



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: CURALEAF NEWBURGH
PROJECT NO.: 2021-34
PROJECT LOCATION: SECTION 8, BLOCK 5, LOT 15
REVIEW DATE: 13 OCTOBER 2023
MEETING DATE: 19 OCTOBER 2023
PROJECT REPRESENTATIVE: VINCENT J. DOCE ASSOCIATES/DARREN DOCE

1. The applicants are seeking approval for a cannabis dispensary. Zoning Code Section 185-49 Cannabis Related Uses, adopted by the Planning Board as Local Law #1 of 2023 identifies the parameters under which the Planning Board reviews cannabis related uses.
2. Zoning Code Section 185-48.9B identifies the cannabis retail dispensary as a Special Use in the B Zone. Special Use Permits require a Public Hearing.
3. The application identifies that no external changes to the previously approved site plan dated 28 May 2022 are proposed.
4. Zoning Code Section 185-48.9C identifies five conditions the Planning Board should review including:
 - 1) Provisions of sufficient lighting during and after hours of operation.
 - 2) Provision of adequate facilities and personnel for disposal of trash and other debris.
 - 3) Provision for continuing maintenance of the exterior of the building and grounds including landscaping, signs and policing of liter.
 - 4) Sales, product and paraphernalia items related to the preparation of consumption of the product shall not be visible off-site or from a public right-of-way.
 - 5) Outdoor use of sound reproduction devices including but not limited to loud speakers and amplifiers on the premises shall be prohibitedThe applicant's representative have provided a Narrative Response addressing each of the above items.
5. Zoning Code Section 185-48.9D requires this facility have a valid license issued by the State of New York in order to be considered a Permitted Use. Applicant should provide a copy of the valid license. Expiration or revocation of the license shall be deemed to automatically terminate the Special Use Permit or other Planning Board Approvals.
6. The project is most likely considered a Type II Action as no construction is proposed. The commercial building is less than 4,000 sq. ft.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

7. No dumpster and or dumpster enclosure are depicted on the plan sheet.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in cursive script, appearing to read "Patrick J. Hines".

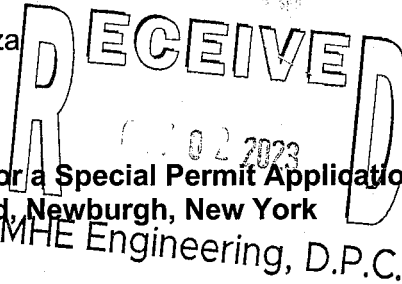
Patrick J. Hines
Principal

PJH/kbw

TENAX

STRATEGIES

Town of Newburgh
Planning Board
21 Hudson Valley Professional Plaza
Newburgh, New York 12550
Attn: John Ewasutyn, Chairman



Re: Project #2319 – Application for a Special Permit Application for a Cannabis Retail Dispensary at 8 North Plank Road, Newburgh, New York

Dear Mr. Ewasutyn,

Enclosed in this special use permit application packet for a cannabis retail dispensary are twelve (12) sets of the location's approved site plan, the short Environmental Assessment Form, and narrative responses to the *additional requirements* for cannabis retail dispensaries as required under §185-48.9(C) of the Town of Newburgh, NY Zoning Bylaws.

The site is a 0.45+/- acre parcel located on the northerly side of North Plank Road (NYS Route 32) between the Alexis Diner and Burger King. The parcel contains an existing medical marijuana dispensary. No external changes to the location are being proposed as part of this application. Pursuant to §185-48.9(B) of the Town's zoning bylaws, special use permits are required to operate cannabis retail dispensaries in the Town of Newburgh; the proposed location is seeking to receive a special use permit to do so.

The parcel is located in the B (business) zone. The existing building does not conform to the required front yard setback. This existing non-conformity will not be increased. The proposed use will not change existing impervious areas. Therefore, the lot surface coverage will not increase.

The site has access to North Plank Road through two existing drives. These drives will remain. The existing building is connected to municipal sewer and water. Stormwater runoff flows toward North Plank Road (NYS Rte. 32) and is collected by the stormwater drainage system located within the NYS right-of-way. There will not be an increase in impervious area or stormwater runoff.

Please feel free to reach out with any questions or requests for additional information.

Kindly,

A handwritten signature in black ink, appearing to read 'Kate Crowther', with a long horizontal flourish extending to the right.

Kate Crowther

Senior Vice-President, Tenax Strategies
617-459-6671
kate@tenaxstrategies.com

DRIVEN | DEDICATED | DETERMINED

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**
Special Permit for Curaleaf of Newburgh

2. **Owner of Lands to be reviewed:**
Name Magdalini Zacharia
Address 140 Putt Lane
Kingston, NY 12401
Phone (845) 206-7193

3. **Applicant Information (If different than owner):**
Name SAME
Address _____

Representative _____
Phone _____
Fax _____
Email _____

4. **Subdivision/Site Plan prepared by:**
Name Darren C. Doce - Vincent J. Doce Associates
Address 41 Mead Alley
Montgomery, NY 12549
Phone/Fax (845) 561-1170, ddoce@hotmail.com

5. **Location of lands to be reviewed:**
8 North Plank Road

6. **Zone** B **Fire District** Cronomer Valley
Acreage 0.45+/- **School District** Newburgh

7. **Tax Map: Section** 80 **Block** 5 **Lot** 19

8. Project Description and Purpose of Review:

Number of existing lots _____ Number of proposed lots _____

Lot line change _____

Site plan review _____

Clearing and grading _____

Other _____
Special Permit _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature Magda Zacharica Title Owner

Date: 9/26/2023

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | | | | |
|--|-------------------------------------|----------------------------------|--|----|-----|-------------------------------------|-------------------------------------|
| Part 1 - Project and Sponsor Information | | | | | | | |
| Name of Action or Project: <i>SPECIAL PERMIT FOR CANNABIS OF NEWBURGH</i> | | | | | | | |
| Project Location (describe, and attach a location map): <i>8 NORTH PLANK ROAD, NEWBURGH, NY, ORANGE COUNTY</i> | | | | | | | |
| Brief Description of Proposed Action: The applicant is proposing to add an adult use retail cannabis dispensary use to the existing medical cannabis dispensary which is already operational at this site. There will be no changes to the site. The existing building, which will remain untouched, is connected to municipal water and sewer. | | | | | | | |
| Name of Applicant or Sponsor: <i>Magdalini Zacharia</i> | | Telephone: <i>(845) 206-7193</i> | | | | | |
| | | E-Mail: <i>jzc1@verizon.net</i> | | | | | |
| Address: <i>140 PUTT LN.</i> | | | | | | | |
| City/PO: <i>KINGSTON</i> | | State: <i>NY</i> | Zip Code: <i>12401</i> | | | | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td align="center">NO</td> <td align="center">YES</td> </tr> <tr> <td align="center"><input checked="" type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> </table> | NO | YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| NO | YES | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | | |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>TOWN OF NEWBURGH PLANNING BOARD</i> | | | <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td align="center">NO</td> <td align="center">YES</td> </tr> <tr> <td align="center"><input type="checkbox"/></td> <td align="center"><input checked="" type="checkbox"/></td> </tr> </table> | NO | YES | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| NO | YES | | | | | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | | |
| 3.a. Total acreage of the site of the proposed action? | | <i>0.45 +/-</i> acres | | | | | |
| b. Total acreage to be physically disturbed? | | <i>0</i> acres | | | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | <i>1.82 +/-</i> acres | | | | | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | | | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland | | | | | | | |

| | | | |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | NO | YES | N/A |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | | | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | | | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | | | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area? | | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? <i>Bald Eagle</i> | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Is the project site located in the 100 year flood plain? | | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <i>existing storm drainage system within NYDOT right-of-way</i> | | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | | | |

| | | |
|--|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? | NO | YES |
| If Yes, explain purpose and size: _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? | NO | YES |
| If Yes, describe: _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? | NO | YES |
| If Yes, describe: _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: <u>Magdalini Zacharia</u> | Date: <u>9/26/2023</u> | |
| Signature: <u>Magda Zacharia</u> | | |

