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CONSULTING ENGINEERS D.P.C.

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Principal Emeritus:
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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: CVS PHARMACY/STORE
PROJECT NO.: 15-23
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 5.2
PROJECT REPRESENTATIVE: CUDDY & FEDER, LLP
REVIEW DATE: 30 NOVEMBER 2015
MEETING DATE: 3 DECEMBER 2015

1. In response to our previous comment identifying a City of Newburgh Flow Acceptance letter the Applicants representative has stated that they will provide the narrative and hydraulic loading information prior to the projects building permit submission. Please be advised that the Planning Board based on an agreement with the City of Newburgh cannot take any final approvals of a project until City of Newburgh Flow Acceptance letter has been received. Flow Acceptance letter is a Planning Board not a Building Permit submission.
2. Mike Donnelly's comments regarding the lease and access to the private drive to the rear of the parcel should be received. The Applicants response is that they will accept the condition of approval that requires said easement be recorded. Mike Donnelly's comments regarding deferral of this as a condition of approval should be received as significant traffic volumes could utilize the rear access.
3. In response to our previous Comment #7 regarding soil permeability for infiltration practices the Applicants response states that laboratory analysis was performed to determine infiltration rates. In accordance with Appendix D. Laboratory Testing(a) "laboratory analysis can be utilized as soil for classification and textural analysis as can visual inspection. The use of laboratory testing to establish infiltration rates is prohibited."
4. The Previous Comment #9 should be addressed by placing a note on the plans stating that all retaining walls in excess of 4 feet in height will be submitted to the Code Enforcement Officer.
5. The Town of Newburgh Water and Sewer notes, copies attached, should be added to the plans. It is noted that the plans have been revised to copy sections of the Town code and can remain with the addition of the attached notes.

6. The Planning Board should review the rendering depicting the retaining wall with multiple colors.
7. The project will require a Storm Water Maintenance agreement be executed with the Town of Newburgh.
8. Security and Inspection for Storm Water improvements and landscaping will be required per Town code.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C***

Patrick J. Hines
Principal

October 28, 2015

BY HAND

Chairman John P. Ewasutyn,
And Members of the Planning Board
Town of Newburgh
308 Gardnertown Road
Newburgh, New York 12550

OCT 28 2015

Re: Proposed CVS Pharmacy/Store (Store # 10688)
Premises: Corel Place (Route 52 and Route 300), Newburgh, New York

Dear Chairman Ewasutyn and Members of the Board:

On behalf of CVS Pharmacy and its developer T.M. Crowley & Associates ("TMC"), we respectfully submit this letter and exhibits to supplement our August 14, 2015 submission package. The intent of this submission is to provide additional project details and to address Planning Board comments from its September 3, 2015 meeting, as well as comments issued by the Dutchess County Department of Planning, the Planning Board's Engineering Consultant (McGoey, Hauser and Edsall Consulting Engineers, P.C.), and its Traffic Engineering Consultant (Creighton Manning Engineering, LLP).

As you know, TMC is seeking site plan approval from this Board to redevelop the approximately 2.7 acre vacant parcel located off of Corel Place, along Routes 52 and 300 (the "Site"), with a new CVS Pharmacy store. The project specifically involves general site preparation and the construction of an approximately 13,600 square-foot free standing building with a prescription drive-thru window. TMC proposes to improve the Site with landscaping and pedestrian amenities, including walkways, driveways, and sitting areas, as well as retaining walls, signage, loading and parking areas, utility connections and other site infrastructure.

Enclosed please find the following items in support of this application:

- Updated Full Environmental Assessment Form, prepared by VHB, together with jurisdictional determinations from the NYS Department of Environmental Conservation and the US Fish and Wildlife Services, dated September 9, 2015 and August 4, 2015;
- Updated Site Plan Checklist, prepared by VHB, dated October 20, 2015;
- Stormwater Management Report, prepared by VHB, dated October 2015;
- Draft Stormwater Pollution Prevention Plan, prepared by VHB, dated October 2015;
- Traffic Impact Study, prepared by VHB, dated October 2015;

**CUDDY &
FEDER^{LLP}**

Michael H. Donnelly, Esq., Planning Board Attorney (By Hand)
Patrick J. Hines, McGoey, Hauser and Edsall Consulting Engineers P.C. (By Hand)
Kenneth W. Wersted, Creighton Manning Engineering, LLP (Federal Express)
Tracey Roll, TMC
Mark Grocki, P.E., VHB
Lucia Chiochio, Esq., Cuddy & Feder, LLP



November 23, 2015

Ref: 41847.44

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Response to Technical Review Comments
CVS/pharmacy
Section 60, Block 3, Lot 5.2

Dear Chairman Ewasutyn and Members of the Planning Board,

VHB is pleased to provide the following responses to review comments that have been received from Kenneth Wersted of Creighton Manning Engineering, LLP, dated November 5, 2015.

Comment 1: The proposal reduces the 6 to 7-foot shoulder on Route 52 to about 1-foot at the entrance to the site. What's the purpose for this?

Response: **The site plans have been revised and curblines adjusted to gain the 6-7 foot shoulder on Route 52. The previously existing shoulder was gravel and not paved. The proposed plans now accommodate a paved shoulder. See sheet C-2.**

Comment 2: The board had inquired about a possible pedestrian connection to Dairy Queen, to which the applicant noted was not practical due to grades and retaining walls between the two properties. Alternatively, the board may want to discuss a sidewalk across the site frontage to accommodate pedestrians.

Response: **A direct pedestrian connection to Dairy Queen is not possible due to the grade differential. However, the Applicant is amenable to providing a sidewalk across the site frontage. The Site Plan has been revised and now accommodates a 4-foot wide sidewalk, and 4-foot snow shelf, along the Route 52 frontage.**

Comment 3: The sidewalk leading up the west side of the driveway to the store should terminate with a curb ramp at the site driveway near Route 52. As it's currently shown, it ends in the grass.

Response: **The Layout & Materials Plan sheet C-2 has been revised with the addition of a sidewalk along the frontage of the site. With the addition of this sidewalk, the**

Engineers | Scientists | Planners | Designers

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White Plains, New York 10606
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Comment 10: The driveway on Route 300 favors a right in, left in, and right out movement, which will have little impact on Route 300 traffic operations. Left turns out onto Route 300 are estimated to be less than 10 trips in the peak hours. This turning movement in particular will be difficult during the peak hours as CVS trips will need to merge into northbound through traffic, which is often queued up to or past this driveway (82% of observations during the PM peak hour and 53% of observations during the Saturday peak hour).

Response: **Comment noted.**

Comment 11: The driveway on Route 52 slightly favors lefts in and rights out. Approximately 12 to 16 trips will turn left out onto Route 52, with 16 to 21 trips turning left in from Route 52. Queuing on Route 52 eastbound, blocks the site driveway approximately 54% of the time during the PM peak hour and 29% of the Saturday peak hour. Many of the lefts in and lefts out of this driveway during the weekday PM peak hour will require courtesy gaps left by Route 52 eastbound drivers.

Response: **Comment noted, see response to Comment No. 12.**

Comment 12: How will this driveway function during the PM peak hour? Will lefts in result in westbound queues onto Route 300? Can lefts out be accommodated with courtesy gaps and will exiting drivers be able to see westbound traffic?

Response: **When compared to the Route 300 driveway, the peak-period through (non-CVS) traffic volumes on Route 52 are lower, the eastbound queues are shorter and the driveway is further away from the Route 52/ Route 300 intersection. Although 54 percent of the Route 52 eastbound observed queues during the PM peak hour extended past the Route 52 site driveway, it is noted that this does not necessarily demonstrate that the driveway will be blocked 54 percent of the time. During the PM peak hour, there will be 21 left turn vehicles entering the driveway and 16 left turn vehicles exiting the driveway. Based on the 54 percent queue "blockage rate" during the PM peak hour, approximately 9 to 11 courtesy gaps will be needed for the left turn vehicles. The CVS driveway will operate similarly to adjacent driveways, such as the neighboring Valero gas station driveway to the west and the driveway to the Red Ginger restaurant across Route 52. The westbound left turn entering movement should not result in significant queues as the travel lane and shoulder measure 19-feet wide which will enable through vehicles to bypass left turners, as is effectively the case in both directions on NY Route 52 at its intersection with NY Route 300. The Route 52 site driveway and the Route 300 driveway will both operate at acceptable levels of service.**

Comment 13: Are the level of service results reported in Table 3 and 4 based on Synchro 8 percentile delays or HCM 2010 control delay? If the latter, please update the table to reflect the HCM methodologies.

Mr. John Ewasutyn, Chairman
Ref: 41847.44
November 23, 2015
Page 5



confirmation that the CVS application is currently under review. We will continue to reach out to the DOT to obtain feedback on the proposal in hopes of obtaining information in advance of CVS' next appearance before the Town of Newburgh Planning Board.

We trust you will find these responses satisfactory. If you wish for additional information, please contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "John Canning".

John Canning, P.E.

Director of Transportation

jcanning@vhb.com

November 24, 2015

BY HAND

Chairman John P. Ewasutyn,
And Members of the Planning Board
Town of Newburgh
308 Gardnertown Road
Newburgh, New York 12550

Re: Proposed CVS Pharmacy/Store (Store # 10688)
Premises: Corel Place (Route 52 and Route 300), Newburgh, New York

Dear Chairman Ewasutyn and Members of the Board:

On behalf of CVS Pharmacy and its developer T.M. Crowley & Associates ("TMC"), we respectfully submit this letter and exhibits to supplement the October 28, 2015 and the August 14, 2015 submission packages. This submission includes additional project details and addresses Planning Board comments from its November 5, 2015 meeting, as well as comments issued by the Planning Board's Engineering Consultant (McGoey, Hauser and Edsall Consulting Engineers, P.C.) dated October 30, 2015 and its Traffic Engineering Consultant (Creighton Manning Engineering, LLP) dated November 5, 2015.

As discussed at the November 5th Planning Board meeting, TMC is seeking site plan approval to construct a new CVS Pharmacy store at the approximately 2.7 acre vacant parcel located off of Corel Place, along Routes 52 and 300 (the "Site"). The project includes an approximately 13,600 square-foot free standing building with a prescription drive-thru window. TMC proposes to improve the Site with significant landscaping, pedestrian amenities, including walkways, driveways, and sitting areas, as well as several low impact design (LID) measures.

As the Planning Board may recall, at the November 5th meeting, the Planning Board issued a waiver of the Town of Newburgh Design Guidelines to allow parking at the front of the proposed CVS store. As discussed at the meeting, the placement of the store building was carefully designed in conjunction with other design considerations such as stormwater management, based on the existing challenging topography of the Site. Moreover, as demonstrated at the November 5th meeting and in the enclosed materials, the project includes extensive landscaping and aesthetic design elements (such as decorative fences and retaining wall enhancements) at the front of the Site as well as throughout the Site.

Supplemental Submission

Enclosed please find the following items in support of this application:

November 24, 2015

Page 2 of 4

- Correspondence from John Canning, P.E. of Director of Transportation for VHB, dated November 23, 2015 providing detailed responses to the review comments provided by the Planning Board's Traffic Engineering Consultant, Creighton Manning Engineering, LLP;
- Correspondence, dated November 23, 2015 and Supplemental Stormwater Memo, dated November 19, 2015, from Patrick N. O'Leary, P.E., Principal of VHB, providing detailed responses to the review comments provided by the Planning Board's Engineering Consultant, McGoey, Hauser and Edsall Consulting Engineers, P.C.
- Full Sized Site Development Plans, prepared by VHB, dated November 23, 2015, including Sheets C-1 through C-10, L-1, L-2, Sv-1, Sv-2, SL-1, TT-1 and TT-2. The Site Development Plan set also includes architectural drawings prepared by BKA Architects, Inc. as Sheets A1, A4.
- Sign plans prepared by Poyant, dated November 23, 2015, identified as sheets 1.1 and 1.2.
- Project view rendering, prepared by G.K.A Architects, Inc., dated November 23, 2015.

Twelve copies of the above items are enclosed with this letter. Copies of this submission were also submitted directly to the Planning Board's Attorney and its traffic and engineering consultants. Additional copies of all materials are available as needed.

Summary of Project Improvements in Response to Comments

The enclosed project materials detail the following design measures in response to the November 5th Planning Board discussion:

- **Architectural Drawings:** The enclosed drawing set includes detailed architectural drawings of the proposed CVS store, identified as Sheets A1 and A4.
- **Rendering:** The enclosed rendering depicts the proposed CVS store and site improvements. As shown therein, the retaining wall at the front of the store includes aesthetic design features to enhance the appearance of the wall. The rendering also shows a portion of the proposed landscaping.
- **Signage:** The enclosed drawings also detail the proposed CVS store signage which includes one pylon sign, three wall signs and directional signs. The total square footage of the proposed signage complies with the Code and with the requirement that it cannot exceed one-half of the linear distance of street frontage along Route 52.
- **Site Plan Details:** The following site improvements are detailed in the enclosed drawings.

November 24, 2015

Page 3 of 4

- A sidewalk is proposed along the frontage of the Site along Route 52 and connects with the sidewalk on the western side of the driveway.
 - The proposed fence at the top of the retaining wall at the edge of the parking area was reduced in height to four feet.
 - The proposed park bench and bike rack were relocated within the north end of the landscaped island located at the entrance to the parking lot. In this location, users of the park bench and bike rack will be surrounded by landscaped features.
 - The dumpster will be fully enclosed by a six foot tall black vinyl fabric chain link fence.
- **Parking:** Two proposed parking spaces were removed to accommodate the relocation of the park bench and bike rack. Thus, the total number of parking spaces is 72 spaces. As discussed at the November 5th meeting, CVS designs its parking area to ensure that adequate parking is available during typical busy store hours as well as holidays. For a CVS store, busy holidays include Mother's Day, Father's Day and other holidays beyond the typical end of the year holidays. The proposed 72 parking spaces will accommodate parking for the proposed 13,600 square-foot store.
 - **Maintenance of Stormwater Features:** A detailed Long Term Operations and Maintenance plan narrative was included in the previously submitted Stormwater Management Report under Appendix E. CVS has also provided measures for draining the stormwater features completely to further deter the potential for mosquitoes. A full explanation is provided in the enclosed correspondence from Patrick N. O'Leary, P.E..

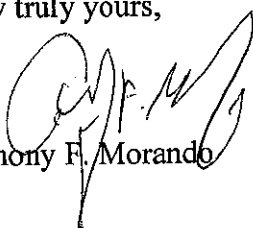
As noted in the enclosed correspondence from John Canning, P.E., VHB is coordinating review of the Traffic Impact Study and the recommendations included therein with the NYS DOT.

Conclusion

We look forward to continuing our discussion with the Planning Board at its meeting on December 3rd and respectfully request that the public hearing be scheduled for January 2016.

In the interim, should the Board or its Consultants have any questions or comments, please do not hesitate to contact me. Thank you in advance for your cooperation and consideration.

Very truly yours,


Anthony F. Morando

**CUDDY &
FEDER^{LLP}**

November 24, 2015

Page 4 of 4

cc: Gerald Canfield, Code Compliance Officer/Supervisor (copy enclosed)
James W. Osborne, P.E., Town Engineer (copy enclosed)
Michael H. Donnelly, Esq., Planning Board Attorney (By Hand)
Patrick J. Hines, McGoey, Hauser and Edsall Consulting Engineers P.C. (By Hand)
Kenneth W. Wersted, Creighton Manning Engineering, LLP (Federal Express)
Tracey Roll, TMC
Patrick O'Leary, P.E, VHB
John Canning, P.E., VHB
Mark Grocki, P.E., VHB
Lucia Chiocchio, Esq., Cuddy & Feder, LLP

PROJECT DIRECTORY

OWNER
 ROUTE 52 NEWBURGH, LLC
 788 SHREWSBURY AVENUE
 TINTON FALLS, NJ 07724
 (201) 489-1177
CONTACT: YVONNE SUN
DEVELOPER
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD,
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 (401) 721-1609

CONTACT: TRACEY ROLL
ARCHITECT
 BKA ARCHITECTS, INC.
 142 CRESCENT STREET
 BROCKTON, MA 02302
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CONTACT: KEVIN PATON
CIVIL ENGINEER
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 ENGINEERING, SURVEYING &
 LANDSCAPE ARCHITECTURE, PC.
 50 MAIN STREET, SUITE 360
 WHITE PLAINS, NY

 100 GREAT MEADOW ROAD
 SUITE 200
 WETHERSFIELD, CT 06109
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CONTACT: MARK GROCKI
SURVEYOR
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 LANDSCAPE ARCHITECTURE, PC
 100 MOTOR PARKWAY, SUITE 135
 HAUPPAUGE, NY 11788

 100 GREAT MEADOW ROAD
 SUITE 200
 WETHERSFIELD, CT 06109
 (860)807-4300
CONTACT: CHRISTOPHER DANFORTH

GEOTECHNICAL ENGINEER
 RANSOM CONSULTING, INC.
 PEASE INTERNATIONAL TRADEPORT
 112 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603)436-1490
CONTACT: KENNETH W. MILENDER
ENVIRONMENTAL ENGINEER
 RANSOM CONSULTING, INC.
 2127 HAMILTON AVENUE
 HAMILTON, NEW JERSEY 08619
 (609)584-0090
CONTACT: BRIAN PETTINGILL

UTILITY PROVIDERS
WATER AND SEWER
 TOWN OF NEWBURGH WATER &
 SEWER DEPARTMENT
 WATER: (845) 564-7083
 SEWER: (845) 564-7813(205)
CONTACT: STEVE GROGAN (SEWER)
AND JOHN PLATT (WATER)
ELECTRIC AND GAS
 CENTRAL HUDSON GAS AND
 ELECTRIC CORP
 NEWBURGH DIVISION
 (845)452-2700
CONTACT: LISA CARVER
TELECOMMUNICAITONS
 FRONTIER

SITE DEVELOPMENT PLANS FOR:

CVS/pharmacy®

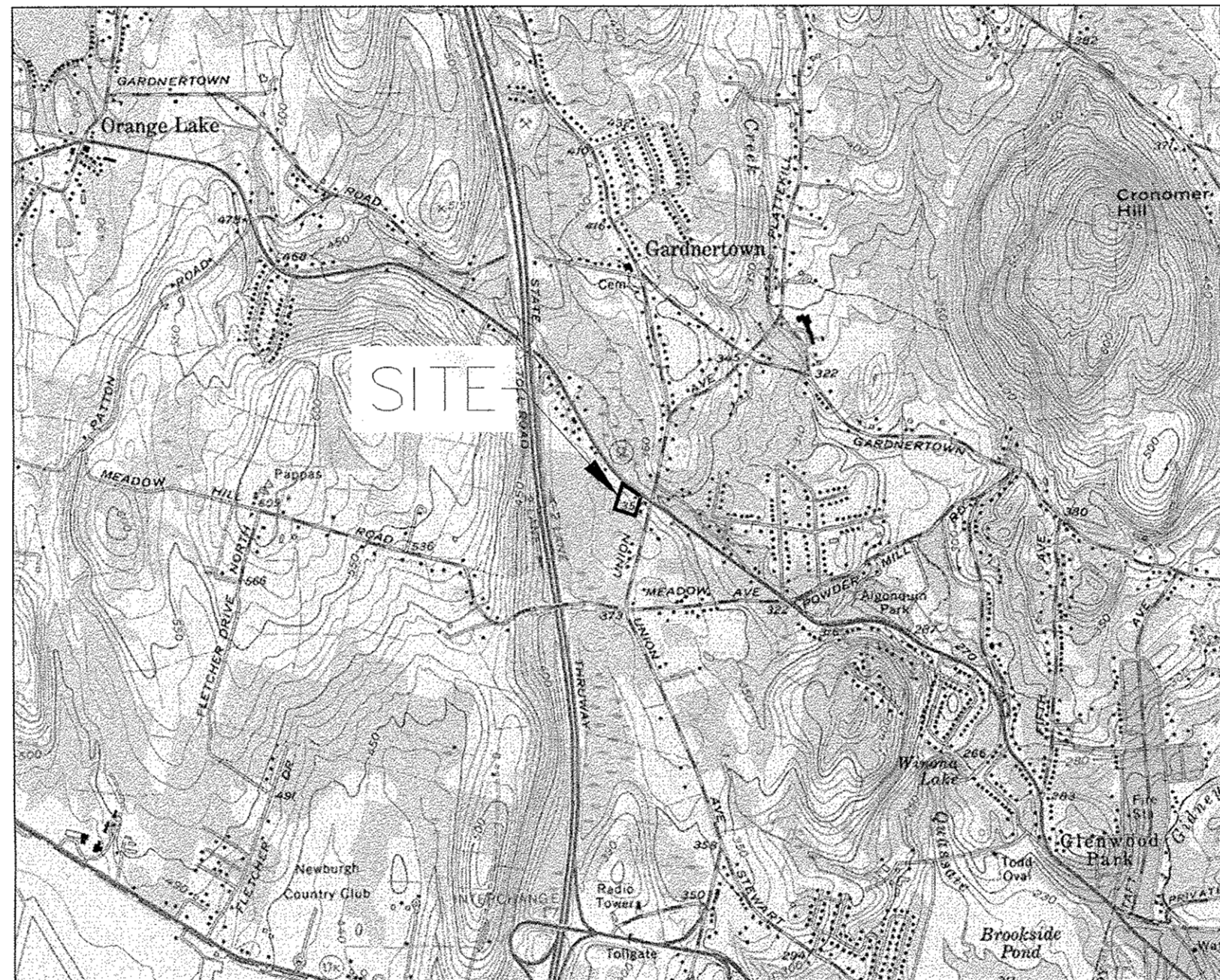
STORE NO. 10688

SOUTH PLANK ROAD (RTE. 52) & UNION AVENUE (RTE. 300)

TOWN OF NEWBURGH, NEW YORK

MAP 60 BLOCK 3 LOT 5.2

ZONED: B- BUSINESS & IB - INDUSTRIAL BUSINESS



VICINITY MAP
 1"=2,000'

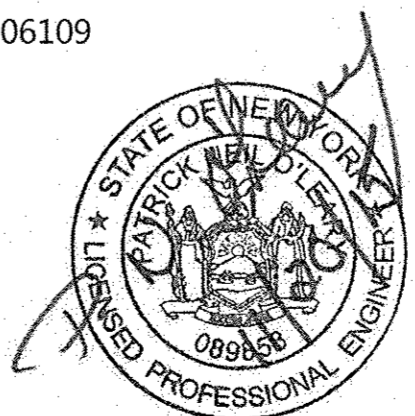
SITE AREA= ±2.7 ACRES

PREPARED BY:



Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

OCTOBER 19, 2015
 41847.44



SHEET INDEX

- COVER SHEET
- C-1 LEGEND, ABBREVIATIONS & GENERAL NOTES
- C-2 LAYOUT & MATERIALS PLAN
- C-3 GRADING & DRAINAGE PLAN
- C-4 UTILITY PLAN
- C-4.1 LOCAL TOWN WATER & SEWER INSTALLATION STANDARDS & PROCEDURES
- C-5 EROSION & SEDIMENTATION CONTROL PLAN
- C-6 SITE DETAILS 1
- C-7 SITE DETAILS 2
- C-8 SITE DETAILS 3
- C-9 SITE DETAILS 4
- C-10 SITE DETAILS 5
- L-1 PLANTING PLAN
- L-2 PLANTING DETAILS

REFERENCE PLANS

- Sv-1 ALTA/ACSM LAND TITLE SURVEY-PROPERTY SURVEY
- Sv-2 ALTA/ACSM LAND TITLE SURVEY-TOPOGRAPHIC SURVEY
- SL-1 SITE LIGHTING PLAN
- TT-1 TRUCK TURNING MOVEMENT PLAN 1 - WB-62
- TT-2 TRUCK TURN MOVEMENT PLAN 2 - WB-62
- A1 FLOOR PLAN AND DETAILS
- A4 EXTERIOR ELEVATIONS
- I.1 BUILDING SIGNAGE - SIGN ELEVATION (UNDER SEPARATE COVER)
- I.2 BUILDING SIGNAGE - SITE PLAN (UNDER SEPARATE COVER)

REVISIONS:			
NO.	DESCRIPTION:	INITIALS:	DATE:
1.	PER TOWN COMMENTS	AMK	11/23/15

Zoning Summary Chart

Zoning Districts: B - Business & IB - Interchange Business

Zoning Regulation Requirements	Required *	Provided
MINIMUM LOT AREA	15,000 SF (±0.34 ACRES)	117,978 SF (2.7 ACRES)
FRONTAGE	N/A	353.8 FT
FRONT YARD SETBACK	60 FT	175 FT
SIDE YARD SETBACK	15 FT	56.6 FT
REAR YARD SETBACK	30 FT	60.0 FT
MINIMUM LOT WIDTH	100 FT	236 FT
MINIMUM LOT DEPTH	125 FT	348 FT
MAXIMUM BUILDING HEIGHT	35 FT	20'-4"
MAXIMUM BUILDING COVERAGE	60%	11.5%
MAXIMUM LOT SURFACE COVERAGE	85%	63.7%
INTERIOR PARKING LANDSCAPING PERCENTAGE	5%	5%

* REQUIRED ZONING SHOWN OF B - BUSINESS DISTRICT.

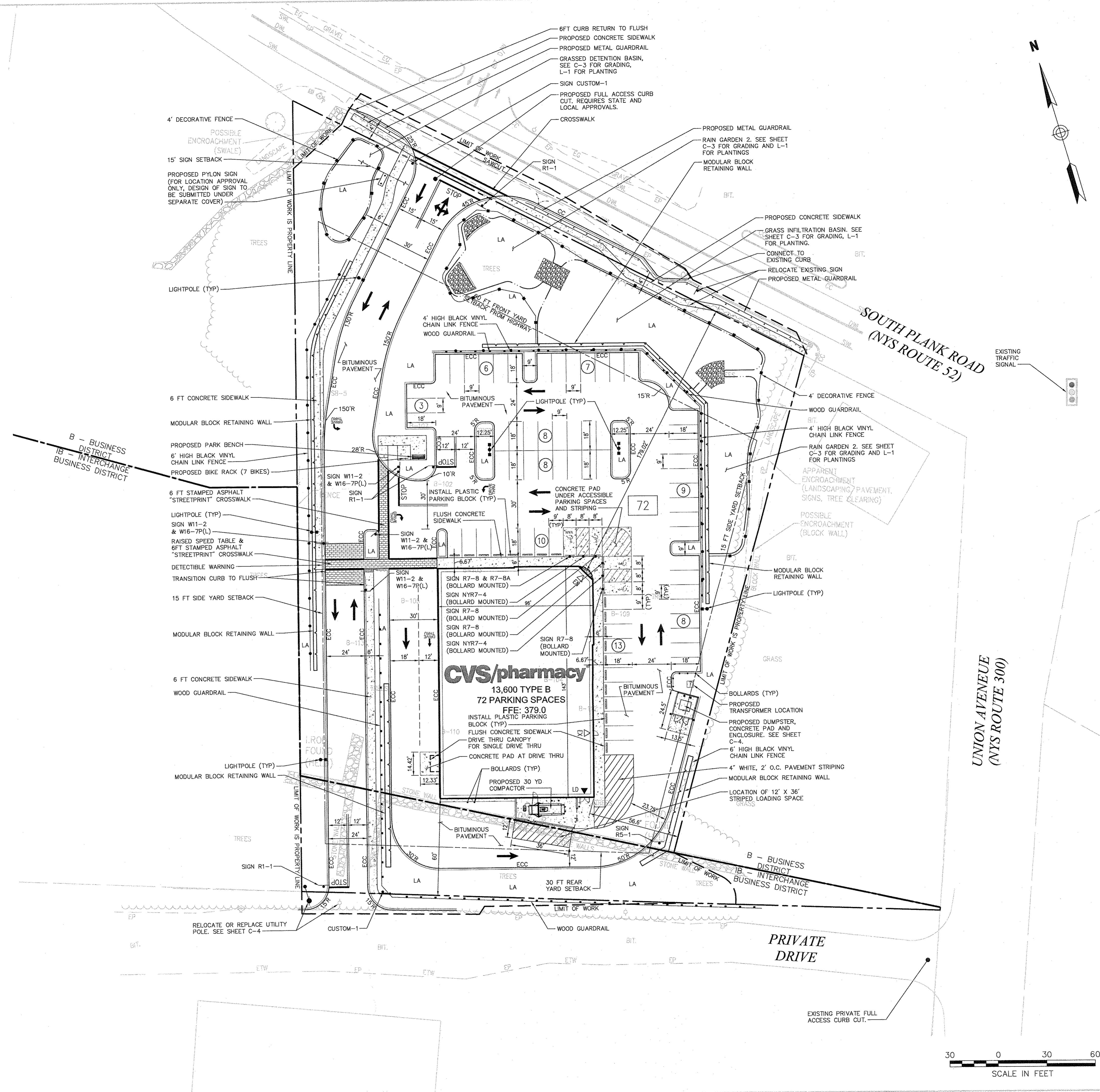
Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	TBD	68
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	TBD	3
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	1	1
TOTAL SPACES			TBD	72
LOADING BAYS**			1	1

* NY STATE ADA REQUIREMENTS: FOR A TOTAL 75 TO 100 SPACES PROVIDED, THE REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES IS 4 SPACES.
 ** LOADING SPACES: BUILDING UNDER 25,000 SF - 1 LOADING SPACE IS REQUIRED.

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING
R7-8A	12"	6"	VAN ACCESSIBLE
NYR7-4	12"	18"	NO STOPPING ANY TIME
RS-1	30"	30"	DON'T ENTER
W1-2	30"	30"	WALKING
W16-7P(L)	24"	12"	LEFT TURN
Custom Signs	Specification Width	Specification Height	Desc.
CUSTOM-1	12"	18"	NO PASS THRU TRAFFIC



CVS pharmacy

**13,600 SF - TYPE B
SIDE DRIVE-THRU**

STORE NUMBER: **10688**
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: **84094**

ENGINEER:

Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

DEVELOPER:

T.M.
CROWLEY & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:

REVISIONS:

NO.	DESCRIPTION	DATE
1	PER TOWN COMMENTS	11/23/15

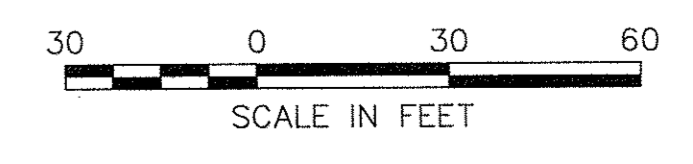
PROJECT MANAGER: PNO
 PLANNING ENGINEER: AMK / AEF
 REVIEWED BY: MRC
 DATE: October 19, 2015
 JOB NUMBER: 41847.44
 TITLE:

Layout & Materials Plan

SHEET NUMBER:
C-2

COMMENTS:
 NOT ISSUED FOR CONSTRUCTION

02_41847.44_LM.DWG



BENCHMARK:
SPIKE SET IN UTILITY
POLE #39272
ELEV. = 365.64'
NAVD 88 DATUM

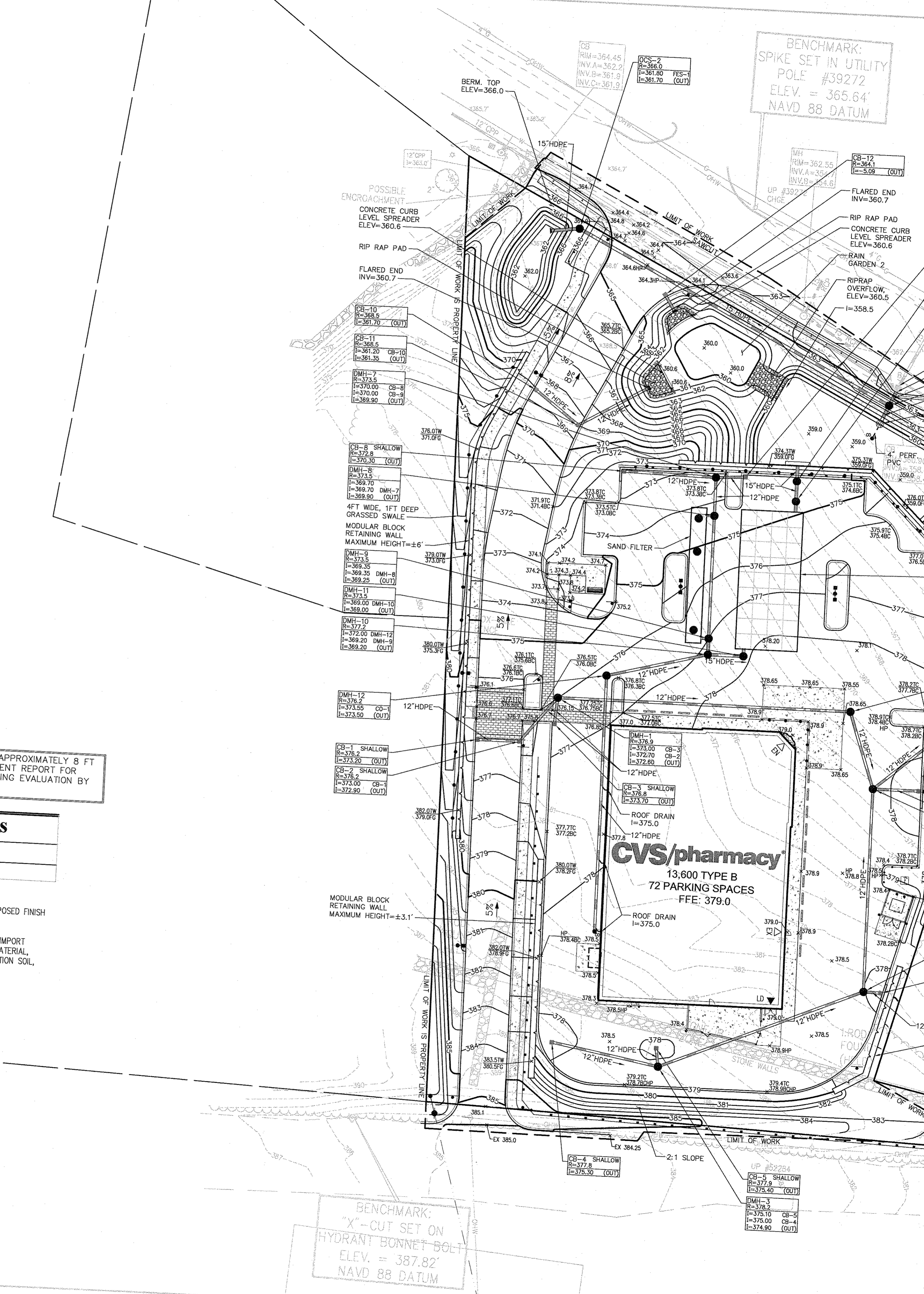
GROUNDWATER LEVELS ON SITE ARE AT DEPTHS RANGING FROM APPROXIMATELY 8 FT TO 10 FT BELOW EXISTING GRADES. SEE STORMWATER MANAGEMENT REPORT FOR FURTHER DISCUSSIONS AS WELL AS THE GEOTECHNICAL ENGINEERING EVALUATION BY RANSOM CONSULTING, INC. DATED JULY 7, 2015.

Preliminary Cut/ Fill Analysis		
Cut	Fill	Net
9,378 CY + 3,700 CY *	6,390 CY	6,688 CY - CUT

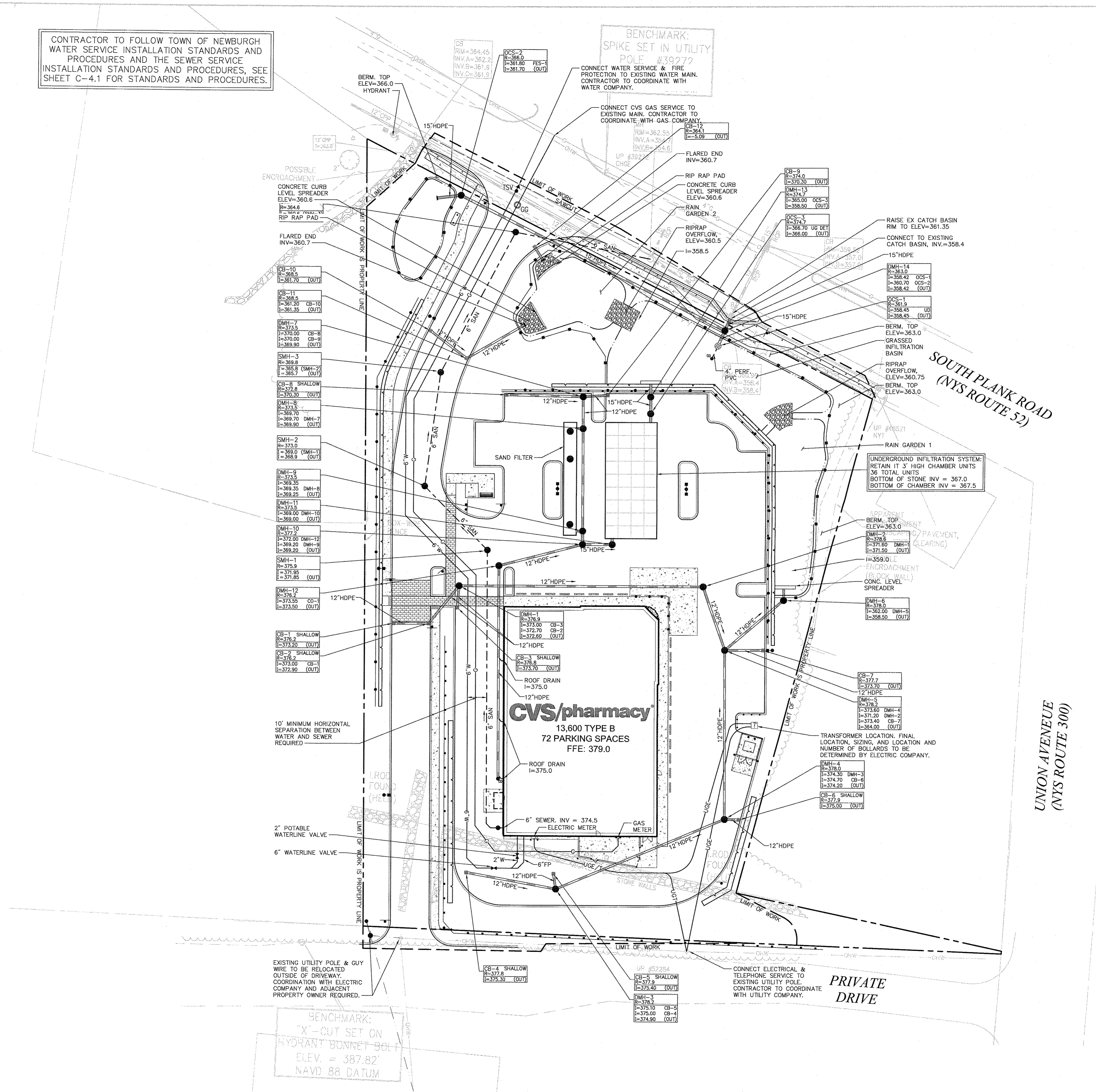
NOTE: CUT/ FILL ANALYSIS IS BASED ON SURVEY DATA OBTAINED BY VHB.
METHOD: 3D SURFACE ANALYSIS (CIVIL 3D) FROM EXISTING FINISH GRADE TO PROPOSED FINISH GRADE, NO FACTORS FOR SHRINK/SWELL HAVE BEEN APPLIED.

* AN ADDITIONAL CUT OF APPROX. 3,700 CY HAS BEEN ADDED TO ACCOUNT FOR IMPORT MATERIAL FOR PAVEMENT SECTION & BASE MATERIAL, BUILDING SLAB & BASE MATERIAL, SIDEWALKS, CONCRETE PADS, RETAINING WALL & STONE, RAIN GARDEN BIOTENTION SOIL, ETC.

TOTAL SITE AREA TO BE CLEARED = 2.7-ACRES



CONTRACTOR TO FOLLOW TOWN OF NEWBURGH WATER SERVICE INSTALLATION STANDARDS AND PROCEDURES AND THE SEWER SERVICE INSTALLATION STANDARDS AND PROCEDURES, SEE SHEET C-4.1 FOR STANDARDS AND PROCEDURES.



CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) & UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 84094

ENGINEER:

 Engineering, Surveying & Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

DEVELOPER:
 T.M.
CROWLEY & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
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 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:

REVISIONS:

1	PER TOWN COMMENTS	11/23/15
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PROJECT MANAGER: PNO
PLANNING ENGINEER: ANK / AEF
REVIEWED BY: MRC
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE: Utility Plan
SHEET NUMBER: C-4
COMMENTS: NOT ISSUED FOR CONSTRUCTION
 04_41847.44_UT.DWG

**Town of Newburgh
Water Service Installation
Standards & Procedures**

Scope: It is the intent of this standard to provide the basic procedures that shall be required of anyone wishing to obtain a new service connection or repair an existing water service connection to a Town of Newburgh water line.

Basic elements covered are:

Procedure	Item
WS - 1	Permit requirement, curb box and valve
WS - 2	Water service line
WS - 3	Water Meter
WS - 4	Previous water service
WS - 5	Final system inspection
WS - 6	System maintenance

Standards & Procedures

WS - 1 Permit Requirements: Prior to initiating any work on the installation of new service connection or repair of an existing service connection to a Town of Newburgh water line, the applicant needs an application and permit issuance. Contact the:

Town of Newburgh Water Distribution Department
311 Route 32
Newburgh, NY 12550
Phone: 845-564-7813

The applicant shall employ and approved plumber who can perform in a workman-like manner satisfactory to the Town of Newburgh.

WS - 2 Water: In the installation of a new service line, all work shall be performed at the owner's expense. If there is an existing curb box and valve installed, the applicant shall be responsible for providing service from the curb box and valve to the building. If there is no existing curb box and valve, the applicant shall be responsible for providing from the Town water line to the building.

Note: All work within the Town Highway right-of-way shall be covered by a highway work permit obtainable from:

Town of Newburgh Highway Department
90 Gardnertown Road
Newburgh, NY 12550
Phone: 845-561-2177

**Town of Newburgh
Sewer Service Installation Standards and Procedures**

Chapter 148 of the Town of Newburgh Municipal Code contains all the regulations of the Town of Newburgh regarding the connection to and use of the Town of Newburgh sewers. Portions of the Town of Newburgh Municipal code, Chapter 148 are outlined below.

Section 148-23 (A): No unauthorized person shall uncover, make any connection with or opening into, use, alter or disturb any public sewer or appurtenance thereof without obtaining a written permit from the Sewer Superintendent.

Section 148-26: A permit application shall be submitted to the Superintendent. The permit application shall be supplemented by any plans, specifications or other considered pertinent, in the judgment of the Superintendent.

Applications for a Sewer Permit: Applications are available at the Sewer Department office located at 311 Route 32, Newburgh, NY 12550. Applications must be completely filled out and signed by the property owner and contractor with all required attachments before a permit will be issued. Permits will be available for issuance within two working days after the receipt of a completed permit application. Payment for the permit is required at the time of issuance. Payment will not be accepted at the time of submitting the application.

Town of Newburgh Road Opening Permits: Permits are available from the Town of Newburgh Highway Department located at 90 Gardnertown Road, Newburgh, NY 12550.

Section 148-28: Lateral Pipe Materials: Building and Street lateral pipe materials shall be one of the following:

1. Tar-coated, service grade cast iron soil pipe conforming to ASTM specifications A-74, cast iron pipe and fittings.
2. Polyvinyl chloride (PVC) pipe and fittings conforming to ASTM specification D-3034-73, SDR-35 polyvinyl chloride (PVC) sewer pipe fittings. All pipe shall be suitable for gravity sewer service.
LATERAL SLOPE - 4" pipe, minimum 1/4" per foot
6" pipe, minimum 1/8" per foot
8" pipe, minimum 1/16" per foot

Note: Oversize sewers will not be approved to justify using flatter slopes.

Cleanouts: One cleanout per unit up to 100' located at or near the property line and every 50' thereafter and at every change in the direction of the pipe. Cleanout size is to be the same as the lateral size. The cleanout shall terminate in a metal box embedded in concrete or a concrete box with a metal lid marked "SEWER". The cleanout box lid shall be placed at final grade.

Existing Septic Tank: Tanks must be pumped out and removed or filled with acceptable material to avoid settling. A receipt that the tank was pumped out must be provided to the Town.

Sewer laterals must be used for sanitary wastes only. No storm, floor drain, foundation drains or sump pump connections. Existing tanks are to be abandoned when switching solely to Town of Newburgh Sewer.

Section 148-36: Inspection and Connection Inspection: The applicant for the building lateral permit shall notify the Superintendent when the building lateral is ready for inspection and connection to the street lateral is to be made. The connection shall be made under the observation of the Superintendent or his designee. When street laterals are installed pursuant to

Valve requirements for the service line shall be as follows:

- A gate or ball valve shall be installed in the line at the meter on the house service side of the meter.
- A gate of ball valve shall be installed in the service line within the building just before the meter connection.

Note: "a" and "b" above are for future meter replacement or repair.

- Curb box and valve, should they not exist, shall be installed in the service line approximately eighteen (18") inches in front of the applicant's property line. Each curb box cover shall have the word "water" cast on it.

