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**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)  
MATTHEW J. SICKLER, P.E. (NY & PA)  
PATRICK J. HINES

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CUMBERLAND FARMS**  
**PROJECT NO.: 16-05**  
**PROJECT LOCATION: SECTION 86, BLOCK 1, LOT 14 & 15**  
**REVIEW DATE: 30 MARCH 2016**  
**MEETING DATE: 7 APRIL 2016**  
**PROJECT REPRESENTATIVE: BOHLER ENGINEERING**

1. A City of Newburgh Flow Acceptance letter will be required for Sanitary Sewer connection.
2. Orange County Planning referral will be required.
3. Orange County DPW and NYSDOT referrals and approvals will be required for proposed driveway access points. It is noted that 2 driveways are proposed on each of the roadways. It is unclear if these will be issued by those agencies. Information pertaining to and in coordination of submissions to the county or DOT should be copied to the Planning Board to complete the file.
4. The Town of Newburgh has adopted design guidelines in 2007. Compliance with design guidelines should be documented on the plans. Any specific waivers of requirements should be formally requested to the Planning Board. Parking along the front of the building along both roadway frontages is proposed. Mitigation measures for screening that parking should be incorporated into the plan and a waiver for that be requested. In the past stone walls have been incorporated into site plans to provide for screening of parking.
5. Truck access plan for delivery vehicles should be provide.
6. A Stormwater Management Report and SWPPP should be included in future submissions.
7. Sanitary Sewer Pump Station design report and plan should be submitted.
8. Water and sewer line routing depicts a circuitous path across the site. This should be modified.

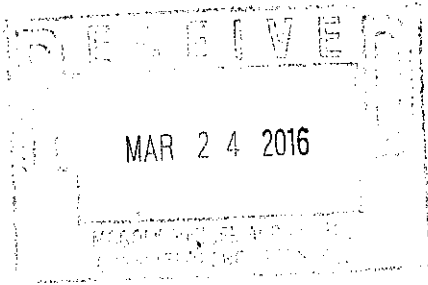
9. Town of Newburgh has requirements for sprinklering commercial buildings. Fire Suppression sprinklers should be addressed on the plans. Water lines should be provided to adequately serve the fire protection system.
10. Standard Town of Newburgh water and sewer notes must be added to the plans(copies attached).
11. Numerous variances will be required. The Bulk table notes previously issued variances, however the location of items involving those variances has changed on the site. Mike Donnelly's comments on the previously issued variance should be received.
12. Based on a review of the plans the following variances will be required:
  - a) Maximum Canopy Height
  - b) Front Yard Setback for Canopy from both Rock Cut Road & Rt. 17K
  - c) Front Yard Landscaping Requirement
  - d) Signage Locations in Front Yard
  - e) Side Yard for Canopy
  - f) Number of Required Parking Spaces
13. Notes on the Demolition Plan should be added requiring a demolition permit from the Town of Newburgh Building Department for removal of any and all structures. In addition a permit is required for removal of existing petroleum bulk storage tanks.
14. Parking spaces are depicted as 10x20. Town of Newburgh parking spaces are 9x19 with a double stripe pattern. Striping pattern details should be added to the plans.
15. Sizing information for the proposed grease trap should be provided.
16. The design depicts 12 inch diameter pipe. 15 inch Stormwater pipe is the minimum permitted in the Town of Newburgh.
17. A temporary sediment trap is identified in the DOT right of way. This should be addressed with the DOT during permitting.
18. Drainage Plan identifies "ridgelines" on the site. These appear to conflict with the proposed grading. Discharge to the State Highway will occur based on the proposed grading.

Respectfully submitted,

**McGoey, Hauser and Edsall**  
**Consulting Engineers, D.P.C.**

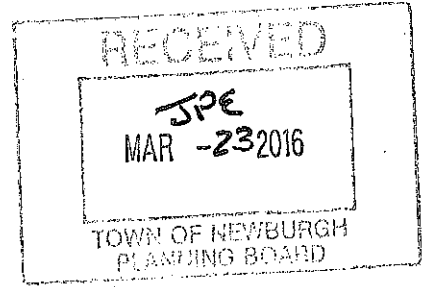
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Patrick J. Hines  
Principal



COPY

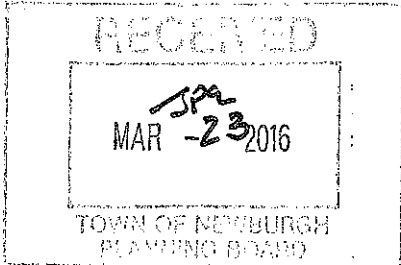
CUMBERLAND FARMS, INC.  
PROJECT NARRATIVE  
270 ROUTE 17K



Cumberland Farms, Inc. as successor by merger to VSH Realty, Inc. is the owner of an existing convenience store and gas sales facility located on a 20,600 square foot parcel of land at the intersection of Route 17K and Rock Cut Road (the property). The property is shown on the Newburgh Assessor's Map as Tax Map No. 86-1-14. The property is located in the Interchange Business District and is connected to municipal water and currently serviced by a private septic system. The proposal will include an application to connect to the municipal sewer system. The property was converted to the existing use in 1980 from a former service station facility and has existed in such condition since that time.

Cumberland Farms is under contract to purchase the property to its north in order to bring the property into compliance with the district bulk requirement. The plan is for the demolition of the existing improvements on both sites and construction of a new 4,956 sf convenience store with four gas dispensers and a canopy fronting on Route 17K. The building will meet all setback requirements. The current canopy benefits from a variance granted in 2000 for a 5.5 foot setback from Route 17K but will require a variance from Rock Cut Road and a side yard set back variance. In addition we will be seeking a variance of the parking and landscape requirements. The architecture will incorporate the new image of Cumberland Farms being a white colonial structure.

L. 154



TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO: 2016-05  
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):  
Cumberland Farms Site Plan

2. Owner of Lands to be reviewed:  
Name Cumberland Farms Inc. Todd A. Kelson  
Address 100 Crossings Boulevard 42 Lattintown Road  
Framingham, MA 01702 Newburgh, NY 12550  
Phone \_\_\_\_\_

3. Applicant Information (If different than owner):  
Name Cumberland Farms Inc.  
Address 100 Crossings Boulevard  
Framingham, MA 01702  
Representative Richard J. Olson, Esq.  
Phone 845-486-6896  
Fax 8450486-7621  
Email rolson@mccm.com

4. Subdivision/Site Plan prepared by:  
Name Bohler Engineering  
Address 17 Computer Drive West, Suite 203  
Albany, NY 12205  
Phone/Fax 518-438-9900 / 518-438-0900

5. Location of lands to be reviewed:  
270 Route 17K

6. Zone IB Fire District Coldenham  
Acreage 1.15 School District Valley Central

7. Tax Map: Section 86 Block 1 Lot 14 & 15

# MCCABE & MACK LLP

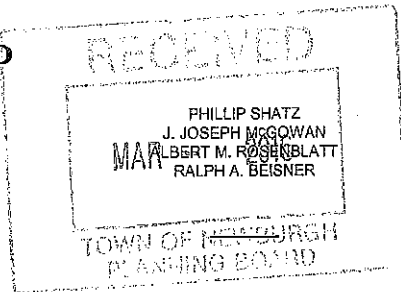
ATTORNEYS AT LAW

DAVID L. POSNER  
ELLEN L. BAKER  
SCOTT D. BERGIN  
RICHARD R. DUVAL  
LANCE PORTMAN  
RICHARD J. OLSON  
MATTHEW V. MIRABILE  
KIMBERLY HUNT LEE  
REBECCA M. BLAHUT  
BETSY N. ABRAHAM  
DANIEL C. STAFFORD  
CHRISTINA M. PIRACCI  
KYLE A. STELLER  
ANDREA L. GELLEN  
CORY A. POOLMAN

63 WASHINGTON STREET  
POST OFFICE BOX 509  
POUGHKEEPSIE, NY 12602-0509  
TELEPHONE: (845) 486-6800  
FAX: (845) 486-7621

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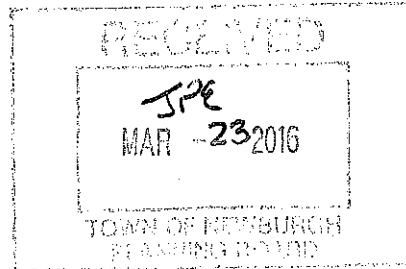
JOHN E. MACK (1874-1958)  
JOSEPH A. McCABE (1890-1973)  
EDWARD J. MACK (1910-1998)  
JOSEPH C. McCABE (1925-1981)

DIRECT TELEPHONE: (845) 486-6896  
E-MAIL: rolson@mccm.com

HAND DELIVERED

March 23, 2016

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550



RE: Cumberland Farms Site Plan  
Project No. 2016-05  
Our File: 7457-1

Dear Mr. Ewasutyn:

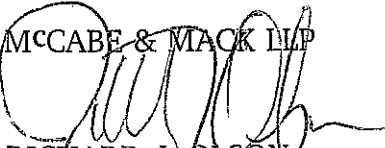
As discussed delivered herewith are the following:

1. Application for site plan approval, Long Form EAF and project narrative
2. Fifteen sets of site plan drawings
3. Application fee in the amount of \$3,300
4. Escrow deposit in the amount of \$3,000
5. Publication fee in the amount of \$150

Copies of the plans have been delivered to Creighton Manning Engineering. It is my understanding that this matter will be on the April 7 agenda for an initial presentation.

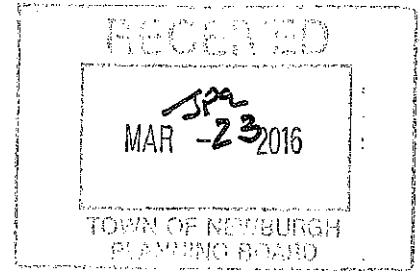
If you need anything further please advise.

Very truly yours,

MCCABE & MACK LLP  
  
RICHARD J. OLSON

RJO/me

1. 100-100



TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO: 2016-05  
(Application fee returnable with this application)

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Cumberland Farms Site Plan

2. Owner of Lands to be reviewed:  
Name Cumberland Farms Inc. Todd A. Kelson  
Address 100 Crossings Boulevard 42 Lattintown Road  
Framingham, MA 01702 Newburgh, NY 12550  
Phone \_\_\_\_\_

3. Applicant Information (If different than owner):  
Name Cumberland Farms Inc.  
Address 100 Crossings Boulevard  
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Representative Richard J. Olson, Esq.  
Phone 845-486-6896  
Fax 8450486-7621  
Email rolson@mccm.com

4. Subdivision/Site Plan prepared by:  
Name Bohler Engineering  
Address 17 Computer Drive West, Suite 203  
Albany, NY 12205  
Phone/Fax 518-438-9900 / 518-438-0900

5. Location of lands to be reviewed:  
270 Route 17K

6. Zone IB Fire District Coldenham  
Acreage 1.15 School District Valley Central

7. Tax Map: Section 86 Block 1 Lot 14 & 15

**8. Project Description and Purpose of Review:**

Number of existing lots 2 Number of proposed lots 1  
Lot line change \_\_\_\_\_  
Site plan review X  
Clearing and grading \_\_\_\_\_  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) \_\_\_\_\_

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Cumberland Farms, Inc.

Signature Kathleen Boush Title Sr. Pipeline Manager

Date: 3/21/2016

**NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).**

**The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.**

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

  X   \* NONE

\_\_\_\_\_  
NAME, ADDRESS, RELATIONSHIP OR INTEREST  
(financial or otherwise)

\_\_\_\_\_

\_\_\_\_\_

\* To the best of its knowledge  
This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_  
TOWN BOARD  
\_\_\_\_\_  
PLANNING BOARD  
\_\_\_\_\_  
ZONING BOARD OF APPEALS  
\_\_\_\_\_  
ZONING ENFORCEMENT OFFICER  
\_\_\_\_\_  
BUILDING INSPECTOR  
\_\_\_\_\_  
OTHER

March 21, 2016

DATED

\_\_\_\_\_  
INDIVIDUAL APPLICANT

Cumberland Farms, Inc.

CORPORATE OR PARTNERSHIP APPLICANT

BY: \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

Brian E. Glennon, II, Assistant Secretary



**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Cumberland Farms, Inc.

By: Kathleen Sousa, sr. Pipeline Manager  
APPLICANT'S NAME (printed)

Kathleen Sousa  
APPLICANT'S SIGNATURE

3/21/2016

\_\_\_\_\_  
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

3/16/2016

**DATED**

Cumberland Farms, Inc.  
**APPLICANT'S NAME (printed)**

  
**APPLICANT'S SIGNATURE**

Kathleen Sousa, Sr. Pipeline Mgr.

TOWN OF NEWBURGH PLANNING BOARD

Cumberland Farms, 270 NYS RT 17k

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1.  Environmental Assessment Form As Required
2.  Proxy Statement (provided by Attorney)
3.  Application Fees (provided by Attorney)
4.  Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1.  Name and address of applicant provided on supporting documents
2.  Name and address of owner (if different from applicant) provided on supporting documents
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. X Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. pending Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site Provided on supporting documents
34. X Estimated or known cubic yards of fill required Provided on supporting documents
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
38. application List of property owners within 500 feet of all parcels to be developed (see attached statement). Part of application

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:



Licensed Professional

Date: March 23, 2016

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): March 23, 2016



**BOHLER  
ENGINEERING**  
17 COMPUTER DRIVE WEST  
ALBANY NY, 12205  
Phone: (518) 438-9900  
Fax: (518) 438-0900  
www.BohlerEngineering.com

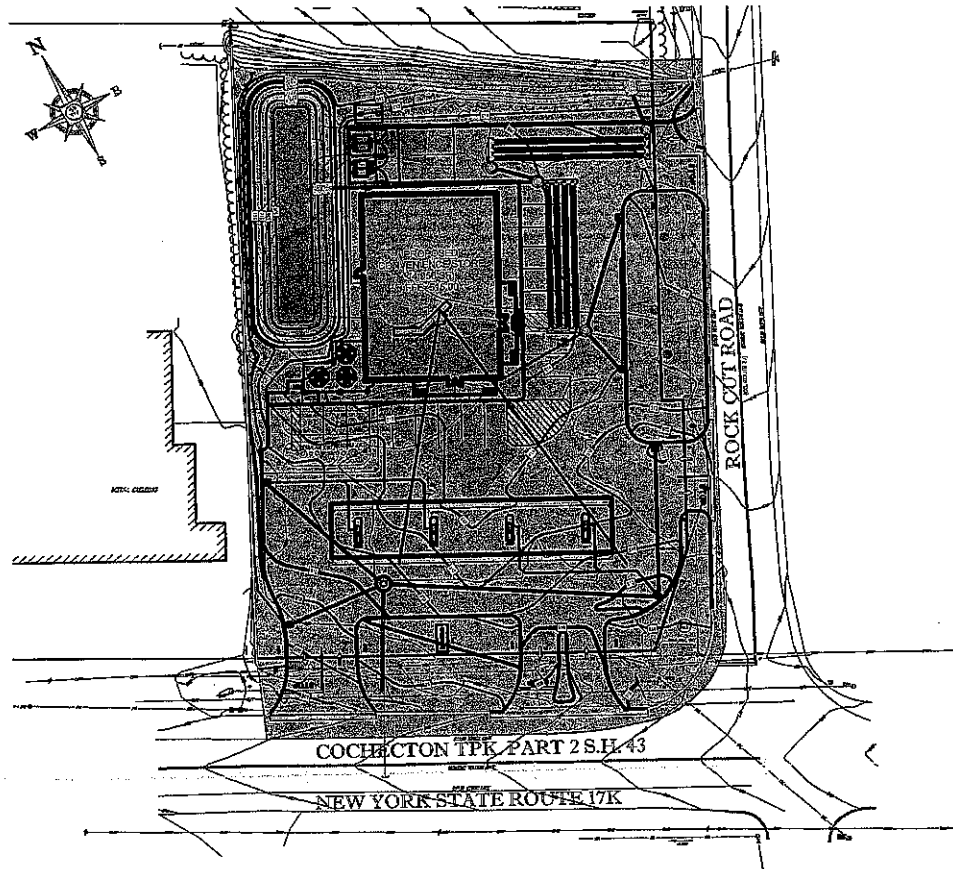
**EARTHWORK SUMMARY NOTES:**

- 1) THE "CUT" AND "FILL" VOLUMES SHOWN HEREIN ARE UNADJUSTED, AND REPRESENT TOTAL, COMPACTED "IN PLACE" EARTHWORK VOLUMES REQUIRED TO MEET THE PROPOSED FINISHED SITE GRADES SHOWN ON THE GRADING PLAN, RELATIVE TO EXISTING GRADES.
- 2) THE TERMS "CUT" AND "FILL" SHOULD NOT BE CONFUSED WITH "EXPORT" AND "IMPORT", SINCE SOME MATERIALS, SUCH AS PAVEMENT, CONCRETE, GRAVEL BASE, CRUSHED STONE AND OTHER SPECIAL ITEMS CANNOT BE OBTAINED ON SITE, AND WILL NEED TO BE IMPORTED, AND OTHER ITEMS (DEMOLITION MATERIALS, ETC) WILL NEED TO BE EXPORTED, THEREBY OFFSETTING THE TOTAL "CUT" AND "FILL" QUANTITIES NOTED.
- 3) THIS DIAGRAM IS INTENDED TO GIVE A SUMMARY OF OVERALL EARTHWORK VOLUMES. A MORE DETAILED ANALYSIS OF MATERIAL VOLUMES WILL USUALLY BE REQUIRED TO ACCOUNT FOR REMOVAL OF UNSUITABLE MATERIALS, ETC.

**PRELIMINARY EARTHWORK CALCULATIONS**

DESCRIPTION	CUT	FILL	OVERALL NET
OVERALL SITE BALANCE (EXISTING VS. PROPOSED SURFACE)	325 CY	2,882 CY	2,557 CY (FILL)
TOTAL UNSUITABLES (BUILDING FOUNDATION, SLAB, PAVEMENT)	63 CY	637 CY	
TOTAL CUT AND FILL (AFTER STRIPPINGS)	262 CY	3,519 CY	3,257 CY (FILL)
TOTAL IMPORTED MATERIALS * (HISTORICAL ESTIMATE)	300 CY	2,300 CY	
OVERALL CUT AND FILL	562 CY	1,319 CY	757 CY (FILL)

\* ESTIMATED VOLUME OF RELATED SITE FEATURES (PAVEMENT, FOUNDATION, DRAINAGE, PUEL, TOPSOIL) BASED ON SIMILAR HISTORICAL QUANTITIES = 2,500 CY  
VOLUMES WILL BE RECALCULATED WHEN SITE DESIGN IS COMPLETE.



Number	Minimum Elevation	Maximum Elevation	Color
1	-5.000	-3.000	[Color swatch]
2	-3.000	-1.000	[Color swatch]
3	-1.000	0.000	[Color swatch]
4	0.000	3.000	[Color swatch]
5	3.000	5.000	[Color swatch]
6	5.000	7.000	[Color swatch]

Total Cut	325 CY
Total Fill	2,882 CY
Net	2,557 CY (FILL)
Method Used	Tin Surface

**Earthwork Volumes  
Diagram**

FOR



LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Cumberland Farms (V.H.S. Reality, LLC)		
Project Location (describe, and attach a general location map): Cumberland Farms, Inc., 270 Route 17K, Town of Newburgh		
Brief Description of Proposed Action (include purpose or need): Redevelop / expand existing Cumberland Farms.  The applicant is seeking to consolidate two lots, demolish two buildings and construct a 4,956 SF convenience store with 4 fuel pumps. The lot consolidation will result in a total area of ±1.19 acres.		
Name of Applicant/Sponsor: Cumberland Farms (V.H.S Reality LLC)		Telephone: 508-270-1416 E-Mail: splona@cumberlandfarms.com
Address: 100 Cumberland Farms		
City/PO: Framingham	State: MA	Zip Code: 01702
Project Contact (if not same as sponsor; give name and title/role): Bohler Engineering c/o Scott Shearing		Telephone: 518-438-9900 E-Mail: sshearing@bohlereng.com
Address: 17 Computer Drive West		
City/PO: Albany	State: NY	Zip Code: 12205
Property Owner (if not same as sponsor): Cumberland Farms (VHS Reality LLC); second parcel by Todd & Sharon Kelson (seller)		Telephone: 508-270-1416 E-Mail: splona@cumberlandfarms.com
Address: 100 Crossing Blvd.		
City/PO: Framingham	State: MA	Zip Code: 01702

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Review (Town of Newburgh)	March 23, 2016
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Area Variance	To Be Determined
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Orange County	To Be Determined
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT, NYS DEC	To Be Determined
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>If Yes, complete sections C, F and G.</li> <li>If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
IB District (Interchange Business)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Valley Central School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh

c. Which fire protection and emergency medical services serve the project site?  
Coldenham Fire District

d. What parks serve the project site?  
none

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ ±1.19 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ ±1.19 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ ±1.19 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 1,778 sf to 4,956 sf Units: square feet increase

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ 6 months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_ 1

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ 24' height; \_\_\_\_\_ ±55' width; and \_\_\_\_\_ 90' length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ ±4,956 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 500 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
 Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh
- Name of district: Cross Road Service District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

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iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

\_\_\_\_\_

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vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

34,850 Square feet or 0.80 acres (impervious surface)

51,938 Square feet or 1.19 acres (parcel size)

ii. Describe types of new point sources. \_\_\_\_\_

---

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

\_\_\_\_\_

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

---

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

\_\_\_\_\_

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

\_\_\_\_\_

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

\_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 24 HR Location</li> <li>• Saturday: _____ 24 HR Location</li> <li>• Sunday: _____ 24 HR Location</li> <li>• Holidays: _____ 24 HR Location (anticipated)</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Parking Lot lighting for customer safety and security via down lit fixtures at ±14' Height, ±30' to neighboring commercial building.  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored Petroleum  
 ii. Volume(s) 40,000 per unit time 4x per month (e.g., month, year)  
 iii. Generally describe proposed storage facilities:  
 Underground double-wall fiberglass tank

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

\_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

\_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

\_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

\_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

\_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

\_\_\_\_\_

---

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	+/- 0.71	+/- 0.92	+ 0.21
• Forested	+/- 0.07	+/- 0.06	- 0.01
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	+/- 0.62	+/- 0.42	-0.2
• Agricultural (includes active orchards, field, greenhouse etc.)	N/A	N/A	N/A
• Surface water features (lakes, ponds, streams, rivers, etc.)	N/A	N/A	N/A
• Wetlands (freshwater or tidal)	N/A	N/A	N/A
• Non-vegetated (bare rock, earth or fill)	N/A	N/A	N/A
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
~~XXXX~~ No, per NYS DEC, Environmental Site Remediation Database and Spill Incident Database  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ +/- 4' feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Erie gravelly silt loam	_____	2.9 %
Mardin gravelly silt	_____	97.1 %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ +/- 5' feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 100.0 % of site  
 Poorly Drained: \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 95 % of site  
 10-15%: 5 % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 Red Maple-Hardwood Swamp

ii. Source(s) of description or evaluation: \_\_\_\_\_

iii. Extent of community/habitat:

- Currently: \_\_\_\_\_ 1460.0 acres
- Following completion of project as proposed: \_\_\_\_\_ acres
- Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

minimal tree removal will be performed.