Newburgh Special Permit Narrative Responses

Odors

The proposed retail dispensary shall follow all requirements of Article 13-E of the Public Health Law (the Clean Indoor Air Act). Furthermore, the proposed location will not constitute a nuisance by producing odor beyond that emitted by a typical non-cannabis retail establishment. All cannabis products sold at the retail dispensary will arrive prepackaged and no cultivation or product manufacturing will take place at the location. As such, there will be limited odor produced by the establishment.

Operational Schedule

8am-9pm Mon-Sat

8am-7pm Sun

The Public Welfare

Both public safety and the public welfare will be provided for at the proposed establishment. The location will have locked doors with keycard access, security cameras covering the interior and exterior of the building, emergency/panic alarms to rapidly contact law enforcement in the event of an emergency, and interior restricted access areas not accessible to the public. During non-operational hours, all interior and exterior doors will be secured and the alarm system will be armed. Cannabis products will be stored during off-hours in the GSA approved Class 5 security vault. In order to further advance the public welfare, consumer education materials on the proper use and effects of cannabis will be available for both adult-use and medical visitors.

Lighting

The lighting for the proposed retail dispensary, as detailed on the included site plan, includes five perimeter lights placed at the corners of the lot. These perimeter lights are high-powered DCM B1AN1 pole-mounted area lights. Additionally, the exterior of the building has six WAC Lighting 5" LED up-down wall sconces to illuminate the entrance and exit of the building. These LED lights have a wattage of 27 per bulb (54 total) and provide substantial area lighting to the front face of the building. Additionally, the parking spaces directly in front of the building are illuminated by seven bollard lighting fixtures. Finally, the underside of the roof overhang that rings the building also has lighting fixtures with standard outdoor bulbs inset. These inset fixtures provide substantial area lighting around the perimeter of the building, illuminating the space for security footage, visitors, and employees.

Waste Disposal

The applicant maintains exclusive use and maintenance of existing dumpsters located on-site for all non-cannabis waste.

Upon identifying solid cannabis waste in need of disposal, said cannabis waste will be rendered unusable prior to disposal. This may include grinding, shredding, and/or mixing the cannabis waste with other materials such that it is unusable. Once this process has been completed, the waste will be weighed and recorded in the cannabis waste logbook. This entry may include such



details as date and time of entry, employee disposing of the waste, weight of waste, and type of product being disposed. Once the waste has been recorded, the waste will be placed in a locked waste container. The cannabis waste disposal—along with the standard waste disposal—will be contracted out to a third-party solid waste disposal company. They will handle pickup of waste at the location and complete the disposal process.

Exterior Maintenance

The location will ensure that adequate resources and effort is provisioned for the continued maintenance of the exterior of the building and the grounds. The applicant has contracted services, and will maintain said service contracts, for the purpose of maintenance and landscaping to ensure the continued maintenance and upkeep of the exterior of the location.

Product Visibility

The proposed retail dispensary shall not have any cannabis sales product or paraphernalia items related to the preparation or consumption of product be visible off-site or from a public right-of-way. Furthermore, the dispensary shall not display any packaging, labeling, or other merchandise that could reasonably be mistaken for a cannabis product in a storefront window or other similar location that makes that item easily visible to individuals utilizing the public throughfare on which the dispensary is located.

