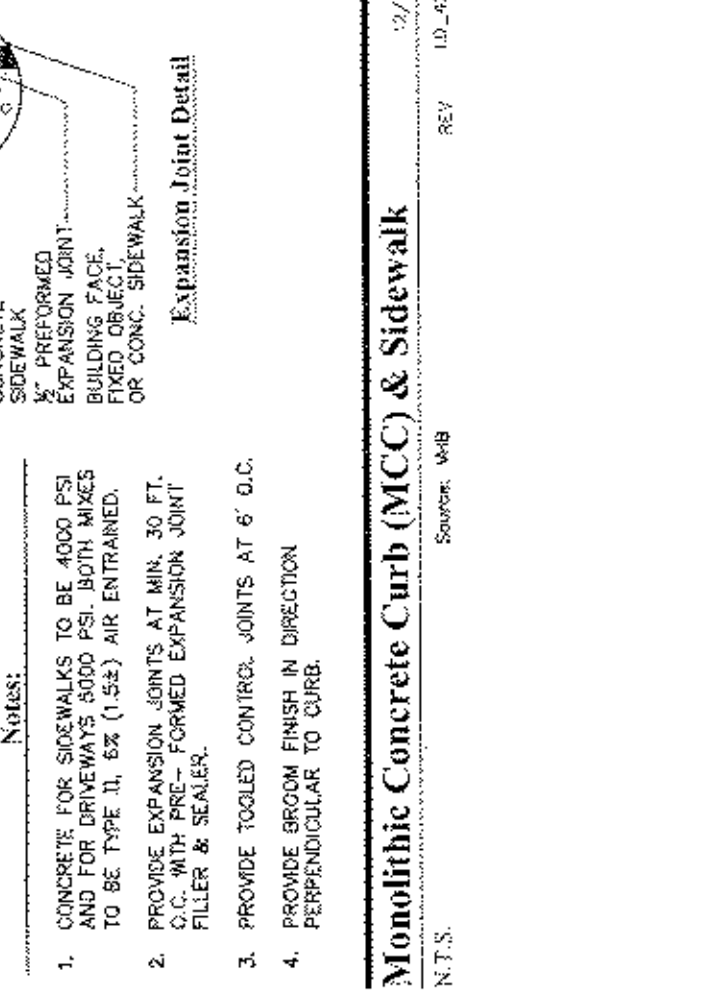
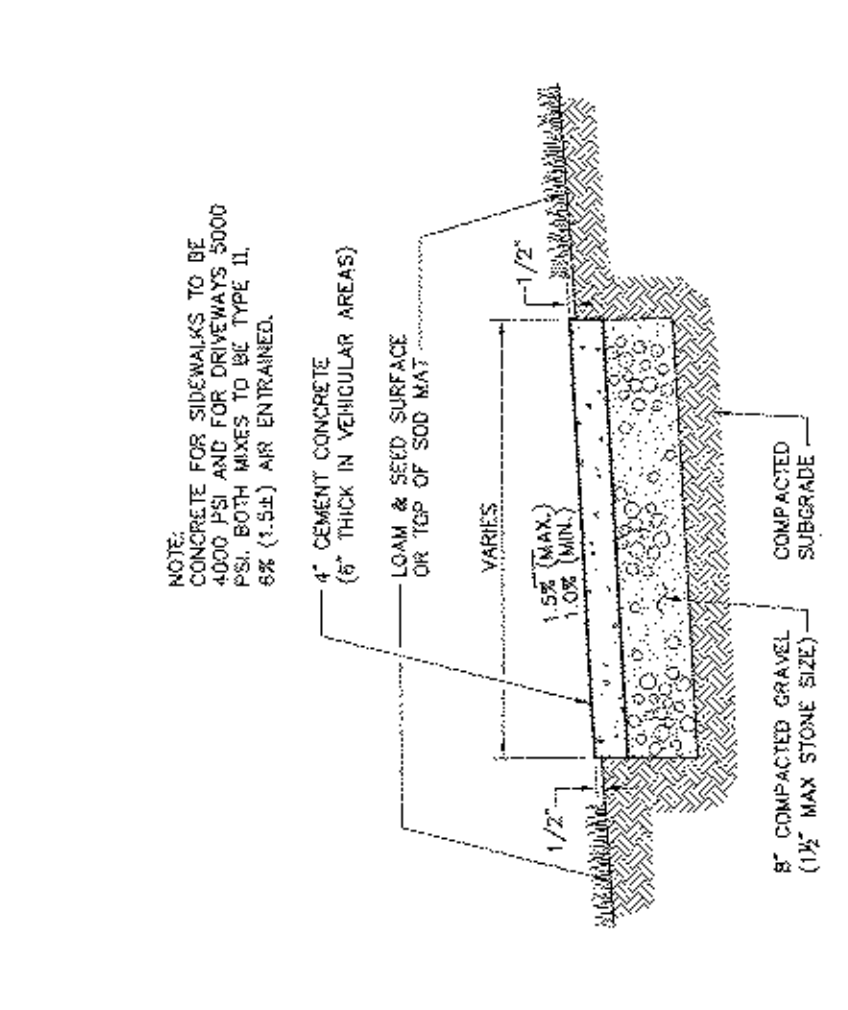
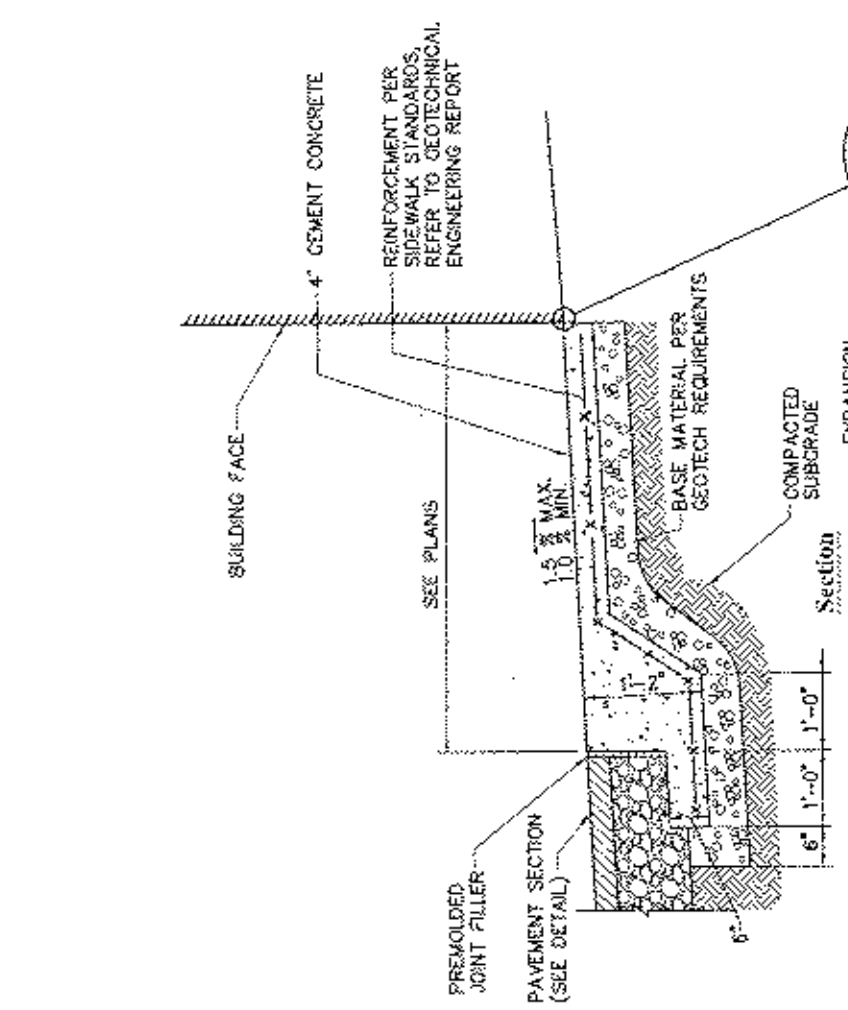
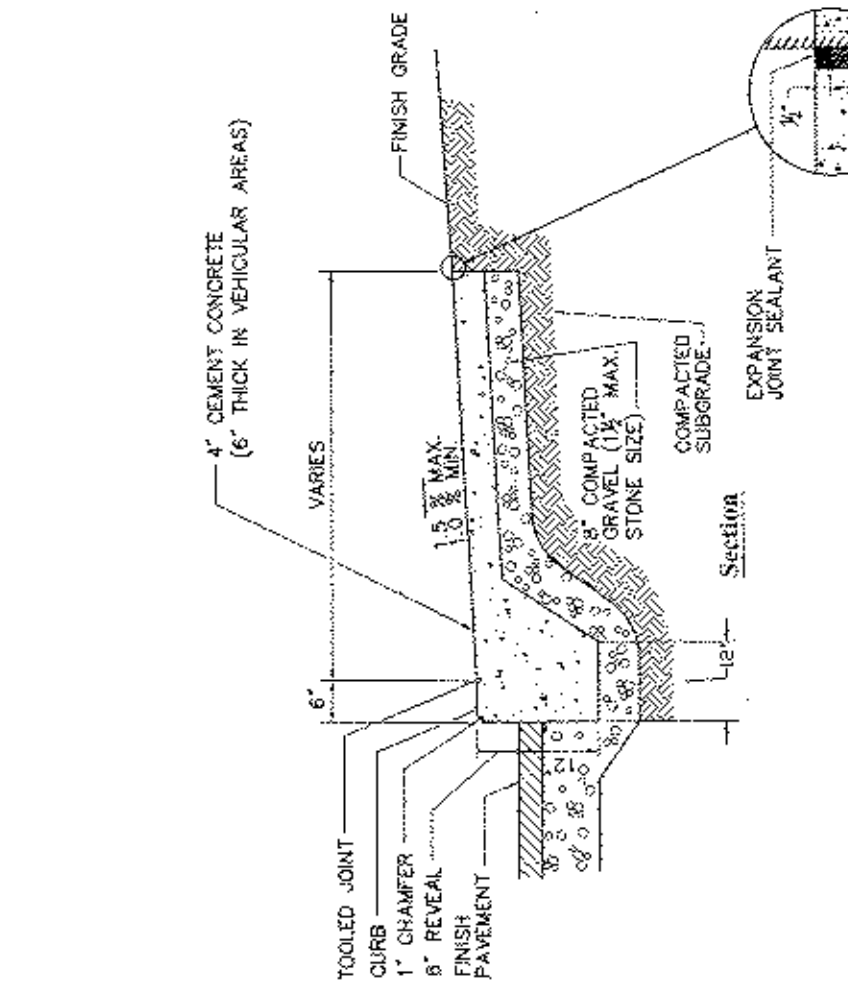
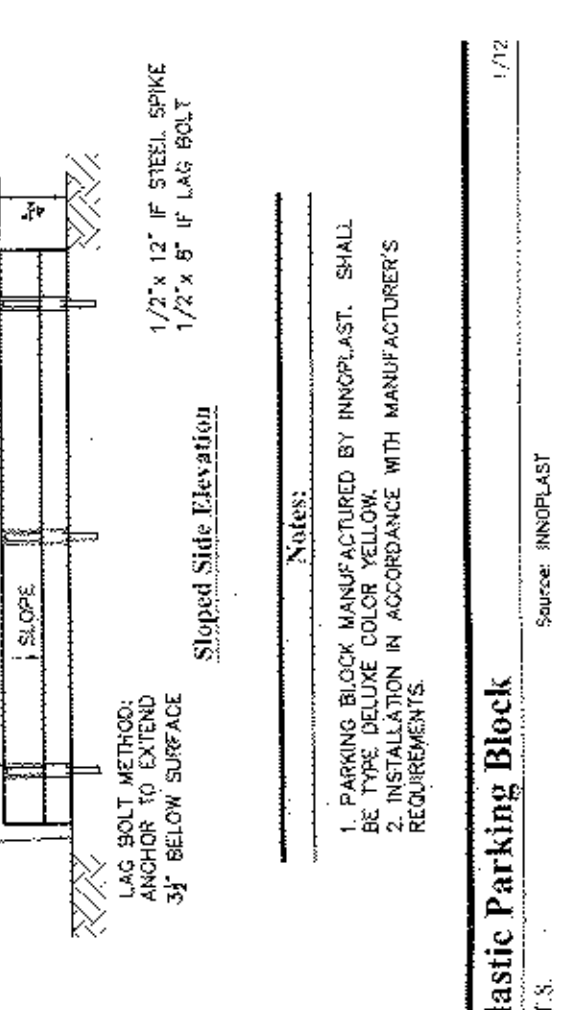
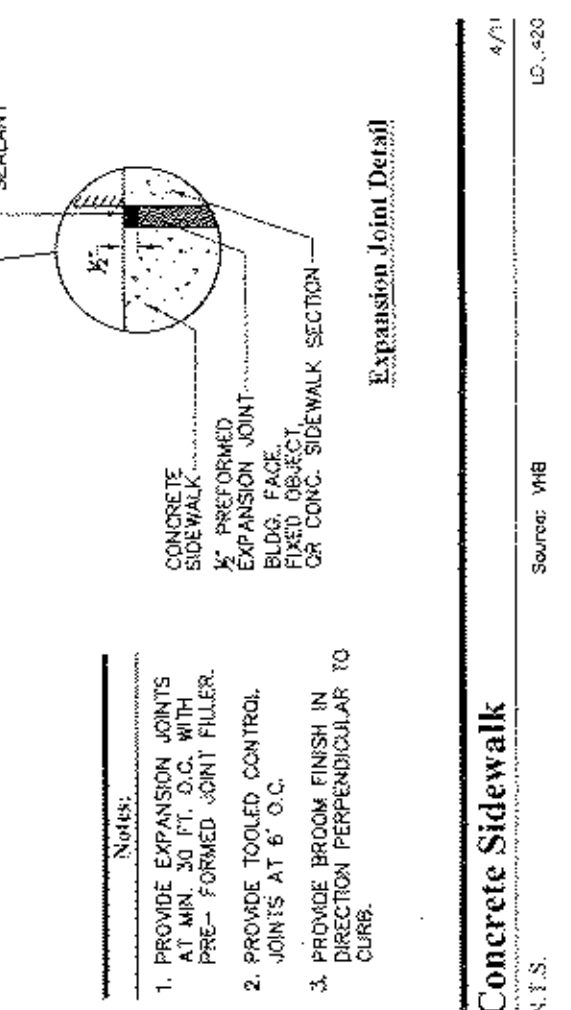
