



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** CURALEAF NEWBURGH  
**PROJECT NO.:** 2021-34  
**PROJECT LOCATION:** SECTION 8, BLOCK 5, LOT 19  
**REVIEW DATE:** 11 MARCH 2022  
**MEETING DATE:** 17 MARCH 2022  
**PROJECT REPRESENTATIVE:** DARREN DOCE

1. City of Newburgh Flow Acceptance Letter is required. The Applicant's representative is requested to provide a full acceptance narrative such that a cover letter can be placed on it and sent to the City of Newburgh for approval.
2. DOT has required changes to the access drive. Ken Wersted's and DOT comments on the revised access should be received.
3. Submission to County Planning is required based on the project being located on the State Highway.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal

PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

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# VINCENT J. DOCE ASSOCIATES

ENGINEERS - SURVEYORS - PLANNERS  
PROJECT CONSULTANTS - LAND CONSULTANTS  
41 MEAD ALLEY, MONTGOMERY, NEW YORK 12549  
TEL. 845-561-1170 EMAIL DDOCE12@HOTMAIL.COM

February 27, 2022

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

RE: Site Plan for Curaleaf Newburgh  
8 North Plank Road (NYS Route 32)  
Section 80 Block 5 Lots 19  
Application No. 21-34

Dear Mr. Ewasutyn:

At the NYSDOT's request a Traffic Impact Study was prepared by Colliers Engineering and Design. The Traffic Impact Study and site plan was reviewed by the NYSDOT, and the NYSDOT has determined that the existing two-way drives be made one-way drives. The easterly drive will be an entrance only and the westerly drive will be an exit only. The TIS was also submitted for review by your traffic consultant, Kenneth Wersted.

As a result of the DOT review and comments received at the December 16, 2021 planning board meeting, the plans have been revised as follows:

1. The two existing driveways have been designated as one-way driveways. As requested by the DOT, the westerly exit-only drive has been reduced to a width of 15 feet. New signage and pavement markings have been added to the plans (Sheet 2 of 3).
2. Sign, pavement marking and curb details have been added to sheet 3 of 3.
3. Parking blocks are proposed for the five parking spaces adjacent to the one-way drive to the east of the proposed building addition so that vehicles in these spaces will not encroach into the drive.

Additionally, at its February 24<sup>th</sup> meeting, the Zoning Board of Appeals has granted the area variance needed for the minimum front yard setback and the maximum lot surface coverage.

If you have any additional question or comments, please free to contact me.

Sincerely,

*Darren C Doce*

Darren C Doce  
w/attachments  
cc Dominic Cordisco  
Patrick Hines  
Kenneth Wersted

ARCHITECTURAL REVIEW FORM  
TOWN OF NEWBURGH PLANNING BOARD

DATE: DECEMBER 14, 2021

NAME OF PROJECT: CURALEAF

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

CONTINUATION OF EXISTING EIFS STUCCO, SYNTHETIC STONE

COLOR OF THE EXTERIOR OF BUILDING:

CREAM WHITE, TAN

ACCENT TRIM:

Location: \_\_\_\_\_

Color: \_\_\_\_\_

Type (material): \_\_\_\_\_

PARAPET (all roof top mechanicals are to be screened on all four sides):

PARAPET + SCREENING PROVIDED

ROOF:

Type (gabled, flat, etc.): FLAT.

Material (shingles, metal, tar & sand, etc.): EPDM

Color: BLACK

**WINDOWS/SHUTTERS:**

Color (also trim if different): CLEAR ANODIZED

Type: ALUMINUM

**DOORS:**

Color: CLEAR ALUM; OFF WHITE PAINTED

Type (if different than standard door entrée): \_\_\_\_\_

**SIGN:**

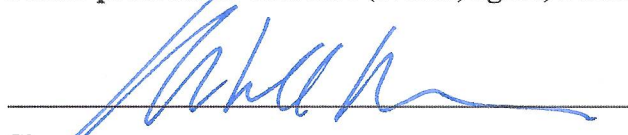
Color: GREEN BACKGROUND, WHITE ILLUM. LETTERS

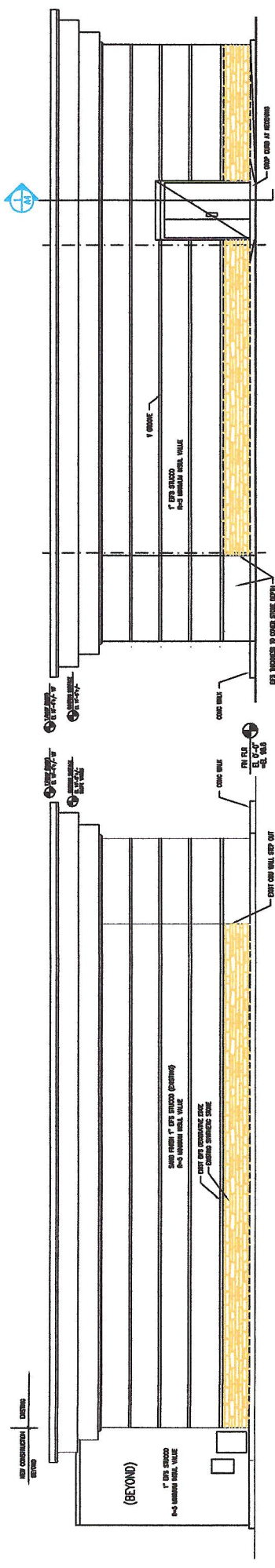
Material: ALUMINUM

Square footage of signage of site: ±75 SF, 79.5 SF ALLOWED

MARSHALL ROSENBLUM, ARCHITECT

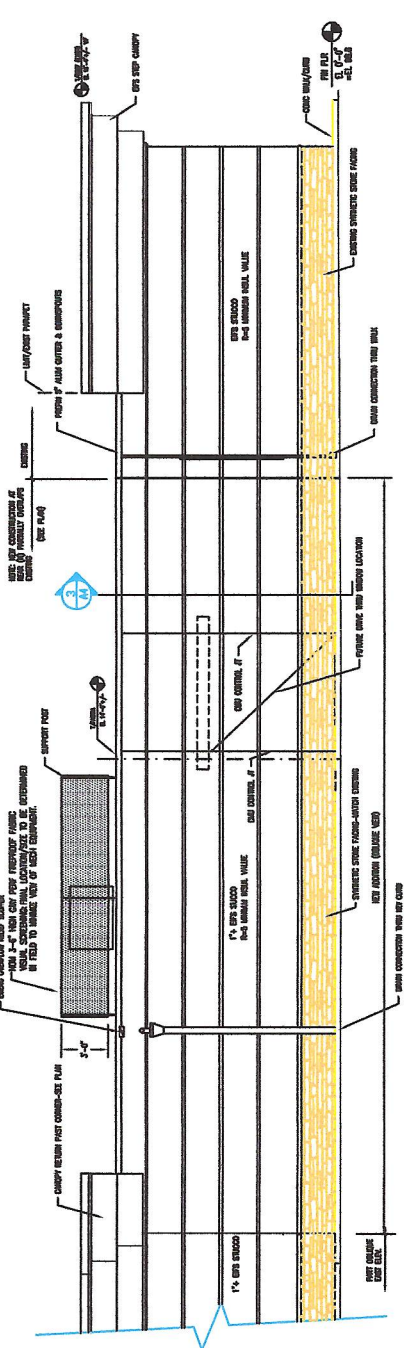
Please print name and title (owner, agent, builder, superintendent of job, etc.)