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

~~AD SCOTT SHEARING~~ Name Scott C. Shearing (Agent) Date March 23, 2016

Signature  Title Asst Project Manager

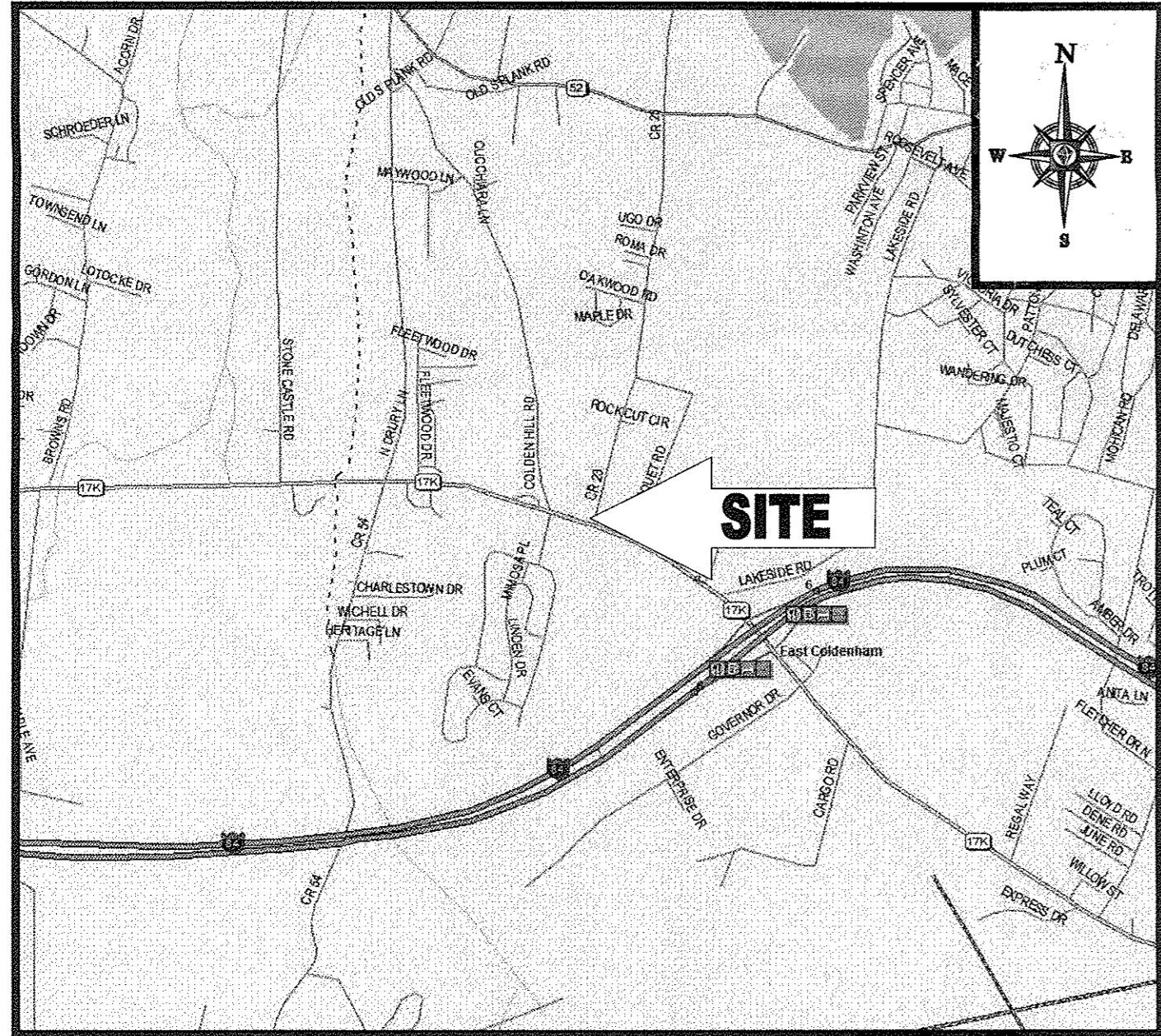
PRINT FORM

# SITE DEVELOPMENT PLANS

FOR:  
PROPOSED



LOCATION OF SITE:  
270 ROUTE 17K, TOWN OF NEWBURGH  
ORANGE COUNTY, STATE OF NEW YORK  
MAP 86.00, BLOCK 1, LOTS 14 & 15



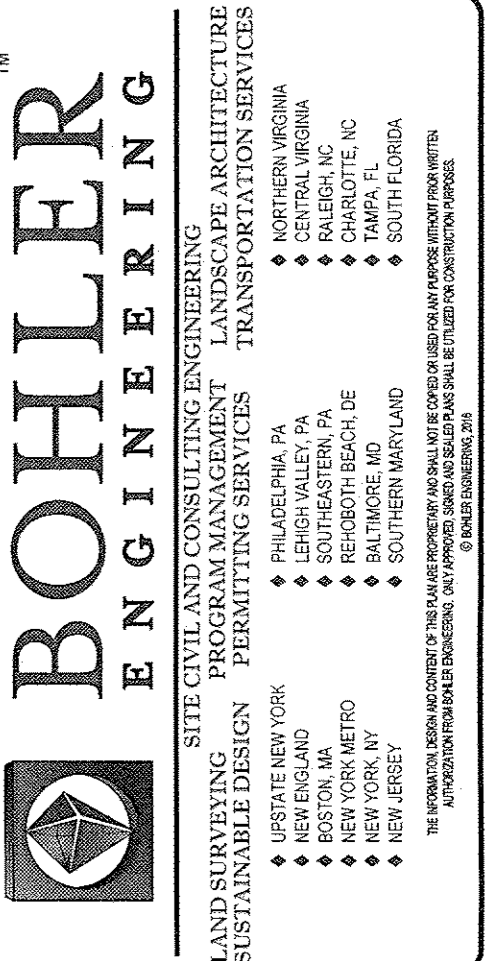
**LOCATION MAP**  
SCALE: 1"=200'  
PLAN REFERENCE: XXXXX USGS QUADRANGLE



**AREA PLAN**  
SCALE: 1"=XX'

SHEET TITLE	SHEET NUMBER
CFG01.0 - COVER SHEET	1 OF 16
CFG01.1 - GENERAL NOTES	2 OF 16
CFG02.0 - ALTA SURVEY (BY OTHERS)	3 OF 16
CFG03.0 - SITE DEMOLITION PLAN	4 OF 16
CFG04.0 - SITE PLAN	5 OF 16
CFG05.0 - SITE GRADING & DRAINAGE PLAN	6 OF 16
CFG06.0 - SITE EROSION & SEDIMENT CONTROL PLAN	7 OF 16
CFG06.1 - SITE EROSION CONTROL NOTES & DETAILS	8 OF 16
CFG07.0 - SITE UTILITY PLAN	9 OF 16
CFG08.0 - SITE LANDSCAPE PLAN	10 OF 16
CFG08.1 - SITE LANDSCAPE NOTES & DETAILS SHEET	11 OF 16
CFG09.0 - SITE CONSTRUCTION DETAILS	12 OF 16
CFG09.1 - SITE CONSTRUCTION DETAILS	13 OF 16
CFG09.2 - SITE CONSTRUCTION DETAILS	14 OF 16
CFG10.0 - SITE LIGHTING PLAN (BY OTHERS)	15 OF 16
CFG10.1 - LIGHTING PLAN DETAILS (BY OTHERS)	16 OF 16
A1.1 - FLOOR PLAN (BY OTHERS)	1 OF 1
A3.1 - EXTERIOR ELEVATIONS (BY OTHERS)	1 OF 1
A3.2 - EXTERIOR ELEVATIONS (BY OTHERS)	1 OF 1

SHEET INDEX



REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2			
3			
4			
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13			
14			
15			

PROJECT No.:	B150208
DRAWN BY:	MED
CHECKED BY:	JRG
DATE:	01/12/2016
SCALE:	AS NOTED
CAD I.D.:	B150208SS04

**SITE DOCUMENT PLANS**  
FOR  
**Cumberland FARMS**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**  
17 COMPUTER DRIVE WEST, SUITE 203  
ALBANY, NY 12205  
Phone: (518) 438-0900  
Fax: (518) 438-0900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**W.D. GOEBEL**  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE No. 071284-1  
VERMONT LICENSE No. 7735  
CONNECTICUT LICENSE No. 21854  
NEW HAMPSHIRE LICENSE No. 10386  
MASSACHUSETTS LICENSE No. 49644  
OHIO LICENSE No. E-56329

SHEET TITLE:  
**COVER SHEET**  
SHEET NUMBER:  
**CFG01.0**  
OF 1  
REV 1

PREPARED BY





**LOT AND BULK REQUIREMENTS:**

TOWN OF NEWBURGH - ZONE IB (INTERCHANGE BUSINESS)

REQUIRED	
FRONT SETBACK	50'
SIDE SETBACK	50'
REAR SETBACK	60'
MAX. BLDG. HEIGHT	35'
MAX. BLDG. LOT COVERAGE PERCENT	40%
MIN. LOT AREA	40,000 S.F.
MIN. LOT WIDTH	150'

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-15 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. 3019-760197, EFFECTIVE DATE AUGUST 14, 2015, SCHEDULE "B-II" (EXCEPTIONS).

ITEM NO 5: DRAINAGE EASEMENT TO THE COUNTY OF ORANGE, BOOK 2032, PAGE 928 (N). APPROXIMATE LOCATION SHOWN HEREON.

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-14 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. NCS-759908-H0U1, EFFECTIVE DATE AUGUST 21, 2015, SCHEDULE "B-II" (EXCEPTIONS).

ITEM NO 6: COVENANTS AND RESTRICTIONS, EASEMENTS AND AGREEMENTS: NONE

**TAX PARCEL NUMBER:**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK  
SEC. 86.00 - BLK. 1 - PARCELS 14 & 15

**MAP REFERENCES:**

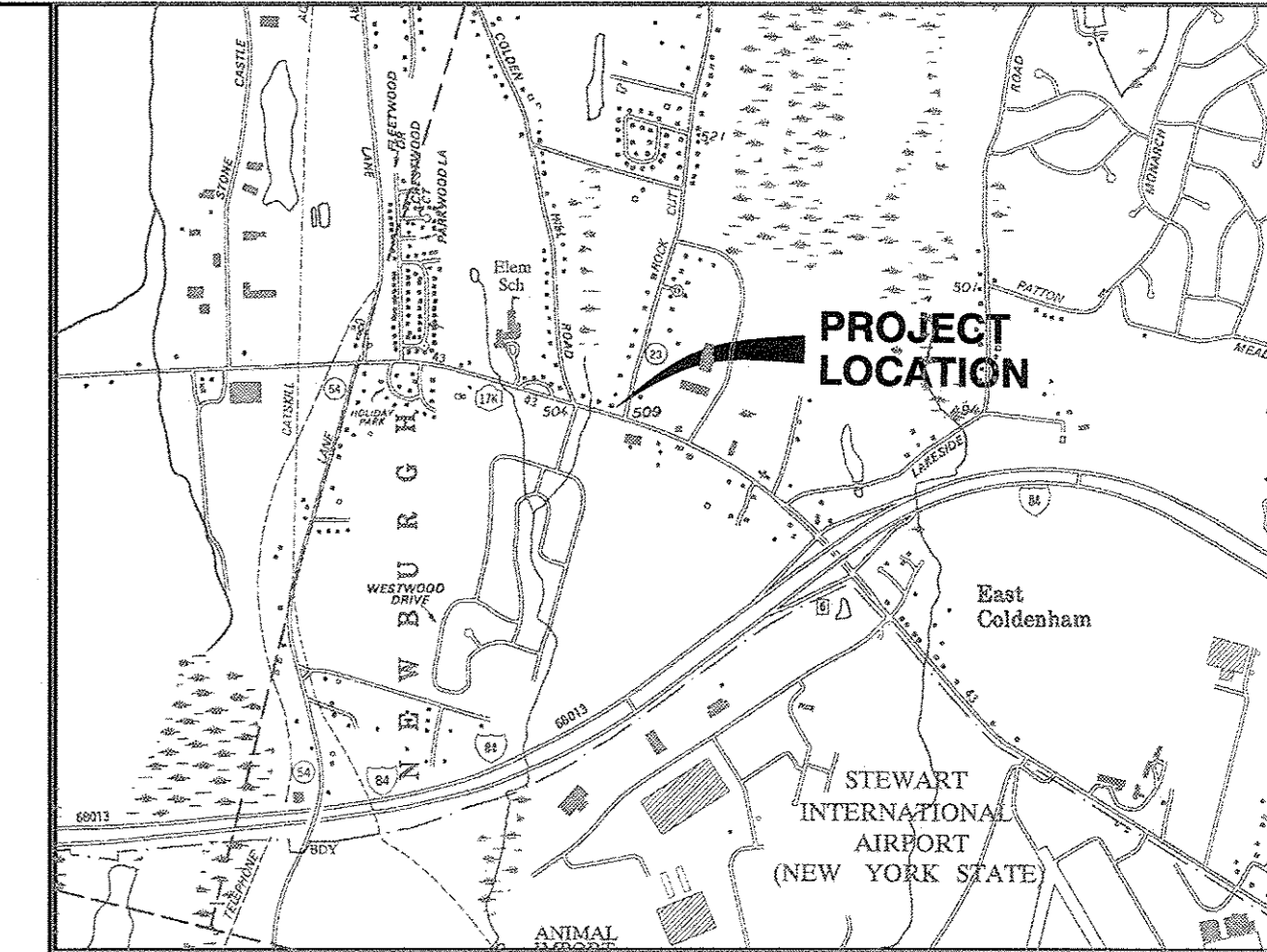
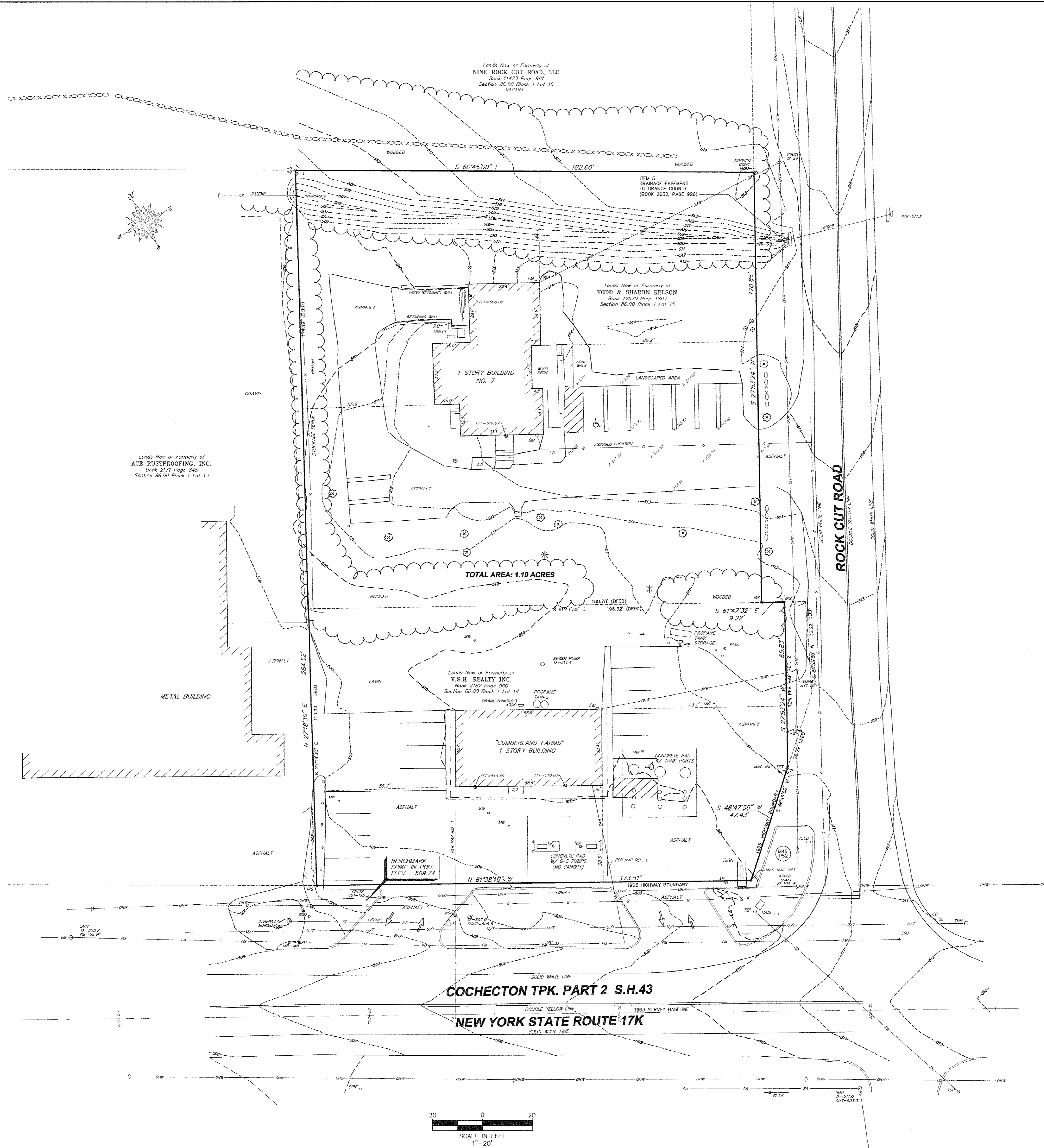
- "CUMBERLAND FARMS LOT LINE ADJUSTMENT PLAN," PREPARED BY CONTROL POINT, DATED MARCH 28, 2002, LAST REVISED MAY 30, 2002 PROVIDED BY THE CLIENT.
- "COCHECTON TURNPIKE PART 2, S.H. 43" MAP NO. 46, PARCEL NO. 52 SHEET 1 OF 1, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 8, POUGHKEEPSIE, N.Y.

**DEED REFERENCES:**

- F.E.S. REALTY CO. TO V.S.H. REALTY INC., DATED JANUARY 16, 1981 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 2187 AT PAGE 900.
- MICHELLE MARCUS TO TODD A. AND SHARON L. KELSON, DATED NOVEMBER 2, 2007 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 12570 AT PAGE 1807.

**GENERAL NOTES:**

- NORTH IS ORIENTED TO DEED REFERENCE 1
- VERTICAL DATUM IS NGVD29 AS PER MAP REFERENCE 1
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
- SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
- SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.
- UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.



**SITE LOCATION PLAN: 1"=2000'**

**LEGAL DESCRIPTION:**

LANDS OF V.S.H. REALTY (RECORD DESCRIPTION)  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF NEW YORK STATE ROUTE 17-K WITH THE WESTERLY SIDE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE NORTHERLY SIDE OF NEW YORK STATE ROUTE 17-K NORTH 61 DEGREES 38 MINUTES 10 SECONDS WEST A DISTANCE OF 173.51 FEET TO A HIGHWAY MONUMENT; RUNNING THENCE NORTH 27 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 110.33 FEET; RUNNING THENCE SOUTH 61 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 198.32 FEET TO THE WESTERLY LINE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE WESTERLY LINE OF ROCK CUT ROAD THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) SOUTH 24 DEGREES 53 MINUTES 30 SECONDS WEST A DISTANCE OF 36.22 FEET; (2) SOUTH 46 DEGREES 49 MINUTES 50 SECONDS WEST A DISTANCE OF 78.79 FEET TO THE POINT OR PLACE OF BEGINNING

LANDS OF KELSON (DESCRIPTION OF RECORD)  
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND LYING AND BEING IN, THE TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE LANDS N/F VSH REALTY (TAX LOT 86-1-14) AND THE LANDS N/F HONCH (TAX LOT 86-1-15), THE SUBJECT PREMISES. THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, N 37° 12' 46" E A DISTANCE OF 170.38' TO A CONCRETE MONUMENT. THENCE, N 51° 25' 38" W A DISTANCE OF 182.60' TO A POINT. THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F ACE RUSTPROOFING, INC., S 36° 37' 52" W A DISTANCE OF 174.19' TO A POINT THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F VSH REALTY, S 52° 37' 08" E 180.78' TO THE POINT OR PLACE OF BEGINNING.

COMBINED PARCEL:  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF THE COCHECTON TURNPIKE, S.H. 43 ALSO KNOWN AS N.Y.S. ROUTE 17K AND THE WESTERLY LINE OF ROCK CUT ROAD; THENCE IN A WESTERLY DIRECTION AND ALONG SAID NORTHERLY LINE OF N.Y.S. ROUTE 17K, NORTH 61°38'10" WEST, 173.51 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ACE RUSTPROOFING, INC. (BOOK 2131, PAGE 845), NORTH 27°18'30" EAST, 284.52 FEET TO AN IRON ROD FOUND; THENCE IN AN EASTERLY DIRECTION AND ALONG THE SOUTHERLY LINE OF THE LANDS NOW OR FORMERLY OF NINE ROCK CUT ROAD, LLC (BOOK 11473, PAGE 661), SOUTH 60°45'00" EAST, 182.80 FEET TO A POINT; THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORSAID WESTERLY LINE OF ROCK CUT ROAD, THE FOLLOWING FOUR COURSES: 1) SOUTH 27°53'24" WEST, 170.85 FEET TO A POINT; 2) SOUTH 61°47'30" EAST, 9.22 FEET TO A POINT; 3) SOUTH 27°53'24" WEST, 65.83 FEET TO A POINT AND 4) SOUTH 46°47'56" WEST, 47.43 FEET TO THE POINT OR PLACE OF BEGINNING.

**FLOOD ZONE NOTE:**

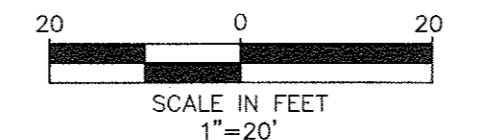
PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 3607100138E, PANEL 138 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

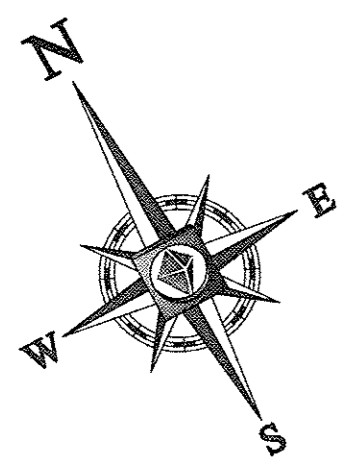
**CERTIFICATION:**

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY MY SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10 (a), 11(a), 13, 14, 16 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 14, 2015.