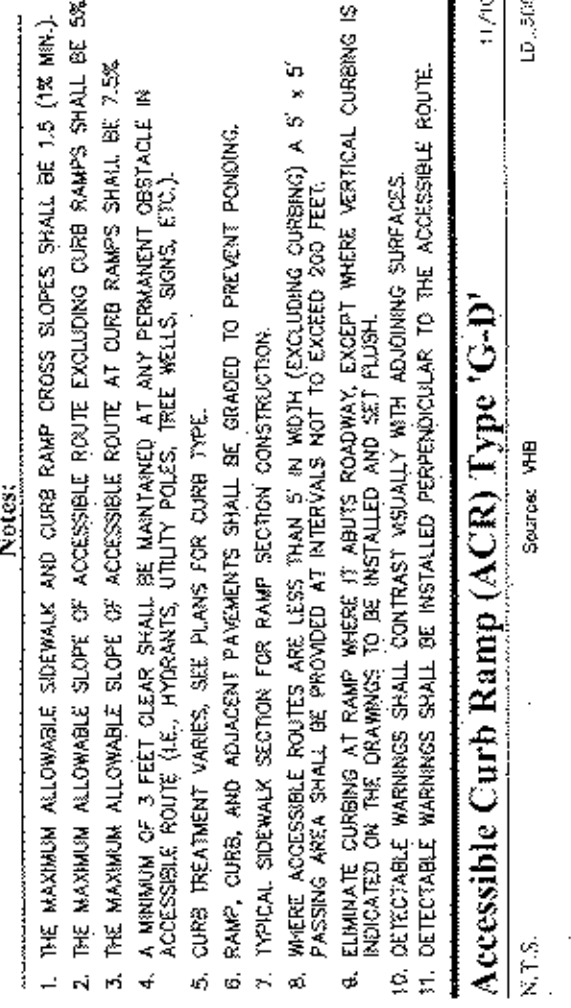
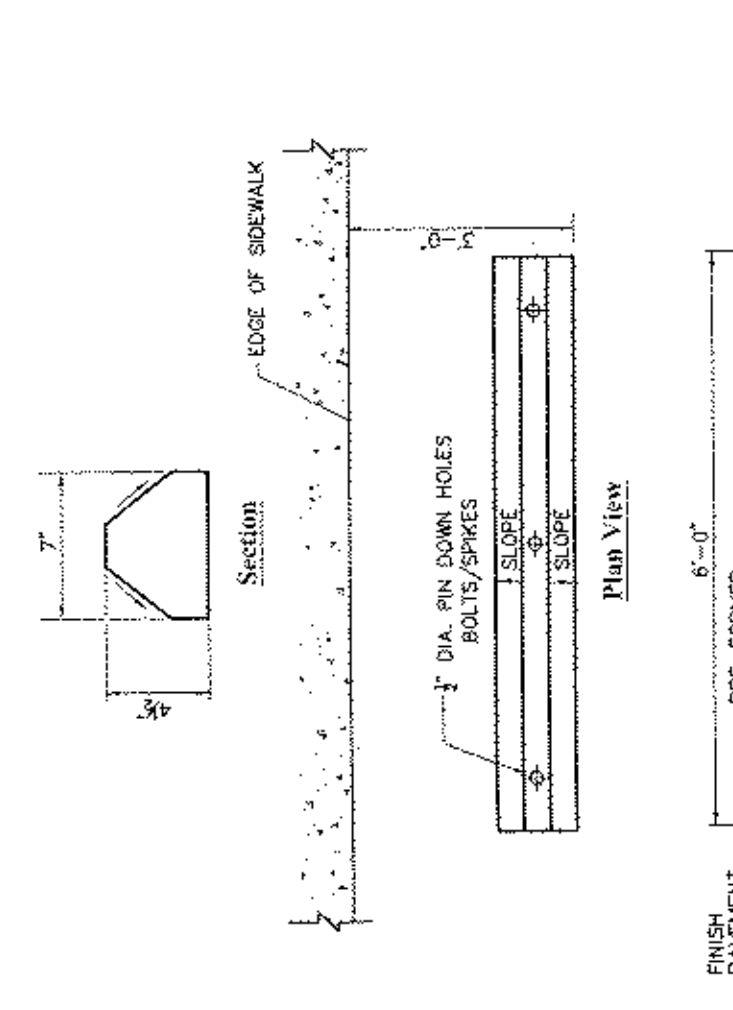
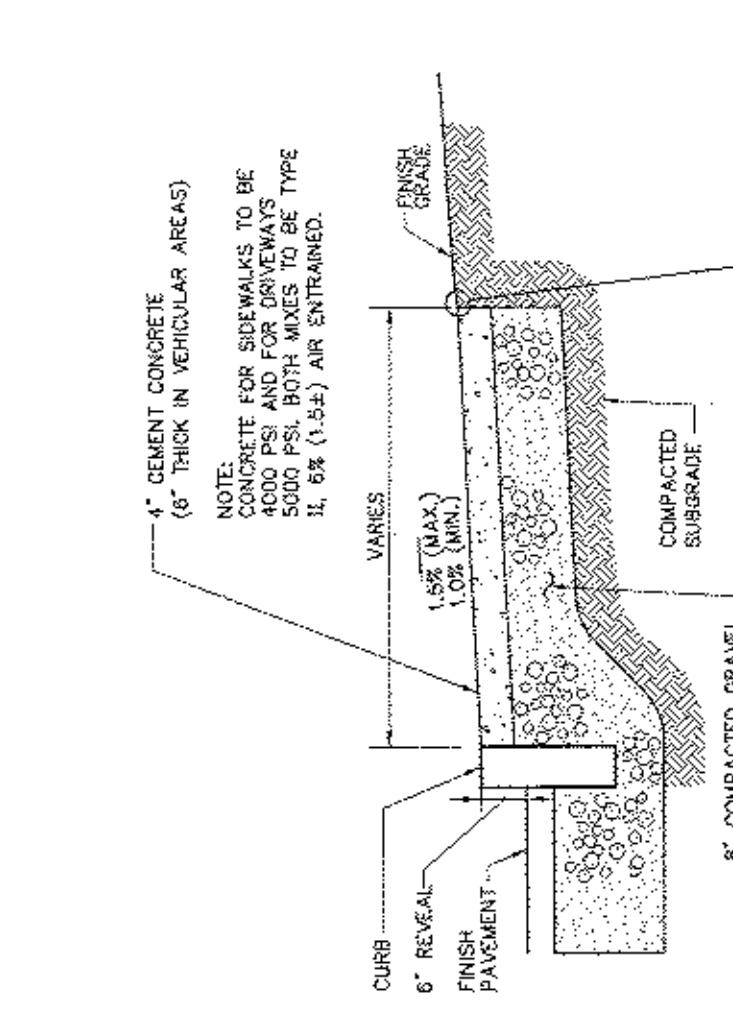
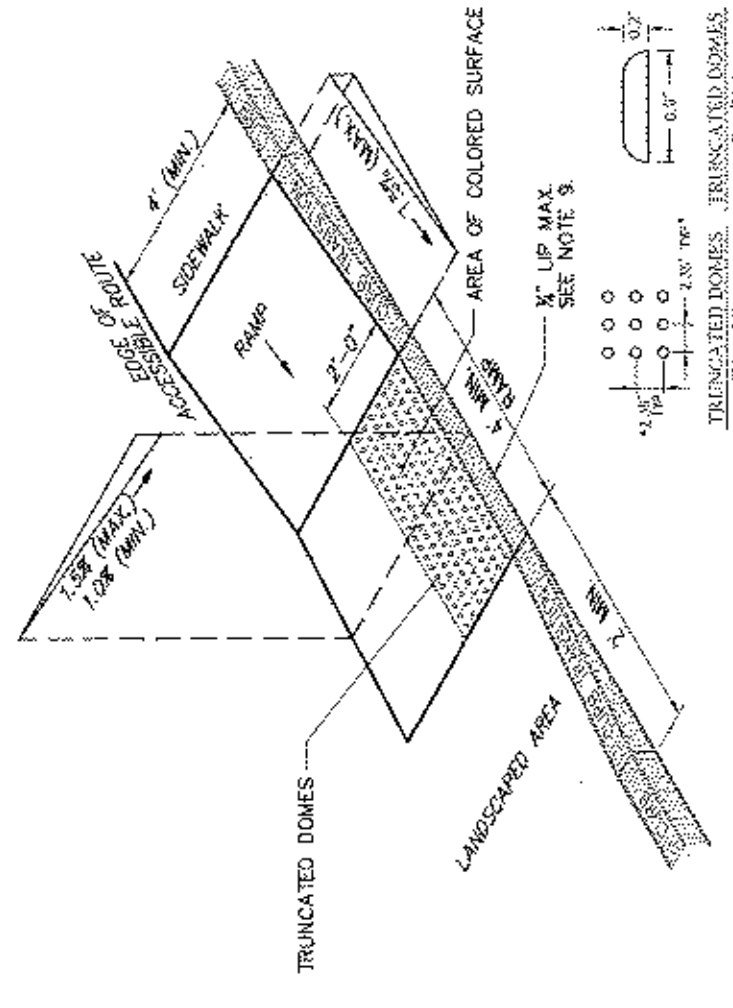
REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	09/25/09