  
\_\_\_\_\_  
Signature

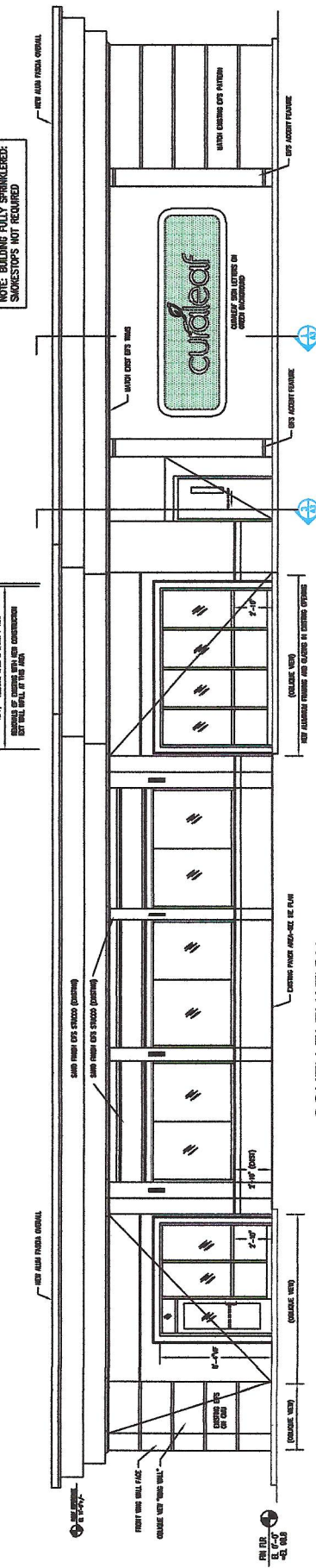


**WEST ELEVATION (EXISTING CONST.)**  
1/4" = 1'

**EAST ELEVATION**  
1/4" = 1'



**NORTH ELEVATION (REAR)**  
1/4" = 1'