All service line fittings from Town water line to meter shall be of a **flared type**. All service lines shall have a **minimum cover of four to one-half feet (4 1/2')**. All service lines shall have a minimum inside diameter of three quarters of an inch (3/4"). All service lines with an inside diameter up to and including two inches (2"), shall be type K-soft tempered copper tubing meeting U. S. Government specifications. The Town of Newburgh **shall reserve the right to specify the size and type of service lines to be used**. Water Distribution personnel **shall inspect all service line installations prior to backfilling**. The Town of Newburgh **shall witness all Taps**.

Preliminary Inspection - please make sure of the following:

- Service line is four and one-half feet (4 1/2') below ground level.
- All fittings are of the flare type.
- The gate valve has been installed inside the building at the end of the service line. (see valve requirements item b).

The Water Distribution Department will inspect the installation, pressure test and flush the line. If the installation is satisfactory, the applicant may then backfill the excavation. Backfill shall provide one foot (1') of rock-free dirt over the copper service line to prevent damage from stones.

WS - 3 Water Meter: Water meters are supplied and maintained by The Town of Newburgh. Water meters shall be located immediately inside the building in a location which is warm enough to prevent freezing. The location shall also be easily accessible to provide for meter reading and repair.

WS - 4 Previous Water Service: All previous non Town water supply lines, such as well supply, shall be disconnected from any lines supplying the building with Town of Newburgh water.

Previous water supplies such as wells may be used for lawn watering etc., but shall not in any way be cross connected to the Town water supply system.

Section 148-16 (subdivisions), the property owner, builder or developer shall notify the Superintendent when the street lateral is ready for inspection and connection to the main sewer, and such connection shall be made under the observation of the Superintendent. The Town of Newburgh Sewer Department must be notified at least twenty-four (24) hours before beginning any work. (We prefer 48 hour notice).

Trench Inspection: When trenches are excavated for the laying of building lateral pipes or laying of street lateral pipes pursuant to Section 148-16, such trenches shall be inspected by the Superintendent. Before trenches are backfilled, the person performing such work shall notify the Superintendent when the laying of the building lateral is completed and no backfilling of trenches shall begin until approval is obtained from the Superintendent.

No coiled, flex or rolled PVC can be used for pressure laterals.

No commencement of work, preliminary for final inspection can be done without a Sewer Permit.

Sewer Repairs: When doing a Sewer Service Repair, a repair report must first be completed and submitted to the Town of Newburgh Sewer Department.

Manholes: All manholes, public or private are to be vacuum tested.

Manholes will be placed where there is a change in slope or alignment and at intervals not exceeding 400 linear feet. Manholes need to have butyl between manhole sections, not O-rings. Permits will only be held for a maximum of five (5) years. At that time, a new permit must be obtained.

The Flow Channel is to have a smooth curvature form inlet to outlet.

Gravity Air-Testing Sewer Mains: 4psi for 7 minutes/1 psi allowable drop.

Vacuum Testing Manholes Under 10': 10Hg for 60 seconds/1.0" Hg allowable drop.

Vacuum Testing Manholes Over 10': 10Hg for 75 seconds/1.0" HG allowable drop.

Vacuum Testing Manholes Over 15': 10Hg for 90 seconds/1.0Hg allowable drop.

Pipe Bedding shall be crushed stone/gravel, type D-1, minimum size 1/2", maximum size 1".

Manhole Sub Base: to have type D-1 stone.

Tapping into Sewer Main: SDR35 to existing connection at main (if possible).

Use Fernco Seal between SDR35 and elbow (if no elbow present see Romax Sewer Saddle).

Only Romax Sewer Saddles are permitted.

Demolition: A Sewer Repair Report is required for the Sewer Department before demolitions begins. Sewer laterals are to be disconnected at the main and clamped. For pressure sewers: Curb box shut off and capped near property line when abandoned and where there is a pump pit to be removed. If system is to be re-used, then a cap on the inside of pit or at building for pressure sewer.

Commercial: All commercial buildings are required to submit a cut sheet (materials used) and site plans when the Sewer Permit Application is submitted.

CALL BEFORE YOU DIG: New York State Industrial Code requires two (2) working days notice before you dig, drill or blast.

STOP and CALL Underground Utilities Call Center at 1-800-962-7962.

WS - 5 Final System Inspection: When all elements of the system have been installed, the applicant should call for a final inspection to:

Town of Newburgh Water Distribution Department
845-564-7813

Upon approval the curb valve shall be opened and the meter area will be checked for leaks.

Upon final system approval, the meter shall be sealed and the system placed in operation.

WS - 6 System Maintenance: When the system is deemed operational, the future maintenance shall be as follows:

- Owner - maintains service line from curb valve to the building.
- Town of Newburgh - maintains the curb valve and box, service line from curb valve to main, water meter.

***** PLEASE NOTE *****

If the applicant wishes to deviate from the above standards, he/she shall first contact the Water Distribution Superintendent for prior approval.

Any service line covered without first being inspected will have to be uncovered for said inspection.



**13,600 SF - TYPE B
SIDE DRIVE-THRU**
STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:



Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

DEVELOPER:

T. M.
CROWLEY
& ASSOCIATES

T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

SEAL:



REVISIONS:

1	PER TOWN COMMENTS	11/23/15
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PROJECT MANAGER: PNO

PLANNING ENGINEER: AMK / AEF

REVIEWED BY: MRG

DATE: October 19, 2015

JOB NUMBER: 41847.44

TITLE: **Local Water &
Sewer Installation
Standards & Procedures**

SHEET NUMBER:

C-4.1

COMMENTS:

NOT ISSUED FOR CONSTRUCTION

Site S&E Narrative:

THE PROPOSED PROJECT CONSISTS OF CONSTRUCTING AN APPROXIMATELY 13,600 SQUARE FOOT RETAIL BUILDING WITH ASSOCIATED PARKING, DRIVEWAYS, UNDERGROUND UTILITIES, AND STORMWATER MANAGEMENT SYSTEM. THE APPROXIMATELY 2.7 ACRE SITE WILL BE DEVELOPED IN A SINGLE PHASE PROJECT. THE ENTIRE 2.7 ACRE SITE WILL BE DISTURBED DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY TECHNIQUES OUTLINED IN THE CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENT IS NOT TRANSPORTED OFF-SITE. THE EARTHWORK IS PLANNED TO START FEBRUARY 2016 AND BE COMPLETED NOVEMBER 2016. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE NYS DEC EROSION GUIDELINES. REFER TO THE DRAINAGE/STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION.

Construction Sequence

1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADS/HIGHWAYS AND THEIR DRAINAGE SYSTEM, NEIGHBORING PROPERTIES, AND REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL PROVIDE THE TOWN OF NEWBURGH, NEW YORK WITH THE NAME OF CONTACT AND 24 HOUR CONTACT INFORMATION.
2. CONTRACTOR SHALL ADHERE TO NYS DEC GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
3. CONTRACTOR SHALL PREPARE AND SUBMIT THE SWPPP AND NOI TO THE APPROVING AUTHORITY PRIOR TO CONSTRUCTION.
4. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
5. HOLD PRECONSTRUCTION MEETING. (REMEMBER TO CALL "DIG SAFE" 1-800-962-7962).
6. NOTIFY THE TOWN OF NEWBURGH, NEW YORK AGENT, ZONING ENFORCEMENT OFFICER AND ENGINEERING DEPARTMENT, 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
7. INSTALL STABILIZED VEHICLE CONSTRUCTION ENTRANCE.
8. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSION SWALES OR TEMPORARY SEDIMENT TRAPS, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.
9. INFILTRATION TESTING SHALL BE PERFORMED PRIOR TO CONSTRUCTION.
10. INSTALL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE E&S PLAN FOR THE SITE INCLUDING SILTFENCE BARRIERS, SILT SOCKS, STRAW BALES, AND SILT SACKS.
11. COMPLETE CLEARING AND GRUBBING.
12. ESTABLISH ROUGH GRADE ON THE SITE.
13. CONSTRUCT 13,600 SF FREE STANDING RETAIL PHARMACY BUILDING AND UNDERGROUND UTILITIES. INSTALL SILT SACKS SEDIMENT TRAPS IN ALL NEW CATCH BASINS.
14. CONSTRUCT RETAINING WALLS.
15. BEGIN FORMATION OF INFILTRATION BASIN & RAIN GARDENS & STABILIZE SLOPES WITH EROSION CONTROL MATTING & HYDROSEED.
16. CONSTRUCT DRIVE-THRU AND DRIVE-THRU LANE.
17. INSTALL PAVEMENT BASE & FIRST COURSE OF BITUMINOUS CONCRETE.
18. MILL PAVEMENT SURFACE IN LIMIT OF WORK.
19. INSTALL LANDSCAPING.
20. LOAM AND SEED ALL DISTURBED AREAS.
21. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
22. INSTALL FINAL OVERLAY COURSE OF PAVEMENT.
23. ONCE SITE IS STABILIZED AND VEGETATION IS ESTABLISHED, REVIEW CONDITIONS WITH TOWN AND DETERMINE IF THE REMAINDER OF EROSION AND SEDIMENT CONTROLS CAN BE REMOVED.

Erosion and Sedimentation Control Techniques

THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL AUGUST 2005.

SILT FENCING
IN AREAS WHERE HIGH RUNOFF VELOCITIES OR HIGH SEDIMENT LOADS ARE EXPECTED, HAY BALE BARRIERS WILL BE BACKED UP WITH SILT FENCING. THIS SEMI-PERMEABLE BARRIER MADE OF A SYNTHETIC POROUS FABRIC WILL PROVIDE ADDITIONAL PROTECTION. THE SILT FENCES AND HAY BALE BARRIER WILL BE REPLACED AS DETERMINED BY PERIODIC FIELD INSPECTIONS.

STRAW BALE BARRIERS
STRAW BALE BARRIERS WILL BE PLACED TO TRAP SEDIMENT TRANSPORTED BY RUNOFF BEFORE IT REACHES THE DRAINAGE SYSTEM OR LEAVES THE CONSTRUCTION SITE. BALES WILL BE SET AT LEAST FOUR INCHES INTO THE EXISTING GROUND TO MINIMIZE UNDERCUTTING BY RUNOFF.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

STABILIZED CONSTRUCTION ENTRANCE/EXIT
A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SOODING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

STOCKPILE MANAGEMENT
SIDESLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. HAYBALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOW OF SLOPE.

DUST CONTROL
PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

CONCRETE WASHOUT STATION
STATION FOR THE SAFE CONTAINMENT AND RECYCLING OF CONCRETE WASHOUT WASTEWATER AND SOLIDS. PERMIT CONCRETE TRUCKS AND PUMPS CAN SAFELY WASH OUT AFTER POURING CONCRETE AND WASTE CAN BE DISPOSED OF IN THE APPROPRIATE MANNER.

Post Construction Stormwater Management

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT STORMWATER MANAGEMENT SYSTEMS BE INSPECTED AND MAINTAINED. THE FOLLOWING PLAN COMPONENTS SHALL BE ADHERED TO:

SITE LAYOUT / SOURCE CONTROL
THE SITE LANDSCAPING / PERENNIAL AREA HAS BEEN INCREASED BY APPROXIMATELY 0.171 ACRES (7,450 SF) WHICH WILL DECREASE THE STORMWATER RUNOFF FLOWS FROM THE SITE. ADDITIONALLY, A COMPREHENSIVE SOURCE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE, WHICH INCLUDES ANNUAL CATCH BASIN CLEANING, PAVEMENT SWEEPING, AND ENCLOSURE AND MAINTENANCE OF ALL DUMPSTER, COMPACTORS AND LOADING AREAS.

SNOW MANAGEMENT
AS MUCH AS POSSIBLE, SNOW WILL BE ALLOWED TO MELT ON PAVEMENT WHERE DEBRIS AND SAND MAY BE DEPOSITED AND SWEEPED UP FOR DISPOSAL AND SNOW MELT CAN ENTER THE STORMWATER MANAGEMENT SYSTEM WHERE IT WILL RECEIVE PROPER TREATMENT. AMPLE SNOW STORAGE AREA IS PROVIDED BETWEEN THE FRONT PARKING FIELD AND THE FRONT DRIVEWAY, TO THE SOUTHWEST OF THE REAR DRIVEWAY, ON THE EMBANKMENT DIRECTLY BEHIND THE BUILDING, AND IN THE LANDSCAPED AREA TO THE EAST OF THE BUILDING. SNOW STORAGE WILL BE KEPT OUT OF THE INFILTRATION BASIN AND RAIN GARDEN FEATURES AS MUCH AS POSSIBLE. SO SANDS, SEDIMENT, AND SALT DO NOT CLOG THE INFILTRATION PRACTICES. IF REQUIRED DURING HEAVY SNOW EVENTS, SNOW WILL BE REMOVED FROM THE SITE VIA TRUCK HAULING.

CATCH BASINS WITH SUMPS AND OIL/DEBRIS TRAPS
CATCH BASINS AT THE SITE ARE TO BE CONSTRUCTED WITH SUMPS (MINIMUM 4-FEET) AND OIL/DEBRIS TRAPS TO PREVENT THE DISCHARGE OF SEDIMENTS AND FLOATING CONTAMINANTS. CATCH BASINS WILL BE CLEANED TWICE PER YEAR.

GRASSED INFILTRATION BASIN
THE GRASSED INFILTRATION BASIN IS AN ABOVE-GROUND INFILTRATION AREA TO BE USED FOR PEAK RUNOFF AND VOLUME ATTENUATION. THE BASIN SHALL BE CLEANED OF DEBRIS AND ANY EROSION SHALL BE REPAIRED IMMEDIATELY UPON IDENTIFICATION THROUGHOUT THE YEAR.

RAIN GARDENS
THE RAIN GARDENS MANAGE AND TREAT STORMWATER RUNOFF USING A CONDITIONED PLANTING SOIL BED AND PLANTING MATERIALS TO FILTER RUNOFF STORED WITHIN A SHALLOW DEPRESSION. IT IS RECOMMENDED THE RAIN GARDENS BE INSPECTED MONTHLY FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION COMPLETION FOR SIGNS OF EROSION, PLANT ESTABLISHMENT, EMBANKMENT STABILIZATION, ETC. THE RAIN GARDENS SHALL THEN BE INSPECTED BIANNUALLY FOR THE FIRST YEAR AND ANNUALLY THEREAFTER FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC. THE MULCH SHALL BE REPLACED OR REPLENISHED EACH YEAR, PREFERABLY IN THE SPRING.

UNDERGROUND DETENTION / INFILTRATION SYSTEM
THE UNDERGROUND DETENTION / INFILTRATION SYSTEM CONSISTS OF RETAIN-IT CONCRETE CHAMBERS (OR APPROVED EQUAL). IT IS RECOMMENDED THAT THE SYSTEM BE INSPECTED A MINIMUM OF TWICE PER YEAR AND CLEANED AT LEAST ONCE A YEAR, IF REQUIRED, BY MEANS OF JET-VAC.

SAND FILTER
THE SAND FILTER IS AN UNDERGROUND CONCRETE CHAMBER CONSISTING OF A PRE-TREATMENT SEDIMENT CHAMBER, WHICH INCLUDES DISTRIBUTION CHAMBER FOR VELOCITY DISPERSION, A FILTRATION CHAMBER, AND OUTLET CHAMBER. THE FILTRATION CHAMBER WILL CONTAIN THE NECESSARY SAND (MEETING ASTM-C33 SPECIFICATION). IT IS RECOMMENDED THAT THE SAND FILTER BE INSPECTED TWICE PER YEAR AND SEDIMENT CHAMBER CLEANED/VACUUMED ONCE PER YEAR, IDEALLY IN THE SPRING AFTER SNOWMELT. THE SAND WITHIN THE FILTRATION CHAMBER SHALL BE REPLACED WHEN FILTRATION HAS BECOME NOTICEABLY COMPROMISED, OR AFTER 10 YEARS, WHICHEVER COMES FIRST.

Temporary Erosion and Sedimentation Control Maintenance (throughout construction)

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.

THE SITE CONTRACTOR WILL INSPECT ALL SEDIMENT AND EROSION CONTROL STRUCTURES PERIODICALLY AND AFTER EACH RAINFALL EVENT. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

THE UNDERSIDE OF STRAW BALES AND SILT SOCKS ARE TO BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

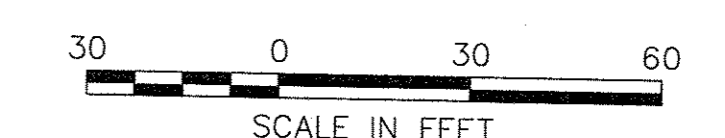
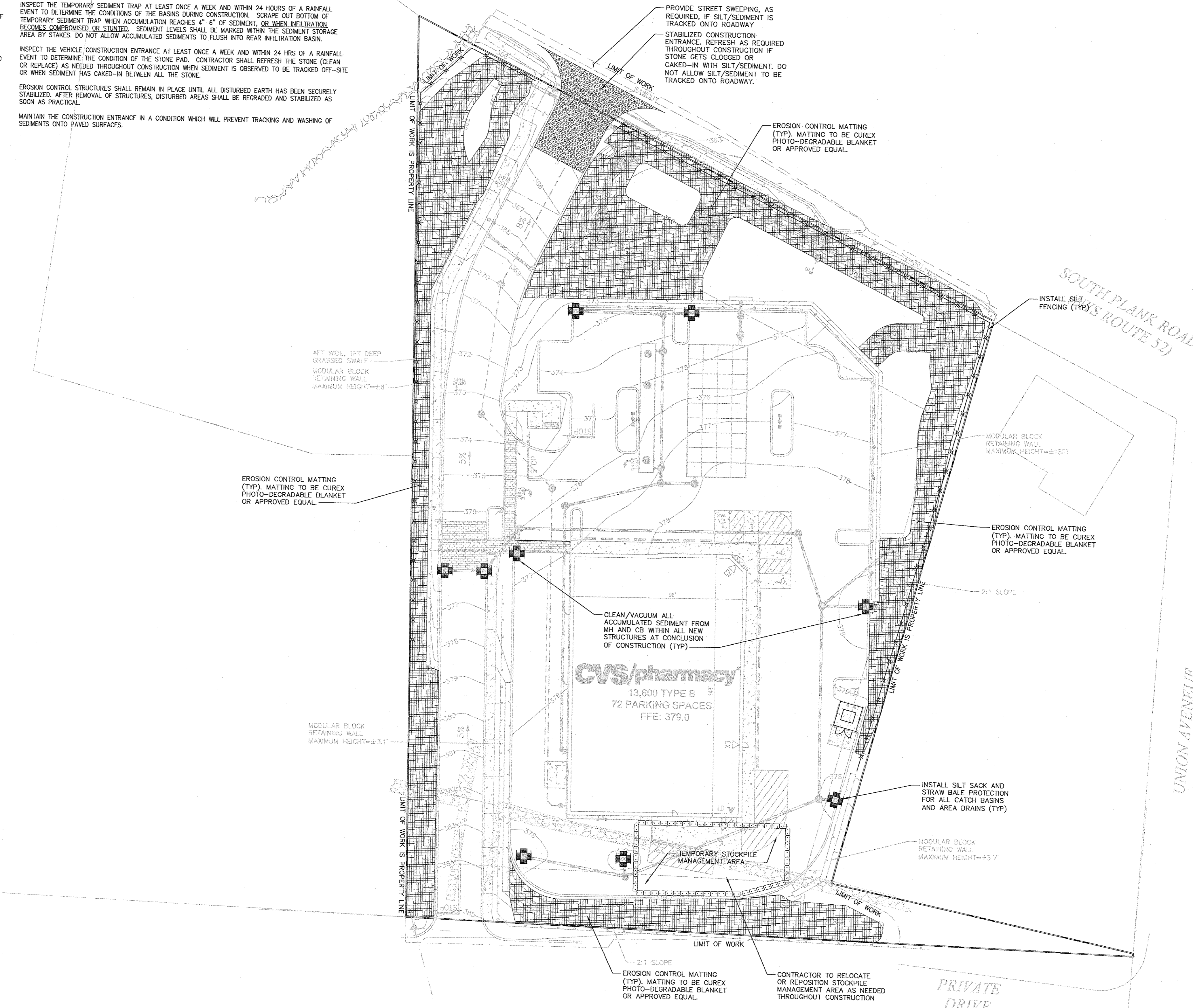
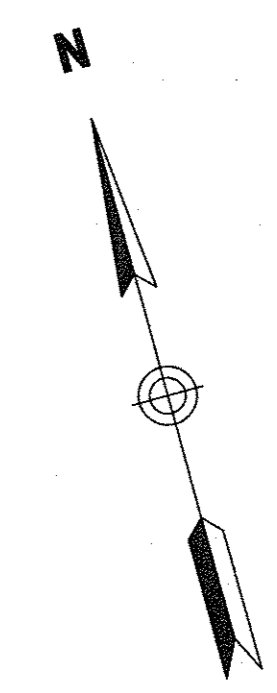
INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF A RAINFALL EVENT TO DETERMINE THE CONDITIONS OF THE BASINS DURING CONSTRUCTION. SCRAPE OUT BOTTOM OF TEMPORARY SEDIMENT TRAP WHEN ACCUMULATION REACHES 4"-6" OF SEDIMENT, OR WHEN INFILTRATION BECOMES COMPROMISED OR STUNTED. SEDIMENT LEVELS SHALL BE MARKED WITHIN THE SEDIMENT STORAGE AREA BY STAKES. DO NOT ALLOW ACCUMULATED SEDIMENTS TO FLUSH INTO REAR INFILTRATION BASIN.

INSPECT THE VEHICLE CONSTRUCTION ENTRANCE AT LEAST ONCE A WEEK AND WITHIN 24 HRS OF A RAINFALL EVENT TO DETERMINE THE CONDITION OF THE STONE PAD. CONTRACTOR SHALL REFRESH THE STONE (CLEAN OR REPLACE) AS NEEDED THROUGHOUT CONSTRUCTION WHEN SEDIMENT IS OBSERVED TO BE TRACKED OFF-SITE OR WHEN SEDIMENT HAS CAKED-IN BETWEEN ALL THE STONE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

THIS PLAN PROVIDES GENERAL GUIDANCE FOR THE CONSTRUCTION ACTIVITIES THAT MAY OCCUR. THE CONTRACTOR IS FULLY RESPONSIBLE TO PROVIDE AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES PER THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AT ALL TIMES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED THROUGHOUT CONSTRUCTION BY THE TOWN, OWNER, OR OWNER'S REPRESENTATIVE.



CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 84094

ENGINEER:

 Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

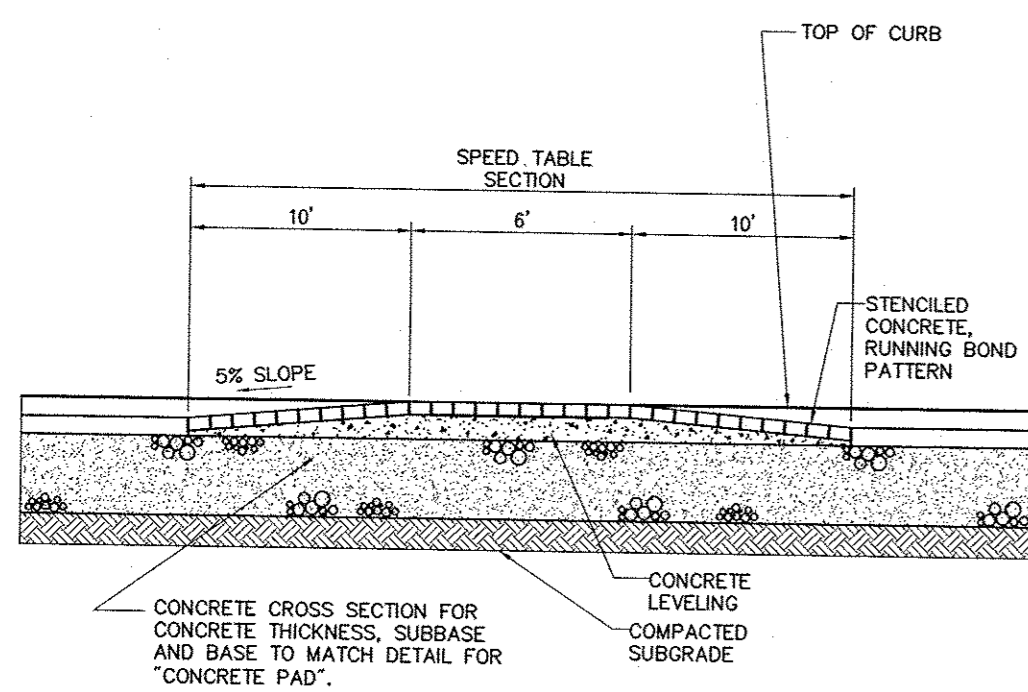
DEVELOPER:
 T.M.
CROWLEY
 & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
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SEAL:

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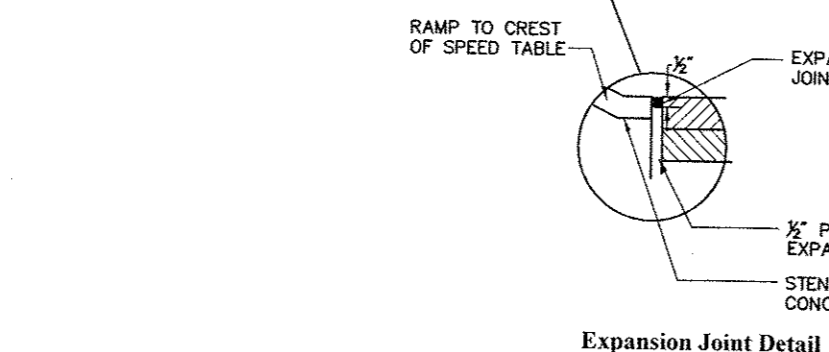
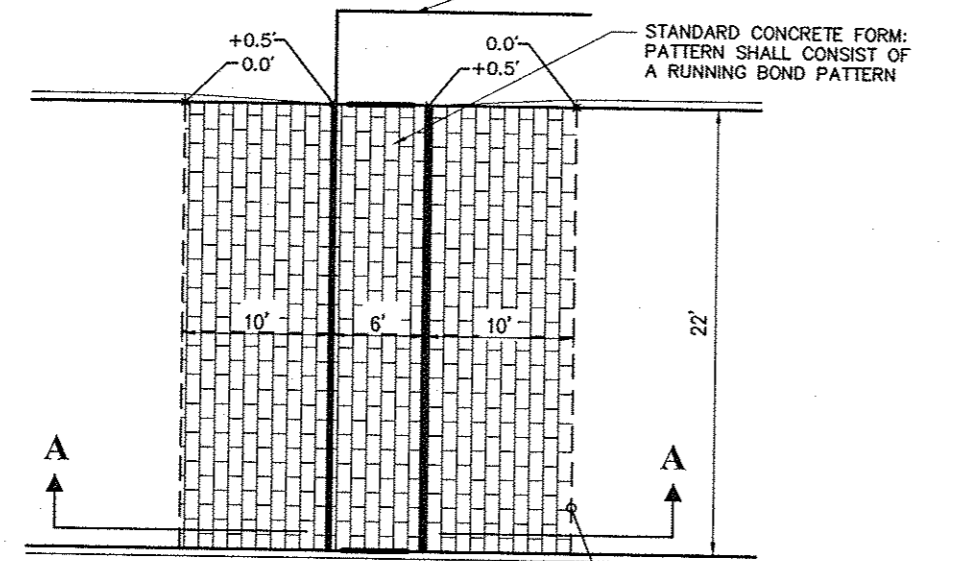
PROJECT MANAGER: PNO
PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRG
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE: Erosion and Sediment Control Plan
SHEET NUMBER: C-5
COMMENTS: NOT ISSUED FOR CONSTRUCTION
 05_41847.44_ER.DWG



- Notes:**
- BRICK PATTERN TO BE STAMPED INTO MECHANICALLY HEATED BITUMINOUS CONCRETE SURFACE WITH VIBRATORY PLATE COMPACTOR APPLIED TO STEEL BRICK FORM.
 - BRICK AREA TO BE PAINTED WITH "BRICK RED" COLOR PAINT.

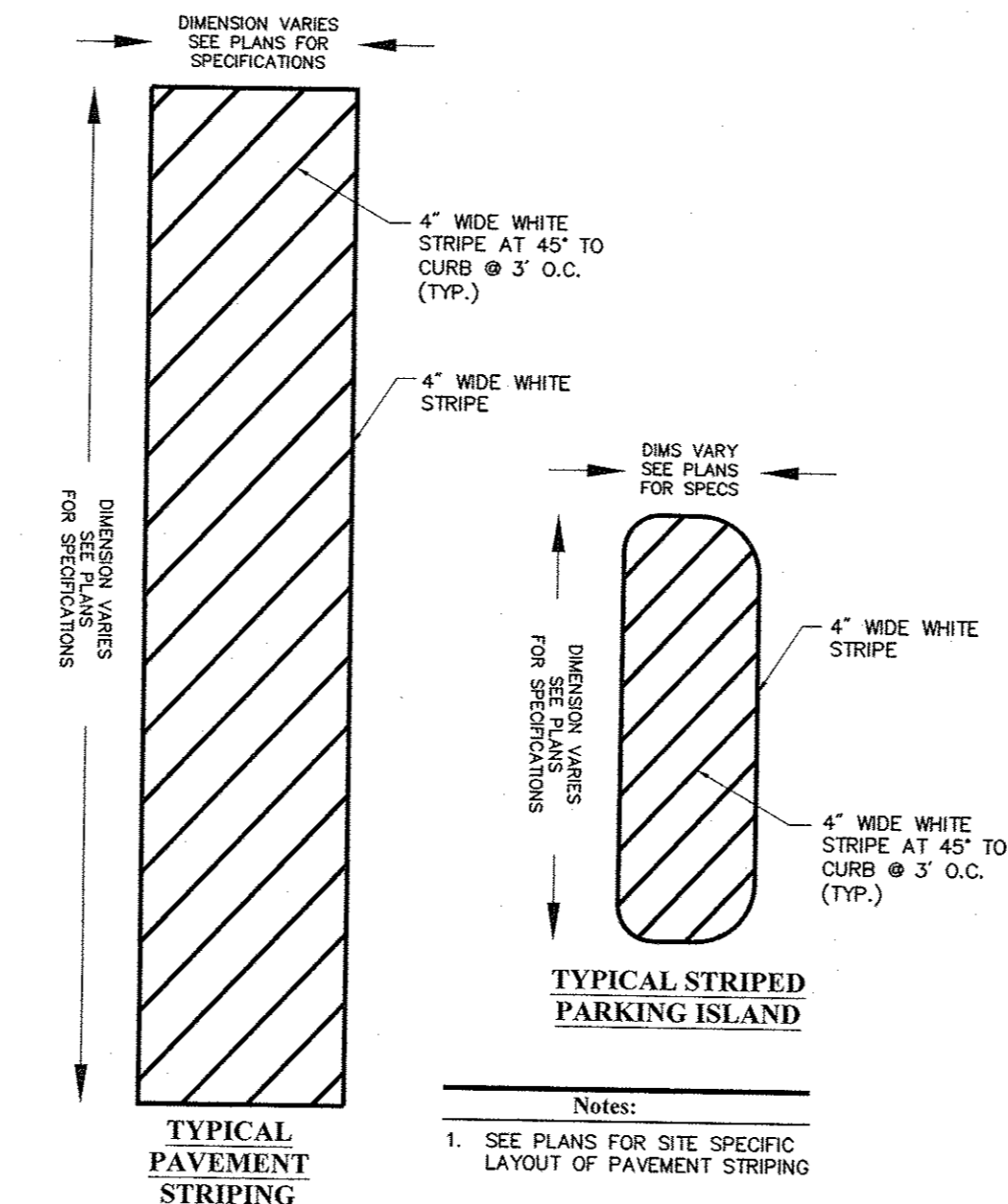
Speed Table Detail (Section A-A)

N.T.S. 2/04 LD



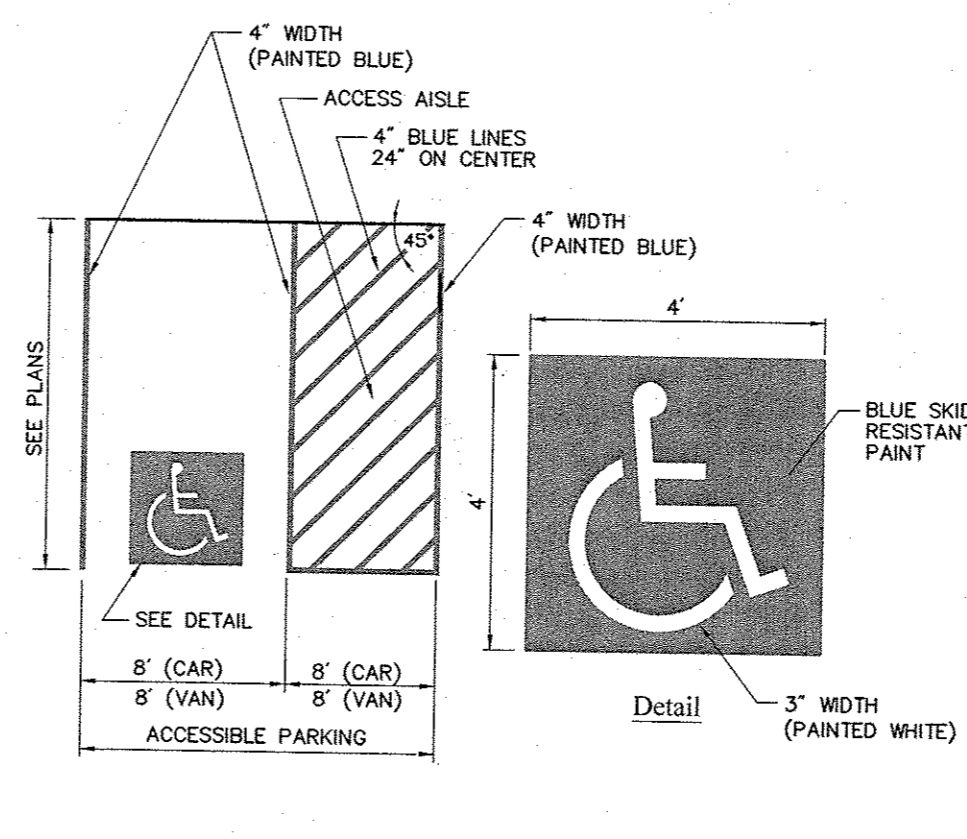
Speed Table Detail & Stamped Brick Crosswalk

N.T.S. 2/04 LD



Pavement Striping Within Parking Lot

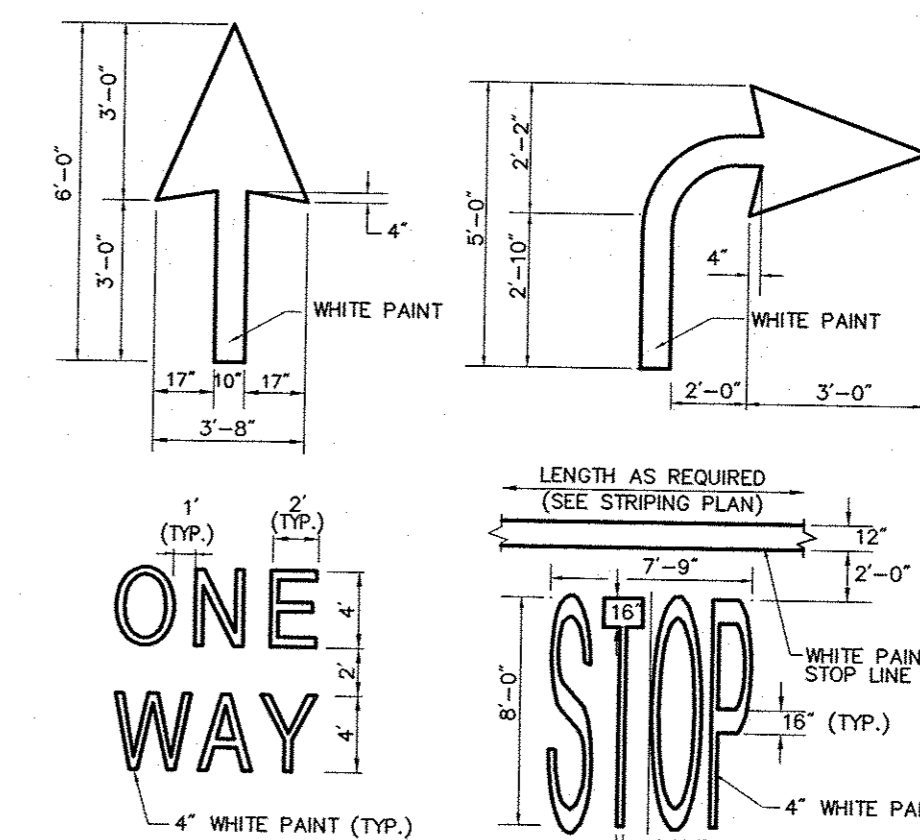
N.T.S. Source: VHB



- Notes:**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
 - 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space

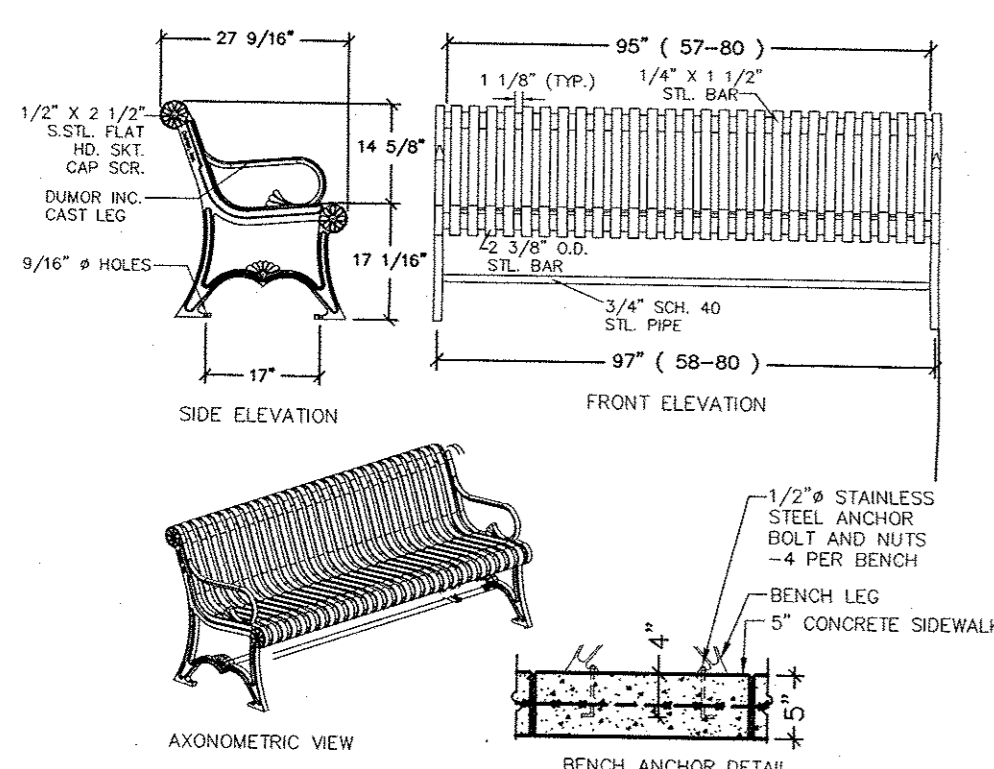
N.T.S. Source: VHB 6/08 REV LD_552



- Notes:**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site

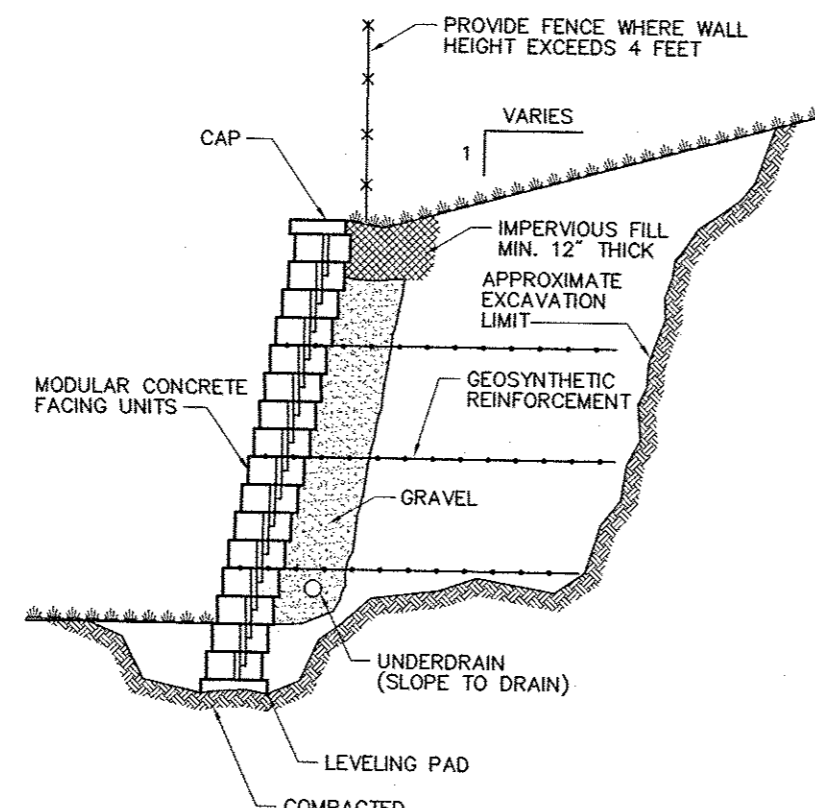
N.T.S. Source: VHB 6/08 LD_554



- Notes:**
- BENCH TO BE MODEL 58 - 8 FOOT BENCH, COLOR BLACK, AS MANUFACTURED BY DUMOR INC., MIDDLETOWN, PA.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER COATING (COLOR TO BE BLACK).