SIGNED: *Vincent P. Ausfeld* DATE: NOVEMBER 27, 2015  
N.Y.S. REGISTRATION NO. 049597

270 ROUTE 17K	
<b>ALTA/ACSM LAND TITLE SURVEY OF THE LANDS OF V.S.H. REALTY, INC. &amp; TODD AND SHARON KELSON</b>	
TOWN OF NEWBURGH	ORANGE COUNTY, N.Y.
SCALE: 1"=20'	OCTOBER 28, 2015
DRAWN BY: KCW	PROJECT NO: 15-1563
<b>Ausfeld &amp; Waldruft Land Surveyors LLP</b> 514 State Street, Schenectady N.Y. 12305 Phone: (518) 346-1595 Fax: 518-770-1655	
VINCENT P. AUSFELD P.L.S. LICENSE #049597 www.awtslp.com	



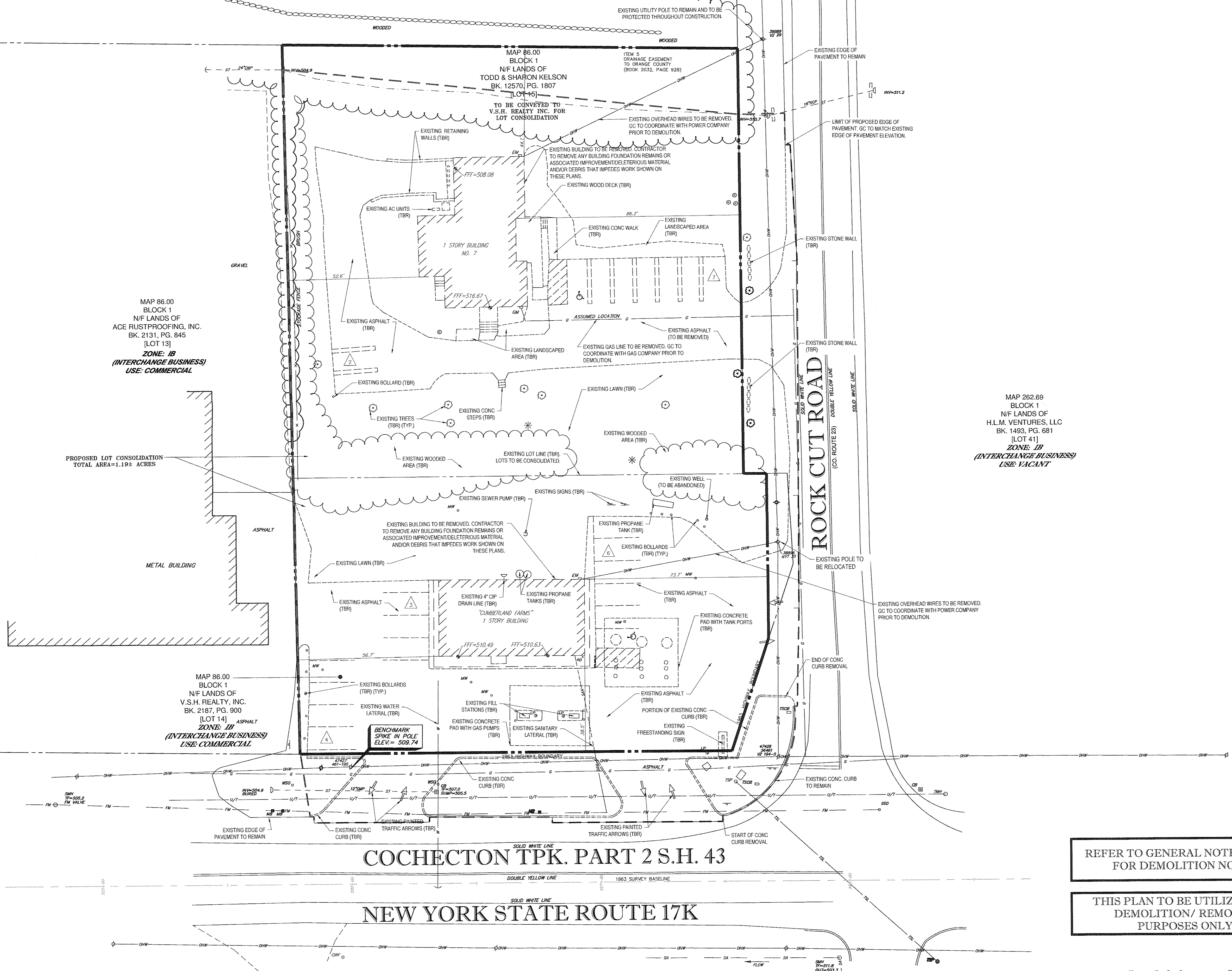


MAP 86.00  
BLOCK 1  
N/F LANDS OF  
NINE ROCK CUT ROAD, LLC  
BK. 11473, PG. 661  
[LOT 16]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: VACANT

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
ACE RUSTPROOFING, INC.  
BK. 2131, PG. 845  
[LOT 13]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
V.S.H. REALTY, INC.  
BK. 2187, PG. 900  
[LOT 14]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

MAP 262.69  
BLOCK 1  
N/F LANDS OF  
H.L.M. VENTURES, LLC  
BK. 1493, PG. 681  
[LOT 41]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: VACANT



**BOHLER ENGINEERING**

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LANDSCAPE ARCHITECTURE  
SURVEYING  
PROFESSIONAL SERVICES  
TRANSPORTATION SERVICES

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 BOSTON, MA  
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 CHICAGO, IL  
 COLUMBIANA, OH  
 DENVER, CO  
 FORT LAUDERDALE, FL  
 GREENSBORO, NC  
 HARTFORD, CT  
 HOUSTON, TX  
 INDIANAPOLIS, IN  
 JACKSONVILLE, FL  
 KANSAS CITY, MO  
 LITTLE ROCK, AR  
 MEMPHIS, TN  
 MIAMI, FL  
 MILWAUKEE, WI  
 MINNEAPOLIS, MN  
 NEW YORK, NY  
 OMAHA, NE  
 ORLANDO, FL  
 PHOENIX, AZ  
 RICHMOND, VA  
 TAMPA, FL  
 WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2			
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PRELIMINARY

PROJECT No.: B150208  
 DRAWN BY: MJD  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD L.D.: B150208SS04

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**

LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-0900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
 NEW YORK LICENSE No. 071294-1  
 VERMONT LICENSE No. 7725  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10382  
 MASSACHUSETTS LICENSE No. 09644  
 OHIO LICENSE No. E-06939

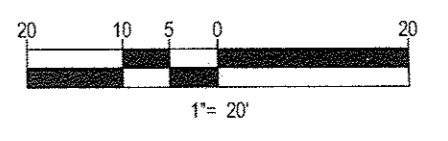
REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**CFG03.0**  
 OF 1

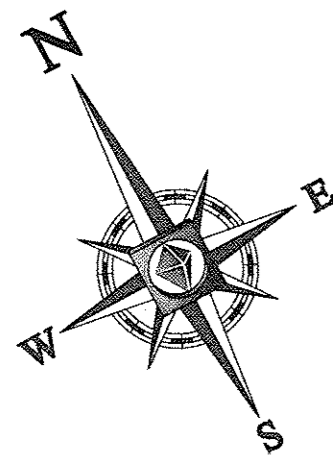
REV 1



P:\108150208\Cumberland Farms, 270 NY 17K, Newburgh, NY\05\_CFG03.0.dwg, 4/23/2016, 10:17:14 AM, amselmann, Xms0310-1.pcd, User:G4, 1:1

**811**

Know what's below.  
 Call before you dig.



MAP 86.00  
BLOCK 1  
N/F LANDS OF  
NINE ROCK CUT ROAD, LLC  
BK. 11473, PG. 661  
[LOT 16]  
**ZONE: IB**  
(INTERCHANGE BUSINESS)  
USE: VACANT

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
TODD & SHARON KELSON  
BK. 12570, PG. 1807  
[LOT 15]  
TO BE CONVEYED TO  
V.S.H. REALTY INC. FOR  
LOT CONSOLIDATION

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
ACE RUST PROOFING, INC.  
BK. 2131, PG. 845  
[LOT 13]  
**ZONE: IB**  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
V.S.H. REALTY, INC.  
BK. 2187, PG. 900  
[LOT 14]  
**ZONE: IB**  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

MAP 262.69  
BLOCK 1  
N/F LANDS OF  
H.L.M. VENTURES, LLC  
BK. 1493, PG. 681  
[LOT 41]  
**ZONE: IB**  
(INTERCHANGE BUSINESS)  
USE: VACANT

(V)\* - VARIANCE REQUESTED  
\* - DENOTES VARIANCE GRANTED FOR 15.54 FEET, JANUARY 25, 2001, P.B. #200-56  
\*\* - DENOTES VARIANCE GRANTED FOR 5.5 FEET, JANUARY 25, 2001, P.B. #200-56  
\*\*\* - DENOTES VARIANCE GRANTED FOR 17'-3", JANUARY 25, 2001, P.B. #200-56

ZONING ANALYSIS TABLE			
ZONING DISTRICT	IB DISTRICT CONVENIENCE STORE WITH GASOLINE FILLING STATION PERMITTED USE		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SQFT	20,600 SQFT	51,938 SQ FT
MINIMUM LOT WIDTH	150 FT	173.51 FT	173.51 FT
MINIMUM LOT DEPTH	150 FT	284.52 FT	284.52 FT
MAX. BUILDING COVERAGE	40%	12%	18%
MAX. LOT COVERAGE	80%	68.3%	67.1%
MIN. FRONT SETBACK (FROM 17K) (BUILDING)	50 FT	38.5 FT	121.9' - ROUTE 17K
FROM 4' ROCK CUT RD) (BUILDING)	80 FT	101.8 FT	102.1' - ROCK CUT RD
MIN. REAR SETBACK (BUILDING)	80 FT	56.7 FT	75.2 FT
MIN. SIDE SETBACK (BUILDING)	50 FT	41.7 FT*	51.9 FT
MAX. BUILDING HEIGHT	35 FT	TBD	32 FT
MAX. CANOPY HEIGHT	15 FT	17'-0"***	32 FT
MIN. FRONT SETBACK (FROM 17K) (CANOPY)	50 FT	2.4 FT**	44.3 FT - ROUTE 17K (V)*
FROM 4' ROCK CUT RD) (CANOPY)	80 FT	100.3 FT	98.7 FT - ROCK CUT RD (V)*
MIN. REAR SETBACK (CANOPY)	50 FT	82.8 FT	213.6 FT
MIN. SIDE SETBACK (CANOPY)	50 FT	84.3 FT	34.8 FT (V)*
PARKING SPACES	34	22	23 (V)*
MINIMUM SIGN SETBACK	15 FT	1 FT ENROACHMENT	51 FT (V)*
PARKING CRITERIA (RHS) BY CODE (10-23) PROVIDED	RETAIL STORE - 1 PER 150 SQFT OF GROSS LEASEABLE SPACE 4,956 / 150 = 33.04 = 34 SPACES		
ACCESSIBLE PARKING SPACES	1	1	1
FRONT YARD LANDSCAPING REQUIREMENT	45'	NONE	14.2 FT (V)*
LOADING SPACE	1	1	1

REVISIONS			
REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2			
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**PRELIMINARY**

PROJECT NO.: B150208  
DRAWN BY: MED  
CHECKED BY: JRG  
DATE: 01/12/2016  
SCALE: AS NOTED  
CAD I.D.: B150208SS04

**SITE DOCUMENT PLANS FOR**

**Cumberland Farms**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

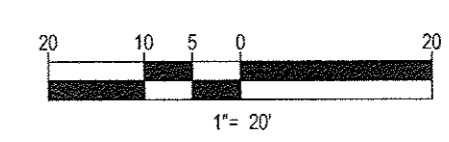
**BOHLER ENGINEERING**  
17 COMPUTER DRIVE WEST, SUITE 203  
ALBANY, NY 12205  
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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**CFG04.0**  
OF 1

REV 1



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**REVISIONS**

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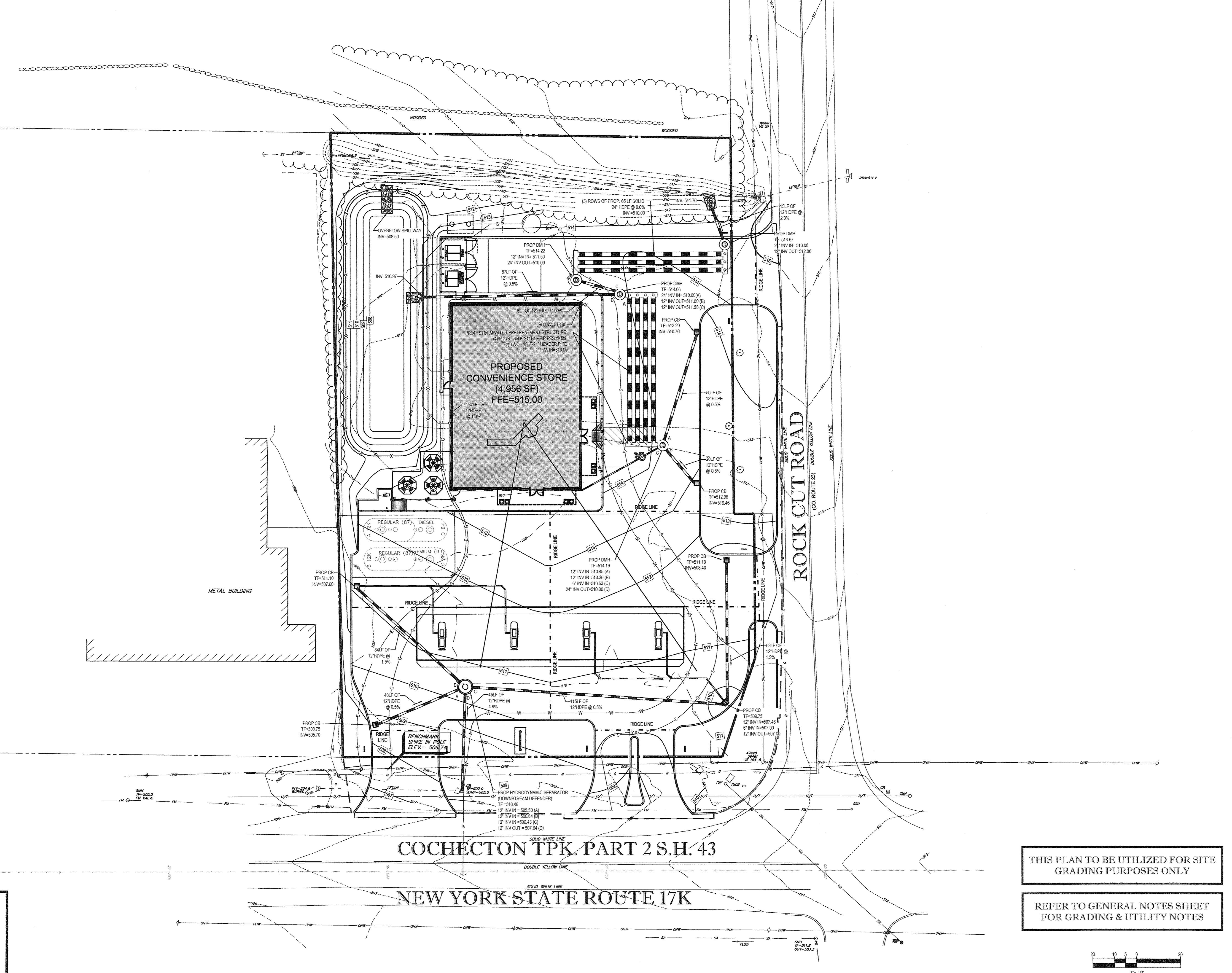
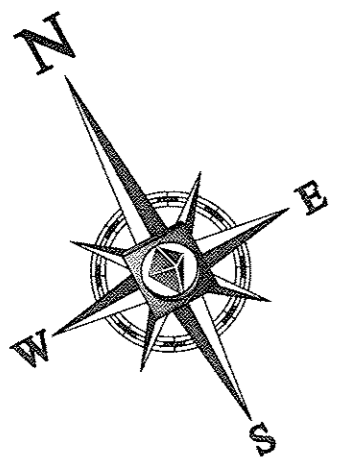
PROJECT No.:	B1502006
DRAWN BY:	MED JRC
CHECKED BY:	
DATE:	01/12/2016
SCALE:	AS NOTED
CAD I.D.:	B1502006SS04-GRADING

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

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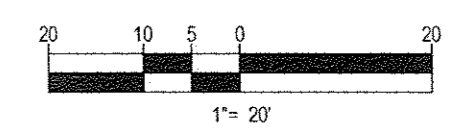
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SHEET TITLE:  
**GRADING & DRAINAGE PLAN**  
 SHEET NUMBER:  
**CFG05.0**  
 OF 1  
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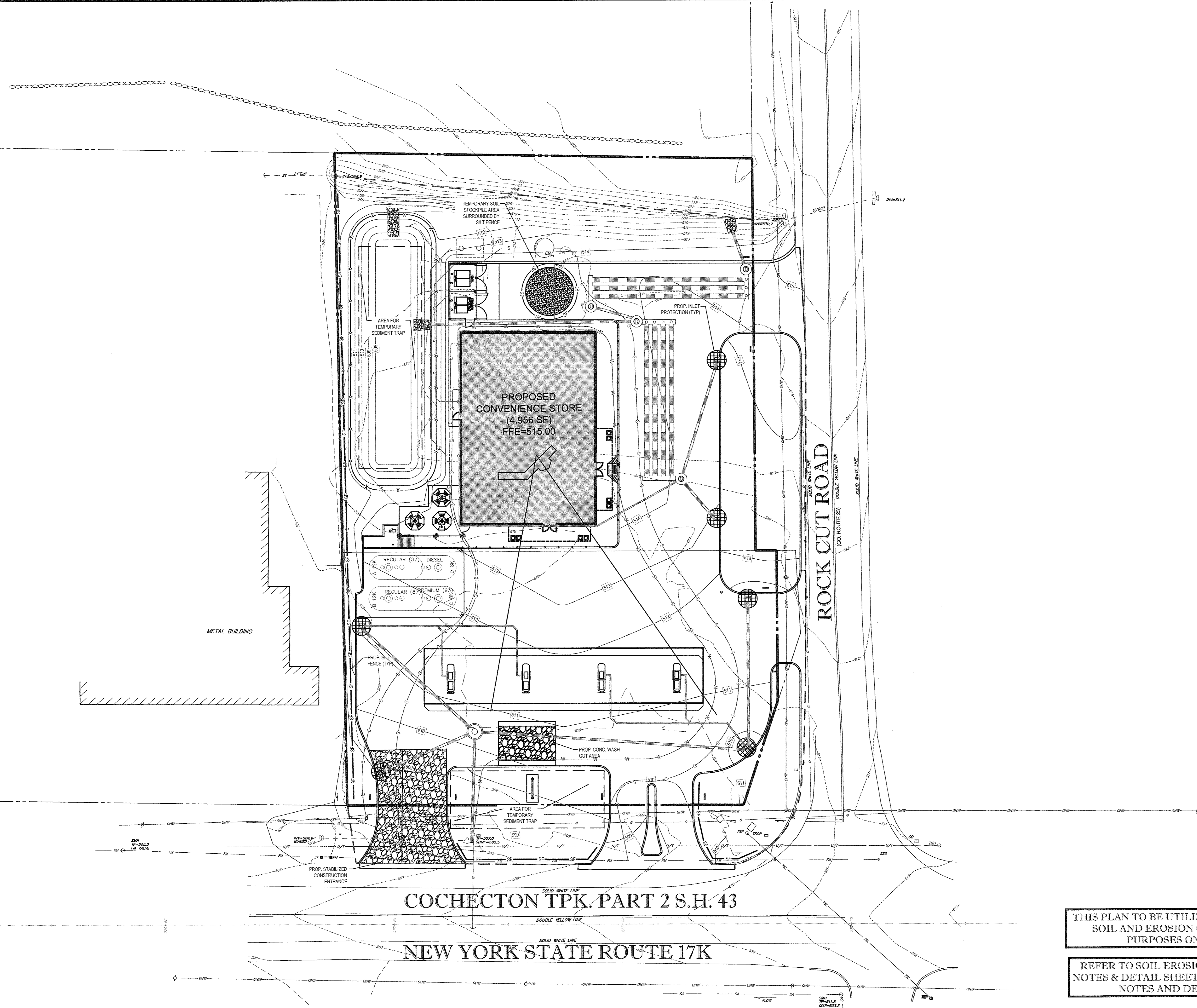
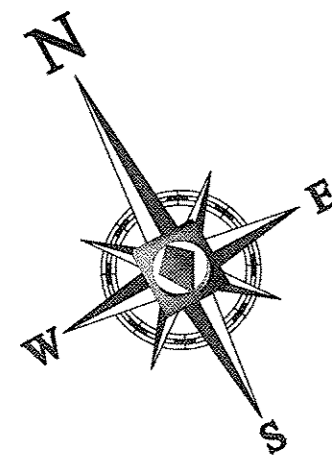


THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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**BOHLER ENGINEERING**  
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 LAND ACQUISITION DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES  
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 ● NEW YORK METRO  
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**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208S024-CRADING

**SITE DOCUMENT PLANS FOR**

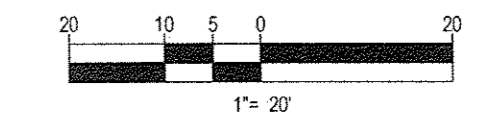
**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

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THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**CFG06.0**  
 OF 1

REV 0

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**811**  
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## EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTIGUOUS DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTES.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT, THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS (UP/SLOPE ARE STABILIZED BY TUFF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH DORMANT SEEDING MAY BE ATTEMPTED AS WELL TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (135 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 45% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

### MULCH

LOCATION PROTECT AREA	MULCH TYPE	RATE (1000 SF) 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED

\* A HYDRO APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON straw MULCH FOR WIND CONTROL.

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

MULCH ANCHORING  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD. BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

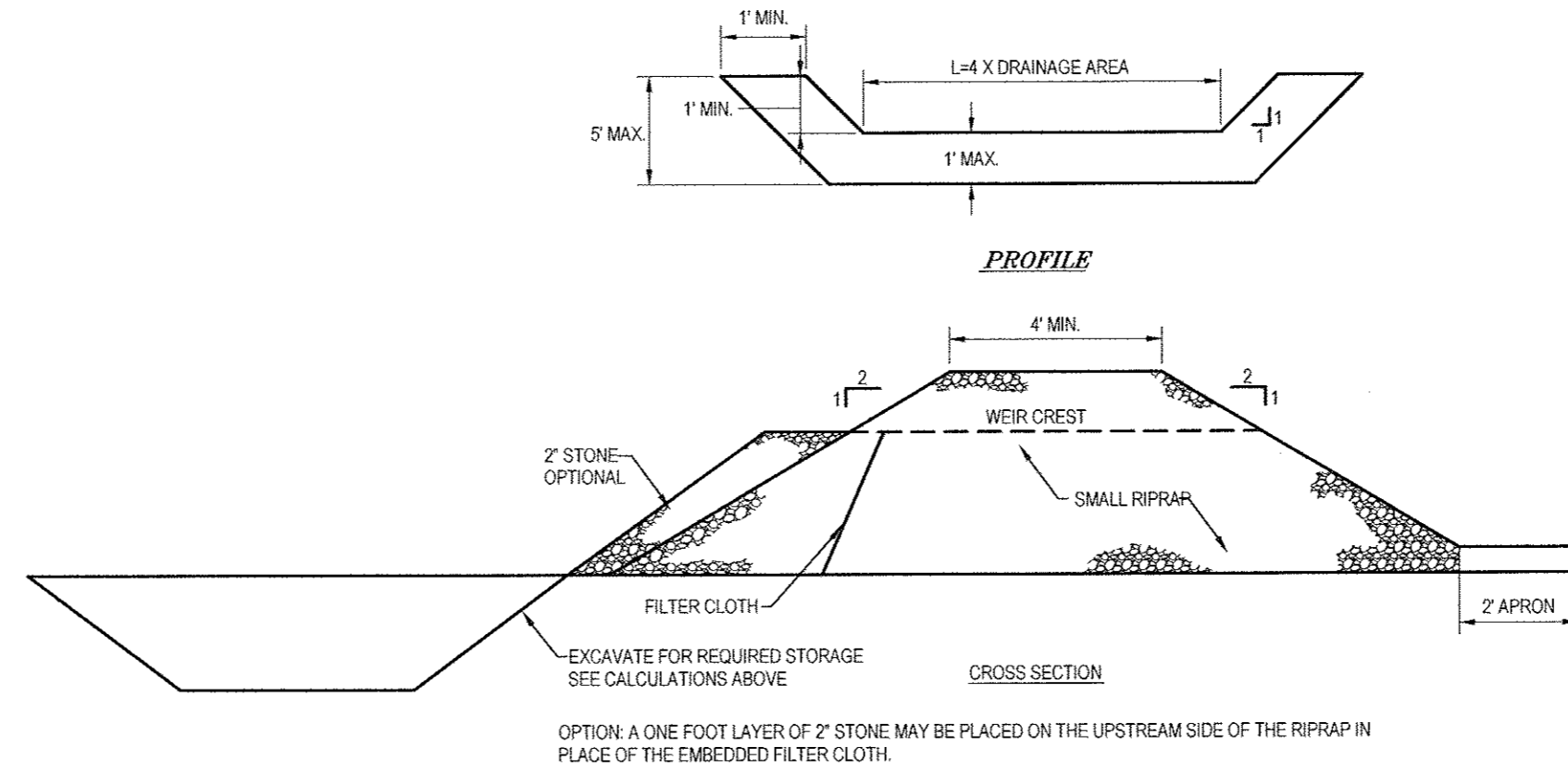
## EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDS; MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, MULCH OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDS AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGEWAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

## CONSTRUCTION SEQUENCE

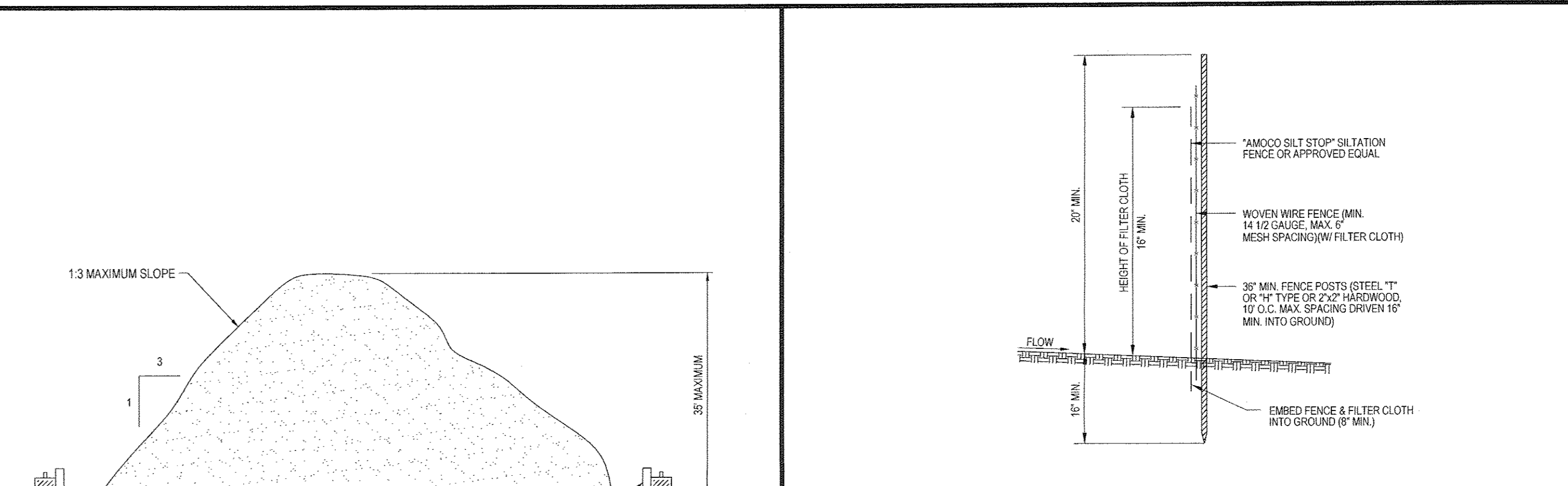
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER



NOTES:  
AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACT BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. THE STONE USED IN THE CULVERT SHALL BE SMALL RIPRAP 4" IF ALONE WITH 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRASS SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH TO THE TRAP. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

## STONE OUTLET SEDIMENT TRAP DETAIL



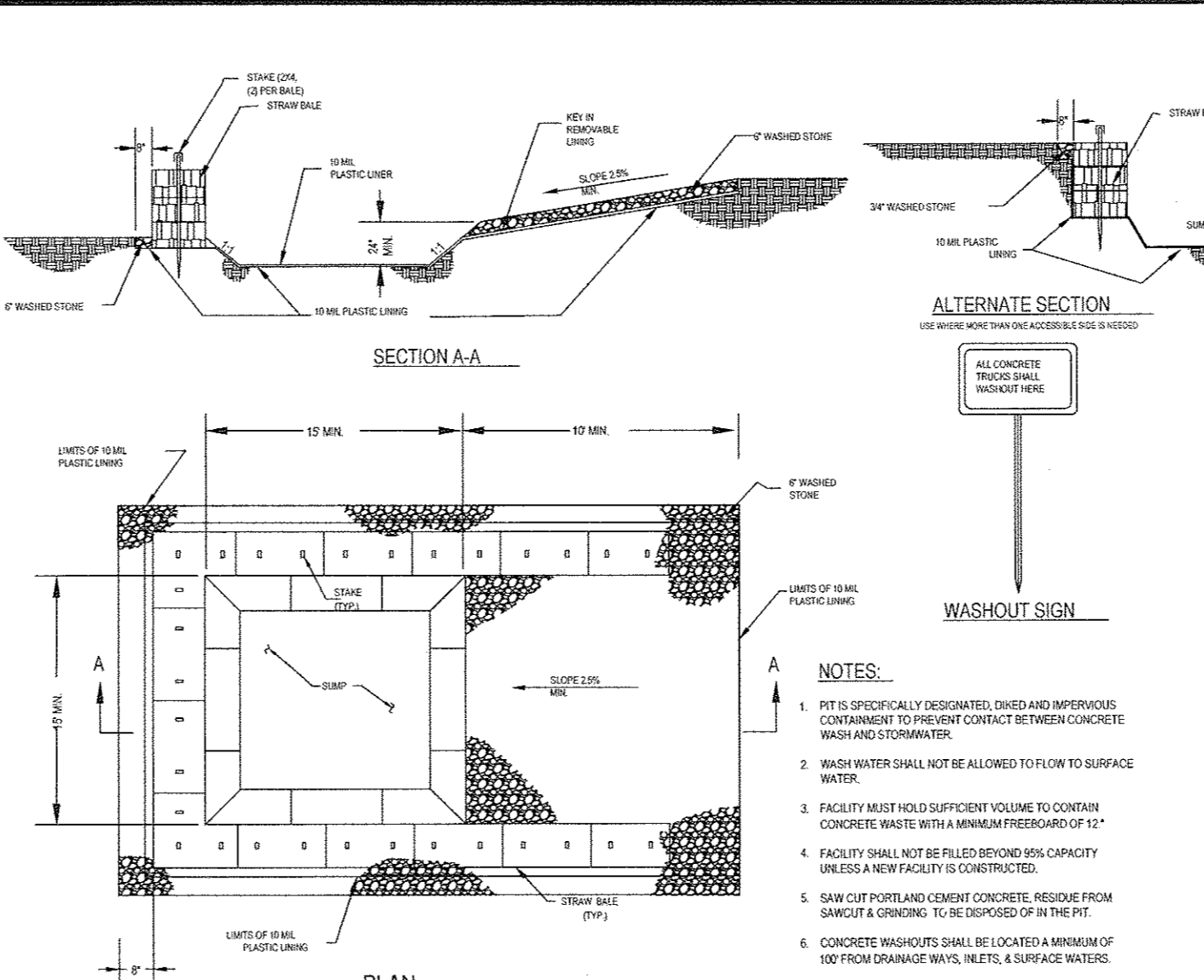
### CONSTRUCTION NOTES FOR FABRICATED SILTATION FENCE:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/4" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP & MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

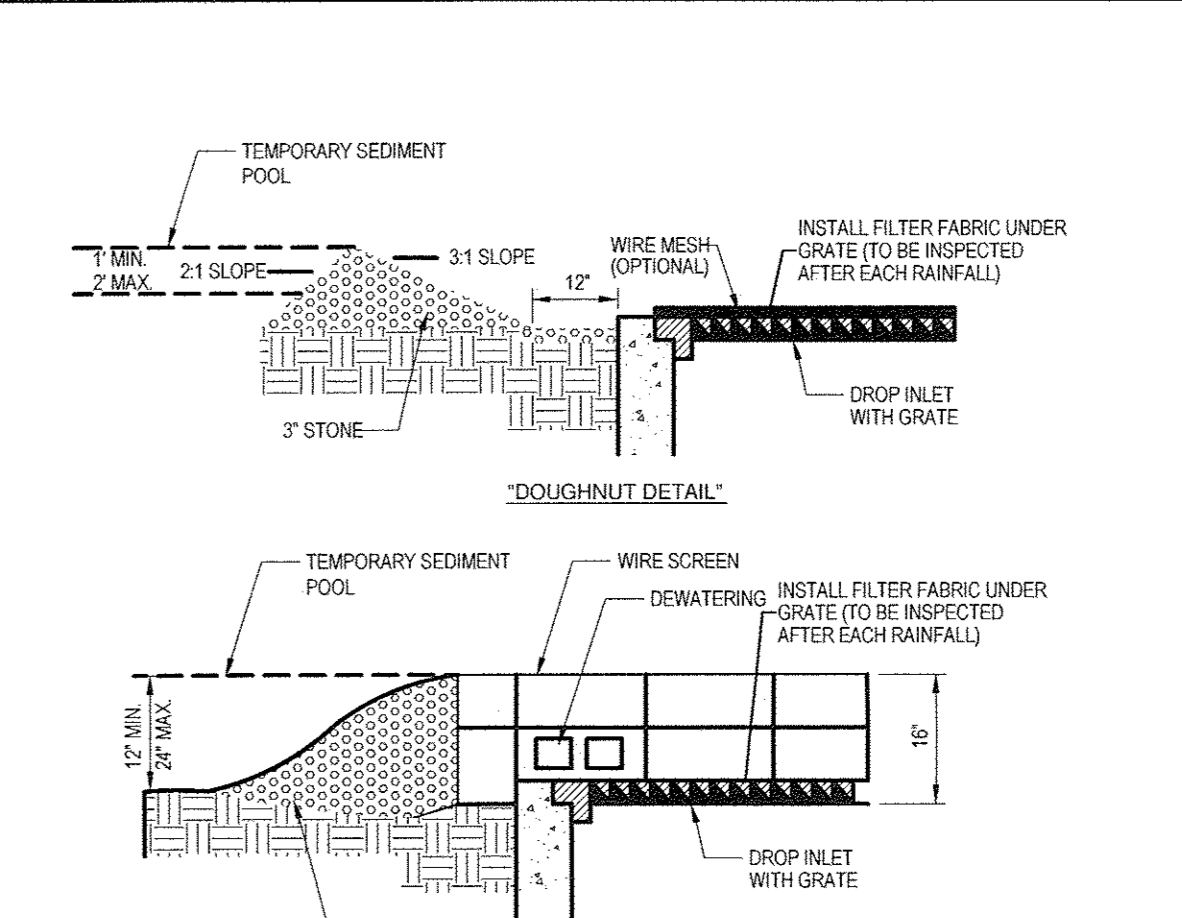
### GENERAL NOTES:

- LOCATIONS AS SHOWN ON THE PLANS.
- ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER.
- REMOVAL OF EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.

## TEMPORARY STOCKPILE DETAIL



## TYP. SILTATION FENCE DETAIL



### CONSTRUCTION SPECIFICATIONS:

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST THE SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER CLOTH OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/4" IN DIAMETER PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY: A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA: 1 ACRE.

## CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## STABILIZED CONSTRUCTION EXIT

N.T.S.

## CONCRETE WASHOUT DETAIL

N.T.S.

## STONE & BLOCK DROP INLET PROTECTION STRUCTURE

N.T.S.

## REVISIONS

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## PRELIMINARY

PROJECT NO.: B150208  
DRAWN BY: MED  
CHECKED BY: JRG  
DATE: 01/12/2016  
SCALE: AS NOTED  
CAD I.D.: B150208SS04

## SITE DOCUMENT PLANS FOR

**Cumberland Farms**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**  
17 COMPUTER DRIVE WEST, SUITE 203  
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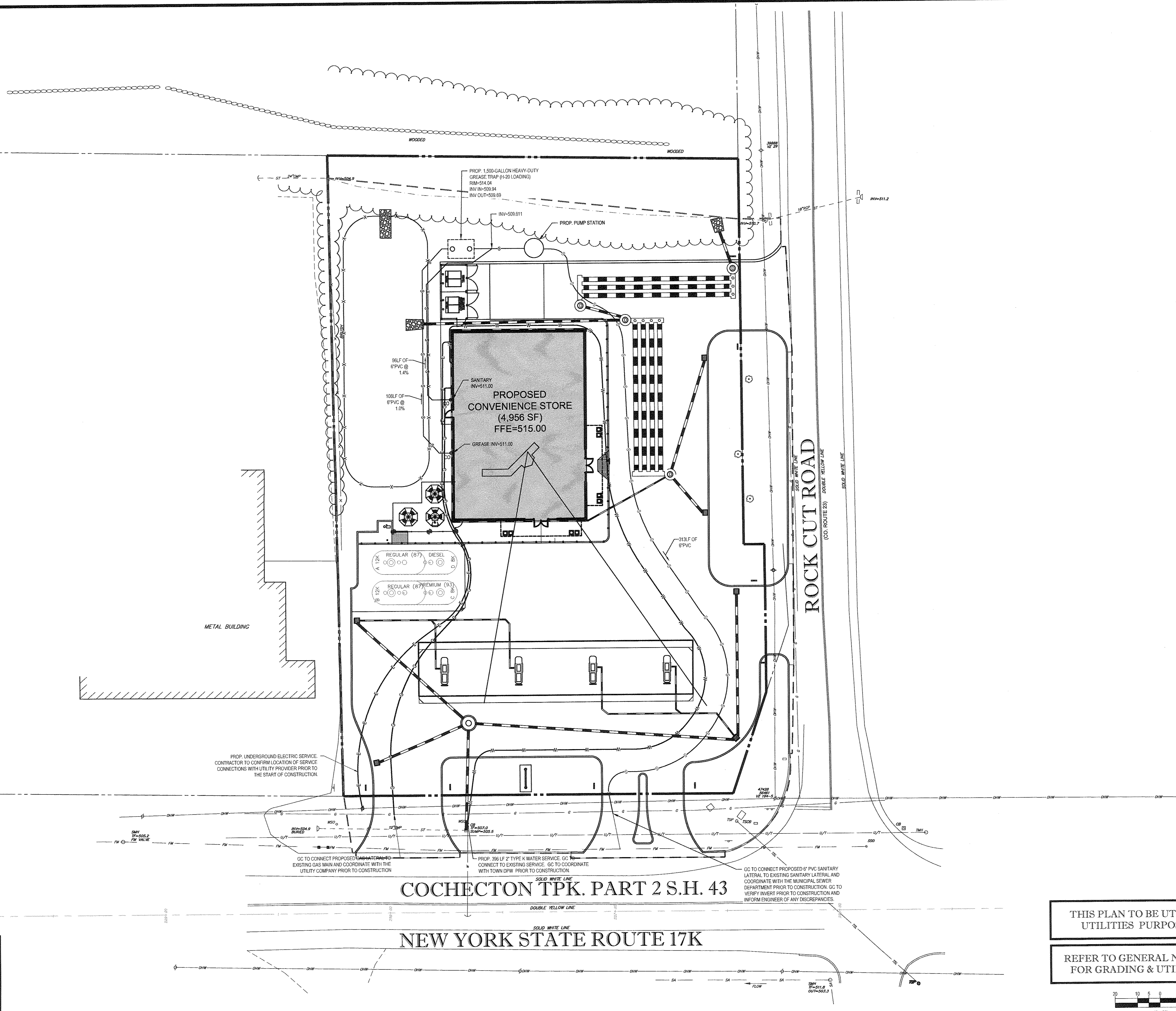
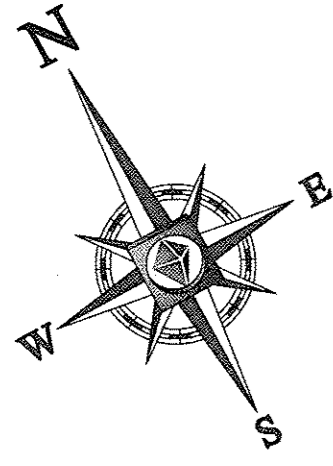
SHEET TITLE: **SOIL EROSION CONTROL NOTES & DETAILS SHEET**

SHEET NUMBER: **CFG06.1**  
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 MASSACHUSETTS LICENSE NO. 43644  
 OHIO LICENSE NO. E-93829

PHILADELPHIA PA  
 LEHIGH VALLEY PA  
 BALTIMORE MD  
 NEW YORK NY  
 NEW JERSEY

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REVISIONS

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
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PRELIMINARY

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS04

PROJECT: **SITE DOCUMENT PLANS** FOR

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

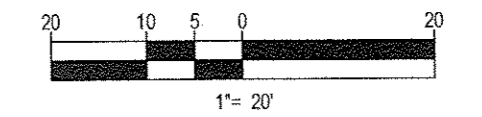
17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
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 CONNECTICUT LICENSE NO. 21454  
 NEW HAMPSHIRE LICENSE NO. 10289  
 MASSACHUSETTS LICENSE NO. 43644  
 OHIO LICENSE NO. E-93829

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



COCHECTON TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

P:\B150208\Cumberland Farms\_270\17K\17K\_Newburgh\_NY\05\_CDD\_MORRIS\B150208SS04.dwg, CF07.0.dwg, 4/22/2016, 10:17:14 AM, sseemster, Xerox3510-1.ppt, User334, 1:1

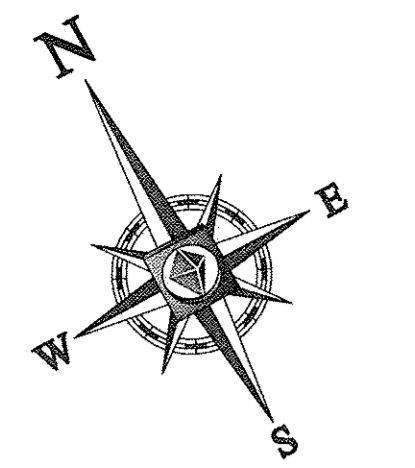
**811**

Know what's below.  
 Call before you dig.

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**CFG07.0**  
 OF 1

REV 1



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
QP	2	QUERCUS PALustrIS	FIN OAK	2 1/2"-3" CAL	B+H
SUBTOTAL: 2					
EVERGREEN SHRUBS(S)					
IGS	11	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24-30"	#3 CAN
JHP	21	JUNIPERUS HORIZONTALIS PLUMOSA	ANDORRA JUNIPER	15-18" SPRED.	#3 CAN
RHC	24	RHODODENDRON X OBTLIUM 'HINO CRIMSON'	HINO CRIMSON AZALEA	18-24"	#3 CAN
RPG	4	RHODODENDRON 'PURPLE GEM'	PURPLE GEM RHODODENDRON	24-30"	#3 CAN
TMD	11	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+H
SUBTOTAL: 79					

TOWN OF NEWBURGH LANDSCAPE REQUIREMENTS			
SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
185-13 9A	LOTS PROVIDING MORE THAN (8) PARKING SPACES SHALL PROVIDE (1) SHADE OR FLOWERING ORNAMENTAL TREE FOR EACH (8) PARKING SPACES / 6 - 24 TREES	3 TREES	2 PROPOSED 1 EXISTING
	LOTS PROVIDING MORE THAN (20) PARKING SPACES SHALL DEVOTE 5% OF THE AREA OF THE PARKING LOT TO LANDSCAPING WITHIN THE INTERIOR OF THE PARKING LOT	YES	

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PLANNING SERVICES  
LANDSCAPE ARCHITECTURE  
TRANSPORTATION SERVICES  
LAND SURVEYING  
ENVIRONMENTAL DESIGN  
PERMITTING SERVICES

NEW YORK  
NEW JERSEY  
NEW ENGLAND  
NEW YORK STATE  
NEW YORK CITY  
NEW YORK STATE  
NEW YORK CITY  
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PENNSYLVANIA  
VIRGINIA  
NORTH CAROLINA  
SOUTH CAROLINA  
FLORIDA  
ALABAMA  
MISSISSIPPI  
LOUISIANA  
ARIZONA  
CALIFORNIA  
IDAHO  
MONTANA  
NEBRASKA  
NEVADA  
UTAH  
WYOMING

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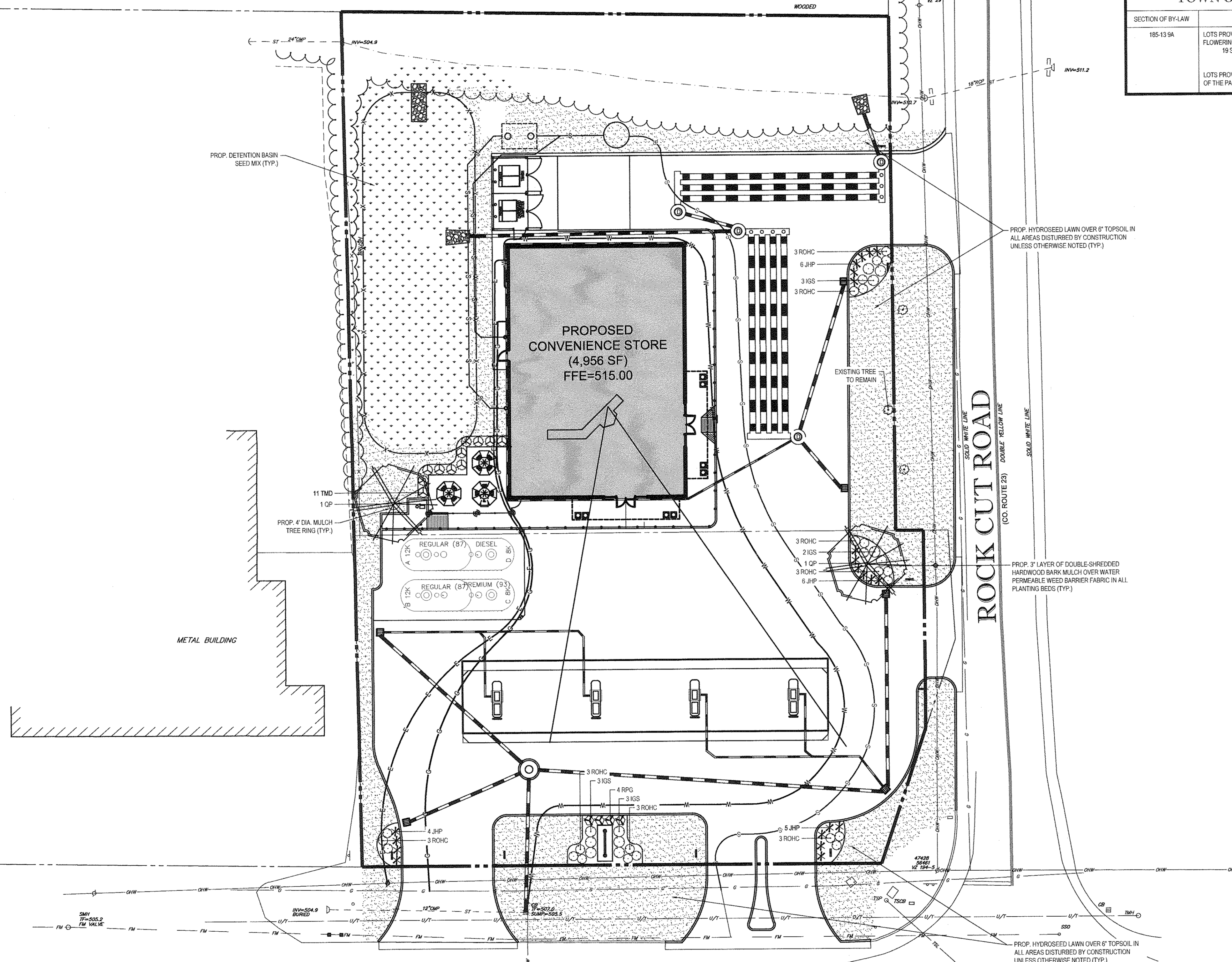
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SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**CFG08.0**  
 OF 1

REV 1



**OWNER MAINTENANCE RESPONSIBILITIES**

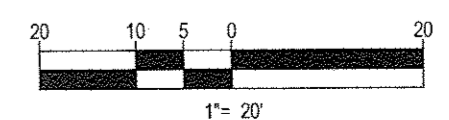
UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATION GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARRANTIES; THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

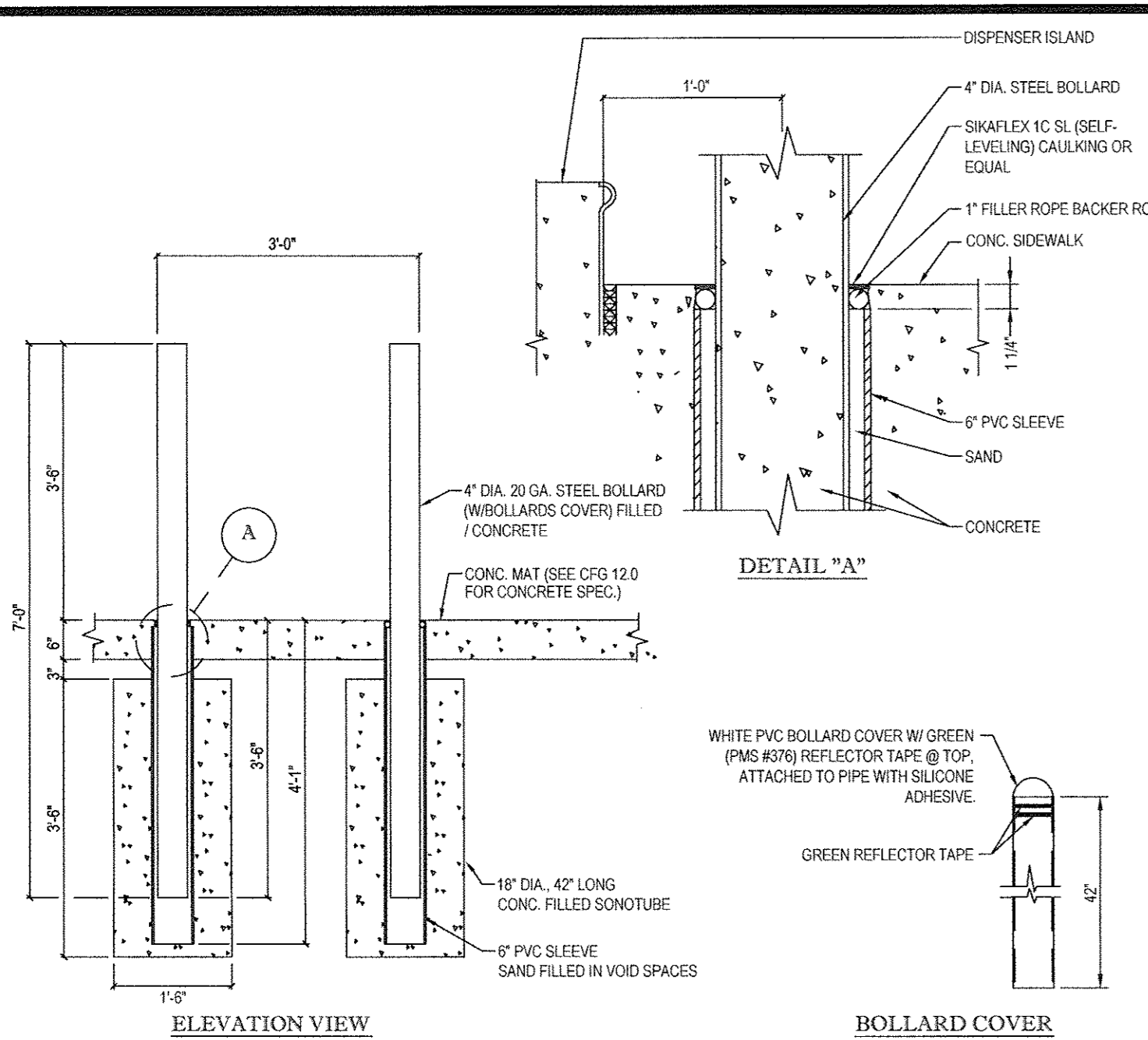
REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



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 811 Know what's below. Call before you dig.