**SOUTH ELEVATION**  
1/4" = 1'



**ROSENBLUM  
MARSHALL ROSENBLUM ARCHITECTS**  
1000 W. 10TH AVENUE, SUITE 200  
DENVER, CO 80202  
303.733.8800

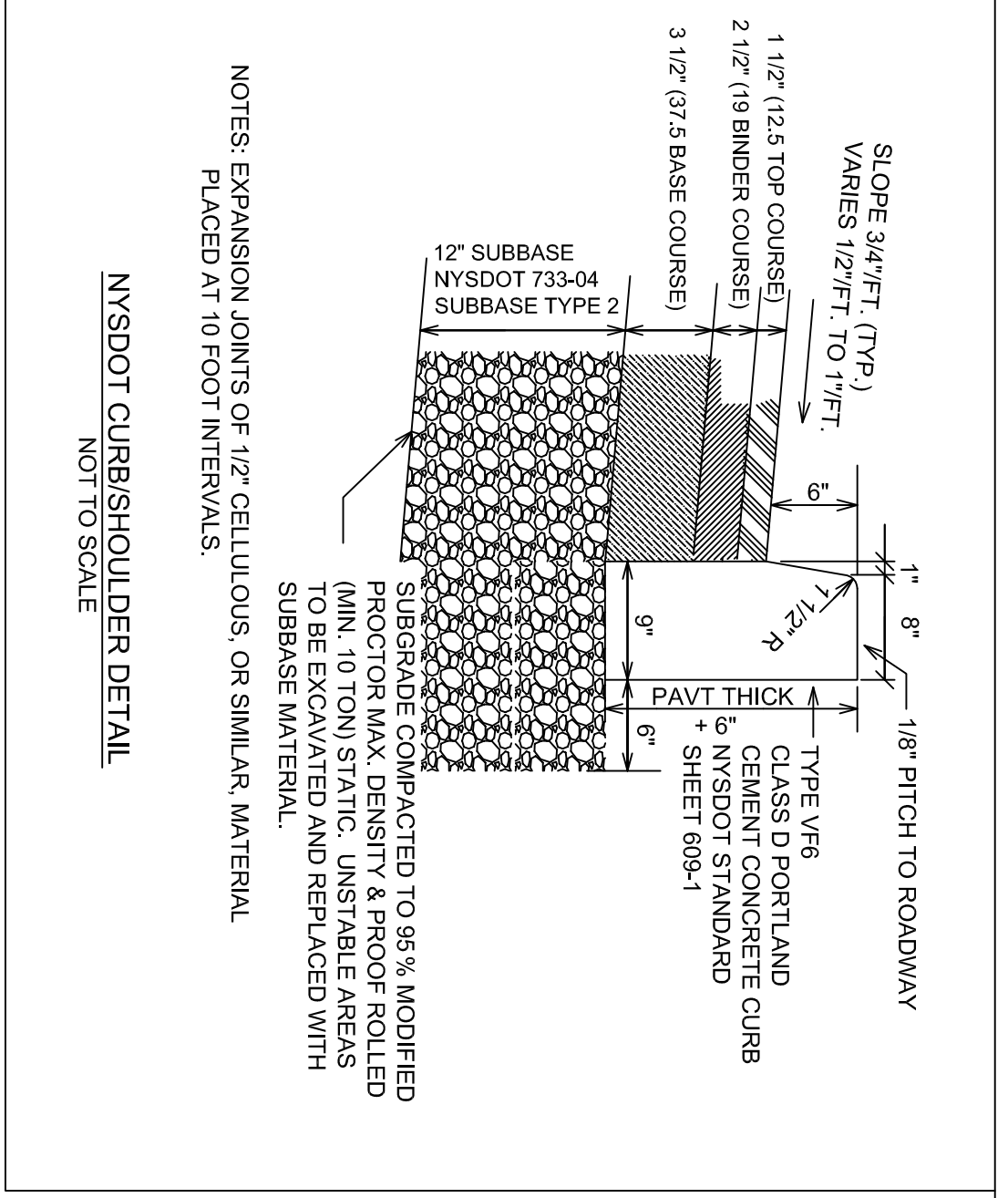