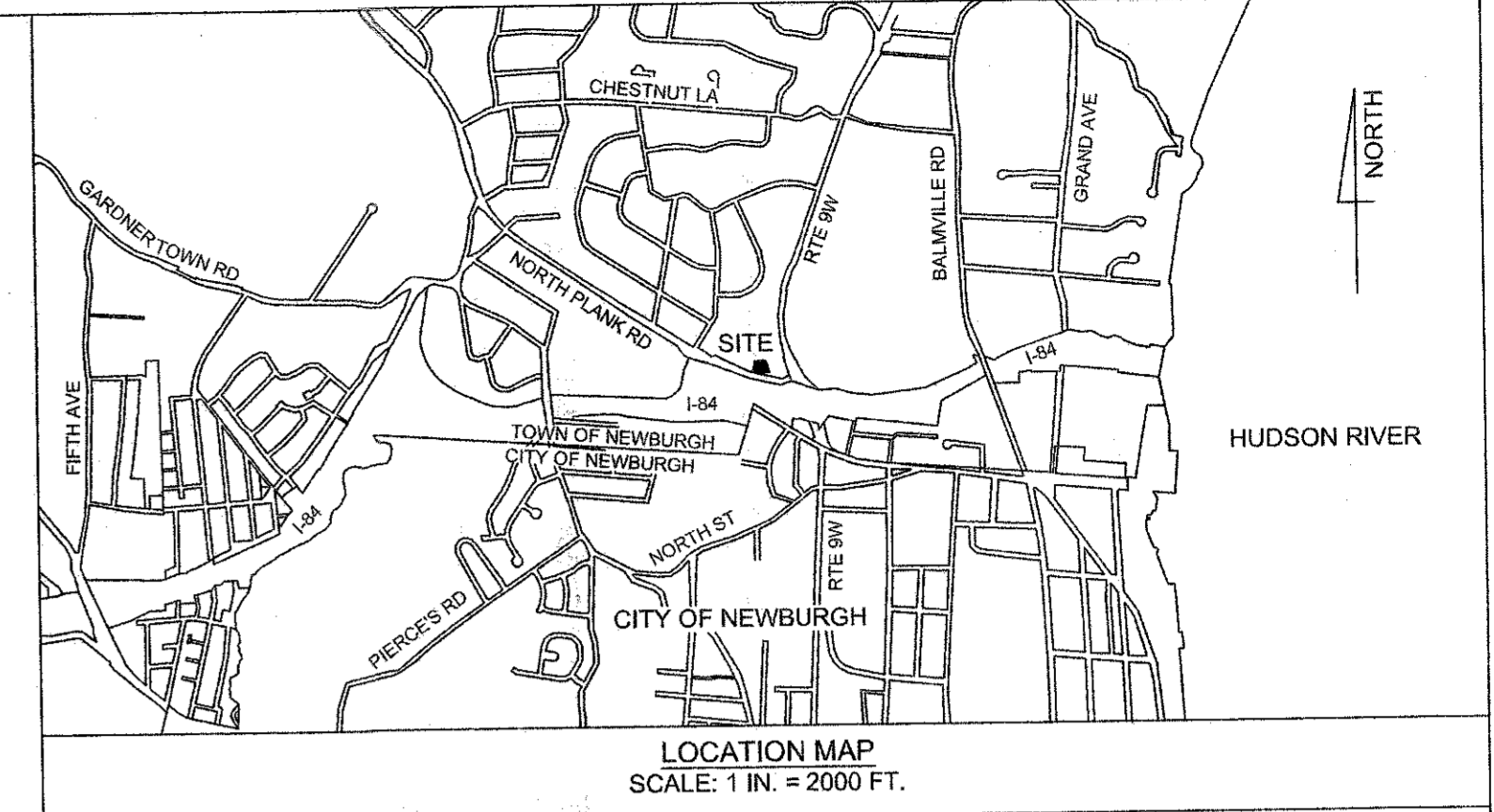
Outside Sound

There will not be any outdoors sound reproduction devices (speakers) at the proposed location. As a result, the establishment will not produce any noise beyond that of a typical non-cannabis retail establishment.

DRIVEN | DEDICATED | DETERMINED



- LEGEND:**
- - EXISTING UTILITY POLE
 - - EXISTING WATER VALVE
 - - EXISTING GAS VALVE
 - - EXISTING LIGHT BOLLARD
 - - EXISTING PAINTED ARROW
 - - EXISTING LIGHT POLE
 - - EXISTING ELECTRIC METER
 - - EXISTING GAS METER
 - - EXISTING AIR CONDITIONER
 - - EXISTING PAINTED GAS LINE
 - - EXISTING ELECTRICAL WIRES
 - - EXISTING ELECTRICAL OUTLET
 - - EXISTING AUTO SPRINKLER
 - +208.0 - EXISTING SPOT ELEVATION
 - 208 - EXISTING CONTOUR
 - - EXISTING SEWER MANHOLE
 - - EXISTING CLEANOUT
 - - EXISTING CATCH BASIN
 - ▨ - EXISTING PAINTED STRIPING
 - - EXISTING ADA PARKING



ZONE - B (BUSINESS)
USE - RETAIL/OFFICE

| REGULATION | MINIMUM REQUIRED | MAXIMUM PERMITTED |
|-----------------------|------------------|-------------------|
| LOT AREA | 15,000 SQ. FT. | |
| LOT WIDTH | 100 FT. | |
| LOT DEPTH | 125 FT. | |
| FRONT YARD | 60 FT. | |
| REAR YARD | 30 FT. | |
| ONE SIDE YARD | 15 FT. | |
| BOTH SIDE YARDS | 30 FT. | |
| LOT BUILDING COVERAGE | 60 % | |
| LOT SURFACE COVERAGE | 85 % | |
| BUILDING HEIGHT | 35 FT. | |

- NOTES:**
- TAX MAP DESIGNATION: SECTION 80 BLOCK 5 LOT 19
 - PARCEL AREA = 0.45 ACRES +/-
 - ZONING DISTRICT - B (BUSINESS)
 - OWNER AND APPLICANT: MAGDALINI ZACHARIA
140 PUTT LANE
KINGSTON, NY 12401
 - BOUNDARY AND TOPOGRAPHIC (HORIZONTAL AND VERTICAL) SURVEY INFORMATION AS PER A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 8 NORTH PLANK ROAD LOCATED AT TAX LOT 80-5-19 TOWN OF NEWBURGH, COUNTY OF ORANGE, NEW YORK" PREPARED BY HERITAGE LAND SURVEYING, PC (DARREN J. STRIDIRON, PLS - NYS LICENSE NO. 050487), DATED NOVEMBER 17, 2021.
 - THE LOCATIONS (HORIZONTAL AND VERTICAL) AND SIZES OF THE UNDERGROUND UTILITIES SHOWN SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR MUST PERFORM EXPLORATORY EXCAVATIONS TO LOCATE THE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
 - ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
 - IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.
 - PRIOR TO PERFORMING ANY WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) RIGHT-OF-WAY, A HIGHWAY WORK PERMIT MUST BE OBTAINED FROM THE NYSDOT. ALL WORK AND MATERIALS USED WITHIN THE NYSDOT RIGHT-OF-WAY MUST CONFORM WITH THE CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.
 - PRIOR TO THE PLANS BEING SIGNED AND SEALED BY THE TOWN OF NEWBURGH PLANNING BOARD CHAIRMAN, THE EXISTING ONSITE STORAGE POD SHALL BE REMOVED.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE PROJECT, A HIGHWAY WORK PERMIT SHALL BE OBTAINED FROM THE NYSDOT.
 - WORK ZONE TRAFFIC CONTROL SHALL BE PROVIDED AS PER THE NYSDOT 619 STANDARD SHEETS, THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NYS SUPPLEMENT TO THE MUTCD.
 - DURING CONSTRUCTION, PUBLIC ROADWAYS SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND CONSTRUCTION DEBRIS AT ALL TIMES.
 - ALL WORK UNDER NEW YORK STATE DEPARTMENT OF TRANSPORTATION JURISDICTION SHALL BE COMPLETED IN CONFORMANCE WITH NYSDOT 608-03 STANDARD SHEETS AND THE APPROVED DETAILS SHOWN ON THESE PLANS.
 - THE NYSDOT HIGHWAY WORK PERMIT AND NYSDOT STAMPED APPROVED PLANS SHALL BE PRESENT AT THE CONSTRUCTION SITE LOCATION AT ALL TIMES THROUGHOUT CONSTRUCTION.

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
John P. Quast
Chairman
5/22/2022

RECEIVED
MHE Engineering, D.P.C.

CALL BEFORE YOU DIG
DIG SAFELY NEW YORK MUST BE CONTACTED (DIAL 811 OR 1-800-962-7962) AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING TO HAVE ANY EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.

SHEET 1 OF 3 IS INVALID UNLESS ACCOMPANIED BY SHEET 2 OF 3 AND SHEET 3 OF 3.