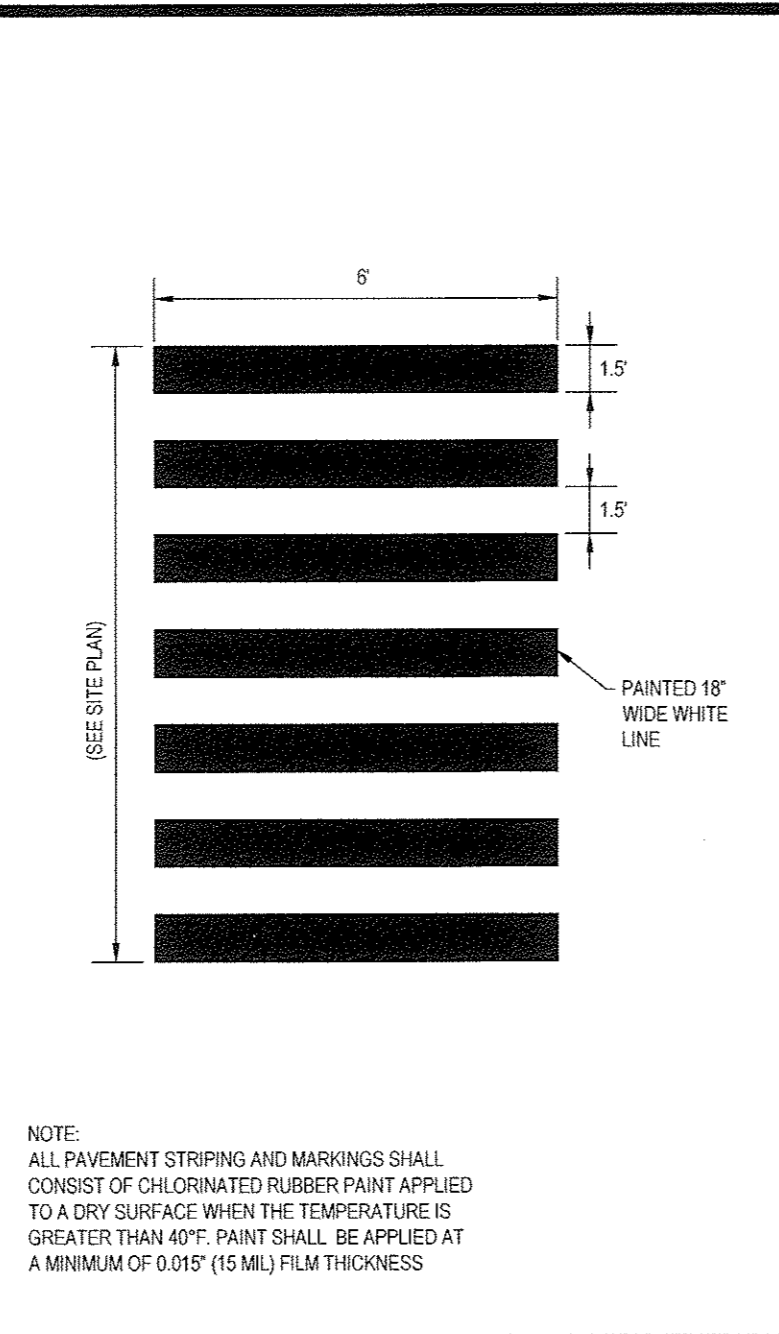






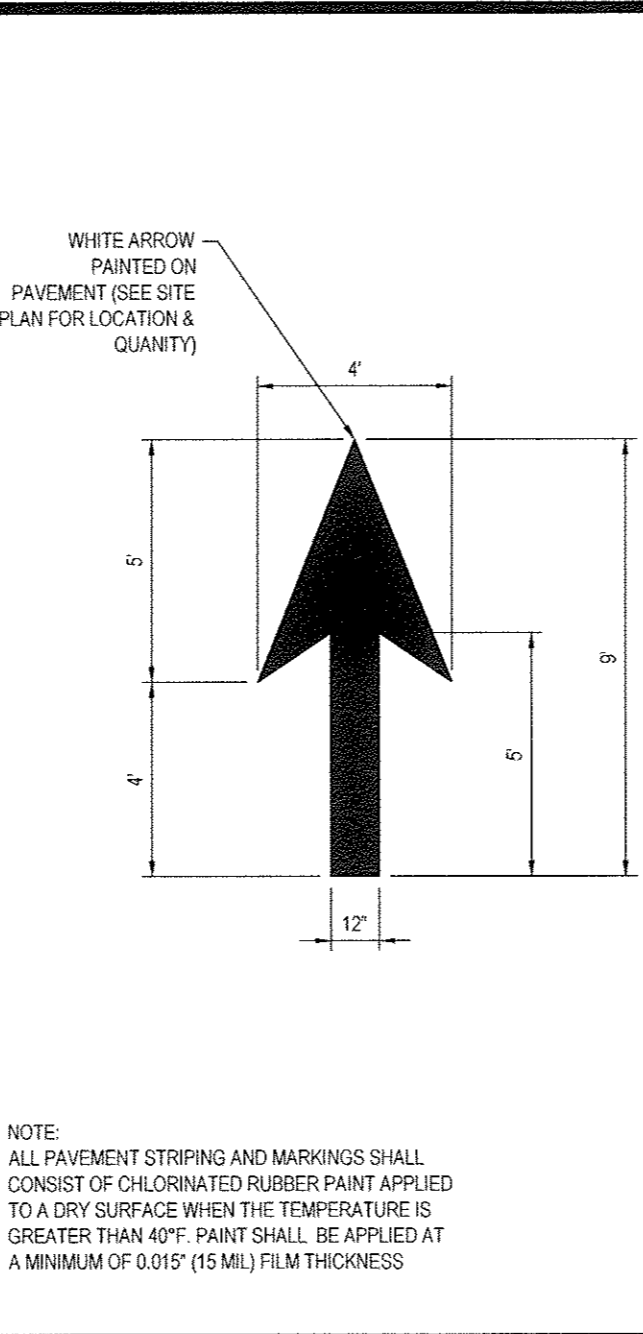
**BOLLARD SET IN CONCRETE WALK**

N.T.S.



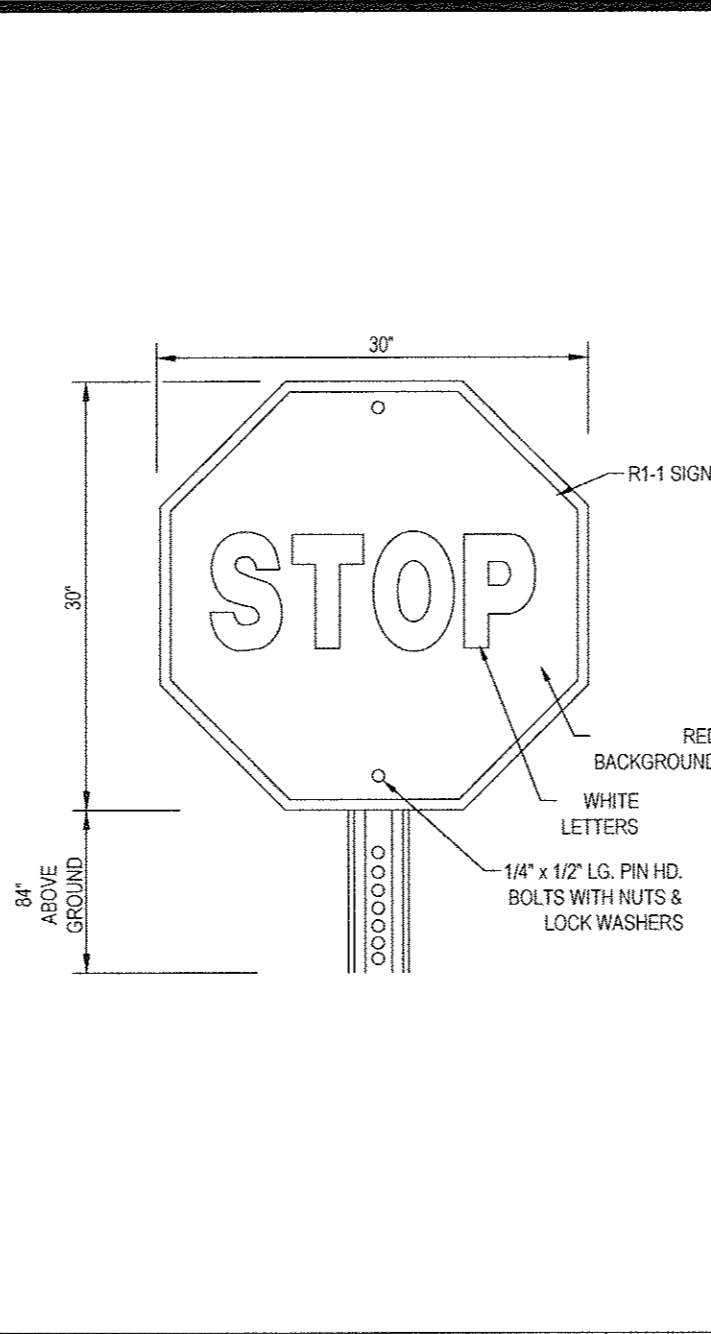
**CROSSWALK DETAIL**

N.T.S.



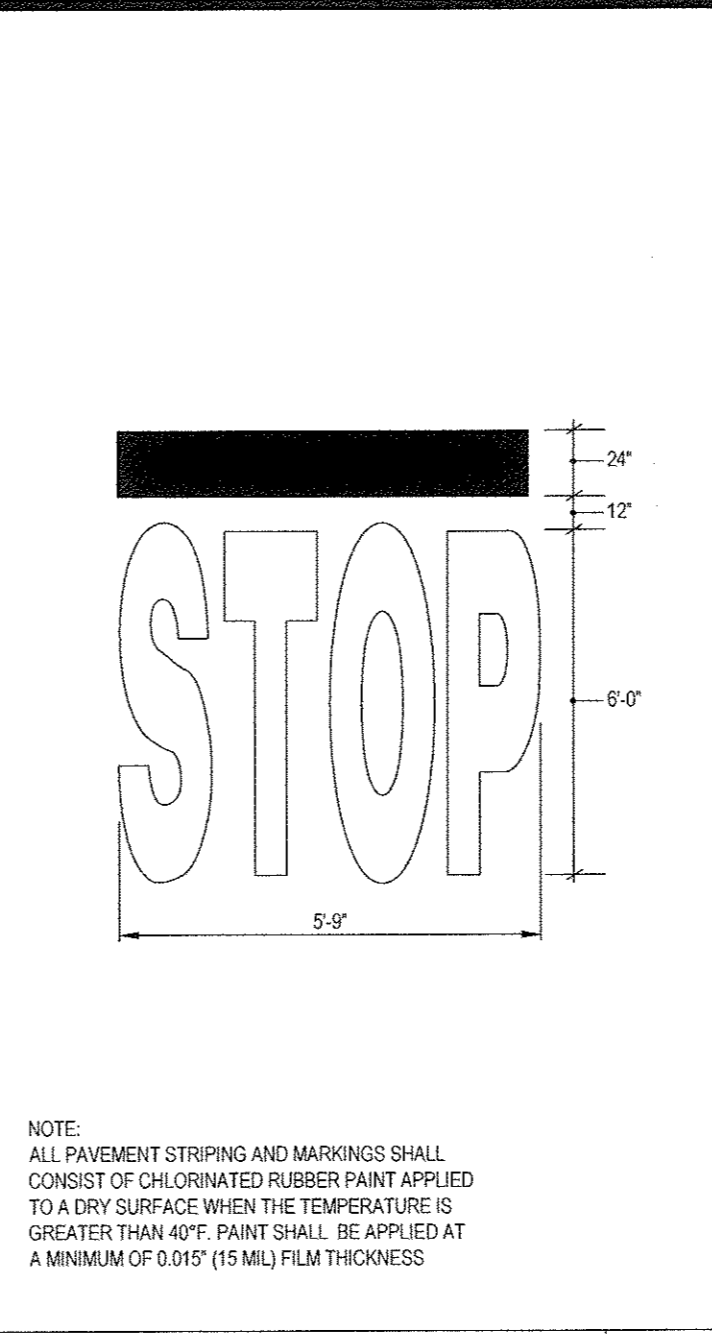
**TYPICAL PAINTED ARROW**

N.T.S.



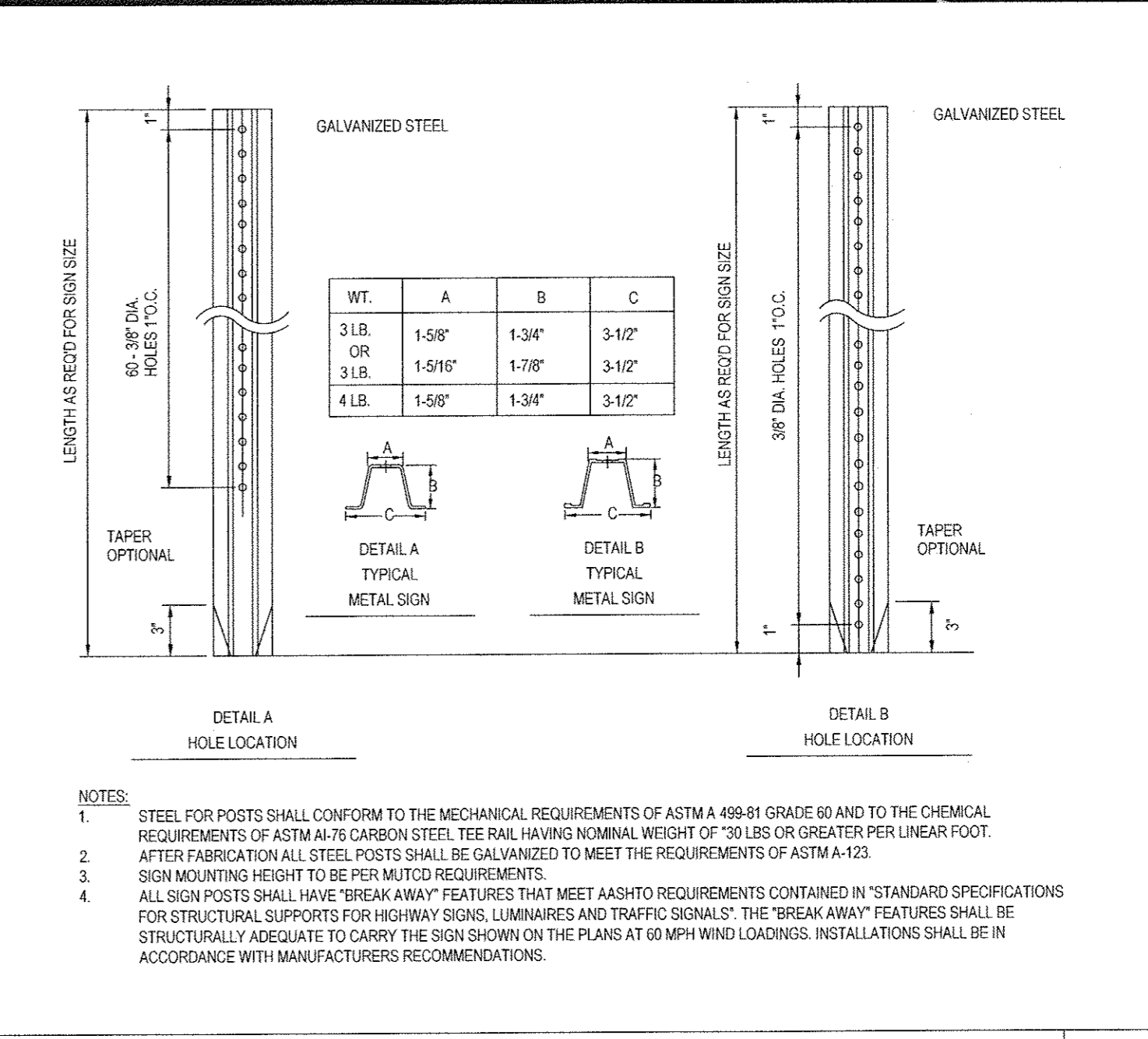
**'STOP' SIGN**

N.T.S.



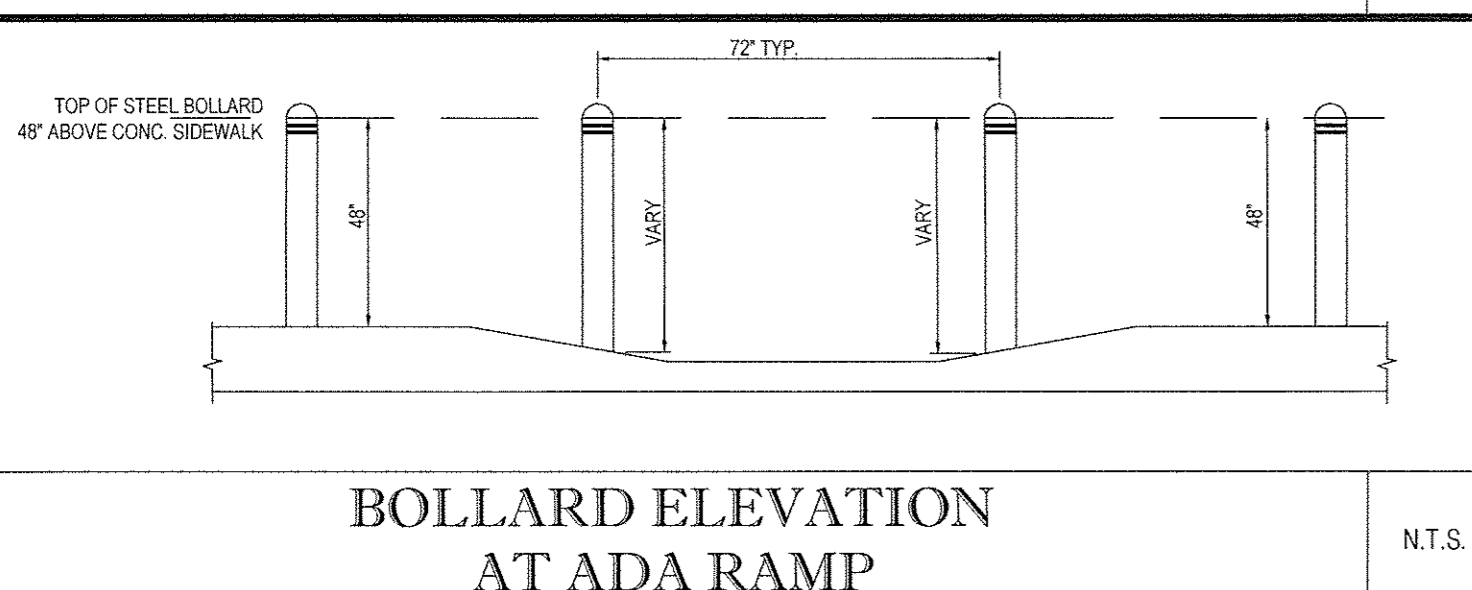
**'STOP' BAR DETAIL**

N.T.S.



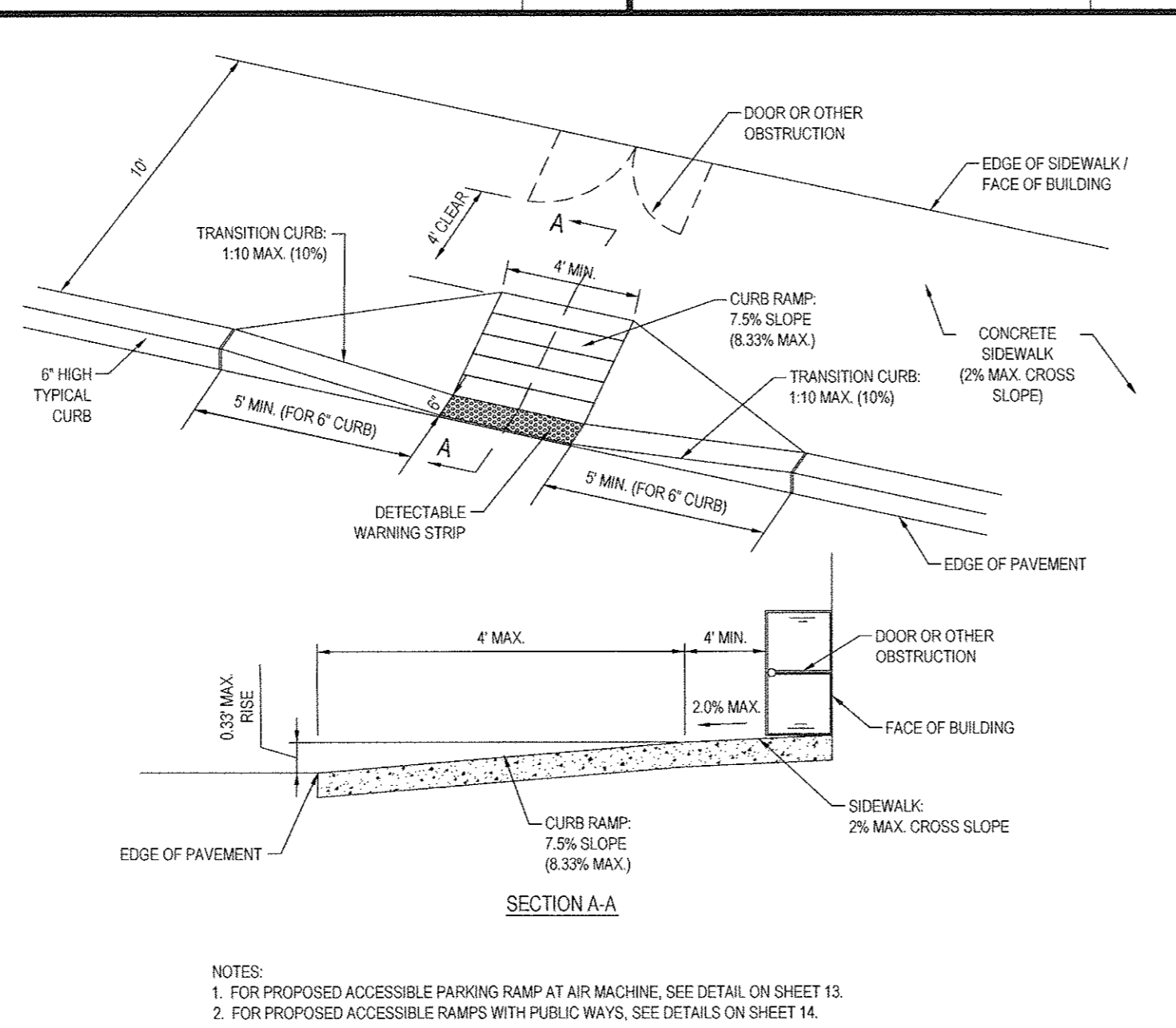
**TYPICAL ON-SITE METAL SIGN POSTS**

N.T.S.