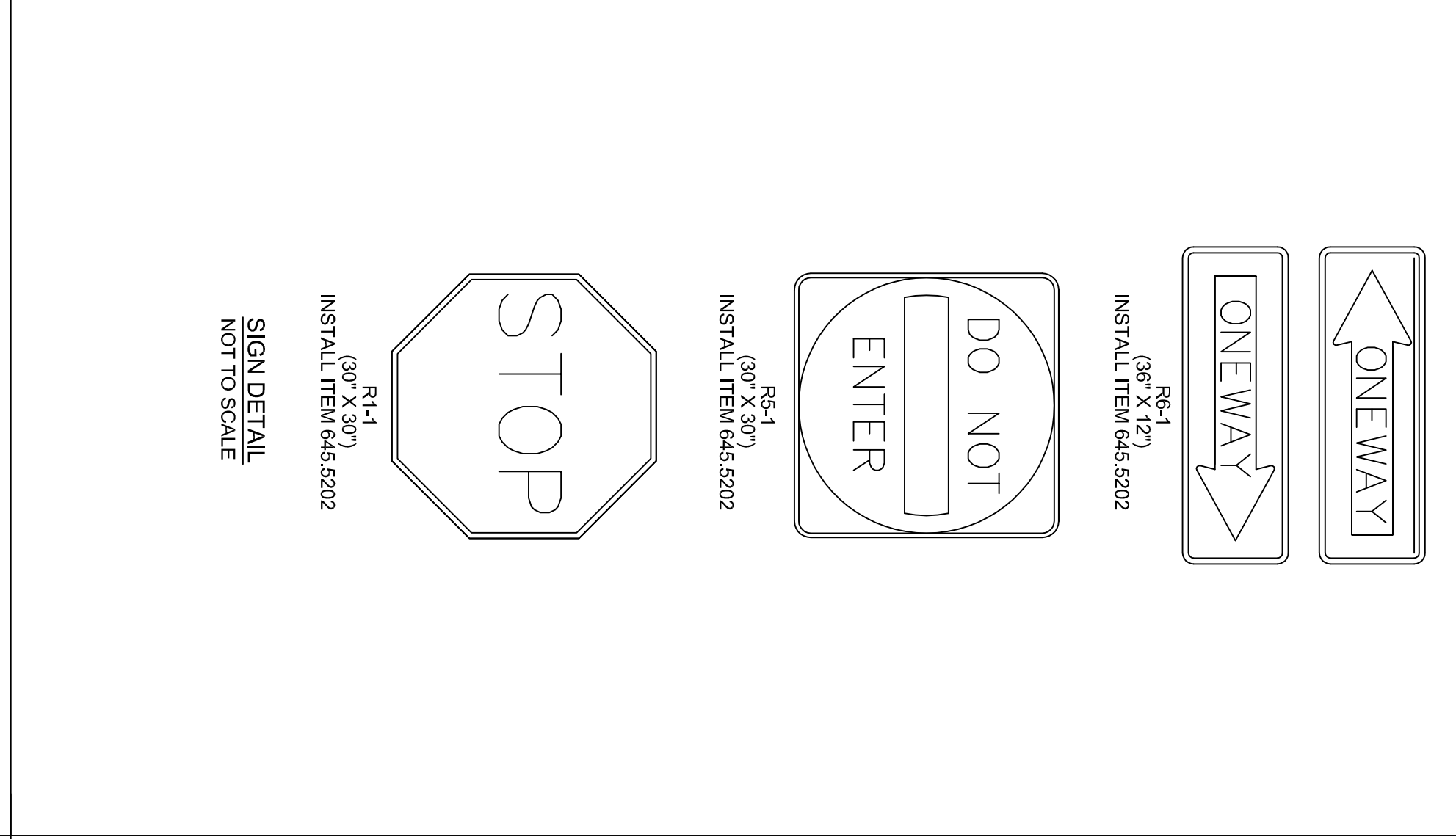
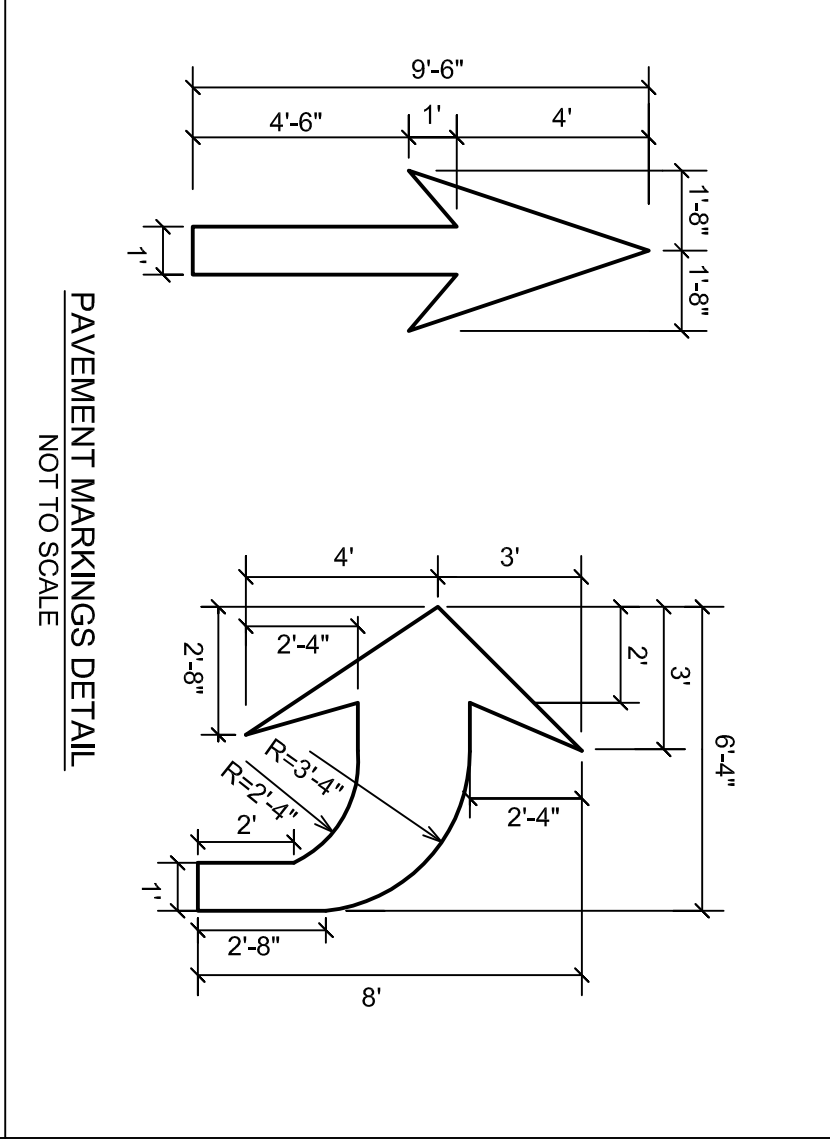
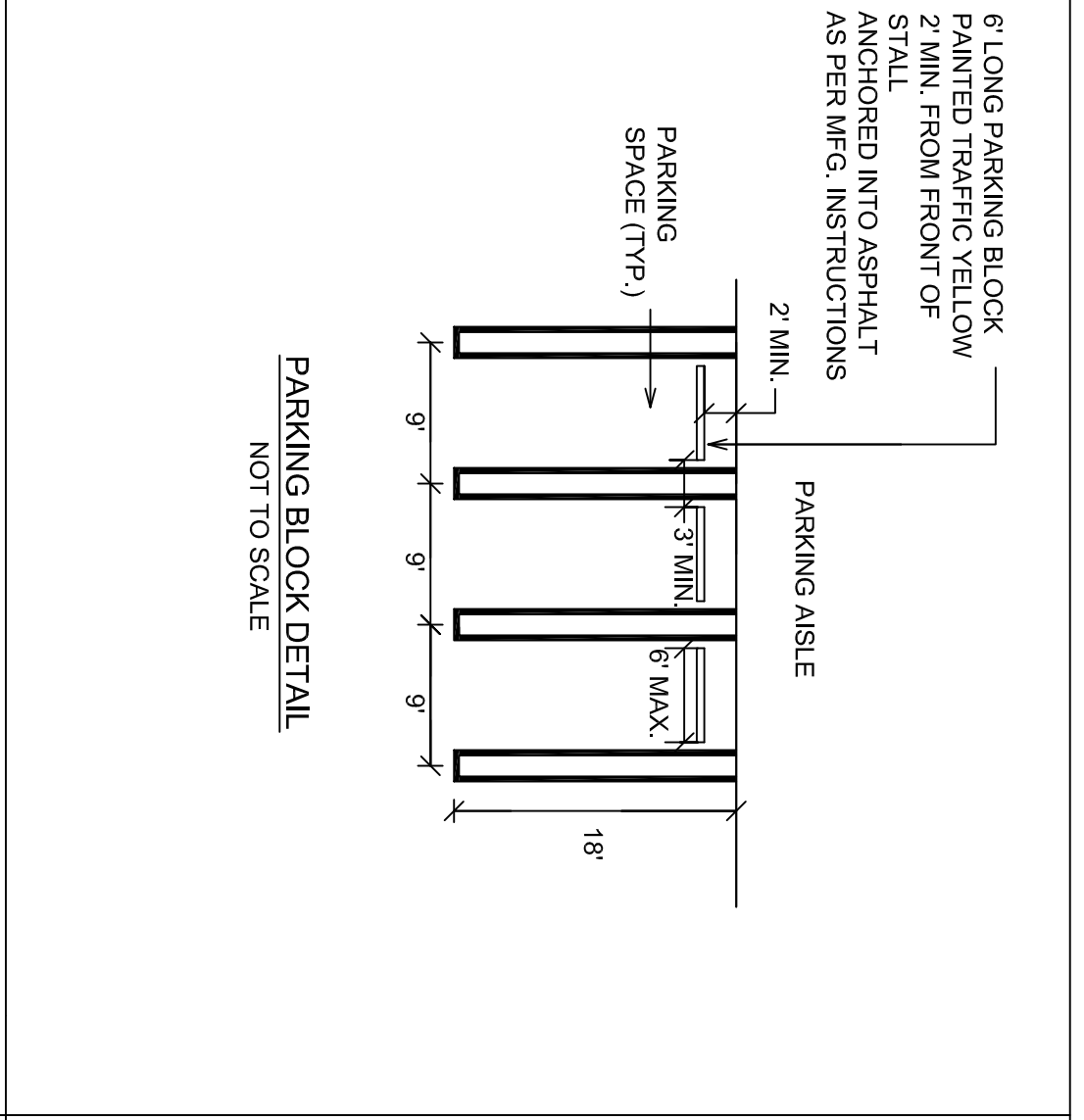
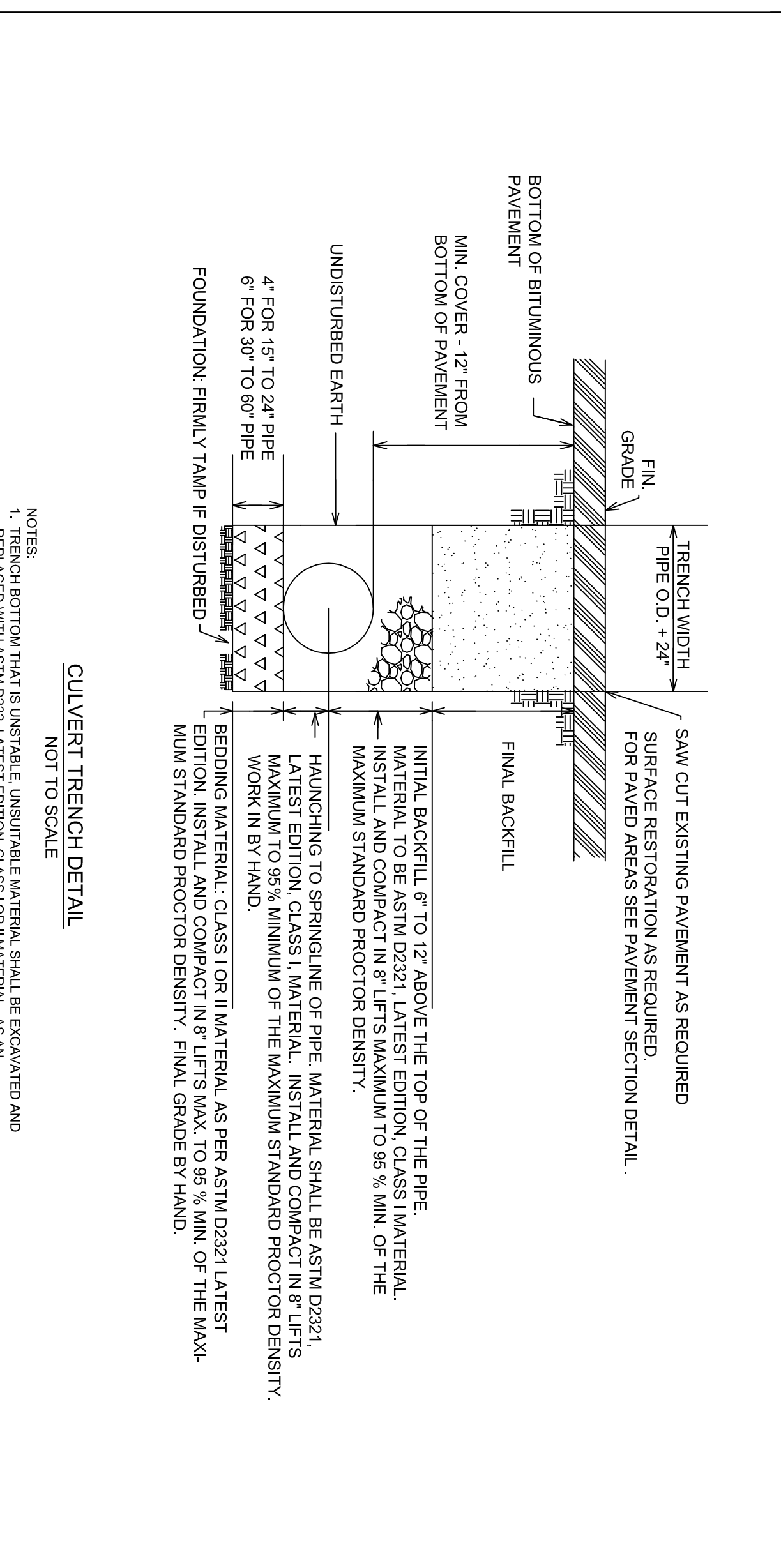
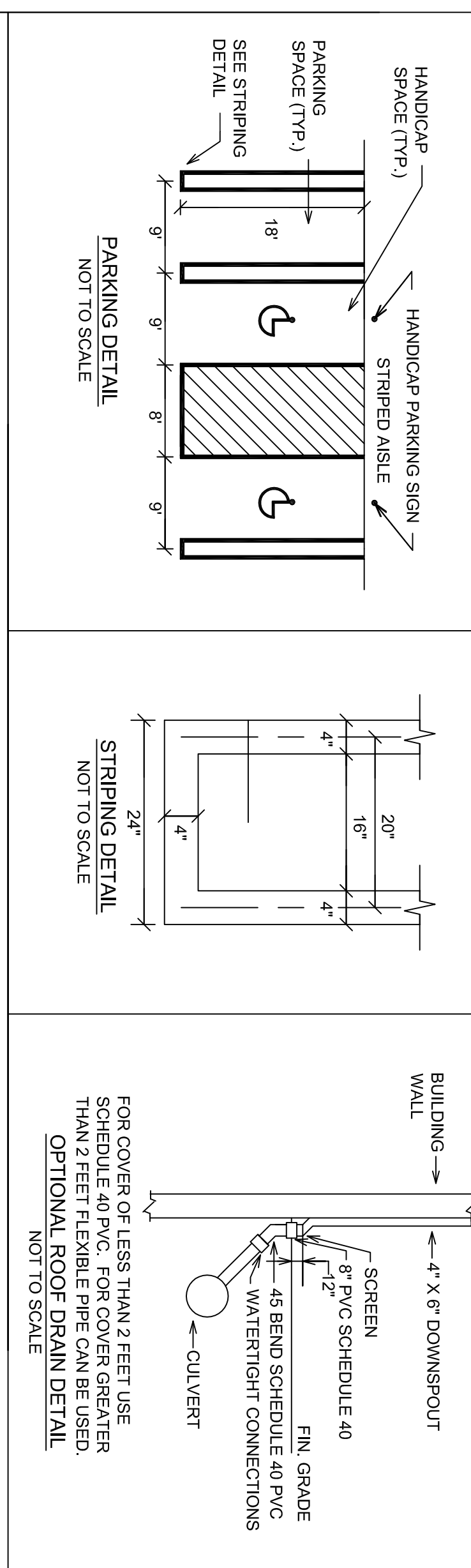