AMENDED SITE PLAN - EXISTING CONDITIONS PLAN
FOR
CURALEAF NEWBURGH - BUILDING ADDITION
8 NORTH PLANK ROAD, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
DATE: NOVEMBER 18, 2021 SCALE: 1 IN. = 20 FT.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

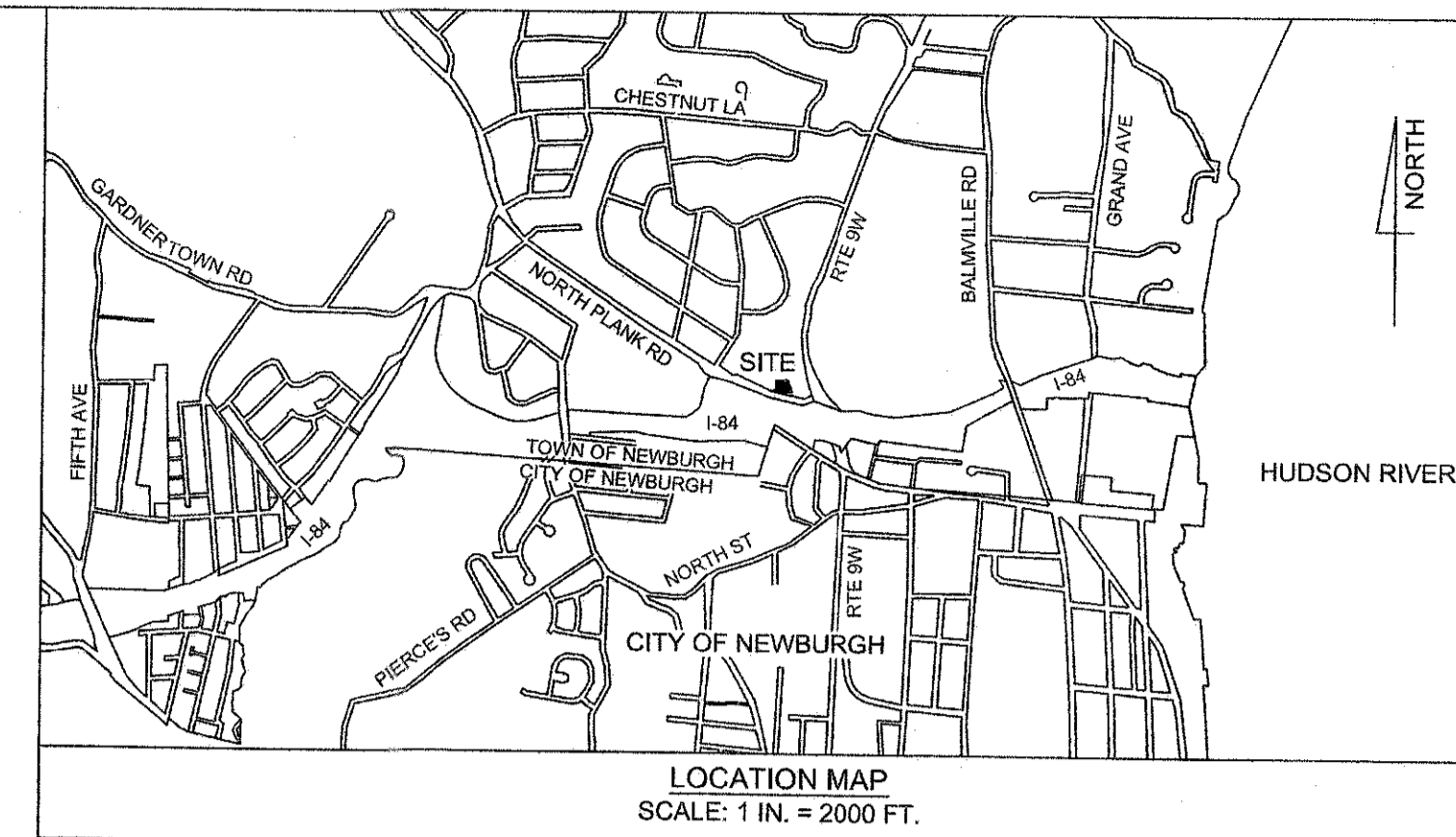
| DATE | REVISION |
|-----------|--|
| 5/21/2022 | NOTE 13, NOTE 14 AND NOTE 15 |
| 4/22/2022 | NOTE 10, NOTE 11 AND NOTE 12 |
| 4/6/2022 | NORTH PLANK ROAD LANES |
| 3/24/2022 | NOTE 9 |
| 2/17/2022 | EXISTING DRIVE WIDTHS, SIGHT DISTANCES |

PREPARED BY:
VINCENT J. DOCE ASSOCIATES
SURVEYORS - ENGINEERS - PLANNERS
41 MEAD ALLEY, MONTGOMERY, NY 12549
TEL. 845 561-1170 EMAIL DDOCE12@HOTMAIL.COM

SHEET 1 OF 3 *Janen Doco*

NORTH

- LEGEND:**
- - EXISTING UTILITY POLE
 - WV - EXISTING WATER VALVE
 - GV - EXISTING GAS VALVE
 - OBOL - EXISTING LIGHT BOLLARD
 - ★ - EXISTING LIGHT POLE
 - EM - EXISTING ELECTRIC METER
 - GM - EXISTING GAS METER
 - AC - EXISTING AIR CONDITIONER
 - G— - EXISTING PAINTED GAS LINE
 - E— - EXISTING OVERHEAD WIRES
 - EO - EXISTING ELECTRICAL OUTLET
 - AS - EXISTING AUTO SPRINKLER
 - +208.0 - EXISTING SPOT ELEVATION
 - 208 - EXISTING CONTOUR
 - SMH - EXISTING SEWER MANHOLE
 - - EXISTING CLEANOUT
 - CB - EXISTING CATCH BASIN
 - ▨ - EXISTING PAINTED STRIPING
 - - EXISTING ADA PARKING
 - ➔ - PROPOSED PAINTED ARROW



ZONE - B (BUSINESS)

USE - RETAIL/OFFICE

| REGULATION | MINIMUM REQUIRED | MINIMUM PROPOSED |
|-----------------------|------------------|--------------------|
| LOT AREA | 15,000 SQ. FT. | 19,441 SQ. FT. +/- |
| LOT WIDTH | 100 FT. | 153 FT. +/- |
| LOT DEPTH | 125 FT. | 130 FT. +/- |
| FRONT YARD | 60 FT. | 53.8 FT. +/- |
| REAR YARD | 30 FT. | 30.8 FT. +/- |
| ONE SIDE YARD | 15 FT. | 20.0 FT. +/- |
| BOTH SIDE YARDS | 30 FT. | 45.8 FT. +/- |
| LOT BUILDING COVERAGE | 60 % | 17.6 % +/- |
| LOT SURFACE COVERAGE | 85 % | 95.4 % +/- |
| BUILDING HEIGHT | 35 FT. | 18 FT. +/- |

MAXIMUM PERMITTED

MAXIMUM PROPOSED

* DENOTES EXISTING NON-CONFORMING CONDITION
 A VARIANCE WAS GRANTED FOR THE FRONT YARD SETBACK AND LOT SURFACE COVERAGE BY THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON FEBRUARY 24, 2022.

PARKING REQUIREMENT:

BUILDING FLOOR AREA - 3424 SQ. FT.
 RETAIL AREA - 1565 SQ. FT.