Street Bench Detail

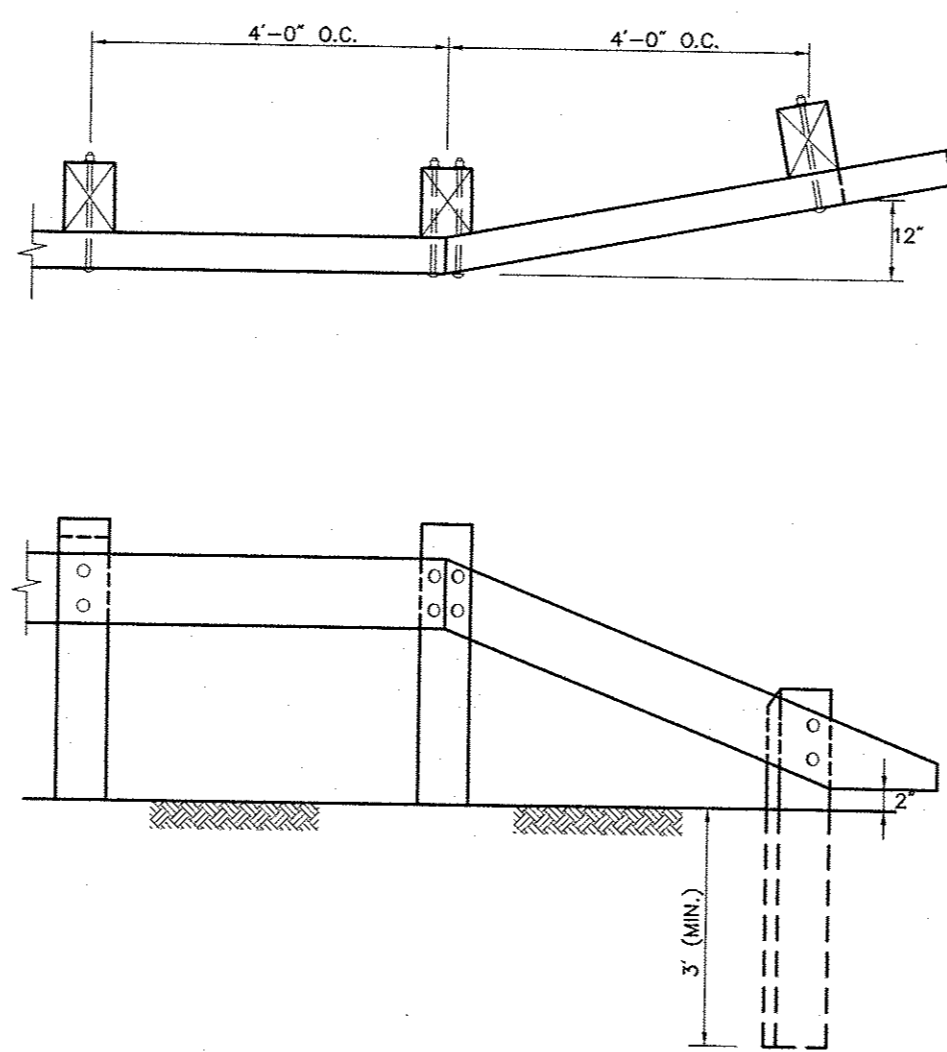
N.T.S. Source: Dumor Inc



- Notes:**
- DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

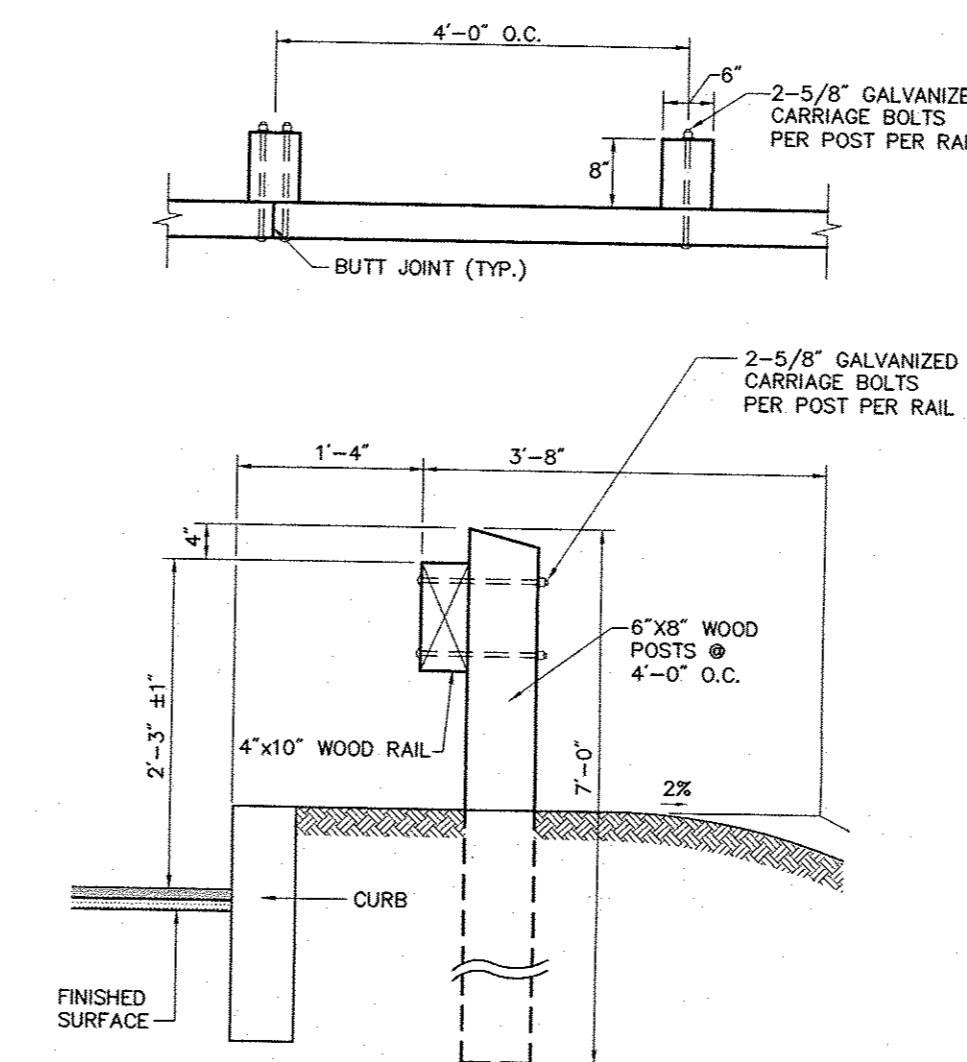
Modular Retaining Wall

N.T.S. Source: VHB 6/08 LD_750



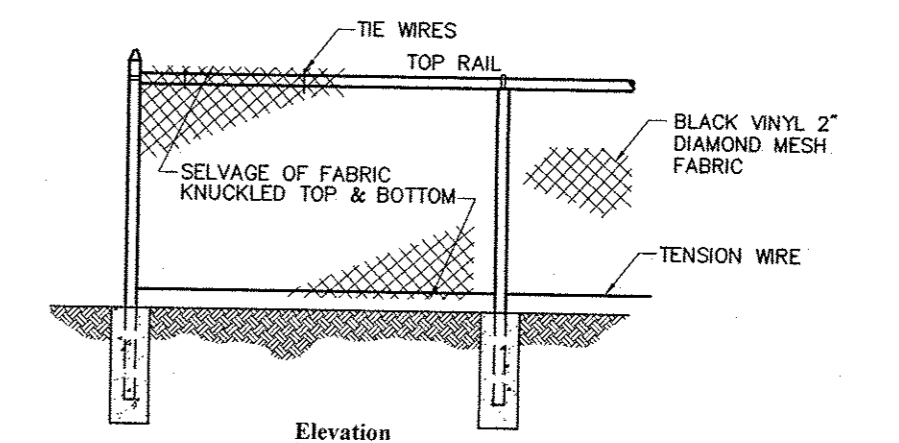
Wood Guardrail - Tapered End

N.T.S. Source: VHB 6/08 LD_451



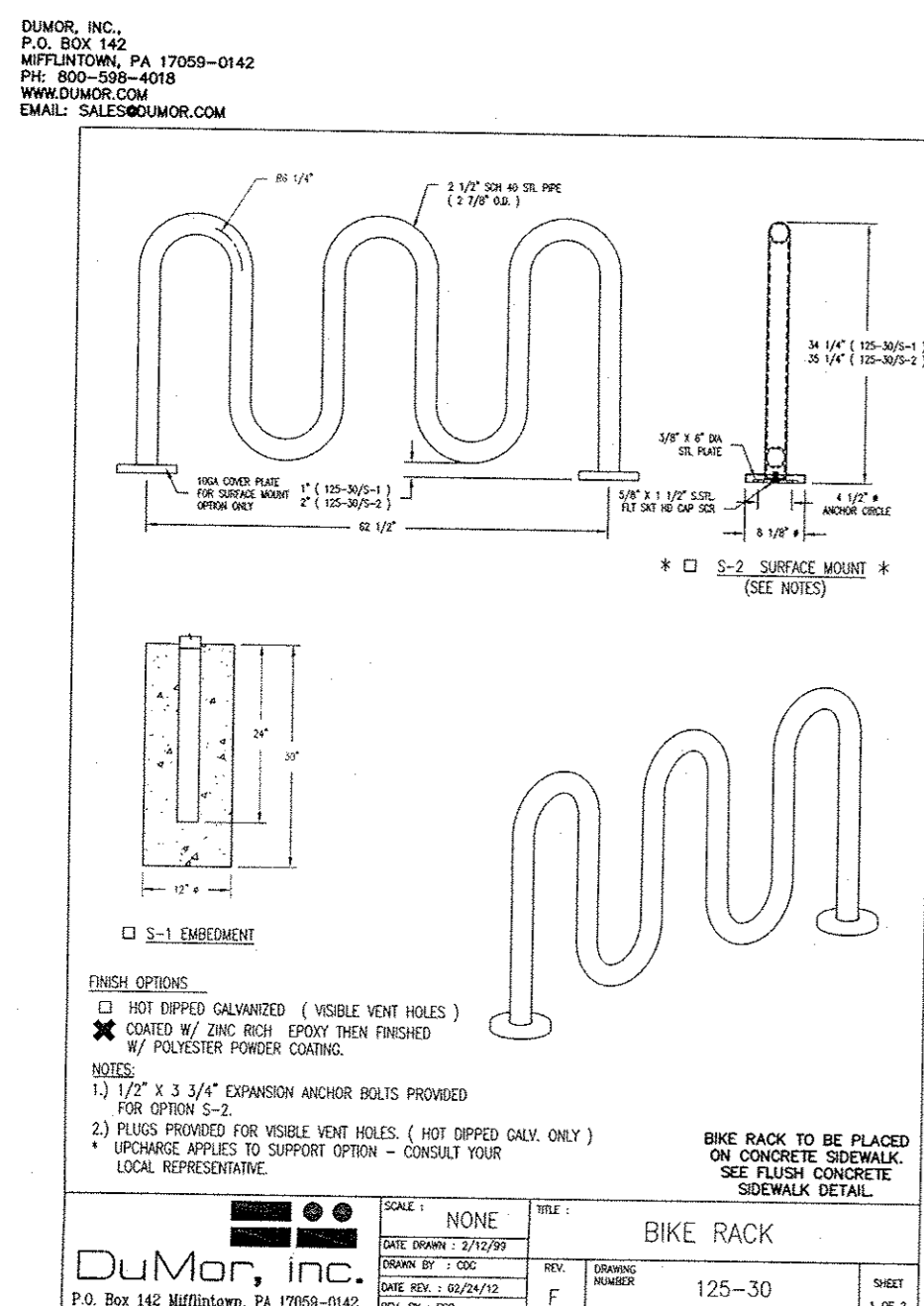
Wood Guardrail

N.T.S. Source: VHB 6/08 LD_450



Chain Link Fence up to 6'

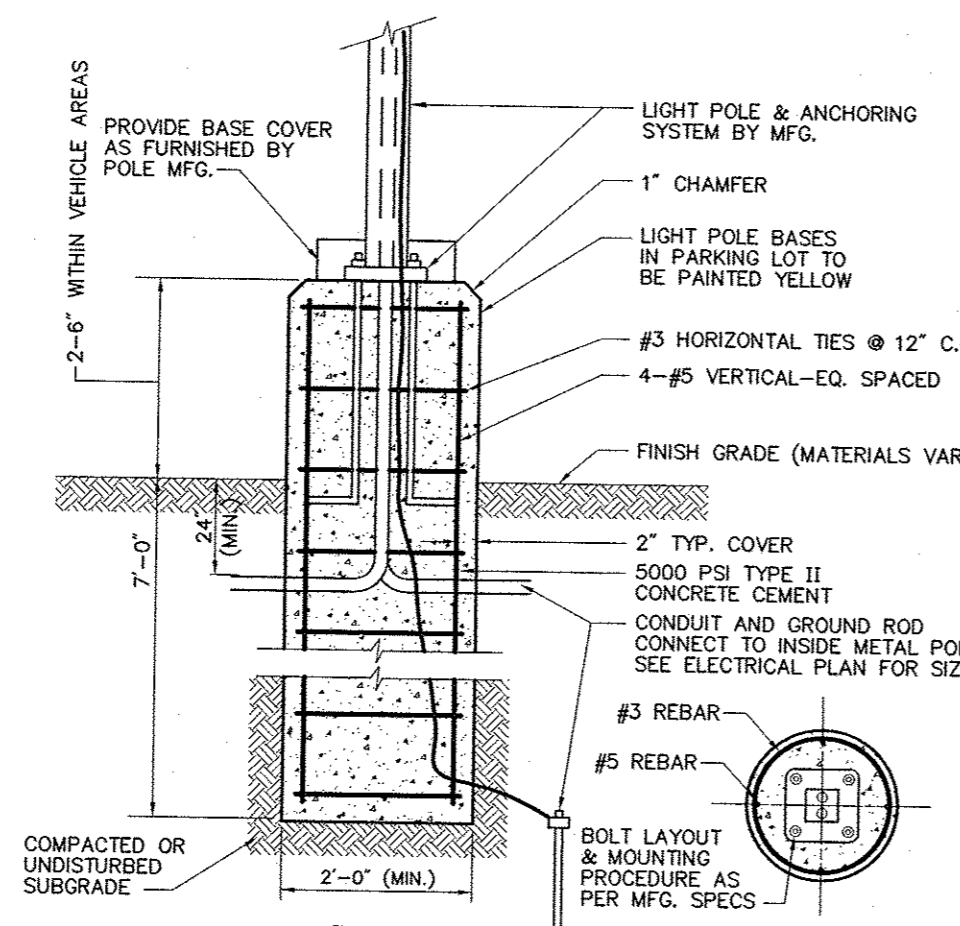
N.T.S. Source: VHB 6/08 REV LD_481



- Notes:**
- 1 1/2" x 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR OPTION S-2.
 - PLUGS PROVIDED FOR VISIBLE VENT HOLES. (NOT DRIPPED GALV. ONLY)
 - FINISHES APPLIED TO SUPPORT OPTION - CONSULT VENDOR LOCAL REPRESENTATIVE.

Bike Rack

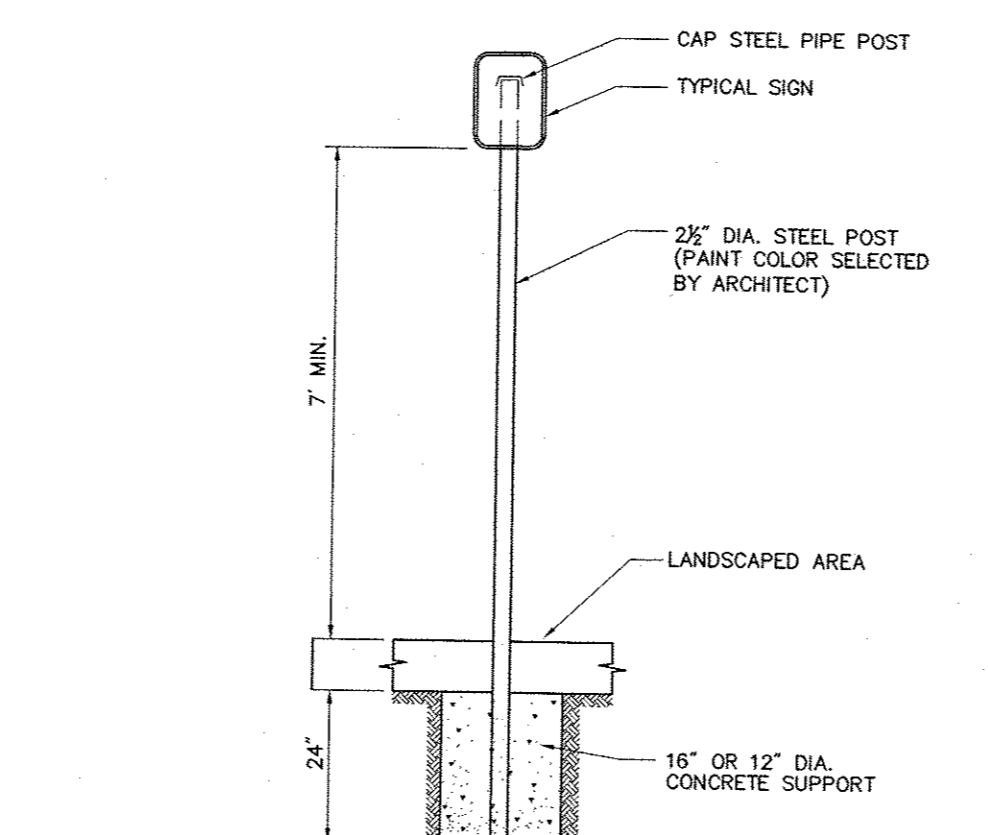
N.T.S. Source: Dumor Inc 125-30 5/07 1 of 2



- Notes:**
- LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

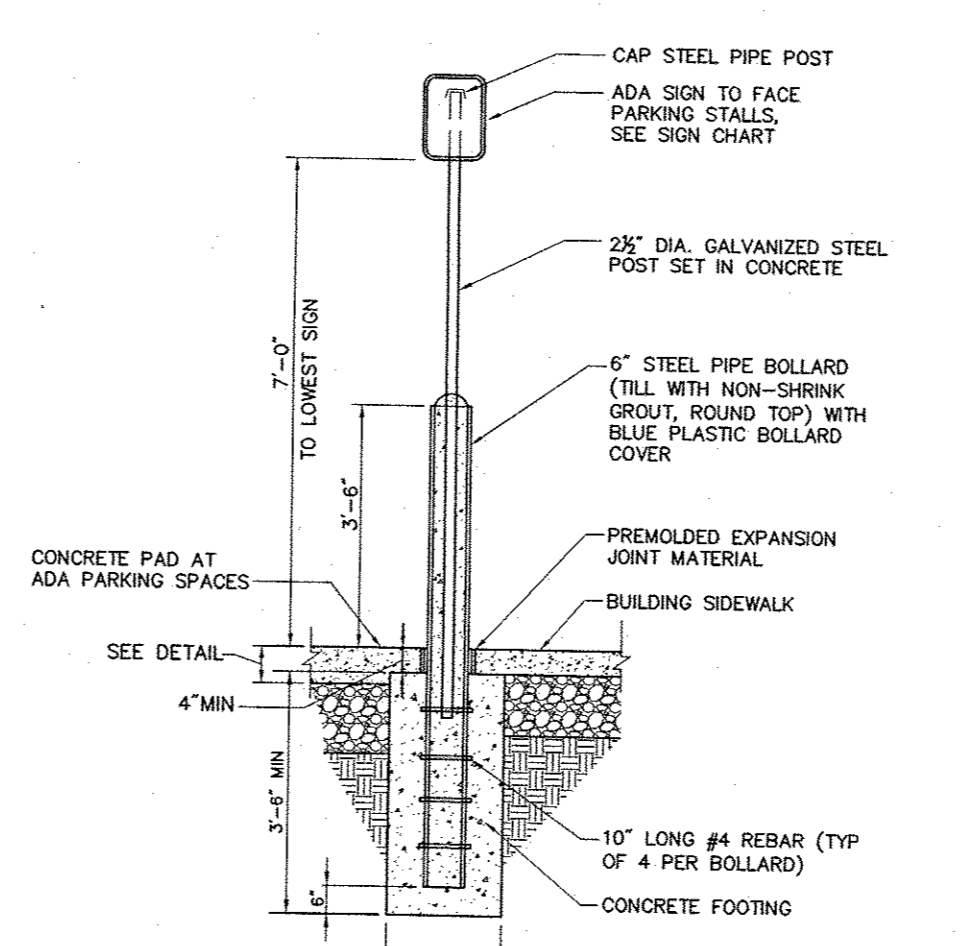
Light Pole Foundation Detail (Up to 40' Pole)

N.T.S. Source: VHB 4/12 REV LD_310



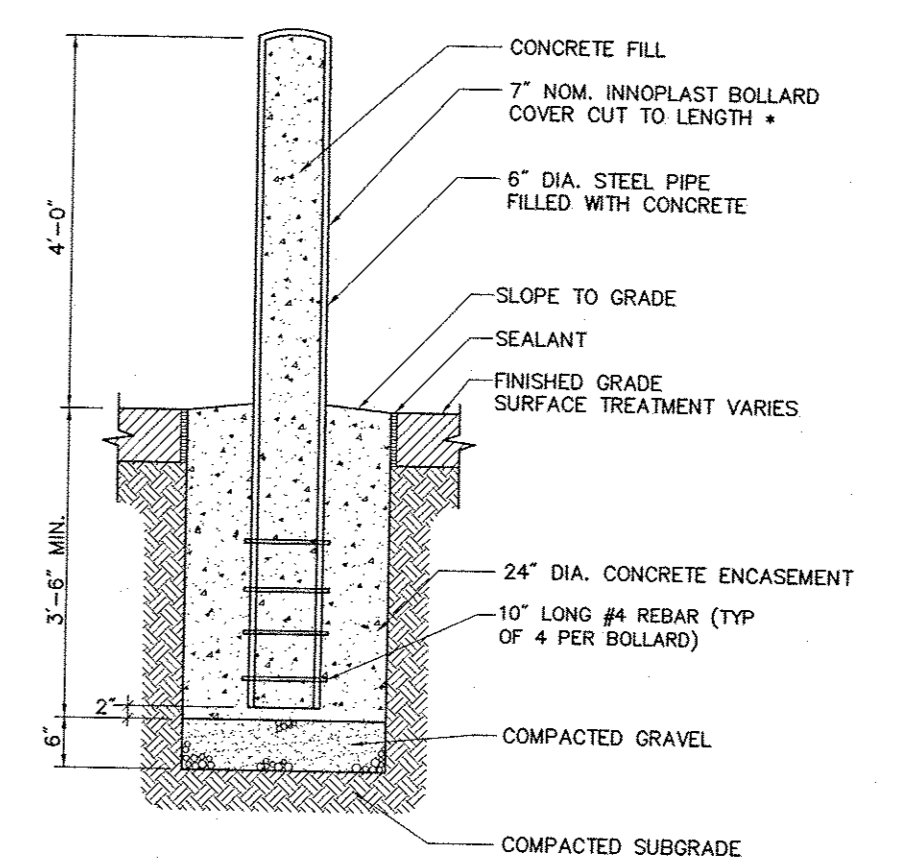
Sign Post - Type 'A'

N.T.S. Source: VHB 4/12 REV LD_701



Bollard Mounted Sign

N.T.S. Source: VHB 4/12 REV LD_703



Bollard with polymer cover

N.T.S. Source: VHB 6/11 LD

CVS pharmacy

13,600 SF - TYPE B
SIDE DRIVE-THRU

STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:



Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

DEVELOPER:

T.M.
CROWLEY
& ASSOCIATES

T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

SEAL:



REVISIONS:

1 PER TOWN COMMENTS 11/23/15

PROJECT MANAGER: PNO

PLANNING ENGINEER: AMK / AEF

REVIEWED BY: MRC

DATE: October 19, 2015

JOB NUMBER: 41847.44

TITLE:

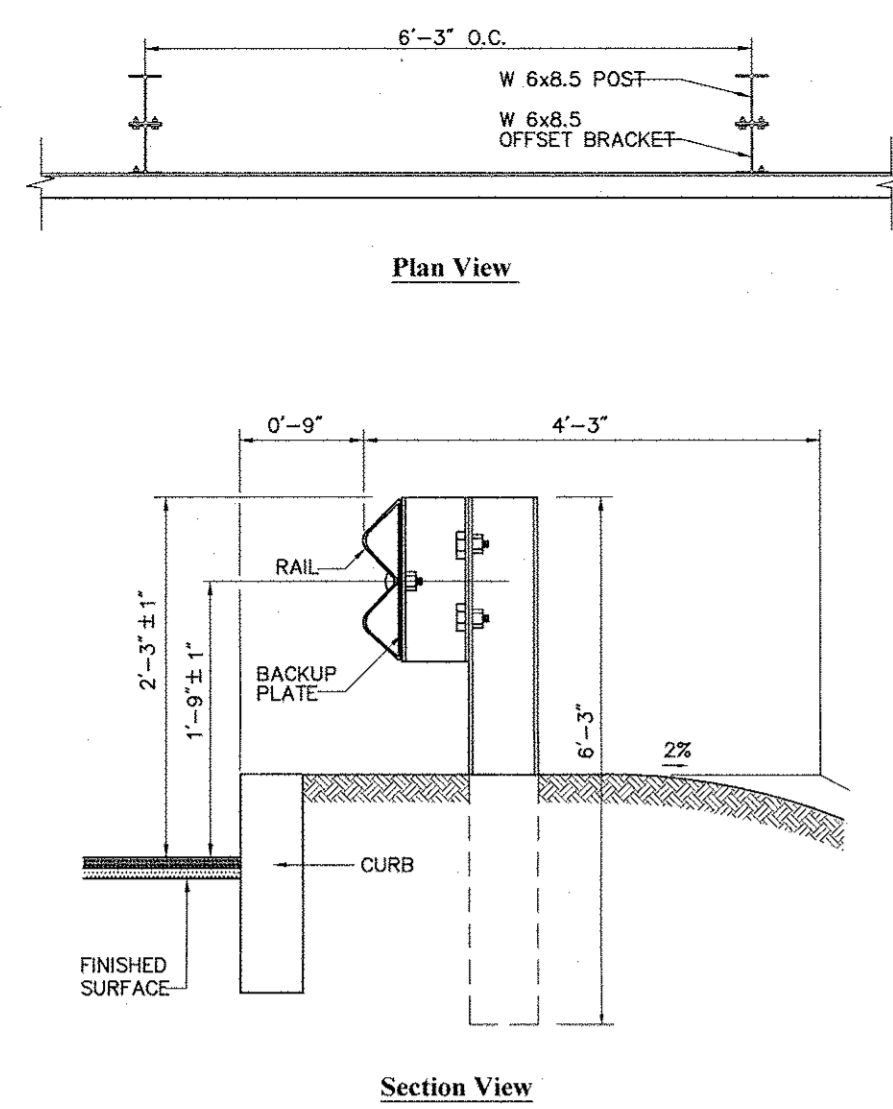
Site Details 1

SHEET NUMBER:

C-6

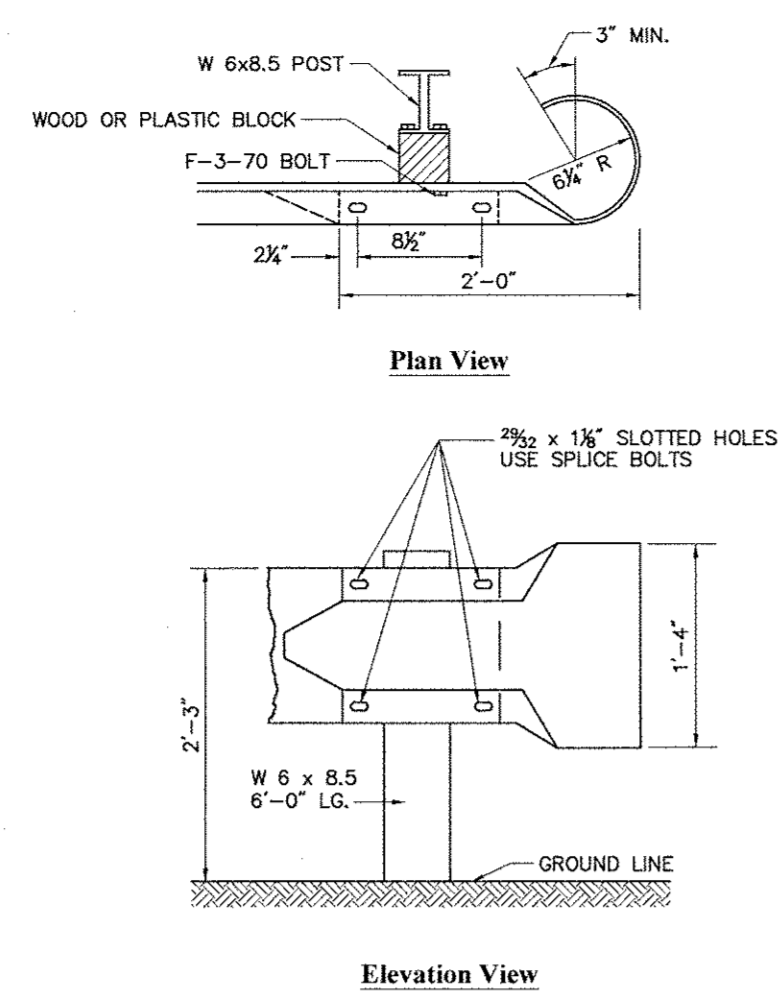
COMMENTS:

NOT ISSUED FOR CONSTRUCTION



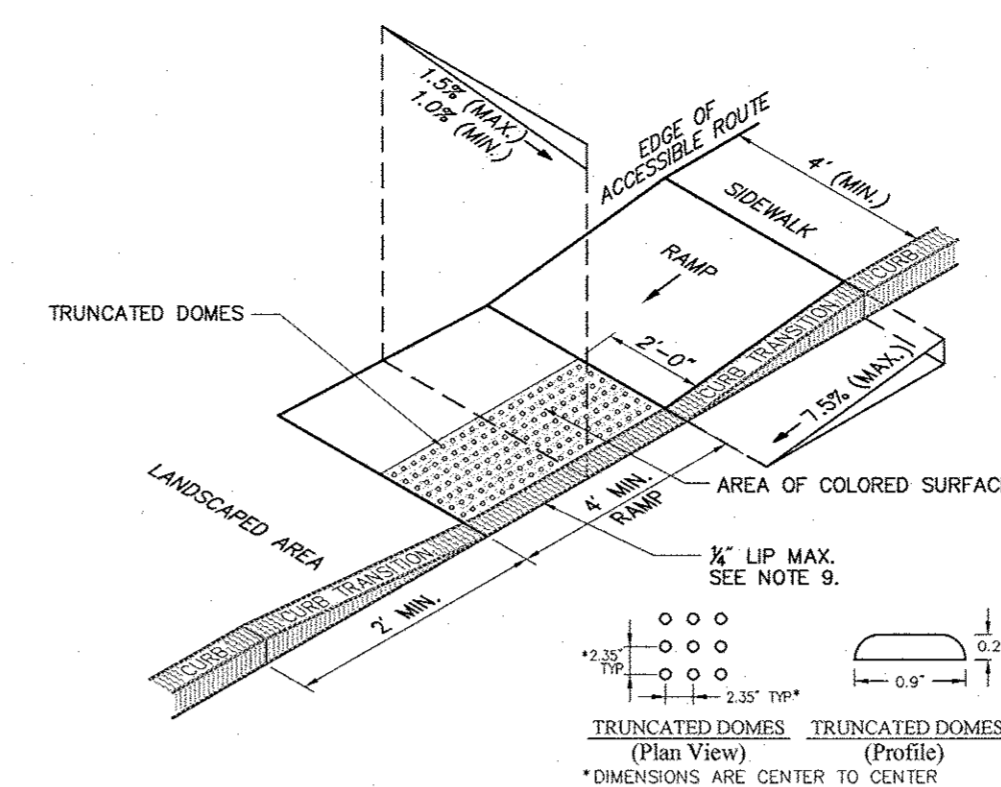
Steel Beam Guardrail with Steel Post

N.T.S. Source: VHB LD_456



Plastic Parking Block

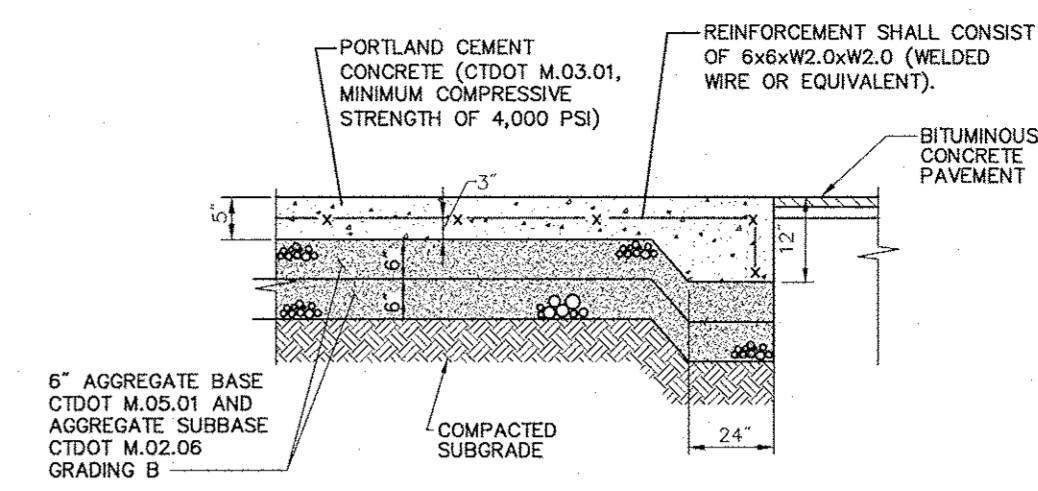
N.T.S. Source: INNOPLAST LD_512



- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ADJUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'G-D'

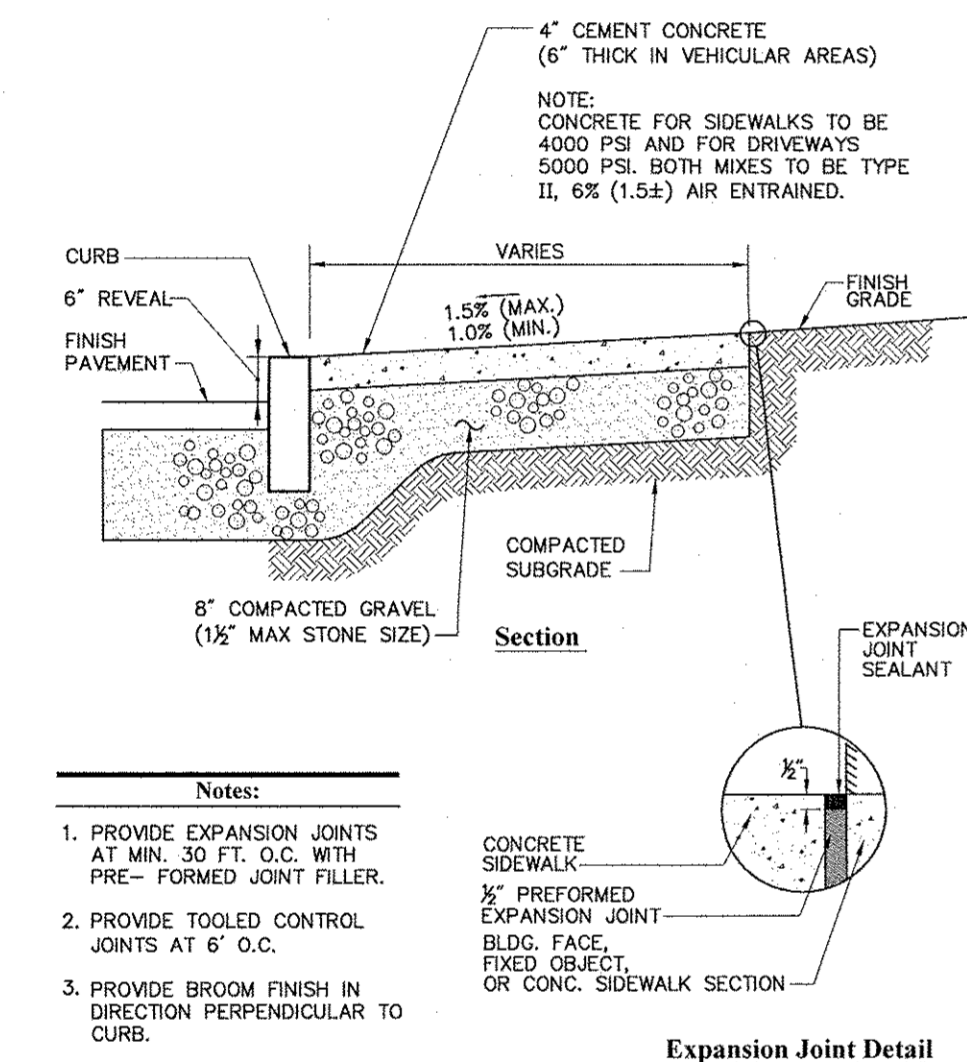
N.T.S. Source: VHB LD_506



- Notes:**
1. MATERIAL IS BASED ON THE GEOTECHNICAL ENGINEERING REPORT TITLED "GEOTECHNICAL ENGINEERING REPORT PROPOSED CVS PHARMACY STORE NO. 5359, 7568 NORTH BROADWAY REDBROOK, NY" BY RANSOM CONSULTING, INC. DATED MARCH 15, 2013 AND ARE SUBJECT TO CHANGE BASED ON FURTHER GEOTECHNICAL REVIEW, INVESTIGATION, AND/OR RECOMMENDATIONS.
 2. SIZE OF PAD TO BE AS INDICATED ON PLANS.
 3. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 10-12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.
 4. DOWELS SHALL BE PLACES ACROSS SLAB EXPANSION JOINTS TO LIMIT DIFFERENTIAL SETTLEMENT
 5. COMPONENTS SHALL MEET THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 816

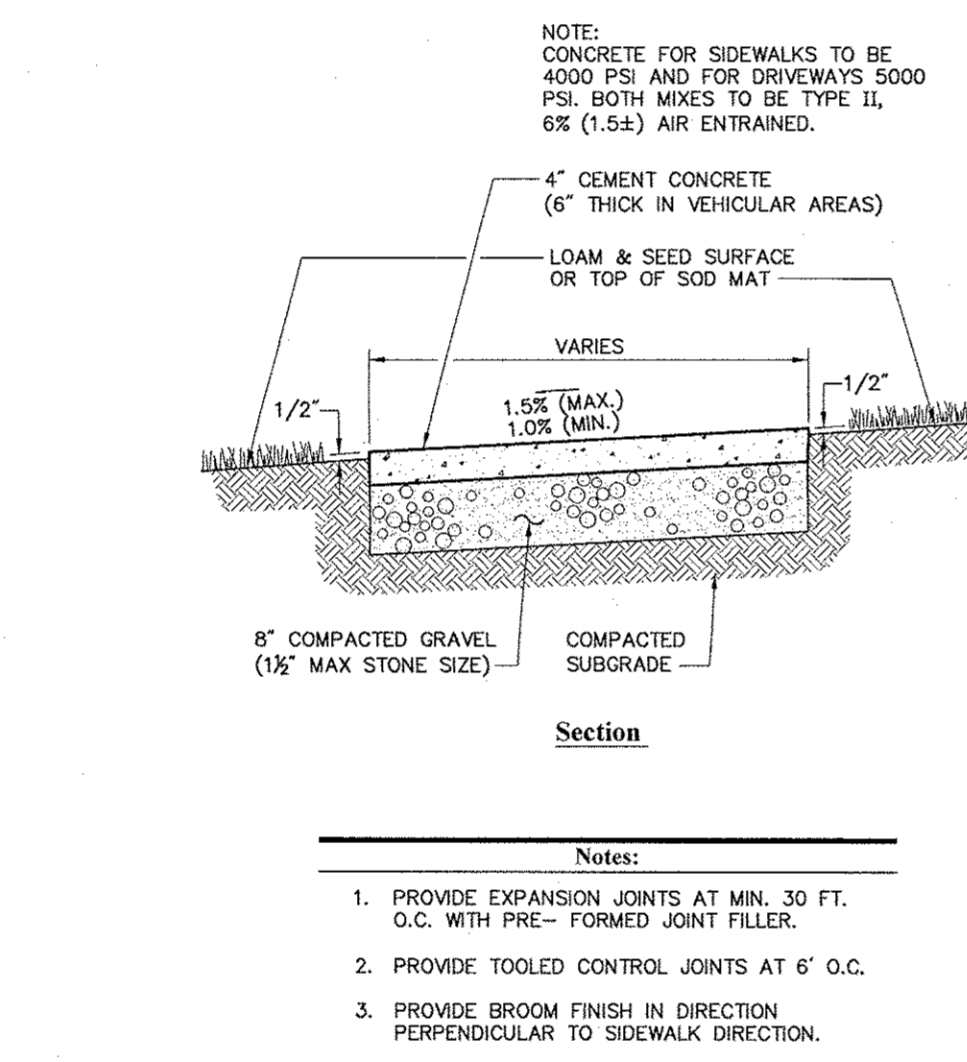
Concrete Pad at ADA Parking Spaces & Striping, and at Drive-Thru

N.T.S. Source: VHB LD_506



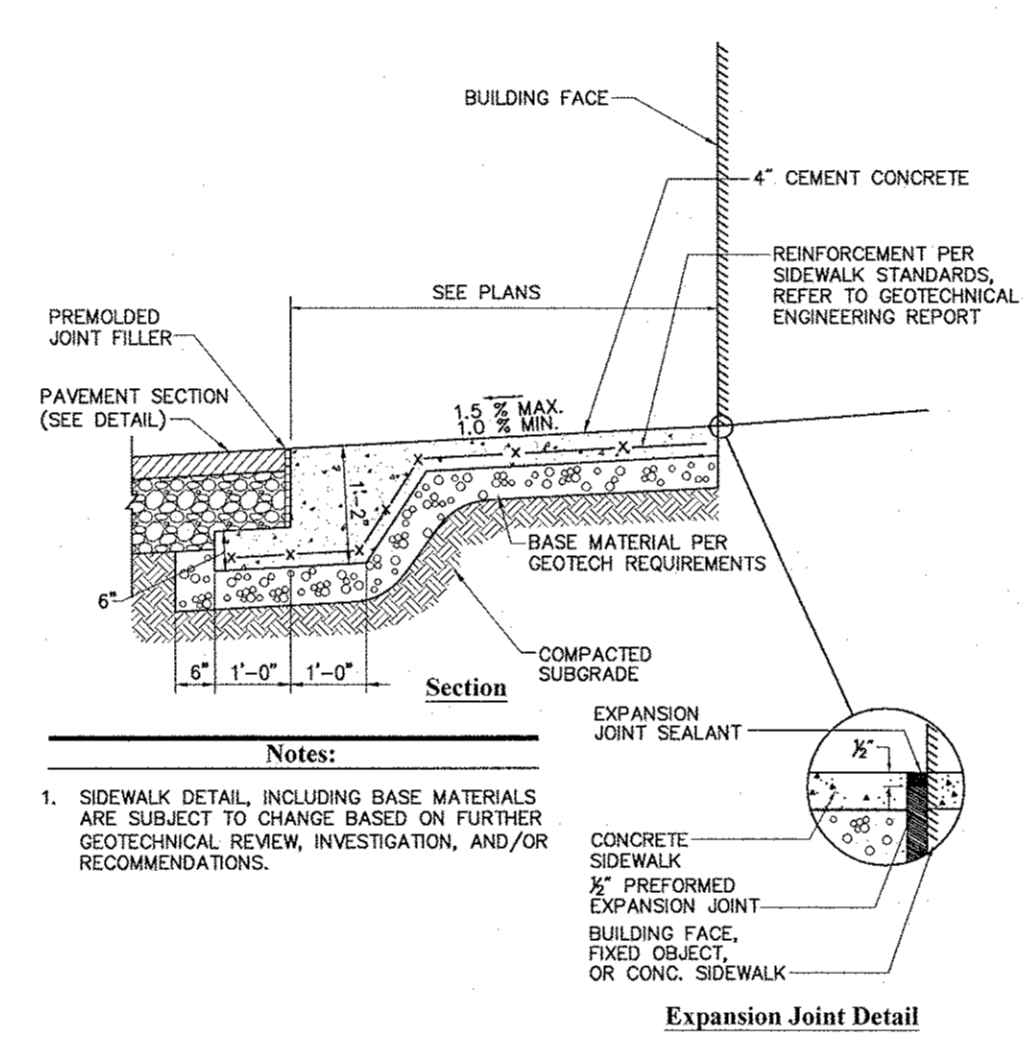
Concrete Sidewalk

N.T.S. Source: VHB LD_420



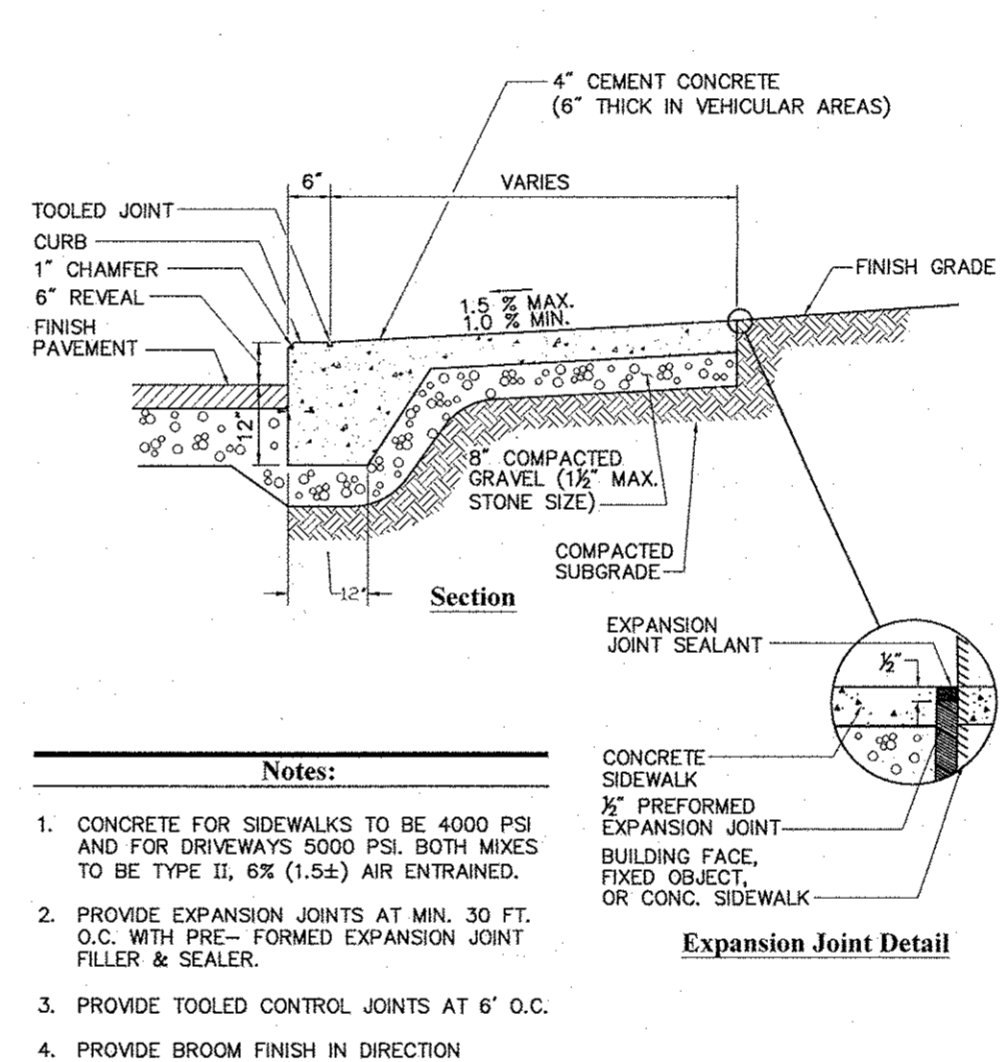
Concrete Sidewalk in Landscape Area

N.T.S. Source: VHB LD_426



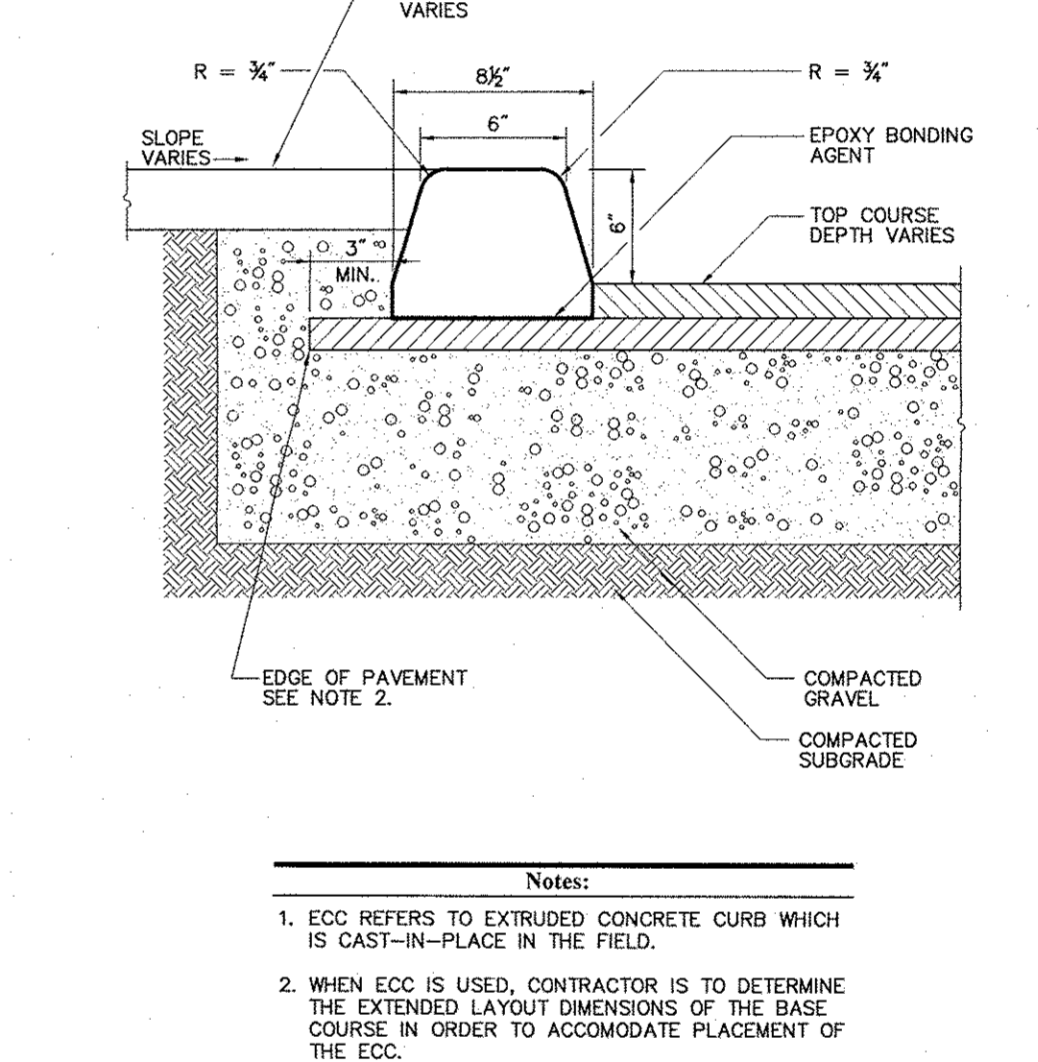
Flush Sidewalk at Building Transition Detail