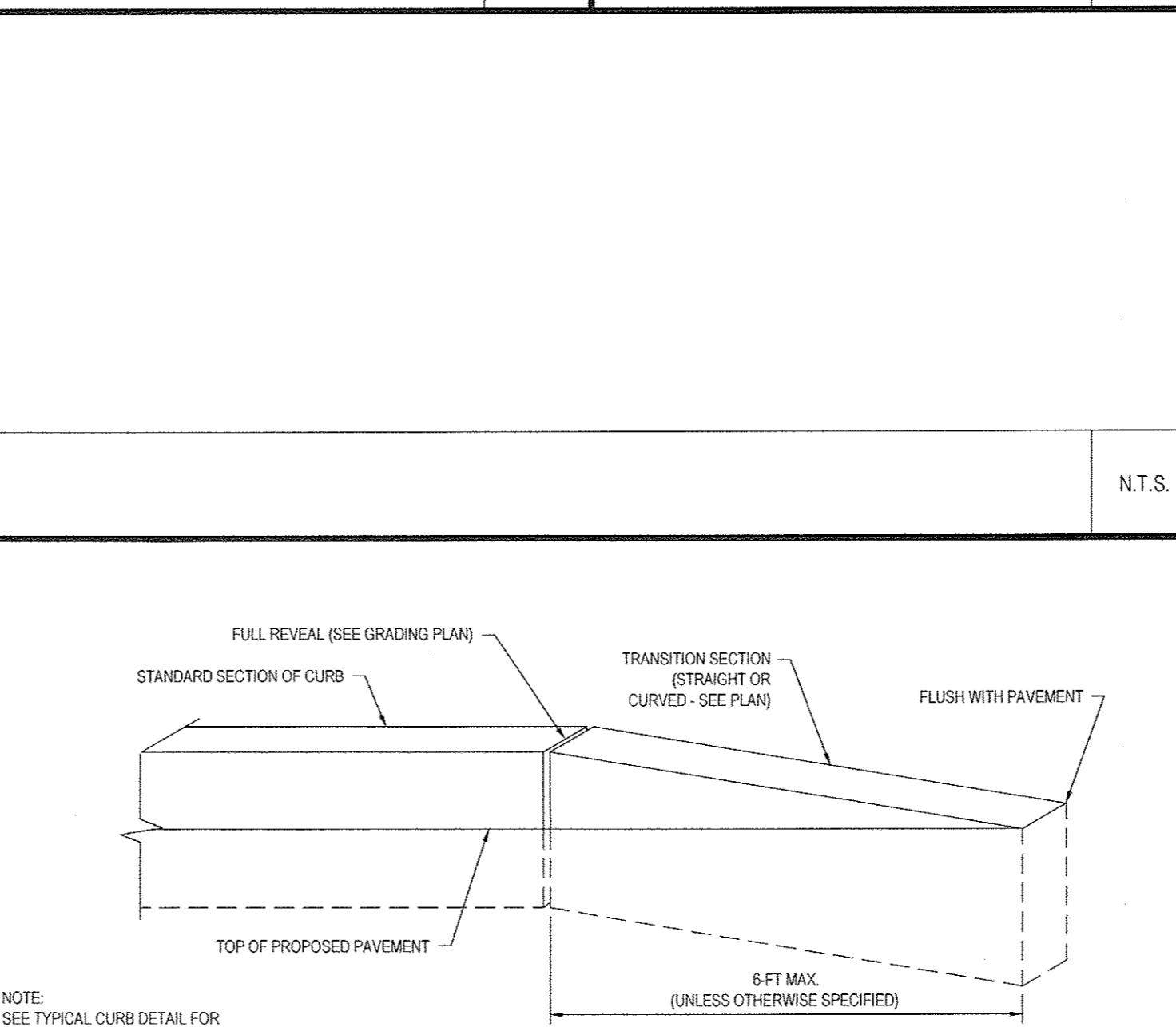
**BOLLARD ELEVATION AT ADA RAMP**

N.T.S.



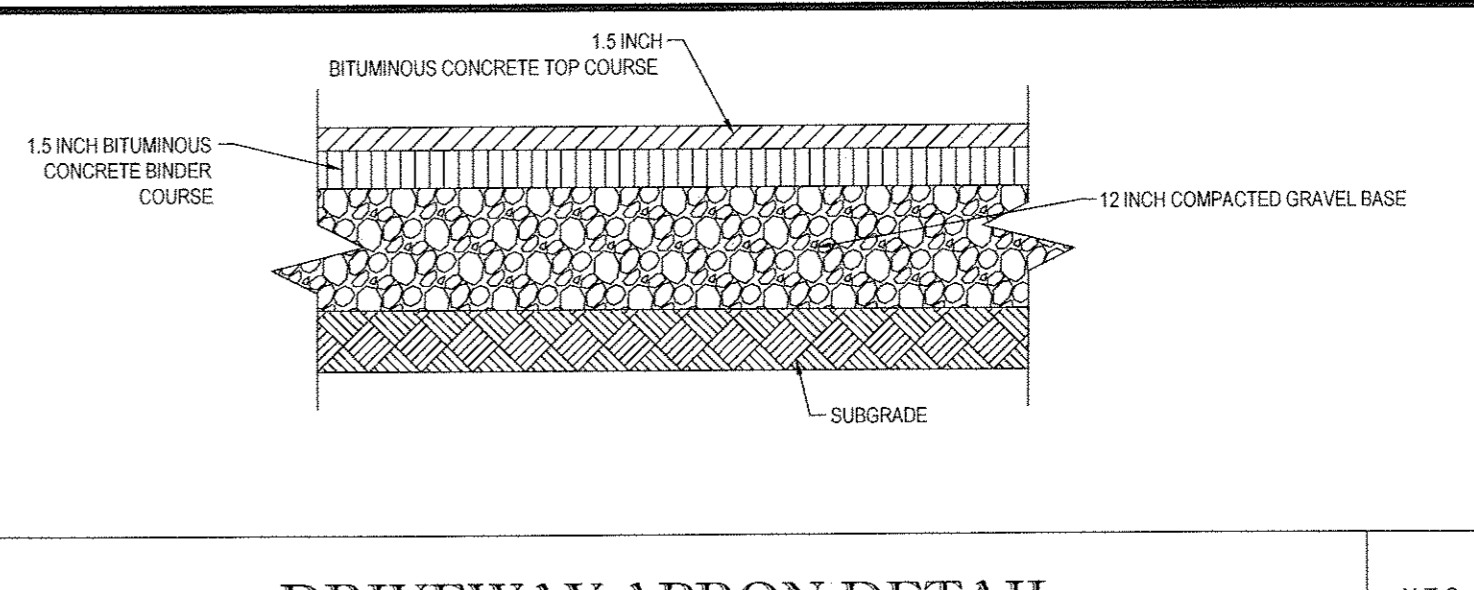
**TYPICAL ADA RAMP DETAIL WITH 10' WIDE SIDEWALK**

N.T.S.



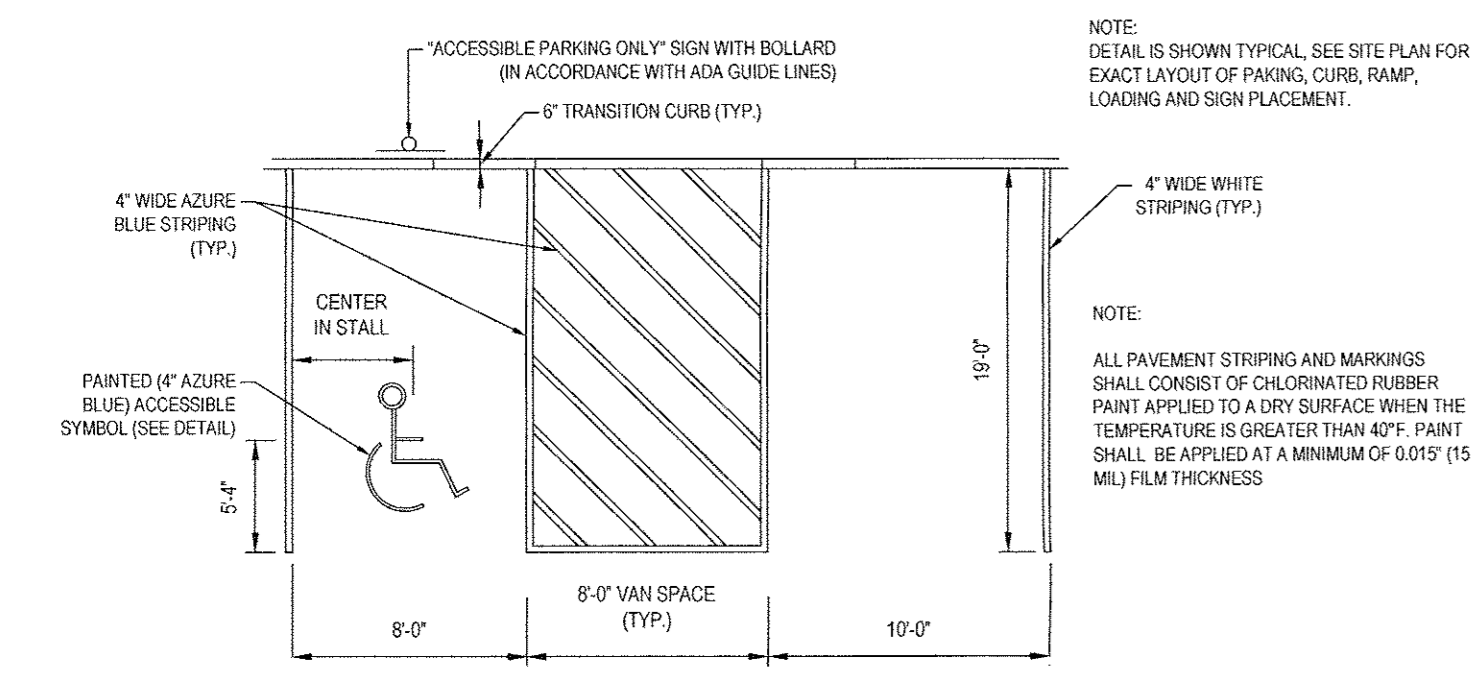
**TRANSITION CURB DETAIL**

N.T.S.



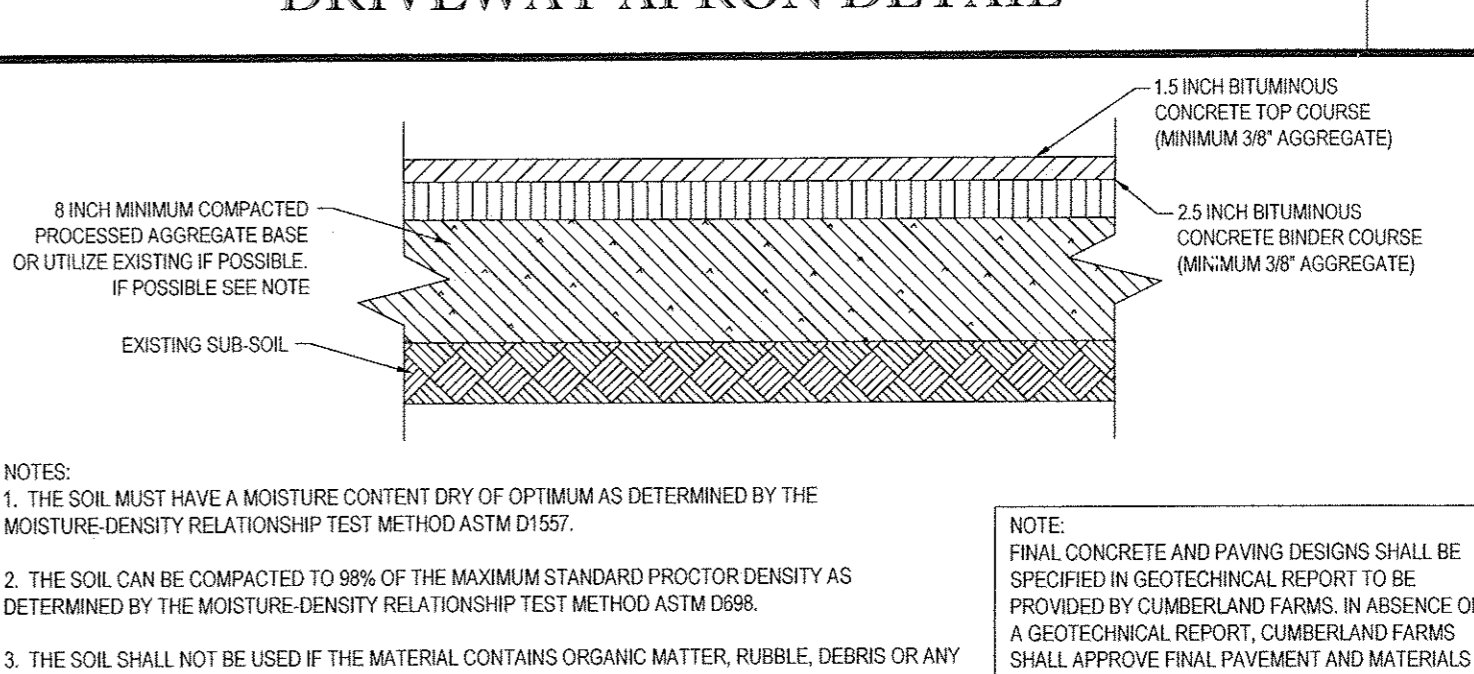
**DRIVEWAY APRON DETAIL**

N.T.S.



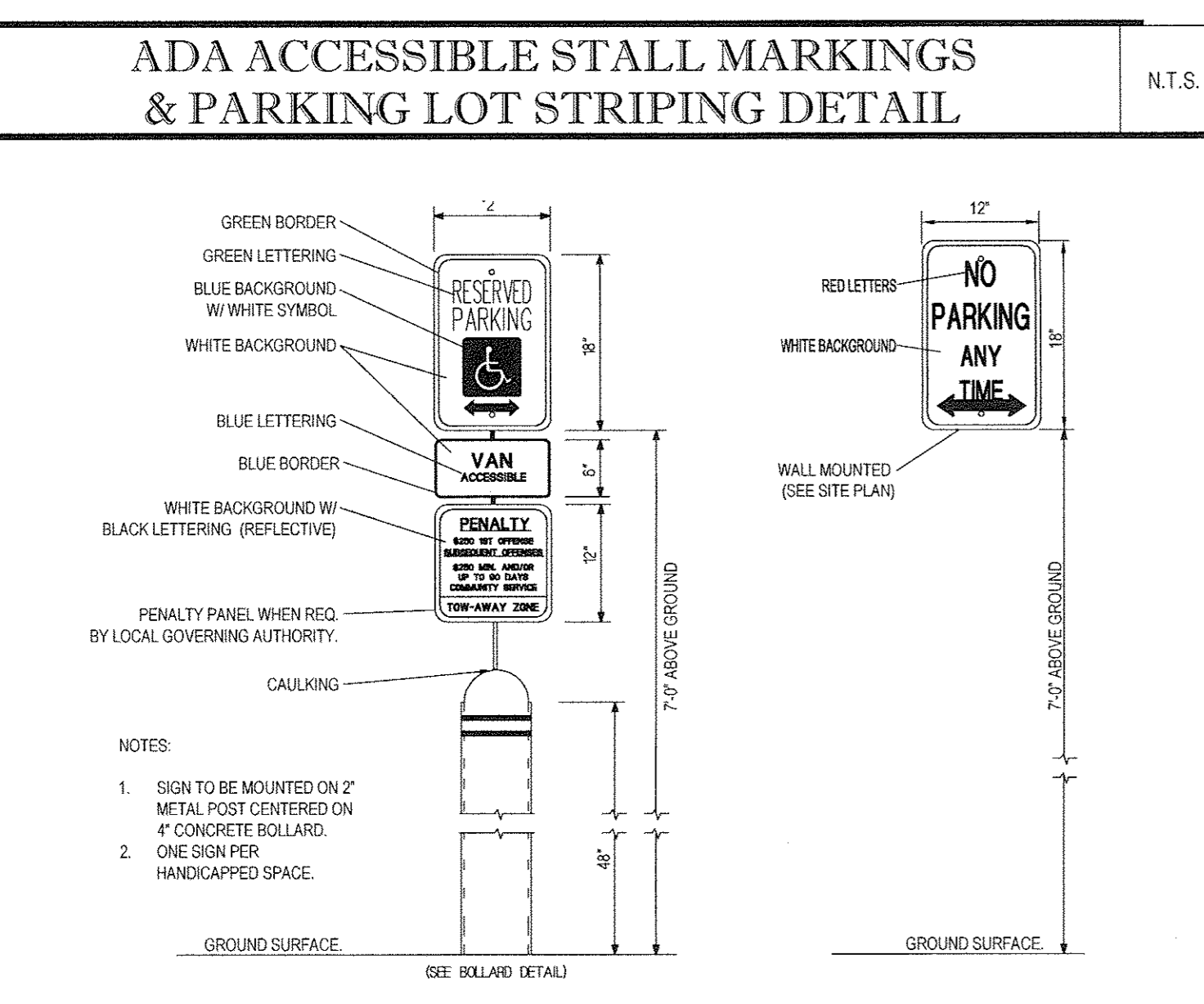
**ADA ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL**

N.T.S.



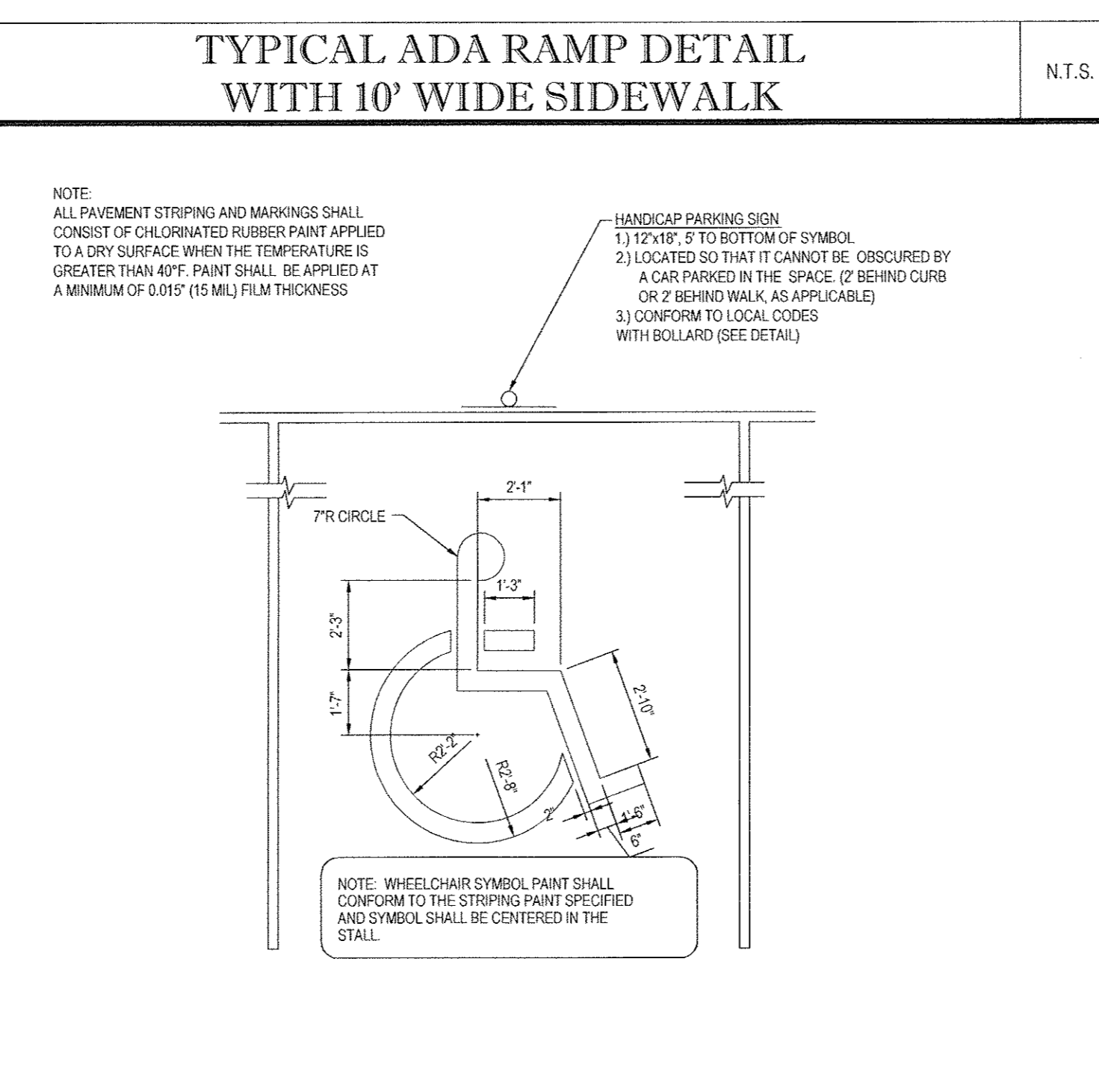
**TYPICAL PAVEMENT SECTION**

N.T.S.



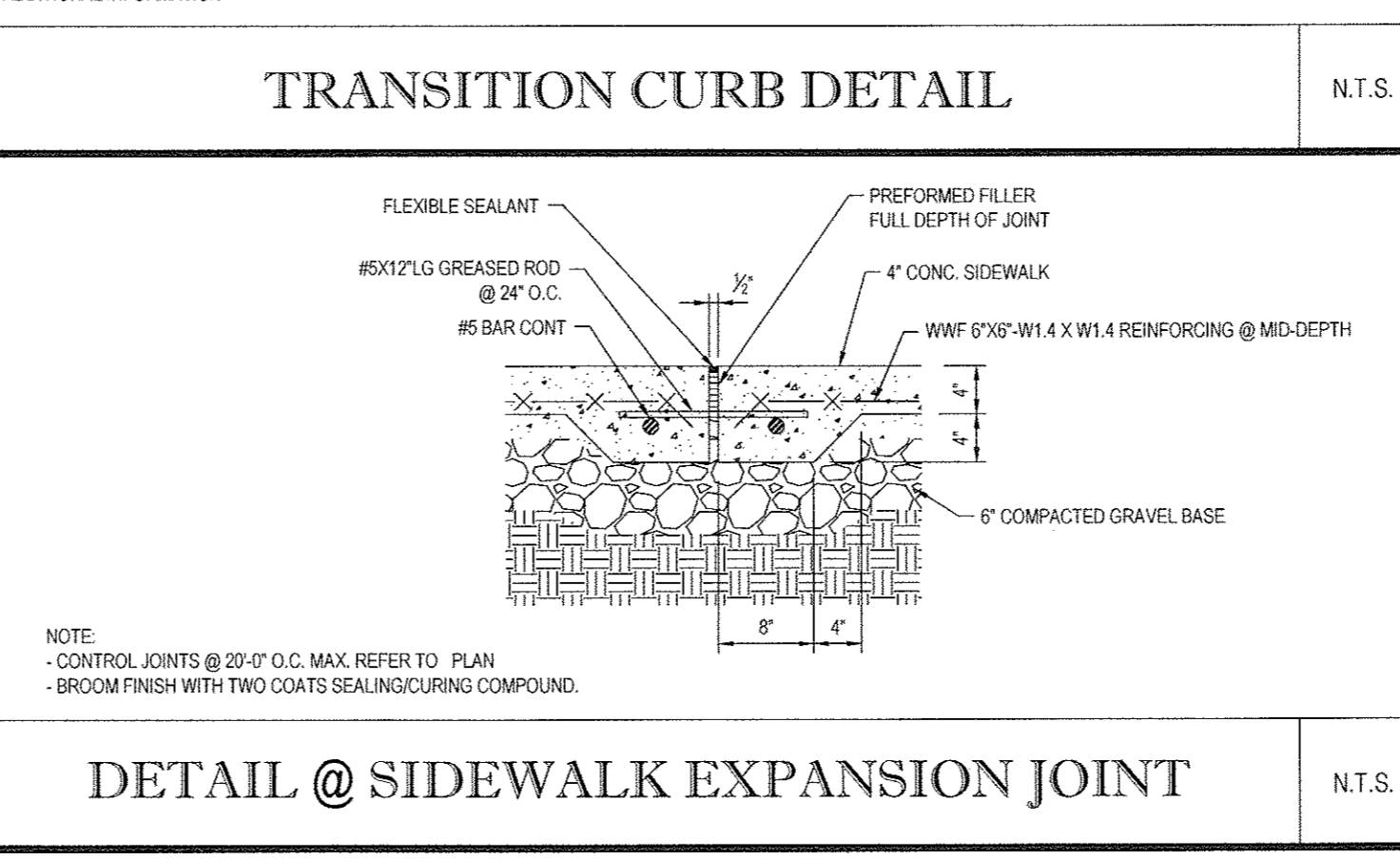
**ADA PARKING SIGN (WITH BOLLARD)**

N.T.S.