PROJECT MANAGER: PNO
PLANNING ENGINEER: ATK / AEP
REVIEWED BY: TRG
DATE: October 19, 2010
JOB NUMBER: 41847.44
TITLE:

Site Details 2
SHEET NUMBER: **C-7**

COMMENTS: NOT ISSUED FOR CONSTRUCTION
JOB: 09_41847.44.DWG



**MODEL 3551 STATIONARY COMPACTOR
30 CU. YD. W/SIDE FEED CHUTE**

NO.	DATE	BY	CHK	APP
1	08/03/11	MW	X	MW

REVISED BY: MW

DATE: 08/03/11

BY: MW

CHK: X

APP: MW


CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) &
 TOWN AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 84094

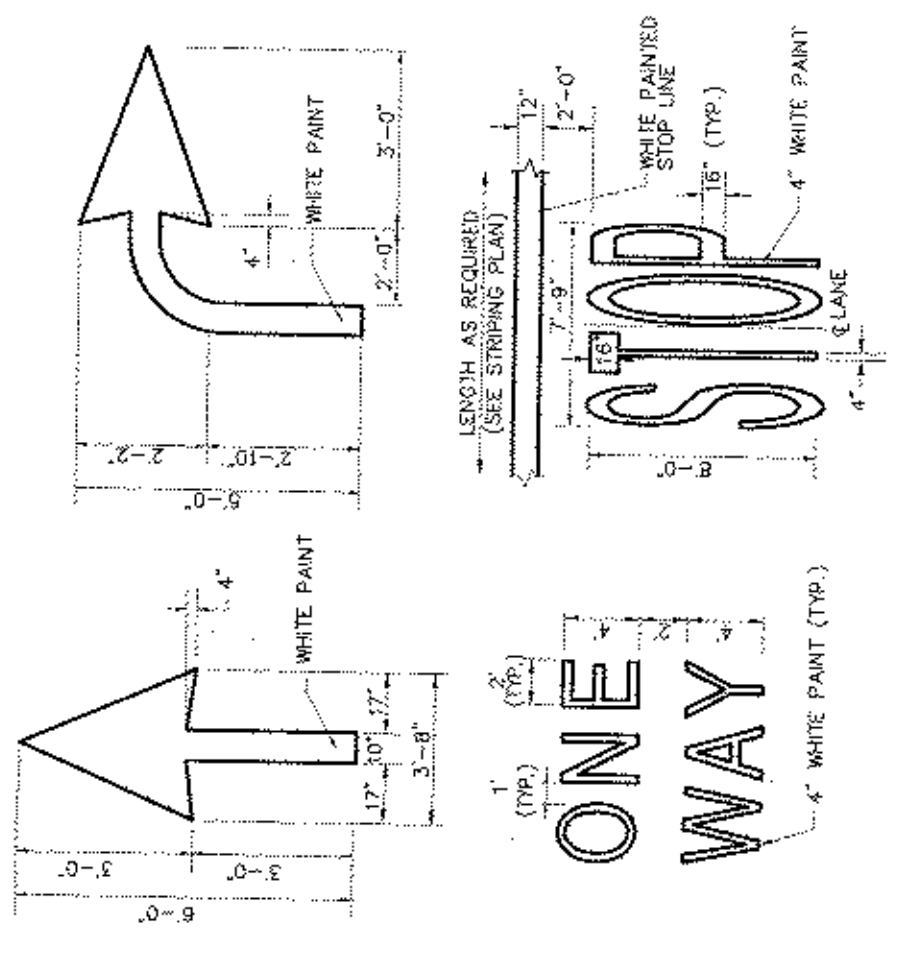
ENGINEER

 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

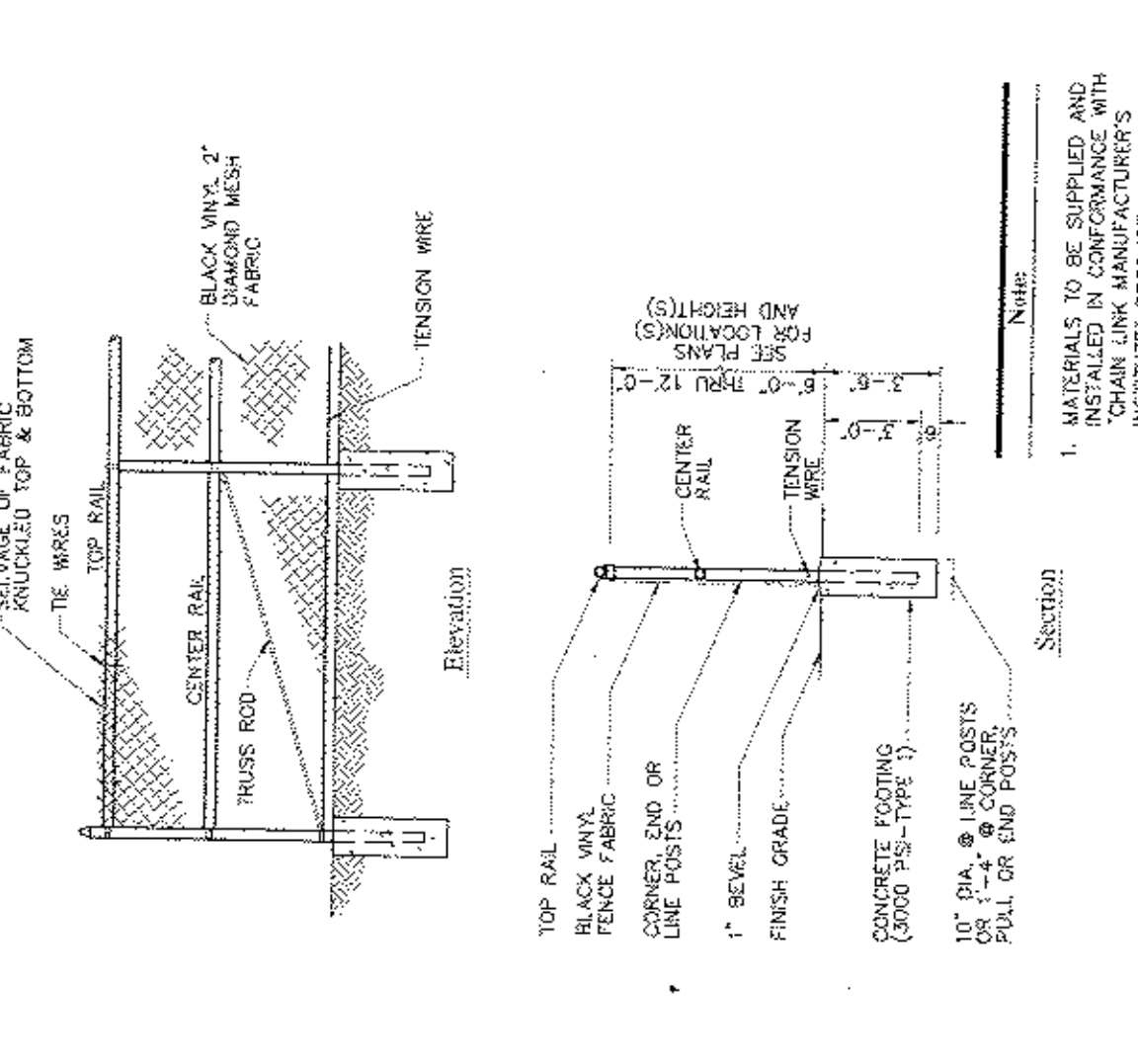
CONSULTANT:

DEVELOPER:
 T.M.
CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LITCHFIELD, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

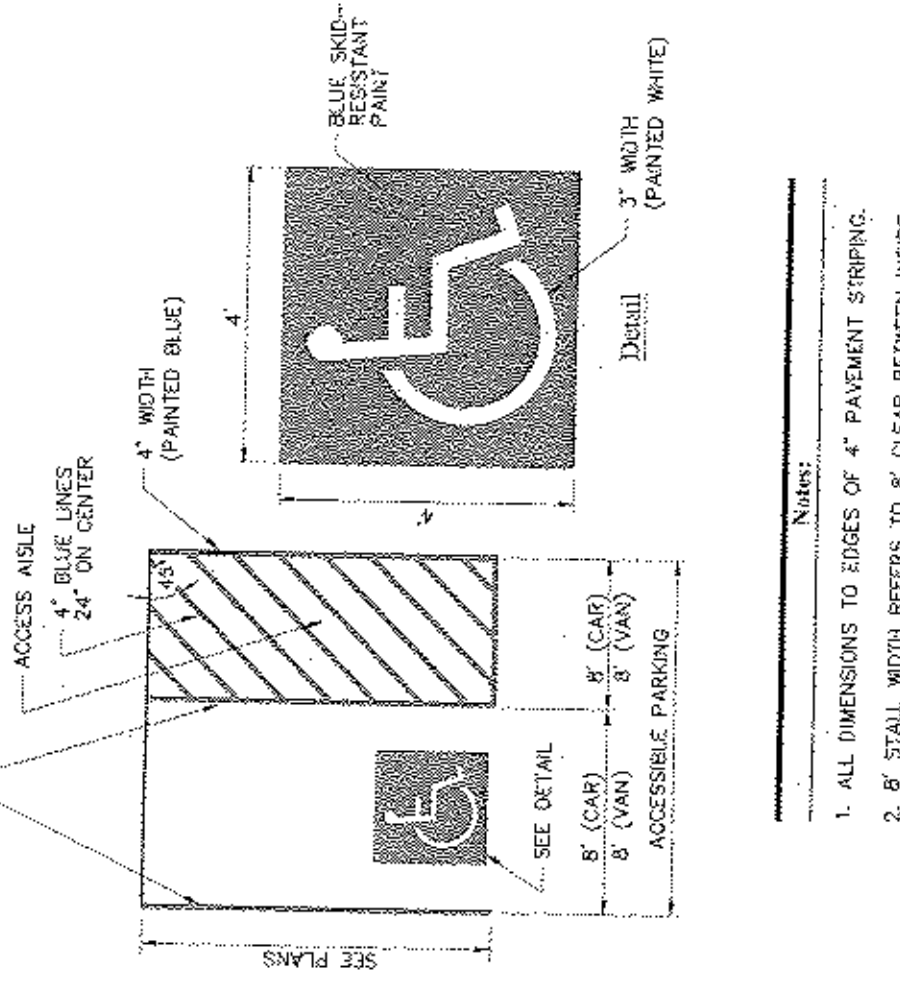
SEAL:

 REVISIONS:
 PROJECT MANAGER: PNO
 PLANNING ENGINEER: ATK / AEF
 REVIEWED BY: HRC
 DATE: October 19, 2015
 JOB NUMBER: 4947.44
 TITLE:
Site Details 1
 SHEET NUMBER: **C-6**
 COMMENTS: NOT ISSUED FOR CONSTRUCTION



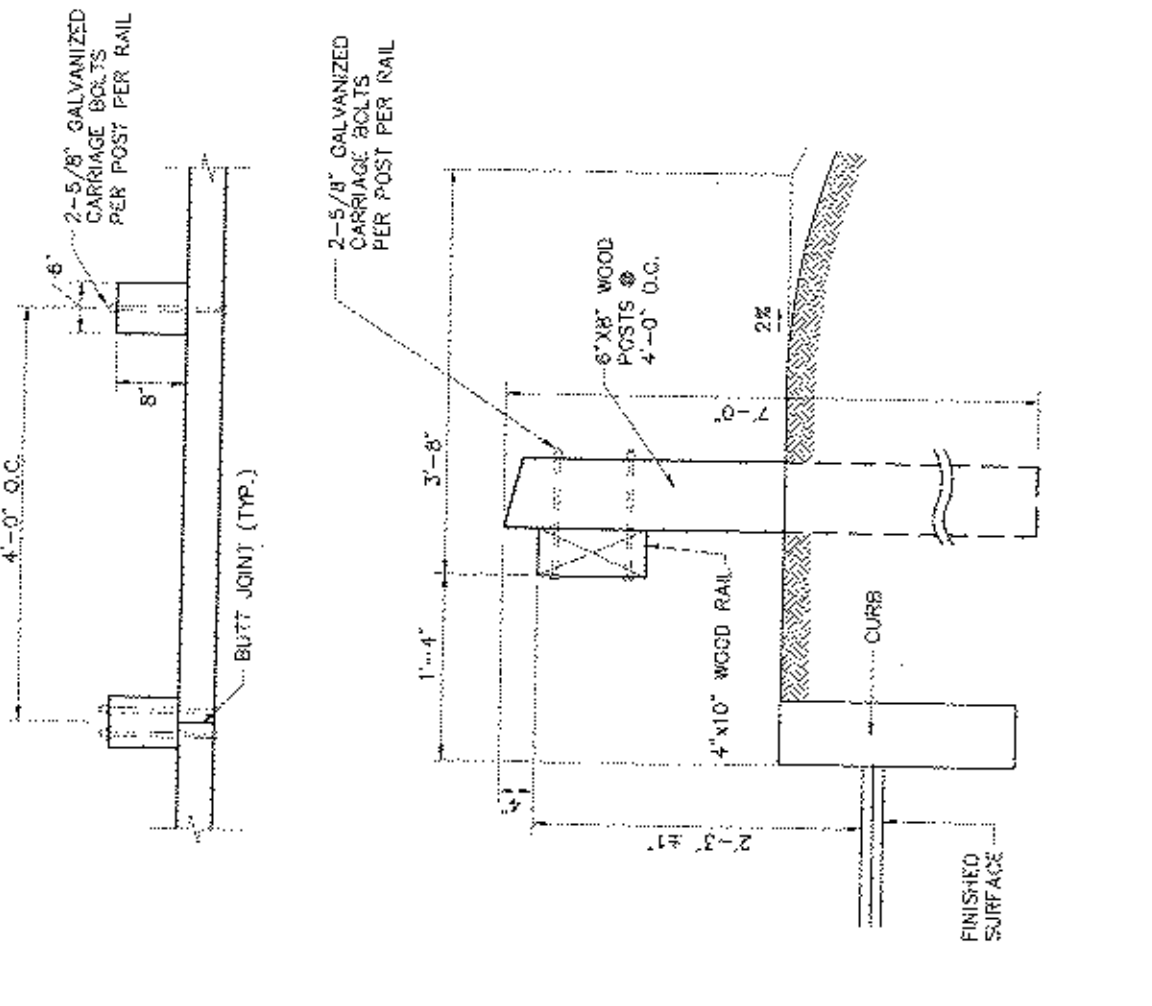
Painted Pavement Markings - On Site
 N.T.S. Source: VHB
 8/24 12.546