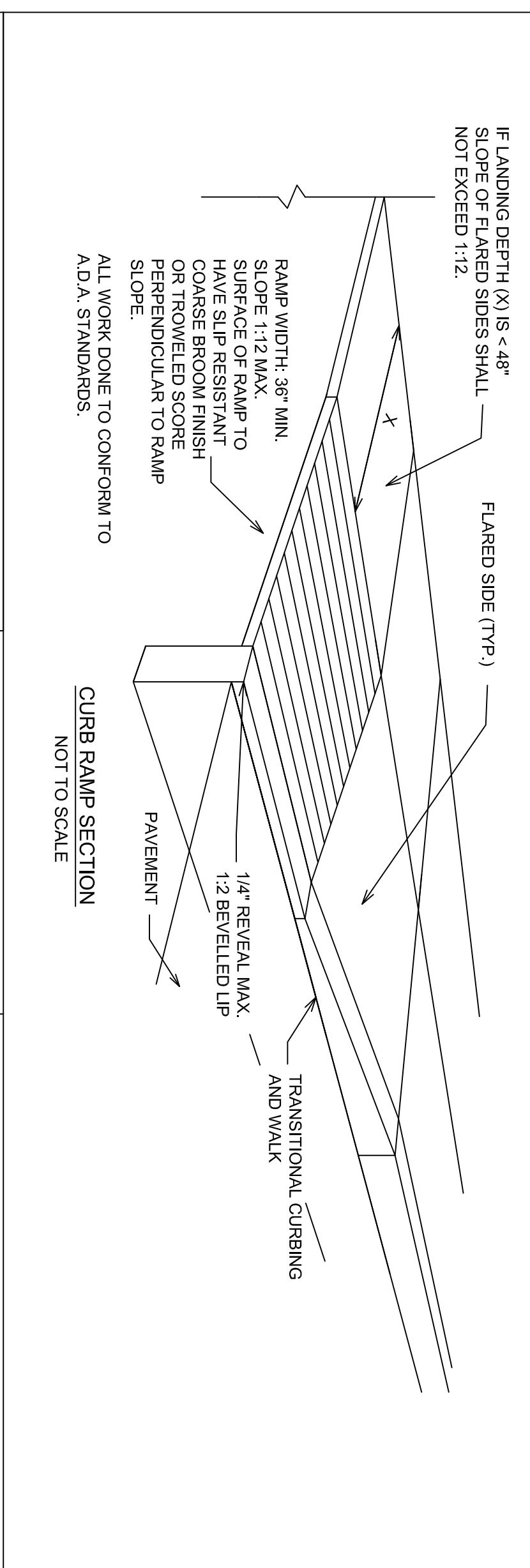
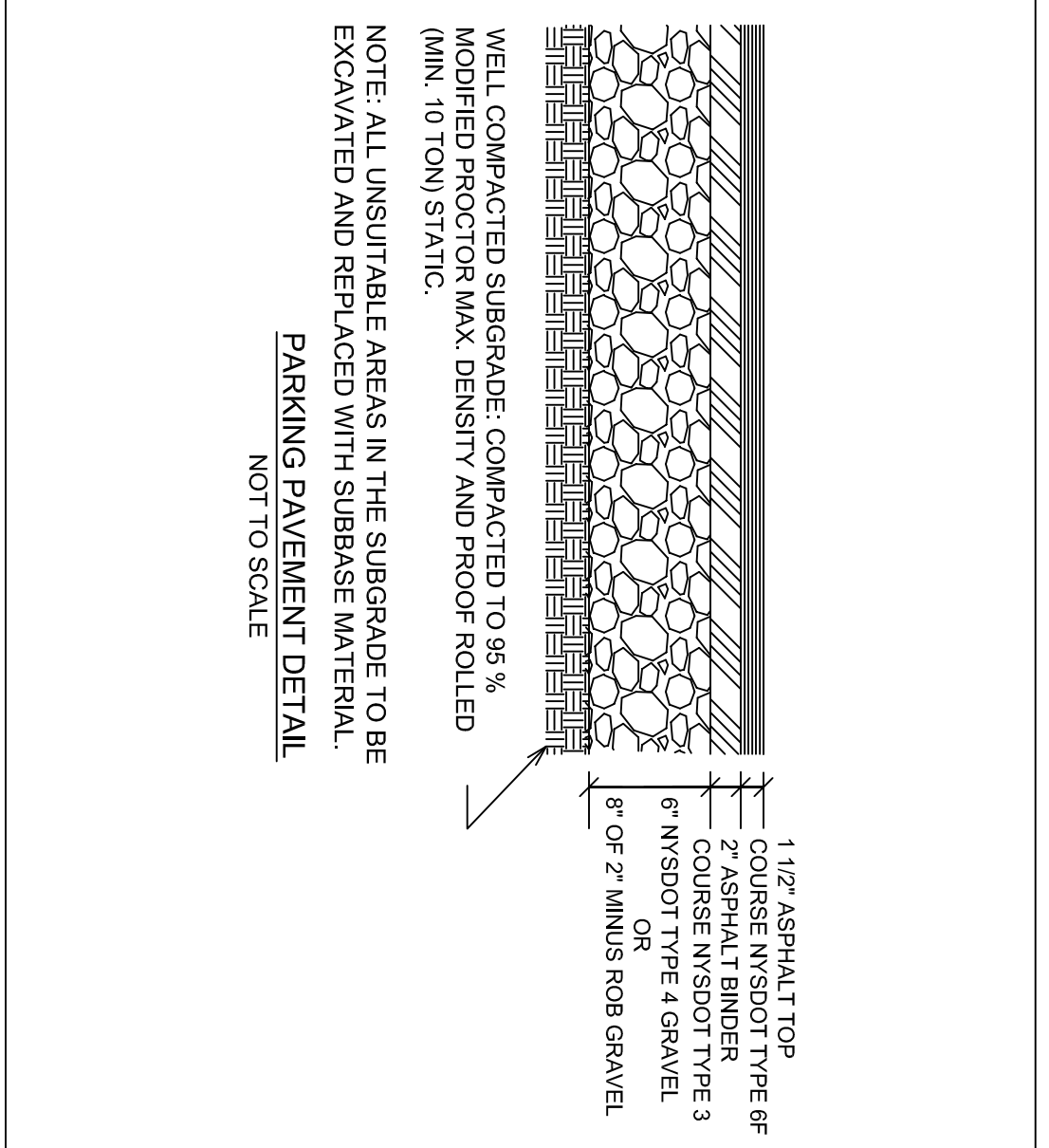
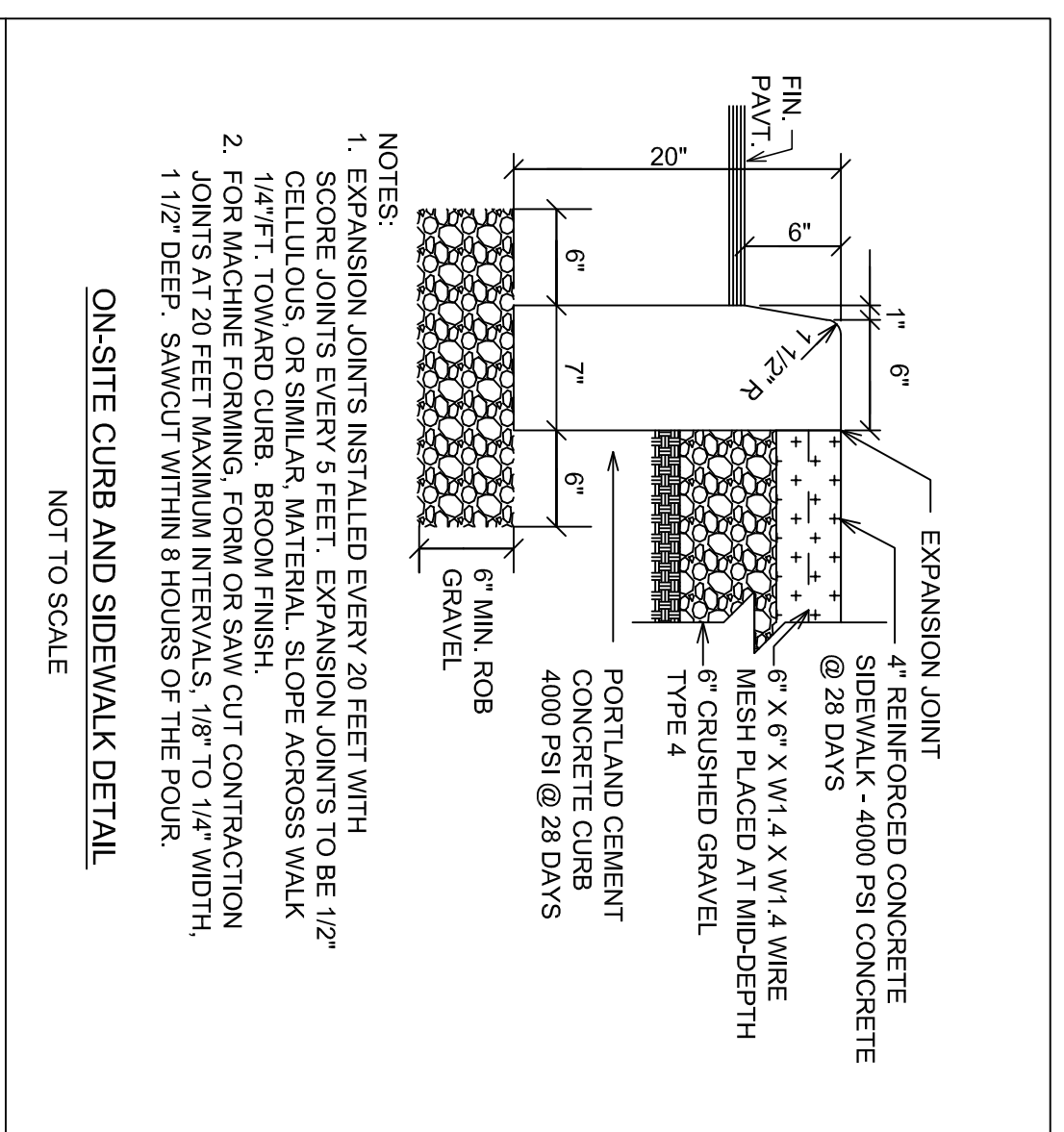
North Platte Road  
Town of Homestead  
877  
UR-100  
JOB #  
Schaumburg