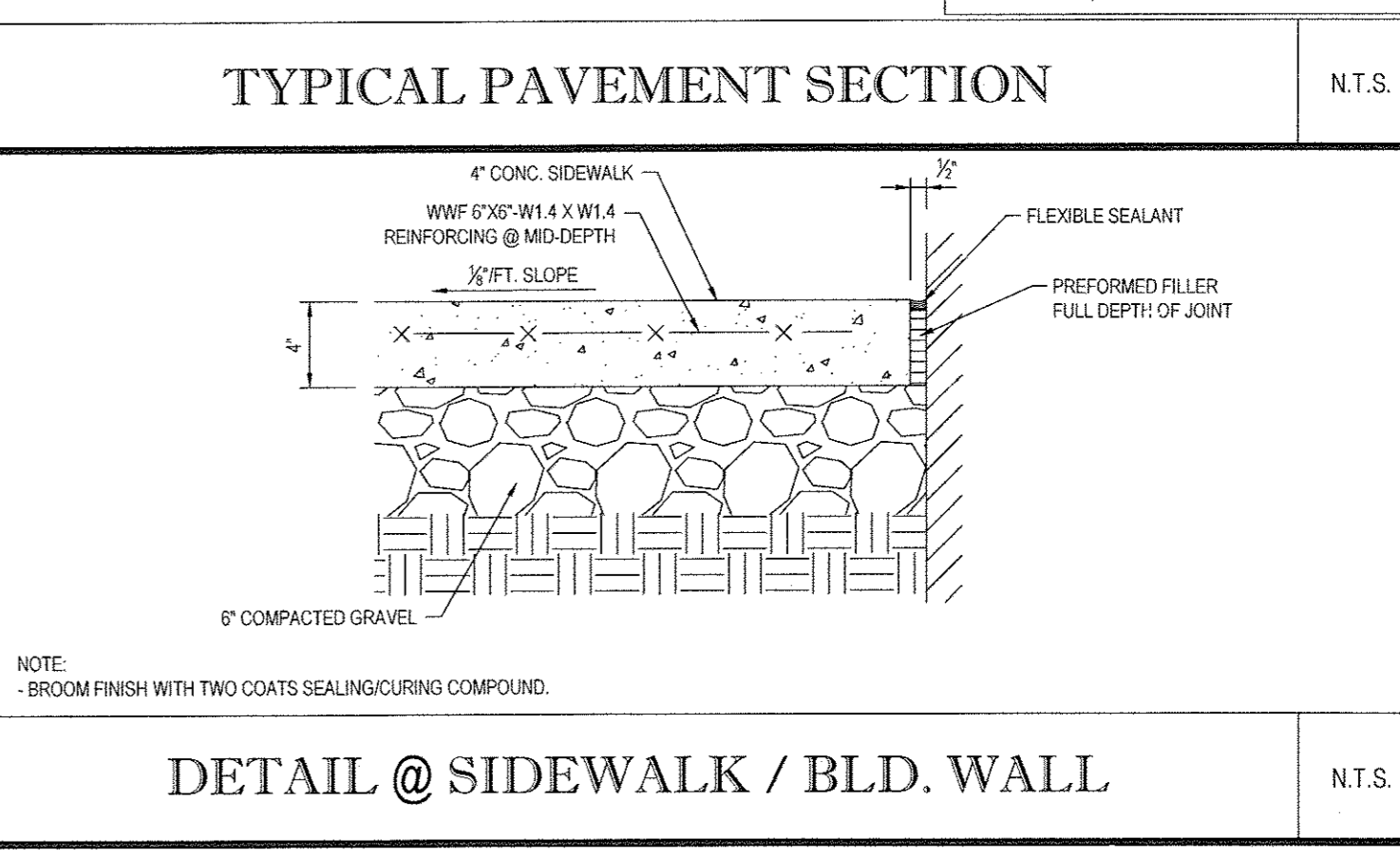
**ADA PARKING STALL PAINTING DETAIL**

N.T.S.



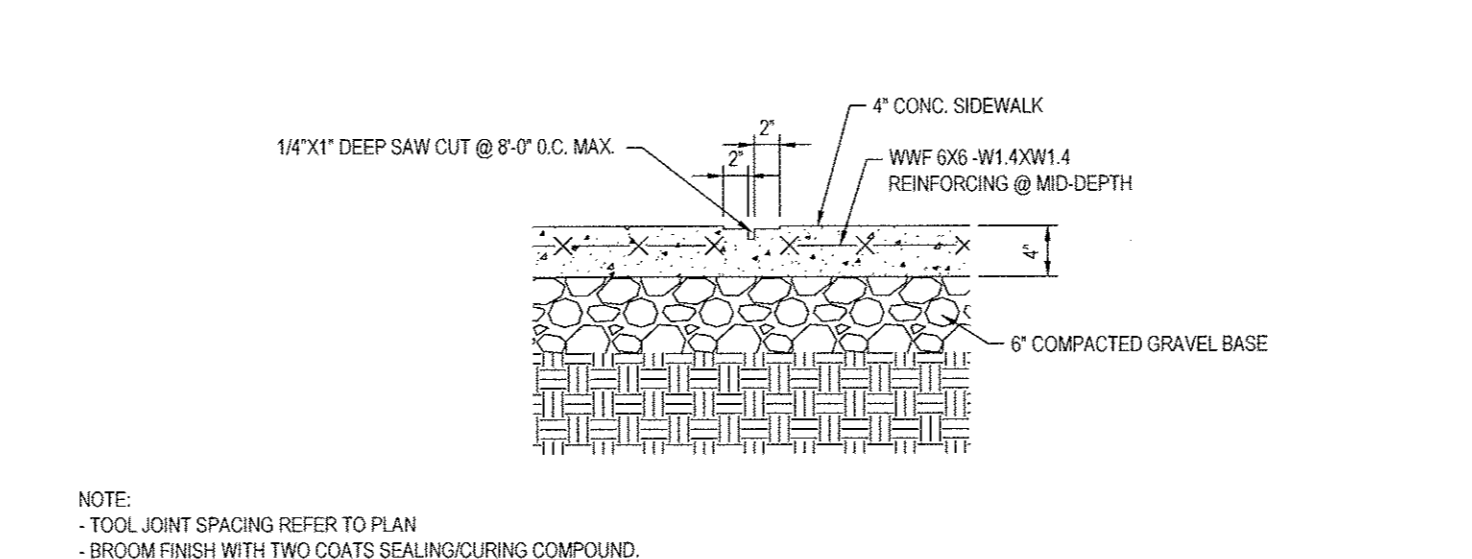
**DETAIL @ SIDEWALK EXPANSION JOINT**

N.T.S.



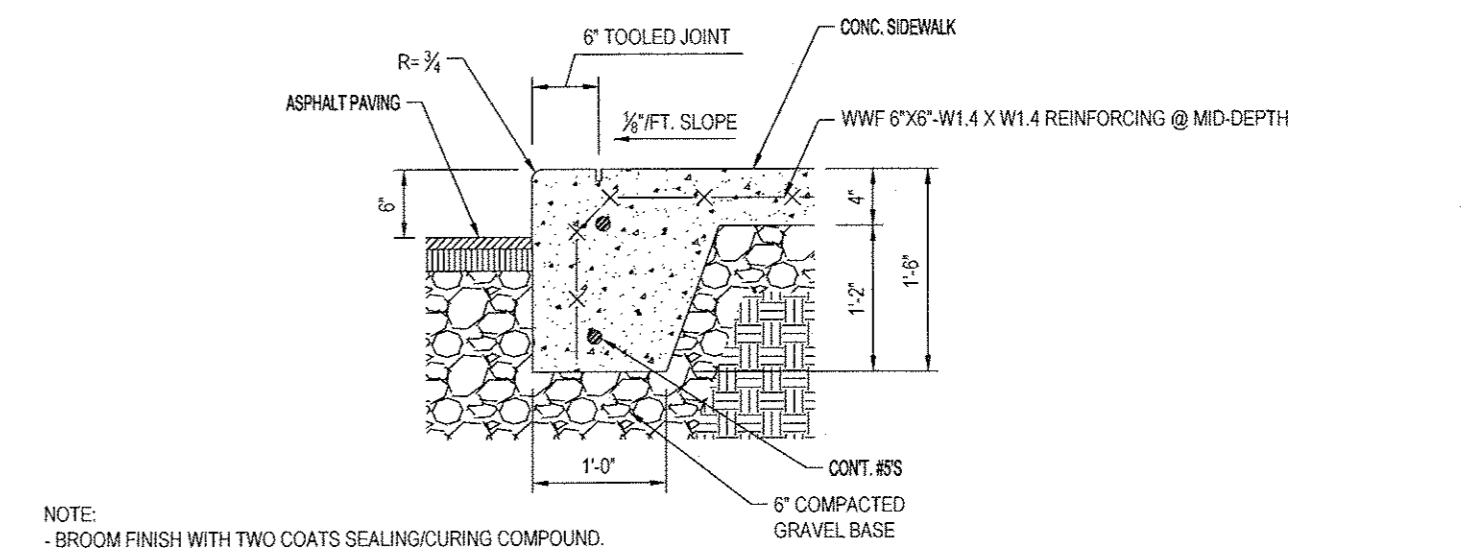
**DETAIL @ SIDEWALK / BLD. WALL**

N.T.S.



**DETAIL @ SIDEWALK CONTROL JOINT**

N.T.S.



**DETAIL @ SIDEWALK & CURB**

N.T.S.

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- ALBANY, NY
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- TAMPA, FL
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CIVIL & CONSULTING ENGINEERS SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEERS (LICENSED IN ALL STATES AND PROVINCES) 7,200 HOURS EXPERIENCE

**REVISIONS**

REV	DATE	COMMENT	BY
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**PRELIMINARY**

PROJECT No.: B150208

DRAWN BY: MED

CHECKED BY: SCS

DATE: 11/11/2015

SCALE: AS NOTED

CAD FILE: B150208SS04

**CONCEPT PLAN**

FOR

**Cumberland FARMS**

LOCATION OF SITE

270 ROUTE 17K

TOWN OF NEWBURGH

ORANGE COUNTY

STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST, SUITE 203

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PROFESSIONAL ENGINEER

NEW YORK LICENSE No. 071284-1

OHIO LICENSE No. E-8829

SHEET TITLE:

**SITE CONSTRUCTION DETAILS**

SHEET NUMBER:

**CFG09.0**

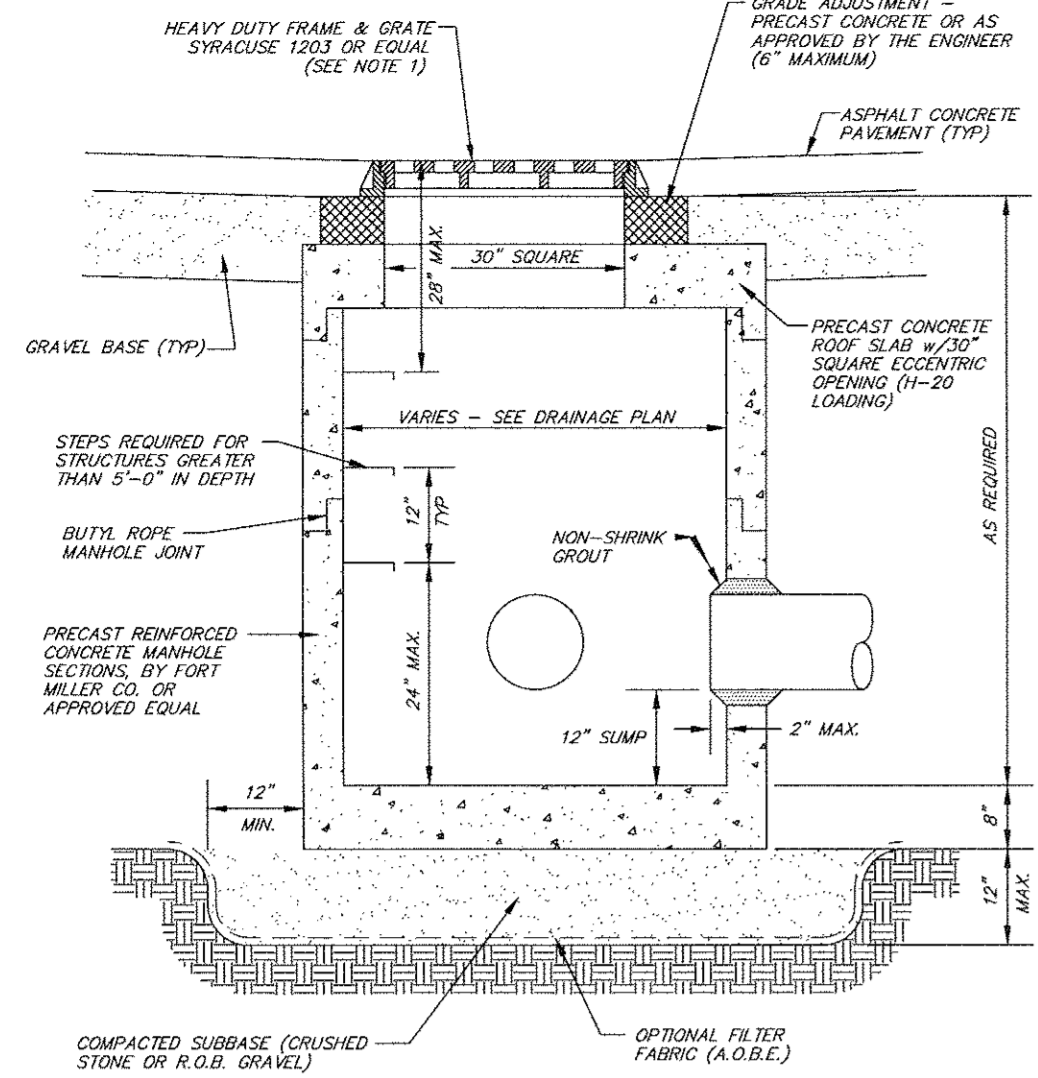
OF 1

REV 0

P:\150208\090908\Conceptual Plans, 270 Route 17K, Newburgh, NY\05 - CDD - WDR\090908\CFG09.0.dwg, CF09.0.dwg, 11/11/2015, 11:42:40 AM, asmedwin, Xref: 010, 055204, 05r262, 1-10



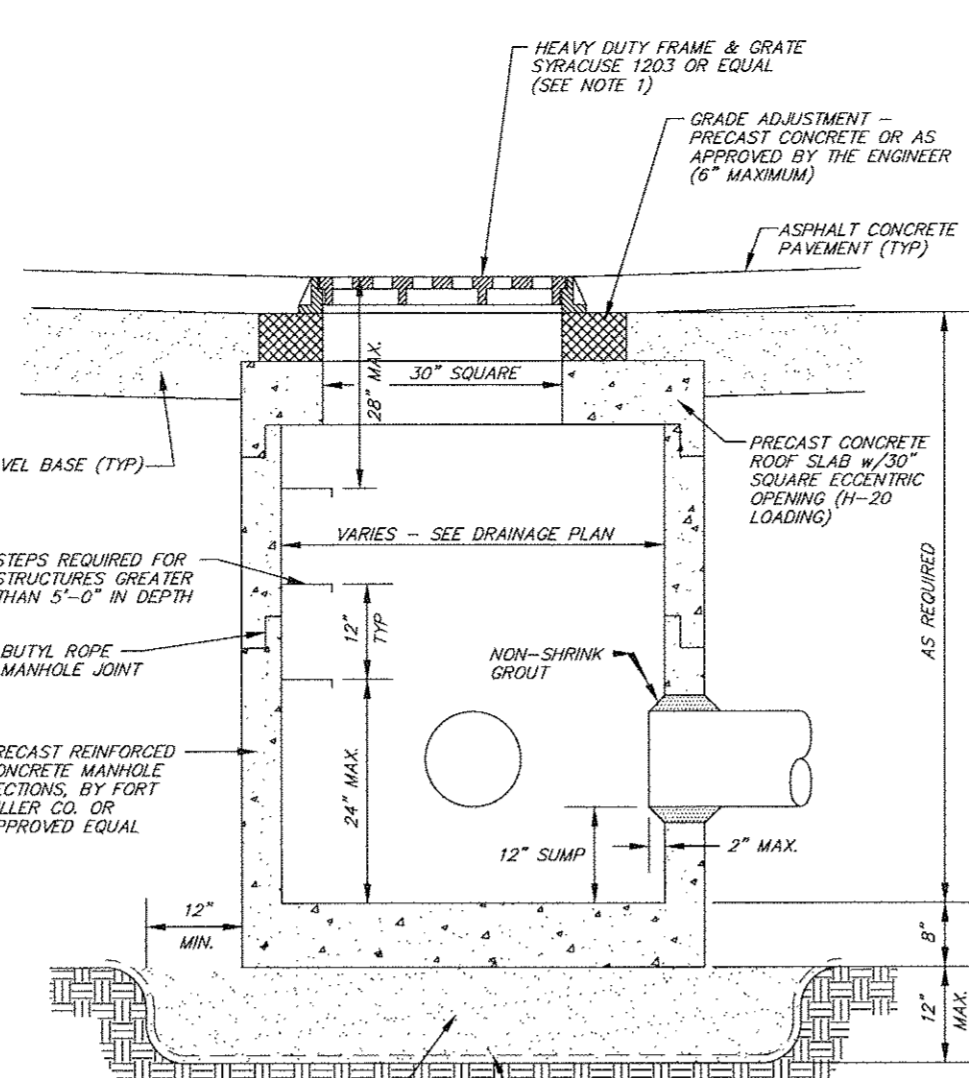




NOTES:  
1. FRAME AND GRATE/COVER FOR EACH STORM STRUCTURE SHALL BE SET IN MORTAR BED.

TYP. PRECAST CONCRETE MANHOLE STORM DRAIN

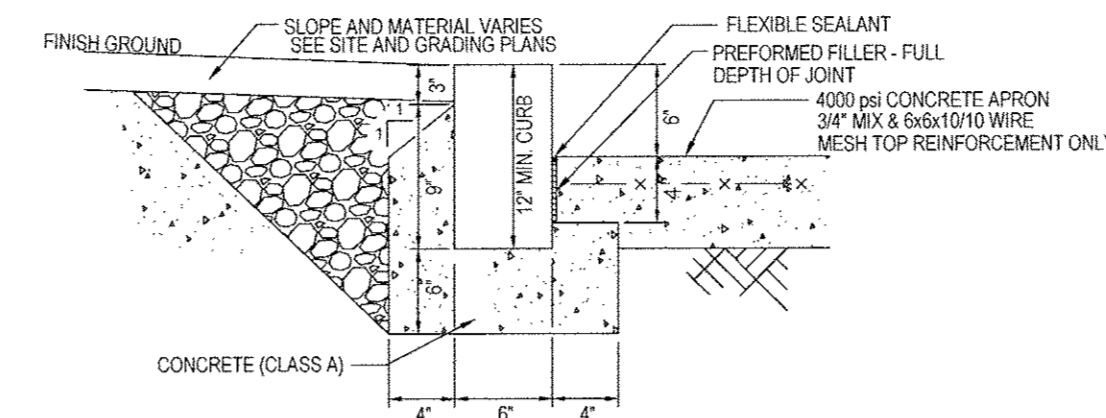
N.T.S.



NOTES:  
1. FRAME AND GRATE/COVER FOR EACH STORM STRUCTURE SHALL BE SET IN MORTAR BED.

PRECAST CONCRETE STORM CATCH BASIN

N.T.S.

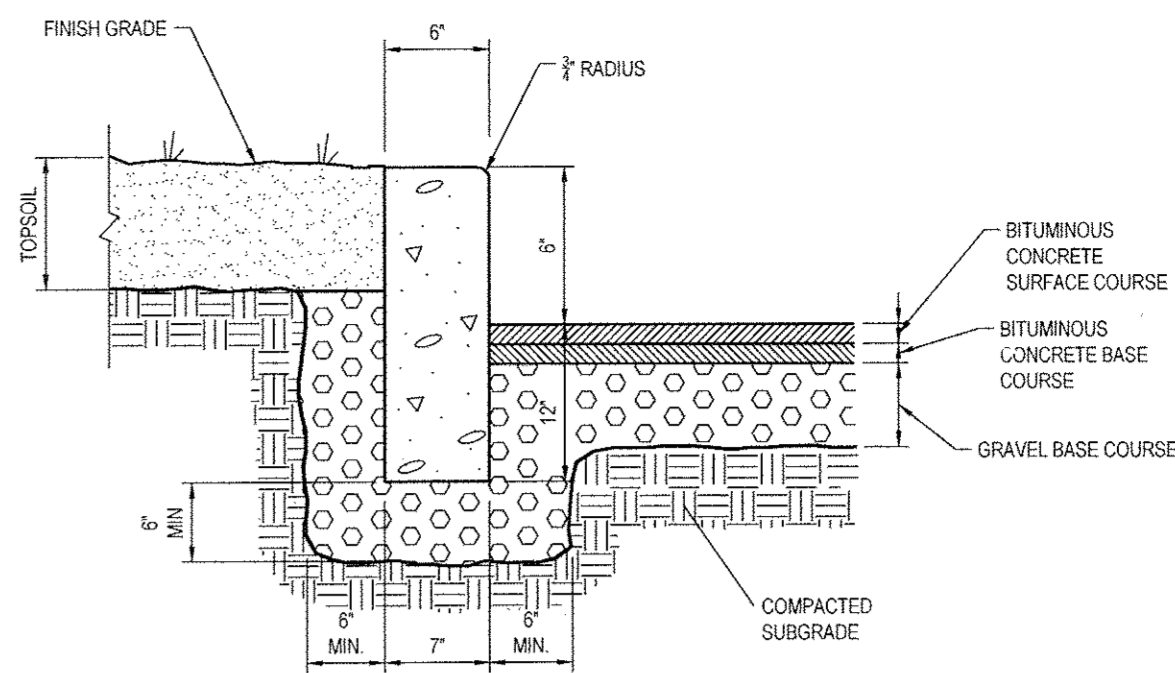


NOTE: VERTICAL GRANITE CURBING TO BE INSTALLED ONLY WHEN IT ABUTS CONCRETE (I.E. TANK MAT, CANOPY MAT, AIR TOWER, REMOVE FULL PAD). SLOPED GRANITE CURBING TO BE INSTALLED IN ALL OTHER LOCATIONS UNLESS SPECIFICALLY IDENTIFIED ON THE SITE PLAN.  
1. MAXIMUM LENGTH OF STRAIGHT CURB STONES - 18"  
2. MINIMUM LENGTH OF STRAIGHT CURB STONES - 8"  
3. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES SEE CHART  
4. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.  
5. SEE PAVEMENT DETAIL FOR SPECIFICATIONS ON PAVEMENT AND GRAVEL.

NOTE: FINAL CONCRETE AND PAVING DESIGNS SHALL BE SPECIFIED IN GEOTECHNICAL REPORT TO BE PROVIDED BY OWNER.

VERTICAL GRANITE CURB DETAIL

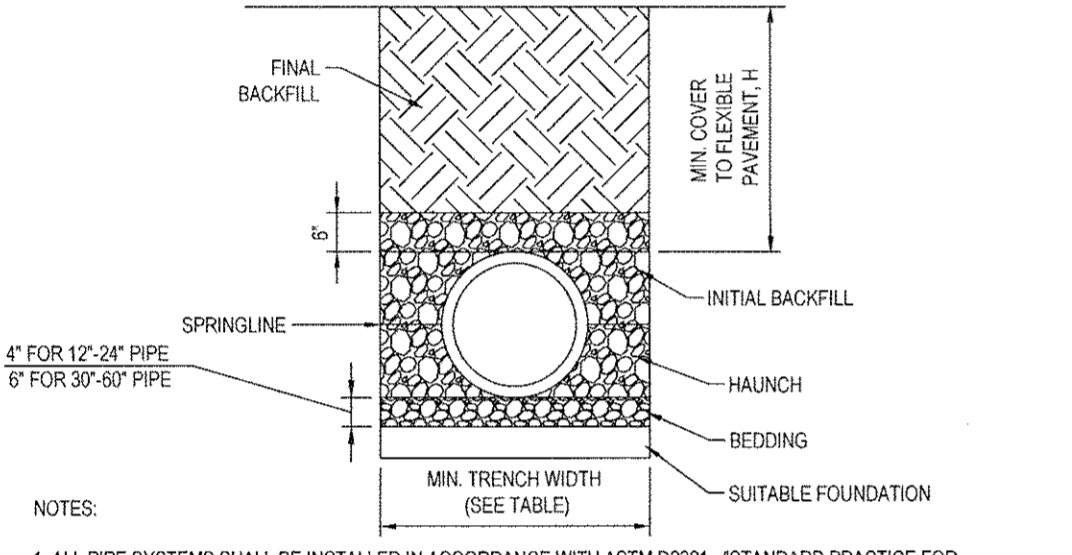
N.T.S.