N.T.S. Source: CVS LD_427



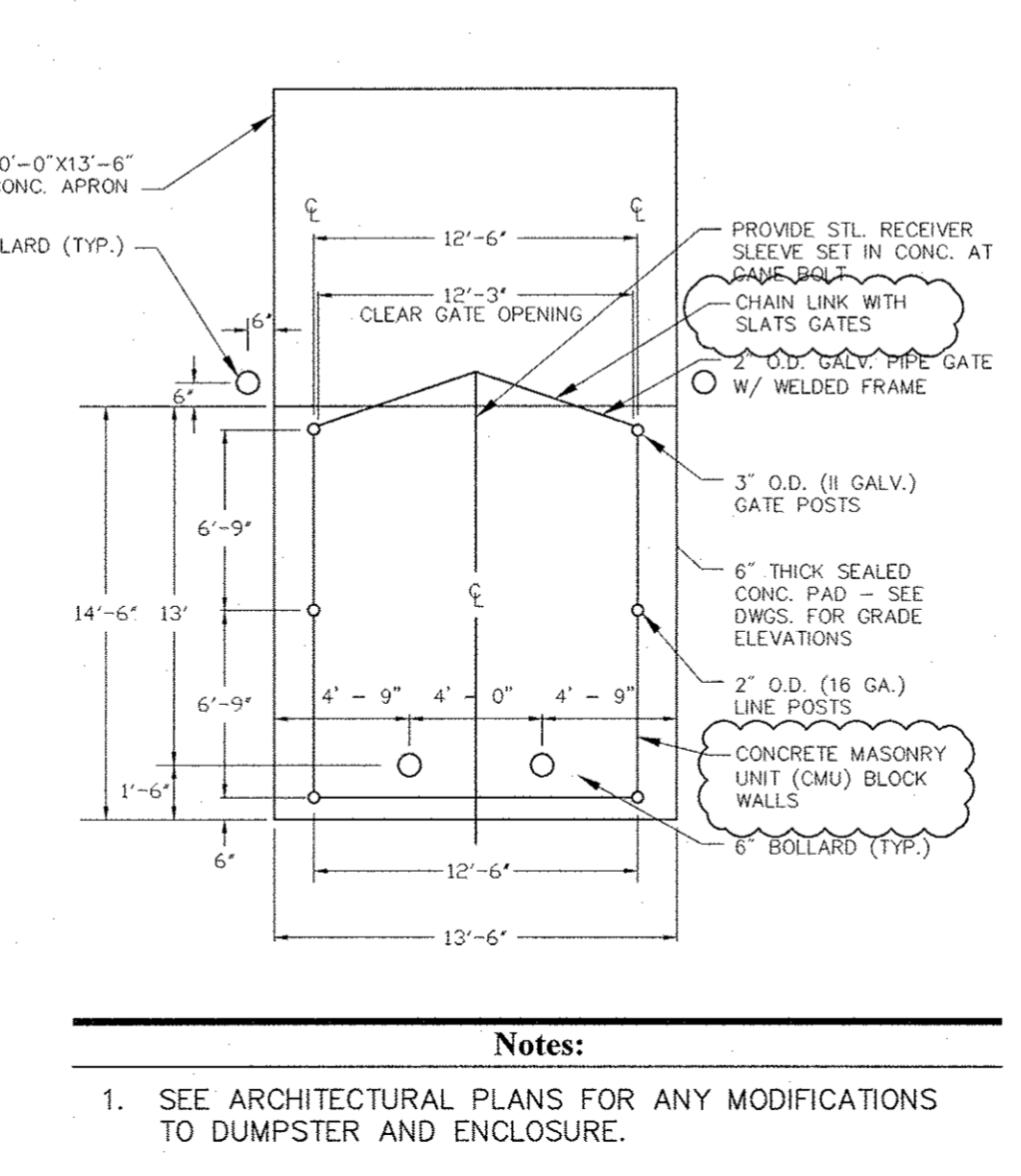
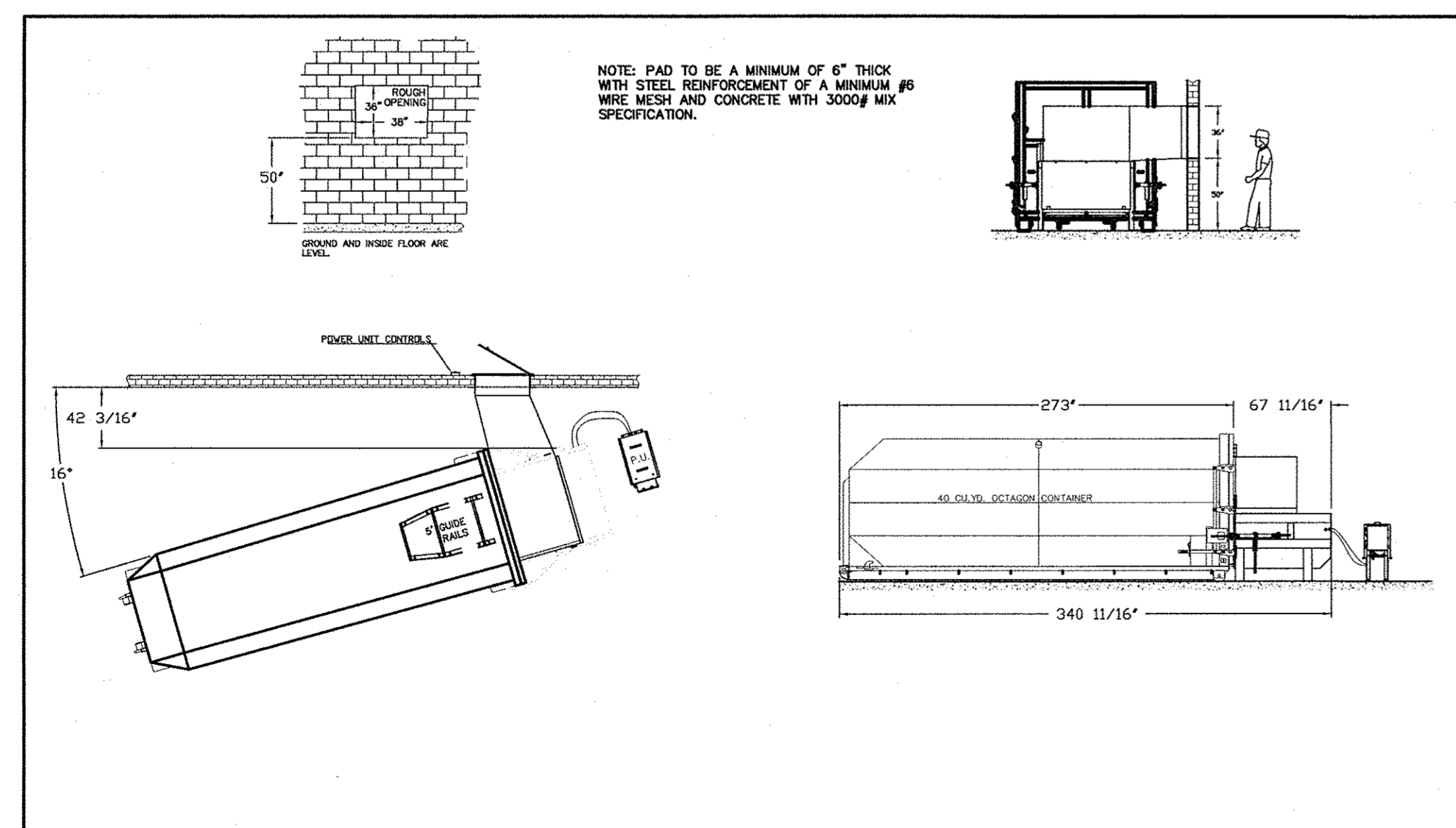
Monolithic Concrete Curb (MCC) & Sidewalk

N.T.S. Source: VHB REV LD_427



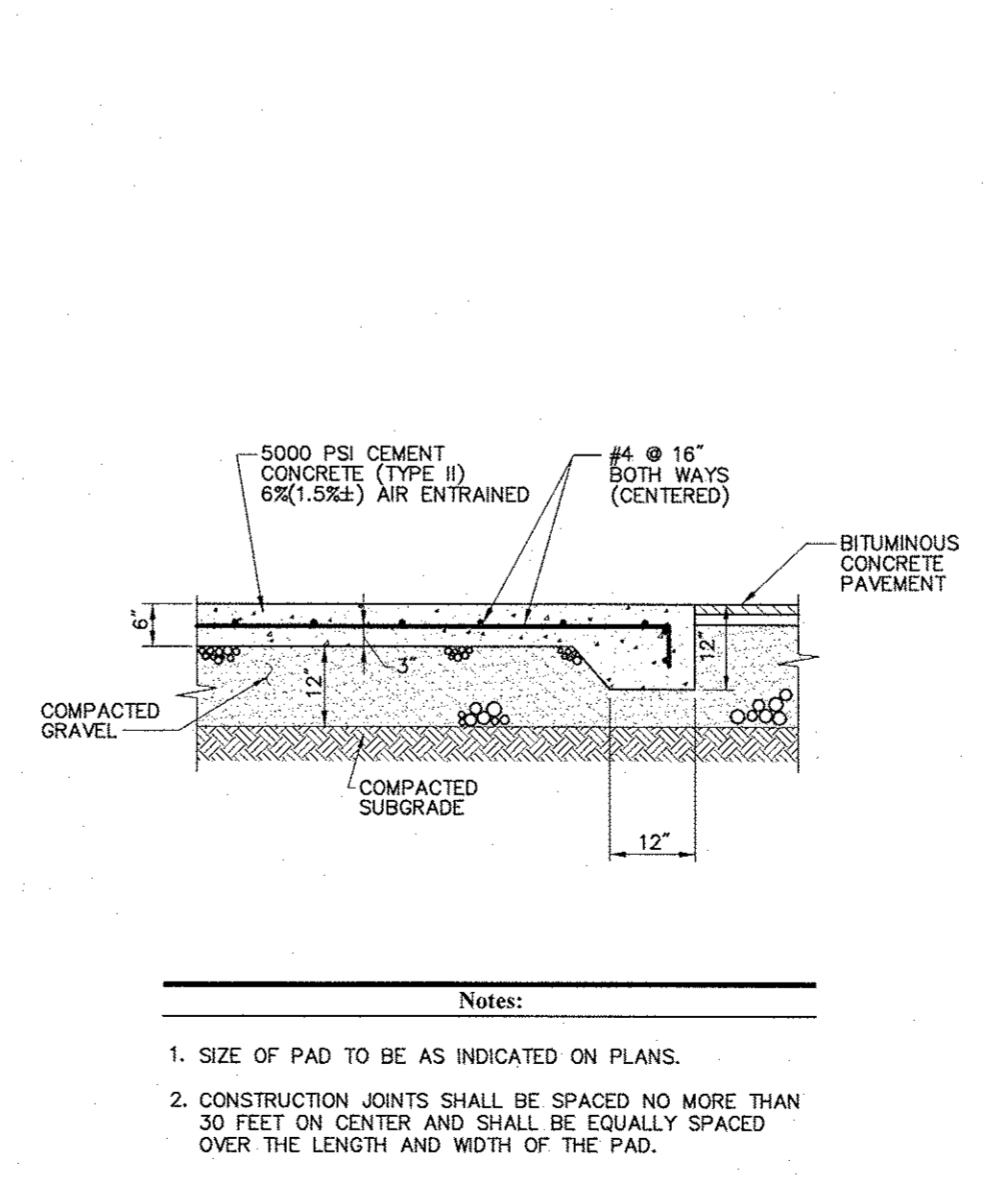
Extruded Concrete Curb (ECC)

N.T.S. Source: VHB LD_408



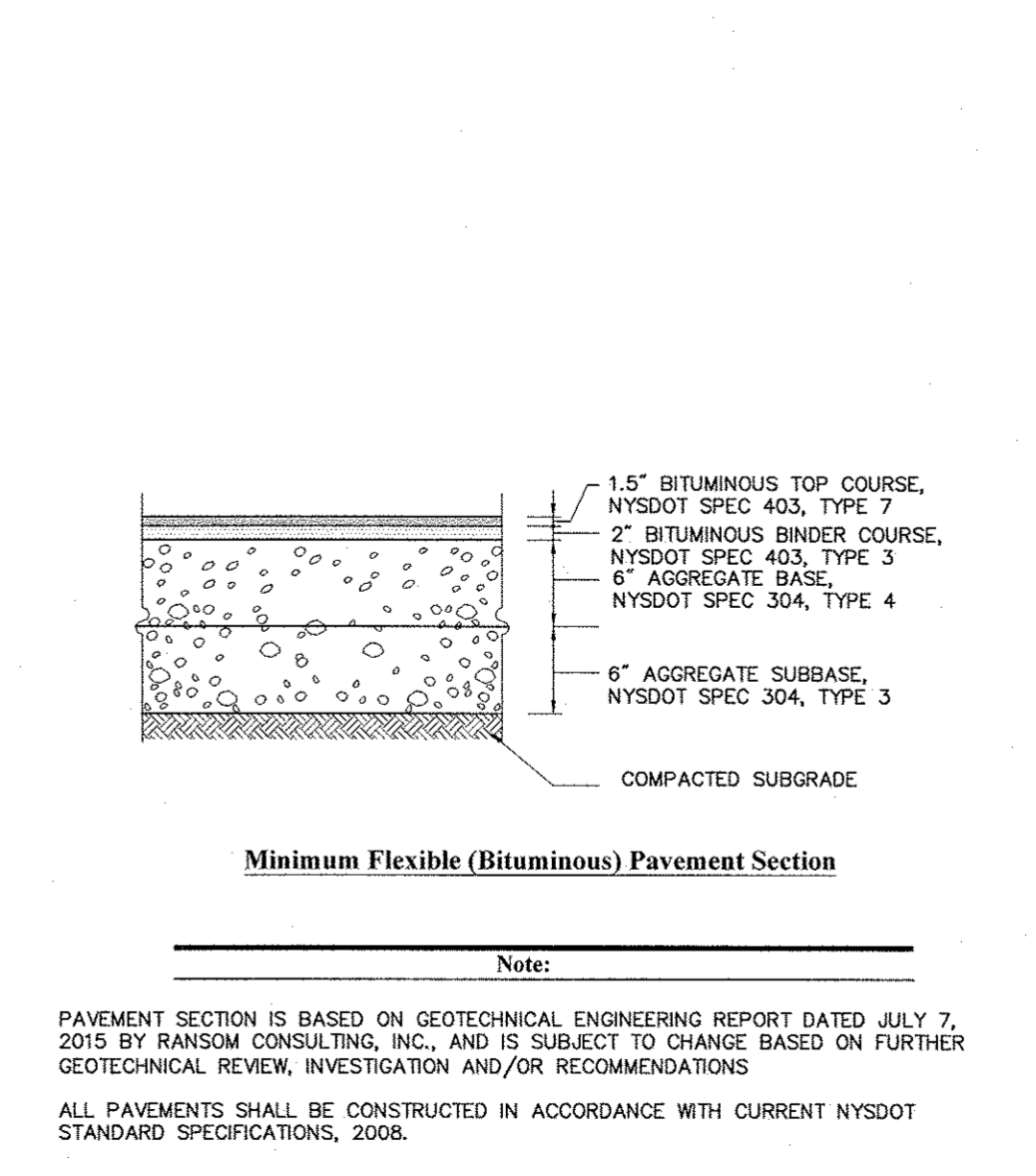
Dumpster Pad Layout Detail

N.T.S. Source: VHB LD_552



Dumpster Pad

N.T.S. Source: VHB LD_710



Bituminous Concrete Pavement Sections

N.T.S. Source: VHB LD_430

REV	LOG #	DATE	DESCRIPTION	BY
1		06/03/11	3SA2341	MD2008

CVS pharmacy
 13,600 SF - TYPE B
 SIDE DRIVE-THRU
 STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
 CS PROJECT NUMBER: 84094

ENGINEER:

 Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

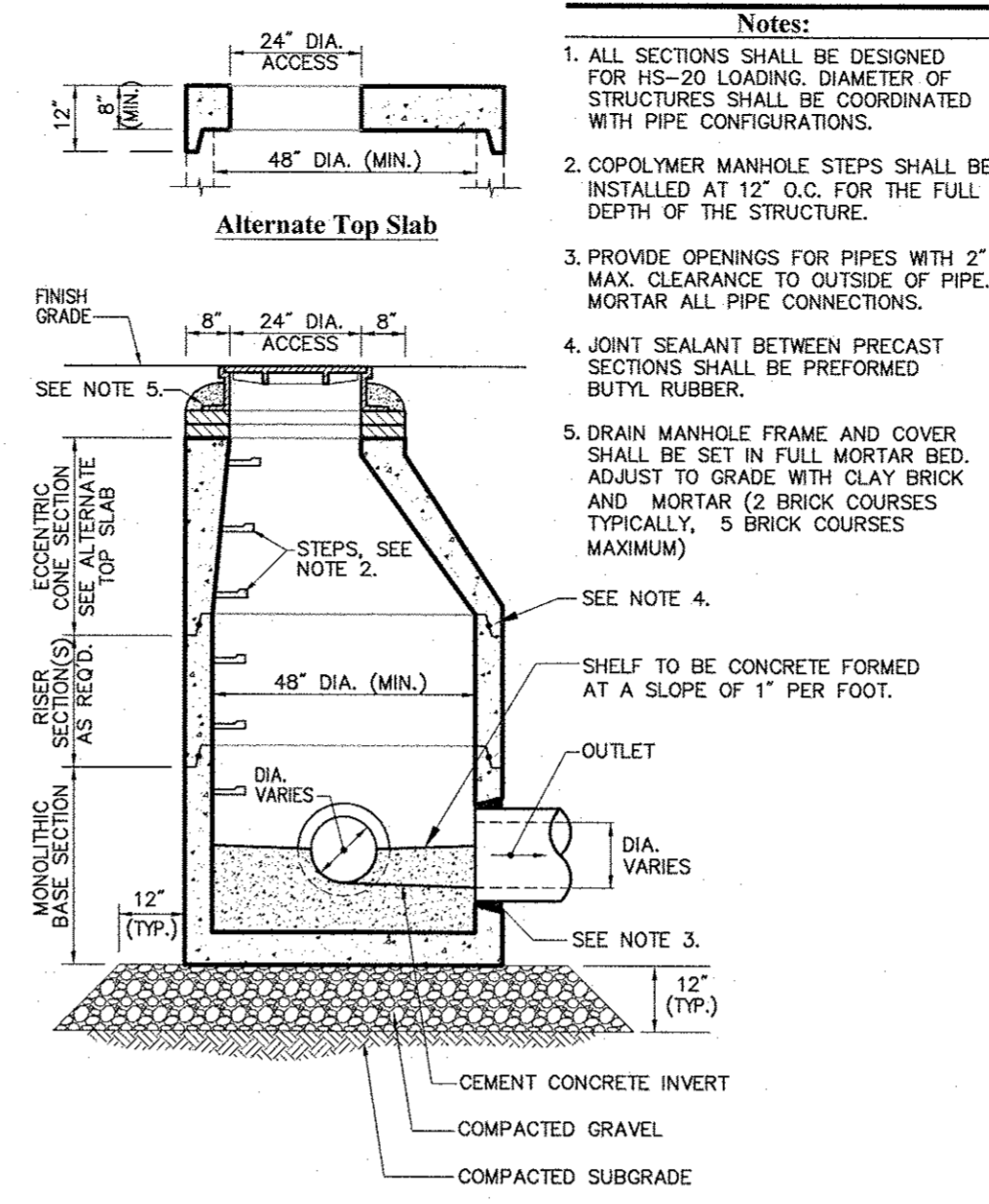
DEVELOPER:
 T.M.
CROWLEY
 & ASSOCIATES
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:

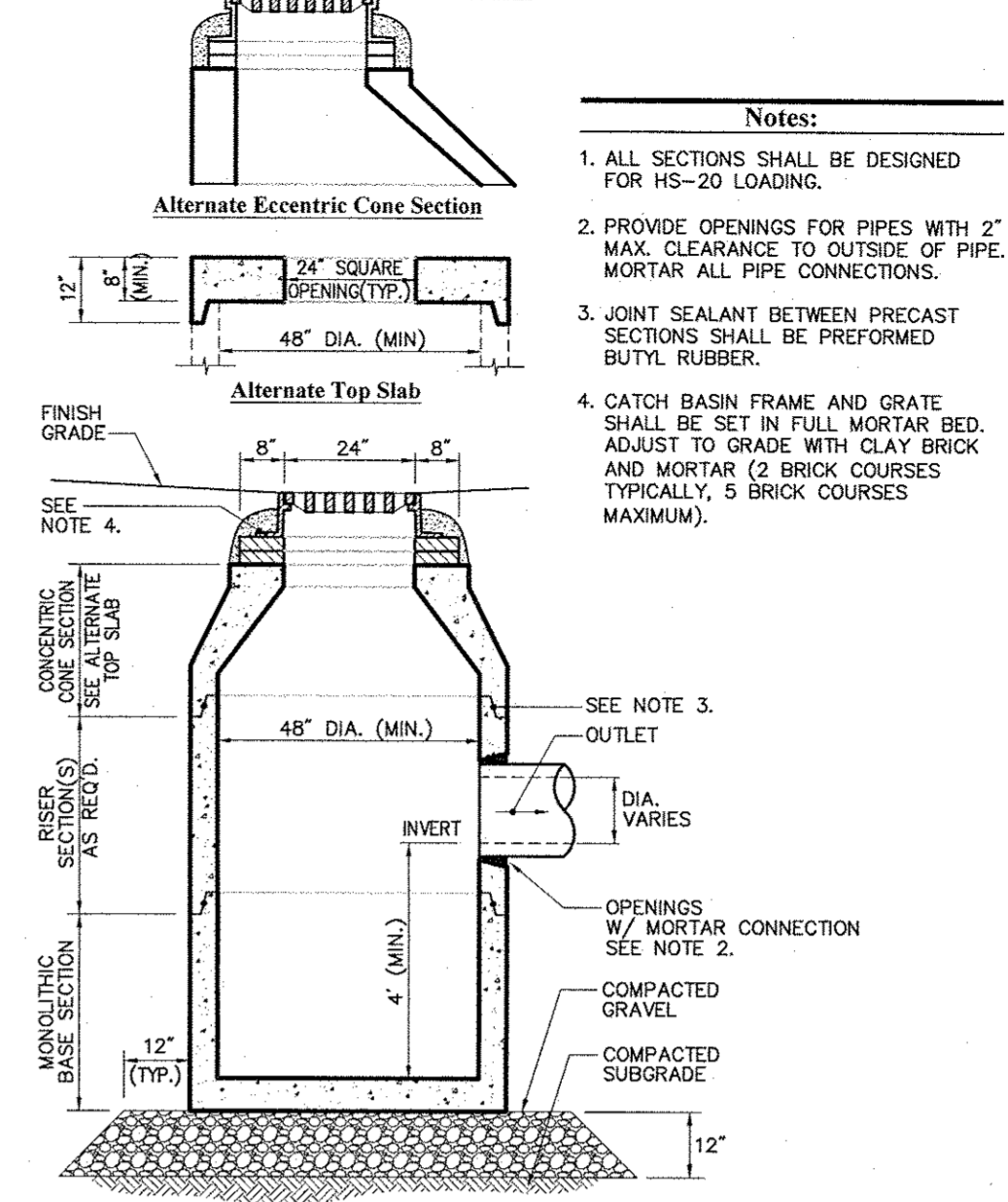
REVISIONS:

NO.	DESCRIPTION	DATE
1	PER TOWN COMMENTS	11/23/15

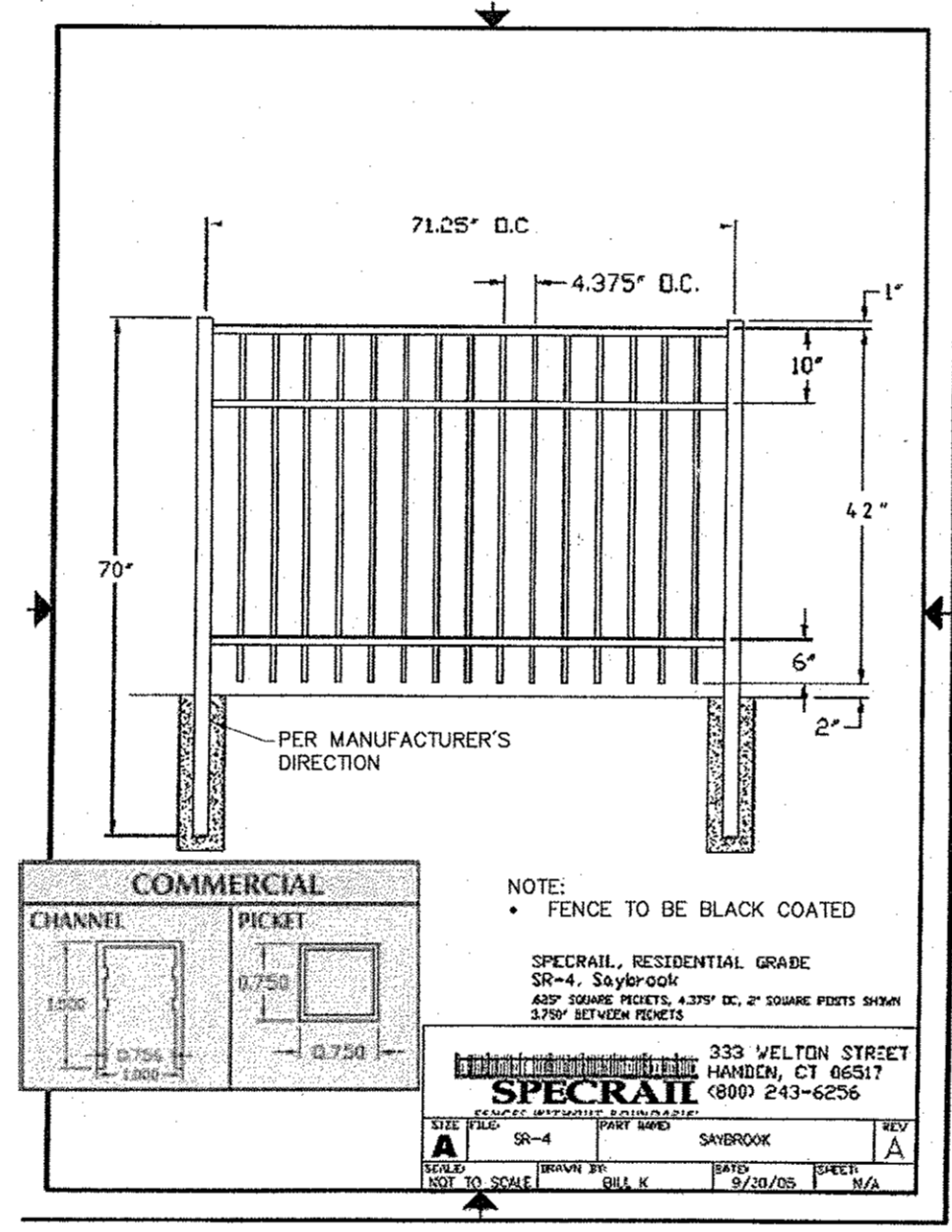
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 PLANNING ENGINEER: AMK / AEF
 REVIEWED BY: MRG
 DATE: October 19, 2015
 JOB NUMBER: 41847.44
 TITLE:
Site Details 2
 SHEET NUMBER:
C-7
 COMMENTS:
 NOT ISSUED FOR CONSTRUCTION
 06_41847.44_DT.DWG



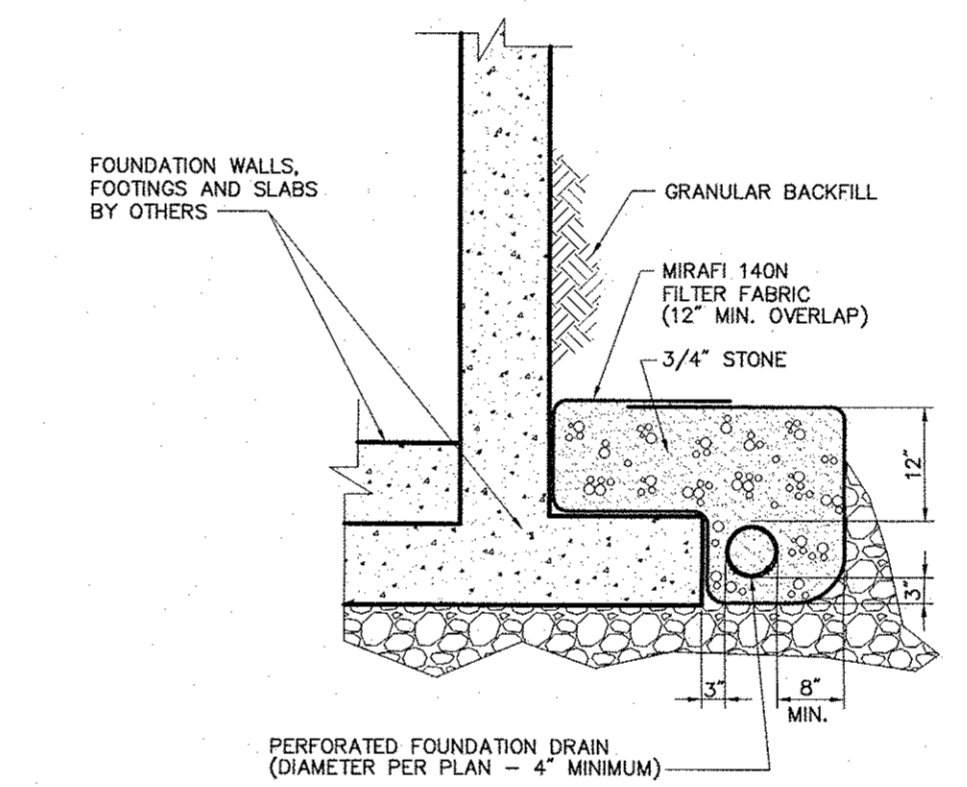
Drain Manhole (DMH) 4/11
N.T.S. Source: VHB LD_115



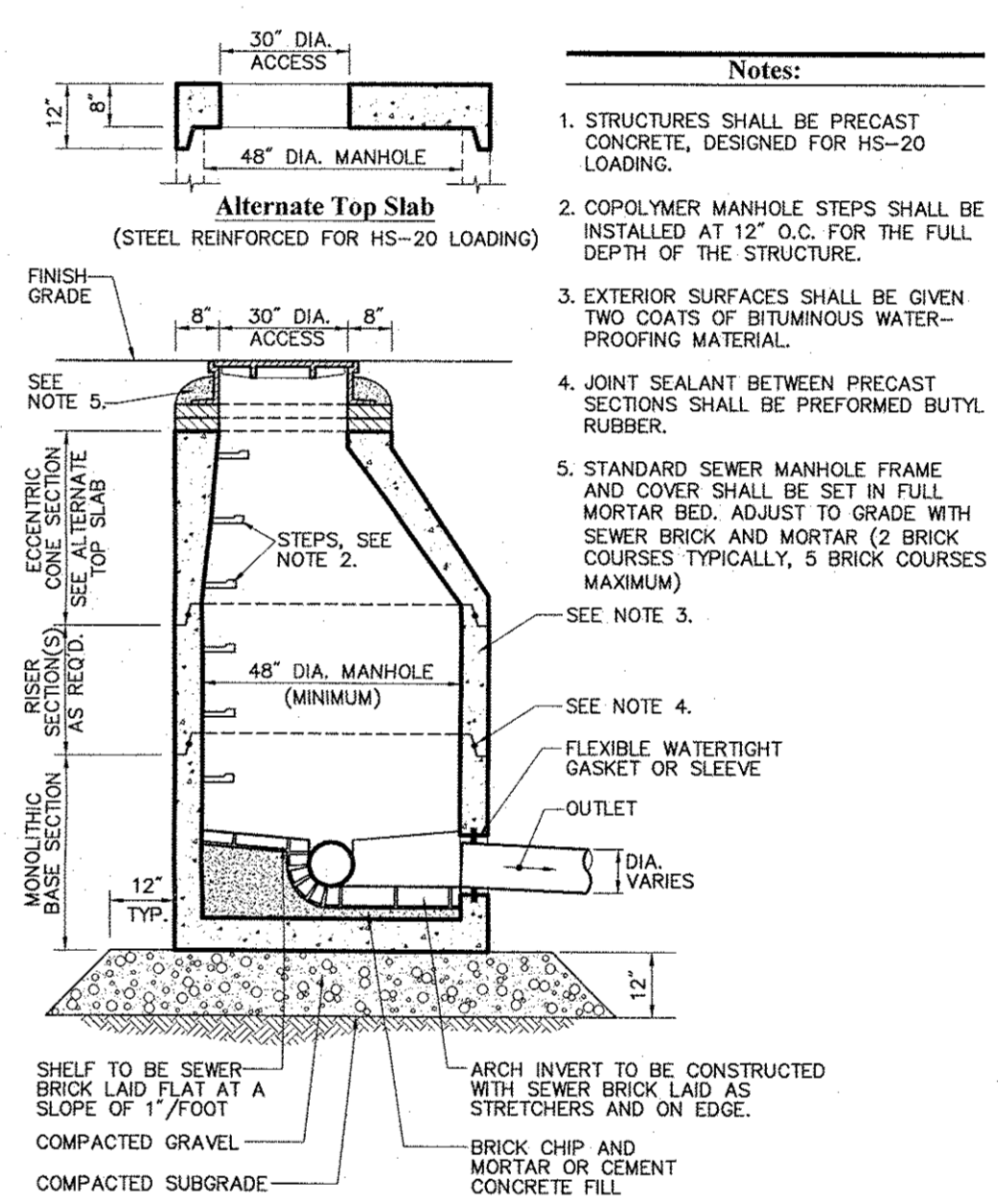
Catch Basin (CB) 6/08
N.T.S. Source: VHB LD_100



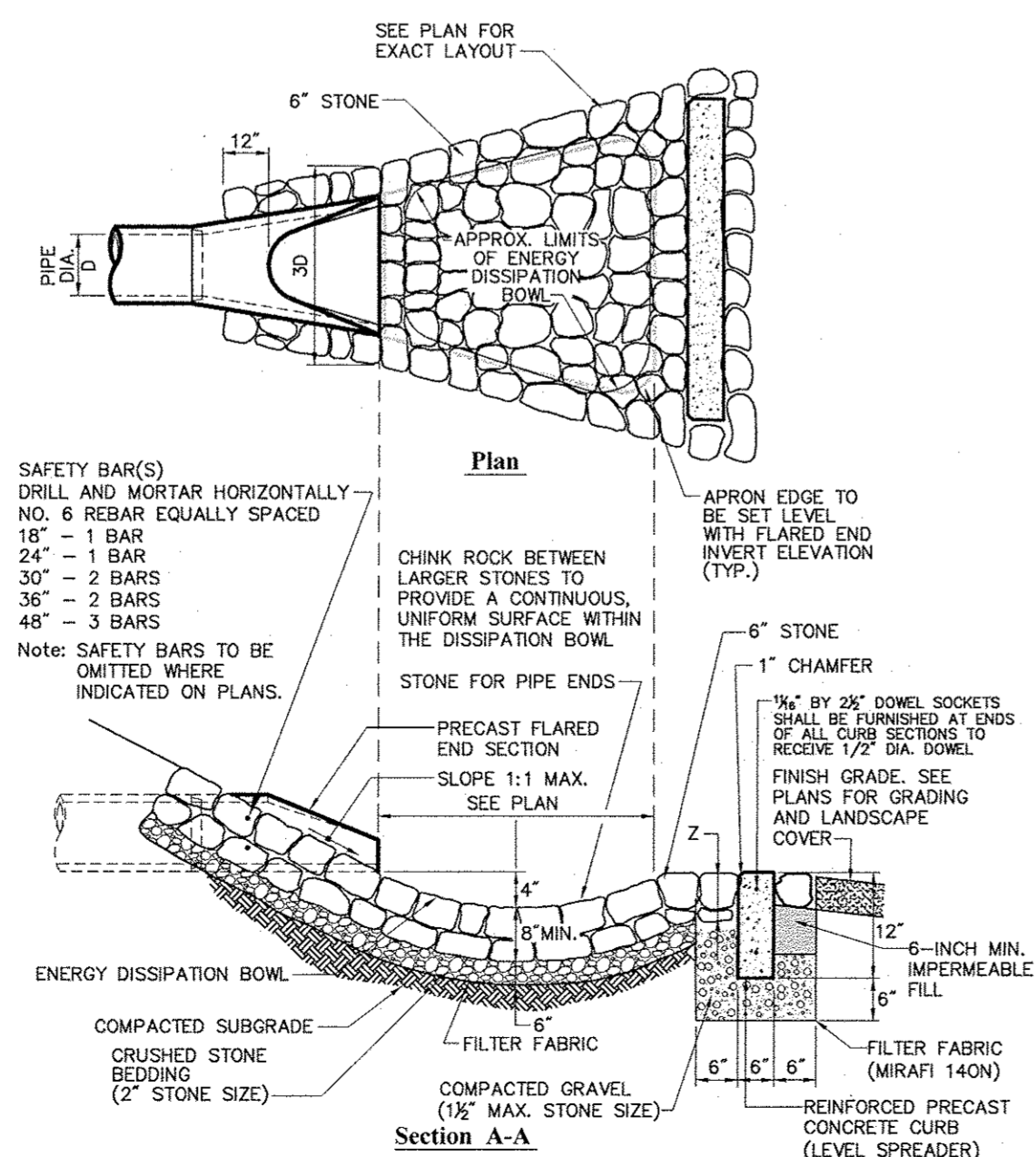
4' Decorative Fence 11/08
N.T.S. Source: SPECRAIL REV LD_XXX



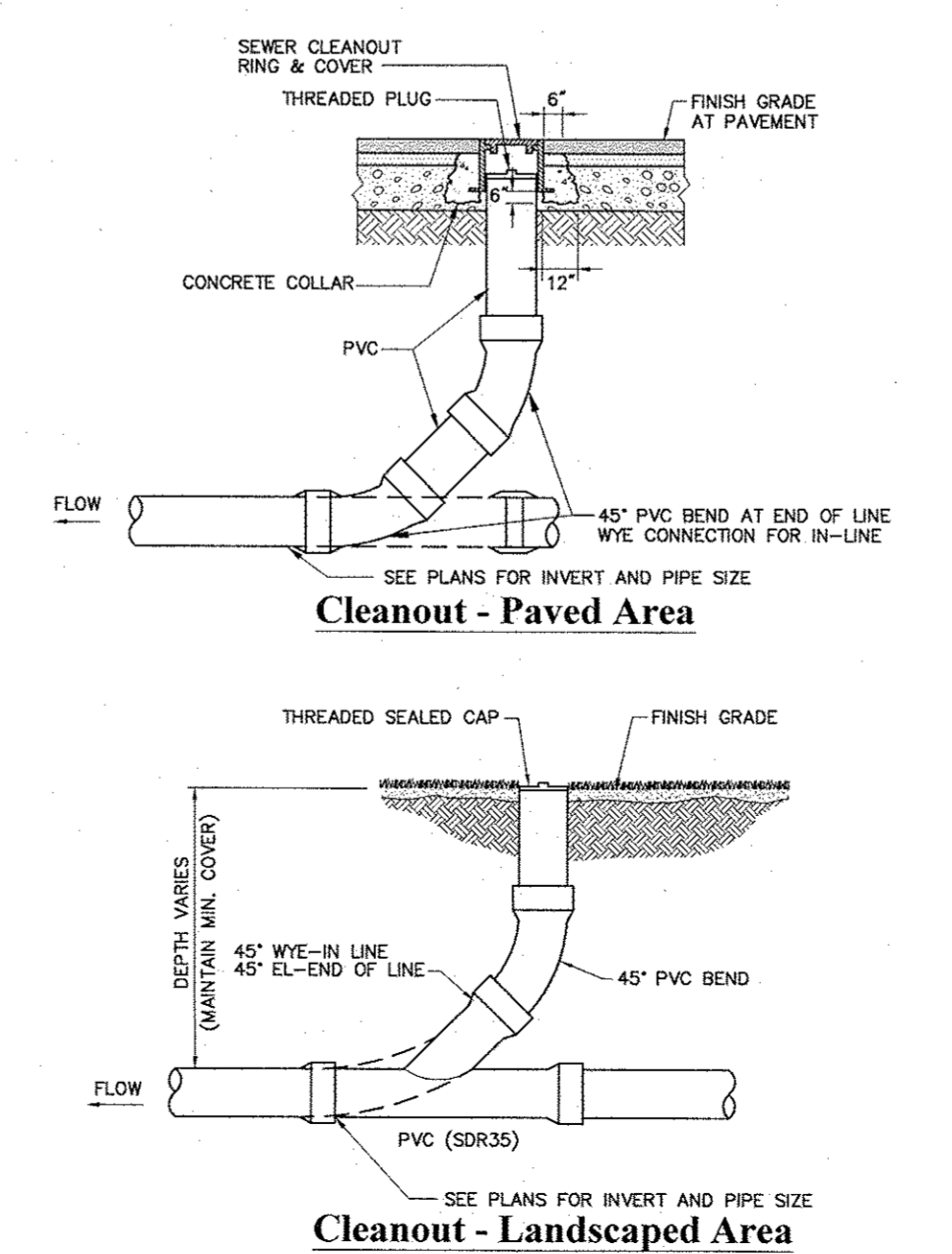
Foundation Drain 6/08
N.T.S. Source: VHB LD_196