**DISPENSARY  
ADDITION & IMPROVEMENTS**

Sections & Details  
**A2**

PROGRESS 12/14/2021

NOTE: BUILDING FULLY SPRINKLERED;  
SMOKESTOPS NOT REQUIRED



UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

DATE: 2/25/2022

REVISION: PARKING BLOCK DETAIL, CURB DETAIL, PAVEMENT MARKING DETAIL

**NOTES:**

- THE CONTRACTOR MUST NOTIFY THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (1-800-962-7962) TO HAVE ANY EXISTING UTILITIES LOCATED AND MARKED AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING, NON-MEMBER UTILITIES MUST BE CONVAICTED SEPARATELY.
- BEFORE BEGINNING ANY UNDERGROUND UTILITY WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY EXCAVATION PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC., DISTURBED DURING CONSTRUCTION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE.
- IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.

**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

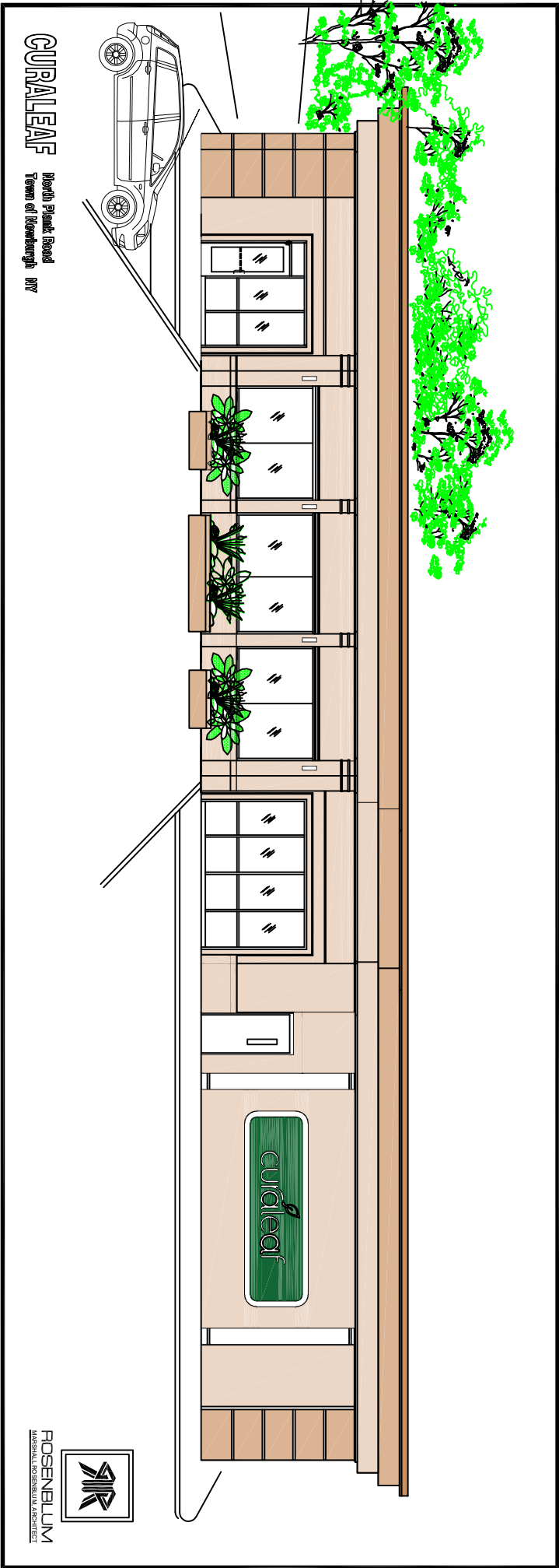
- ALL WORK TO BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH IN NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
- ONLY THOSE AREAS NECESSARY IN THE DEVELOPMENT OF THE PARCEL SHALL BE DISTURBED. SOIL DISTURBANCE SHALL BE LIMITED TO LESS THAN 1 ACRE.
- CONSTRUCTION SHALL BE LIMITED TO LESS THAN 1 ACRE.
- DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PERMANENT EROSION AND SEDIMENT CONTROL MEASURES. THE PROPERTY OWNER WILL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
- NO DISTURBED AREA SHALL BE LEFT BARE FOR MORE THAN 14 DAYS UNLESS CONSTRUCTION OR SITE PREPARATION IS TAKING PLACE.
- EROSION CONTROL MEASURES SHALL BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE EXCAVATION.
- ALL EXCAVATED EARTH AND ACCUMULATED SEDIMENT WHICH WILL NOT BE USED ON-SITE SHALL BE HAULED OFF THE SITE AND DISPOSED OF PROPERLY.
- ANY EROSION AND SEDIMENT CONTROL MEASURE IS TO BE PERIODICALLY INSPECTED, MAINTAINED AND REPLACED WHEN IT BECOMES INOPERABLE.
- ALL WASTE MATERIAL (I.E. CONSTRUCTION DEBRIS AND TRASH) SHALL BE HAULED TO AN APPROVED LAND-FILL. NO CONSTRUCTION DEBRIS SHALL BE BURIED ON-SITE. ALL LOOSE MATERIALS SHALL BE REGULARLY COLLECTED TO PREVENT THE RELEASE OF FLOATABLES DURING STORM EVENTS.
- ONCE CONSTRUCTION IS COMPLETE, THE AREA HAS BECOME PERMANENTLY STABILIZED. ANY TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