RETAIL - 1 SPACE PER 150 SQUARE FEET OF FLOOR AREA - PARKING REQUIRED - 11 SPACES
 OFFICE - 1 SPACE PER 200 SQUARE FEET OF FLOOR AREA - PARKING REQUIRED - 10 SPACES
 PARKING PROVIDED - 21 SPACES

(NOTE: THE SITE MAY ALSO SHARE THE 9 ADJACENT PARKING SPACES ON TAX PARCEL SBL 80-5-20)

- NOTES:**
- TAX MAP DESIGNATION: SECTION 80 BLOCK 5 LOT 19
 - PARCEL AREA = 0.45 ACRES +/-
 - ZONING DISTRICT - B (BUSINESS)
 - OWNER AND APPLICANT: MAGDALINI ZACHARIA
140 PUTT LANE
KINGSTON, NY 12401
 - BOUNDARY AND TOPOGRAPHIC (HORIZONTAL AND VERTICAL) SURVEY INFORMATION AS PER A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 8 NORTH PLANK ROAD LOCATED AT TAX LOT 80-5-19 TOWN OF NEWBURGH, COUNTY OF ORANGE, NEW YORK" PREPARED BY HERITAGE LAND SURVEYING, PC (DARREN J. STRIDIRON, PLS - NYS LICENSE NO. 050487), DATED NOVEMBER 17, 2021.
 - THE LOCATIONS (HORIZONTAL AND VERTICAL) AND SIZES OF THE UNDERGROUND UTILITIES SHOWN SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR MUST PERFORM EXPLORATORY EXCAVATIONS TO LOCATE THE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
 - ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
 - IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.
 - PRIOR TO PERFORMING ANY WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) RIGHT-OF-WAY, A HIGHWAY WORK PERMIT MUST BE OBTAINED FROM THE NYS DOT. ALL WORK AND MATERIALS USED WITHIN THE NYS DOT RIGHT-OF-WAY MUST CONFORM WITH ALL CURRENT NYS DOT STANDARDS AND SPECIFICATIONS.
 - PRIOR TO THE PLANS BEING SIGNED AND SEALED BY THE TOWN OF NEWBURGH PLANNING BOARD CHAIRMAN, THE EXISTING ON-SITE STORAGE POD SHALL BE REMOVED.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE PROJECT, A HIGHWAY WORK PERMIT SHALL BE OBTAINED FROM THE NYS DOT.
 - WORK ZONE TRAFFIC CONTROL SHALL BE PROVIDED AS PER THE NYS DOT 619 STANDARD SHEETS, THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NYS SUPPLEMENT TO THE MUTCD.
 - DURING CONSTRUCTION, PUBLIC ROADWAYS SHALL BE KEPT CLEAN OF SEDIMENT AND CONSTRUCTION DEBRIS AT ALL TIMES.
 - ALL WORK UNDER NEW YORK STATE DEPARTMENT OF TRANSPORTATION JURISDICTION SHALL BE COMPLETED IN CONFORMANCE WITH NYS DOT 608-03 STANDARD SHEETS AND THE APPROVED DETAILS SHOWN ON THESE PLANS.
 - THE NYS DOT HIGHWAY WORK PERMIT AND NYS DOT STAMPED APPROVED PLANS SHALL BE PRESENT AT THE CONSTRUCTION SITE LOCATION AT ALL TIMES THROUGHOUT CONSTRUCTION.

CALL BEFORE YOU DIG
 DIG SAFELY NEW YORK MUST BE CONTACTED (DIAL 811 OR 1-800-962-7962) AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING TO HAVE ANY EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.

SITE PLAN APPROVED
 Planning Board, Town of Newburgh
 Orange County, New York
 Chairman
 5/25/2022

SHEET 2 OF 3 IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND SHEET 3 OF 3.

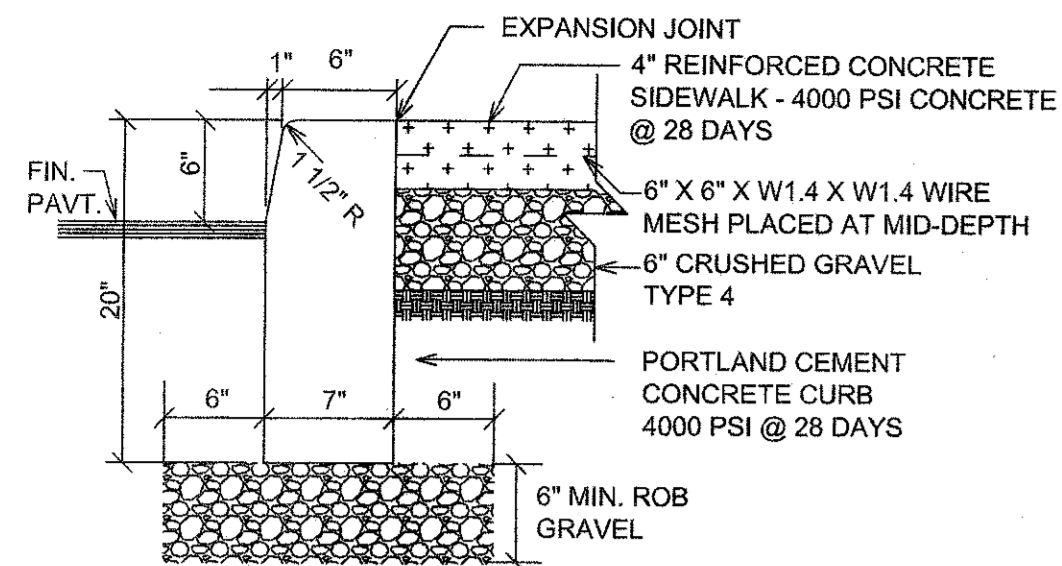
AMENDED SITE PLAN - SITE DEVELOPMENT PLAN
 FOR
CURALEAF NEWBURGH - BUILDING ADDITION
 8 NORTH PLANK ROAD, TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK
 DATE: NOVEMBER 18, 2021 SCALE: 1 IN. = 20 FT.

PREPARED BY:
VINCENT J. DOCE ASSOCIATES
 SURVEYORS - ENGINEERS - PLANNERS
 41 MEAD ALLEY, MONTGOMERY, NY 12549
 TEL. 845 561-1170 EMAIL DDOCE12@HOTMAIL.COM

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

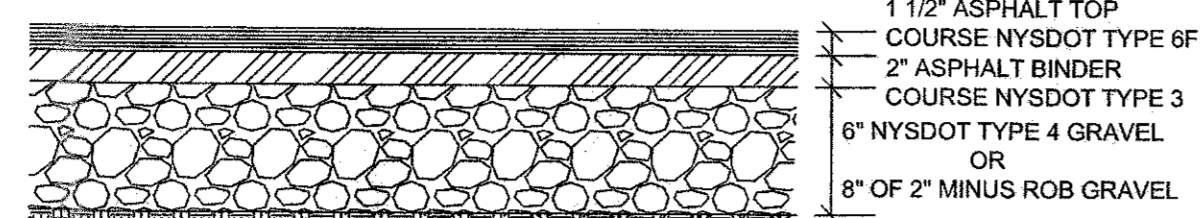
| DATE | REVISION |
|-----------|---|
| 5/21/2022 | NOTE 13, NOTE 14 AND NOTE 15 |
| 4/22/2022 | ZBA APPROVAL DATE, NOTE 10, NOTE 11 AND NOTE 12 |
| 4/6/2022 | NORTH PLANK ROAD LANES |
| 3/24/2022 | WORK LIMITS WITHIN NYS DOT ROW, NOTE 9 |
| 3/22/2022 | CURB RADIUS AT EAST ENTRANCE DRIVE |
| 3/11/2022 | NYS DOT COMMENTS (SAW CUT) |
| 2/25/2022 | NYS DOT COMMENTS, PARKING BLOCKS |
| DATE | REVISION |

SHEET 2 OF 3



- NOTES:
- EXPANSION JOINTS INSTALLED EVERY 20 FEET WITH SCORE JOINTS EVERY 5 FEET. EXPANSION JOINTS TO BE 1/2" CELLULOUS, OR SIMILAR, MATERIAL. SLOPE ACROSS WALK 1/4" FT. TOWARD CURB. BROOM FINISH.
 - FOR MACHINE FORMING, FORM OR SAW CUT CONTRACTION JOINTS AT 20 FEET MAXIMUM INTERVALS, 1/8" TO 1/4" WIDTH, 1 1/2" DEEP. SAWCUT WITHIN 8 HOURS OF THE POUR.