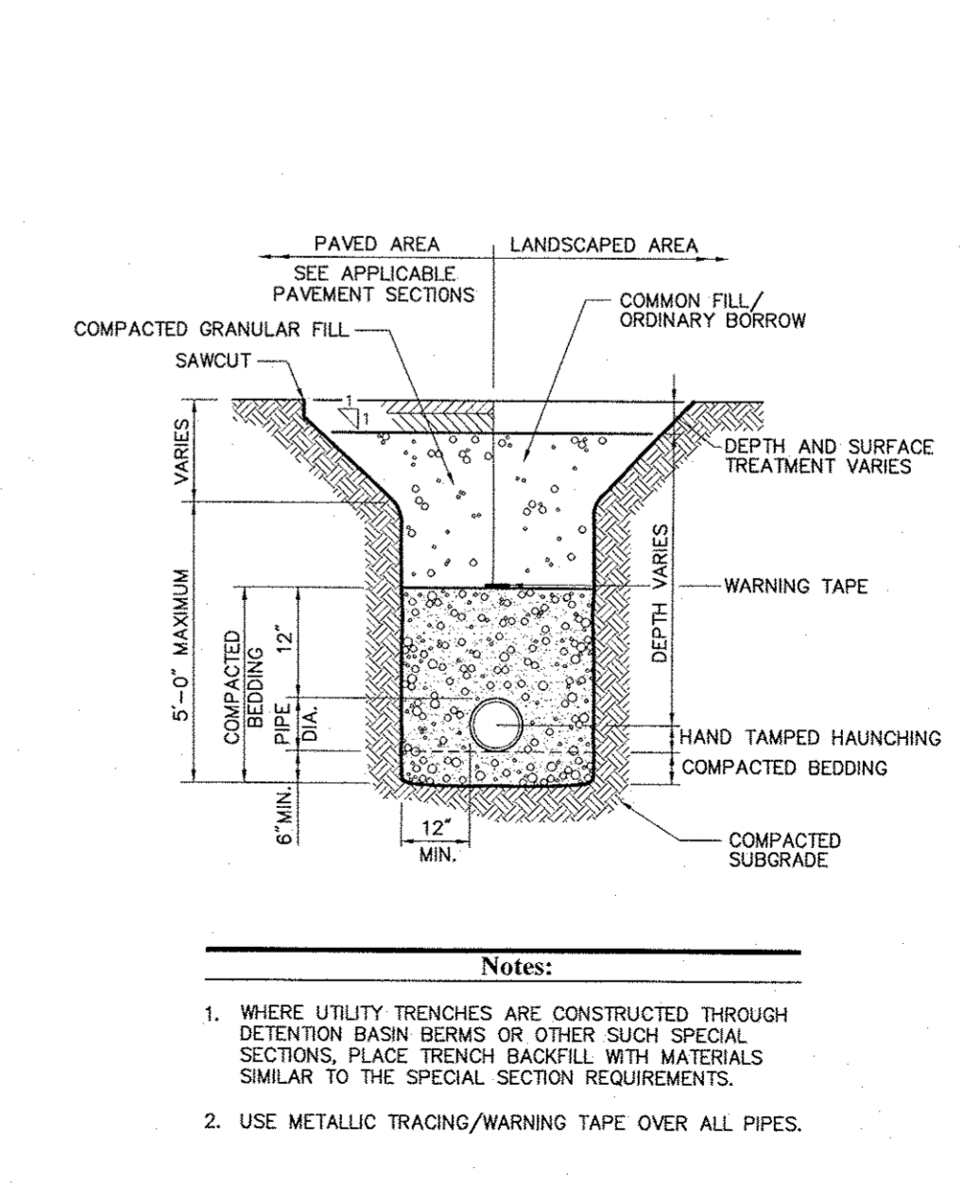
Sanitary Sewer Manhole (SMH) 6/08
N.T.S. Source: VHB LD_200



Corporation/Curb Stop with Box 6/08
N.T.S. Source: VHB LD_256



Cleanout - Paved Area 6/08
N.T.S. Source: VHB LD_302



Utility Trench 8/11
N.T.S. Source: VHB LD_300

CVS pharmacy
13,600 SF - TYPE B
SIDE DRIVE-THRU
STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:
vhb
Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
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DEVELOPER:
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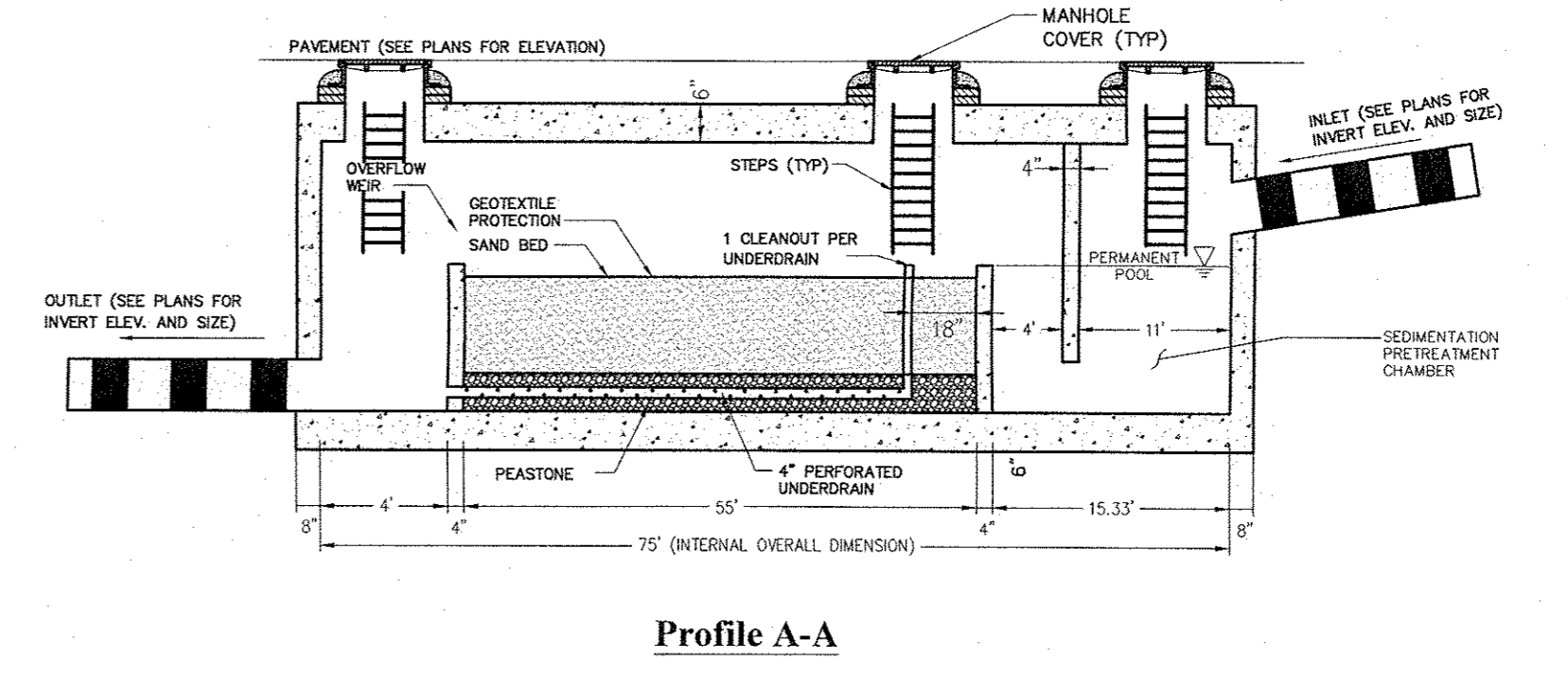
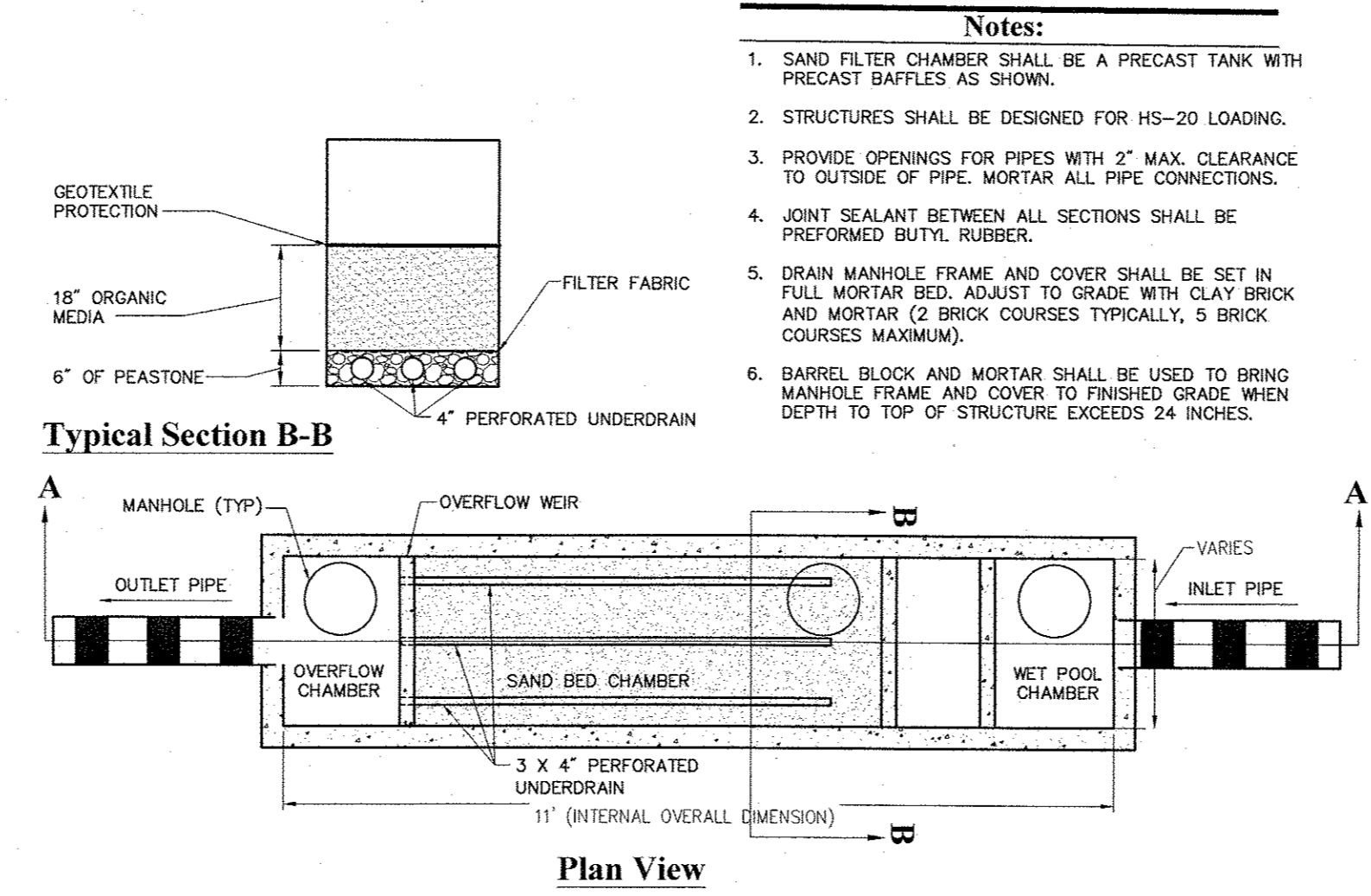
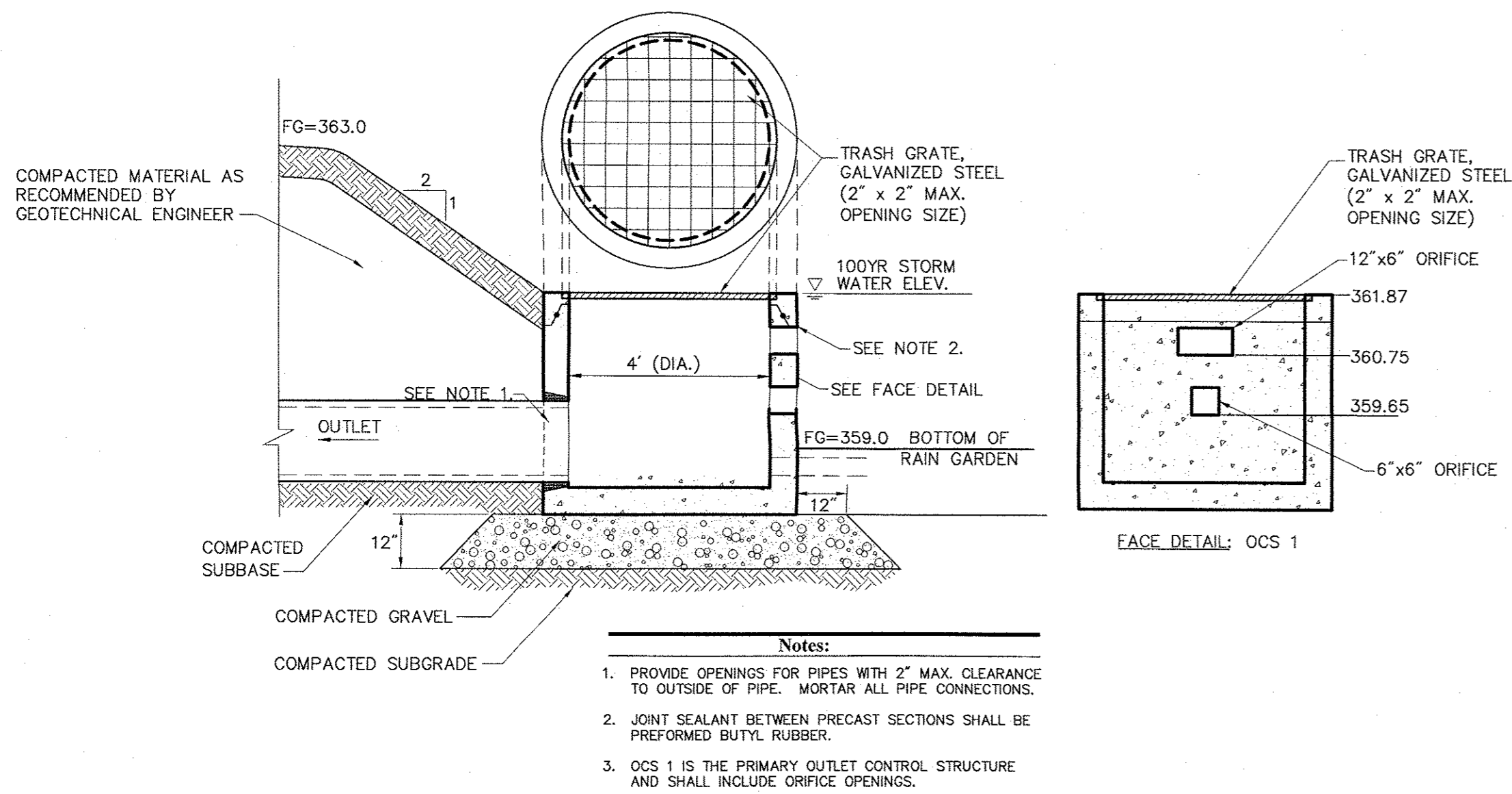
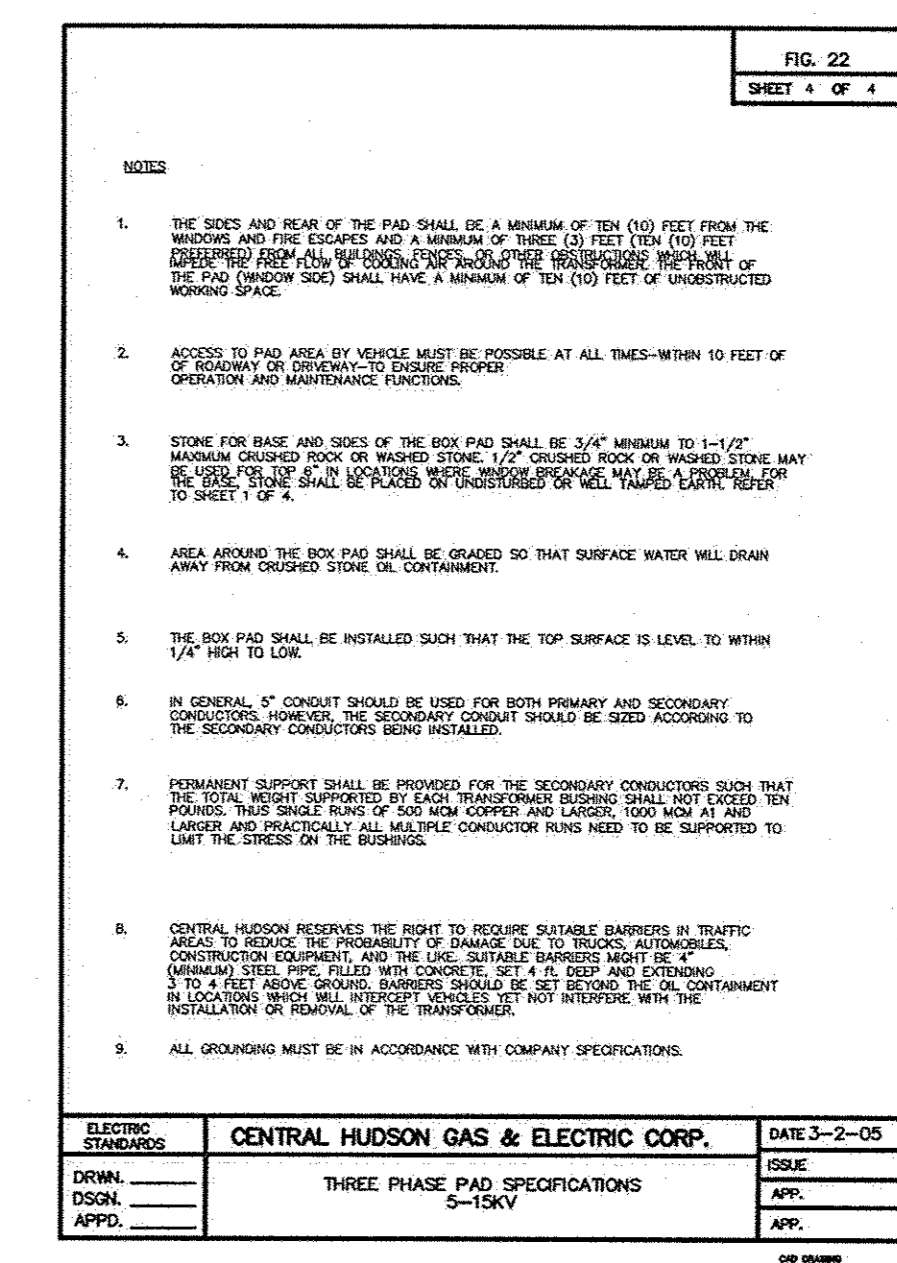
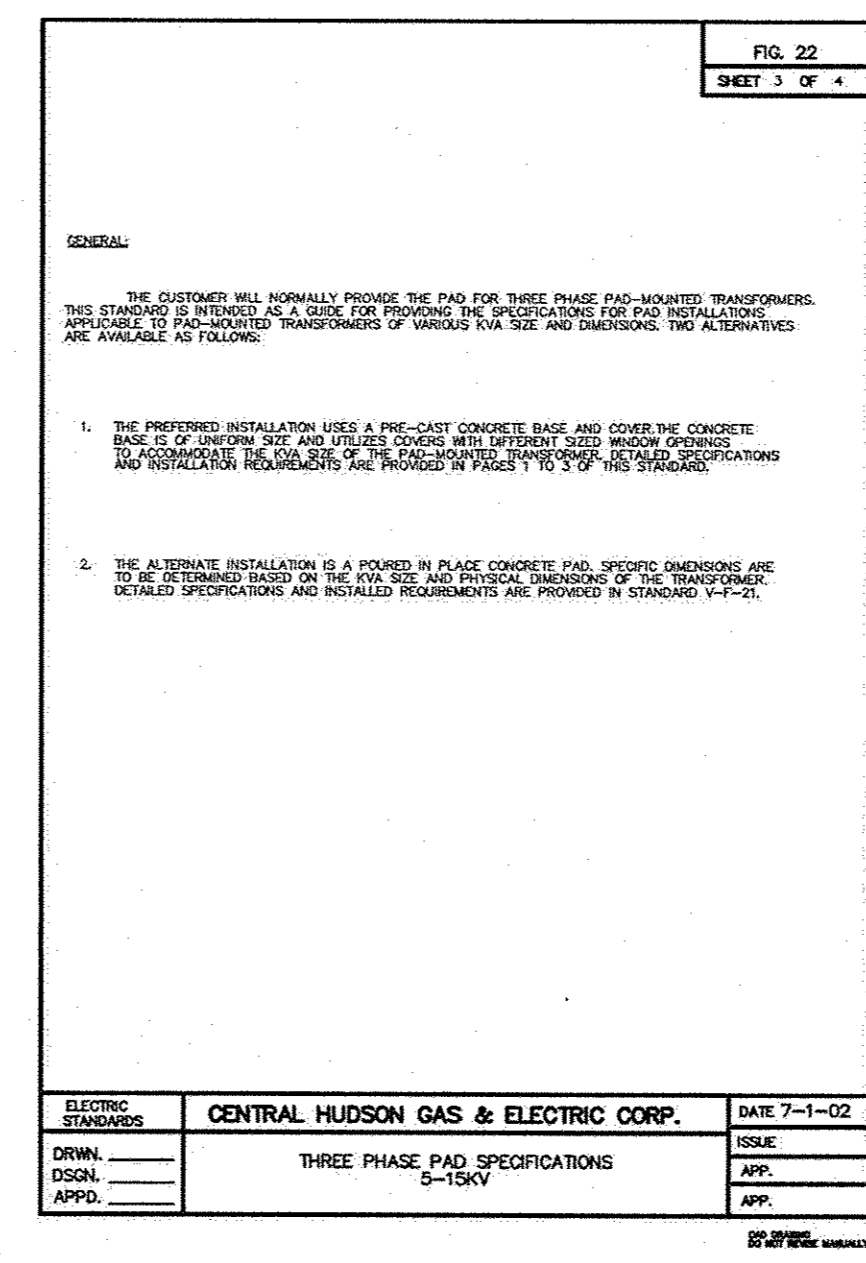
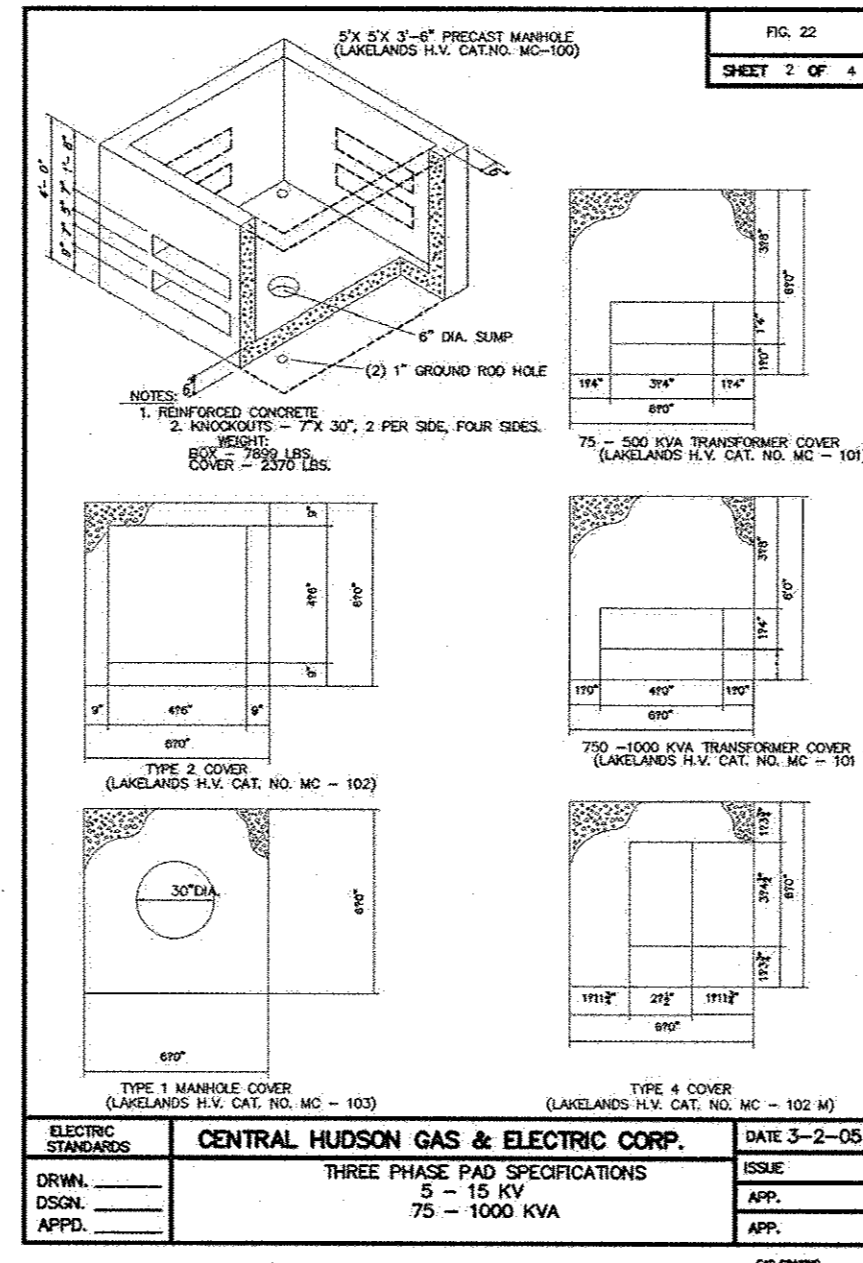
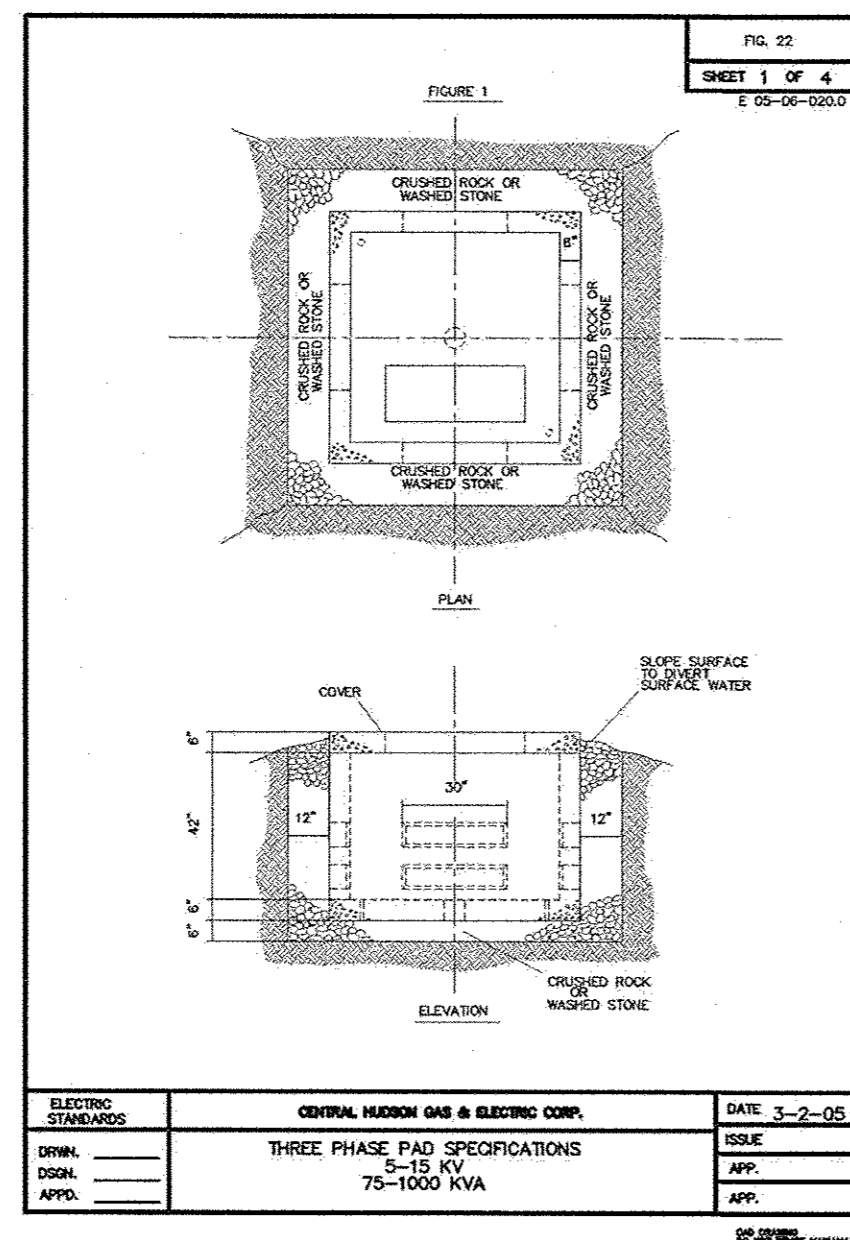


REVISIONS:

1	PER TOWN COMMENTS	11/23/15
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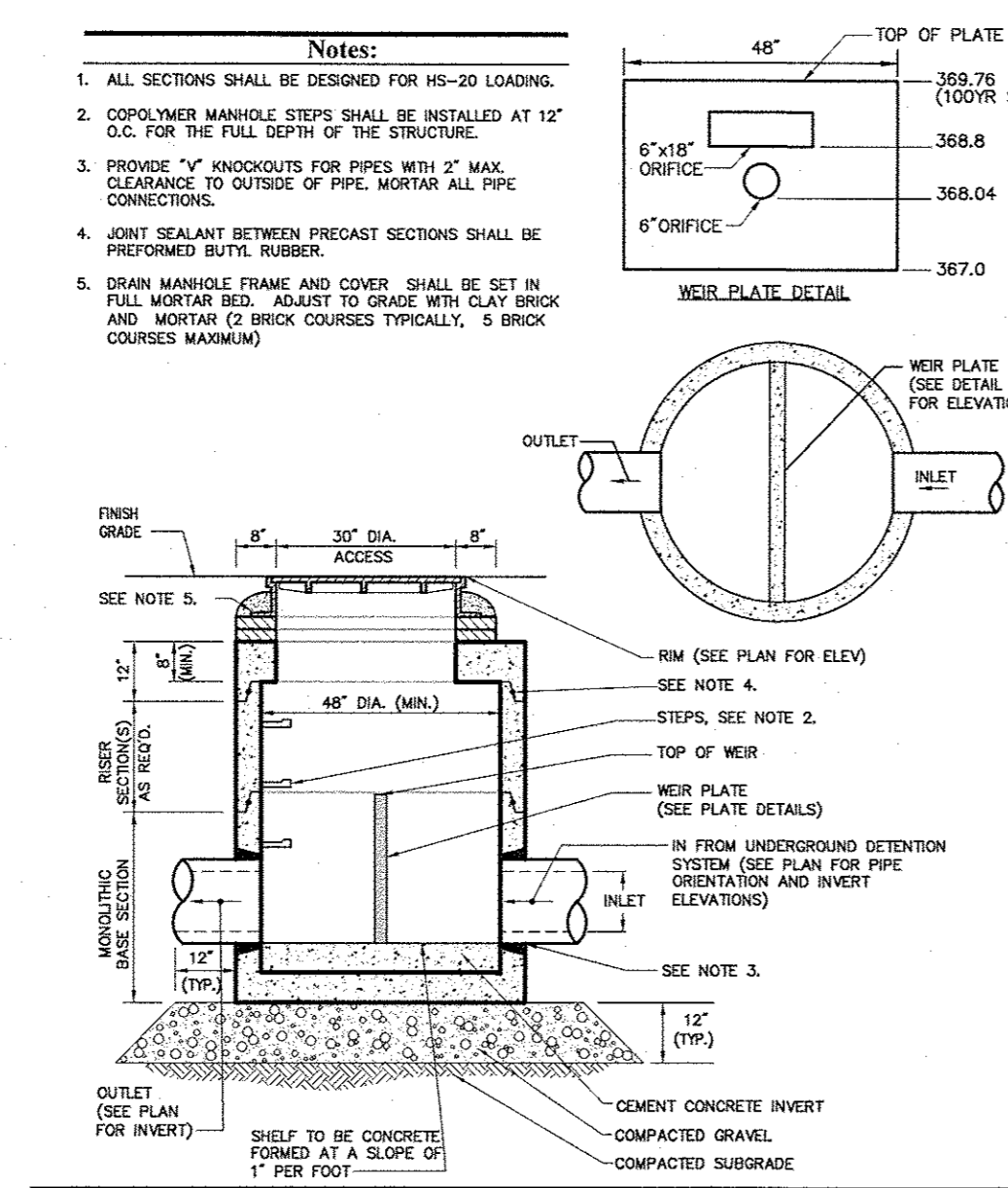
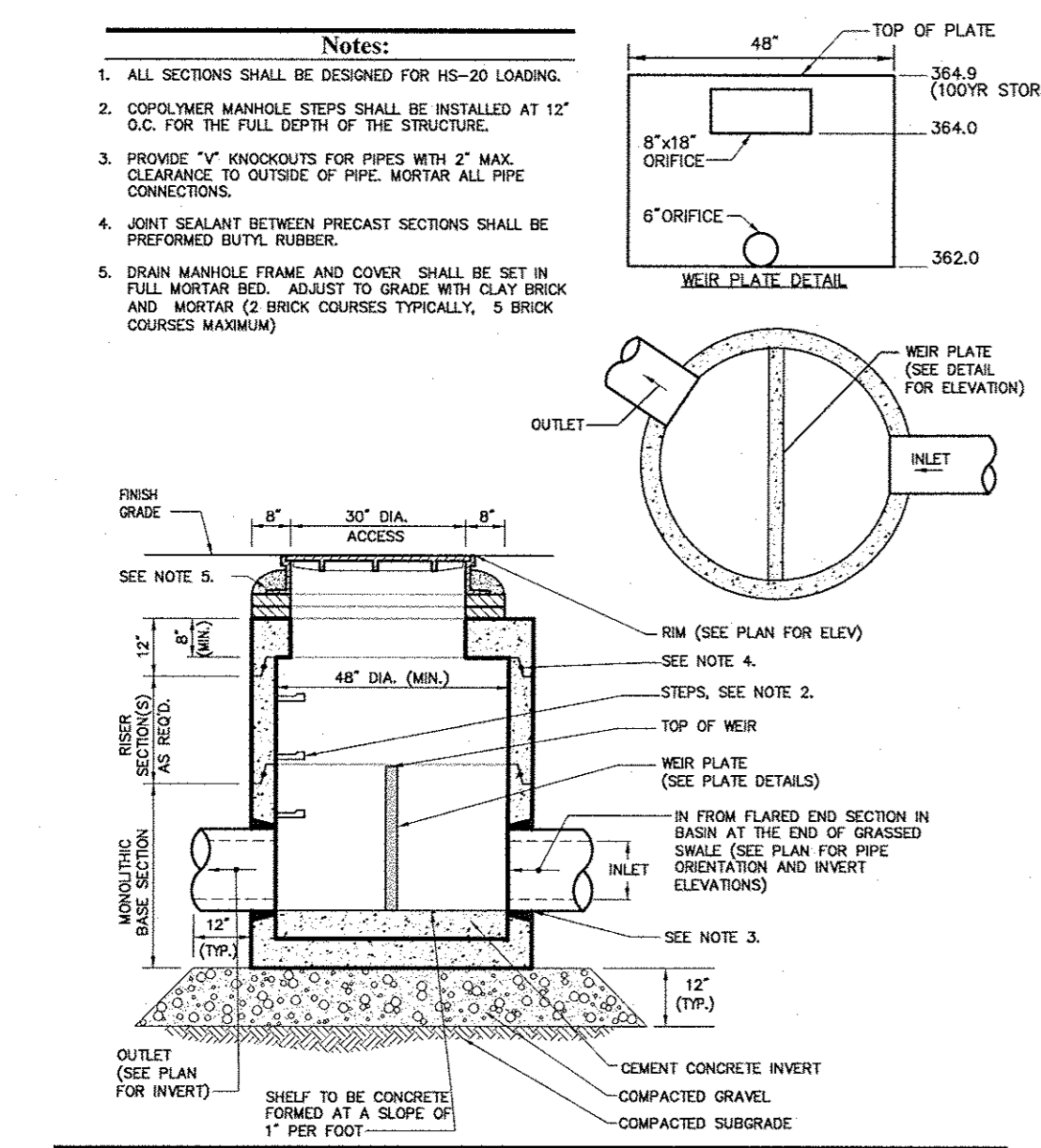
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PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRG
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE:

Site Details 3
SHEET NUMBER:
C-8
COMMENTS:
NOT ISSUED FOR CONSTRUCTION
06_41847.44_DT.DWG



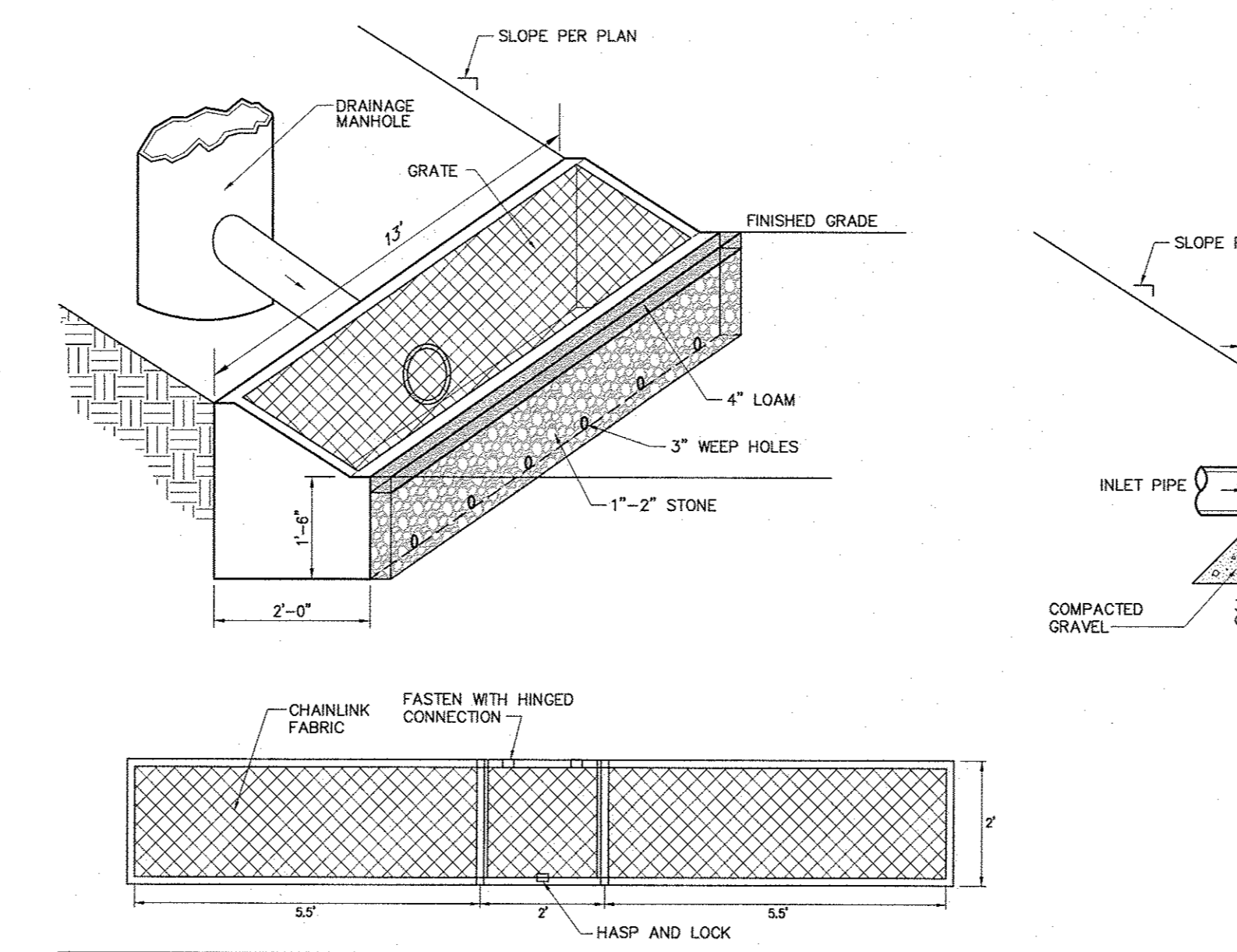
Outlet Control Structure 1 - Above ground detention basin 10/15
N.T.S. Source: VHB LD_163