SHEET 3 OF 3 IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND SHEET 2 OF 3.

**AMENDED SITE PLAN - DETAIL SHEET**  
FOR  
**CURALEAF NEWBURGH - BUILDING ADDITION**  
8 NORTH PLANK ROAD, TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK  
DATE: NOVEMBER 10, 2021 SCALE: AS SHOWN

PREPARED BY:  
**VINCENT J. DOCE ASSOCIATES**  
SURVEYORS - ENGINEERS - PLANNERS  
41 MEAD ALLEY, MONTGOMERY, NY 12549  
TEL. 845 561-1170 EMAIL: DDOCE12@HOTMAIL.COM

SHEET 3 OF 3



**CURALEAF**

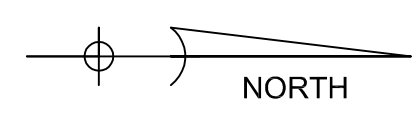
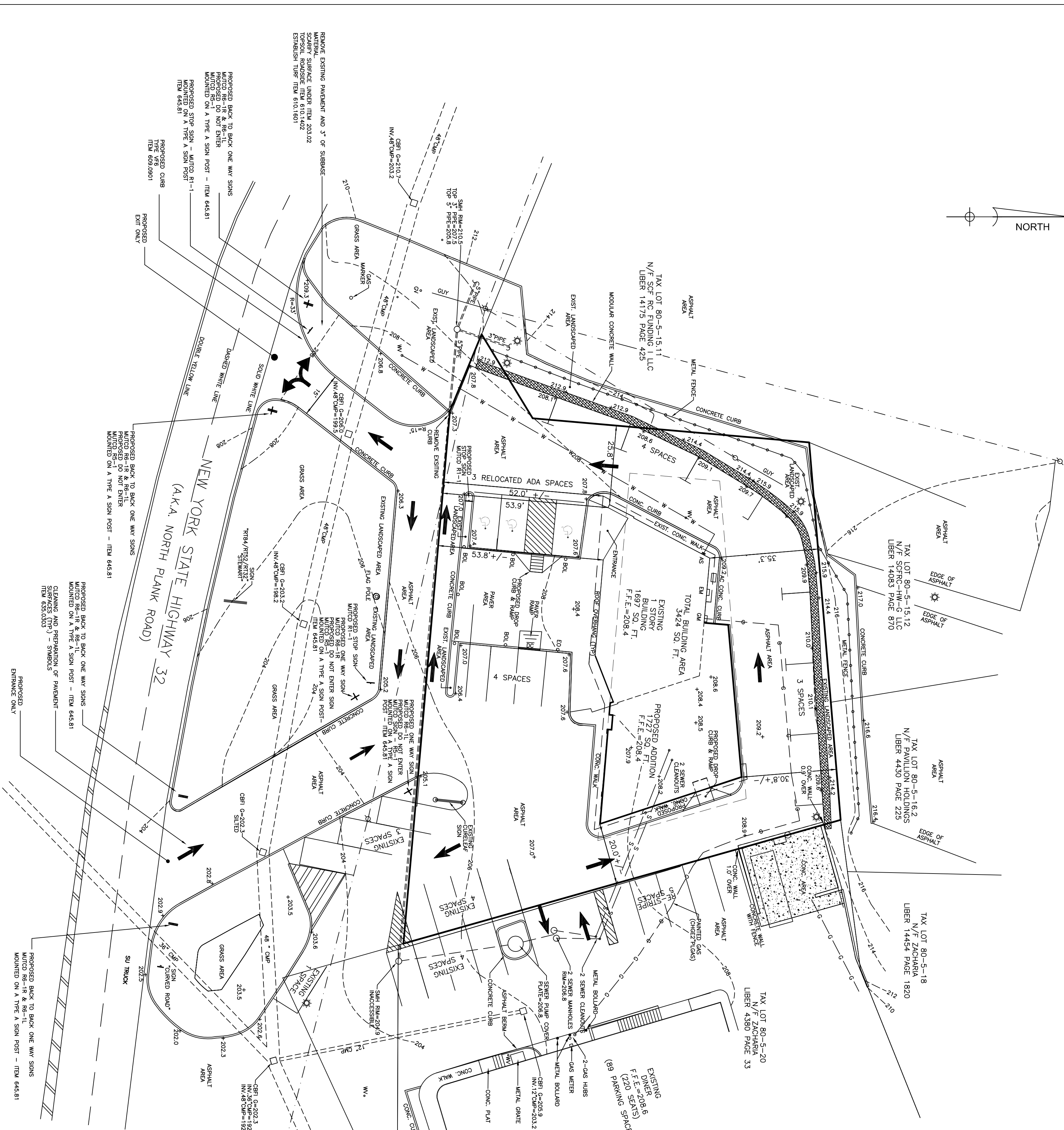
North Plank Road  
Town of Newburgh, NY



