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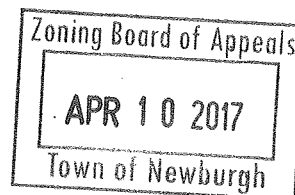
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April 4, 2017.

James E. Manley, Jr., Chairman
Town of Newburgh Zoning Board of Appeals
308 Gardnertown Road
Newburgh, NY 12550

RE: Cumberland Farms Variances
Section 86, Block 1, Lot 14/ & 15
Our File: 7457-1

Dear Mr. Manley:

This office represent Cumberland Farms which obtained from your Board variances for the development of its site plan which were granted following the June 23, 2016 public hearing, which decision was filed with the Town of Newburgh Clerk on September 23, 2016.

On December 15, 2016 the Town of Newburgh Planning Board granted conditional site plan approval for this project. It is our client's understanding that the six month expiration on the variance approval would commence upon the Planning Board approval. Our client is requesting one additional six month extension of those approvals. It is anticipated that construction on this project will commence in July and be completed by December 2017. If you need anything further please advise.

Very truly yours,

MCCABE & MACK LLP

RICHARD J. OLSON

RJO/me

cc: David A. Donovan, Esq.