Sand Filter 10/15
N.T.S. Source: VHB LD_170

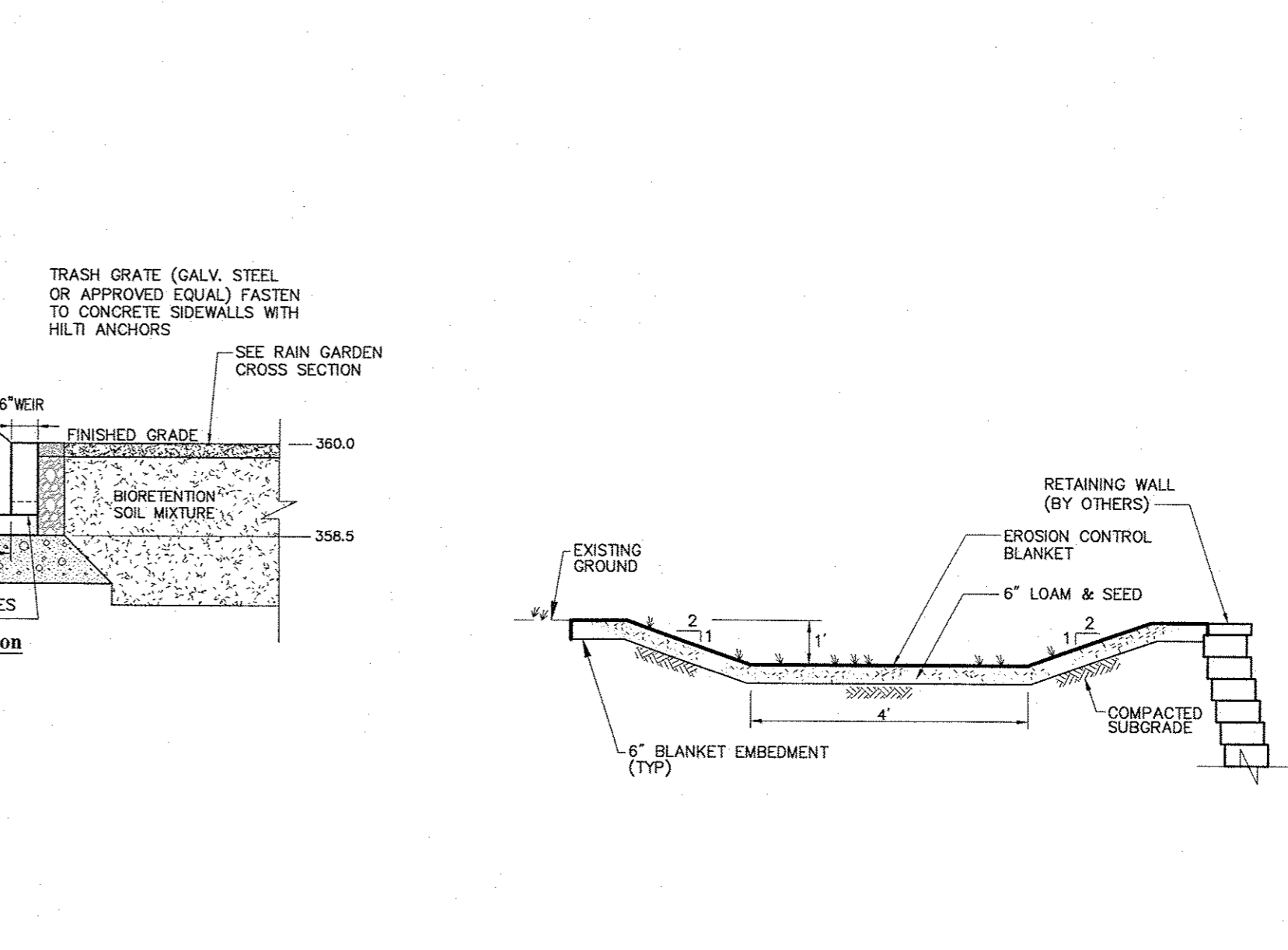


Outlet Control Structure (OCS2) 10/15
N.T.S. Source: VHB REV LD_115

Outlet Control Structure (OCS3) 10/15
N.T.S. Source: VHB REV LD_115



Precast Concrete Level Spreader 10/15
N.T.S. Source: VHB REV LD_171



Grassed Swale 6/08
N.T.S. Source: VHB REV LD_171

CVS pharmacy
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vhb
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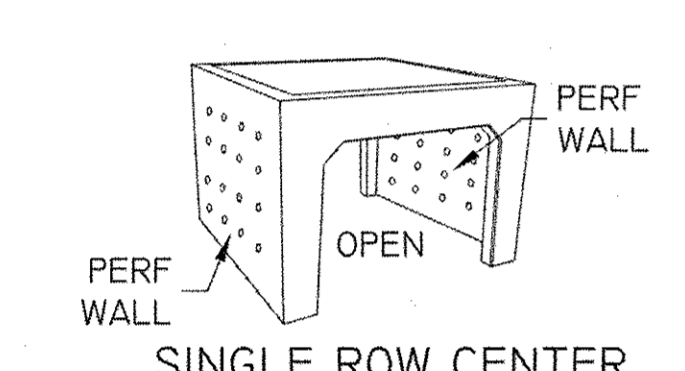
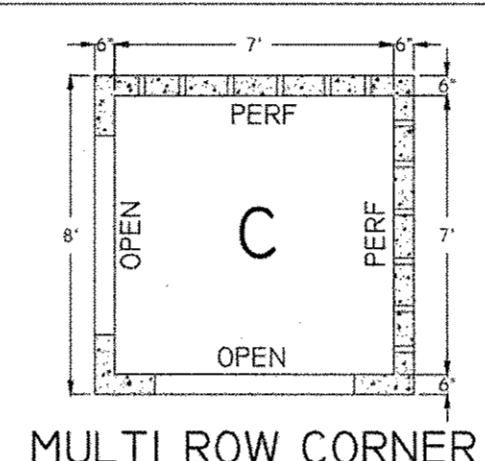
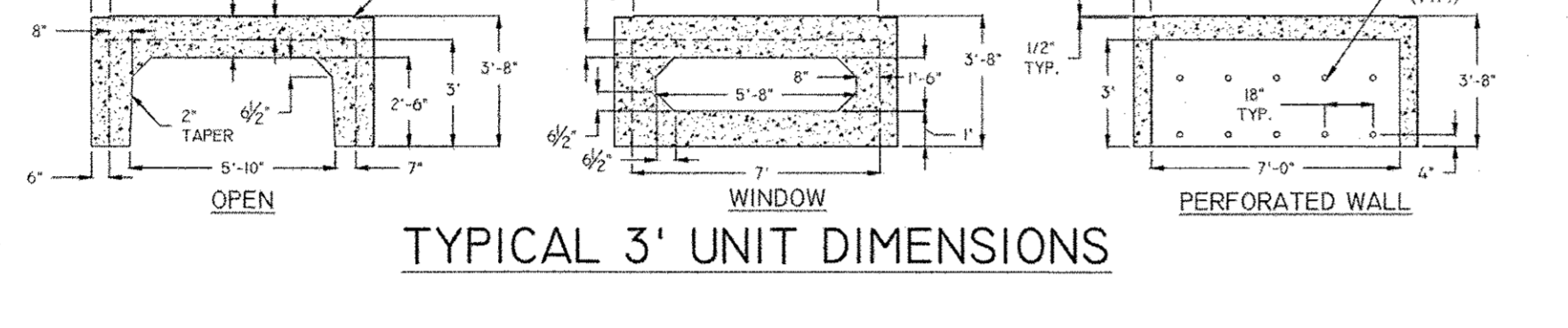
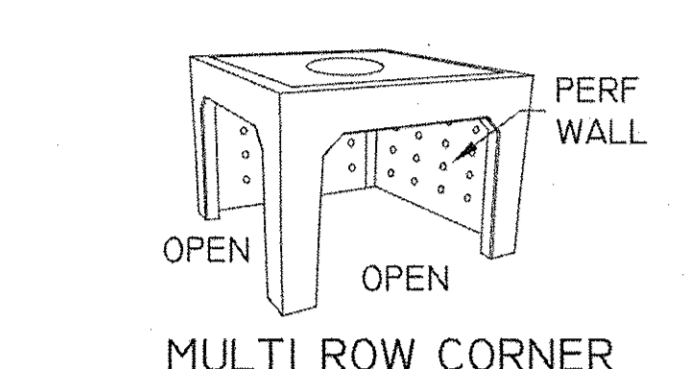
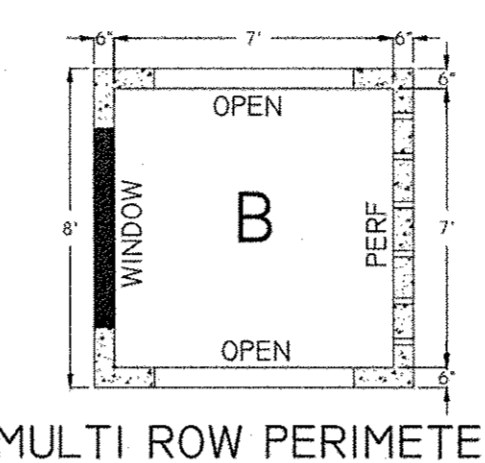
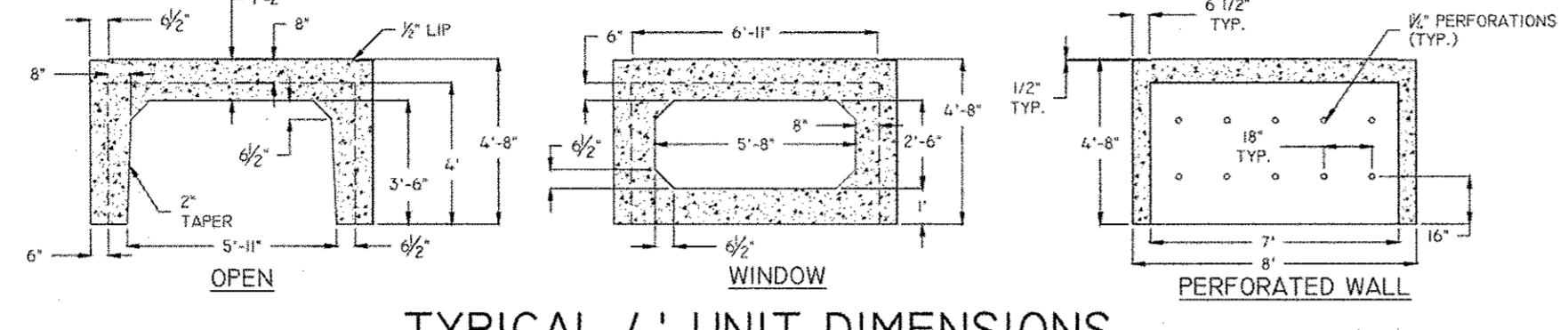
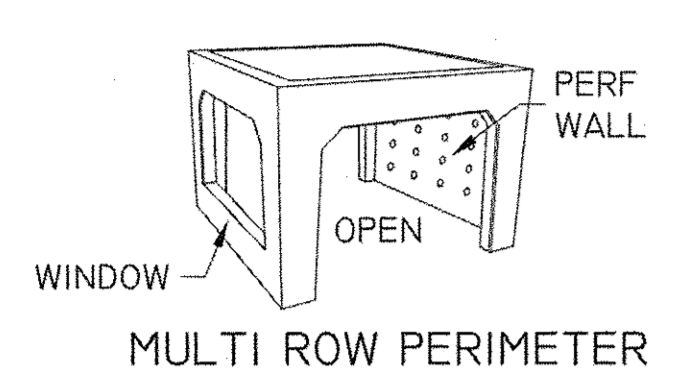
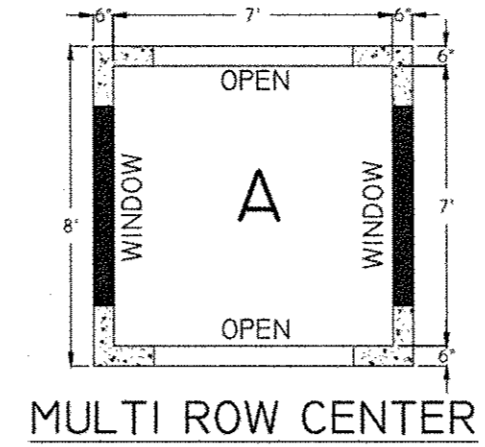
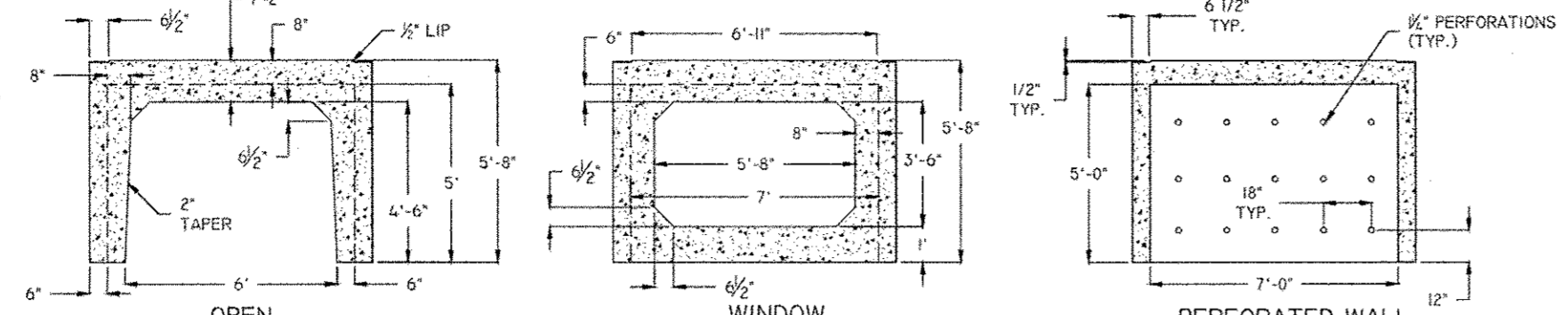
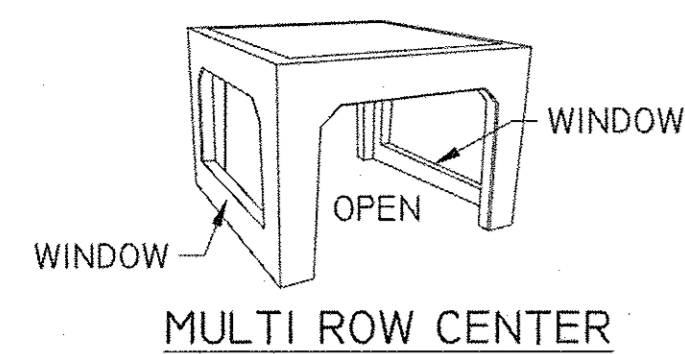


REVISIONS:

1 PER TOWN COMMENTS	11/23/15
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PROJECT MANAGER: PNO
PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRG
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE:

Site Details 4
SHEET NUMBER: **C-9**
COMMENTS:
NOT ISSUED FOR CONSTRUCTION
06_41847.44_DT.DWG



VOLUME CAPACITY CALCULATION
TARGET VOLUME: _____

*TOP RETAIN-IT MODULE HEIGHT:
"A" MIDDLE: _____ (UNITS) x _____ CU.FT. PER UNIT = _____ CU.FT.
"B" SIDE: _____ (UNITS) x _____ CU.FT. PER UNIT = _____ CU.FT.
"C" CORNER: _____ (UNITS) x _____ CU.FT. PER UNIT = _____ CU.FT.
TOTAL UNITS: _____ TOTAL VOLUME = _____ CU.FT.

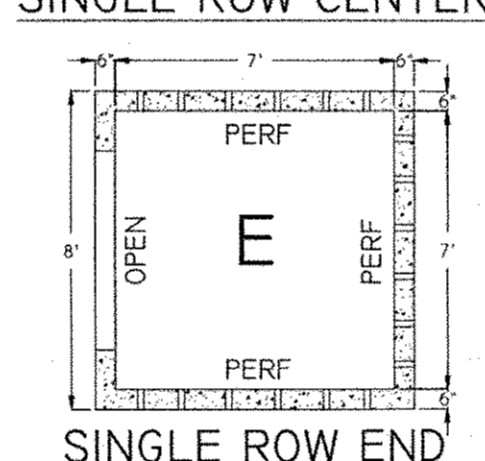
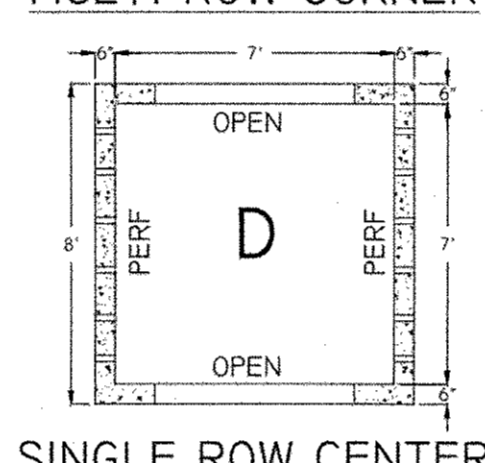
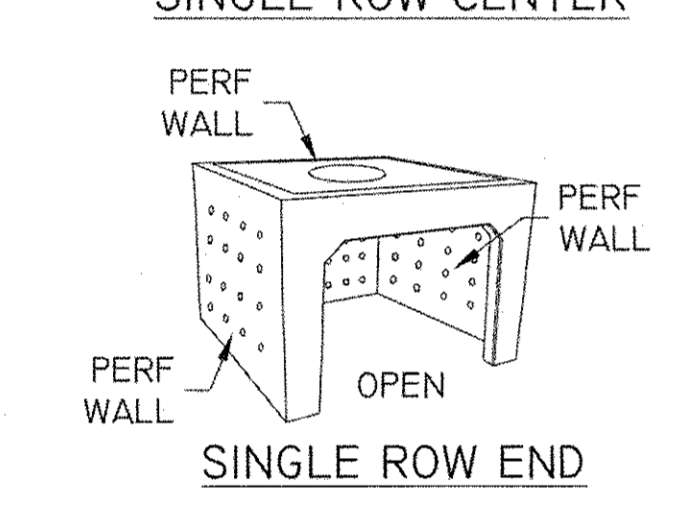
STONE STORAGE (40% VOID)
BASE: _____ THICK ROCK SIDEWALL
TOTAL VOLUME: _____ LONG x _____ WIDE x _____ THICK = _____ CU.FT.
x VOID RATIO _____ x (40% VOID) = _____ CU.FT.

SIDE WALL: _____ THICK ROCK SIDEWALL
TOTAL VOLUME: _____ LONG x _____ WIDE x _____ THICK = _____ CU.FT.
x VOID RATIO _____ x (40% VOID) = _____ CU.FT.

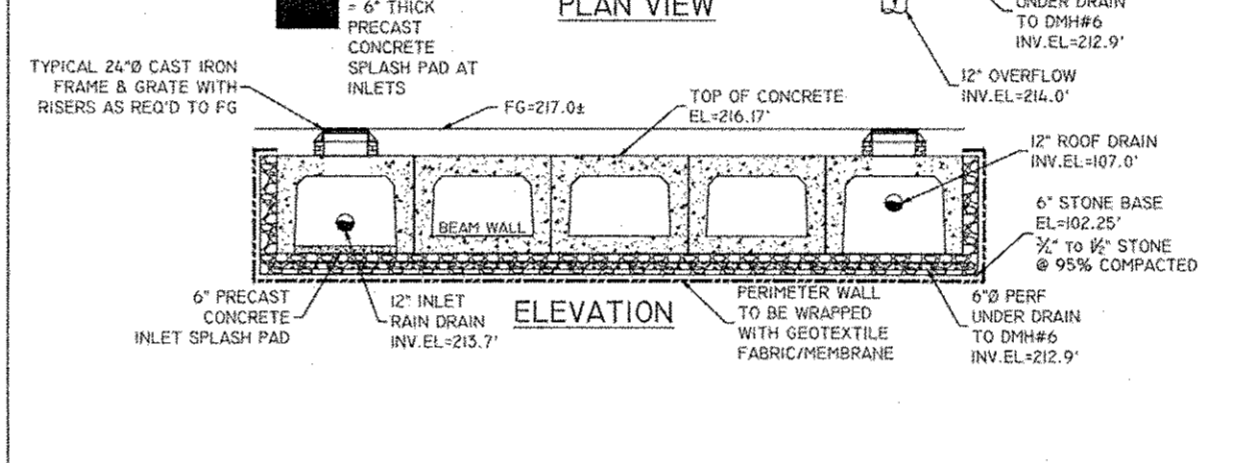
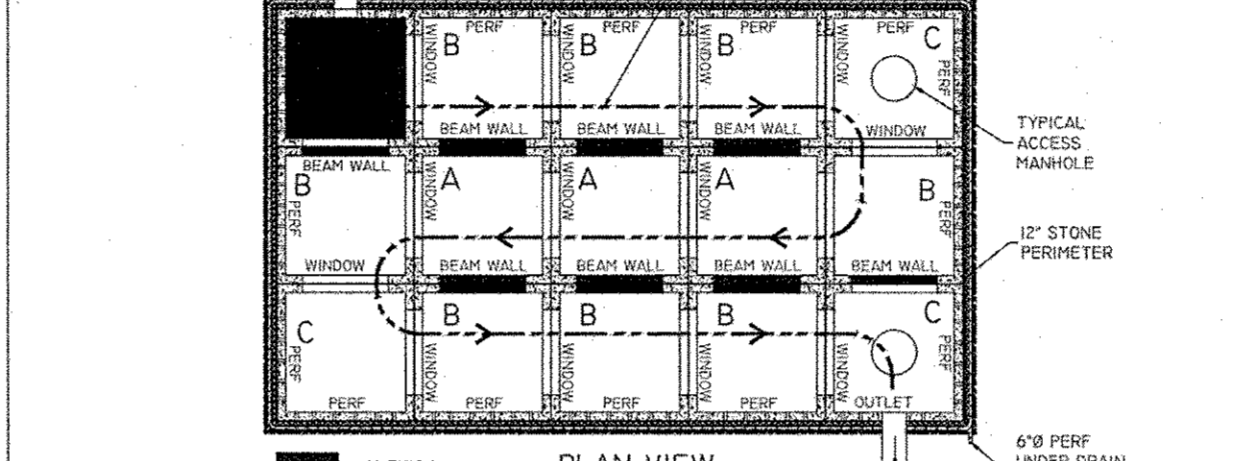
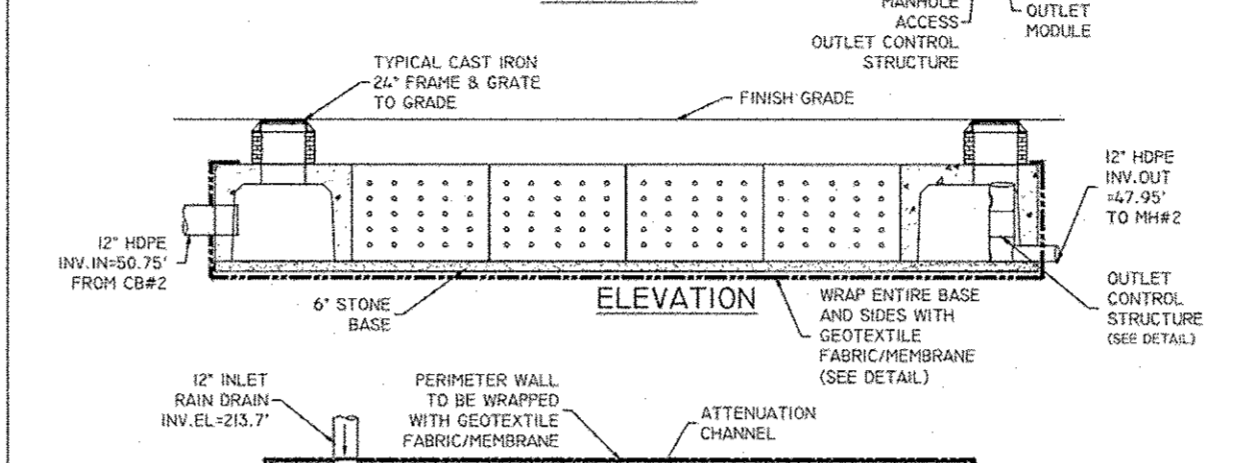
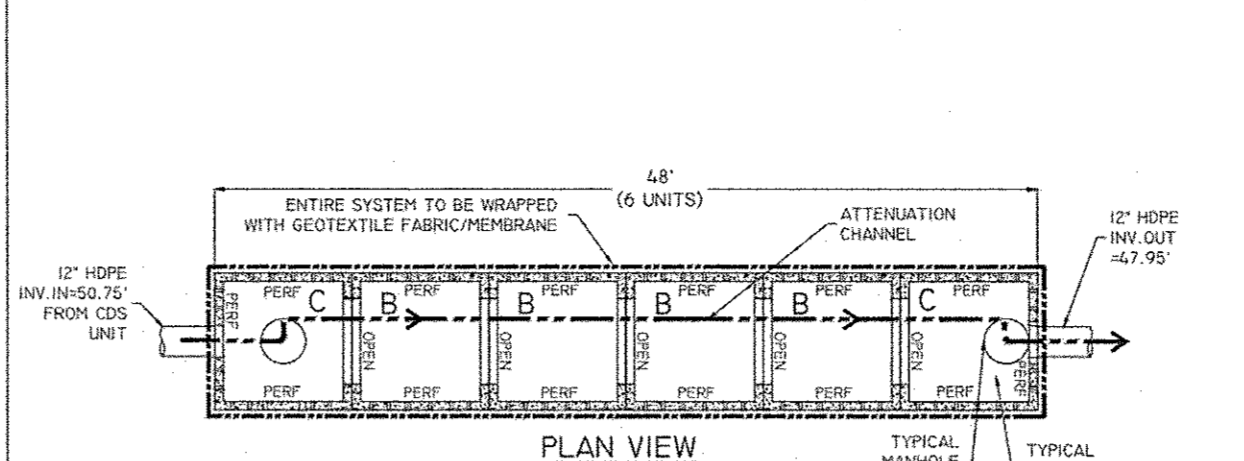
TOTAL CAPACITY _____ CU.FT. STORAGE CAPACITY _____ CU.FT.
BASE STONE _____ CU.FT.
SIDEWALL STONE _____ CU.FT.

*SEE DESIGN / DOCUMENT LIBRARY / STORAGE VOLUMES AND WEIGHTS BY MODULAR HEIGHT FOR SELECT CALCULATION DATA

NOTE: SEE CALCULATOR AND DESIGN TOOL @ RETAIN-IT.COM
RETAIN-IT.COM/DESIGN/DESIGN-TOOLS



SYSTEM EXAMPLES



ASTM SPECIFICATIONS:
1. CONCRETE - 5,000 PSI, 28 DAYS
2. REINFORCING STEEL CONFORMS TO LATEST ASTM A615
3. H-20 DESIGN LOADING PER AASHTO HS-20-44

ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF RETAIN IT SHALL RENDER IT INVALID AND UNUSABLE.

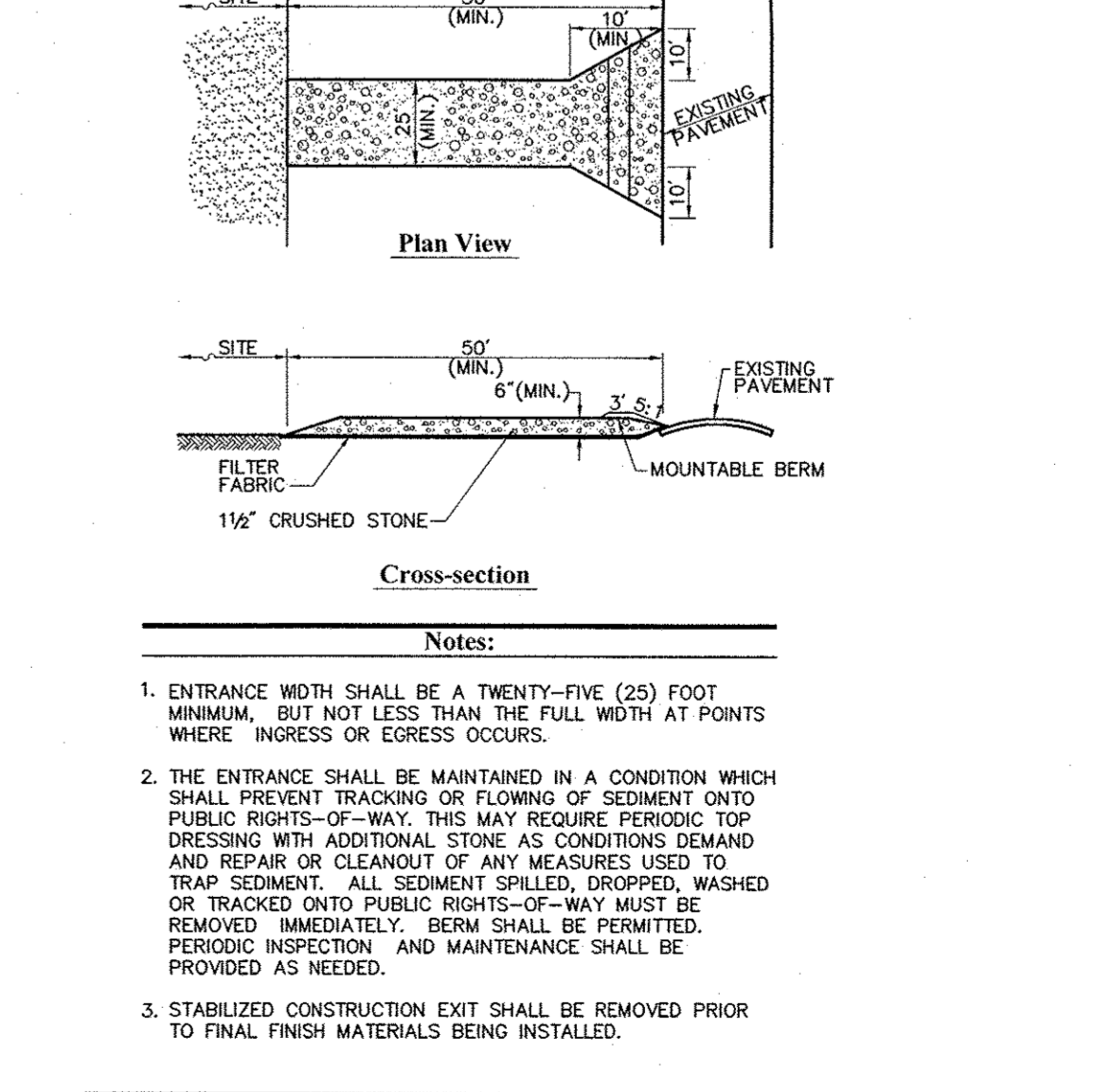
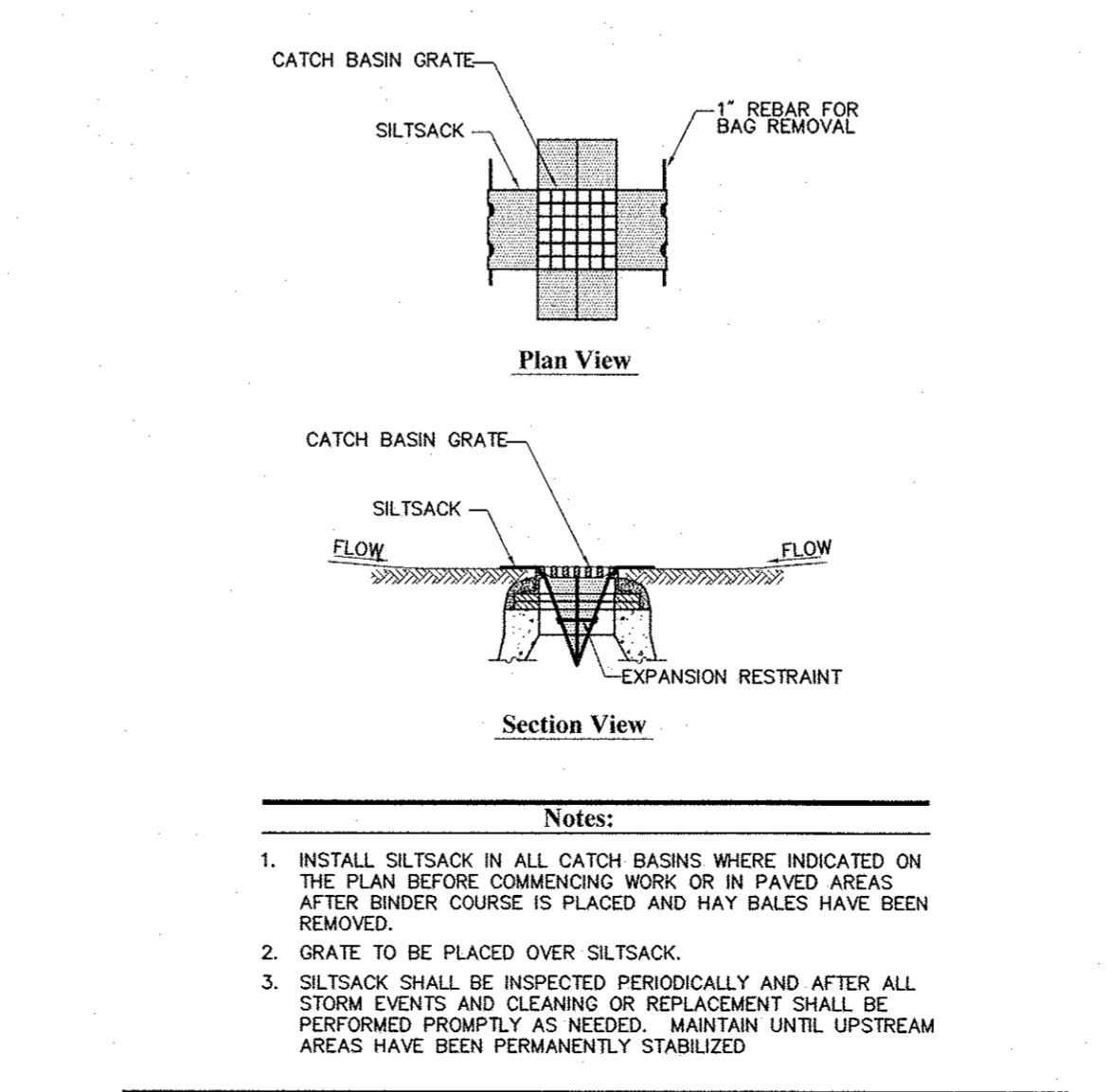
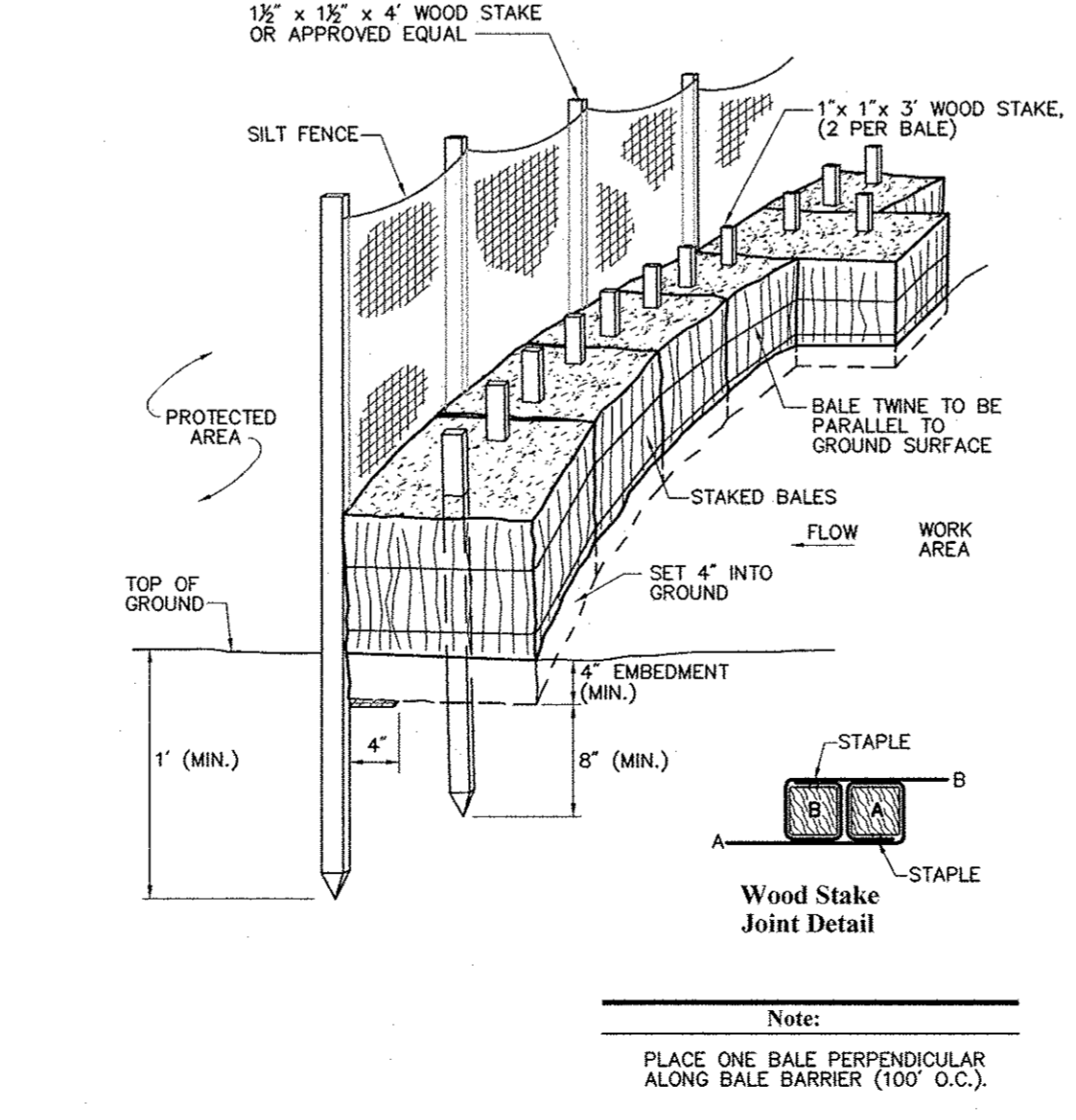
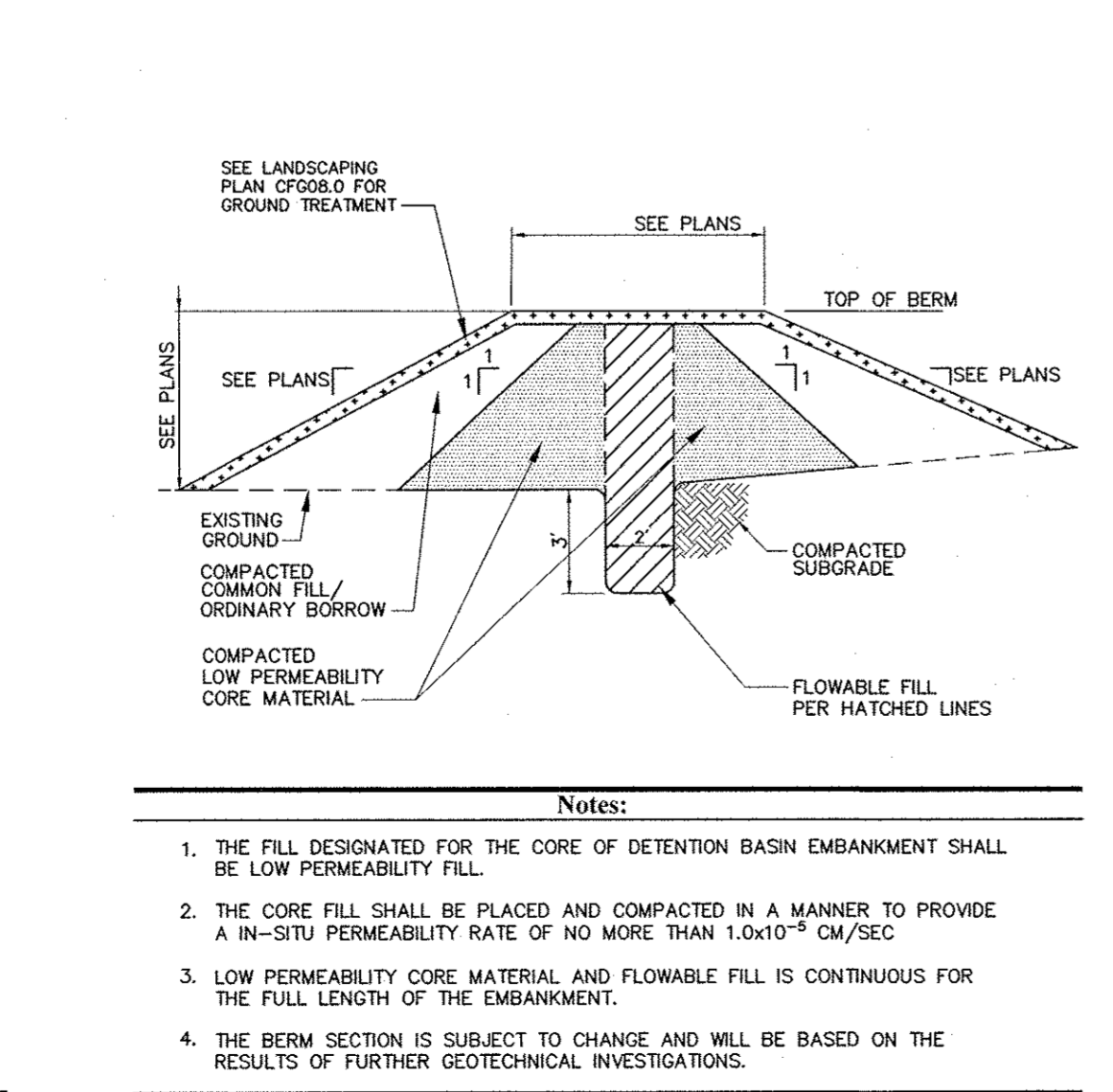
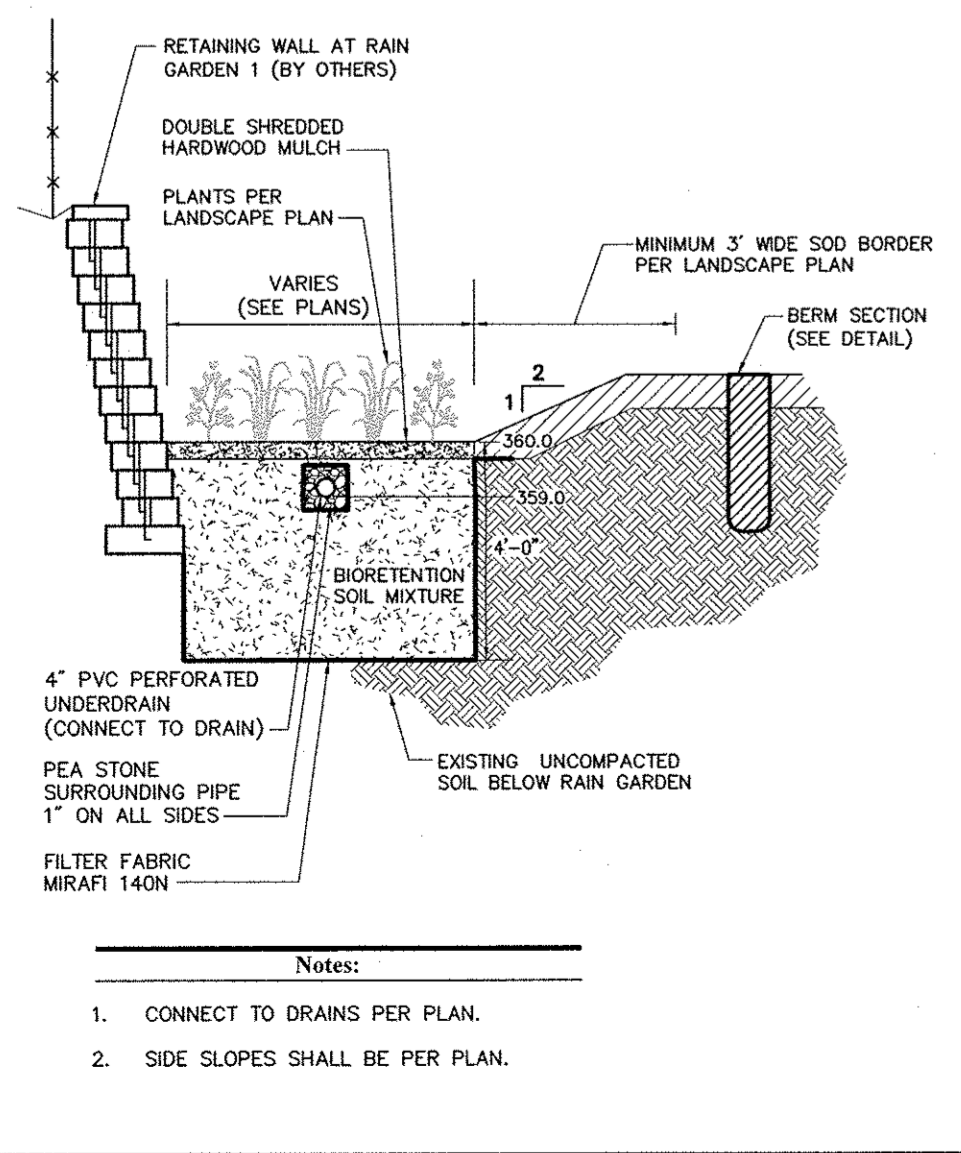


STORM WATER MANAGEMENT
DETENTION / RETENTION AND INFILTRATION SYSTEM

RETAIN IT
560 SALMON BROOK STREET
GRANBY, CT 06035
(860) 413-3050
RETAIN-IT.COM

SINGLE SYSTEM

Project		Sheet
Date		1 OF 3
Scale		N.T.S.
AUTOCAD TYPICAL DETAILS		



Rain Garden Section 10/15
N.T.S. Source: VHB REV LD

Berm Section (for areas of FILL) 10/08
N.T.S. Source: VHB LD_160

Silt Fence / Straw Bale Barrier (Embedded) 2/11
N.T.S. Source: VHB LD_656

Silt Sack Sediment Trap 6/08
N.T.S. Source: VHB LD_674

Stabilized Construction Exit 6/08
N.T.S. Source: VHB REV LD_682 N.T.S.

CVS pharmacy
13,600 SF - TYPE B
SIDE DRIVE-THRU
STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) & UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:
vhb
Engineering, Surveying & Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

DEVELOPER:
T.M.
CROWLEY & ASSOCIATES
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601



REVISIONS:

1 PER TOWN COMMENTS	11/23/15
---------------------	----------

PROJECT MANAGER: PNO
PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRG
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE:

Site Details 5
SHEET NUMBER:
C-10
COMMENTS:
NOT ISSUED FOR CONSTRUCTION
06_41847.44_DT.DWG

Landscape Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED CAREFULLY AS SHOWN ON THE PLANS FOR FIELD REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED AND STABILIZED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP SHREDDED PINE BARK SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, AS SHOWN ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE. BIORETENTION AREA / RAIN GARDEN SHALL BE MULCHED AS NOTED BELOW.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SOD" SHALL RECEIVE 6" OF LOAM AND SPECIFIED SOD MIX. LAWNS OVER 3:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC. SOD AREAS 3:1 SLOPE AND STEEPER SHALL BE STAKED WITH 8-INCH MINIMUM STAKE LENGTHS. INSTALL STAKES AT A MINIMUM OF 1 EVERY 2 SQUARE FEET, OR PER THE RECOMMENDATION OF THE MANUFACTURER.
- AREAS DESIGNATED "LOAM AND HYDROSEED (TYP)" SHALL RECEIVE A MINIMUM OF 4" OF LOAM AND SPECIFIED HYDROSEED (TYP) MIX. LAWNS 3:1 SLOPE AND STEEPER SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND HYDROSEED (TYP) OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AT THE FOLLOWING POINTS DURING CONSTRUCTION:
 - TO TAG PLANT MATERIALS
 - TO REVIEW PLANT LAYOUT/STAKING/PLANT BEDS AND TREE PITS AT ONE SITE VISIT DURING INSTALLATION
 - FOR FINAL WALK-THROUGH AND PUNCH LIST AT WHICH TIME THE CONTRACTOR SHALL DEMONSTRATE THE FULLY INSTALLED IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO PLANTING OR SEEDING:
 - ALL SEED AND SOD MIXES
 - PLANTING SOILS TEST RESULTS AND RECOMMENDATIONS FROM TESTING LABORATORY
 - MANUFACTURER'S DATA ON ALL SOIL AMENDMENTS
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Infiltration Basin & Small Detention Basin

- THE INFILTRATION BASIN SHALL NOT BE PLACED ON-LINE UNTIL THE ENTIRE INFILTRATION AREA, INCLUDING SIDE SLOPES, HAS BEEN STABILIZED AND VEGETATION HAS ESTABLISHED. THE INFILTRATION BASIN AREA SHALL BE PROTECTED FROM SEDIMENT LADEN RUNOFF.
- BASIN BOTTOM:** LOAM AND SOD ON BOTTOM OF STORMWATER DETENTION BASIN TO BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES AT 35 LBS/ACRE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (OR APPROVED EQUAL).
- BASIN SIDESLOPES:** LOAM AND SOD SIDESLOPES OF BASIN (ALL SIDES) WITH EROSION CONTROL & RESTORATION SEED MIX FOR DRY SITES AT 35 LBS/ACRE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL).
- EROSION CONTROL BLANKET/MATTING TO BE CUREX® PHOTO- DEGRADABLE BLANKET. INSTALL EROSION CONTROL BLANKET/MATTING AFTER SEED PLACEMENT AND SECURE PER DETAIL/ SPECS.
- TOPSOIL ON BOTTOM OF INFILTRATION BASIN TO BE 4" OF SANDY LOAM, MATCHING THE SPECS NOTED UNDER "BIORETENTION BASIN - CONSTRUCTION NOTES", THIS SHEET.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AR	6	Acer rubrum 'October Glory'	October Glory Maple	3 1/2 - 4" CAL	
GT	4	Gleditsia triacanthos 'Shademaster' TM	Shademaster Locust	2 1/2 - 3" CAL	
QP	8	Quercus pluareaia	Pin Oak	2 1/2 - 3" CAL	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
PA	16	Picea abies	Norway Spruce	6 - 7' HT.	
TS	14	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6 - 7' HT.	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
PO	5	Prunus incisa 'Okame'	Oakme Cherry	2 1/2 - 3" CAL	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
IH	15	Ilex crenata 'Hoogendoorn'	Hoogendoorn Japanese Holly	18 - 24" SPD	
IG	22	Ilex glabra	Inkberry Holly	2 - 2 1/2' HT.	
RF	36	Rosa acicularis 'The Fairy'	The Fairy Rose (Min)	18 - 24" SPD	
JB	20	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	18 - 24" SPD	
JP	20	Juniperus procumbens 'Nana'	Garden Juniper	18 - 24" SPD	
CA	20	Clethra alnifolia 'Hummingbird'	Hummingbird's Summersweet	2 - 2 1/2' HT.	
SLP	27	Spiraea x bumalda 'Little Princess'	Little Princess Spirea	15 - 18" SPD	
ANNUAL/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HS	67	Hemerallis x 'Stella de Oro'	Stella de Oro Daylily	1 GAL.	18" O.C.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PH	187	Pennisetum alopecuroides 'Hamel'	Hamel Dwarf Fountain Grass	1 GAL.	18" O.C.
BIORETENTION PLANTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
IV	161	Iris versicolor	Blue Flag	1 GAL.	24" O.C.
PC	168	Pontederia cordata	Pickerelweed	1 GAL.	24" O.C.
SA	199	Scirpus acutus	Hardstem Bulrush	1 GAL.	24" O.C.
CC	152	Calamagrotis canadensis	Blue Joint	1 GAL.	24" O.C.