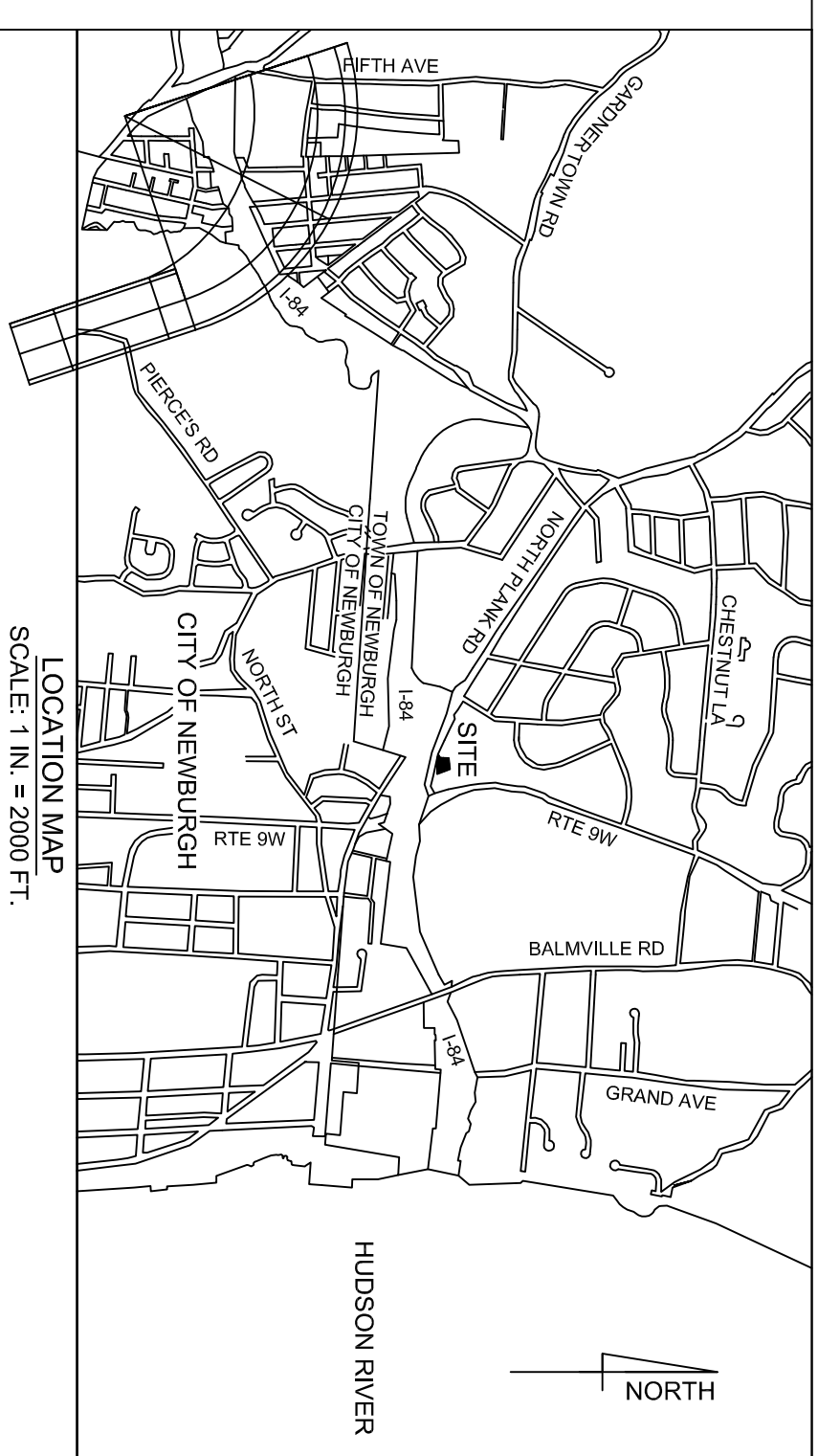
**ROSENBLUM**  
ARCHITECTURAL ASSOCIATES







- LEGEND:**
- EXISTING UTILITY POLE
  - EXISTING WATER VALVE
  - EXISTING GAS VALVE
  - EXISTING LIGHT BOLLARD
  - EXISTING LIGHT POLE
  - EXISTING ELECTRIC METER
  - EXISTING GAS METER
  - EXISTING GAS OUTLET
  - EXISTING PAINTED GAS LINE
  - EXISTING PAINTED GAS LINE
  - EXISTING ELECTRICAL OUTLET
  - EXISTING SPOT ELEVATION
  - EXISTING AUTO SPRINKLER
  - EXISTING SEWER MANHOLE
  - EXISTING SEWER MANHOLE
  - EXISTING SEWER MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING CATCH BASIN
  - EXISTING CATCH BASIN
  - EXISTING ADA PARKING
  - PROPOSED PAINTED ARROW



ZONE - B (BUSINESS)	
USE - RETAIL/OFFICE	MINIMUM PROPOSED
LOT AREA	15,000 SQ. FT.
LOT WIDTH	100 FT.
LOT DEPTH	125 FT.
FRONT YARD	60 FT.
REAR YARD	30 FT.
ONE SIDE YARD	15 FT.
BOTH SIDE YARDS	10 FT.
LOT BUILDING COVERAGE	60 %
LOT SURFACE COVERAGE	85 %
BUILDING HEIGHT	35 FT.
	MAXIMUM PROPOSED
	17.6 % +/-
	95.4 % +/-
	18 FT. +/-

**PARKING REQUIREMENT:**  
 BUILDING FLOOR AREA - 3224 SQ. FT.  
 RETAIL AREA - 1565 SQ. FT.  
 OFFICE - 1 SPACE PER 200 SQUARE FEET OF FLOOR AREA - PARKING REQUIRED - 11 SPACES  
 OFFICE - 1 SPACE PER 200 SQUARE FEET OF FLOOR AREA - PARKING REQUIRED - 21 SPACES  
 OFFICE - 1 SPACE PER 200 SQUARE FEET OF FLOOR AREA - PARKING REQUIRED - 21 SPACES

(NOTE: THE SITE MAY ALSO SHARE THE 9 ADJACENT PARKING SPACES ON TAX PARCEL SBL 80-5-20)

- NOTES:**
- TAX MAP DESIGNATION: SECTION 80 BLOCK 5 LOT 19
  - PARCEL AREA = 0.45 ACRES +/-
  - ZONING DISTRICT - B (BUSINESS)
  - OWNER AND APPLICANT: MAGDALINE ZACHARIA
  - BOUNDARY AND TOPOGRAPHIC (HORIZONTAL AND VERTICAL) SURVEY INFORMATION AS PER A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 8 NORTH PLANK ROAD LOCATED AT TAX LOT 80-5-19 TOWN OF NEWBURGH, COUNTY OF ORANGE, NEW YORK," PREPARED BY HERITAGE LAND SURVEYING, PC (DARRIN J. STRIDIRON, P.L.S. - NYS LICENSE NO. 050487), DATED NOVEMBER 17, 2021.
  - THE CONTRACTOR MUST NOTIFY THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (1-800-962-7962) TO HAVE ANY EXISTING UTILITIES LOCATED AND MARKED AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY. (HORIZONTAL AND VERTICAL) AND SIZES OF THE UNDERGROUND UTILITIES SHOWN SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR MUST PERFORM EXPLORATORY EXCAVATIONS TO LOCATE THE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
  - ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
  - IT IS THE DEVELOPERS OR CONTRACTORS RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

DATE	REVISION	COMMENTS
2/25/2022		NYS DOT COMMENTS

SHEET 2 OF 3 IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 3 AND SHEET 3 OF 3.

**AMENDED SITE PLAN - SITE DEVELOPMENT PLAN**  
 FOR  
**CURLEAF NEWBURGH - BUILDING ADDITION**  
 8 NORTH PLANK ROAD, TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 DATE: NOVEMBER 18, 2021 SCALE: 1 IN. = 20 FT.

PREPARED BY:  
**VINCENT J. DOCE ASSOCIATES**  
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 TEL. 845 561-1170 EMAIL DDOCE12@HOTMAIL.COM