NOTE: CURBS SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE. EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT/SEALER. THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH. THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

CONCRETE CURB DETAIL

N.T.S.

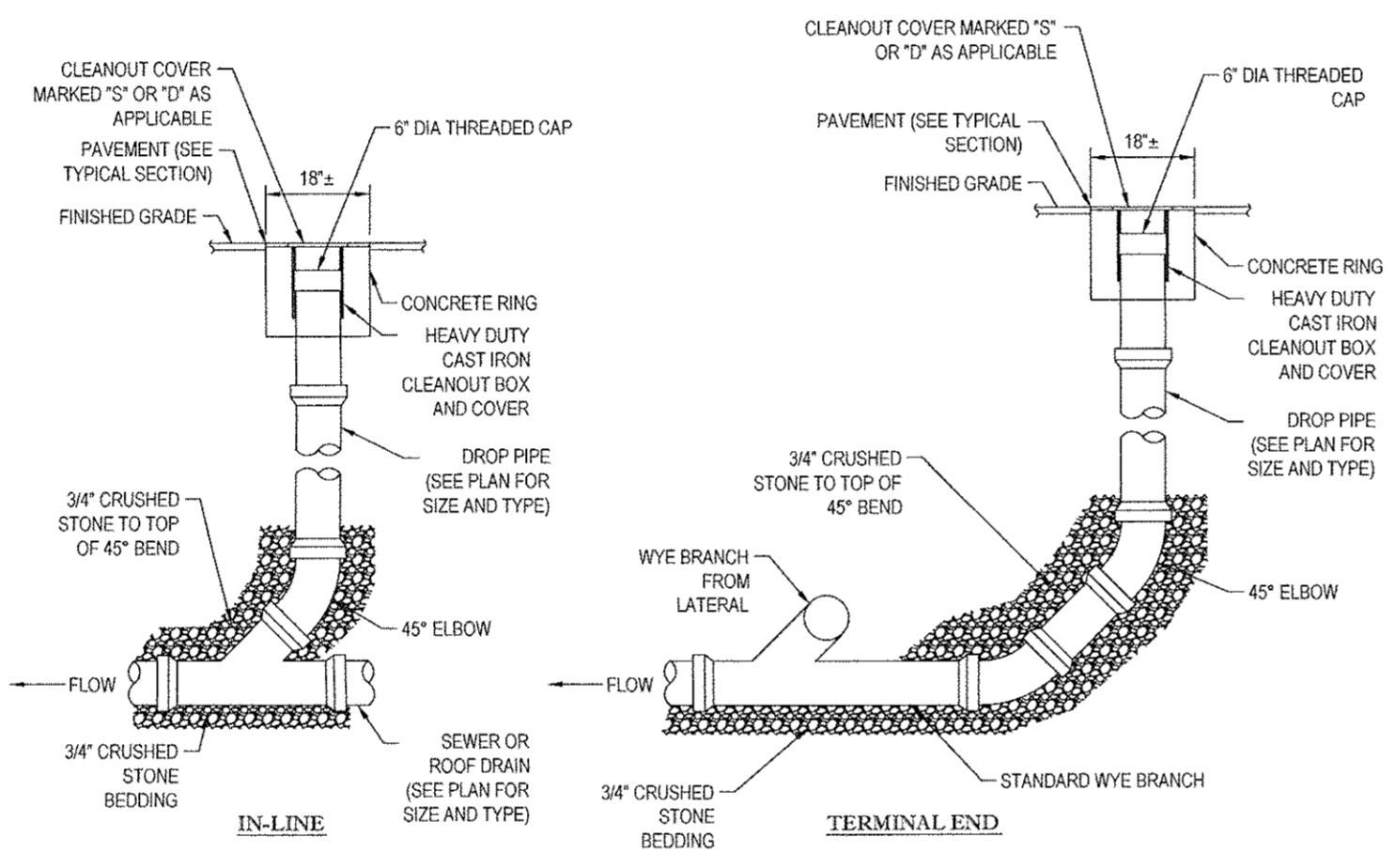


NOTES:  
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.  
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.  
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.  
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-900mm).  
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.  
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MIN. TRENCH WIDTH	
PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	28"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

HDPE STORM DRAINAGE TRENCH

N.T.S.



NOTES:  
1. CLEANOUTS TO BE INSTALLED WHERE INDICATED ON THE PLANS.  
2. CLEANOUT PIPE TO BE SAME SIZE AND MATERIAL AS SEWER/RAIN LINE UP TO 8".  
3. BACKFILL TO TOP OF 45° WITH 3/4" CRUSHED STONE.

SEWER/ROOF DRAIN CLEANOUT

N.T.S.

**BOHLER ENGINEERING**  
CORPORATE OFFICE:  
WARREN, NJ  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

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**PRELIMINARY**

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CHECKED BY: SCB  
DATE: 11/11/2015  
SCALE: AS NOTED  
CAD I.D.: B150208SS04

**CONCEPT PLAN**

FOR

**Cumberland FARMS**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**

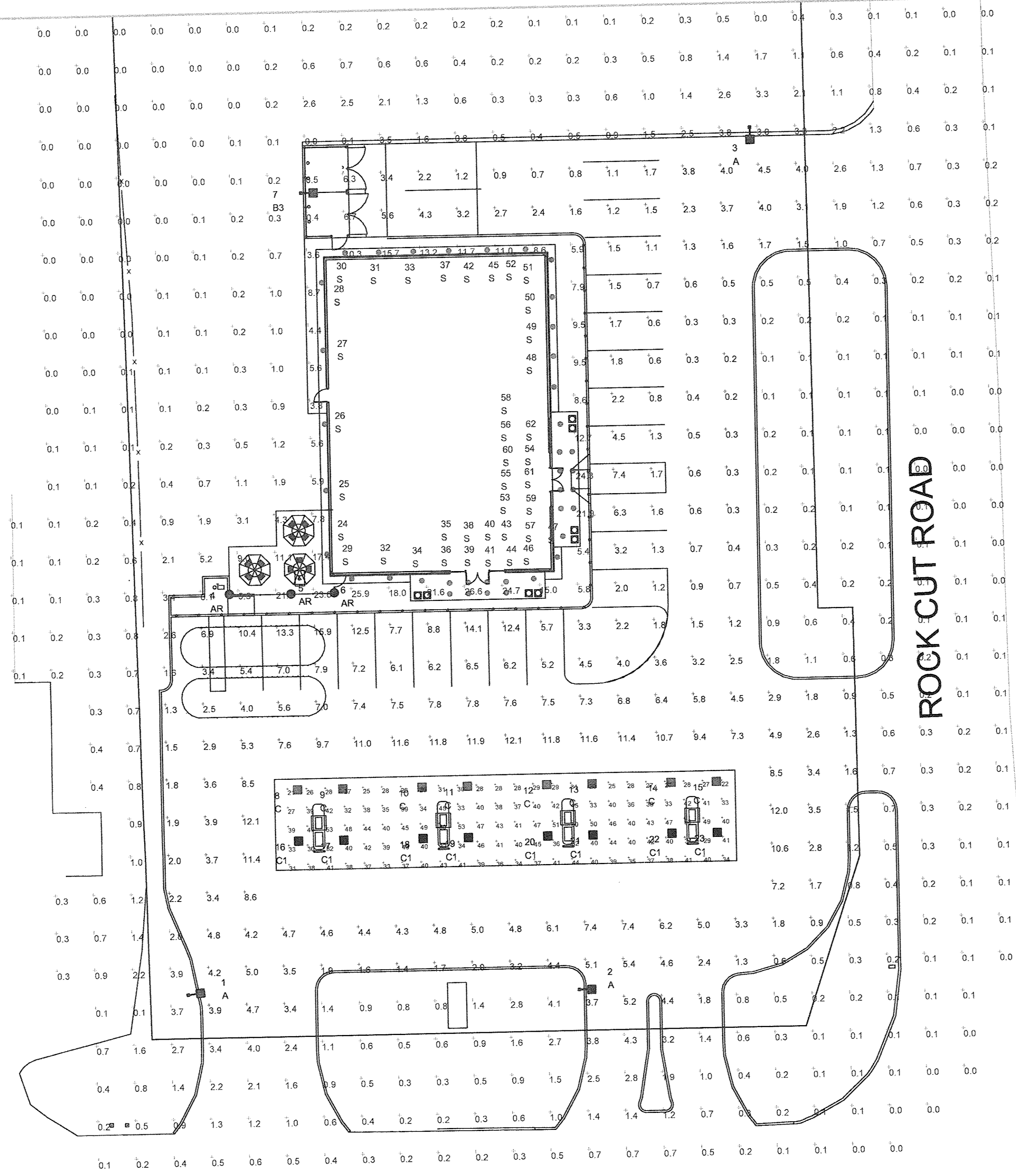
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**W.D. GOEBEL**  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE No. 071284-1  
OHIO LICENSE No. E-68329

SHEET TITLE:  
**SITE CONSTRUCTION DETAILS**

SHEET NUMBER:  
**CFG09.2**  
OF 1

REV 0



NOTE:  
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES  
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.  
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUM. NO.	LABEL	MTG. HT.
1	A	16.228
2	A	16.228
3	A	16.228
4	AR	8
5	AR	8
6	AR	8
7	B3	16.228
8	C	14
9	C	14
10	C	14
11	C	14
12	C	14
13	C	14
14	C	14
15	C	14
16	C1	14
17	C1	14
18	C1	14
19	C1	14
20	C1	14
21	C1	14
22	C1	14
23	C1	14
24	S	12
25	S	12
26	S	12
27	S	12
28	S	12
29	S	12
30	S	12
31	S	12

LUM. NO.	LABEL	MTG. HT.
32	S	12
33	S	12
34	S	12
35	S	16.228
36	S	16.228
37	S	12
38	S	16.945
39	S	16.945
40	S	16.945
41	S	16.945
42	S	12
43	S	16.228
44	S	16.228
45	S	12
46	S	12
47	S	12
48	S	12
49	S	12
50	S	12
51	S	12
52	S	12
53	S	16.228
54	S	16.945
55	S	16.945
56	S	16.228
57	S	12
58	S	12
59	S	16.228
60	S	16.945
61	S	16.945
62	S	16.228

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CONOPY	37.53	53	21	1.79	2.52
PAVED AREA	4.34	15.9	0.2	21.70	79.50
UNDEFINED AREA	1.29	26.6	0.0	N.A.	N.A.

**NEW YORK STATE ROUTE 17K**

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
AR	3	AR	SINGLE	7985	1.040	92	276	CREE INC.	ARE-EDR-5M-R5-04-E-UL-XX-700-57K
A	3	A	SINGLE	10705	1.040	132.5	397.5	CREE INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
B3	1	B3	SINGLE	8480	1.040	134	134	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-700-57K
C	8	C	SINGLE	12080	1.040	134	1072	CREE INC.	CAN-304-5M-RS-06-E-UL-XX-700-57K
C1	8	C1	SINGLE	13696	1.040	134	1072	CREE INC.	CAN-304-PS-RS-06-E-UL-XX-700-57K
S	39	S	SINGLE	1757	1.000	19.8	772.2	Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR +RC6 HOUSING

REV	BY	DATE	DESCRIPTION

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SCALE: 1" = 20'  
LAYOUT BY: TAS  
DATE: 3/15/16  
DRAWING NUMBER: RL-3609-S1

PROJECT NAME: CUMBERLAND FARMS NEWBURGH, NY  
CFG 10.0







Store # 1560  
VSH # V0932  
Oracle # NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner

Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

# ALLEVATO

Allevato Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

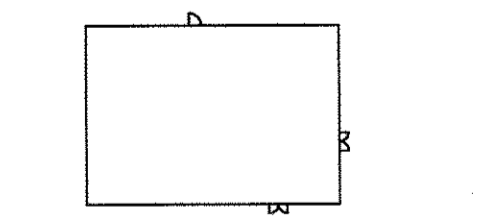
Scale

Consultant

Revisions

No.	Date	Issued for
12/9/15		SD SUBMISSION

Key Plan



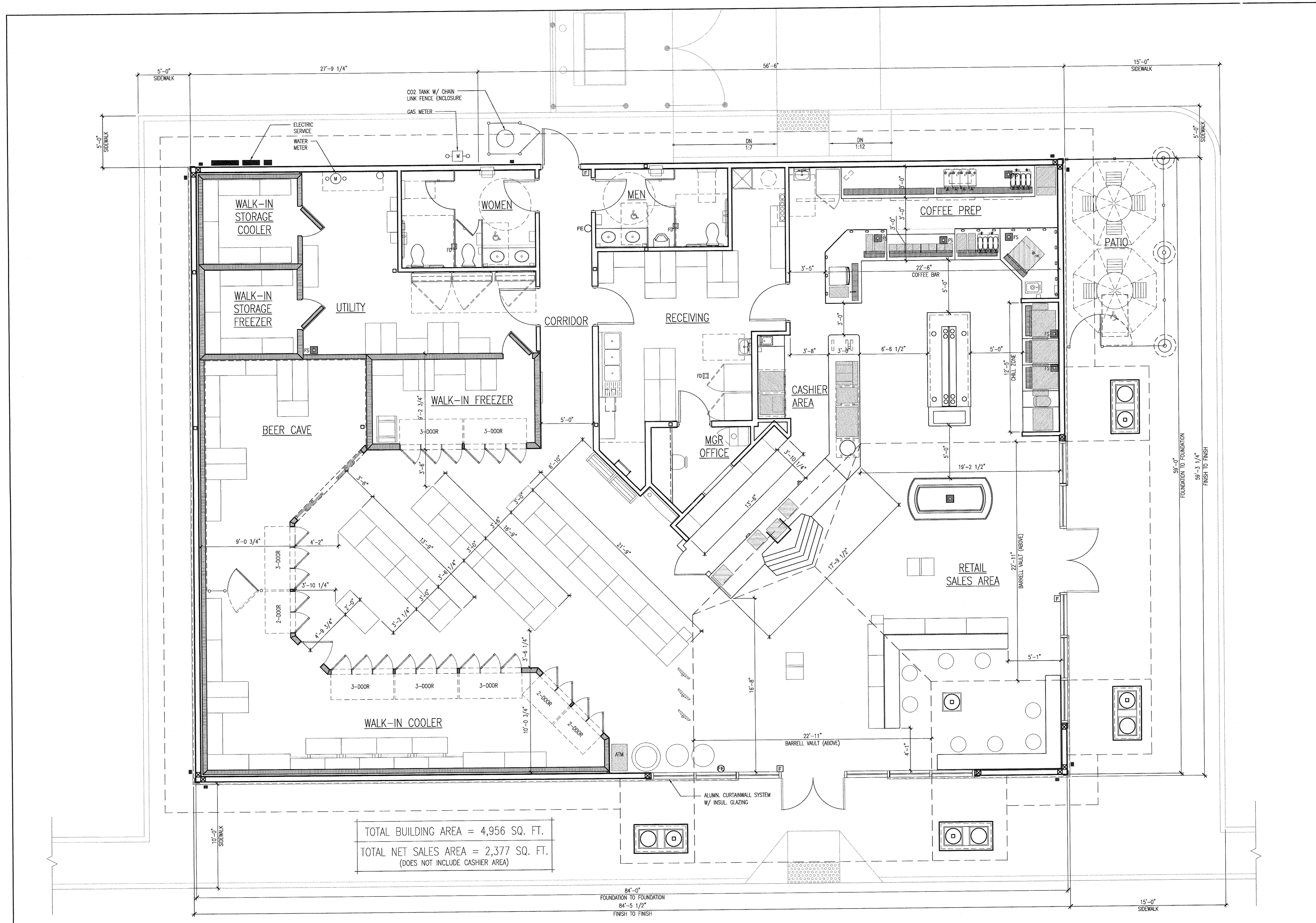
Title

## FLOOR PLAN

Date: 12/09/15

Drawing No.

# A1.1



1 FLOOR PLAN  
A1.1 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE						
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES	
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTEE		PAINT WHITE COLOR TO BE SELECTED BY ARCHITECT	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.	
SW-2	SYNTHETIC WOOD TRIM	CERTAINTEE		PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.	
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS		SMOOTH WHITE FINISH	16" X 9" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH	
VS-1	VINYL SIDING	CERTAINTEE	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.	
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY	
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTEE LANDMARK	LANDMARK	COBBLESTONE GRAY	30 YEAR WARRANTY	
GU-1	ALUMINUM GUTTER SYSTEM	HICKMAN	.050 ALUMINIUM	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATER TIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.	

5 FINISH SCHEDULE  
A3.1 SCALE: NTS

FRONT WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED  
INTERNALLY ILLUMINATED SIGN BOX

SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 37.6 SQ.FT



4 FRONT WALL SIGNAGE DETAIL  
A3.1 SCALE: 1/4" = 1'-0"

3 NOT USED  
A3.1 SCALE: NTS



2 RIGHT SIDE ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"

Project Title  
New Construction:



270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

ALLEVATO

Allevalo Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
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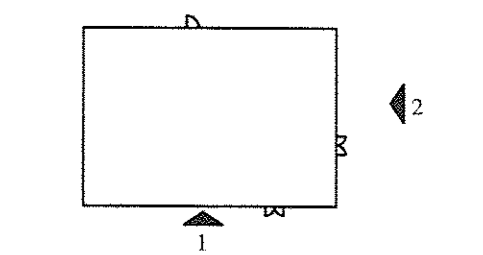
Seal

Consultant

Revisions

No.	Date	Issued for
1	12/9/15	5D SUBMISSION

Key Plan



Title  
EXTERIOR ELEVATIONS

Date: 12/09/15  
Drawing No.

A3.1



Store # 1560  
VSH # V0932  
Oracle # NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

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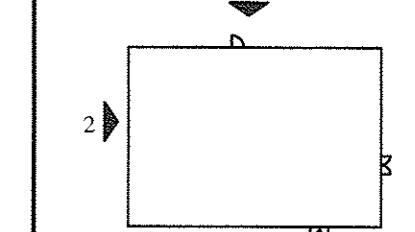
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Revisions

No.	Date	Issued for
1	12/9/15	SD SUBMISSION

Key Plan



Title

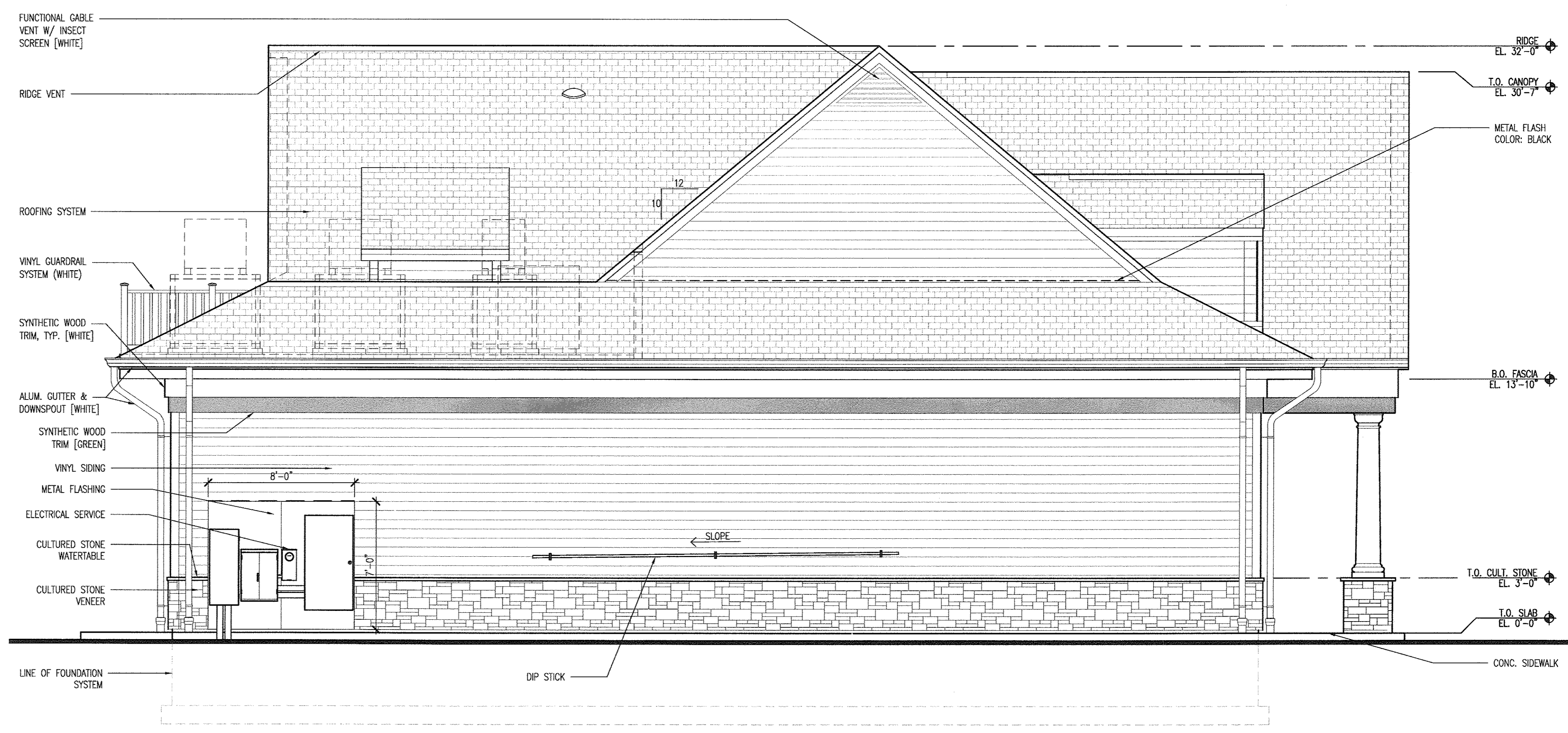
## EXTERIOR ELEVATIONS

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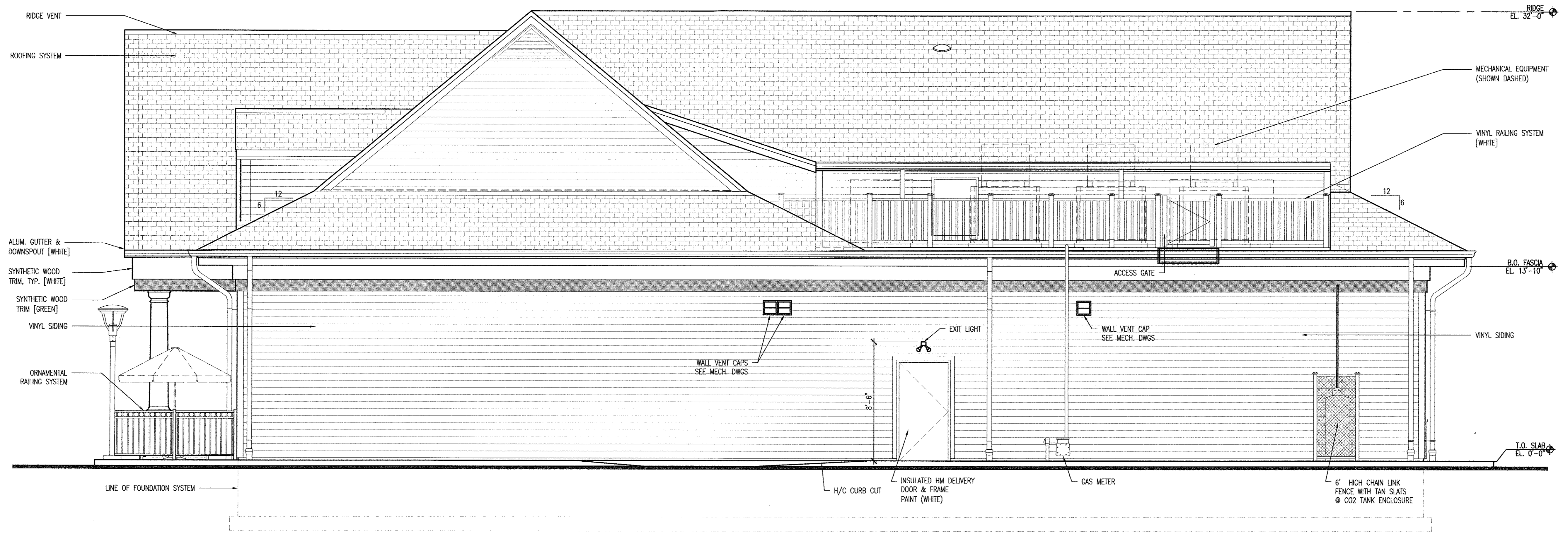
Drawing No.

Project No.

1500.59



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"