LEGEND

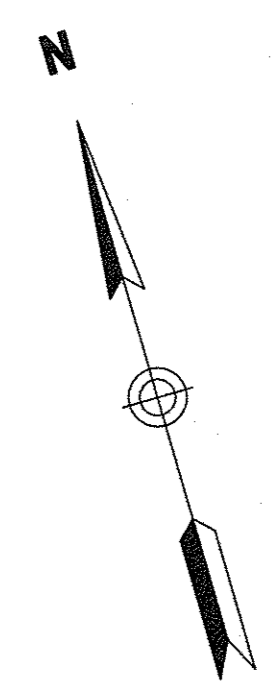
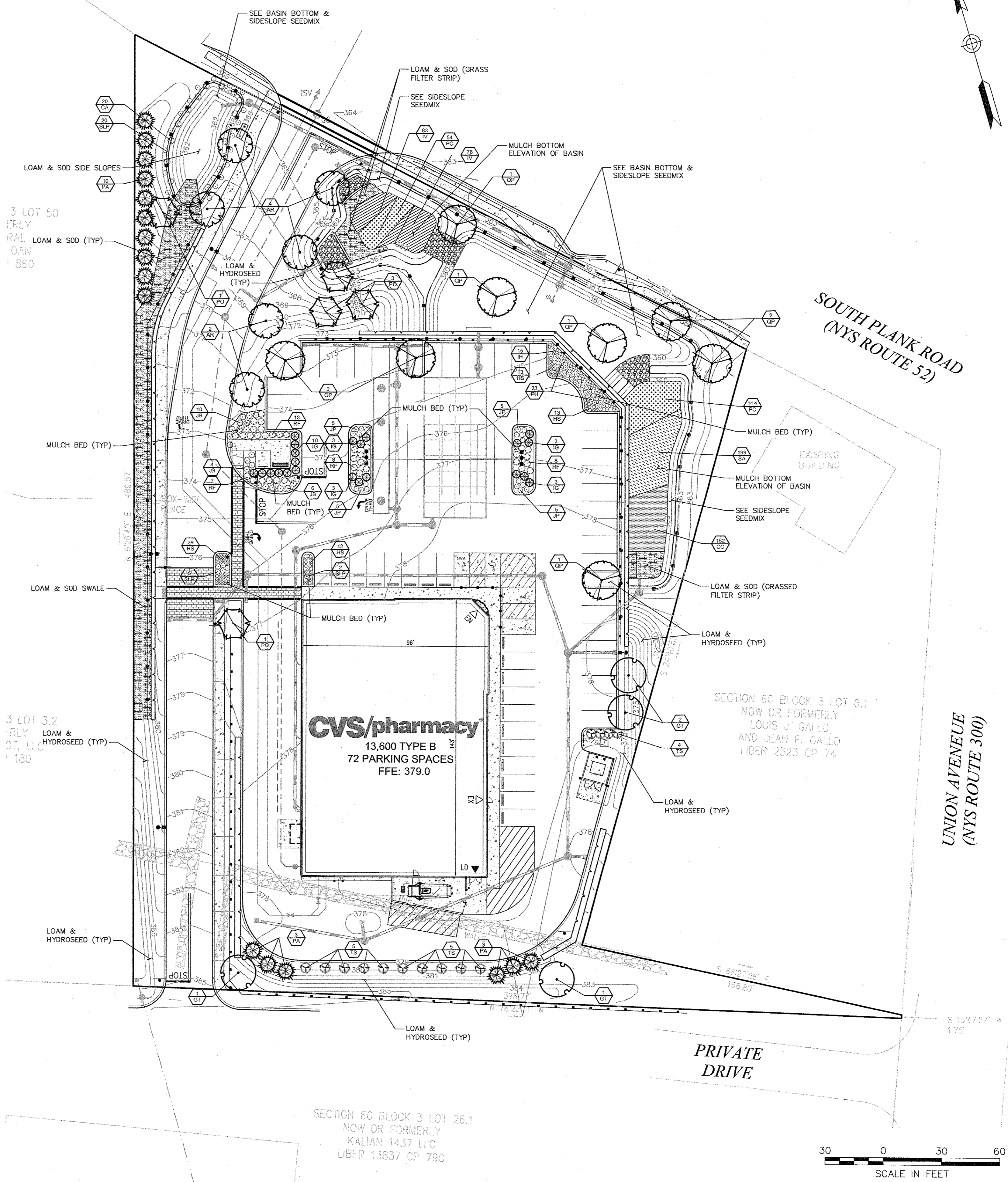
	IV
	PC
	SA
	CC
	SOD

Irrigation Notes

- CONTRACTOR SHALL PROVIDE FOR OWNER THE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- (INSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- (INSIDE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

Rain Garden - Construction Notes

- RAIN GARDEN SHALL NOT BE PLACED ON-LINE UNTIL THE ENTIRE CONTRIBUTING BIORETENTION AREA HAS BEEN STABILIZED AND VEGETATION HAS ESTABLISHED. THE BIORETENTION BASIN AREA SHALL BE PROTECTED FROM SEDIMENT LADEN RUNOFF.
- THE RAIN GARDEN SHALL CONTAIN A PLANTING SOIL OF SANDY LOAM, LOAMY SAND, LOAM (USDA) OR A LOAM/SAND MIX WITH THE FOLLOWING COMPOSITION (RESULTS OF TESTING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION):
 - SAND 80-85% BY VOLUME
 - CLAY < 2%
 - SILT 0-12%
 - ORGANIC MATTER 3-5%
- SOIL SHALL BE FREE FROM STONES OVER 2" DIAMETER, STUMPS, ROOTS OR OTHER DEBRIS. PLANTING SOIL SHALL CONFORM TO THE FOLLOWINGS: pH RANGE 5.5 TO 6.5; MAGNESIUM SOLUBLE SALTS - LESS THAN 500 PPM. PROVIDE SOIL TEST RESULTS TO CONFIRM SOIL COMPLIANCE TO THE ABOVE CRITERIA.
- ALL TESTING SHALL BE COORDINATED BY THE CONTRACTOR AND DONE BY AN APPROVED INDEPENDENT TEST LABORATORY OR BY THE AGRICULTURE UNIT OF STATE UNIVERSITY SYSTEM. CONTRACTOR SHALL PROVIDE REQUIRED REPRESENTATIVE SAMPLES OF MATERIAL FOR TESTING TO THE TESTING LABORATORY SITE.
- THE RESULTS OF THE TESTING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- AUGMENT PLANTING SOIL TO 30 - 40% COMPOST. COMPOST SHALL BE PROCESSED YARD WASTE OR AGED LEAVES. COMPOST SHALL NOT CONTAIN BIOSOLIDS.
- PROVIDE A 3" DEEP LAYER OF AGED (6 MOS. MIN), COMPOSTED, SHREDDED PINE MULCH OVER SOIL SURFACE.
- SAND SHALL CONFORM TO ASTM D 422, AND BE FREE OF DELETERIOUS MATERIAL.
- TOPSOIL SHALL CONSIST OF TOPSOIL FROM ON SITE STOCKPILE, OR LOAM BORROW, WITH SOIL AMENDMENTS ADDED TO MEET THE ABOVE SPECIFICATION.
- PLANTING SOIL SHALL BE PLACED IN LIFTS OF LESS THAN 12 INCHES AND LIGHTLY COMPACTED (MINIMUM COMPACTIVE EFFORT) BY TAMPING OR ROLLING WITH A HAND-OPERATED LANDSCAPE ROLLER. HEAVY EQUIPMENT SHALL BE RESTRICTED FROM TRAVELING OVER THE BIORETENTION AREA.
- SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR DIMENSIONS, ELEVATIONS, PIPE MATERIALS AND SIZES, LOCATIONS AND INVERTS OF BIORETENTION BASIN AND BIORETENTION AREA ELEMENTS.
- BASIN SIDESLOPES:** SEED SIDESLOPES OF BASIN (ALL SIDES) WITH EROSION CONTROL & RESTORATION SEED MIX FOR DRY SITES AT 35 LBS/ACRE AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL).
- EROSION CONTROL BLANKET/MATTING TO BE CUREX® PHOTO- DEGRADABLE BLANKET. INSTALL EROSION CONTROL BLANKET/MATTING AFTER SEED PLACEMENT AND SECURE PER DETAIL/ SPECS.



SOUTH PLANK ROAD
(NYS ROUTE 52)

UNION AVENUE
(NYS ROUTE 300)

CVS/pharmacy
13,600 TYPE B
72 PARKING SPACES
FFE: 379.0

SECTION 60 BLOCK 3 LOT 6.1
NOW OR FORMERLY
LOUIS J. GALLO
AND JEAN F. GALLO
LIBER 2323 CP 74

SECTION 60 BLOCK 3 LOT 26.1
NOW OR FORMERLY
KALLIAN 1437 LLC
LIBER 13837 CP 790



CVS
pharmacy®

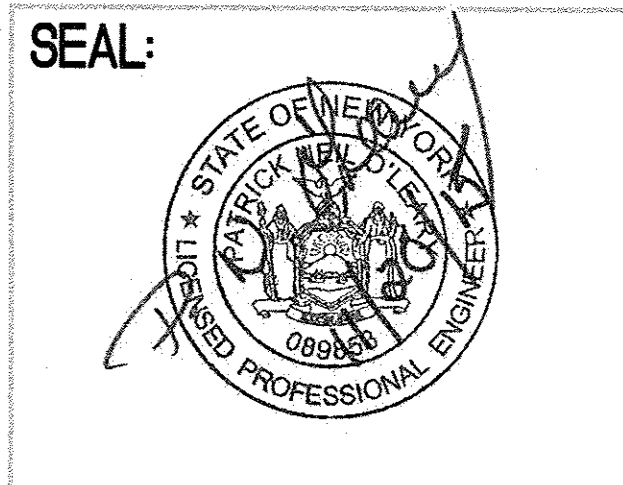
13,600 SF - TYPE B
SIDE DRIVE-THRU
STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:

Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

DEVELOPER:
T.M.
CROWLEY
& ASSOCIATES

T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

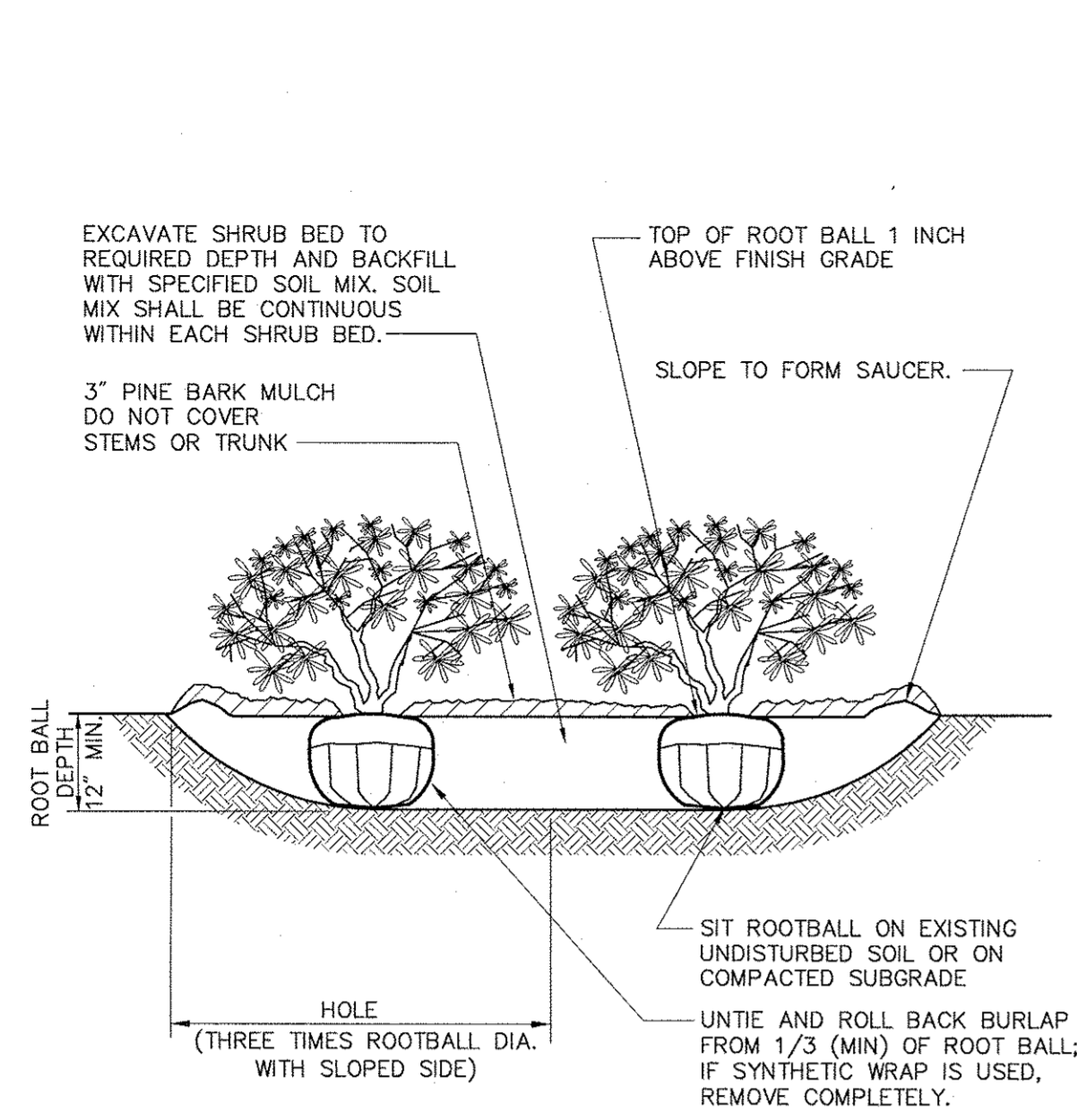


REVISIONS:

1	PER TOWN COMMENTS	11/23/15
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PROJECT MANAGER: PNO
PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRC
DATE: October 19, 2015
JOB NUMBER: 41847.44
TITLE: **Planting Plan**

SHEET NUMBER:
L-1
COMMENTS:
NOT ISSUED FOR CONSTRUCTION
07_41847.44_LA.DWG

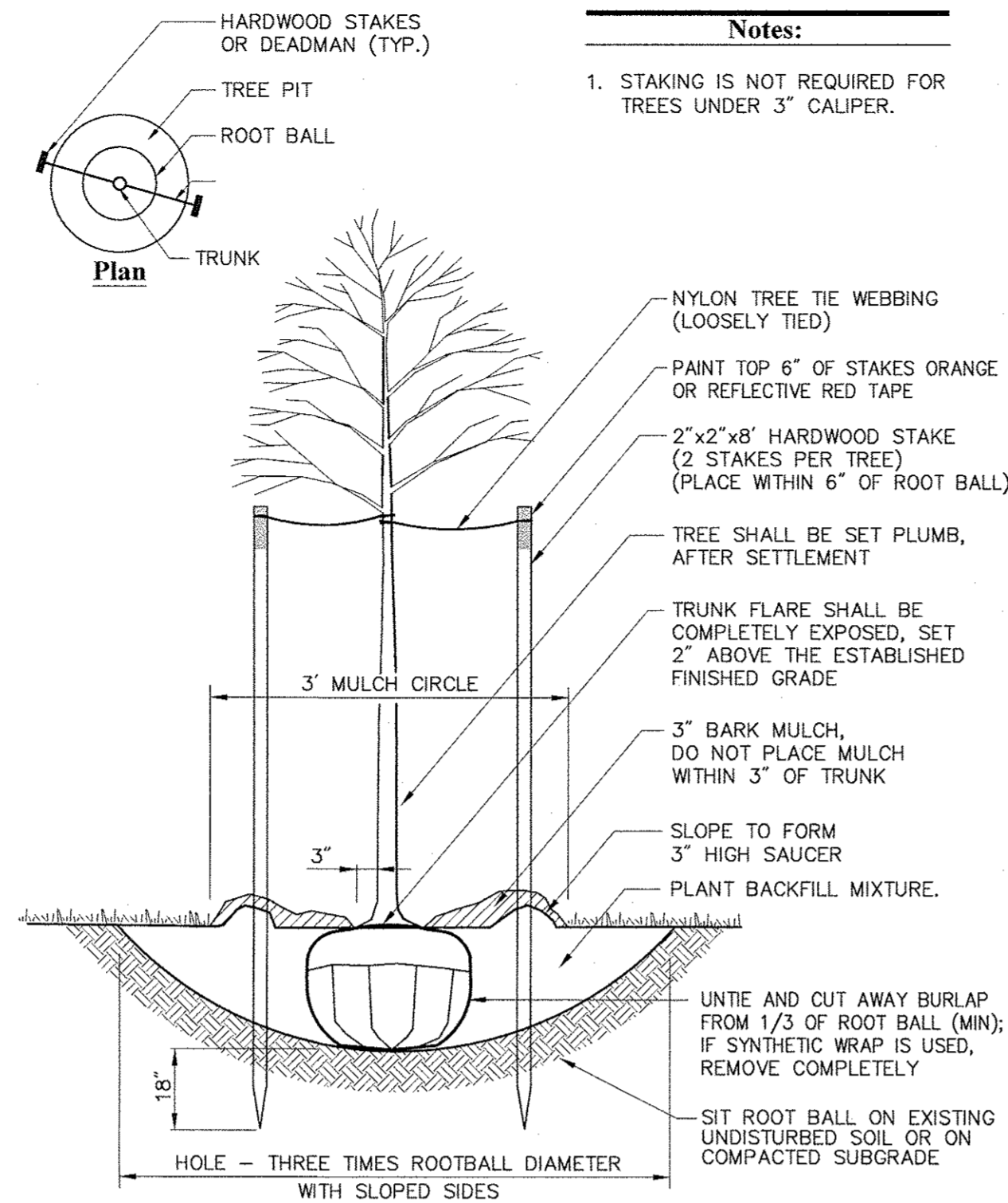


Notes:

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

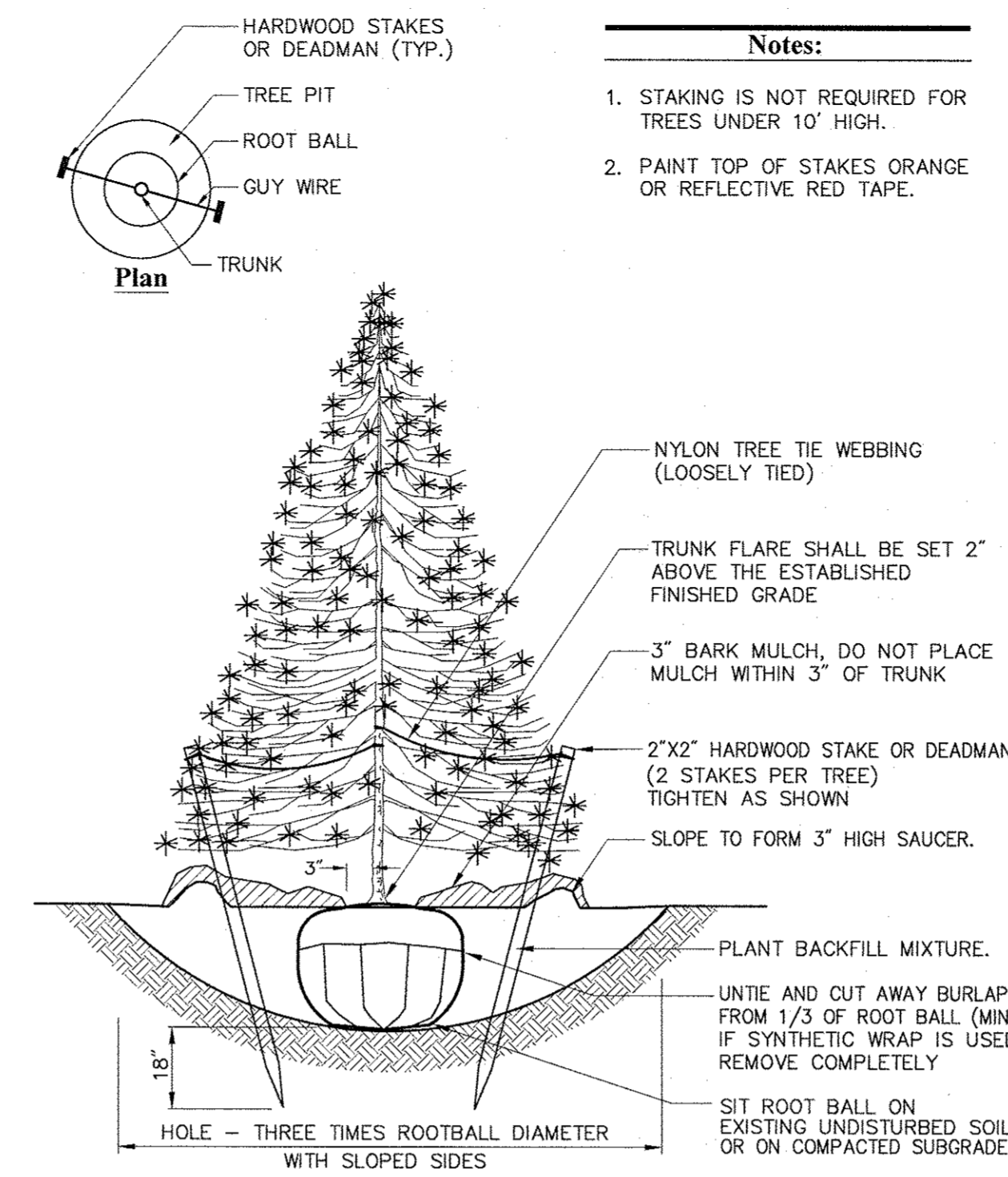
Shrub Bed Planting

N.T.S. Source: VHB 6/08 LD_601



Tree Planting (For Trees Under 4" Caliper)

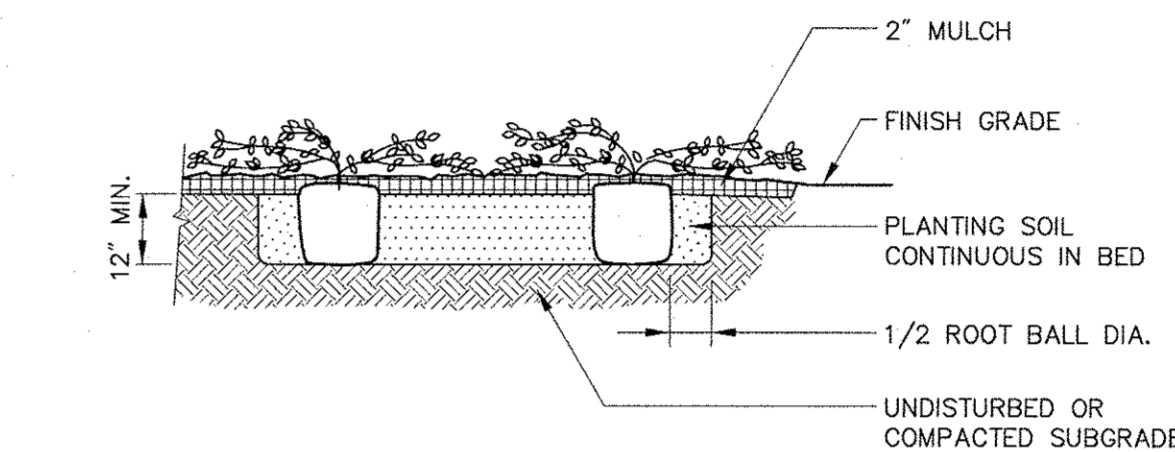
N.T.S. Source: VHB 1/10 LD_602



Evergreen Tree Planting

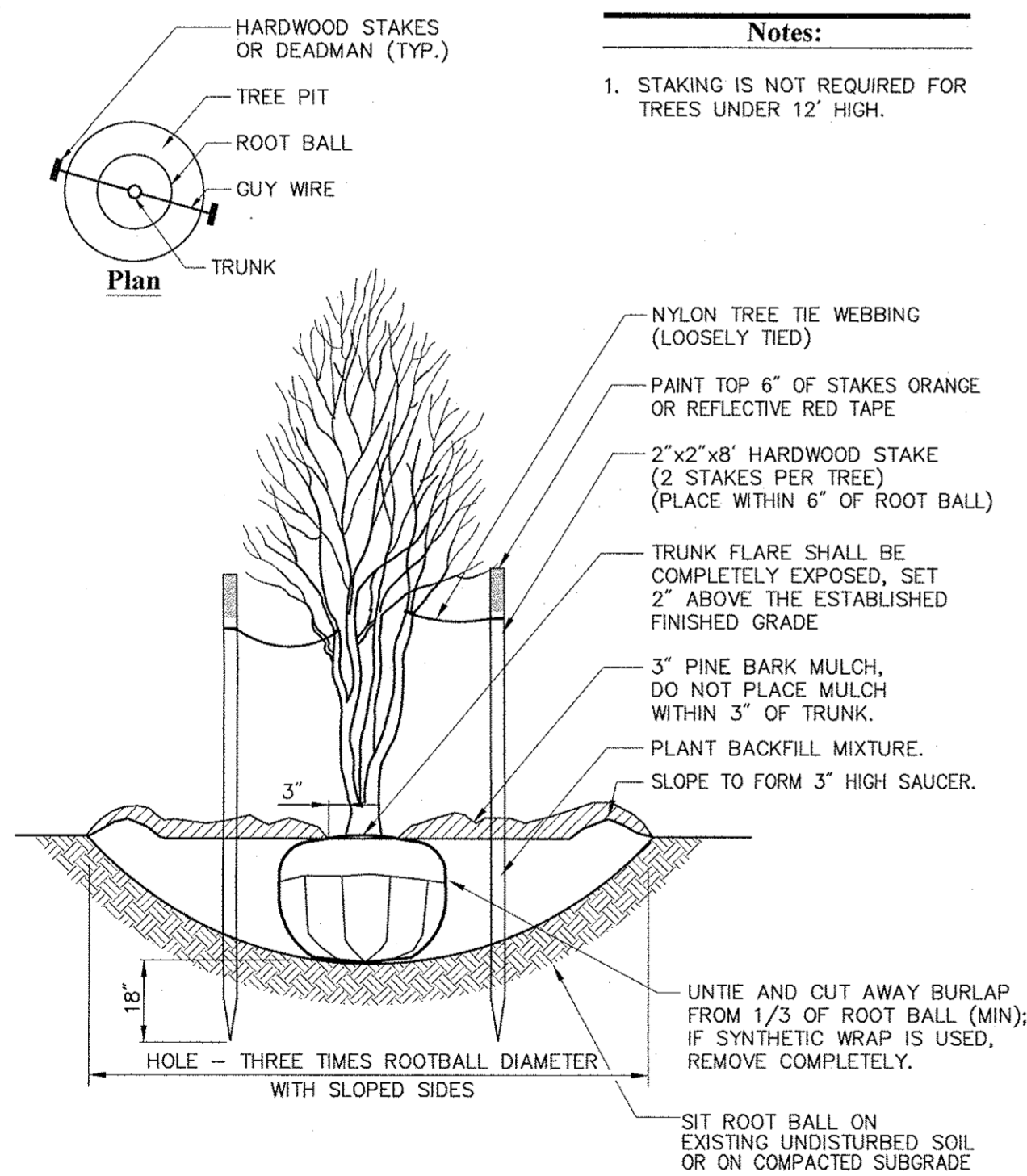
N.T.S. Source: VHB 6/08 LD_604

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.



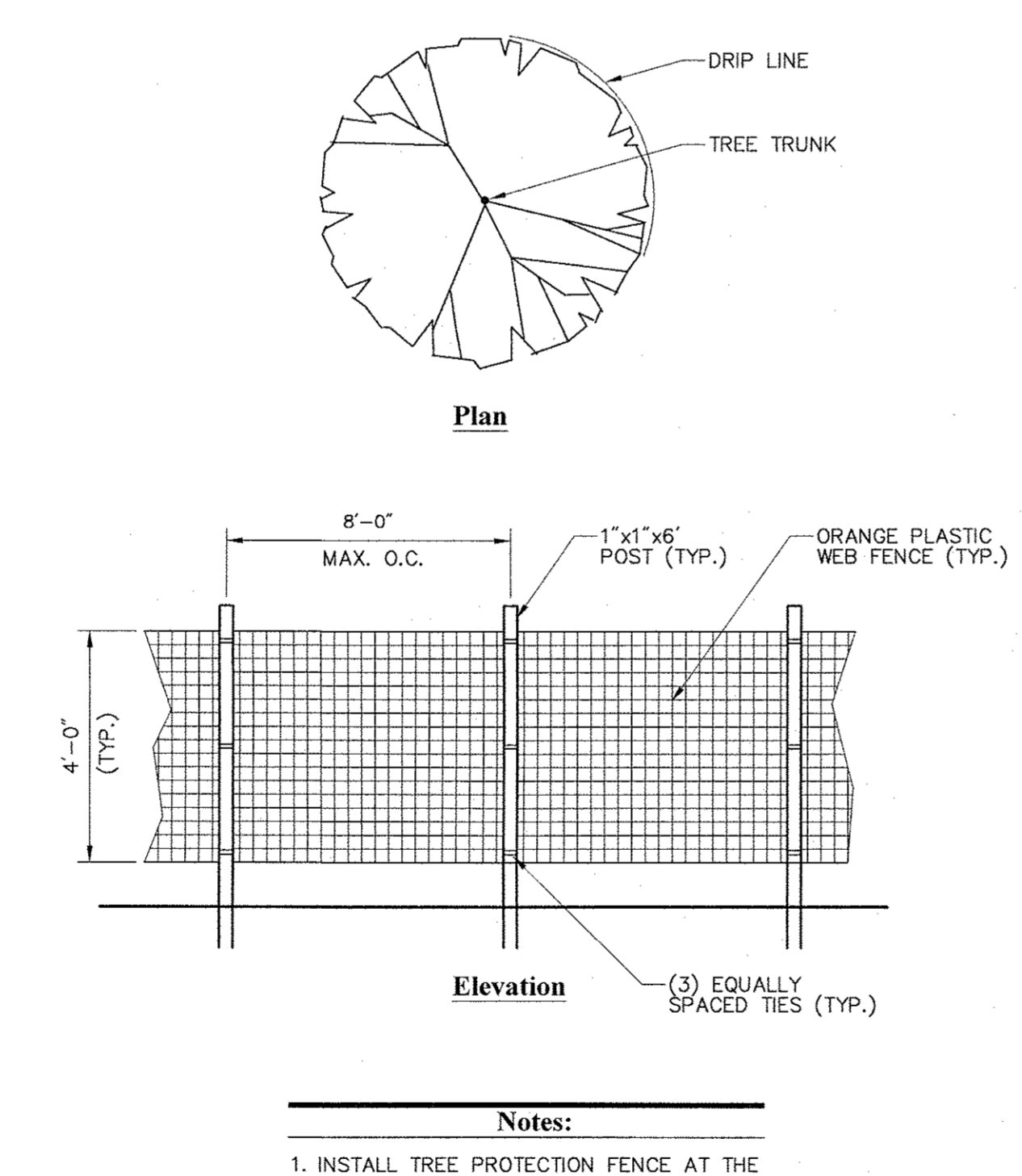
Ground Cover Planting

N.T.S. Source: VHB 11/09 LD_615



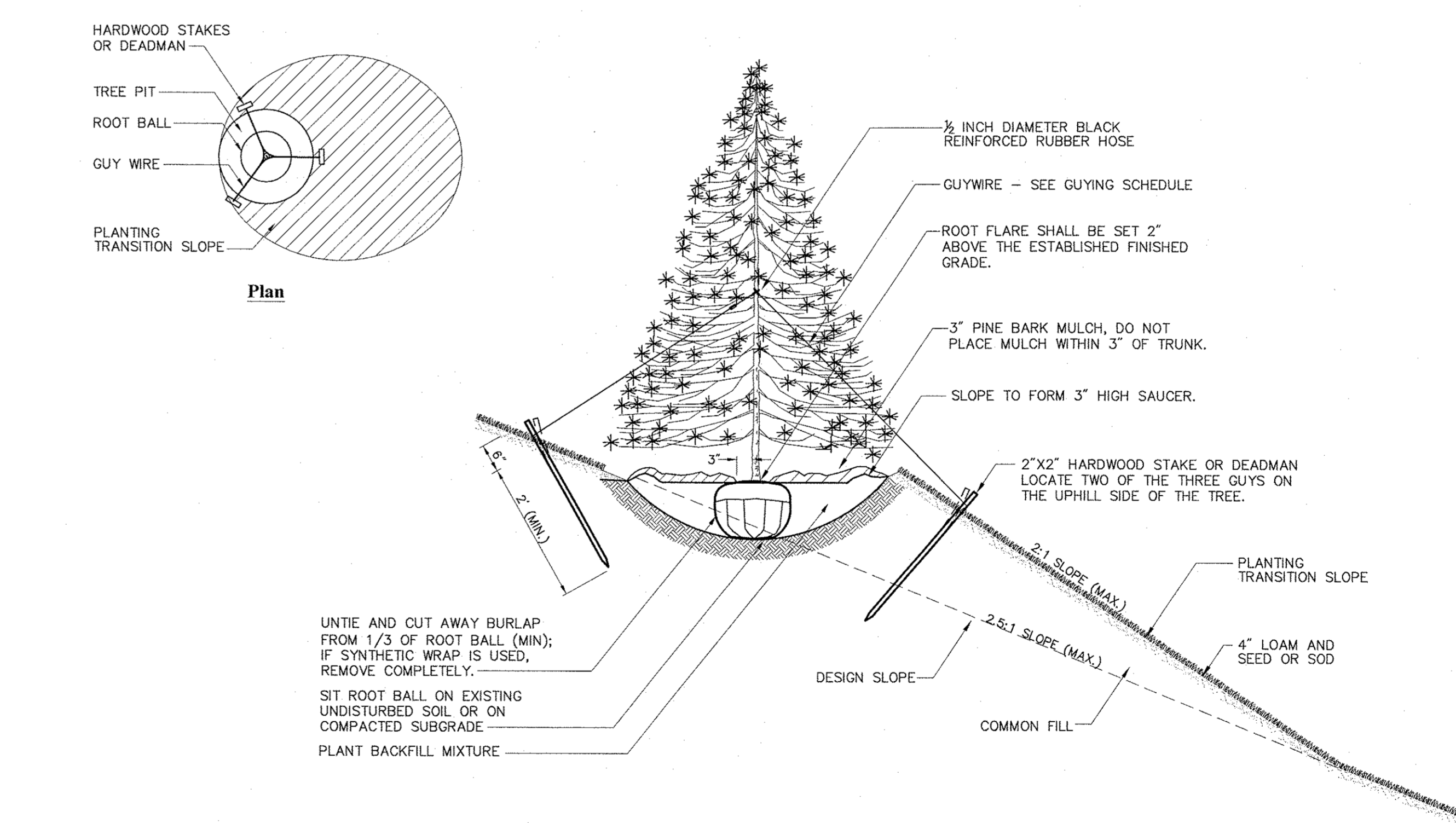
Multistem Tree Planting

N.T.S. Source: VHB 6/08 LD_606



Tree Protection Fence

N.T.S. Source: VHB 7/13 LD_610



Tree Planting on Slope

N.T.S. Source: VHB 1/12 LD_605



13,600 SF - TYPE B
SIDE DRIVE-THRU
STORE NUMBER: 10688
 SOUTH PLANK ROAD (RT 52) &
 UNION AVE (RT 300)
 TOWN OF NEWBURGH, NY
 PROJECT TYPE: NEW
 DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:



Engineering, Surveying &
 Landscape Architecture, PC
 50 Main Street
 Suite 360
 White Plains, NY 10606
 914.467.6600
 100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

DEVELOPER:

T.M.
CROWLEY
 & ASSOCIATES

T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

SEAL:



REVISIONS:

1 PER TOWN COMMENTS 11/23/15

PROJECT MANAGER: PNO

PLANNING ENGINEER: AMK / AEF

REVIEWED BY: MRG

DATE: October 19, 2015

JOB NUMBER: 41847.44

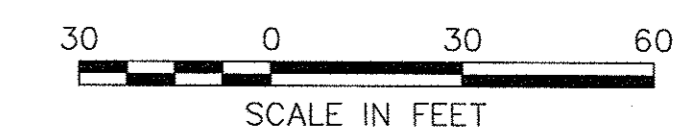
TITLE:

Planting Details

SHEET NUMBER:

L-2

COMMENTS:
 NOT ISSUED FOR CONSTRUCTION
 07_41847.44_LA.DWG



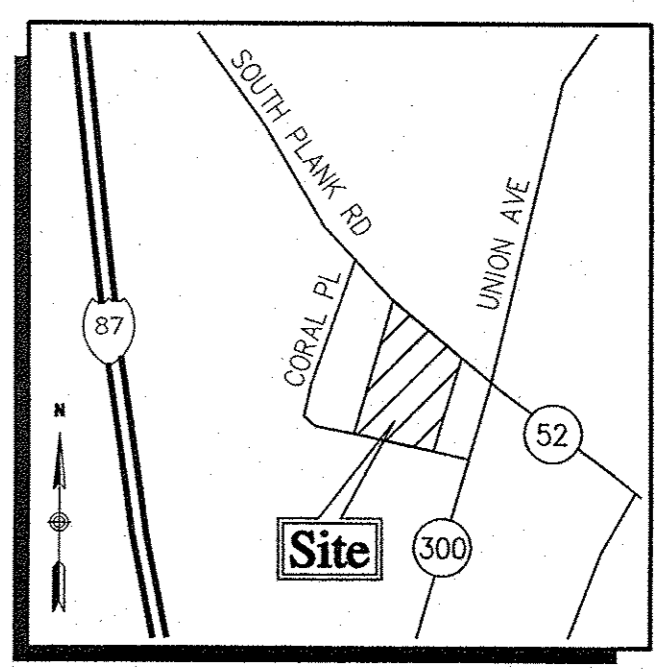
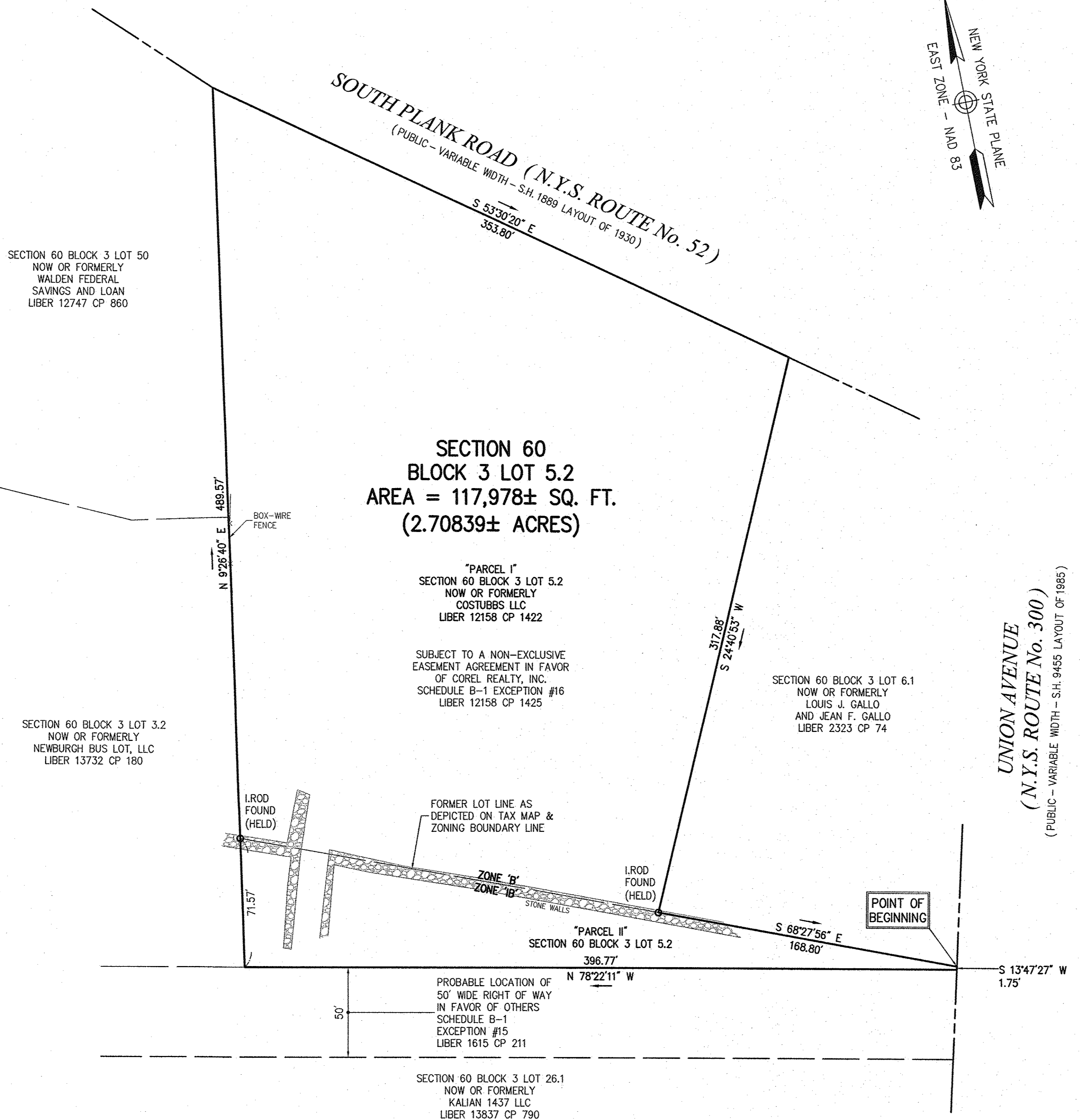
Record Parcel Descriptions

CHICAGO TITLE INSURANCE COMPANY
SCHEDULE A DESCRIPTION
 Title No. 3714-00199

Parcel I:
 All that certain plot, piece or parcel of land, situate, lying and being in the Town of Newburgh, County of Orange and State of New York and more particularly bounded and described as follows:
 BEGINNING at a point on the southerly side of NYS Route 52, said point being the northeasterly corner of the premises and the northeasterly corner of lands now or formerly of Louis & Jean Gallo, T.M. # 60-3-6.1 and running thence;
 1. South 40° 04' 28" East along the southerly line of the premises and the northeasterly line of said lands now or formerly of Louis & Jean Gallo, T.M. # 60-3-6.1, the distance of 317.88 feet to an iron rod found at or near a stone wall at a point in the northeasterly line of lands now or formerly of Corel Realty, Inc., T.M. # 60-3-3 and being the southeasterly corner of said lands now or formerly of Louis & Jean Gallo, T.M. # 60-3-6.1, and being the southeasterly corner of the premises, thence;
 2. North 53° 04' 21" West along the southerly line of the premises, along or near a stone wall and along the southerly line of said lands now or formerly of Corel Realty, Inc., T.M. # 60-3-3 the distance of 236.81 feet to a pipe found and being the southeasterly corner of the premises, thence;
 3. North 24° 50' 15" East along the northeasterly line of the premises and the southerly line of said lands now or formerly of Corel Realty, Inc., T.M. # 60-3-3 and the southeasterly line of lands now or formerly of Joseph & Michelle Mikita, T.M. # 60-3-2 the distance of 418.00 feet to a point in the southeasterly side of NYS Route 52, being the northeasterly corner of said lands now or formerly of Joseph & Michelle Mikita, T.M. # 60-3-2 and being the northeasterly corner of the premises, thence;
 4. South 33° 06' 45" East along the southerly side of NYS Route 52 the distance of 353.80 feet to the southeasterly corner of lands now or formerly of Louis & Jean Gallo, T.M. # 60-3-6.1, the northeasterly corner of the premises and the point or place of BEGINNING.