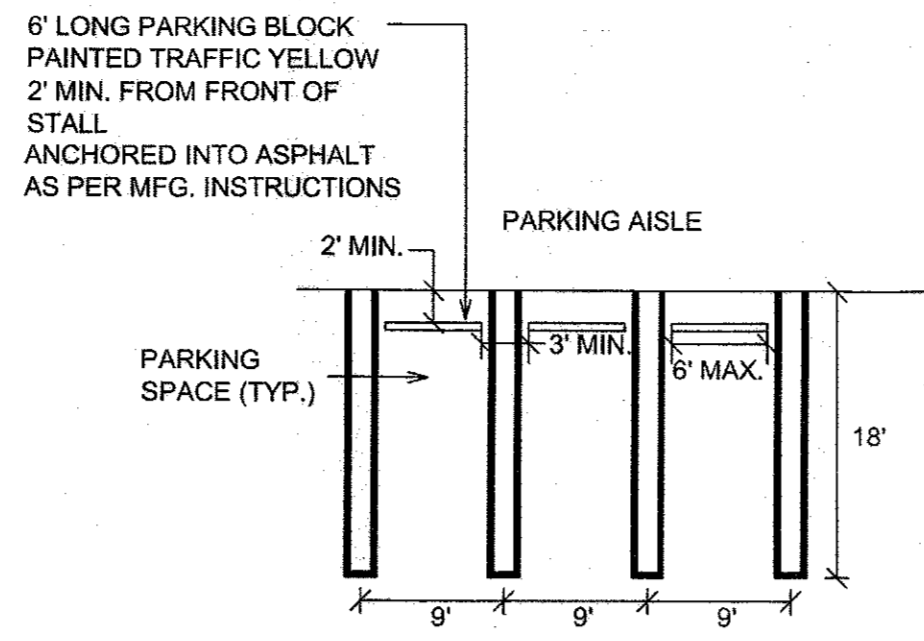
ON-SITE CURB AND SIDEWALK DETAIL
NOT TO SCALE



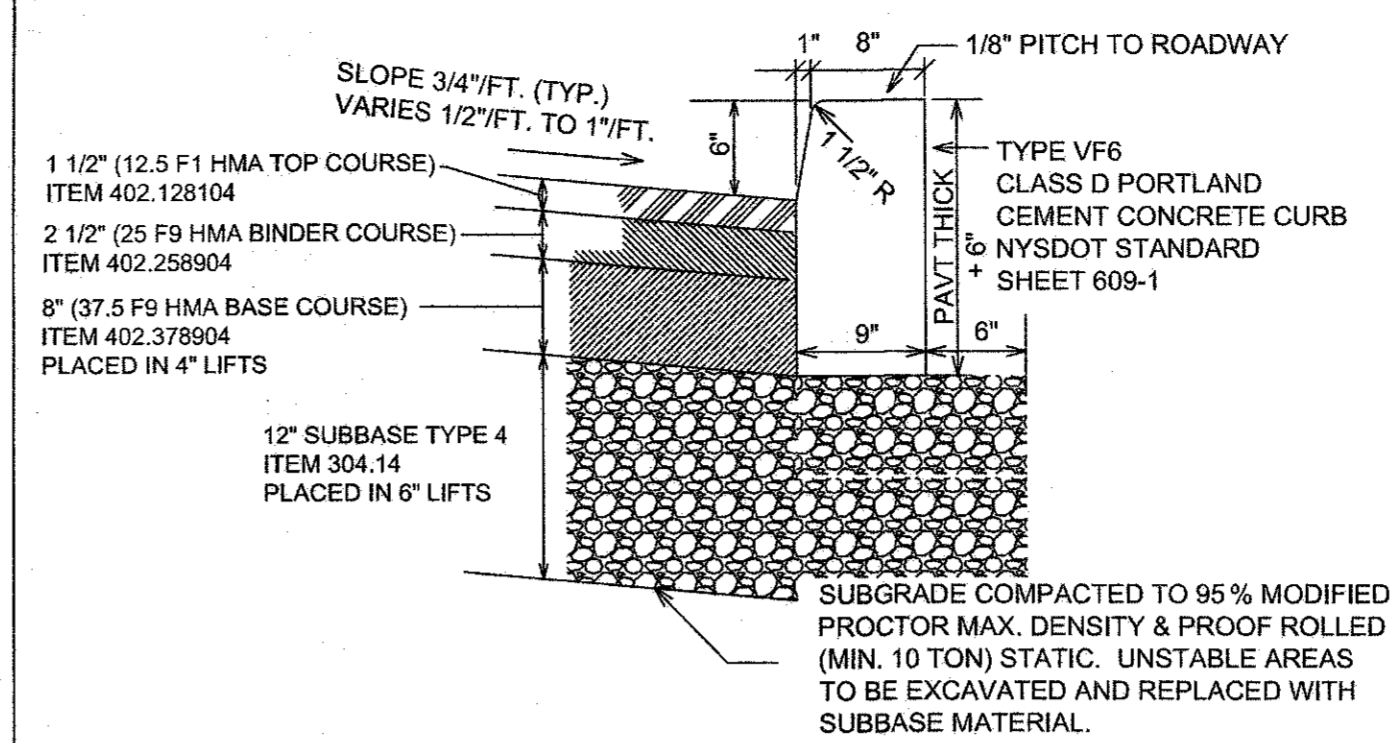
WELL COMPACTED SUBGRADE: COMPACTED TO 95% MODIFIED PROCTOR MAX. DENSITY AND PROOF ROLLED (MIN. 10 TON) STATIC.

NOTE: ALL UNSUITABLE AREAS IN THE SUBGRADE TO BE EXCAVATED AND REPLACED WITH SUBBASE MATERIAL.

PARKING PAVEMENT DETAIL
NOT TO SCALE



PARKING BLOCK DETAIL
NOT TO SCALE



NOTES: EXPANSION JOINTS OF 1/2" CELLULOUS, OR SIMILAR, MATERIAL PLACED AT 10 FOOT INTERVALS.