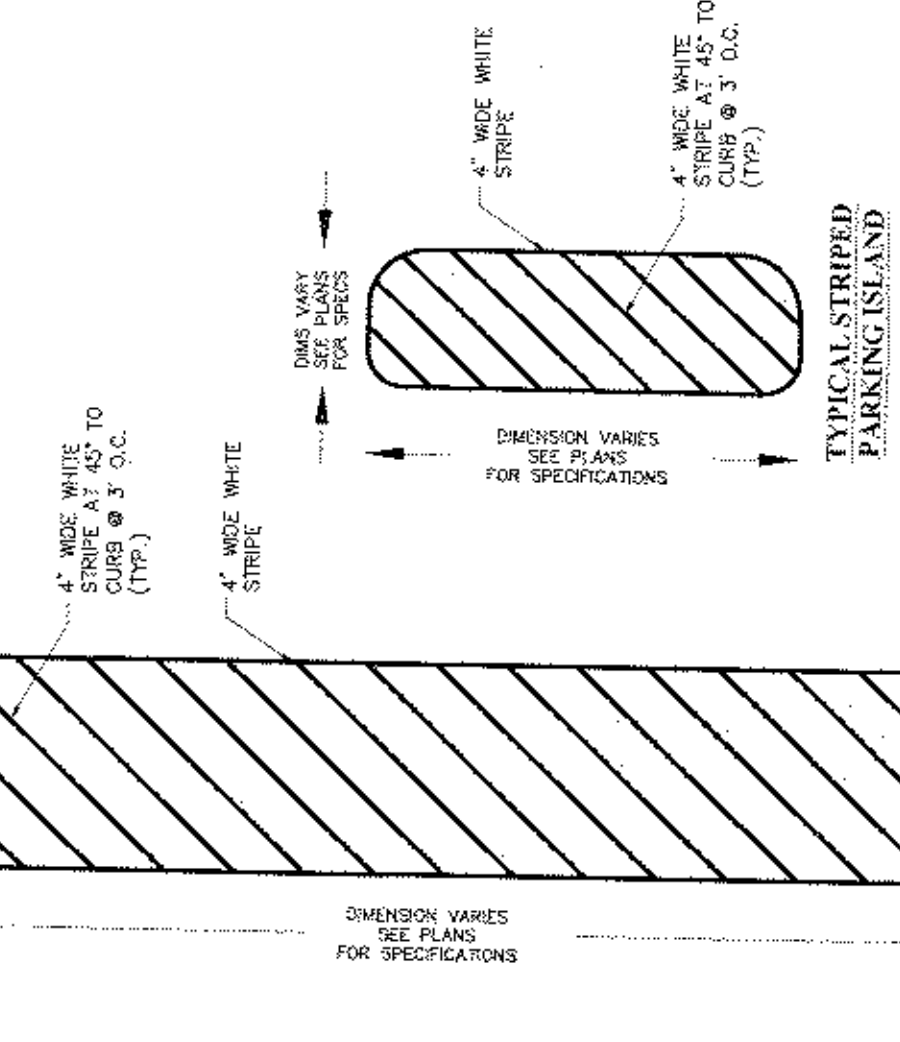
Chain Link Fence
 N.T.S. Source: VHB
 8/24 12.546



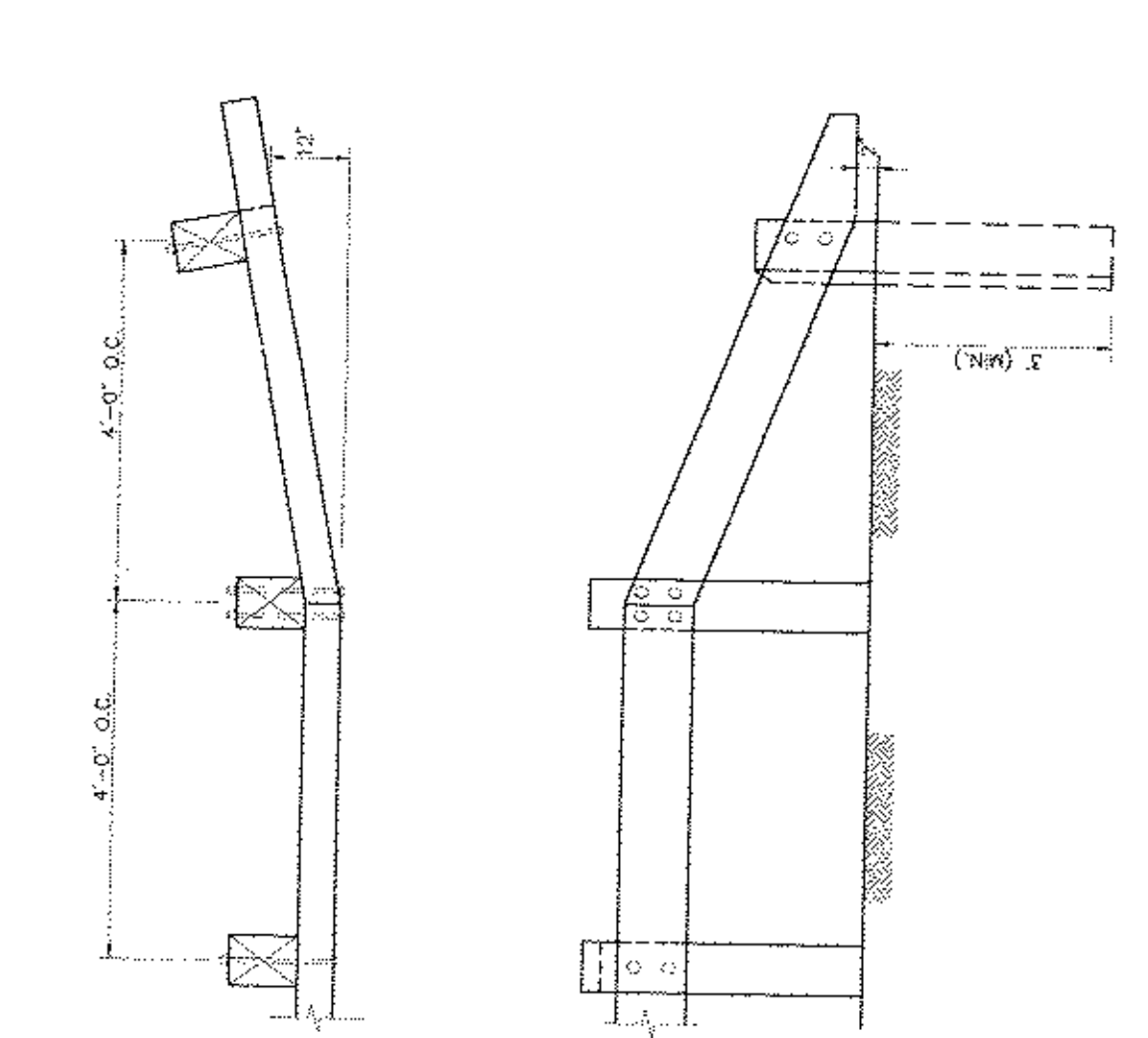
Accessible Parking Space
 N.T.S. Source: VHB
 8/24 12.552



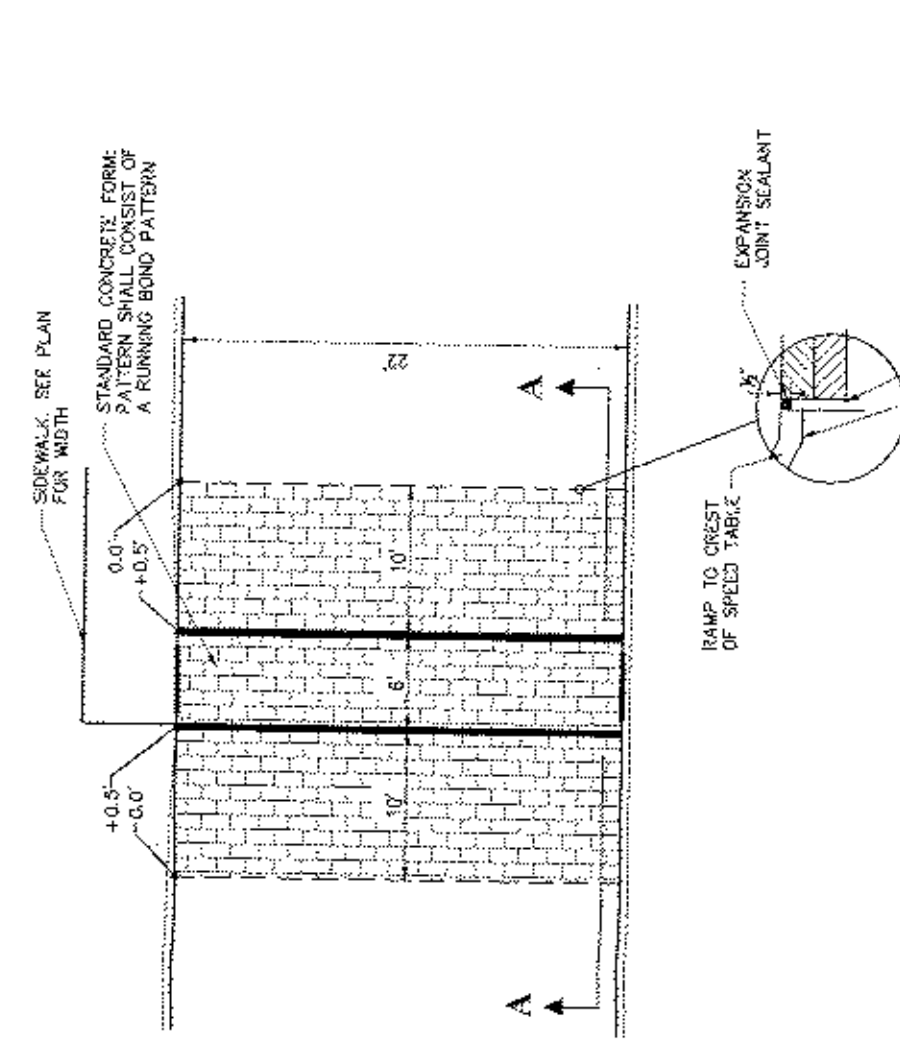
Wood Guardrail
 N.T.S. Source: VHB
 8/24 12.550



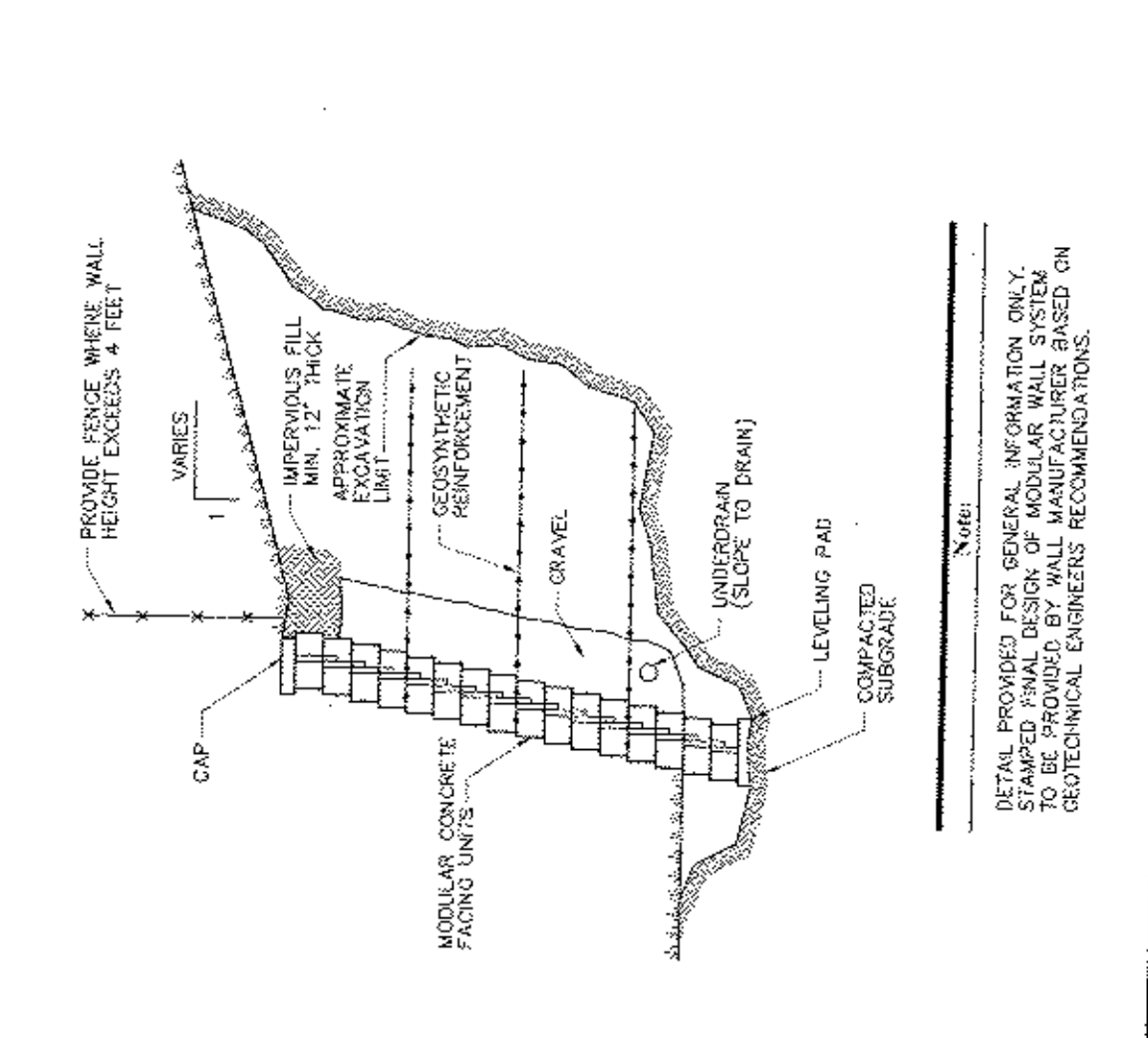
Pavement Striping Within Parking Lot
 N.T.S. Source: VHB
 8/24 12.450