CHICAGO TITLE INSURANCE COMPANY
LEGAL DESCRIPTION
 Title No. 3714-00199

Parcel II:
 All that certain plot, piece or parcel of land situate, lying and being in the Town of Newburgh, County of Orange and State of New York, being shown and designated as PARCELS 1&2 lands to be conveyed to Costubbs LLC on that certain map entitled "LOT LINE CHANGE PLAN Lands of COSTUBBS LLC and Lands of COREL REALTY, N.Y.S. Routes 52 & 300, Town of Newburgh, Orange County, New York", made by Vincent J. Dolis Associates, dated 10-12-2005 and revised on 1-15-2006 and last revised on 3-3-2008 and filed in the Orange County Clerk's office on March 4th, 2006 as Map # 172-06 and being more particularly bounded and described as follows:
 BEGINNING at a point in the northeasterly line of Union Avenue - NYS Route 300, said point being the southerly east corner of lands now or formerly of Louis J. Gallo and Jean F. Gallo as acquired in the deed in Liber 2323 of Deeds, Page 74 (Tax Lot 60-3-4.1) and running thence;
 1. South 29° 11' 02" West along the northeasterly line of Union Avenue - NYS Route 300 the distance of 3.75 feet to a point in the northeasterly line of lands now or formerly of Benjamin Harris and Bella Harris as acquired in the deed in Liber 1861 of Deeds, Page 979 (Tax Lot 60-3-26.1), thence;
 2. North 62° 58' 36" West along the common boundary line between said lands now or formerly of Benjamin Harris and Bella Harris and the lands of Corel Realty, Inc. as acquired in Liber 3831 of Deeds, Page 76 (Tax Lot 60-3-1.1), formerly Tax Lot 60-3-3) the distance of 394.77 feet to a point, thence;
 3. North 24° 50' 15" East through said lands of Corel Realty, Inc. the distance of 71.57 feet to a pipe at the southeasterly corner of lands of Costubbs, LLC as acquired in the deed in Liber 4679 of Deeds, Page 186 (Parcel I therein, Tax Lot 60-3-3), thence;
 4. South 81° 04' 21" East along the common boundary line between Corel Realty, Inc. and Costubbs, LLC (Tax Lot 60-3-3) and then along the southeasterly line of lands now or formerly of Louis J. Gallo and Jean F. Gallo as acquired in the deed in Liber 2323 of Deeds, Page 74 (Tax Lot 60-3-4.1) the distance of 405.61 feet to a point in the northeasterly line of Union Avenue - NYS Route 300 and being the point or place of BEGINNING.



Survey Parcel Description

BEGINNING AT A POINT ON THE WESTERLY HIGHWAY LINE OF UNION AVENUE, ALSO KNOWN AS NEW YORK STATE ROUTE NO. 300, SAID POINT BEING THE SOUTHEAST CORNER OF LAND NOW OR FORMERLY OF LOUIS J. GALLO AND JEAN F. GALLO;

THENCE S 13°-47'-27" W ALONG THE WESTERLY HIGHWAY LINE OF SAID UNION AVENUE A DISTANCE OF 1.75' TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF LAND NOW OR FORMERLY OF KALIAN 1437 LLC;

THENCE N 78°-22'-11" W BOUNDED SOUTHERLY BY SAID LAND NOW OR FORMERLY OF NEWBURGH BUS LOT, LLC A DISTANCE OF 489.57' TO A POINT ON THE SOUTHWEST HIGHWAY LINE OF SOUTH PLANK ROAD, ALSO KNOWN AS NEW YORK STATE ROUTE NO. 52;

THENCE S 53°-30'-20" E ALONG THE SOUTHWEST HIGHWAY LINE OF SOUTH PLANK ROAD A DISTANCE OF 353.80' TO A POINT, SAID POINT BEING THE NORTHWEST CORNER OF LAND NOW OR FORMERLY OF LOUIS J. GALLO AND JEAN F. GALLO;

THENCE S 24°-40'-53" W BOUNDED EASTERLY BY SAID LAND NOW OR FORMERLY OF LOUIS J. GALLO AND JEAN F. GALLO A DISTANCE OF 317.88' TO AN IRON ROD FOUND;

THENCE S 68°-27'-56" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF LOUIS J. GALLO AND JEAN F. GALLO A DISTANCE OF 168.80' TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS APPROXIMATELY 117,978± SQUARE FEET (2.70839± ACRES).

Title Reference

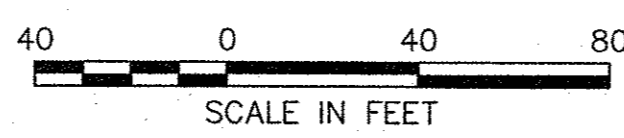
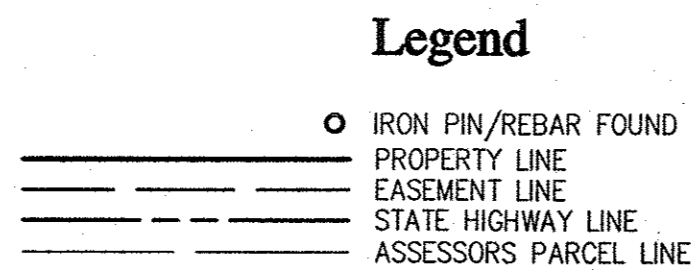
- REFERENCE IS MADE TO CHICAGO TITLE INSURANCE COMPANY CERTIFICATE FOR TITLE INSURANCE, TITLE No. 3714-00199, EFFECTIVE DATE: NOVEMBER 17, 2014.
- SCHEDULE B-1 EXCEPTIONS**
- 1-2. NOT SURVEY RELATED.
 3. REFER TO SURVEY.
 - 4-14. NOT SURVEY RELATED.
 15. PROBABLE LOCATION OF RIGHT OF WAY DESCRIBED IN LIBER 1615 CP 211 IS PLOTTED ON SURVEY.
 16. EASEMENT AGREEMENT IS UNABLE TO BE PLOTTED.
 17. REFER TO MAP 172-06.
 - 18-37. NOT SURVEY RELATED.

General Notes

BOUNDARY EVIDENCE DEPICTED HEREON IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ON JUNE 2, 2015.

EXISTING CONDITIONS DEPICTED HEREON ARE BASED ON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON JUNE 2, 2015 AND JUNE 3, 2015.

THE HORIZONTAL DATUM AND NORTH AZIMUTH DEPICTED HEREON REFER TO THE NEW YORK STATE PLANE COORDINATE SYSTEM - EAST ZONE, NAD 83.



THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3-5, 8, 11(b), 13, AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 3, 2015.

DATE OF MAP: JUNE 17, 2015.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S SIGNATURE AND INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPIES.

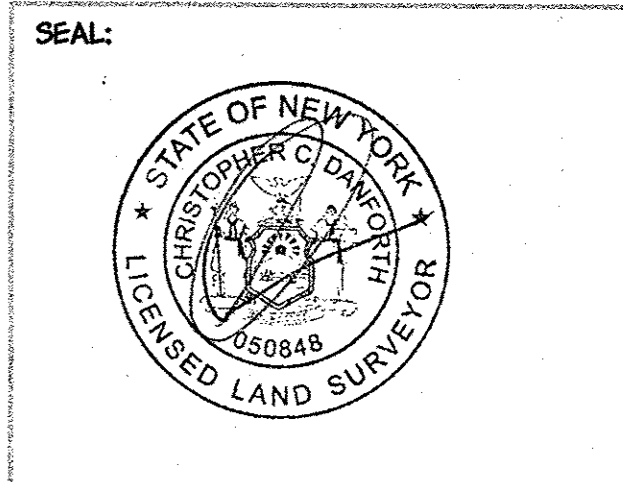
I HEREBY CERTIFY THAT THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Christopher C. Danforth 6/17/15
 CHRISTOPHER C. DANFORTH, NYSPLS LICENSE No. 050848 DATE

vhb
 Engineering, Surveying &
 Landscape Architecture, PC
 100 Motor Parkway
 Suite 135
 Hauppauge, NY 11788
 631.787.3400

T.M.
CROWLEY
 & ASSOCIATES

CONSULTANT:
 DESIGNED BY:
 CHECKED BY:
 APPROVED BY:



CVS
 pharmacy

STORE NUMBER: **NEW**

SOUTH PLANK ROAD (NYS RT 52) &
 UNION AVENUE (NYS RT 300)
 TOWN OF NEWBURGH, NEW YORK

DEVELOPER:

T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD
 SUITE 101
 LINCOLN, RHODE ISLAND 02865
 TEL (401) 721-1607
 FAX (401) 721-1601

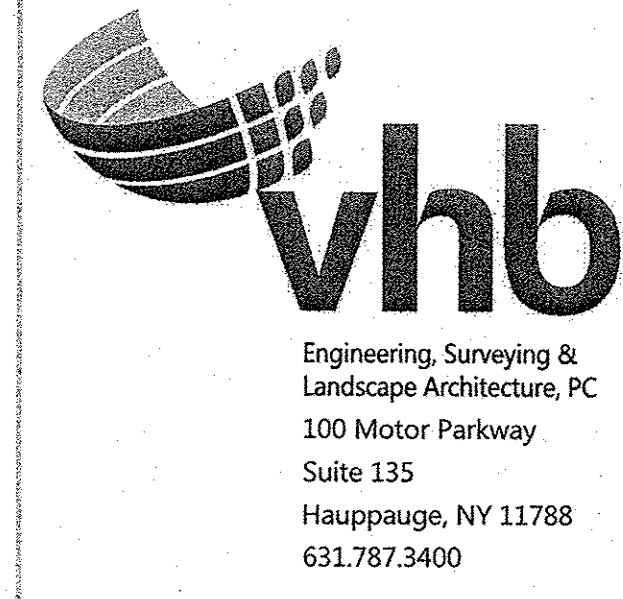
REVISIONS:

PROJECT MANAGER: SKR
 SURVEYOR: CCD
 REVIEWED BY: TD
 DATE: 6/17/2015
 JOB NUMBER: 41847.44

TITLE: **ALTA/ACSM**
Land Title Survey
Property Survey

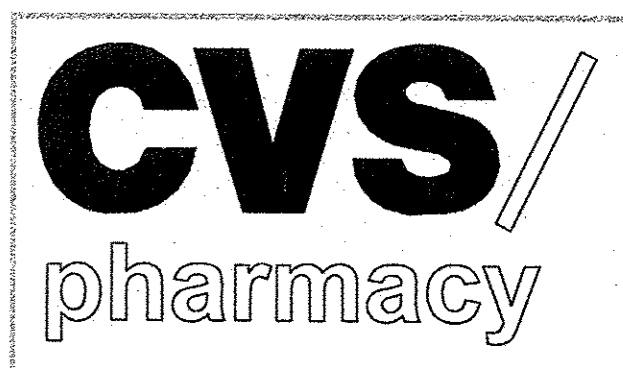
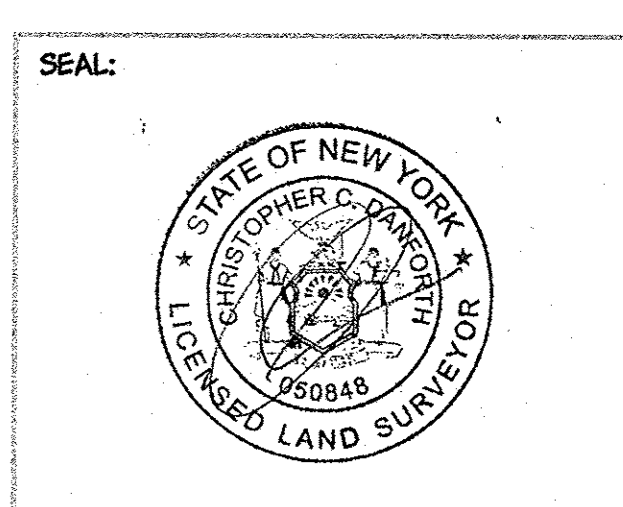
SHEET NUMBER:
Sv-1

COMMENTS:
 Scale 1"=40' Sheet 1 of 2
 4184744PCDWG



T.M.
CROWLEY
& ASSOCIATES

CONSULTANT:
DESIGNED BY:
CHECKED BY:
APPROVED BY:



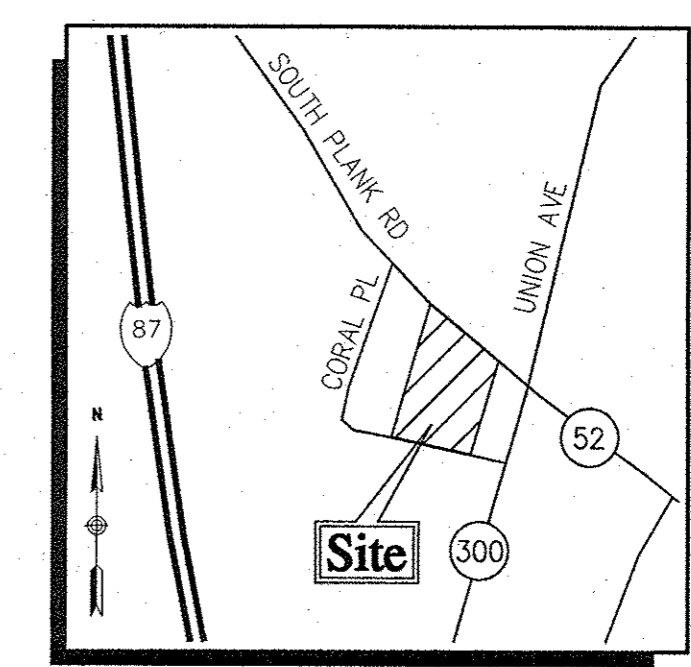
STORE NUMBER: **NEW**
SOUTH PLANK ROAD (NYS RT 52) &
UNION AVENUE (NYS RT 300)
TOWN OF NEWBURGH, NEW YORK

DEVELOPER:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

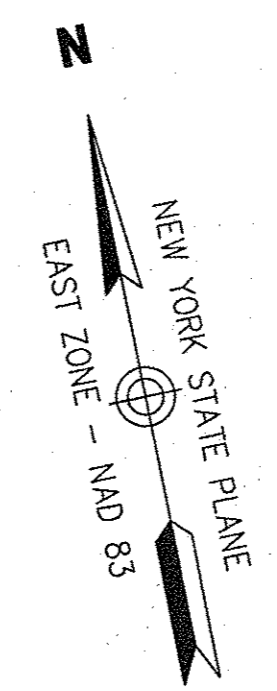
REVISIONS:
PROJECT MANAGER: SKR
SURVEYOR: CCD
REVIEWED BY: TD
DATE: 6/17/2015
JOB NUMBER: 41847.44

TITLE:
ALTA/ACSM
Land Title Survey
Topographic Survey

SHEET NUMBER:
Sv-2
COMMENTS:
Scale 1"=40' Sheet 2 of 2
418474EX.DWG

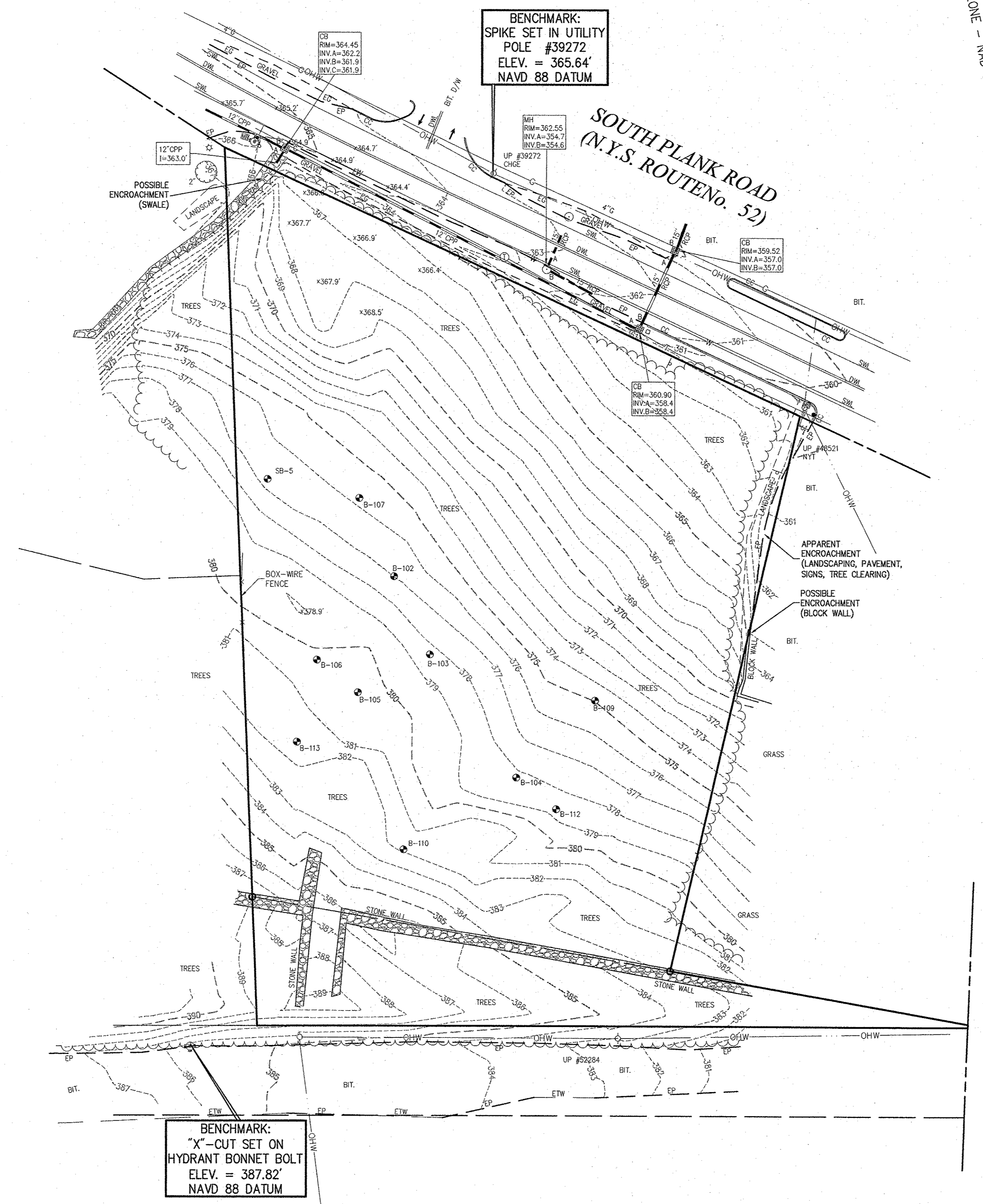


Locus Map
(NOT TO SCALE)



Legend

- | | |
|--------------------------------|-------------------------------|
| ■ CATCH BASIN | CC CONCRETE CURB |
| ■ CATCH BASIN | SGE SLOPED GRANITE EDGING |
| ■ ROUND CATCH BASIN | VGC VERTICAL GRANITE CURB |
| ▼ FLARED END SECTION | SGE SLOPED CONCRETE EDGING |
| DS • DOWNSPOUT | BB BITUMINOUS BERM |
| ⊙ DRAIN MANHOLE | BC BITUMINOUS CURB |
| ⊙ SEWER MANHOLE | EP EDGE OF PAVEMENT |
| ⊙ ELECTRIC MANHOLE | BIT. BITUMINOUS PAVEMENT |
| ⊙ TELEPHONE MANHOLE | CONC. CONCRETE |
| ⊙ MANHOLE | S/W SIDEWALK |
| ⊙ SIGNAL MANHOLE | CI CENTER INVERT |
| ⊙ WATER MANHOLE | UP UTILITY POLE |
| ⊙ WATER GATE | RCP REINFORCED CONCRETE PIPE |
| ⊙ SIAMENSE CONNECTION | PVC POLYVINYLCHLORIDE PIPE |
| ⊙ FIRE HYDRANT | DIP DUCTILE IRON PIPE |
| ⊙ GAS GATE | CMP CORRUGATED METAL PIPE |
| ⊙ STREET SIGN | CPP CORRUGATED PLASTIC PIPE |
| ⊙ LIGHT POLE | VC VITRIFIED CLAY PIPE |
| ⊙ FLOOD LIGHT | BWL BROKEN WHITE LINE |
| ⊙ UTILITY POLE | BYL BROKEN YELLOW LINE |
| ⊙ UTILITY POLE W/LIGHT | DYL DOUBLE YELLOW LINE |
| ⊙ GUY POLE | SWL SINGLE WHITE LINE |
| ⊙ GUY WIRE | SYL SINGLE YELLOW LINE |
| ⊙ BOLLARD/POST | PIV POST INDICATOR VALVE |
| ⊙ BORING | CLF CHAIN LINK FENCE |
| ⊙ MONITORING WELL | CB CATCH BASIN |
| TP-1 | MH MANHOLE |
| WF 1-100 | DMH DRAIN MANHOLE |
| 100.0 x | SMH SEWER MANHOLE |
| ⊙ HANDICAP SYMBOL | OHW OVERHEAD LINE |
| ⊙ EDGE OF PAVEMENT | MP MONITORING WELL |
| ⊙ EDGE OF GRAVEL/LANDSCAPE | TP TESTPIT |
| ⊙ EDGE OF TRAVELED WAY | ETW EDGE OF TRAVELED WAY |
| ⊙ EDGE OF PATH | RIM RIM ELEVATION |
| ⊙ BUILDING OVERHANG | INV INVERT ELEVATION |
| ⊙ CURB | ELEV. ELEVATION |
| ⊙ STEEL GUARD RAIL | F.F.E. FINISH FLOOR ELEVATION |
| ⊙ WOOD GUARD RAIL | O/H OVERHEAD |
| ⊙ BARBED WIRE FENCE | TYP. TYPICAL |
| ⊙ CHAIN LINK FENCE | ⊙ AIR CONDITIONING |
| ⊙ WOOD FENCE | ⊙ ELECTRIC BOX |
| ⊙ UNDERGROUND DRAINAGE LINE | ⊙ ELECTRIC METER |
| ⊙ UNDERGROUND SEWER LINE | ⊙ FIRE ALARM |
| ⊙ OVERHEAD WIRE | ⊙ GAS METER |
| ⊙ UNDERGROUND ELECTRIC LINE | ⊙ HAND HOLE |
| ⊙ UNDERGROUND GAS LINE | ⊙ MAILBOX |
| ⊙ UNDERGROUND WATER LINE | ⊙ PEDESTRIAN PUSH BUTTON |
| ⊙ UNDERGROUND TELEPHONE LINE | ⊙ TRAFFIC SIGNAL |
| ⊙ UNDERGROUND CABLE LINE | ⊙ WATER METER |
| ⊙ UNDERGROUND FIBER OPTIC LINE | ⊙ PARKING BUMPER |
| ⊙ STONE WALL | ⊙ SPAN POLE |
| ⊙ TREE LINE | ⊙ MASTARM |
| ⊙ STREAM | ⊙ SHRUBS |
| ⊙ WETLAND EDGE | ⊙ DECIDUOUS TREE |
| ⊙ PROPERTY LINE | ⊙ EVERGREEN TREE |
| ⊙ EASEMENT LINE | |
| ⊙ STATE FREEWAY LINE | |
| ⊙ CITY/TOWN LAYOUT LINE | |



General Notes

BOUNDARY EVIDENCE DEPICTED HEREON IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ON JUNE 2, 2015.

EXISTING CONDITIONS DEPICTED HEREON ARE BASED ON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON JUNE 2, 2015 AND JUNE 3, 2015.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED ON THIS PLAN.

THE HORIZONTAL DATUM AND NORTH AZIMUTH DEPICTED HEREON REFER TO THE NEW YORK STATE PLANE COORDINATE SYSTEM - EAST ZONE, NAD 83.

CONTOURS AND ELEVATIONS DEPICTED HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

PARCELS SURVEYED LIE WITHIN ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NEW YORK, MAP NUMBER 36071C0139E, EFFECTIVE DATE: AUGUST 3, 2009.

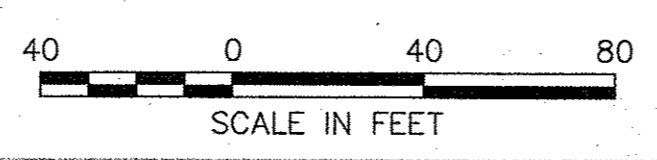
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3-5, 8, 11(b), 13, AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 3, 2015.

DATE OF MAP: JUNE 17, 2015.

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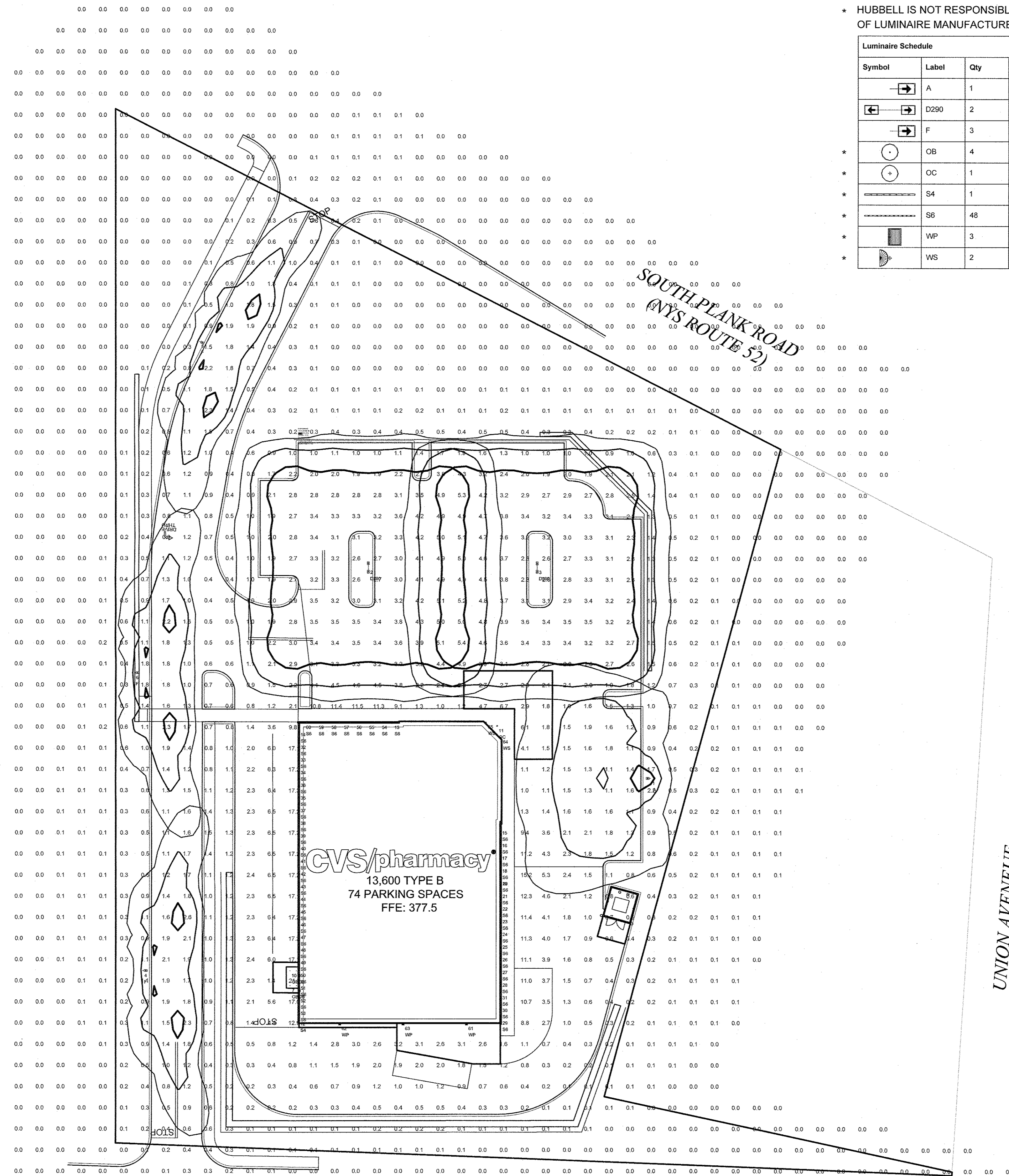
I HEREBY CERTIFY THAT THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

CHRISTOPHER C. DANFORTH, NYSPLS LICENSE No. 050848 DATE 6/17/15



* Z = LUMINAIRE MOUNTING HEIGHT A.F.G.

LumNo	Label	X	Y	Z *	Orient	Tilt
1	A	486	223	28	180	0
2	D290	362	323	28	90	0
3	D290	432	323	28	90	0
4	F	245	132	28	0	0
5	F	272	430	28	335.772	0
6	F	241	273	28	0	0
7	OB	315	125	9.33	0	0
8	OB	318	125	9.33	0	0
9	OB	318	132	9.33	0	0
10	OB	315	132	9.33	0	0
11	OC	413.1	248	18	0	0
12	S4	319.14	109.13	16.66	90	0
13	S6	353.61	249.58	16.66	0	0
14	S6	319.17	246.09	16.66	90	0
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18	S6	414.79	181.48	16.66	90	0
19	S6	414.79	175.48	16.66	90	0
20	S6	414.79	175.48	16.66	90	0
21	S6	414.79	169.48	16.66	90	0
22	S6	414.79	163.48	16.66	90	0
23	S6	414.79	157.48	16.66	90	0
24	S6	414.79	151.48	16.66	90	0
25	S6	414.79	145.48	16.66	90	0
26	S6	414.79	139.48	16.66	90	0
27	S6	414.79	133.48	16.66	90	0
28	S6	414.79	127.48	16.66	90	0
29	S6	414.79	121.48	16.66	90	0
30	S6	414.79	115.48	16.66	90	0
31	S6	414.79	109.48	16.66	90	0
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33	S6	319.17	234.09	16.66	90	0
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36	S6	319.17	216.09	16.66	90	0
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42	S6	319.17	180.09	16.66	90	0
43	S6	319.17	174.09	16.66	90	0
44	S6	319.17	168.09	16.66	90	0
45	S6	319.17	162.09	16.66	90	0
46	S6	319.17	156.09	16.66	90	0
47	S6	319.17	150.09	16.66	90	0
48	S6	319.17	144.09	16.66	90	0
49	S6	319.17	138.09	16.66	90	0
50	S6	319.17	132.09	16.66	90	0
51	S6	319.17	126.09	16.66	90	0
52	S6	319.17	120.09	16.66	90	0
53	S6	319.17	114.09	16.66	90	0
54	S6	357.61	249.58	16.66	0	0
55	S6	351.61	249.58	16.66	0	0
56	S6	345.61	249.58	16.66	0	0
57	S6	339.61	249.58	16.66	0	0
58	S6	333.61	249.58	16.66	0	0
59	S6	327.61	249.58	16.66	0	0
60	S6	321.61	249.58	16.66	0	0
61	WP	398.6	106.9	12	270	0
62	WP	338.6	106.9	12	270	0
63	WP	368.6	106.9	12	270	0
64	WS	415	242.7	7	45	0
65	WS	407.9	249.8	7	45	0



* HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

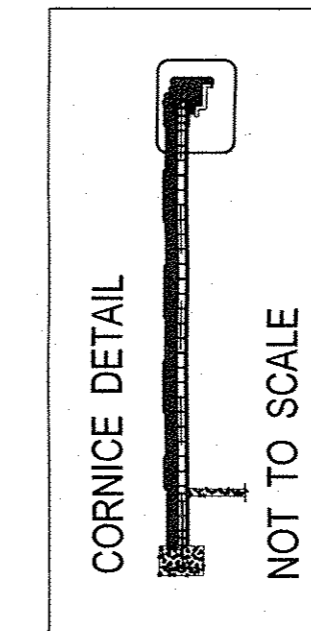
Symbol	Label	Qty	Description	Arrangement	Lum. Watts	Lum. Lumens	LMF	LDD	BF	LLF
→	A	1	CL1-60L-4K-4 (Hubbell Ltg)	SINGLE	141	12036	0.950	0.950	1.000	0.903
↔	D290	2	QTY 2 - CL1-60L-4K-5M (Hubbell Ltg)	BACK-BACK	207.8	18522	0.950	0.950	1.000	0.903
→	F	3	CL1-60L-4K-2-BC (Hubbell Ltg)	SINGLE	141.9	7998	0.950	0.950	1.000	0.903
○	OB	4	PT2013-E0155	SINGLE	19.9	1130	0.950	0.900	1.000	0.855
○	OC	1	EVO 41/29 8AR 120	SINGLE	48.9	3108	0.950	0.950	1.000	0.903
—	S4	1	ECVLXWET-4-120-4K-2780	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
—	S6	48	ECVLXWET-6-120-4K-2780	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
■	WP	3	DSXW1 LED 10C 1000 40K TFTM MVOLT	SINGLE	40	3065	0.950	0.950	1.000	0.903
⌒	WS	2	AZ-9L-LED75-4K-(2)EJU-BB-CTB-BZ	SINGLE	77.3	5187	0.950	0.950	1.000	0.903

Label	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
CVS PARKING	1.0 FC MINIMUM	Fc	3.10	11.5	1.0	3.10	11.50

POLE SPEC FOR CIMARRON:

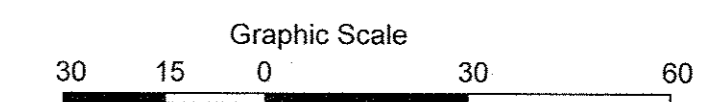
SINGLE FIXTURE
SSS-XX-XX-X-A2-XX

TWIN FIXTURE 180 DEGREE APART
SSS-XX-XX-X-C2-XX

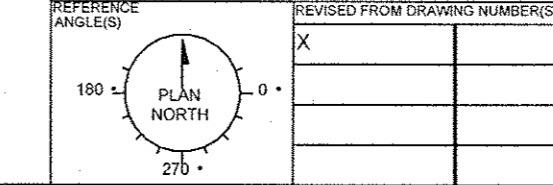


FOR PRICING CONTACT

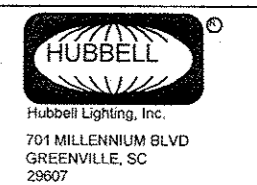
NESCO
40 Hudson Rd
Canton, MA 02021
Tel: 781-828-9494
Fax: 781-575-1398
E-Mail: CVSpans@nescoweb.com



1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD CONDITIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE CORROBORATED WITH THE CONTRACTOR AND/OR SPECIFIER. RESPONSIBILITY FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

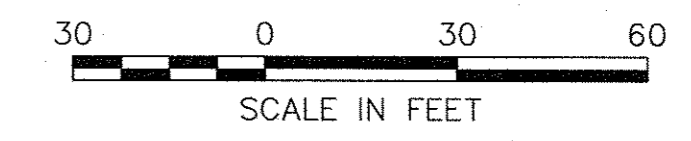
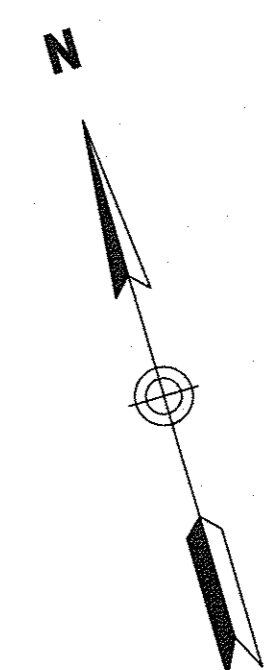
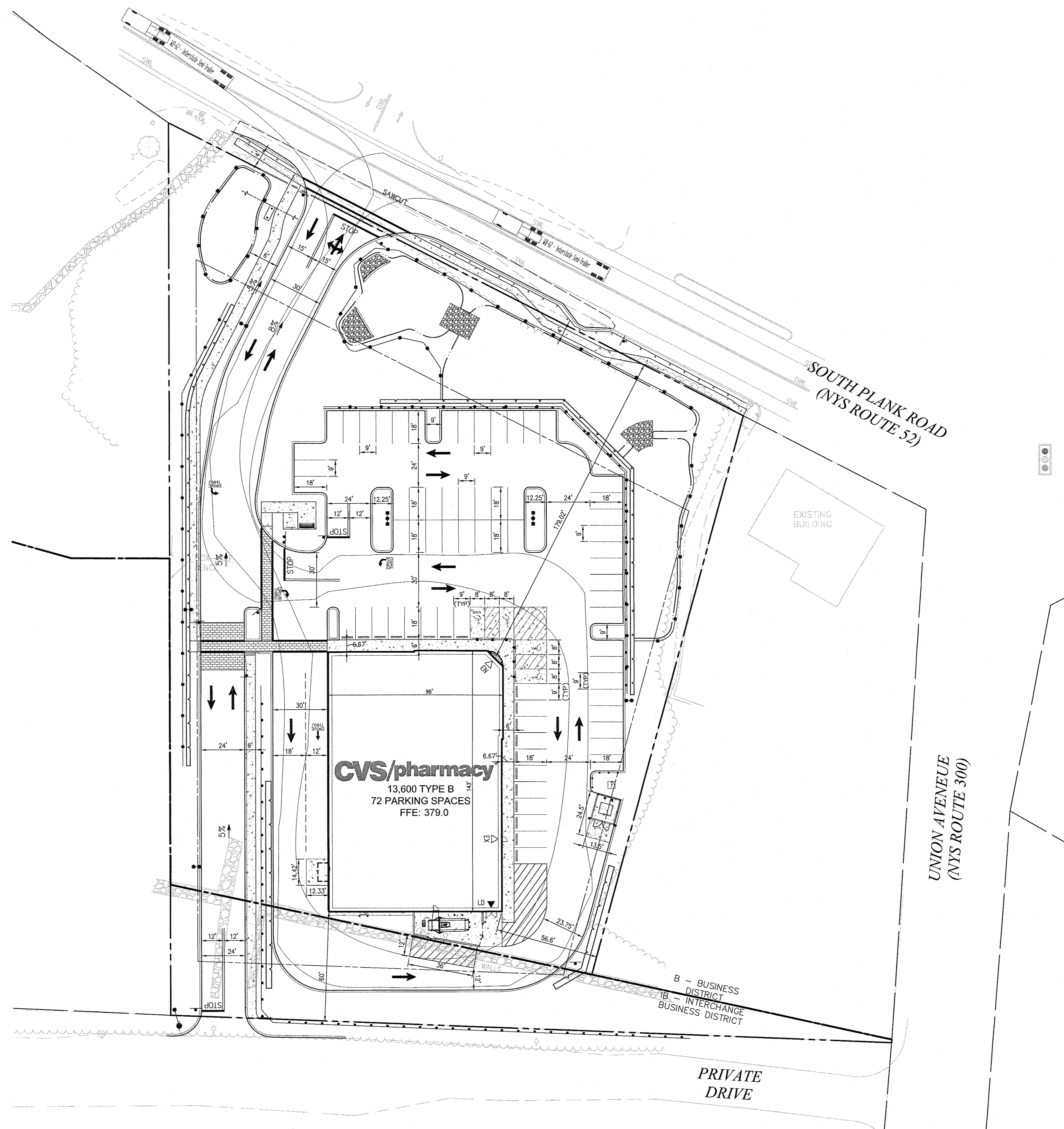


CVS #10688
NEWBURGH, NY



SCALE: 1" = 30'
DATE: 9/30/2015
DRAWN BY: ADC
CHECKED BY: JPC
PROJECT NO.: 1576391

NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY



CVS
pharmacy®

13,600 SF - TYPE B
SIDE DRIVE-THRU

STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
UNION AVE (RT 300)
TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:



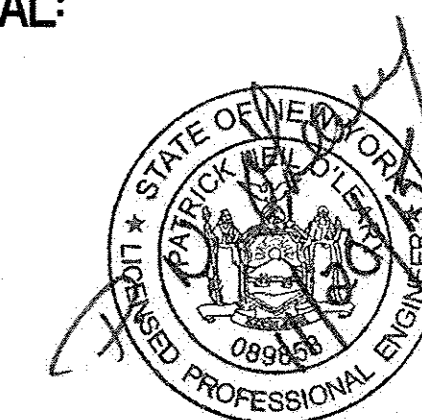
Engineering, Surveying &
Landscape Architecture, PC
50 Main Street
Suite 360
White Plains, NY 10606
914.467.6600
100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

DEVELOPER:

T. M.
CROWLEY
& ASSOCIATES

T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601

SEAL:



REVISIONS:

1	PER TOWN COMMENTS	11/18/15
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PROJECT MANAGER: PNO

PLANNING ENGINEER: AMK / AEF

REVIEWED BY: MRG

DATE: October 19, 2015

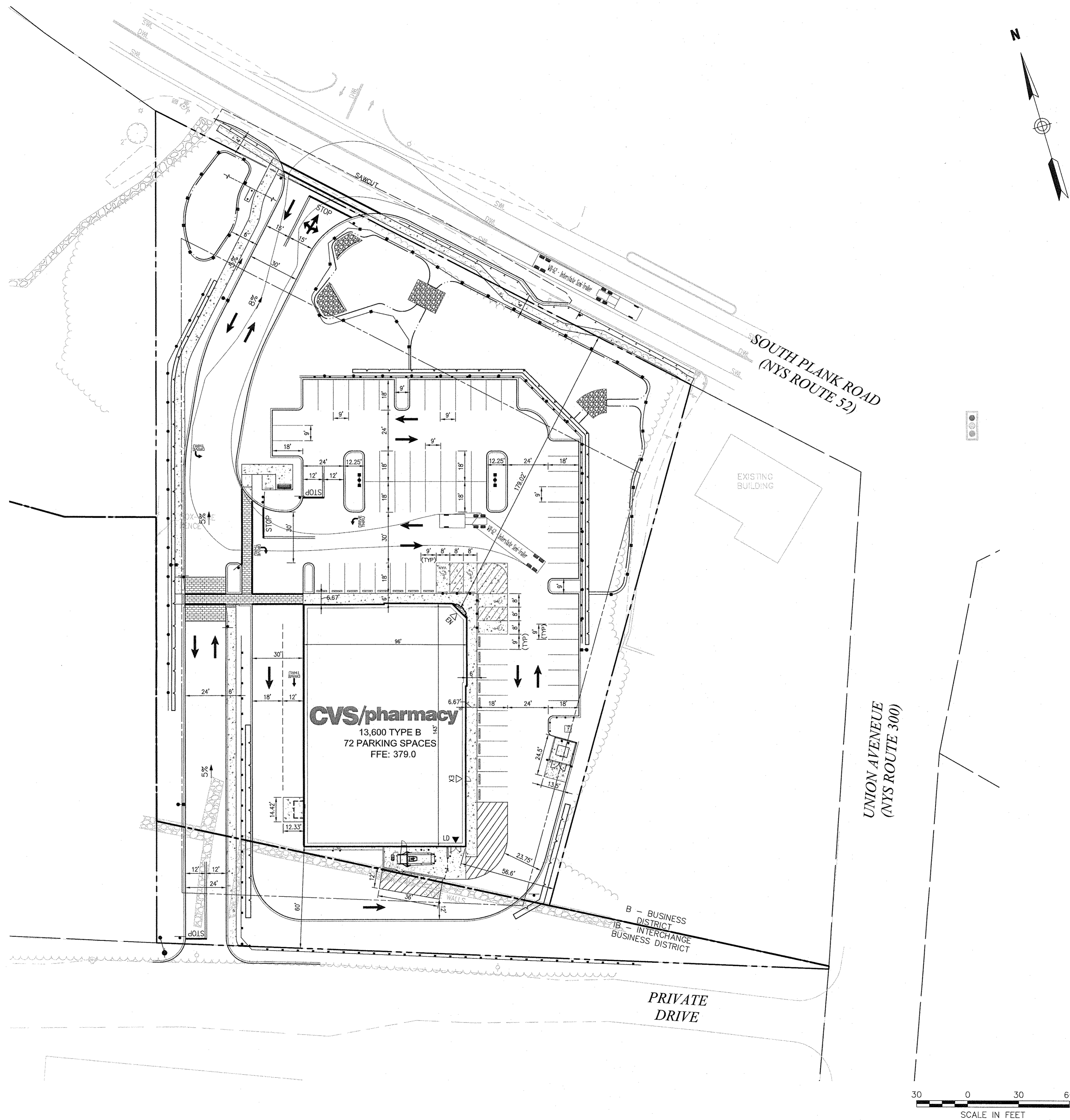
JOB NUMBER: 41847.44

TITLE: **Truck Turning
Movement Plan 1
WB-62**

SHEET NUMBER:

TT-1

COMMENTS:
NOT ISSUED FOR CONSTRUCTION
TRUCK TURN MOVEMENT.DWG



CVS
pharmacy®

13,600 SF - TYPE B
SIDE DRIVE-THRU

STORE NUMBER: 10688
SOUTH PLANK ROAD (RT 52) &
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TOWN OF NEWBURGH, NY
PROJECT TYPE: NEW
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 84094

ENGINEER:



Engineering, Surveying &
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50 Main Street
Suite 360
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14 BREAKNECK HILL ROAD
SUITE 101
LINCOLN, RHODE ISLAND 02865
TEL (401) 721-1607
FAX (401) 721-1601



REVISIONS:

1	PER TOWN COMMENTS	11/18/15
---	-------------------	----------

PROJECT MANAGER: PNO
PLANNING ENGINEER: AMK / AEF
REVIEWED BY: MRG
DATE: October 19, 2015
JOB NUMBER: 41847.44

TITLE: **Truck Turning
Movement Plan 2
WB-62**

SHEET NUMBER:
TT-2

COMMENTS:
NOT ISSUED FOR CONSTRUCTION
TRUCK TURN MOVEMENT.DWG