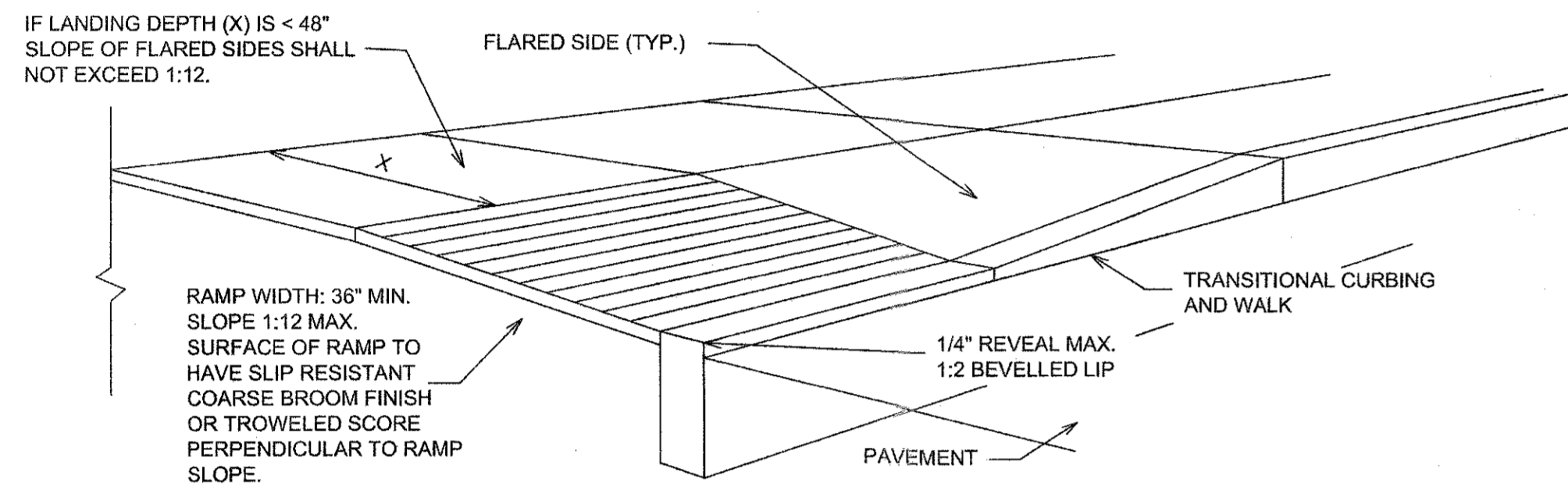
NYS DOT CURB/PAVEMENT DETAIL
NOT TO SCALE

GENERAL NOTES:

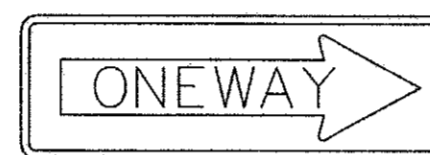
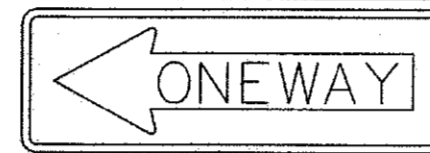
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. THE CONTRACTOR SHOULD PERFORM EXPLORATORY EXCAVATIONS, AS NECESSARY, TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED. THE LOCATIONS (HORIZONTAL AND VERTICAL) SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE.
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- THE NYS DOT HIGHWAY WORK PERMIT AND NYS DOT STAMPED APPROVED PLANS SHALL BE PRESENT AT THE CONSTRUCTION SITE LOCATION AT ALL TIMES THROUGHOUT CONSTRUCTION.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

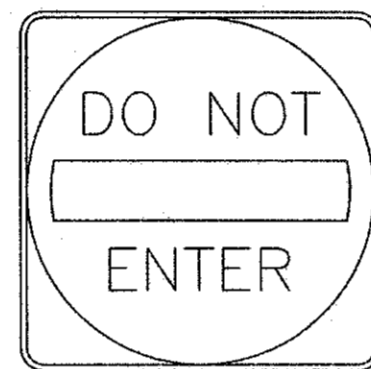
- ALL WORK TO BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH IN "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION, PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
- ONLY THOSE AREAS NECESSARY IN THE DEVELOPMENT OF THE PARCEL SHALL BE DISTURBED. SOIL DISTURBANCES SHALL BE LIMITED TO LESS THAN 1 ACRE.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PERMANENT EROSION AND SEDIMENT CONTROL MEASURES. THE PROPERTY OWNER WILL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
- NO DISTURBED AREA SHALL BE LEFT BARE FOR MORE THAN 14 DAYS UNLESS CONSTRUCTION OR SITE PREPARATION IS TAKING PLACE.
- EXISTING CATCHBASINS AND CULVERTS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE STRUCTURE.
- ALL EXCAVATED EARTH AND ACCUMULATED SEDIMENT WHICH WILL NOT BE USED ON-SITE SHALL BE HAULED OFF THE SITE AND DISPOSED OF PROPERLY.
- ANY EROSION AND SEDIMENT CONTROL MEASURE IS TO BE PERIODICALLY INSPECTED, MAINTAINED AND REPLACED WHEN IT BECOMES INOPERABLE.
- ALL WASTE MATERIAL (I.E. CONSTRUCTION DEBRIS AND TRASH) SHALL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION DEBRIS SHALL BE BURIED ON-SITE. ALL LOOSE MATERIALS SHALL BE REGULARLY COLLECTED TO PREVENT THE RELEASE OF FLOATABLES DURING STORM EVENTS.
- ONCE CONSTRUCTION IS COMPLETE AND THE AREA HAS BECOME PERMANENTLY STABILIZED, ANY TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- DURING CONSTRUCTION, PUBLIC ROADWAYS SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND CONSTRUCTION DEBRIS AT ALL TIMES.