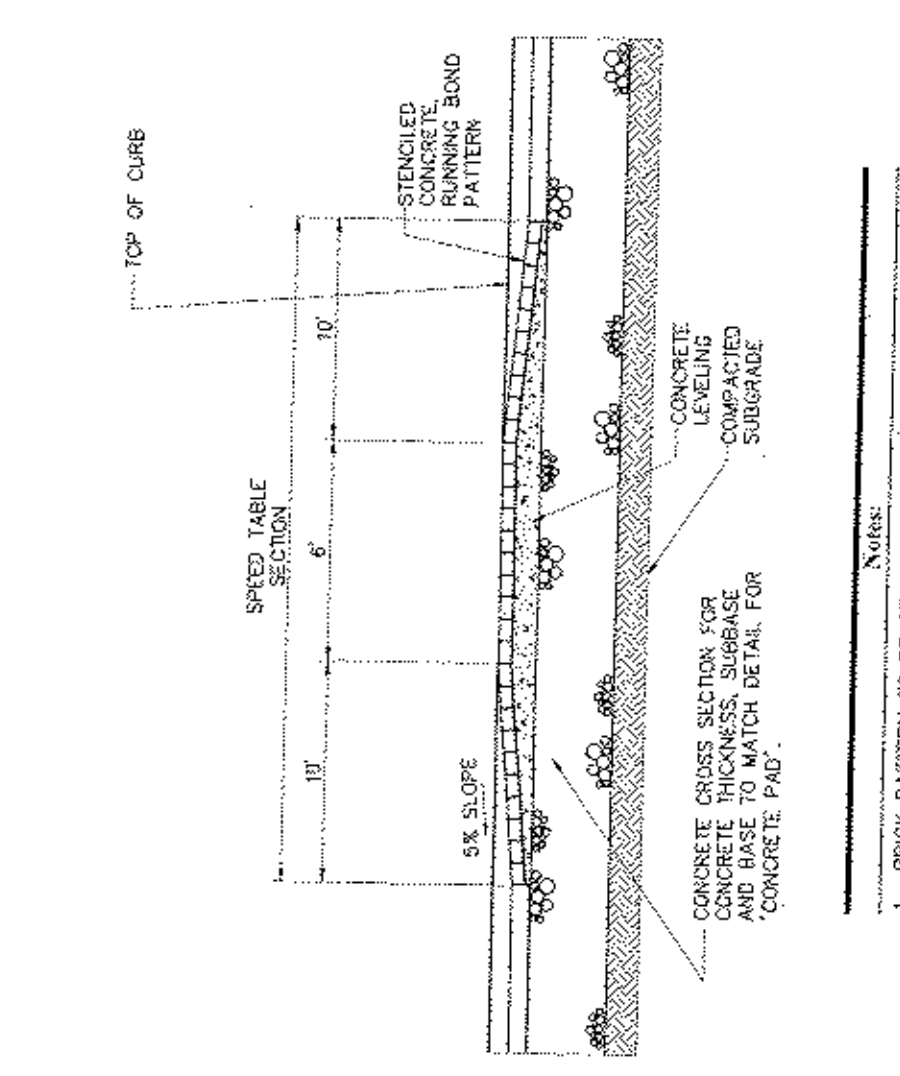
Wood Guardrail - Tapered End
 N.T.S. Source: VHB
 8/24 12.450



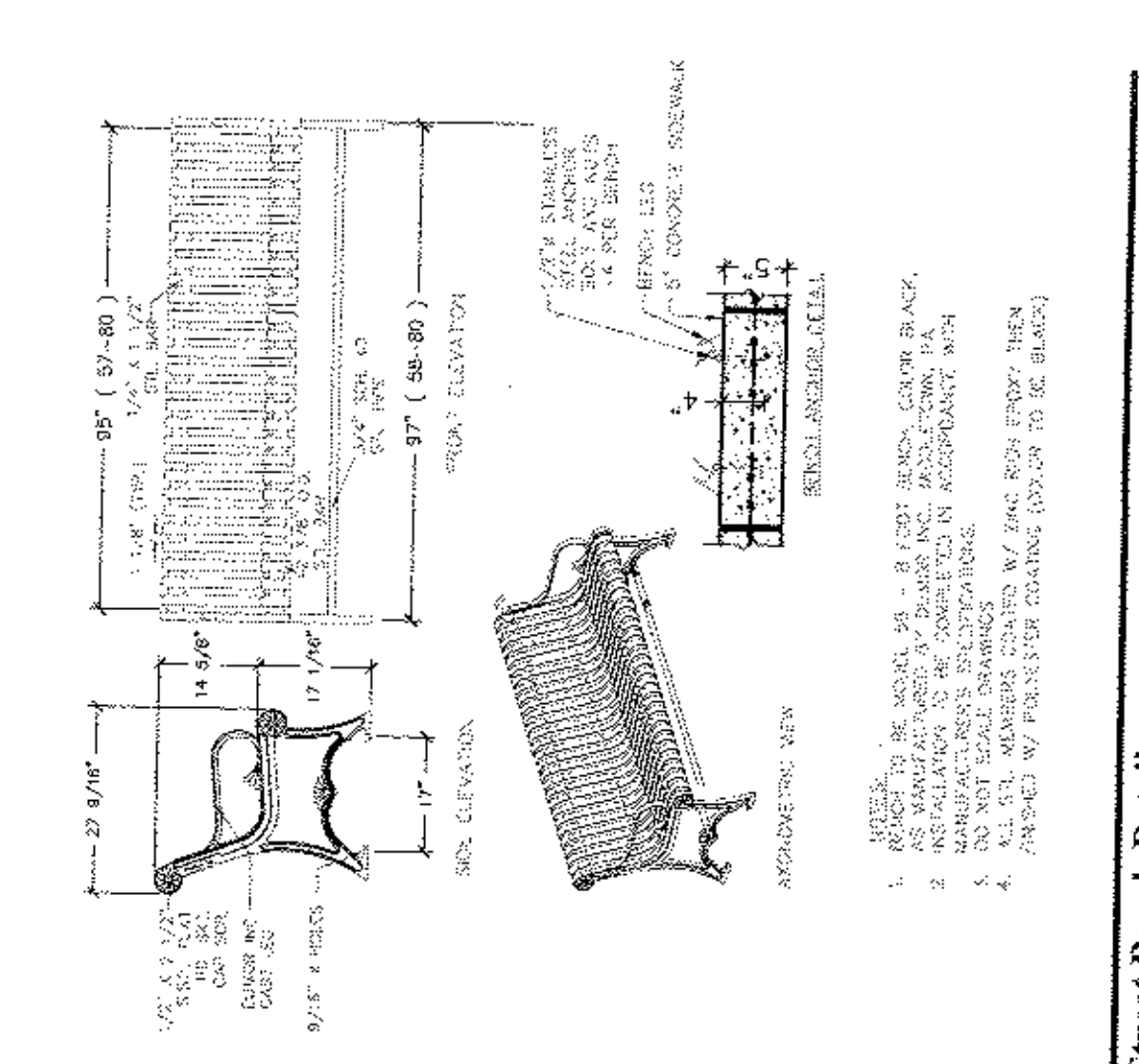
Speed Table Detail & Stamped Brick Crosswalk
 N.T.S. Source: VHB
 8/24 12.704



Modular Retaining Wall
 N.T.S. Source: VHB
 8/24 12.706



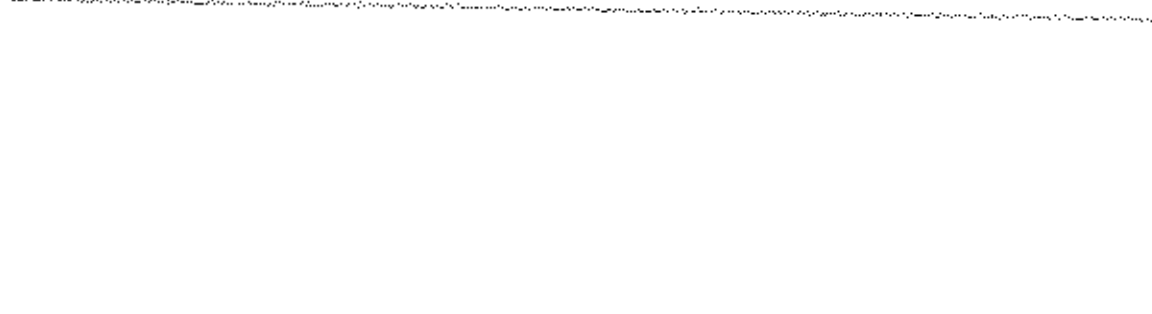
Speed Table Detail (Section A-A)
 N.T.S. Source: VHB
 8/24 12.704



Street Bench Detail
 N.T.S. Source: DUMOR, INC.
 8/24 12.510



Light Pole Foundation Detail (Up to 40' Pole)
 N.T.S. Source: VHB
 8/24 12.710



Sign Post - Type 'A'
 N.T.S. Source: VHB
 8/24 12.450

Bollard Mounted Sign
 N.T.S. Source: VHB
 8/24 12.552

Bollard with polymer cover
 N.T.S. Source: VHB
 8/24 12.552

Chain Link Fence
 N.T.S. Source: VHB
 8/24 12.546

Wood Guardrail
 N.T.S. Source: VHB
 8/24 12.550

Pavement Striping Within Parking Lot
 N.T.S. Source: VHB
 8/24 12.450

Modular Retaining Wall
 N.T.S. Source: VHB
 8/24 12.706

Speed Table Detail & Stamped Brick Crosswalk
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Sign Post - Type 'A'
 N.T.S. Source: VHB
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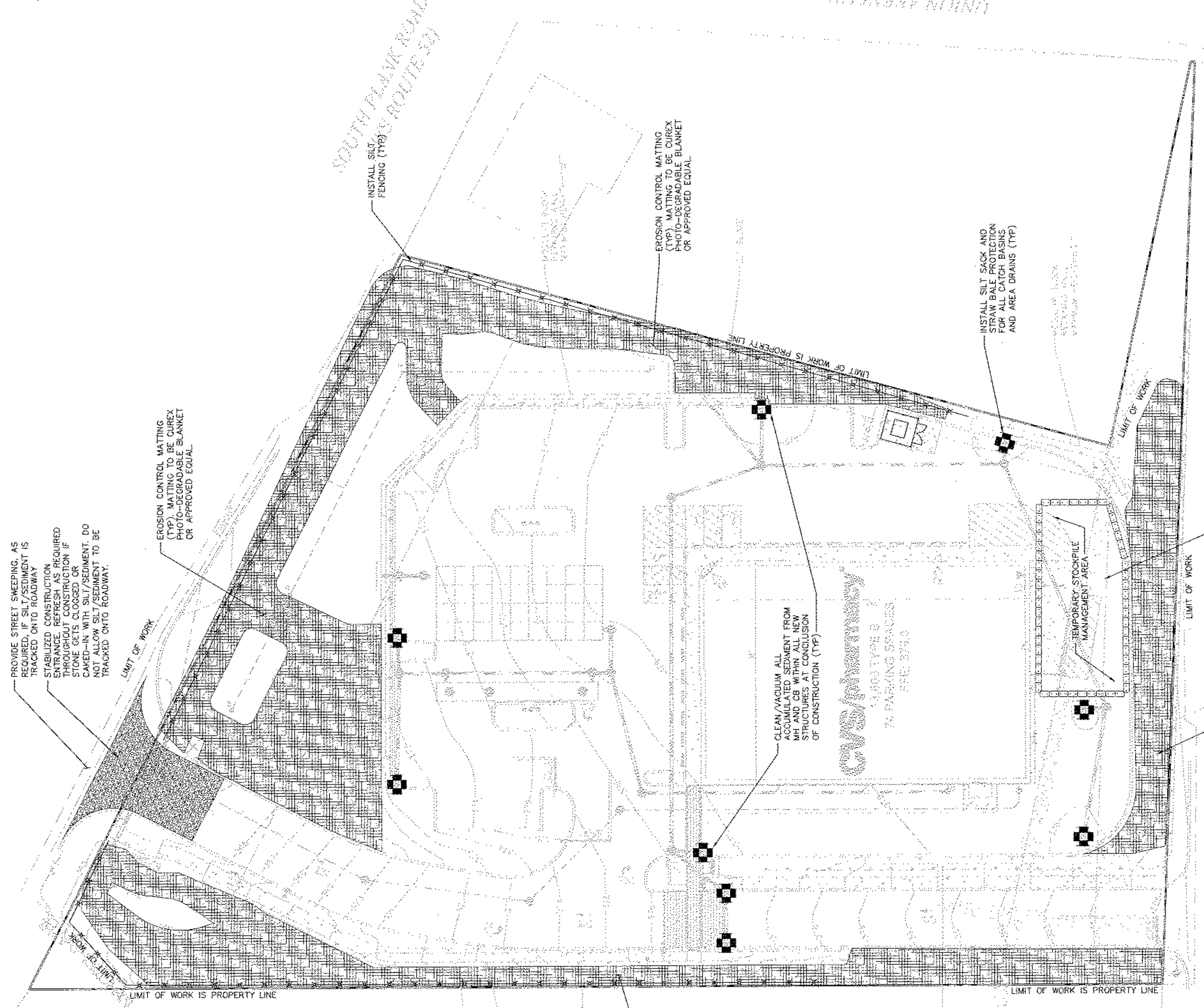
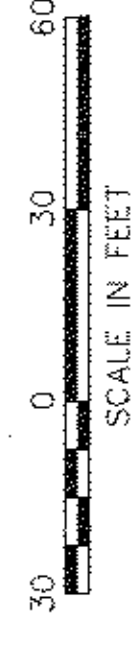
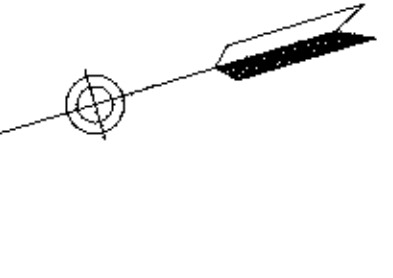
Bollard Mounted Sign
 N.T.S. Source: VHB
 8/24 12.552

Bollard with polymer cover
 N.T.S. Source: VHB
 8/24 12.552



REVISIONS:	
PROJECT MANAGER:	PNO
PLANNING ENGINEER:	ATK / AEF
REVIEWED BY:	PKG
DATE:	October 19, 2015
JOB NUMBER:	41847.44
TITLE:	

THIS PLAN PROVIDES GENERAL GUIDANCE FOR THE CONSTRUCTION ACTIVITIES THAT MAY OCCUR AND MEASURES PER THE NEW YORK STATE STANDARDS AND REGULATORY PROVISIONS TO MAINTAIN PROPER EROSION AND SEDIMENT CONTROL. ALL TIMES INDICATED THROUGHOUT CONSTRUCTION BY THE TOWN, OWNER, OR OWNER'S REPRESENTATIVE.



Temporary Erosion and Sedimentation Control Maintenance (throughout construction)
THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
THE SITE CONTRACTOR WILL INSPECT ALL SEDIMENT AND EROSION CONTROL STRUCTURES PERIODICALLY AND AFTER EACH RAINFALL EVENT. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.
SILT SHALL BE REMOVED FROM BENCH BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEARBY.
UNDERLIES OF STRAW BALES AND SILT SOCKS ARE TO BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.
SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.
INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF A RAINFALL EVENT TO DETERMINE THE CONDITIONS OF THE BASINS DURING CONSTRUCTION. SCRAPE OUT BOTTOM OF TEMPORARY SEDIMENT TRAP WHEN ACCUMULATION REACHES 4" OF SEDIMENT. DO NOT ALLOW ACCUMULATION AREA BY STAKES. DO NOT ALLOW ACCUMULATED SEDIMENTS TO FLUSH INTO REAR INFILTRATION BASIN.
INSPECT THE VEHICLE CONSTRUCTION ENTRANCE AT LEAST ONCE A WEEK AND WITHIN 24 HRS OF A RAINFALL EVENT TO DETERMINE THE CONDITION OF THE STONE PAUL. CONTRACTOR SHALL REFRESH THE STONE (CLEAN OR REPLACE) AS NEEDED THROUGHOUT CONSTRUCTION WHEN SEDIMENT IS OBSERVED TO BE TRACKED OFF-SITE OR WHEN SEDIMENT HAS CAKED-IN BETWEEN ALL THE STONE.
EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REPAIRED AND STABILIZED AS SOON AS PRACTICAL.
MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL

EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL

EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL

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EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL

Site S&E Narrative:
THE PROPOSED PROJECT CONSISTS OF CONSTRUCTING AN APPROXIMATELY 13,600 SQUARE FOOT RETAIL BUILDING WITH ASSOCIATED PARKING, DRIVEWAYS, UNDERGROUND UTILITIES, AND STORMWATER MANAGEMENT SYSTEM. THE APPROXIMATELY 7.7 ACRE SITE WILL BE DEVELOPED IN A SINGLE PHASE PROJECT. THE ENTIRE 2.7 ACRE SITE WILL BE CONTROLLED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY TECHNIQUES OUTLINED IN THE CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENTATION IS NOT UNACCEPTED OFF-SITE. FEBRUARY 2016 AND BE COMPLETED NOVEMBER 2016. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE NYS DEC EROSION GUIDELINES. REFER TO THE DRAINAGE/STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION.

- CONSTRUCTION SEQUENCE**
1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADWAYS AND OTHER DRAINAGE SYSTEMS. REGULARLY MONITOR PROTECTED AREAS, INCLUDING PROTECTED AREAS, THROUGHOUT CONSTRUCTION. THE APPLICANT SHALL PROVIDE THE TOWN OF NEWBURGH, NEW YORK WITH THE NAME OF CONTRACTOR AND 24 HOUR CONTACT INFORMATION.
 2. CONTRACTOR SHALL ADHERE TO NYS DEC GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
 3. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 4. HOLD PRE-CONSTRUCTION MEETING (REGARDING TO CALL "90 SAFETY" - (800-482-7862).
 5. INSTALL STABILIZED VEHICLE CONSTRUCTION ENTRANCE. A TEMPORARY EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL SHALL BE INSTALLED AT THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE THROUGHOUT CONSTRUCTION.
 6. ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.
 7. INSTALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE EAS PLAN FOR THE SITE INCLUDING SLOTTED BARRIERS, SILT SOCKS, STRAW BALES, AND SILT SOCKS.
 8. ESTABLISH ROUTING GRADE ON THE SITE.
 9. CONSTRUCT RETAINMENT WALLS.
 10. BEGIN FORMATION OF INFILTRATION BASIN & RAIN GARDENS & STABILIZE SLOPES WITH EROSION CONTROL MATTING & HYPOSOSS.
 11. INSTALL EROSION CONTROL MATTING (TYP) MATTING TO BE CUREX PHOTO-DEGRADABLE BLANKET OR APPROVED EQUAL.
 12. INSTALL PAVEMENT BASE & FINISH COURSE OF BITUMINOUS CONCRETE.
 13. LAY AND SEED ALL DISTURBED AREAS.
 14. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE ENTIRE SITE TO DETERMINE THE CONDITION OF THE PAVED AREAS.
 15. INSTALL FINAL OVERLAY COURSE OF PAVING.
 16. ERROSION AND SEDIMENTATION CONTROLS CAN BE REMOVED.

Erosion and Sedimentation Control Techniques
THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE CONSTRUCTION AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND REGULATIONS FOR EROSION & SEDIMENT CONTROL AUGUST 2005.

SILT FENCING
IN AREAS WHERE HIGH RAINFALL VELOCITIES OR HIGH SEDIMENT LOADS ARE EXPECTED, HAY BALE BARRIERS WILL BE BACKED UP WITH SILT FENCING. THE SEMI-PERMEABLE BARRIER MADE OF A SYNTHETIC POROUS FABRIC WILL PROVIDE ADDITIONAL PROTECTION. THE SILT FENCES AND HAY BALE BARRIERS WILL BE REPAIRED AS DETERMINED BY PERIODIC FIELD INSPECTIONS.

STRAW BALE BARRIERS
STRAW BALE BARRIERS WILL BE PLACED TO TRAP SEDIMENT TRANSPORTED BY RUNOFF BEFORE IT REACHES THE DRAINAGE SYSTEM OR UNDERCUTTING BY RUNOFF. BALES WILL BE SET AT LEAST FOUR INCHES INTO THE EXISTING GROUND TO MINIMIZE UNDERCUTTING BY RUNOFF.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SOCKS THROUGHOUT CONSTRUCTION. A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE COMPLETED. VEGETATION SHALL BE PLANTED AT A DENSITY OF 10 PLANTS PER 100 SQUARE FEET. VEGETATION SHALL BE PLANTED AT A DENSITY OF 10 PLANTS PER 100 SQUARE FEET. VEGETATION SHALL BE PLANTED AT A DENSITY OF 10 PLANTS PER 100 SQUARE FEET.

STOCKPILE MANAGEMENT
ALL STOCKPILES SHALL BE COVERED WITHIN 14 DAYS OF STORAGE. STOCKPILES SHALL BE COVERED WITHIN 14 DAYS OF STORAGE. STOCKPILES SHALL BE COVERED WITHIN 14 DAYS OF STORAGE.

INFILTRATION BASIN
THE GRASSED INFILTRATION BASIN IS AN ABOVE-GROUND INFILTRATION AREA TO BE USED FOR PEAK RUNOFF AND VOLUME ATTENUATION. THE BASIN SHALL BE CLEANED OF DEBRIS AND ANY EROSION SHALL BE REPAIRED IMMEDIATELY UPON IDENTIFICATION THROUGHOUT THE YEAR.

RAIN GARDENS
THE RAIN GARDENS MANAGE AND TREAT STORMWATER RUNOFF USING A CONDITIONED PLANTING SOIL BED AND PLANTING MATERIALS TO FILTER RUNOFF STORED WITHIN A SHALLOW DEPRESSION. IT IS RECOMMENDED THE RAIN GARDENS BE INSPECTED MONTHLY FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION COMPLETION FOR SIGNS OF EROSION, PLANT ESTABLISHMENT, EMBANKMENT STABILIZATION, ETC. REPAIRS TO EROSION, VEGETATIVE CONDITIONS, ETC. THE MULCH SHALL BE REPLACED OR REAPPLIED EACH YEAR, PREFERABLY IN THE SPRING.

SAND FILTER
THE SAND FILTER IS AN UNDERGROUND CONCRETE CHAMBER CONSISTING OF A PRE-TREATMENT SEDIMENT CHAMBER, WHICH INCLUDES DISTRIBUTION CHAMBER FOR VELOCITY DEGRADATION, A FILTRATION CHAMBER, AND OUTLET CHAMBER. THE FILTRATION CHAMBER WILL CONTAIN THE NECESSARY SAND (MEETING ASTM-C33 SPECIFICATION). IT IS RECOMMENDED THAT THE SAND FILTER BE INSPECTED TWICE PER YEAR AND SAND CHAMBER CLEANED/ MAINTAINED ONCE PER YEAR, IDEALLY IN THE SPRING AFTER SNOWMELT. THE SAND WITHIN THE FILTRATION CHAMBER SHALL BE REPLACED WHEN FILTRATION HAS BECOME NOTICEABLY COMPROMISED, OR AFTER 10 YEARS, WHICHEVER COMES FIRST.