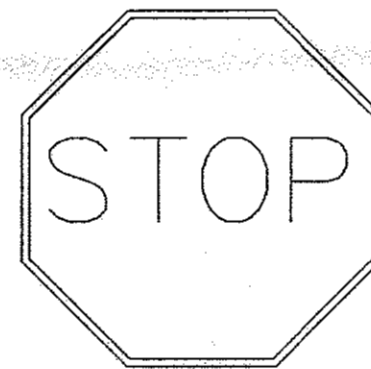
CURB RAMP SECTION
NOT TO SCALE



R6-1
(36" X 12")
INSTALL ITEM 645.5202



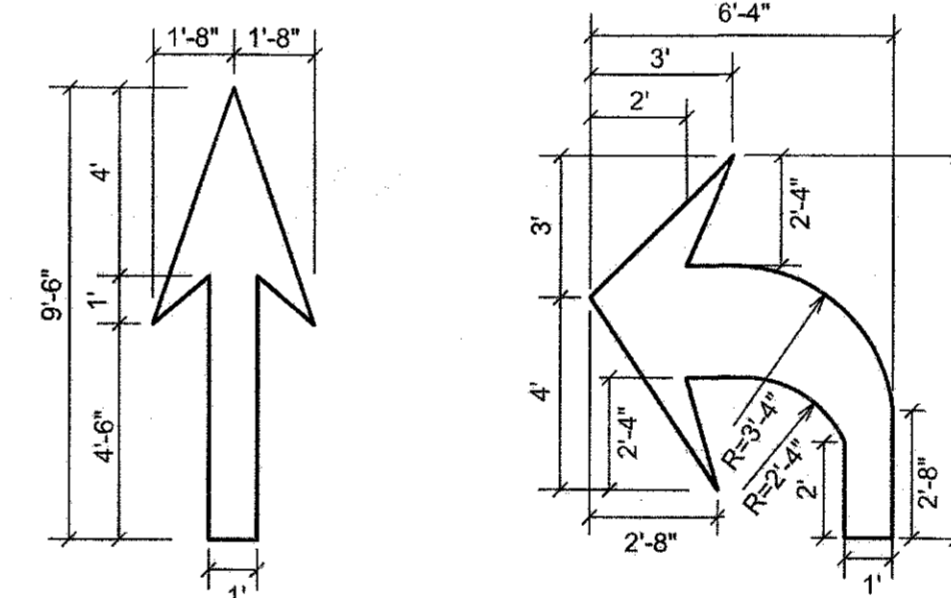
R5-1
(30" X 30")
INSTALL ITEM 645.5202



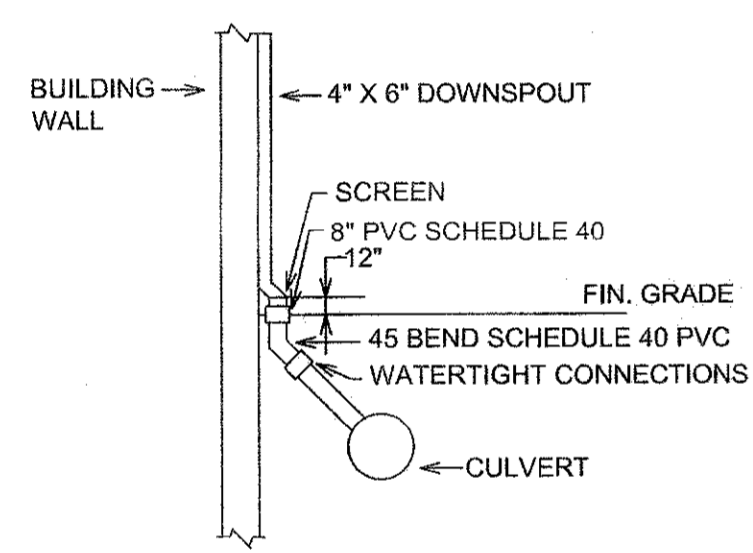
R1-1
(30" X 30")
INSTALL ITEM 645.5202

SIGN DETAIL
NOT TO SCALE

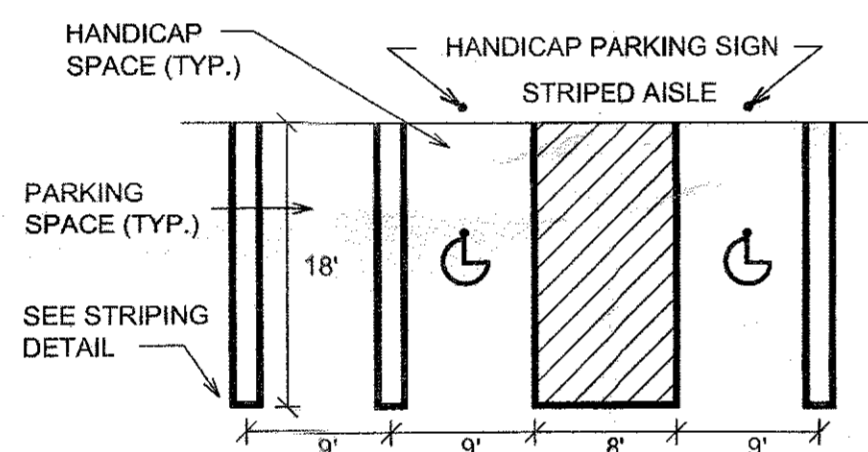
| NYS DOT LIMITS ON PERMISSIBLE LIFT THICKNESSES | | |
|--|---------------------------------|---------------------------------|
| MAXIMUM NOMINAL AGGREGATE SIZE (mm) | MINIMUM LIFT THICKNESS (inches) | MAXIMUM LIFT THICKNESS (inches) |
| 37.5 | 4 | 6 |
| 25.0 | 3 | 5 |
| 19.0 | 2 1/2 | 4 |
| 12.5 | 2 | 2 1/2 |
| 9.5 | 1 1/2 | 2 |



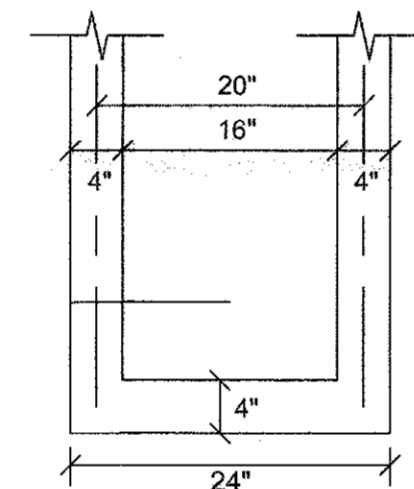
PAVEMENT MARKINGS DETAIL
NOT TO SCALE



OPTIONAL ROOF DRAIN DETAIL
NOT TO SCALE



PARKING DETAIL
NOT TO SCALE



STRIPING DETAIL
NOT TO SCALE

- NOTES:
- FOR COVER OF LESS THAN 2 FEET USE SCHEDULE 40 PVC. FOR COVER GREATER THAN 2 FEET FLEXIBLE PIPE CAN BE USED.
 - SAW CUT ANY EXISTING PAVEMENT, AS REQUIRED, AND RESTORE TO IT'S ORIGINAL CONDITION.

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[Signature]
Chairman 5/28/2022

CALL BEFORE YOU DIG
DIG SAFELY NEW YORK MUST BE CONTACTED (DIAL 811 OR 1-800-962-7962) AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING TO HAVE ANY EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.

SHEET 3 OF 3 IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND SHEET 2 OF 3.

AMENDED SITE PLAN - DETAIL SHEET
FOR
CURALEAF NEWBURGH - BUILDING ADDITION
8 NORTH PLANK ROAD, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
DATE: NOVEMBER 18, 2021 SCALE: AS SHOWN

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| DATE | REVISION |
|-----------|---|
| 5/21/2022 | SOIL EROSION AND SEDIMENT CONTROL NOTE 11 AND GENERAL NOTES 1-7 |
| 3/24/2022 | CURB/PAVEMENT DETAIL, NYS DOT LIFT THICKNESS DETAIL |
| 3/11/2022 | CURB/PAVEMENT DETAIL |
| 2/25/2022 | PARKING BLOCK DETAIL, CURB DETAIL, PAVEMENT MARKING DETAIL, SIGN DETAIL |

PREPARED BY:
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SHEET 3 OF 3

[Signature]