13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER 10688
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE NEW
 DEAL TYPE FEE FOR SERVICE
 CS PROJECT NUMBER 84094

ENGINEER:



100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

CONSULTANT:

DEVELOPER:

T. M.
CROWLEY
 & ASSOCIATES

T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:



REVISIONS:

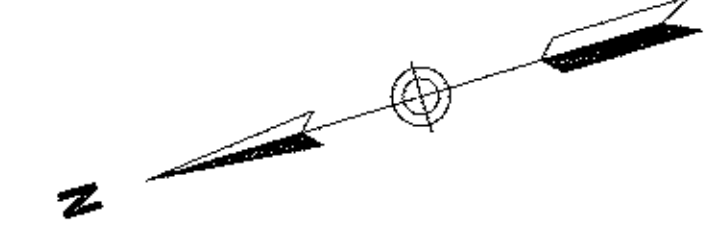
PROJECT MANAGER:	PNO
PLANNING ENGINEER:	AMK / AEF
REVIEWED BY:	M2G
DATE:	October 14, 2015
JOB NUMBER:	41647.44
TITLE:	

Utility Plan

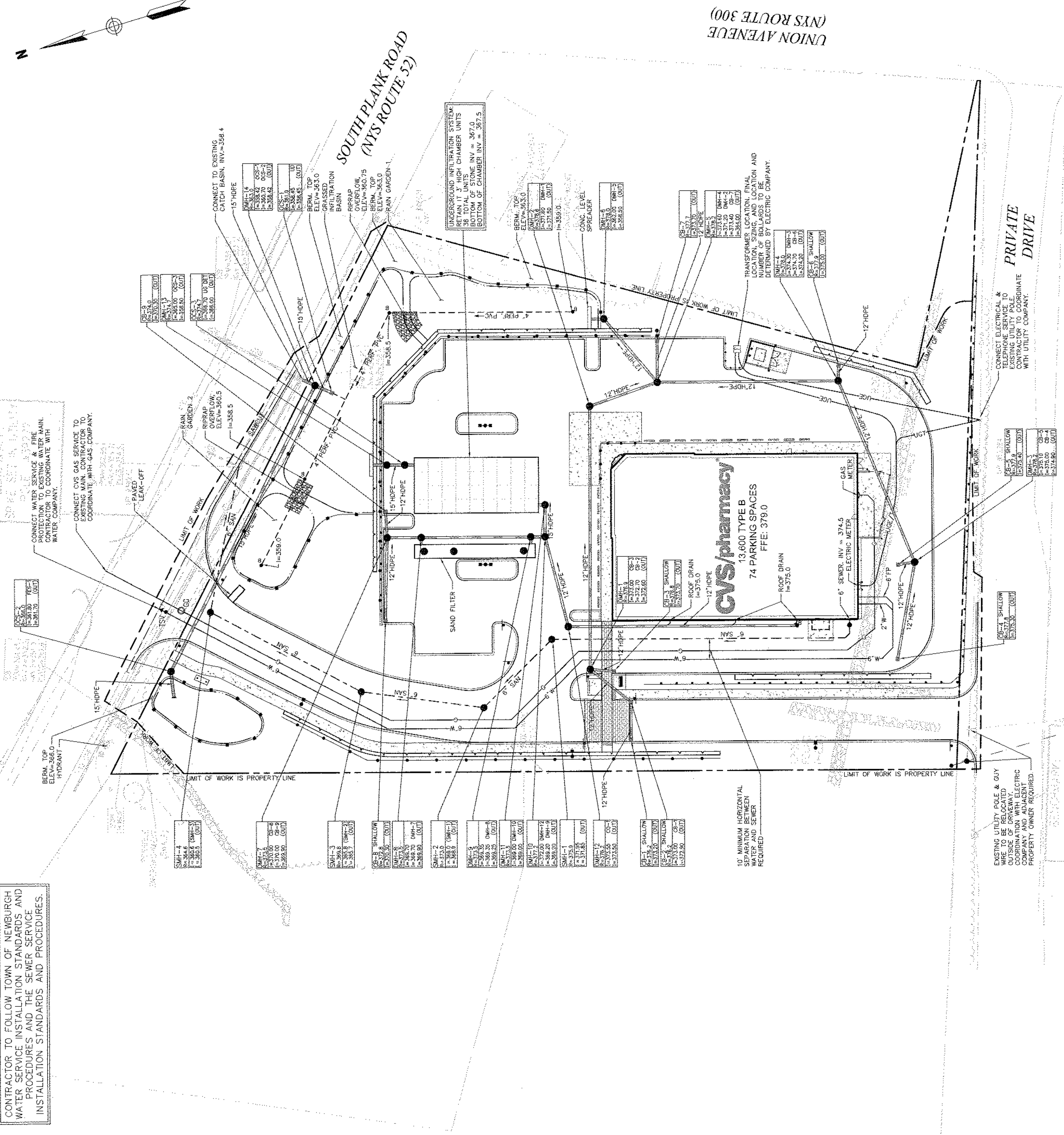
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C-4

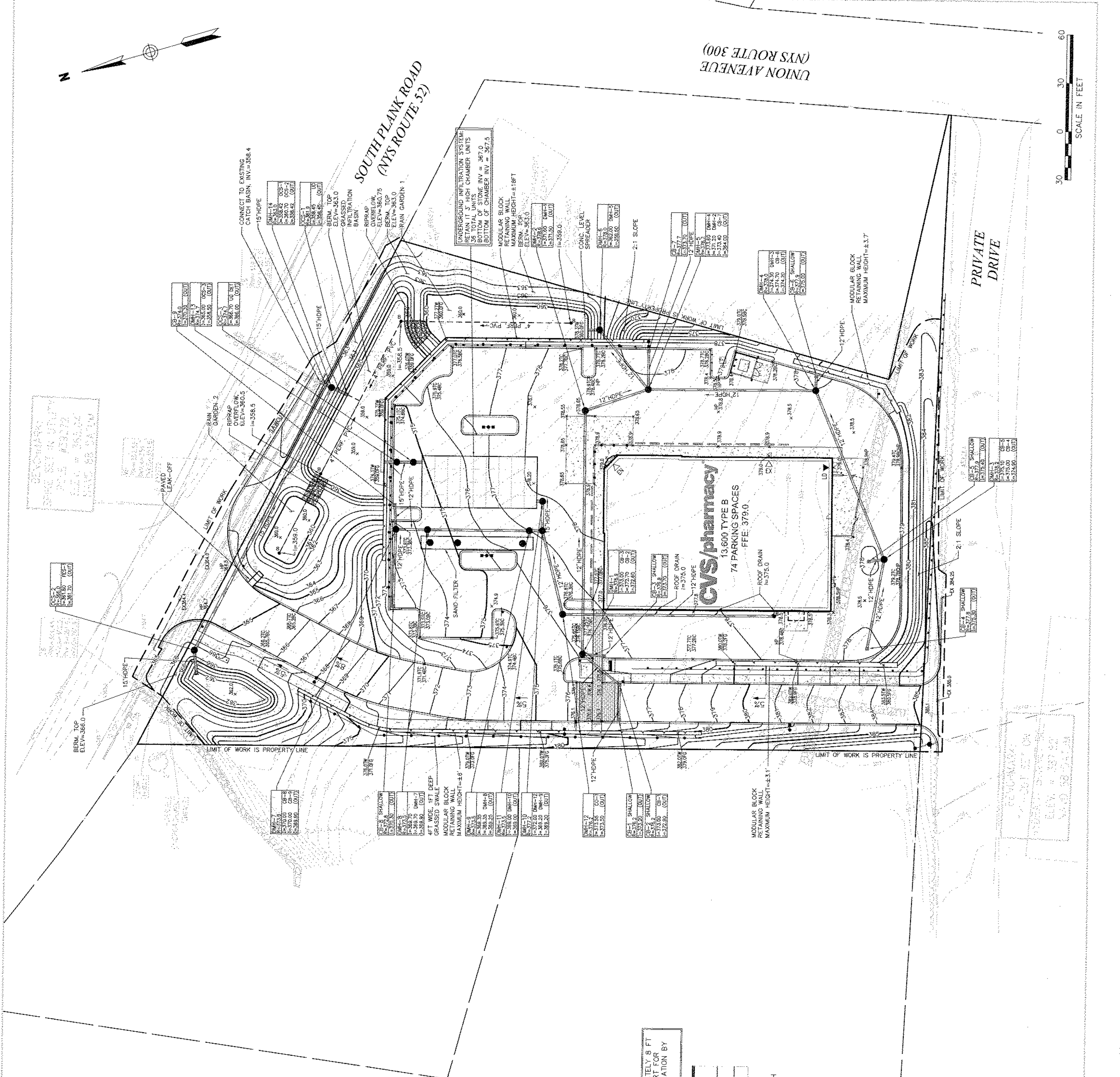
NOT ISSUED FOR CONSTRUCTION
 DATE: 10/14/15



SCALE IN FEET
 30 0 30 60



CONTRACTOR TO FOLLOW TOWN OF NEWBURGH WATER SERVICE INSTALLATION STANDARDS AND PROCEDURES AND THE SEWER SERVICE INSTALLATION STANDARDS AND PROCEDURES.



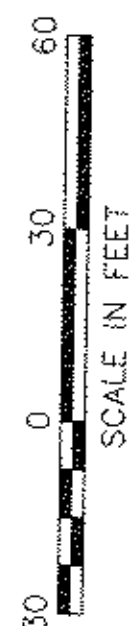
GROUNDWATER LEVELS ON SITE ARE AT DEPTHS RANGING FROM APPROXIMATELY 8 FT TO 10 FT BELOW EXISTING GRADES. SEE STORMWATER MANAGEMENT REPORT FOR FURTHER DISCUSSIONS AS WELL AS THE GEOTECHNICAL ENGINEERING EVALUATION BY RANDSON CONSULTING, INC. DATED JULY 7, 2015.

Preliminary Cut/ Fill Analysis

Cut	Fill	Net
9,378 CY + 3,700 CY *	6,380 CY	6,688 CY - CUT

NOTE: CUT/ FILL ANALYSIS IS BASED ON SURVEY DATA OBTAINED BY VHB.
METHOD: 3D SURFACE ANALYSIS (CIVIL 3D) FROM EXISTING FINISH GRADE TO PROPOSED FINISH GRADE. NO FACTORS FOR SHRINK/SWELL HAVE BEEN APPLIED.
* AN ADDITIONAL CUT OF APPROX. 3,700 CY HAS BEEN ADDED TO ACCOUNT FOR IMPORT MATERIAL FOR PAVEMENT, SIDEWALKS, CONCRETE PAVES, RETAINING WALL & STONE, RAIN GARDEN BURETENTION SOIL, ETC.

TOTAL SITE AREA TO BE CLEARED = 2.7-ACRES



CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 84094

ENGINEER:

 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

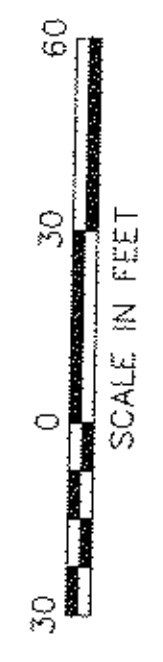
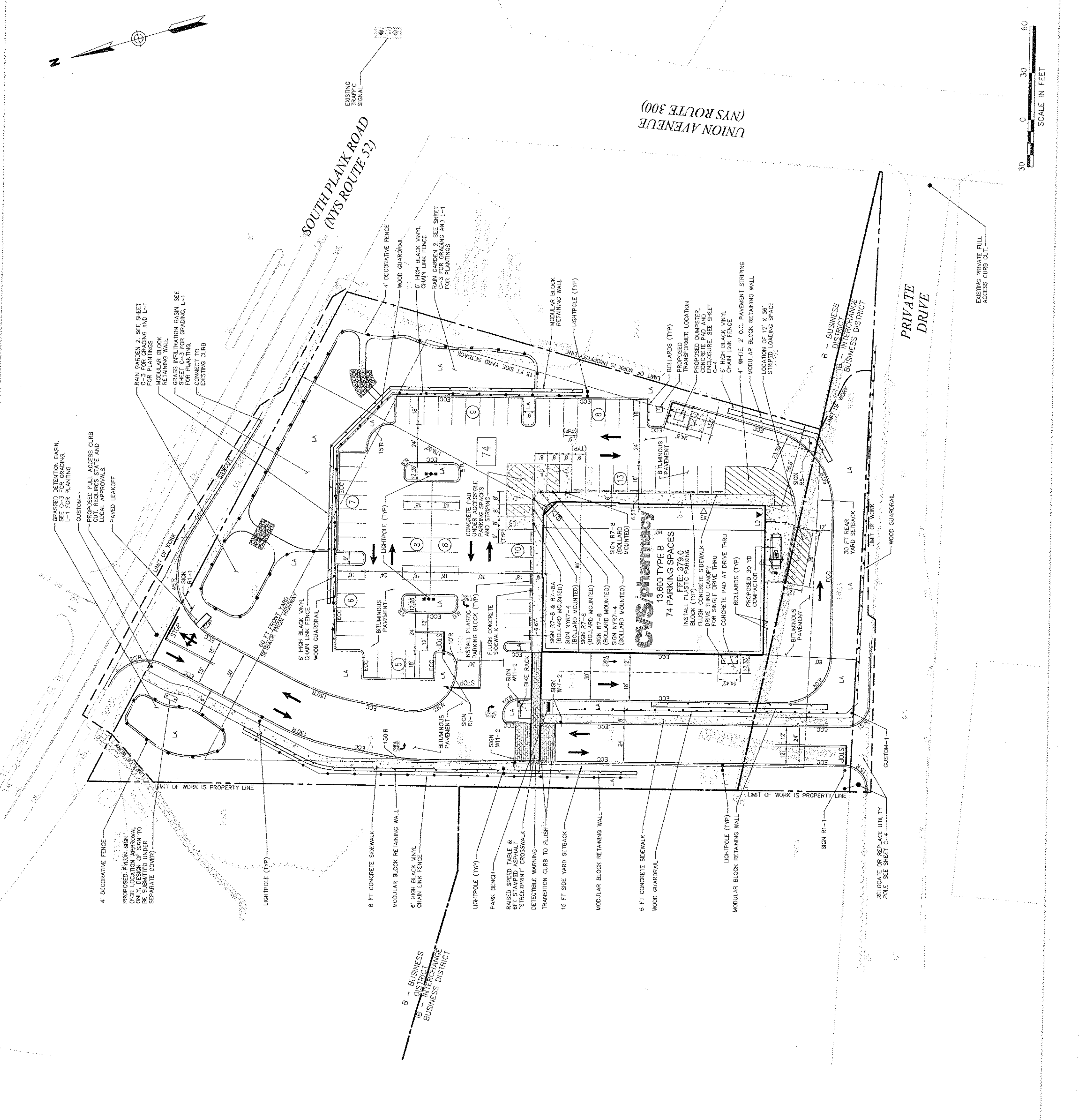
CONSULTANT:

DEVELOPER:
 T.M.
CROWLEY & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
 4 BREAUNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:


REVISIONS:
 PROJECT MANAGER: FNO
 PLANNING ENGINEER: APK / AEF
 REVIEWED BY: TRG
 DATE: October 19, 2015
 JOB NUMBER: 41847.44
 TITLE:
Layout & Materials Plan
 SHEET NUMBER: **C-2**

COMMENTS:
 NOT ISSUED FOR CONSTRUCTION
 12-18847-44-1-1-15.dwg



Zoning Summary Chart

Zoning Districts: B - Business & IB - Interchange Business

Zoning Regulation Requirements	Required *	Provided
MINIMUM LOT AREA	15,000 SF (6.34 ACRES)	117,978 SF (2.7 ACRES)
FRONTAGE	N/A	353.8 FT
FRONT YARD SETBACK	60 FT	175 FT
SIDE YARD SETBACK	15 FT	56.6 FT
REAR YARD SETBACK	10 FT	60.0 FT
MINIMUM LOT WIDTH	100 FT	236 FT
MINIMUM LOT DEPTH	125 FT	248 FT
MAXIMUM BUILDING HEIGHT	35 FT	20'-4"
MAXIMUM BUILDING COVERAGE	60%	11.5%
MAXIMUM LOT SURFACE COVERAGE	65%	63.7%
INTERIOR PARKING UNOCCUPYING PERCENTAGE	5%	5%

* REQUIRED ZONING SHOWN OF B - BUSINESS DISTRICT.

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	8 x 18	9 x 18	180	70
STANDARD ACCESSIBLE SPACES	8 x 18	8 x 18	180	3
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	180	1
TOTAL SPACES			180	74
LOADING BAYS**			1	1

* BY STATE ADA REQUIREMENTS, FOR A TOTAL 76 TO 100 SPACES PROVIDED, THE REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES IS 4 SPACES.
 ** LOADING SPACES: BUILDING UNDER 25,000 SF - 1 LOADING SPACE IS REQUIRED.

Sign Summary

M.U.T.C.D. Number	Specification	Desc.
R1-1	30" x 30"	STOP
R7-8	12" x 18"	NO STANDING, NO PARKING
R7-8A	12" x 6"	VAN ACCESSIBLE
NR7-4	12" x 18"	NO STOPPING ANY TIME
RS-1	30" x 30"	DO NOT ENTER
W1-2	30" x 30"	Warning Sign
Custom Signs	Specification	Desc.
CUSTOM-1	12" x 18"	NO PASS THROUGH TRAFFIC

PROJECT DIRECTORY

OWNER

ROUTE 52 NEWBURGH, LLC
788 SHREWSBURY AVENUE
TINTON FALLS, NJ 07724
(201) 489-1177

CONTACT: YVONNE SUN
DEVELOPER

T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD,
SUITE 101

LINCOLN, RHODE ISLAND 02865
(401) 721-1609

CONTACT: TRACEY ROLL
ARCHITECT

BKA ARCHITECTS, INC.

142 CRESCENT STREET

BROCKTON, MASSACHUSETTS 02302
(508) 583-5603

CONTACT: KEVIN PATON
CIVIL ENGINEER

VHB, INC.

100 GREAT MEADOW ROAD
SUITE 200

WETHERSFIELD, CT 06109

(860)807-4300

CONTACT: MARK GROCKI
SURVEYOR

VHB, INC.

100 GREAT MEADOW ROAD
SUITE 200

WETHERSFIELD, CT 06109

(860)807-4300

CONTACT: CHRISTOPHER DANFORTH
GEOTECHNICAL ENGINEER

RANSOM CONSULTING, INC.

PEASE INTERNATIONAL TRADEPORT

112 CORPORATE DRIVE

PORTSMOUTH, NEW HAMPSHIRE 03801

(603)436-1490

CONTACT: KENNETH W. MILENDER
ENVIRONMENTAL ENGINEER

RANSOM CONSULTING, INC.

2127 HAMILTON AVENUE

HAMILTON, NEW JERSEY 08619

(609)584-0090

CONTACT: BRIAN PETTINGILL

SITE DEVELOPMENT PLANS FOR:

CVS/pharmacy®

STORE NO. 10688

SOUTH PLANK ROAD (RTE. 52) & UNION AVENUE (RTE. 300)
TOWN OF NEWBURGH, NEW YORK
MAP 60 BLOCK 3 LOT 5.2

ZONED: B- BUSINESS & IB - INDUSTRIAL BUSINESS

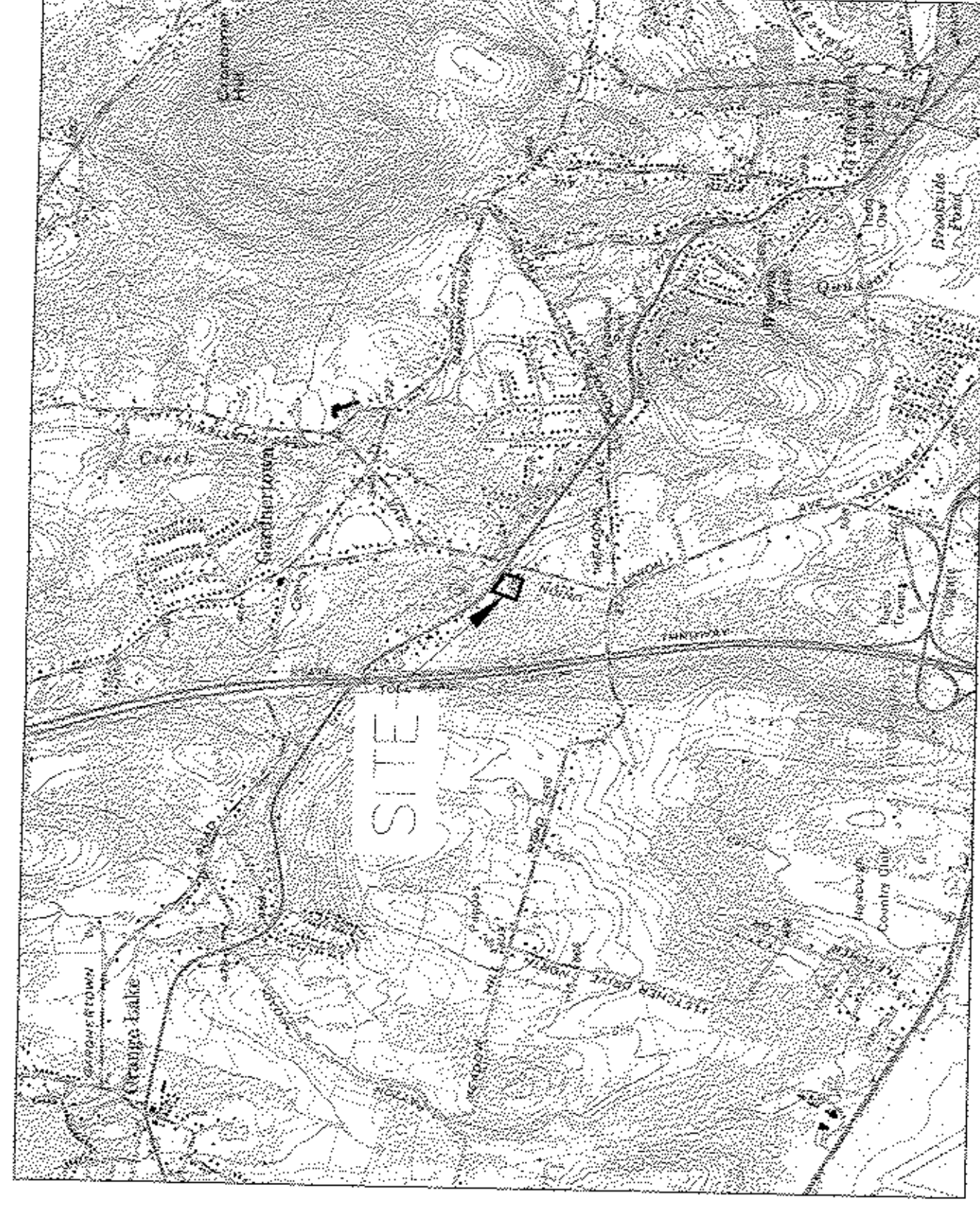
SHEET INDEX

COVER SHEET

- C-1 LEGEND, ABBREVIATIONS & GENERAL NOTES
- C-2 LAYOUT & MATERIALS PLAN
- C-3 GRADING & DRAINAGE PLAN
- C-4 UTILITY PLAN
- C-5 EROSION & SEDIMENTATION CONTROL PLAN
- C-6 SITE DETAILS 1
- C-7 SITE DETAILS 2
- C-8 SITE DETAILS 3
- C-9 SITE DETAILS 4
- C-10 SITE DETAILS 5
- L-1 PLANTING PLAN
- L-2 PLANTING DETAILS

REFERENCE PLANS

- SV-1 ALTA/ACSM LAND TITLE SURVEY-PROPERTY SURVEY
- SV-2 ALTA/ACSM LAND TITLE SURVEY-TOPOGRAPHIC SURVEY
- SL-1 SITE LIGHTING PLAN
- TT-1 TRUCK TURNING MOVEMENT PLAN 1 - WB-62
- TT-2 TRUCK TURN MOVEMENT PLAN 2 - WB-62
- AI FLOOR PLAN AND DETAILS
- A4 EXTERIOR ELEVATIONS



VICINITY MAP

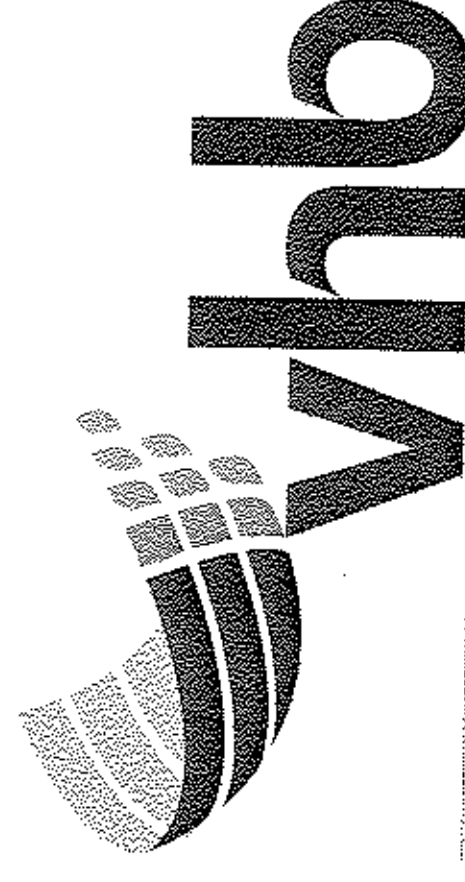
1"=2,000'

SITE AREA = ±2.7 ACRES

UTILITY PROVIDERS

WATER AND SEWER
TOWN OF NEWBURGH WATER & SEWER DEPARTMENT
WATER: (845) 564-7083
SEWER: (845) 564-7813(205)
CONTACT: STEVE GROGAN (SEWER) AND JOHN PLATT (WATER)
ELECTRIC AND GAS
CENTRAL HUDSON GAS AND ELECTRIC CORP
NEWBURGH DIVISION
(845)452-2700
CONTACT: LISA CARVER
TELECOMMUNICATIONS
FRONTIER

PREPARED BY:



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OCTOBER 19, 2015
41847.44

REVISIONS:			
NO.	DESCRIPTION:	INITIALS:	DATE: