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MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)  
MATTHEW J. SICKLER, P.E. (NY & PA)  
PATRICK J. HINES

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CUMBERLAND FARMS**  
**PROJECT NO.: 16-05**  
**PROJECT LOCATION: SECTION 86, BLOCK 1, LOT 14 & 15**  
**REVIEW DATE: 3 OCTOBER 2016**  
**MEETING DATE: 6 OCTOBER 2016**  
**PROJECT REPRESENTATIVE: BOHLER ENGINEERING**

1. The Applicant's representative must address County DPW comments requiring the elimination of one of the two proposed driveways to the County road.
2. Additional comments from the County DPW should be specifically addressed on the plan sheets.
3. The plan sheet should be resubmitted to NYSDOT with the revised County access to assure they do not have any additional comments based on the modified access route.
4. Truck turning movements through the site should be depicted on the plans to assure access by gasoline delivery tanker trucks.
5. County Planning comments were received and should be addressed by the Applicants representative when modifying plans for County DPW.
6. A stormwater control facility maintenance agreement must be executed prior to signing of the maps.
7. Landscape bonding and stormwater securities are required.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

Patrick J. Hines  
Principal  
PJH/kbw



# BOHLER<sup>TM</sup>

## ENGINEERING

17 Computer Drive West  
Albany, NY 12205  
PHONE 5:8.438.9900  
FAX 5:8.438.0900

### Via Overnight Delivery

August 16, 2016

Town of Newburgh  
308 Gardnertown Road  
Newburgh, NY 12550

Attention: Mr. John Ewasutyn, Planning Board Chairman

**Re: Response to Comments Summary  
Proposed Cumberland Farms  
270 NY-17K  
Town of Newburgh, New York**

Dear Mr. Ewasutyn:

Please find enclosed fifteen (15) copies of the updated Site Development Plans. On behalf of our client, Cumberland Farms, we are pleased to submit this response to comments summary to the July 21, 2016 comment letter from Mr. Patrick Hines at McGoey, Hauser and Edsall Consulting Engineers D.P.C. As part of this response to comments summary, enclosed please find two (2) copies of the Engineer's Report for this project. We have also sent Mr. Hines a copy of this submittal directly to his office.

1. A Stormwater Pollution Prevention Plan has been submitted and is under review by this office.  
*Comment noted.*
2. The discharge location for the existing pipe, which receives runoff from the Stormwater Management practices should be identified on the plans. Operation and maintenance of this drainage system should be addressed by the Applicants representative. Portions of the drainage are tributary to an NYSDOT culvert under Route 17K. This office is aware of maintenance issues identified by neighboring property owners.  
*Stormwater from the subject property discharges to an existing established drainage channel along the northern property line. This channel conveys stormwater from the subject property, portions of Rock Cut Road and lands to the east in a westerly direction across the adjoining westerly properties and ultimately across Route 17K. Stormwater from this point flows in a southerly and easterly direction through several tributaries which ultimately discharge to the Hudson River. There are many properties which are tributary to this drainage path. The Cumberland Farms property is a relatively small portion of this watershed. With regard to the existing pipe in the existing drainage channel at the northwest corner of the property, it appears the adjoining westerly property owner installed a pipe in this existing drainage channel to utilize more of his land for parking. It also appears he has ownership and maintenance responsibilities for this pipe, as we are not aware of any easements or agreements associated with it. The discharge location of the existing pipe referenced above is on private property on the adjoining westerly lands and is outside the scope of this project and is therefore not shown on the project survey or site development plans. The proposed stormwater management system for this project is designed to treat and discharge stormwater at a flow rate less than exists today. The proposed stormwater management system is designed to exceed the goals and requirements set forth by the NYSDEC for water quality, runoff reduction and water quantity controls. Stormwater from other privately owned properties and downstream conveyance pipes are not in control of or the responsibility of the applicant. The applicant is meeting their responsibilities by mitigating stormwater from this site per the guidelines set forth by the NYSDEC and are discharging treated stormwater at a controlled rate into an established drainage channel on our property which will follow the same flow path as exists today and at a flow rate less than exists today. We have added an overflow connection from our treatment system in the rear of the site which will discharge to the NYSDOT ROW in the front of the site in the event of a failure of the conveyance pipe and channel in the rear of the site. Cumberland Farms will be responsible for the ongoing operations and maintenance of their onsite stormwater treatment and conveyance systems.*



ORANGE COUNTY  
DEPARTMENT OF PUBLIC WORKS

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Christopher R. Viebrock, P.E.  
*Commissioner*

P.O. Box 509, 2455-2459 Route 17M

Goshen, New York 10924-0509

[www.orangecountygov.com](http://www.orangecountygov.com)

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FAX (845) 291-2778

*Steven M. Neuhaus*  
*County Executive*

Via Email [planningboard@townofnewburgh.org](mailto:planningboard@townofnewburgh.org)

September 29, 2016

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Rd  
Newburgh NY 12550

Re: Cumberland Farms Amended Site Plan  
Rock Cut Rd - County Route 23  
Town of Newburgh, SBL: 86-1-14 & 15  
Plans By Bohler Sheets Numbers 1-16 dated 1/12/16, Last Revised 5/3/16

Dear Mr. Ewasutyn:

This department has reviewed the Notice of Intent for Designation of Concerning Lead Agency, NYS General Municipal Law 239-1, m, and n Referral, Full Environmental Assessment Form, Cumberland Farms Narrative, and the Application for Subdivision/Site Plan Review for the referenced project. This office has no objection to the Town of Newburgh Planning Board being designated as lead agency.

This department has reviewed the plans for the above referenced project and has the following comments.

1. The County's Standard Note: "No site preparation or construction, including utility connections, shall commence until a valid Highway Work Permit has been secured from the Orange County Department of Public Works under Section 136 of the Highway Law" must be on all sheets of the project plan set.
2. We will require an "Offer for Dedication" for a portion of the southeast property line along County Road 23 (Rock Cut Road), a distance of 30' from the centerline of the existing pavement at one point. Both the permanent easement and the offer of dedication must be note on the plans (See the attached sketch area).

3. Eliminate the Southerly Entrance onto County Route 23 nearest to NYS RT 17K Intersection. See NCHRP Report 659 – Guide for Geometric Design of Driveways (Referenced in AASHTO). The NCHRP Report recommends minimum 120 ft from driveway to a signalized intersection or more as required to “enable the driveway to operate without being obstructed by the traffic backing up from the signal (page 21).
4. Provide additional information as to how the signalized intersection will be impacted by “New Trips” generated, specifically on County Route 23.
5. Provide truck turning radius for the Northerly Entrance from County Route 23 and NYS RT 17K to confirm that both entrances will accommodate trucks turning into the site.
6. Provide sight distances at each entrance and specify the speed limit on the drawings.

7. PROPOSED INFORMATION:

All proposed information must be provided in conformance with the Policy and Standards of Orange County Department of Public Works. Provide details for the Stop Sign, Stop Bar, Striping and Concrete Curbs. The Orange County Department of Public Works Policy and Standards is available on the County Website under the DEPARTMENT: Public Works.

Show all proposed grading at the commercial entrance(s) and along the County Road.

8. Provide the Standard Orange County Department of Public Works Notes to the plans as specified below.

GENERAL NOTES:

- Contractor shall be responsible for the removal and replacement of signs, guide rails, guide posts, culvert pipes, mailboxes, headwalls, etc. which must be removed for construction. Contractor shall reinstall any removed items on a daily basis. Any items damaged by removal or reinstallation shall be replaced and reinstalled by the contractor with a new item.
- No utility work (Water, Sewer Storm Drainage) is allowed to be performed between November 15 and March 15 within the County Right of Way.
- No track equipment is allowed on the County Road without placing mats, plywood, tires, etc. to protect the asphalt road.
- No open trenches are allowed to remain open over night. All open trenches are required to be backfilled on a daily basis.
- No road plates are allowed to be used overnight. Road plates are only allowed to be used during daily operations to maintain traffic on the roadway and at residential/commercial driveways. The contractor is responsible for the proper coordination with homeowners and businesses to ensure that they enter and exit their driveways during the course of day to day operations.

STABILIZED CONSTRUCTION ENTRANCE:

- Provide a stabilized Construction Entrance Detail. The stabilized entrance is required to be a minimum of 50 feet long by 12 feet wide and thickness of 12 inches thick.

- Show all Soil and Erosion Control measures onto County Route 23. A Stabilized Construction Entrance is required at the entrance(s) in accordance with Orange County Department of Public Works Policy and Standards.

#### PROPOSED DRIVEWAY:

- The driveway apron of the Commercial entrance is required to be paved per Orange County Specifications for the first 50 feet from the edge of pavement. See the commercial entrance standard details in the policy and standards.
- The proposed radius of the commercial entrances per policy and standards is required to be 30 ft to 40ft. The 10 ft radius is not acceptable.
- Provide plan and profile specifying the Low Point and as it relates to the edge of pavement with dimensions. A minus -2% slope is required to from the edge of pavement for the first 20 feet.

#### SWALES/DITCHES:

- Grading along the entire frontage of County Route 23 is required to ensure positive drainage. Currently, there are areas where ponding occurs along the edge of pavement along the County Road. The area required grading shall be clearly delineated on the plans.
- All swales are required to be graded on and along the entire frontage or as ordered by Orange County to ensure positive drainage.
- All disturbed areas are to be graded, seeded, and strawed on a daily basis.

#### LANDSCAPING:

- No plantings (shrubs/trees) or landscaping features (Stone Pillars, Stone Walls, Signs, etc.) shall be placed within the County Right of Way.

#### BACKFILL MATERIALS:

- Provide Cross Section Details for Backfill Requirements within the Asphalt, Within 8 feet of the Edge of Pavement, and 8 feet beyond from the Edge of Pavement.
- Dry K Crete shall be used at all road crossing (town roads), commercial entrances, and all trenches within Asphalt or as directed by Orange County Inspector.
- Item No. 4: Item 304.12 Subbase Course Type 2 is required to be used as backfill from edge of pavement out eight feet.
- Excavated material is allowed to be used as backfill material 8 ft beyond the edge of pavement. No boulders/rocks over 12 inches are allowed to be used as backfill.
- Material tickets are required to be provided to the Orange County Inspector on a daily basis for all material used in the County Right of Way.

#### ASPHALT RESTORATION:

- All pavement restoration needs to be completed on a daily basis.
- Ragged trench edges must saw cut prior to any paving (temporary or permanent).
- It will be the responsibility of the contractor to maintain the 5" of binder course flush with the existing pavement surface throughout the duration of the project. Final asphalt restoration is to be completed at the completion of the project.

- All temporary asphalt is required to be five (5) inches thick and placed in two (2) lifts of 2 ½ inches.
- All edges of existing asphalt are required to be swept and tack coated prior to paving.
- All Asphalt is required to be **saw cut** parallel or perpendicular to the trench or to the existing asphalt. No ragged edges are acceptable.
- All saw cutting is required to be performed prior to placing Asphalt Binder. Milling out the jagged edges on the top course or final asphalt will not be accepted by Orange County.
- All Asphalt Joints are required to be crack sealed upon completing final paving.

#### MAINTENANCE AND PROTECTION OF TRAFFIC:

- Provide notes that all work is to be performed in accordance with Orange County Requirements. The following signs are required to be placed in each direction to perform the work per the approved plans: Road Work 1500 Ft, Road Work 1000 Ft, Road Work 500 Ft, One Lane Road Ahead, Flagger Symbol on each approach when taking a travel lane. When work is performed on the shoulder the following signs are required: Road Work 1500 Ft, Road Work 1000 Ft, Road Work 500 Ft, No Shoulder. Flagger Symbols are required to be available for a "No Shoulder" Work Zone in case flaggers are used to direct traffic.
- All Maintenance and Protection of Traffic Construction Signage shall be installed and in place prior any work starting. All construction signage is required to meet the requirements as per the "National Manual of Uniform Traffic Control Devices for Streets and Highways" and NYS Supplement latest edition and revisions. In a case where County requirements are more stringent with regard required MPT signage, the County requirements are the standard to be adhered to. The construction signage shall be installed on permanent posts, on breakaway posts or on wind-masters and covered and uncovered on a daily basis. The contractor must have all the necessary construction signs to perform the work safely; i.e. Additional signage: One Lane Road Ahead, Flagger Symbol, if a lane has to be closed to perform work
- All construction signage is required to be **730-05.02 - ASTM Type III (Class B)** as per NYS Standard Specifications: Construction and Materials. Hi-intensity reflective sheeting often referred to as high intensity. It is recommended for highway signs, construction signs, delineators, and other work zone devices.
- Work zone is required to be properly delineated with cones or construction barrels.
- Orange County reserves the right to preclude all work and lane closures during any inclement weather or other unforeseen circumstances (i.e. wet, icy conditions, reduced visibility, traffic accidents on state, county, town or village road, or other emergencies).
- No lanes closures will be permitted from 12 noon prior to a holiday and until 10 am the day after the holiday.
- Flaggers shall not control more than one approach at anytime throughout the duration of the work zone. Additional flaggers are required to control all approaches in a work zone.
- Eighteen (18) inch stop and slow paddles are required to direct traffic.
- Two way radios are required for flaggers to communicate between each other.

OSHA Requirements: must be adhered to at all times, i.e.

**Shoring**

The contractor shall be responsible for shoring any trench or excavation that is greater than 5 feet deep or which, in the opinion of the OCDPW inspector in the field poses a danger to the contractor personnel on the job. The contractor has the option of using a prefabricated shoring system, installing a timber-constructed system as per OSHA specifications or a timber system designed and stamped by a professional engineer. No other shoring system will be approved for use on this project.

Work Hours:

- The normal working hours for this project are 7:00 A.M. to 3:30 P.M. All traffic lanes must be back in service by 4:30 P.M. OCDPW must approve any changes to these hours in advance.
- No holiday work as per Orange County's Approved Holiday Schedule.

The above referenced comments are based on a review of the plans submitted. We have attempted to make the review as complete as possible; however upon submitting revised plans and the nature of the revision further comments may be required.

If you have any questions, please contact this office at your earliest convenience.

Very Truly Yours,



Mike Carroll  
Senior Engineer

Cc: Travis Ewald, PE, Deputy Commissioner  
Joseph Stankavage, PE, Principal Engineer  
Scott Shearing, Bohler Engineering, via email [sshearing@bohlereng.com](mailto:sshearing@bohlereng.com)  
James Gillispie Bohler Engineering, via email [jgillespie@bohlereng.com](mailto:jgillespie@bohlereng.com)

3. Orange County Planning referral is required. This office will submit plans to Orange County now that SWPPP has been submitted, additional copy of applications, environmental assessment forms, plans and SWPPP should be provided.  
*Comment noted, we have provided additional copies as requested.*
4. Orange County DPW and NYSDOT approvals are required for driveway access points.  
*Comment noted, we have completed a preliminary submittal to the NYSDOT and to the OCDPW.*
5. The Planning Board should review the Landscape plan, specifically the stone wall designs proposed to mitigate design guidelines of parking in the front yard. A detail of the stone wall should be provided on the plans.  
*The requested details have been added to the plans.*
6. This office is awaiting submission of the Sanitary Sewer Pump Station and associated design details, including grease trap sizing.  
*A sanitary sewer pump station design report as well as design details and grease trap sizing has been included in this submittal.*
7. Water service lateral must be set up such that when sprinkler system is terminated potable water is terminating valving must be provided to incorporate that.  
*The proposed water service valves and service lines have been updated on the Utility Plan as requested.*
8. Water service lateral does not appear to meet separation distances from drainage pipe along rear of structure.  
*Water service lateral has been revised to meet separation distances from drainage pipe.*
9. It is requested the Applicants pursue NYSDOT and Orange County DPW comments for access as soon as possible in order to determine if those agencies will require modifications to the plans. Orange County DPW will require notes on plan sheets which state no construction may commence until county permit is issued. Orange County DPW standard access detail will be required on the plan sheets.  
*We have completed a preliminary submittal to the NYSDOT and the OCDPW and are awaiting comments from both.*
10. Landscaping plan has an incomplete owner maintenance responsibility note.  
*The owner maintenance responsibility note has been revised to included specific requirements from the Town Code.*
11. Details of the hydrodynamic separator and the drainage manhole/outlet control structure should be added to the plans.  
*The requested details have been added to the plans.*

Should you have any questions or any additional needs please do not hesitate to contact us at (518) 438-9900.

Sincerely,

**BOHLER ENGINEERING, LLC**

  
James R. Gillespie

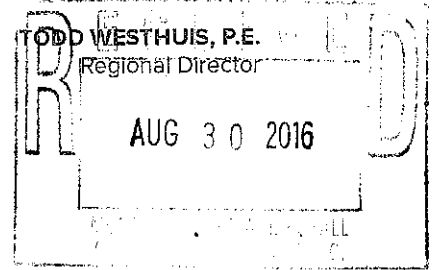




Department of Transportation

ANDREW M. CUOMO  
Governor

MATTHEW J. DRISCOLL  
Commissioner



August 22, 2016

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

Re: **NYS DOT SEQR #: 16-142**  
**Cumberland Farms**  
**Route 17K**  
**Town of Newburgh; Orange County**

Dear Mr. Ewasutyn:

A submittal for the subject proposal was received by this Department on August 16, 2016. Included were the Full Environmental Assessment Form Part 1, the Stormwater Pollution Prevention Plan and Site Development Plans. Also received was the request from the Town Planning Board declaring its intent to act as Lead Agency to conduct all necessary review under SEQRA. The New York State Department of Transportation consents to the Town of Newburgh Planning Board serving as Lead Agency for review of the referenced proposal.

It is anticipated that a Highway Work Permit (HWP) will be required as part of the proposed action. A detailed engineering review is necessary and required for issuance of a HWP. The applicant should be directed to contact the local HWP Engineer to initiate a review process. Please contact:

Siby Zachariah-Carbone, Permit Engineer  
NYS Department of Transportation  
112 Dickson Street  
Newburgh, NY 12550  
Phone # (845) 562-8368

The applicant is also encouraged to review the permit process and all required HWP forms on the NYS DOT website (<https://www.dot.ny.gov/index>) In particular, please review the PERM33-COM form.

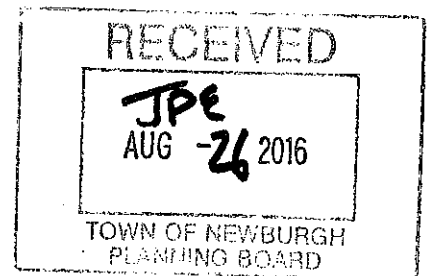
**Please submit subsequent plans and documents for this project as well as those for any future development proposals in digital (PDF.) – CD, DVD or Thumb drive.**

Very truly yours,

Michael P. Manning  
SEQRA Unit

cc: L. Zimmer, P.E. Regional Permit Coordinator  
Siby Zachariah-Carbone, Permit Engineer, Residency 8-4  
Scott Shearing, Bohler Engineering  
Orange County Planning Dept.

FILE COPY







**LOT AND BULK REQUIREMENTS:**

TOWN OF NEWBURGH - ZONE IB (INTERCHANGE BUSINESS)

REQUIRED	
FRONT SETBACK	50'
SIDE SETBACK	50'
REAR SETBACK	60'
MAX. BLDG. HEIGHT	35'
MAX. BLDG. LOT COVERAGE PERCENT	40%
MIN. LOT AREA	40,000 S.F.
MIN. LOT WIDTH	150

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-15 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. 3019-760197, EFFECTIVE DATE AUGUST 14, 2015, "SCHEDULE "B"-II" (EXCEPTIONS):

ITEM NO 5: DRAINAGE EASEMENT TO THE COUNTY OF ORANGE, BOOK 2032, PAGE 928 (N). APPROXIMATE LOCATION SHOWN HEREON.

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-14 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. NCS-759898-H0U1, EFFECTIVE DATE AUGUST 21, 2015, "SCHEDULE "B"-II" (EXCEPTIONS):

ITEM NO 6: COVENANTS AND RESTRICTIONS, EASEMENTS AND AGREEMENTS: NONE

**TAX PARCEL NUMBER:**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK  
SEC. 86.00 - BLK. 1 - PARCELS 14 & 15

**MAP REFERENCES:**

- "CUMBERLAND FARMS LOT LINE ADJUSTMENT PLAN," PREPARED BY CONTROL POINT, DATED MARCH 28, 2002, LAST REVISION MAY 30, 2002 PROVIDED BY THE CLIENT.
- "COCHECTON TURNPIKE PART 2, S.H. 43" MAP NO. 46, PARCEL NO. 52 SHEET 1 OF 1, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 8, POUGHKEEPSIE, N.Y.

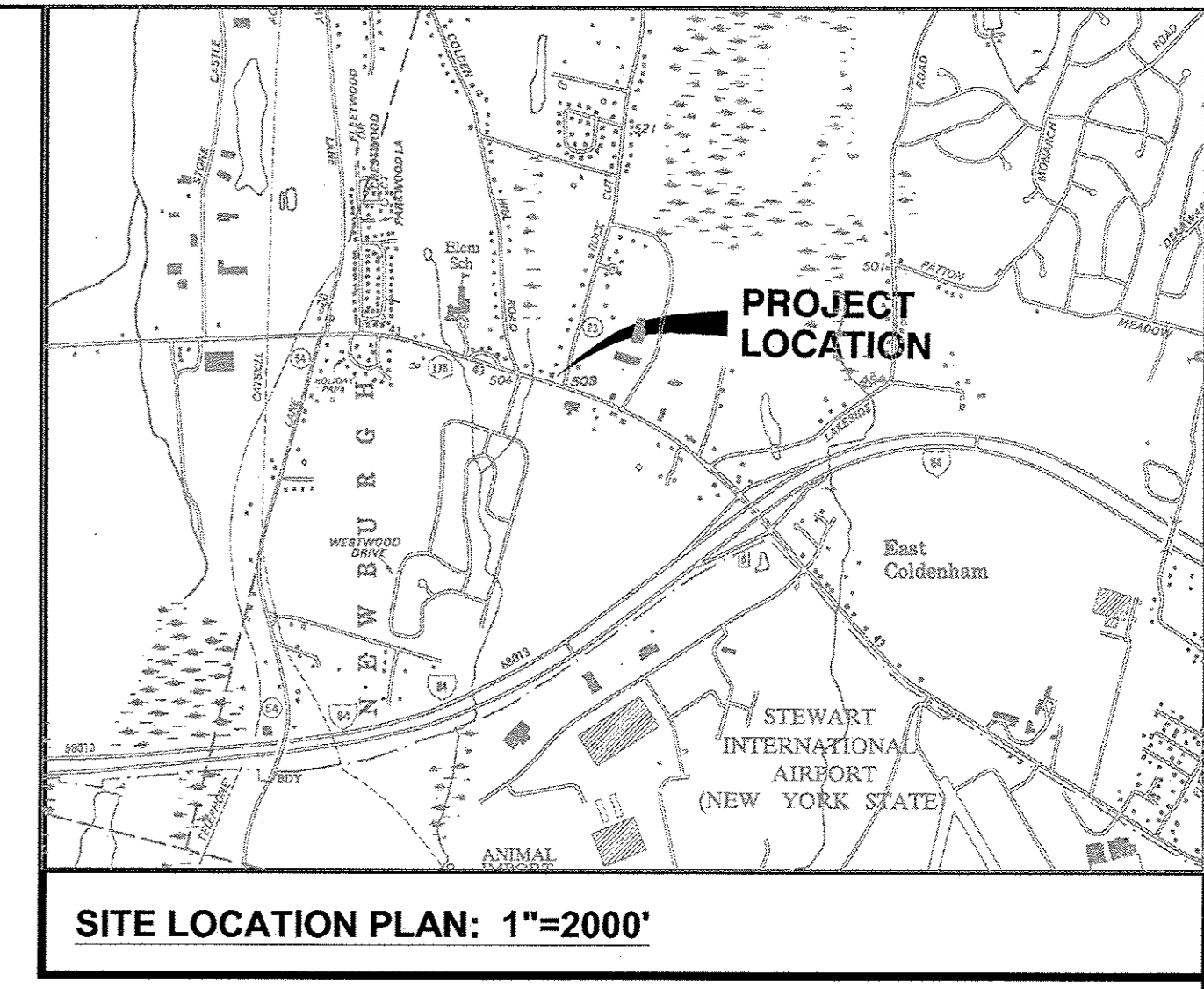
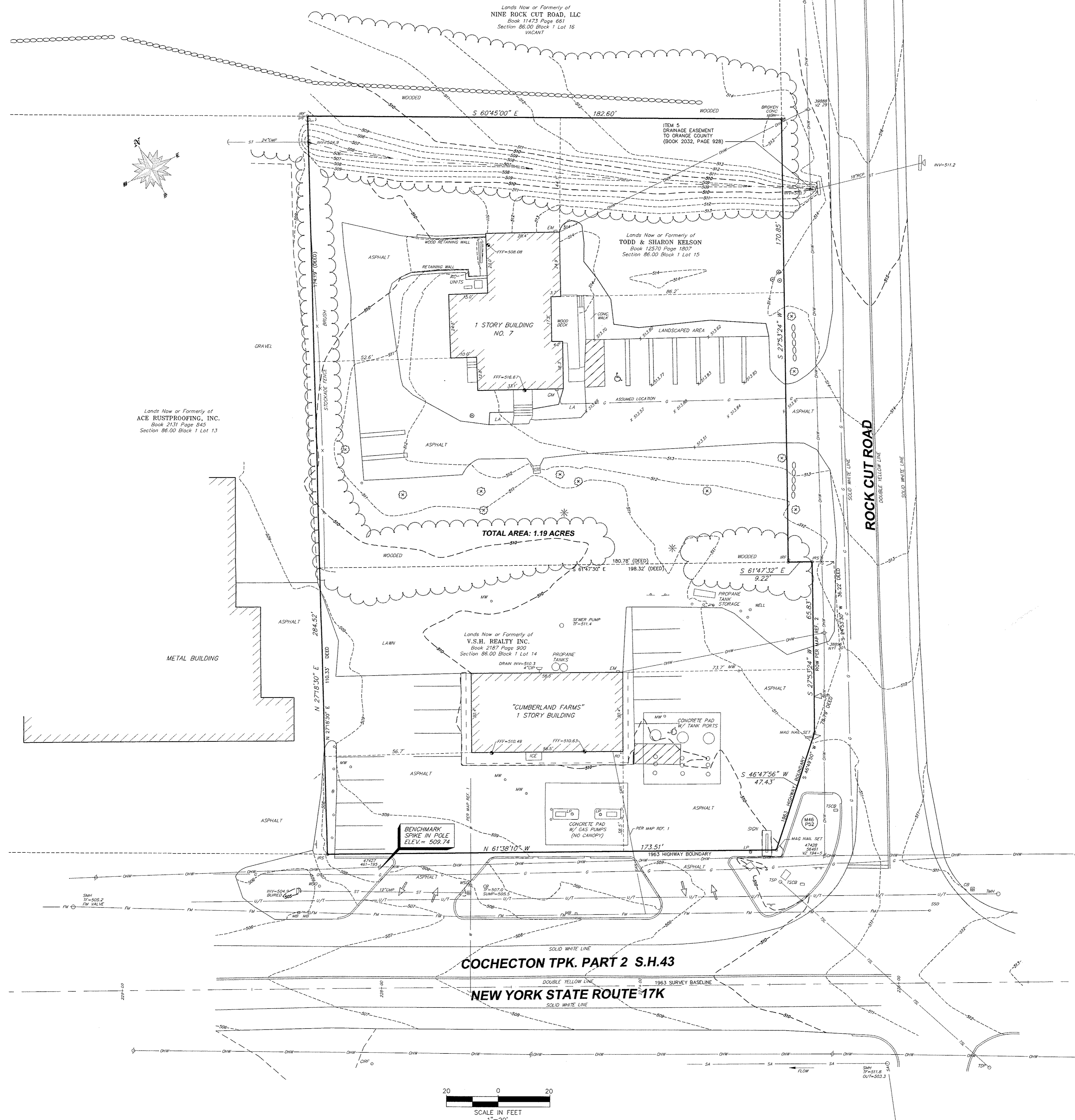
**DEED REFERENCES:**

- F.E.S. REALTY CO. TO V.S.H. REALTY INC., DATED JANUARY 16, 1981 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 2187 AT PAGE 900.
- MICHELLE MARCUS TO TODD A. AND SHARON L. KELSON, DATED NOVEMBER 2, 2007 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 12570 AT PAGE 1807.

**GENERAL NOTES:**

- NORTH IS ORIENTED TO DEED REFERENCE 1
- VERTICAL DATUM IS NGVD29 AS PER MAP REFERENCE 1
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
- SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
- SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.



**LEGAL DESCRIPTION:**

LANDS OF V.S.H. REALTY (RECORD DESCRIPTION)  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF NEW YORK STATE ROUTE 17-K WITH THE WESTERLY SIDE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE NORTHERLY SIDE OF NEW YORK STATE ROUTE 17-K NORTH 61 DEGREES 38 MINUTES 10 SECONDS WEST A DISTANCE OF 173.51 FEET TO A HIGHWAY MONUMENT; RUNNING THENCE NORTH 27 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 110.33 FEET; RUNNING THENCE SOUTH 61 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 198.32 FEET TO THE WESTERLY LINE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE WESTERLY LINE OF ROCK CUT ROAD THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) SOUTH 24 DEGREES 53 MINUTES 30 SECONDS WEST A DISTANCE OF 36.22 FEET; (2) SOUTH 46 DEGREES 49 MINUTES 50 SECONDS WEST A DISTANCE OF 78.79 FEET TO THE POINT OR PLACE OF BEGINNING

LANDS OF KELSON (DESCRIPTION OF RECORD)  
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND LYING AND BEING IN, THE TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE LANDS N/F VSH REALTY (TAX LOT 86-1-14) AND THE LANDS N/F COCHECTON TURNPIKE (TAX LOT 86-1-15); THE SUBJECT PREMISES: THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, N 37° 12' 46" E A DISTANCE OF 170.38' TO A CONCRETE MONUMENT; THENCE, N 51° 25' 38" W A DISTANCE OF 182.60' TO A POINT; THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F ACE RUSTPROOFING, INC., S 36° 37' 52" W A DISTANCE OF 174.19' TO A POINT; THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F VSH REALTY, S 52° 37' 08" E 180.78' TO THE POINT OR PLACE OF BEGINNING.

COMBINED PARCEL:  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF THE COCHECTON TURNPIKE, S.H. 43 ALSO KNOWN AS N.Y.S. ROUTE 17K AND THE WESTERLY LINE OF ROCK CUT ROAD; THENCE IN A WESTERLY DIRECTION AND ALONG SAID NORTHERLY LINE OF N.Y.S. ROUTE 17K; NORTH 61°38'10" WEST, 173.51 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ACE RUSTPROOFING, INC. (BOOK 2131, PAGE 845), NORTH 27°18'30" EAST, 284.52 FEET TO AN IRON ROD FOUND; THENCE IN AN EASTERLY DIRECTION AND ALONG THE SOUTHERLY LINE OF THE LANDS NOW OR FORMERLY OF NINE ROCK CUT ROAD, LLC (BOOK 11473, PAGE 661), SOUTH 60°45'00" EAST, 182.80 FEET TO A POINT; THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORESAID WESTERLY LINE OF ROCK CUT ROAD, THE FOLLOWING FOUR COURSES: 1) SOUTH 27°53'24" WEST, 170.85 FEET TO A POINT; 2) SOUTH 61°47'30" EAST, 9.22 FEET TO A POINT; 3) SOUTH 27°53'24" WEST, 65.83 FEET TO A POINT AND 4) SOUTH 46°47'56" WEST, 47.43 FEET TO THE POINT OR PLACE OF BEGINNING.

CONTAINING IN ALL 1.19 ACRES OF LAND BEING MORE OR LESS

**FLOOD ZONE NOTE:**

PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 3607100138E, PANEL 138 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

**CERTIFICATION:**

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(c), 7(c), 7(b)(1), 7(c), 8, 9, 10 (c), 11(c), 13, 14, 16 & 18 OF TABLE A THEROF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 14, 2015.

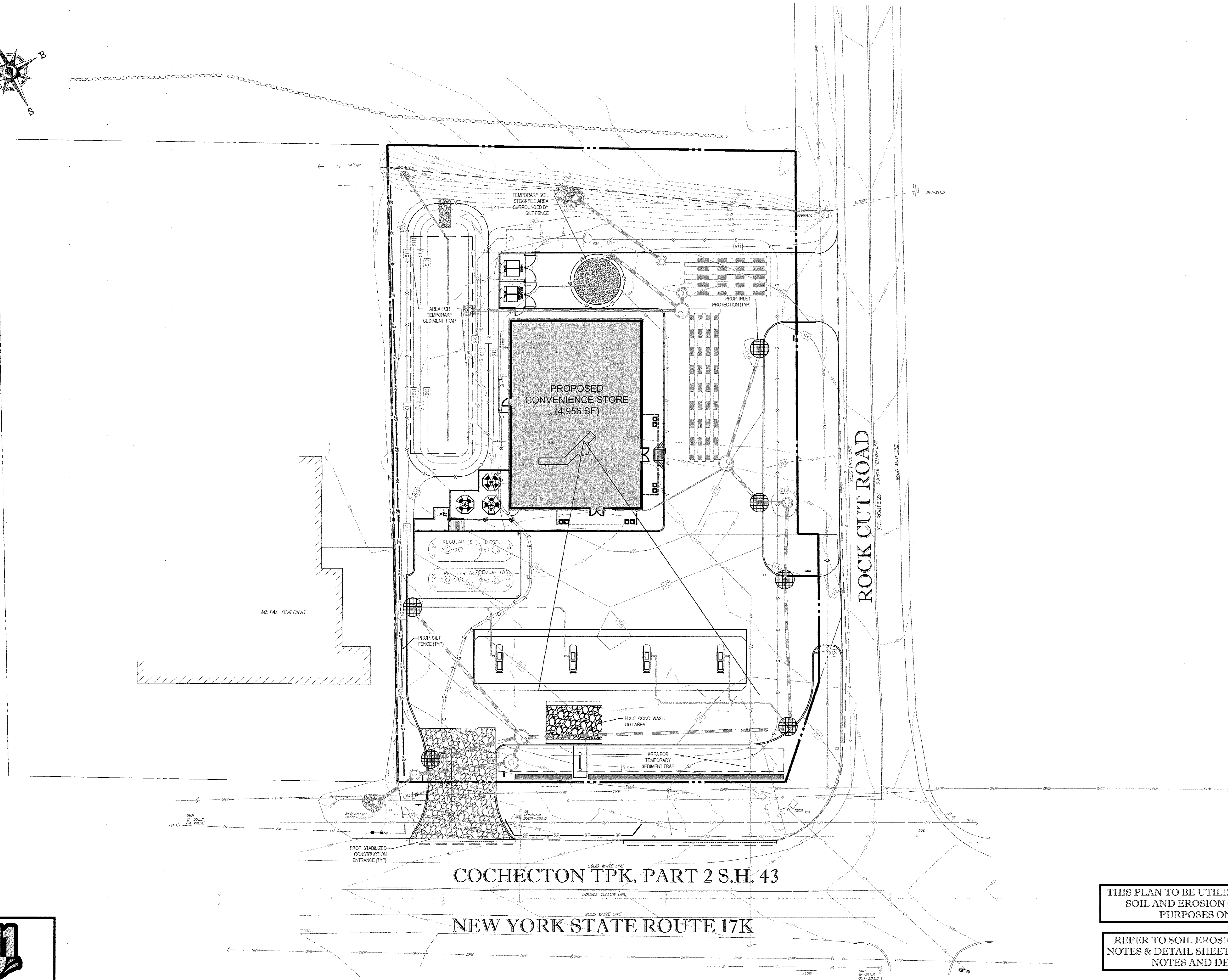
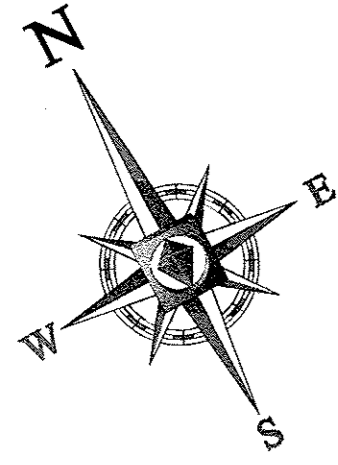
SIGNED: *Vincent P. Ausfeld* DATE: NOVEMBER 27, 2015  
N.Y.S. REGISTRATION NO. 049597

<p>270 ROUTE 17K <b>ALTA/ACSM LAND TITLE SURVEY</b> OF THE LANDS OF <b>V.S.H. REALTY, INC. &amp; TODD AND SHARON KELSON</b></p>		
<p>TOWN OF NEWBURGH</p>	<p>ORANGE COUNTY, N.Y.</p>	
<p>SCALE: 1"=20'</p>	<p>OCTOBER 28, 2015</p>	
<p>DRAWN BY: KCV</p>	<p>PROJECT NO: 15-1563</p>	
<p><b>Austfeld &amp; Waldroff Land Surveyors LLP</b> 514 State Street, Schenectady N.Y. 12305 Phone: (518) 346-1595 Fax: 318-770-1655</p>		<p>VINCENT P. AUSFELD P.L.S. LICENSE #49597 www.awslfp.com</p>









COCHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

ROCK CUT ROAD

METAL BUILDING

PROPOSED  
CONVENIENCE STORE  
(4,956 SF)

TEMPORARY SOIL  
STOCKPILE AREA  
SURROUNDED BY  
SILT FENCE

AREA FOR  
TEMPORARY  
SEDIMENT TRAP

PROP. INLET  
PROTECTION (TYP)

PROP. SILT  
FENCE (TYP)

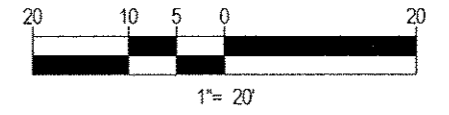
PROP. CONC. WASH  
OUT AREA

AREA FOR  
TEMPORARY  
SEDIMENT TRAP

PROP. STABILIZED  
CONSTRUCTION  
ENTRANCE (TYP)

THIS PLAN TO BE UTILIZED FOR SITE  
SOIL AND EROSION CONTROL  
PURPOSES ONLY

REFER TO SOIL EROSION CONTROL  
NOTES & DETAIL SHEET FOR EROSION  
NOTES AND DETAILS



**BOHLER ENGINEERING**  
 CIVIL AND CONSULTING ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 TRANSPORTATION SERVICES  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 PROGRAM MANAGEMENT  
 TRAFFIC CONTROL  
 CONSTRUCTION MANAGEMENT  
 ENVIRONMENTAL SERVICES  
 SURVEYING  
 GEOTECHNICAL ENGINEERING  
 HYDROLOGICAL ENGINEERING  
 WATER TREATMENT DESIGN  
 AIR QUALITY ANALYSIS  
 HISTORIC PRESERVATION  
 ARCHITECTURAL SERVICES  
 INTERIOR DESIGN  
 EXTERIOR DESIGN  
 LIGHTING DESIGN  
 SIGNAGE DESIGN  
 FURNITURE DESIGN  
 ACCESSIBILITY DESIGN  
 SECURITY DESIGN  
 AV DESIGN  
 IT DESIGN  
 USER EXPERIENCE DESIGN  
 RESEARCH AND ANALYSIS  
 STRATEGIC PLANNING  
 BRAND DEVELOPMENT  
 MARKETING CAMPAIGNS  
 SALES AND MARKETING  
 CUSTOMER SERVICE  
 OPERATIONS  
 FINANCIAL SERVICES  
 LEGAL SERVICES  
 TAX SERVICES  
 ACCOUNTING SERVICES  
 HR SERVICES  
 IT SERVICES  
 CONSULTING SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	
1	03/22/16	PER TOWN SUBMISSION	AKS	
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS	
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS	
4	08/15/16	PER TDE COMMENTS	AKS	
5				
6				
7				
8				
9				
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11				
12				
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14				
15				

**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD ID.: B150208SS09

PROJECT: **SITE DOCUMENT PLANS**  
 FOR  
**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**  
 17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-0900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

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 PROFESSIONAL ENGINEER  
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 NEW HAMPSHIRE LICENSE No. 10297  
 MASSACHUSETTS LICENSE No. 45644  
 OHIO LICENSE No. E-68329

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**CFG06.0**  
 OF 17

REV 4

P:\15181020\Cumberland Farms\_270 NY 17K\_Newburgh\_NY05\_CSD\_MORPHOLOGY\060609.dwg, C:\060609.dwg, 7/11/2016, 8:41:43 AM, newburgh, Xerox0514-1.p3, UserB34, 11

**811**  
 Know what's below.  
 Call before you dig.



## EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNGRADED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT. (THIS WOULD INCLUDE WETLANDS)
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOUSE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING) MAY BE ATTEMPTED AS WELL TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED UNTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIME IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 80 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOY MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-80 LBS PER 1,000 SF. A HYDRO APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

### MULCH

LOCATION / PROTECT AREA	MULCH TYPE	RATE (1000 SF) / 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS / 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

\*A HYDRO APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

**MULCH ANCHORING**  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD. BLOCK), MULCH NETTING (AS PER MANUFACTURER), WOOD CELLULOSE FIBER (750 LBS/ACRE), CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS), USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

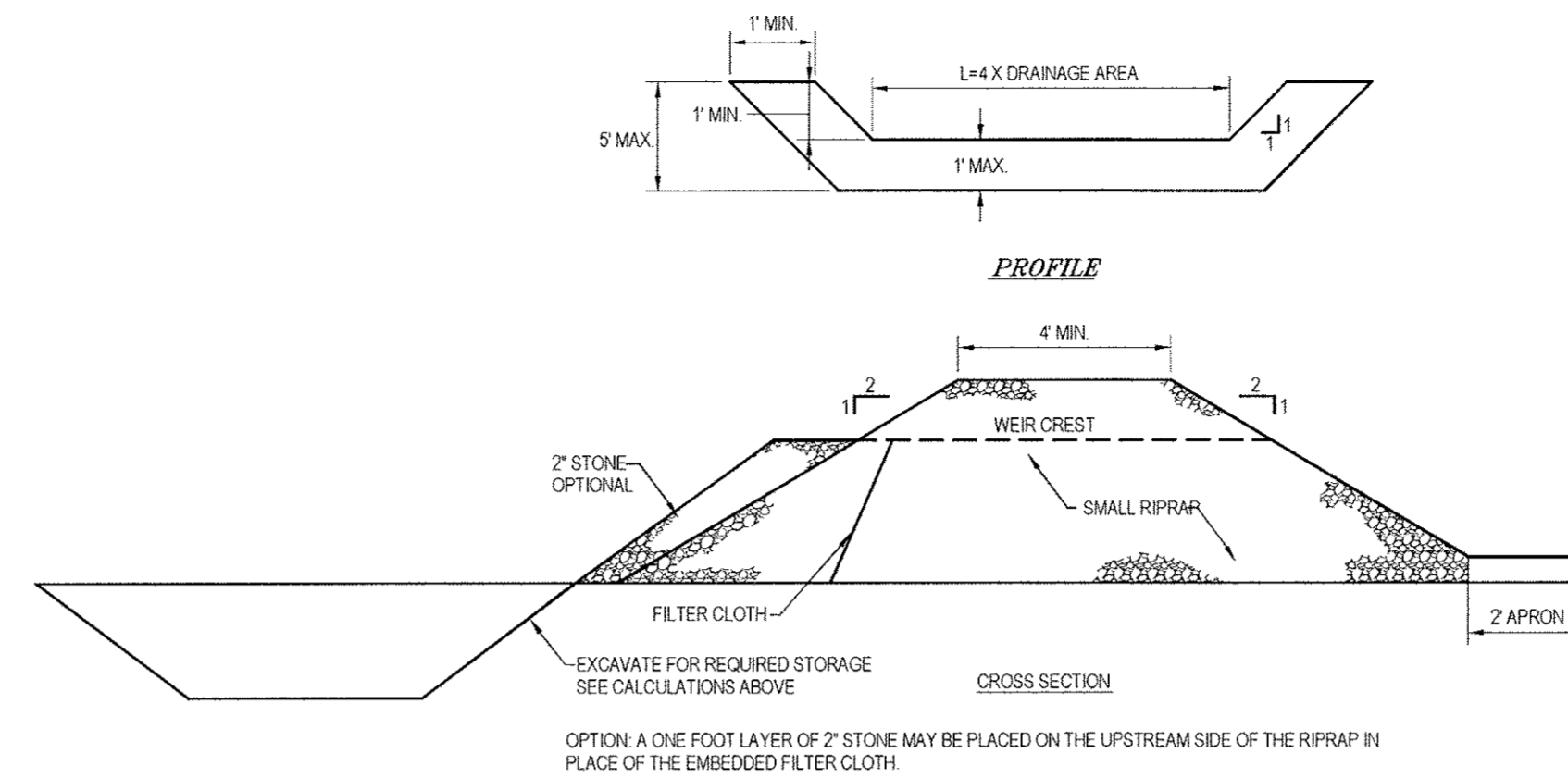
## EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR SEED AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK UNLESS UNLESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

## CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

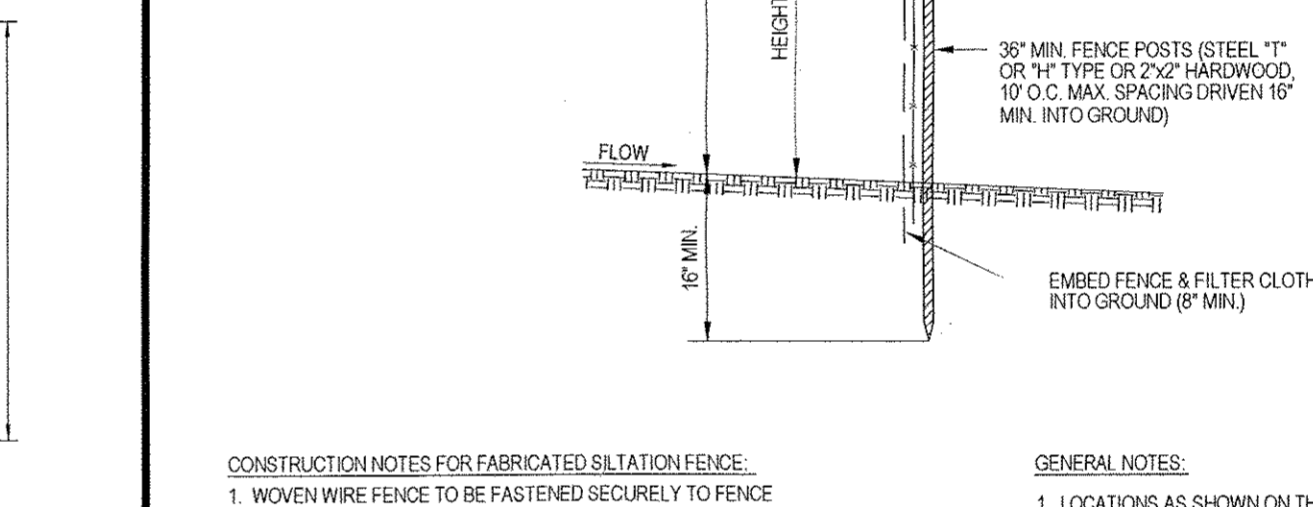
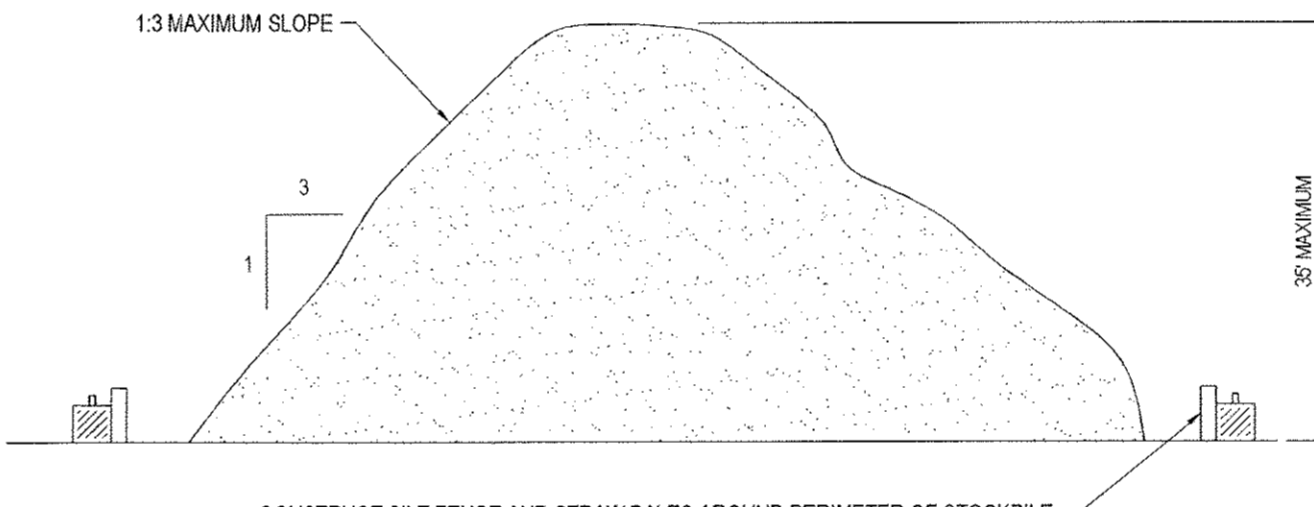
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



NOTES:  
AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACT BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4" 8" ALONG WITH A THICKNESS OF 2" AGGREGATE PLACED ON THE UP-DRAVE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH TO THE TRAP. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

## STONE OUTLET SEDIMENT TRAP DETAIL

N.T.S.



### CONSTRUCTION NOTES FOR FABRICATED SILTATION FENCE:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP & MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT TO EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- PRE-FABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

### GENERAL NOTES:

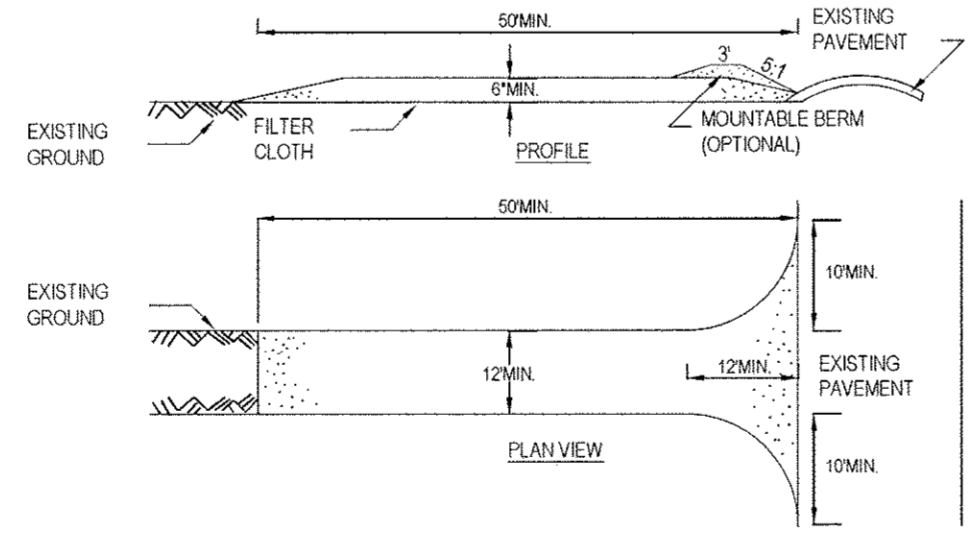
- LOCATIONS AS SHOWN ON THE PLANS.
- ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER.
- REMOVAL OF EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.

## TEMPORARY STOCKPILE DETAIL

N.T.S.

## TYP. SILTATION FENCE DETAIL

N.T.S.

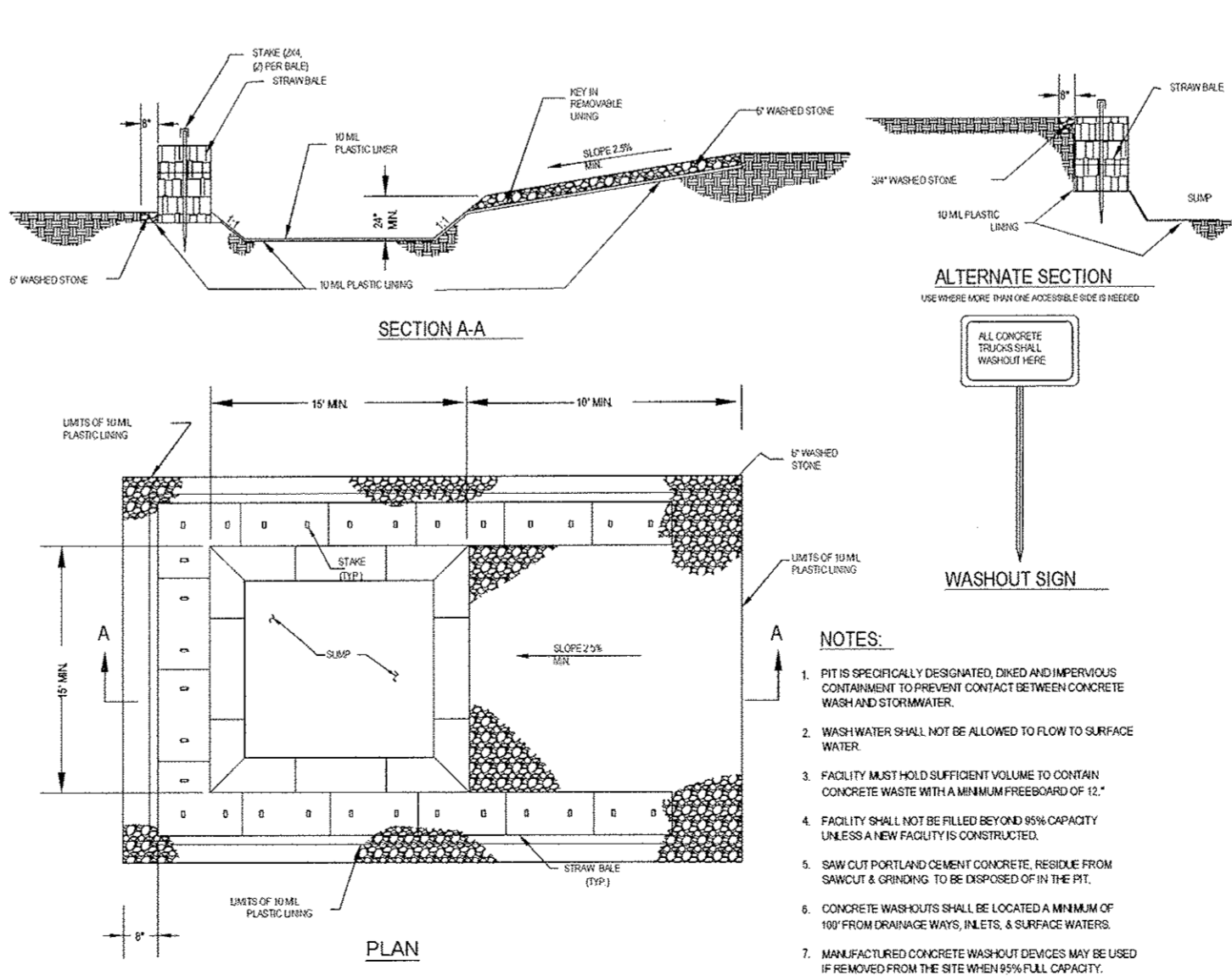


### CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1 1/2 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## STABILIZED CONSTRUCTION EXIT

N.T.S.

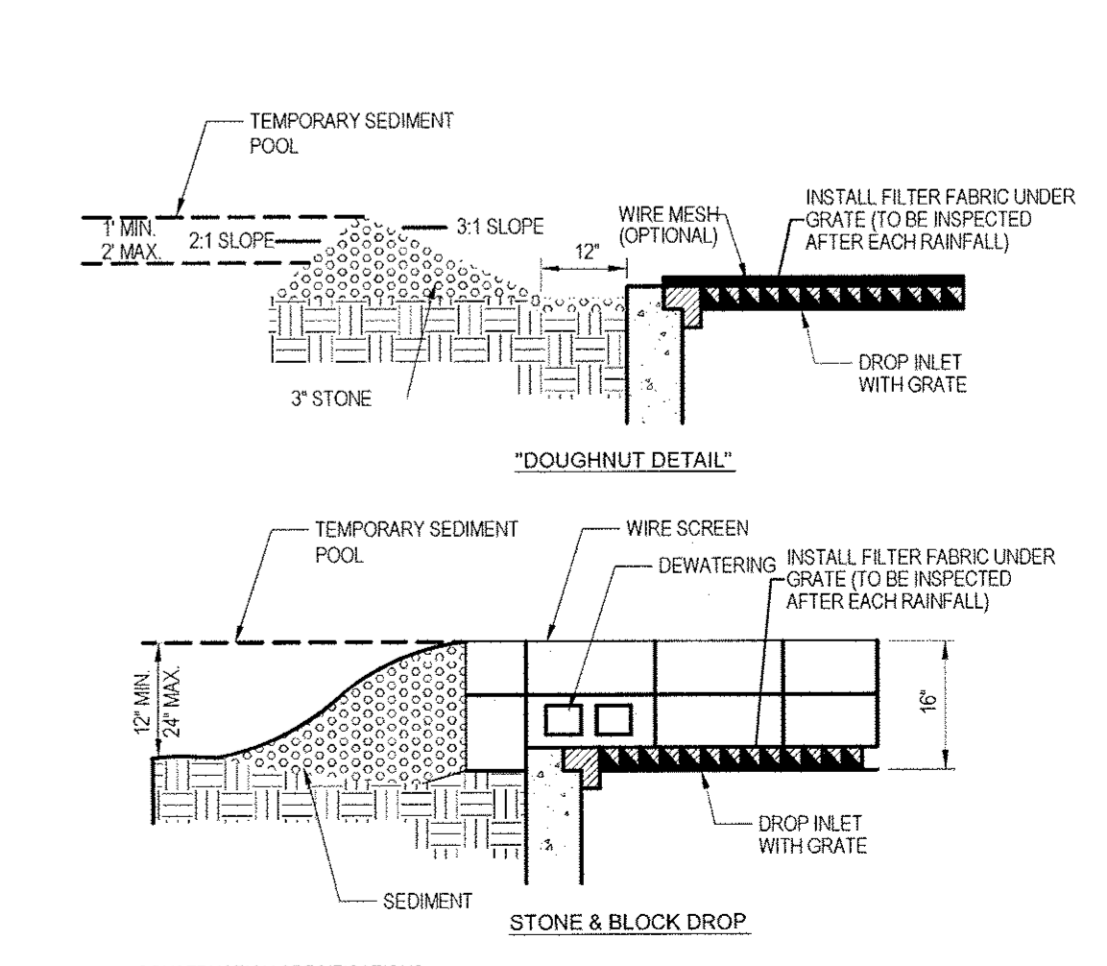


### NOTES:

- THIS IS SPECIFICALLY DESIGNED AND CONSTRUCTED FOR THE CONSTRUCTION OF CONCRETE WASHOUT STRUCTURES.
- NO WATER SHALL BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUPPORT VOLUME TO OBTAIN CONCRETE MADE WITH A MAXIMUM FREEWATER OF 17%.
- FACILITY SHALL NOT BE FILLED BEFORE FINISHING OPERATIONS UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAW CUT PORTLAND CEMENT CONCRETE, INSURE FROM CRACKS & CRACKING TO BE OBSERVED ON THE FIN.
- CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE BASIN, PAVEMENT, SURFACE WATER.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF APPROVED FROM THE STATE ENVIRONMENTAL DIVISION.

## CONCRETE WASHOUT DETAIL

N.T.S.



### CONSTRUCTION SPECIFICATIONS:

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER CLOTH OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2" 3/4" INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

## STONE & BLOCK DROP INLET PROTECTION STRUCTURE

N.T.S.

**BOHLER ENGINEERING**  
SITING, DESIGN, CONSTRUCTION, MAINTENANCE, AND REPAIR OF EROSION CONTROL STRUCTURES  
LAND SURVEYING, DESIGN, CONSTRUCTION, MAINTENANCE, AND REPAIR OF EROSION CONTROL STRUCTURES  
SUSTAINABLE DESIGN, CONSTRUCTION, MAINTENANCE, AND REPAIR OF EROSION CONTROL STRUCTURES

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• SAN ANTONIO, TX  
• TAMPA, FL  
• WASHINGTON, DC

REVISIONS			
REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/20/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	08/15/16	PER TDE COMMENTS	AKS
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**PRELIMINARY**

PROJECT No.: B150208  
DRAWN BY: MED JRS  
CHECKED BY: JRS  
DATE: 01/12/2016  
SCALE: AS NOTED  
CAD I.D.: B150208S09

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**  
17 COMPUTER DRIVE WEST, SUITE 203  
ALBANY, NY 12205  
Phone: (518) 438-9900  
Fax: (518) 438-0900  
www.BohlerEngineering.com

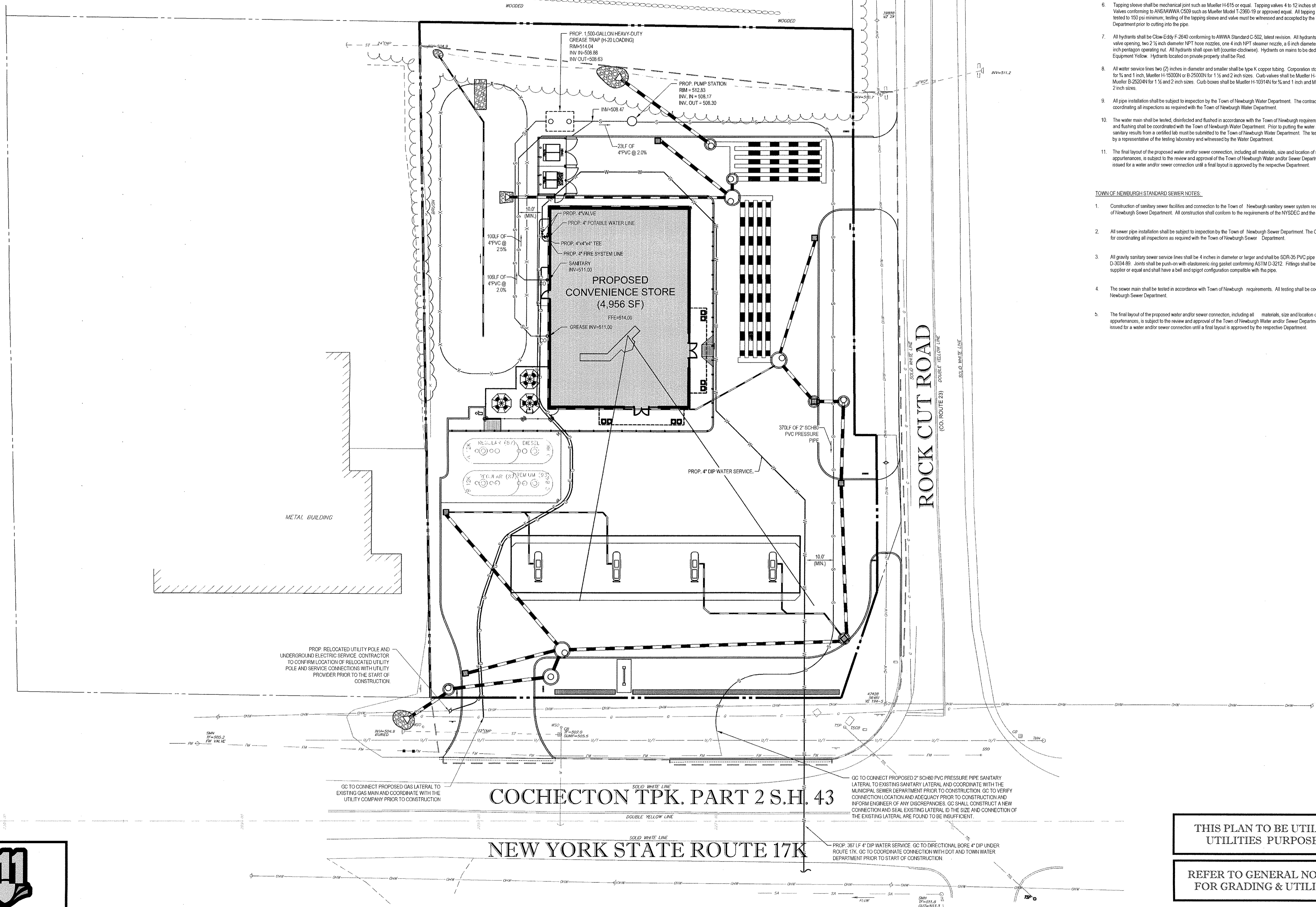
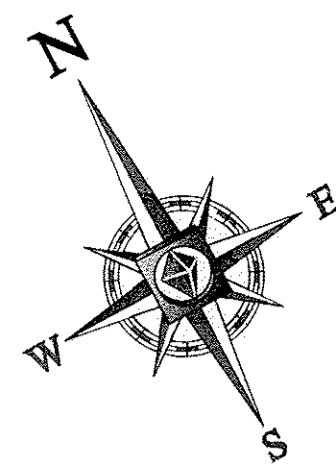
**W.D. GOEBEL**  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE NO. 07238-1  
VERMONT LICENSE NO. 7735  
CONNECTICUT LICENSE NO. 21854  
NEW HAMPSHIRE LICENSE NO. 10287  
MASSACHUSETTS LICENSE NO. 42644  
CALIFORNIA LICENSE NO. 65592

**SOIL EROSION CONTROL NOTES & DETAILS SHEET**

SHEET NUMBER:  
**CFG06.1**  
OF 17

REV 4





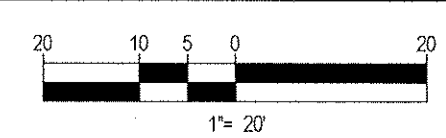
- TOWN OF NEWBURGH STANDARD WATER NOTES:**
- "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDEC and the Town of Newburgh."
  - All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI/AWWA C151A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
  - Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with rubber glands. All fittings and valves shall also be installed with rubber glands for joint restraint. Retainer glands shall be EBBA Iron Mogul Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
  - All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI/AWWA C110A21.10 for Ductile and Gray Iron Fittings or ANSI/AWWA C153A21.53 for Ductile Iron Compact Fittings, latest revision.
  - All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model A-2300.23 or approved equal. All gate valves shall open left (counterclockwise).
  - Tapping sleeve shall be mechanical joint such as Mueller H-515 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model T-2300-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.
  - All hydrants shall be Clow Eddy F-2840 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5/8 inch main valve opening, two 2 1/2 inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 1/2 inch porting operating nut. All hydrants shall open left (counterclockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Pink.
  - All water service lines two (2) inches in diameter and smaller shall be Type K copper tubing. Corporation stops shall be Mueller H-1520N for 1/2 and 1 inch, Mueller H-1520N or B-2500N for 1 1/2 and 2 inch sizes. Curb valves shall be Mueller H-1520-20 for 1/2 and 1 inch and Mueller B-2500N for 1 1/2 and 2 inch sizes. Curb boxes shall be Mueller H-1031 for 1/2 and 1 inch and Mueller H-1031N for 1 1/2 and 2 inch sizes.
  - All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
  - The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service, satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
  - The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

- TOWN OF NEWBURGH STANDARD SEWER NOTES:**
- Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.
  - All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.
  - All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming to ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and spigot configuration compatible with the pipe.
  - The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.
  - The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

COHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY  
REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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**REVISIONS**

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
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**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS02

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

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**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
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 VERMONT LICENSE No. 7735  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10287  
 MASSACHUSETTS LICENSE No. 49644  
 OHIO LICENSE No. E-68323

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**CFG07.0**  
OF 17

REV 4

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**811**  
Know what's below.  
Call before you dig.



**LANDSCAPE SPECIFICATIONS**

**1. SCOPE OF WORK:**  
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

**2. MATERIALS:**  
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.  
B. TOPSOIL - NATURAL, FRABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.  
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODING IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.  
I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.  
II. SOG SHALL BE STRONGLY ROOTED, WELD AND DISEASE FREE WITH A UNIFORM THICKNESS. SOG INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOG IN PLACE.  
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.  
E. FERTILIZER  
I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.  
FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.  
II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.  
F. PLANT MATERIAL  
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).  
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.  
III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.  
IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2" WHICH HAVE NOT BEEN COMPLETELY CALLOUSED, SHALL BE REJECTED.  
V. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.  
VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.  
VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.  
VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.  
IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.  
3. GENERAL WORK PROCEDURES  
A. CONTRACTOR TO UTILIZE MANUFACTURING INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.  
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.  
4. SITE PREPARATIONS  
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.  
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT, ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.  
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.  
5. TREE PROTECTION  
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.  
B. A FORTY EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.  
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.  
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.  
6. SOIL MODIFICATIONS  
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.  
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.  
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.  
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.  
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.  
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.  
7. FINISHED GRADING  
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.  
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").  
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.  
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.  
8. TOPSOILING  
A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.  
B. ON SITE TOPSOILING MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.  
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

**DETENTION BASIN SEED MIX SPECIFICATIONS**

SEED MIX SHALL BE:  
"NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES"  
PREPARED BY NEW ENGLAND WETLAND PLANTS, INC.  
801 WEST STREET  
AMHERST, MA 01002

SEEDING RATE: 35 LBS/ACRE (1250 SF/LB)

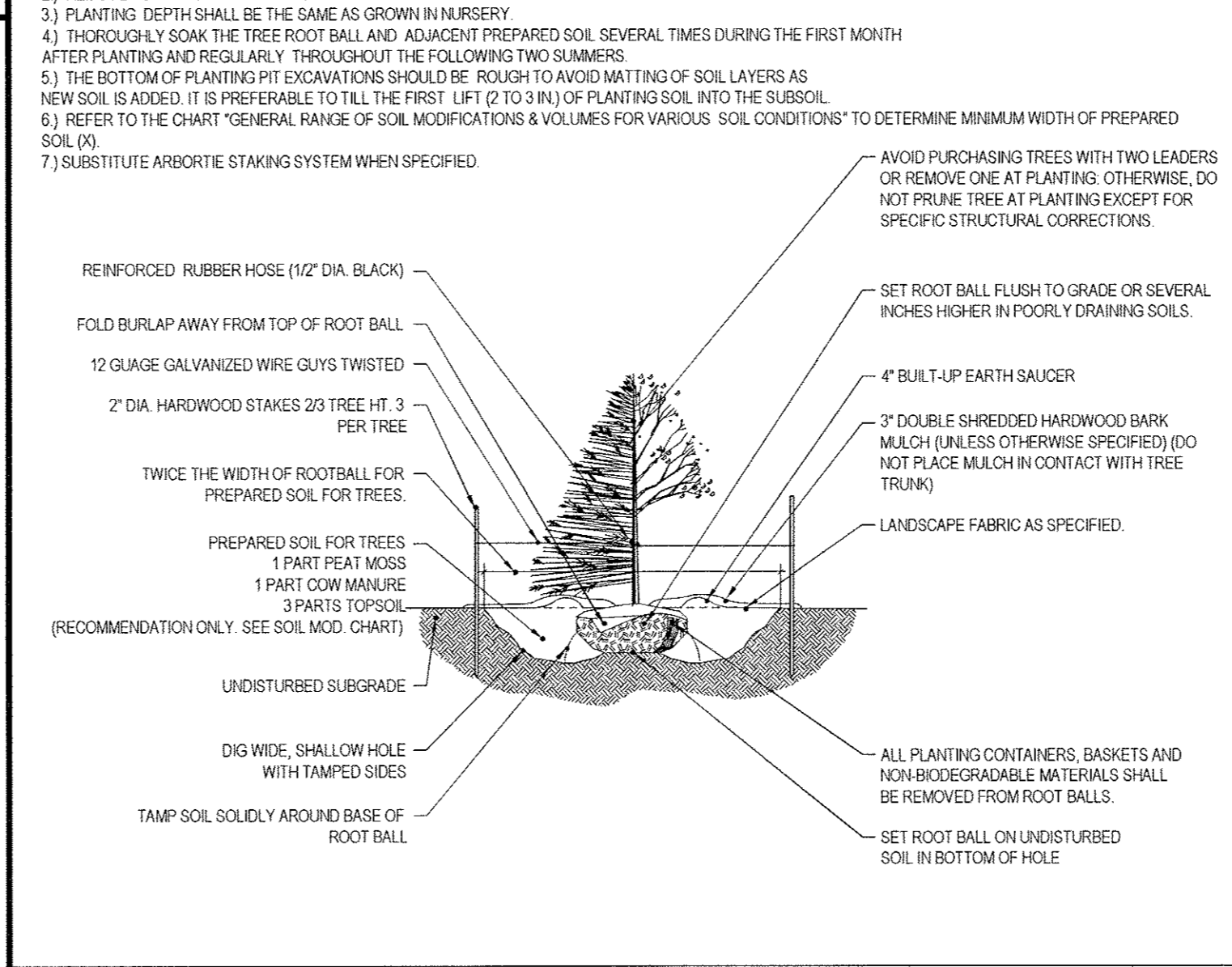
**SPECIES LIST**

Virginia Wild Rye, (Elymus virginicus), Creeping Red Fescue, (Festuca rubra), Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Andropogon gerardii), Fox Sedge, (Carex vulpinoidea), Swift Grass, (Panicum virgatum), Rough Stentgrass, (Agrostis scabra), New England Aster, (Aster novae-angliae), Boneset, (Eupatorium perfoliatum), Grass Leaved Goldenrod, (Euthamia graminifolia), Green Bulrush, (Scirpus atrovirens), Blue Vervain, (Verbena hastata), Soft Rush, (Juncus effusus), Wood Grass, (Scirpus opaciflorus).

**HYDROSEED SPECIFICATIONS**

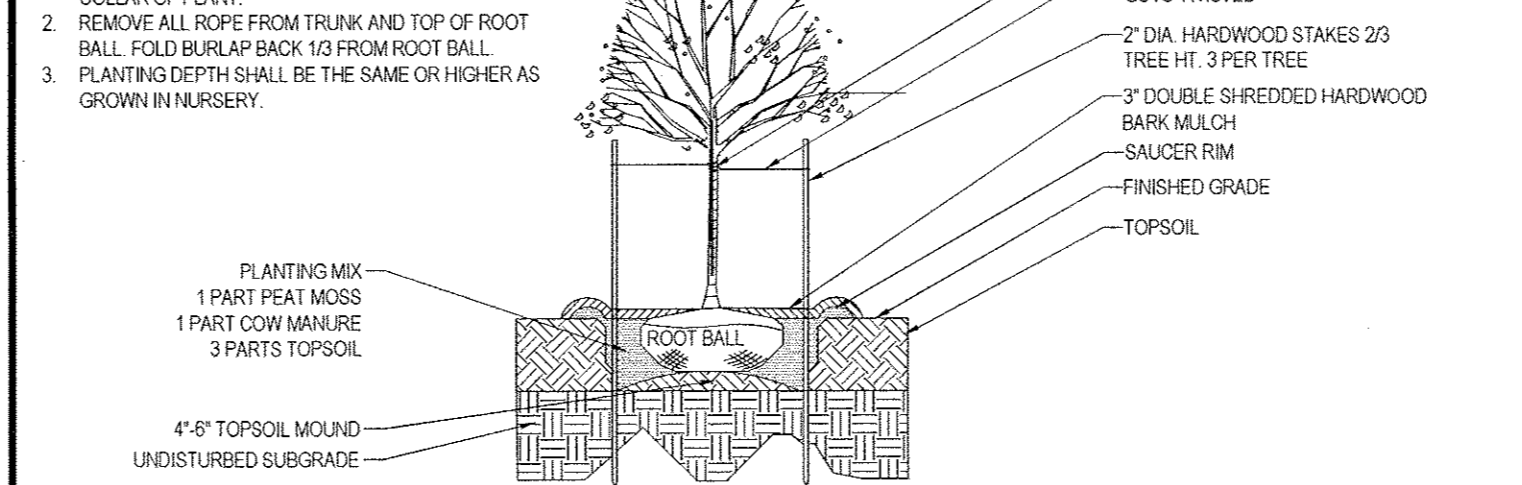
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:
  - PERENNIAL RYEGRASS: 12 LB/1000 SQ FT
  - KENTUCKY BLUEGRASS: 1 LB/1000 SQ FT
  - RED FESCUE: 12 LB/1000 SQ FT
  - SPREADING FESCUE: 12 LB/1000 SQ FT
  - FERTILIZER (16-32-16): 2 LB/1000 SQ FT
  - LIQUID LIME: 1 GAL/500 GAL
  - TANK TACKIFIER: 35 LB/800 SQ FT
  - TANK FIBER MULCH: 30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

**GROUND COVER PLANTING**



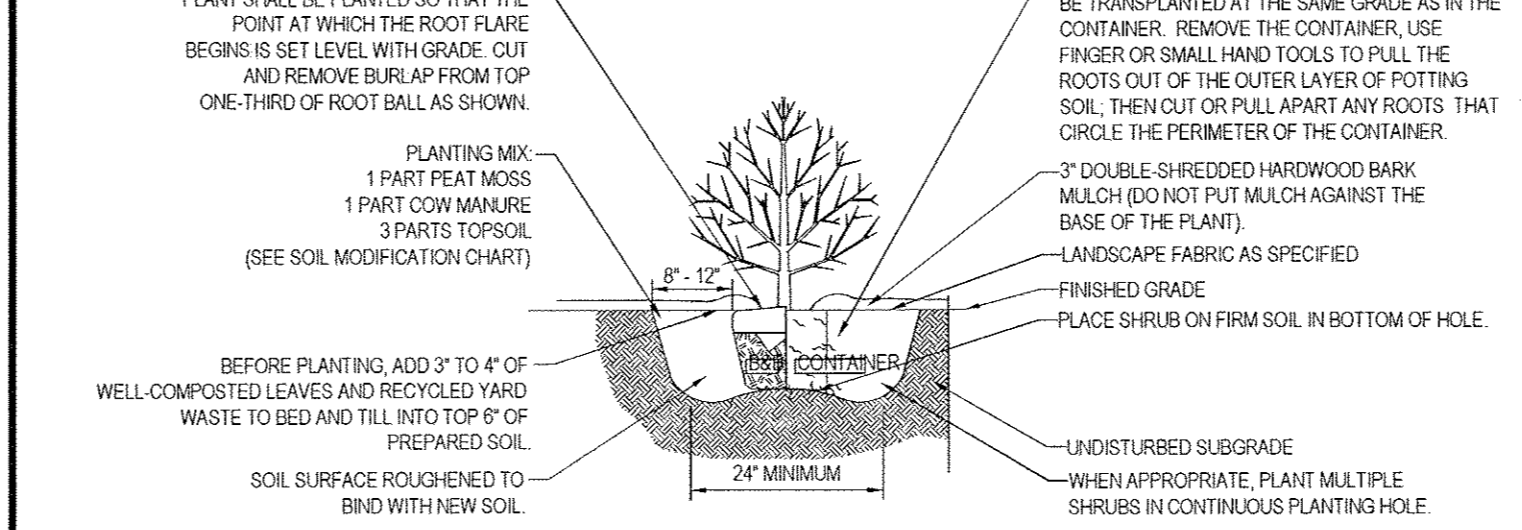
**SHRUB/GROUND COVER DETAIL**

N.T.S.



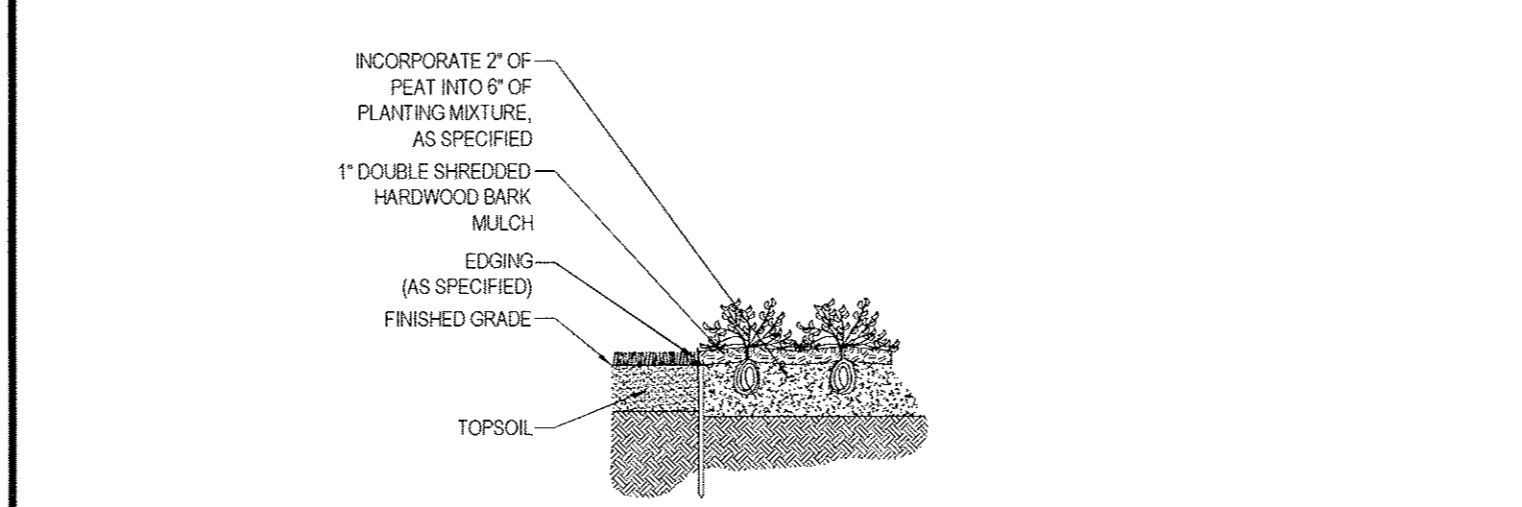
**SHRUB PLANTING DETAIL**

N.T.S.



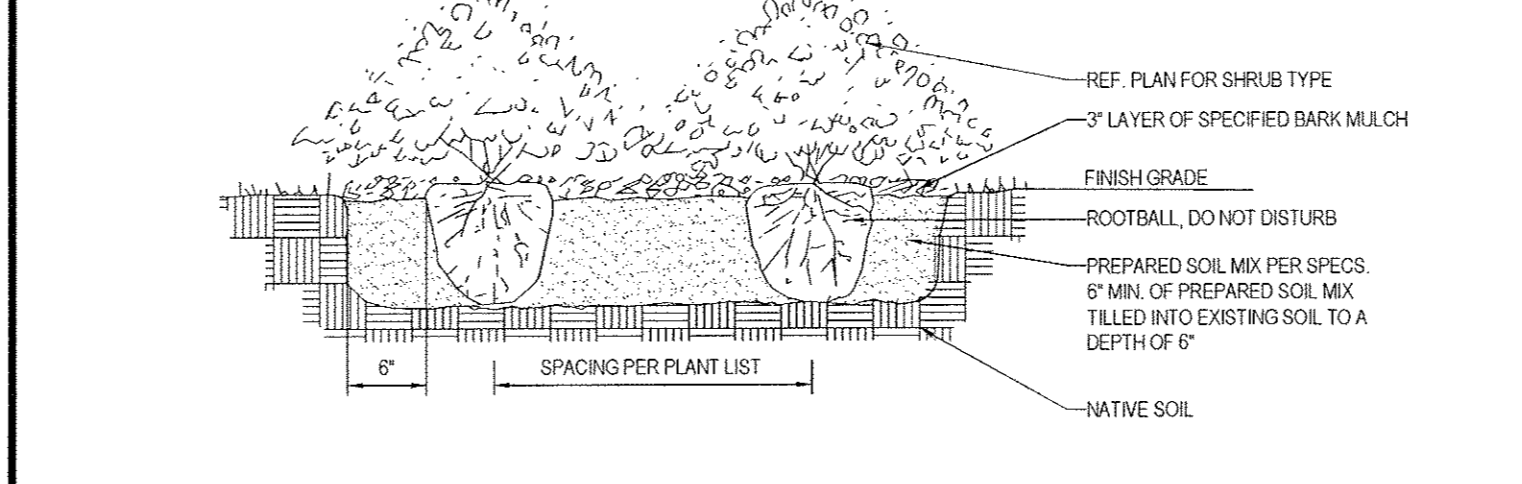
**SHRUB PLANTING DETAIL**

N.T.S.



**GROUND COVER PLANTING**

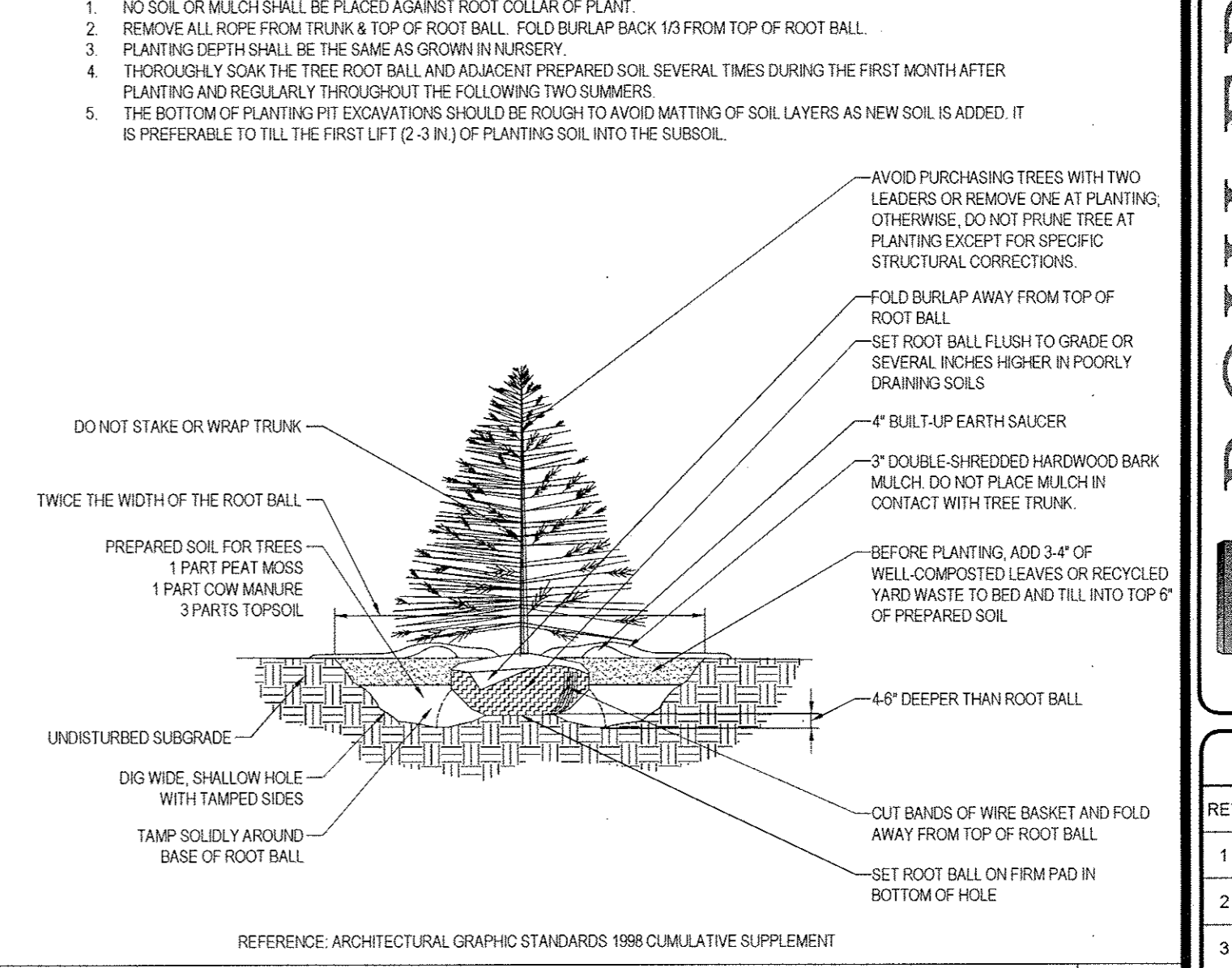
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**SHRUB/GROUND COVER DETAIL**

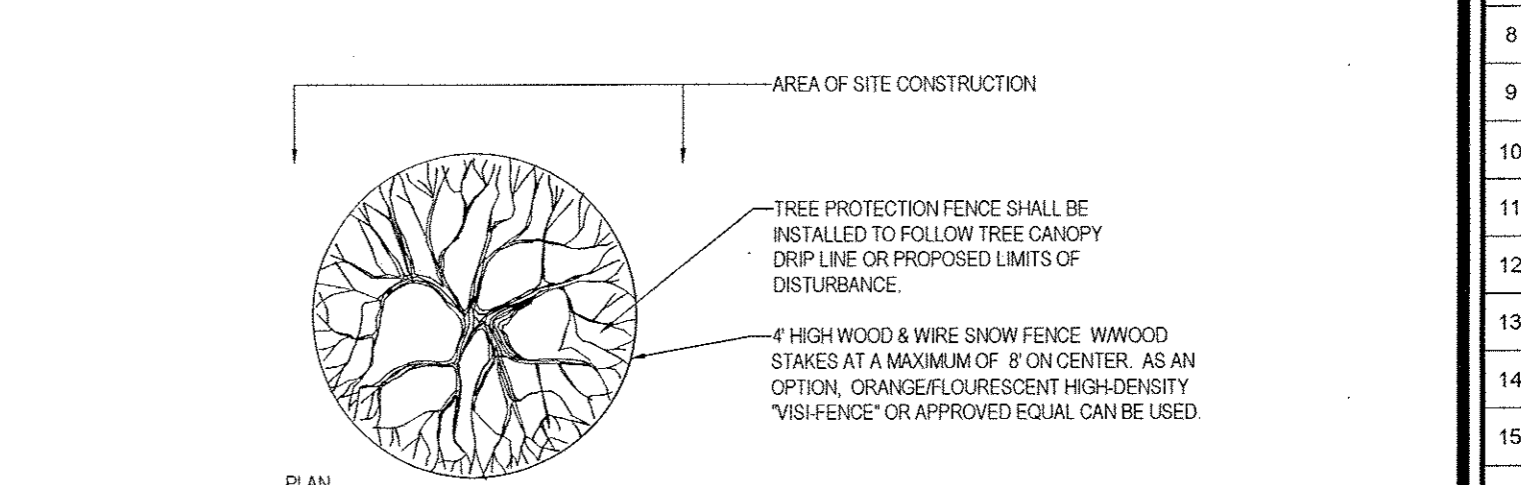
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**EVERGREEN TREE PLANTING DETAIL**



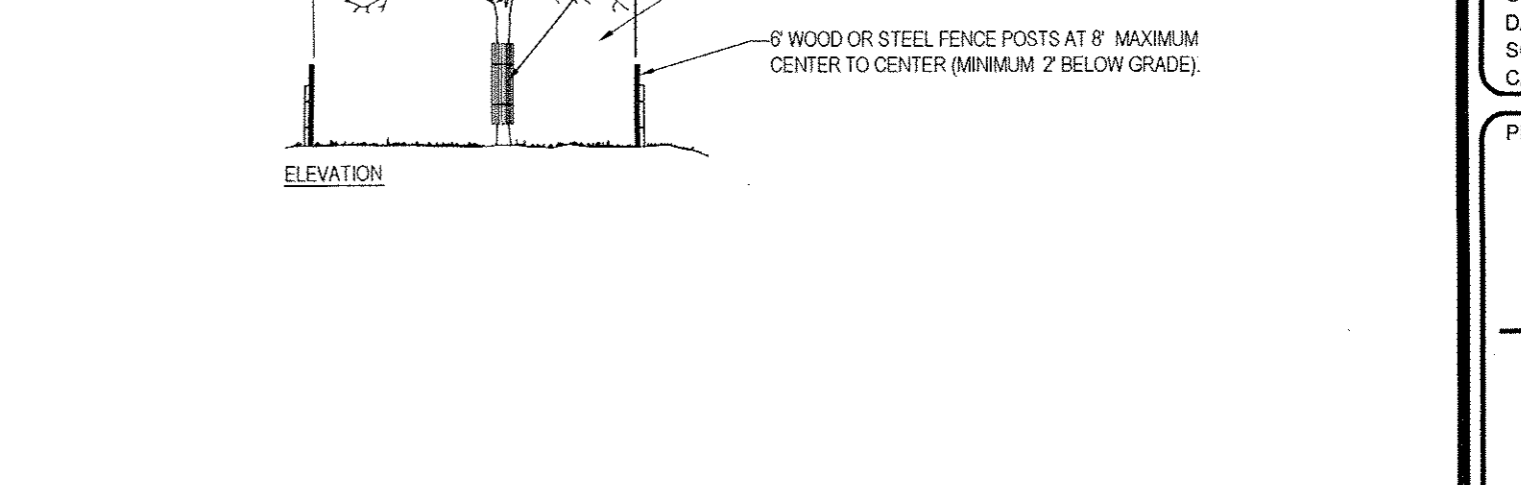
**EVERGREEN TREE PLANTING DETAIL**

N.T.S.



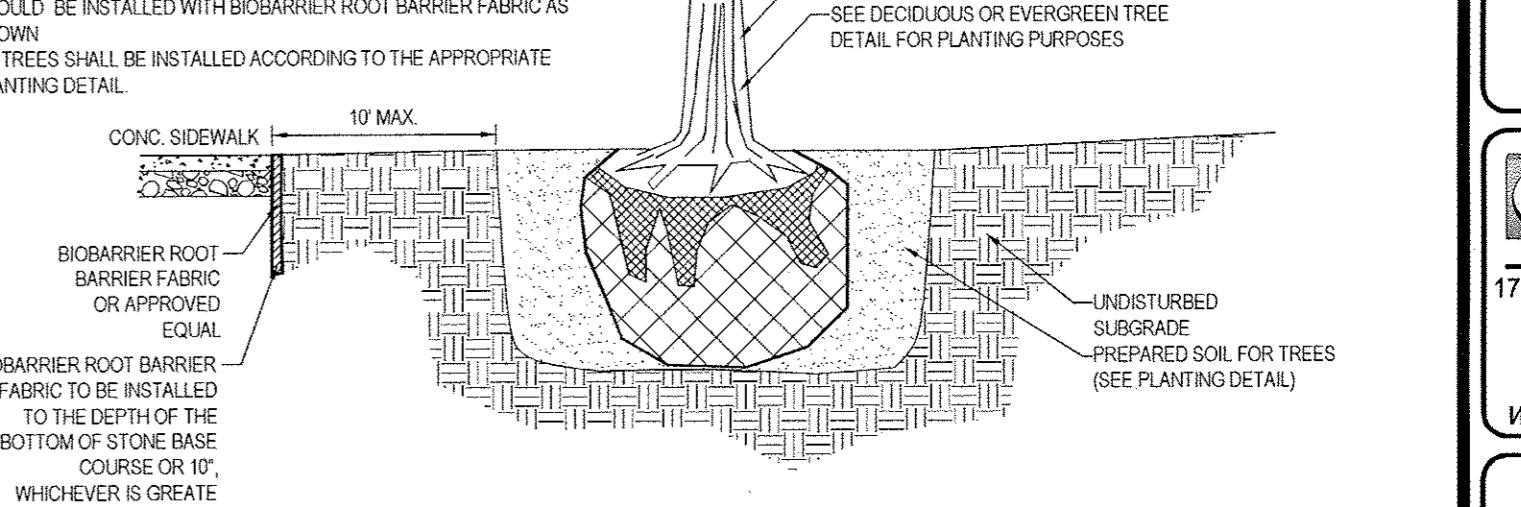
**TREE PROTECTION DURING SITE CONSTRUCTION**

N.T.S.



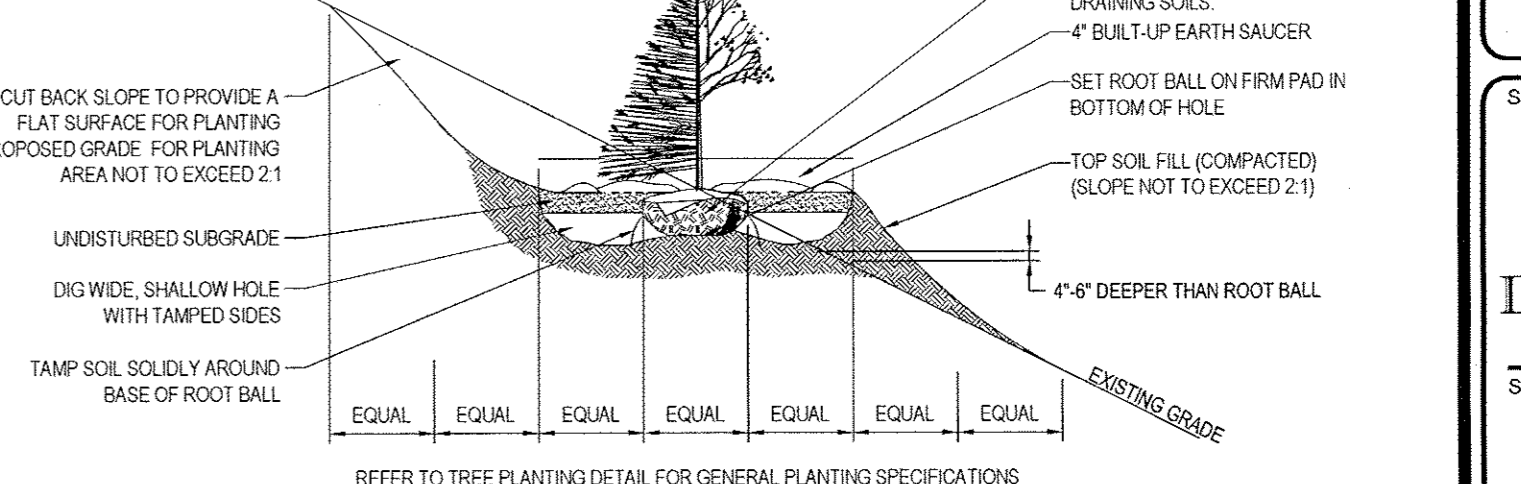
**TREE PROTECTION DURING SITE CONSTRUCTION**

N.T.S.



**BIOPARRIER ROOT BARRIER DETAIL**

N.T.S.



**SHRUB/GROUND COVER DETAIL**

N.T.S.

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**REVISIONS**

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	08/15/16	PER TDE COMMENTS	AKS
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**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/16  
 SCALE: AS NOTED  
 CAD ID.: B150208S09

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-9900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

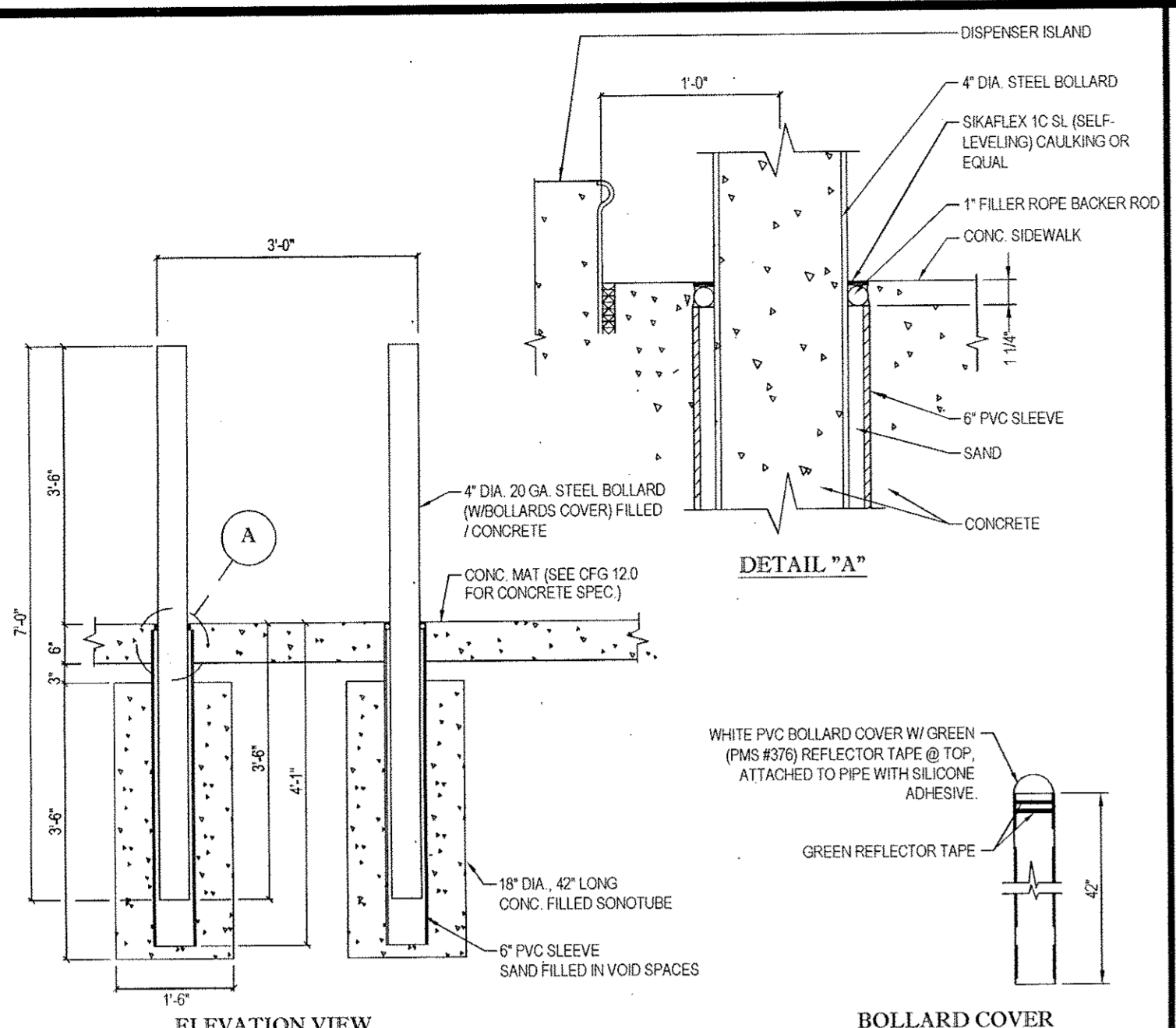
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**LANDSCAPE NOTES & DETAILS SHEET**

SHEET NUMBER:  
**CFG08.1**

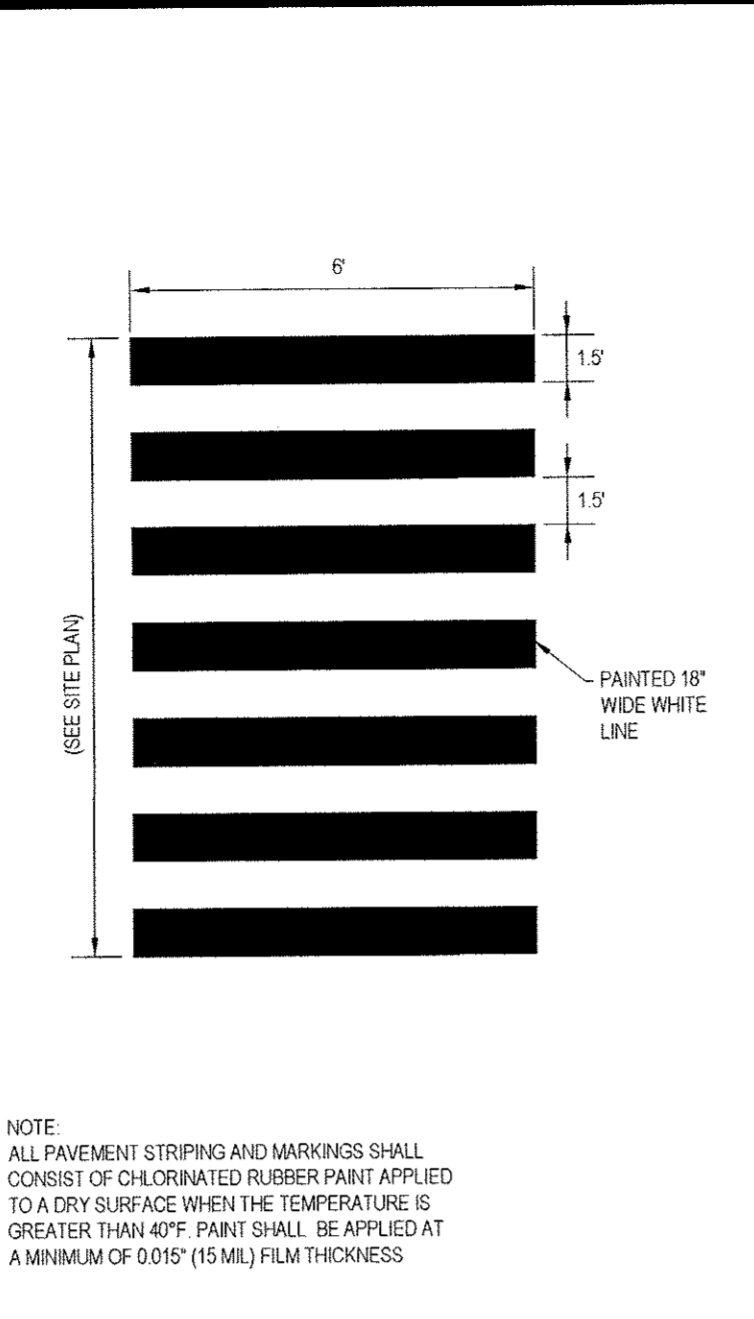
OF 17

REV 4

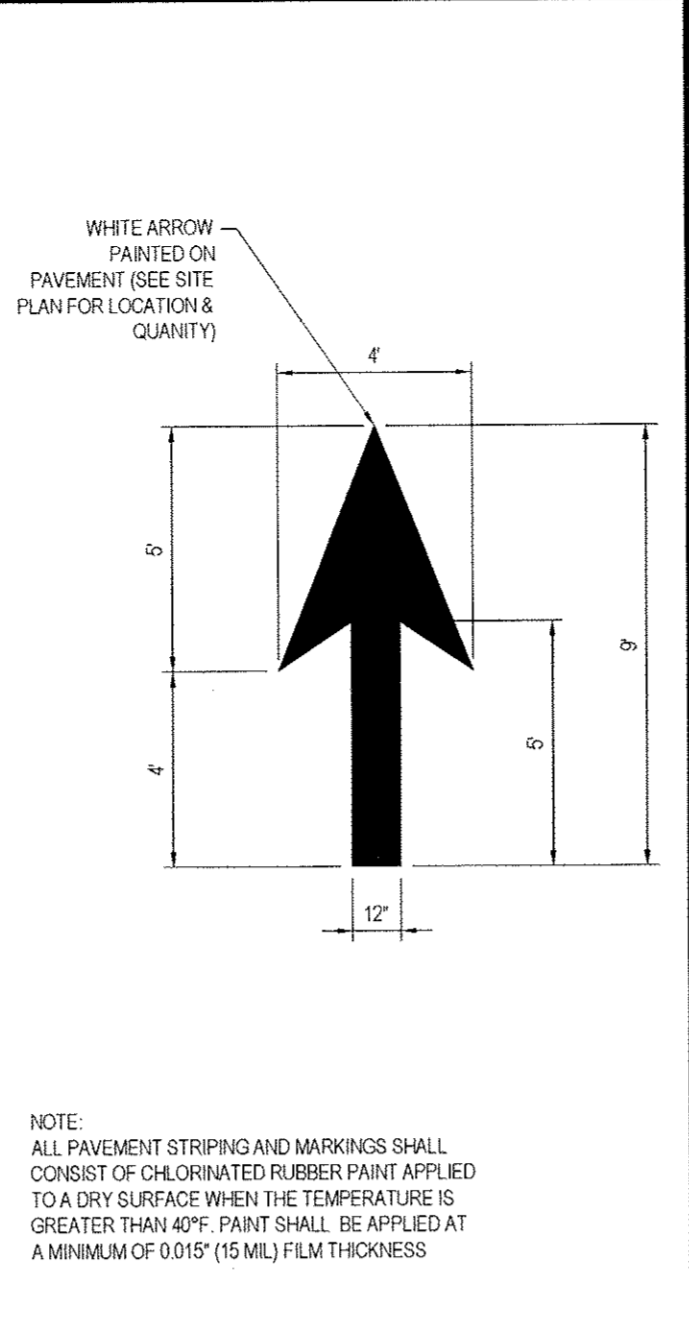
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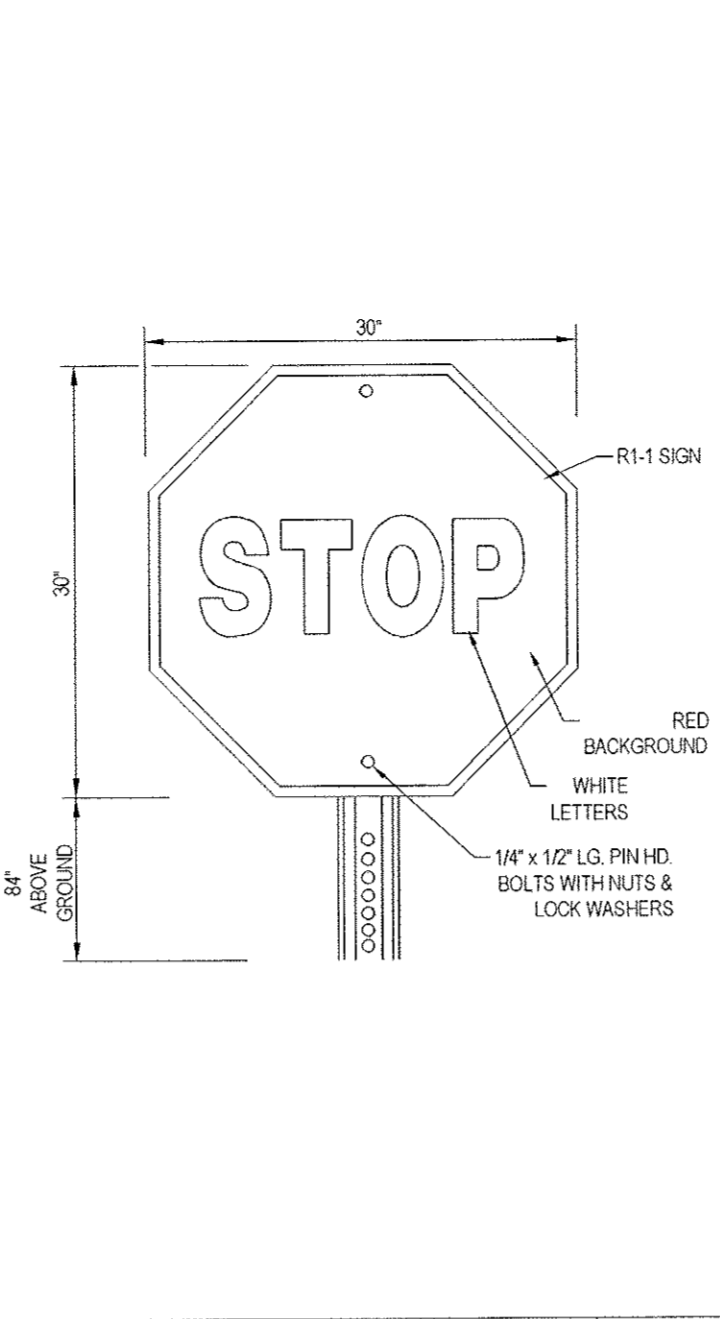
**BOLLARD SET IN CONCRETE WALK** N.T.S.



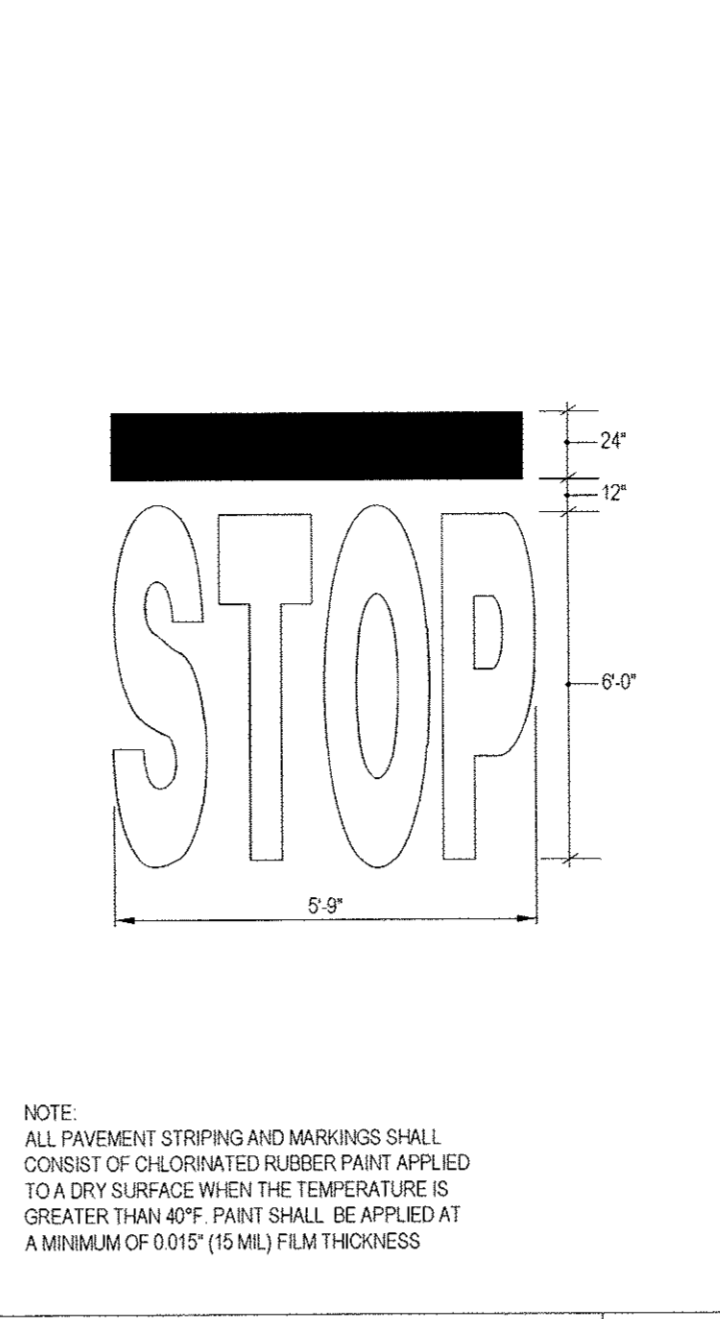
**CROSSWALK DETAIL** N.T.S.



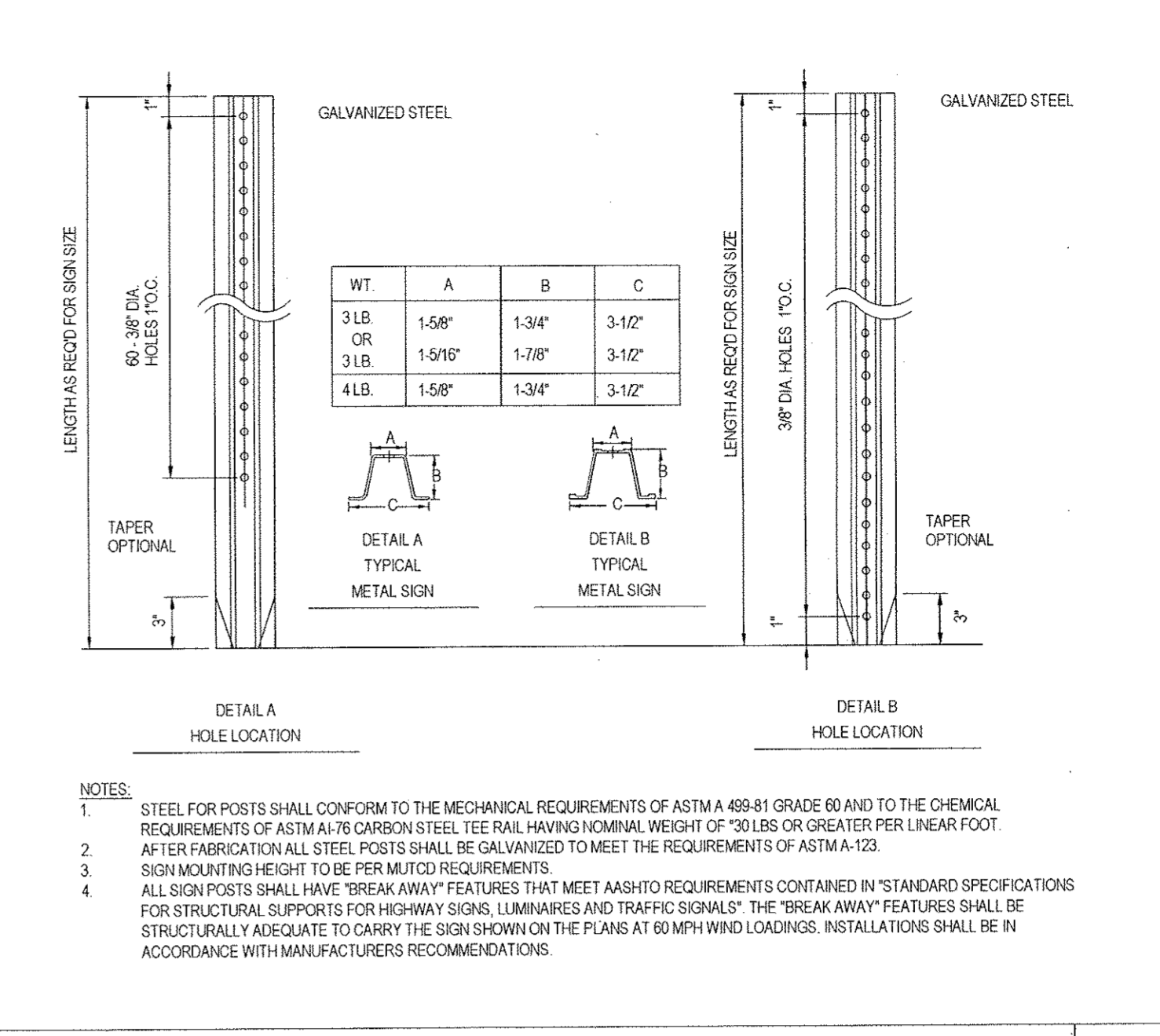
**TYPICAL PAINTED ARROW** N.T.S.



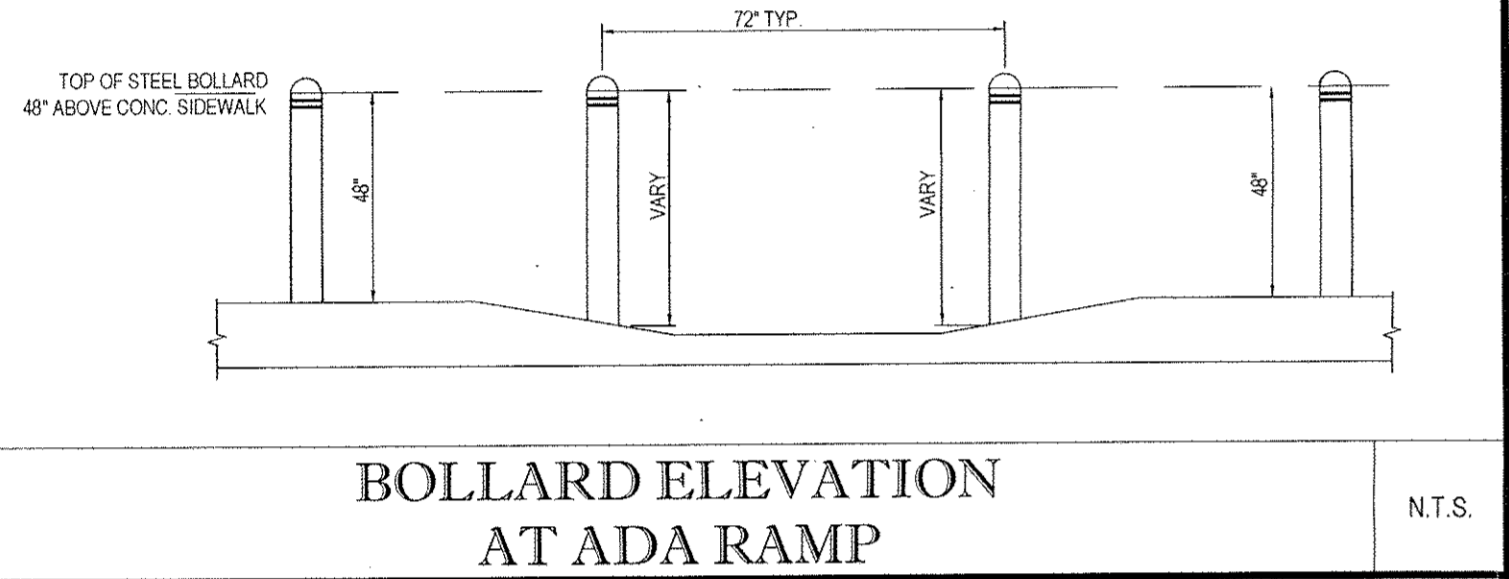
**'STOP' SIGN** N.T.S.



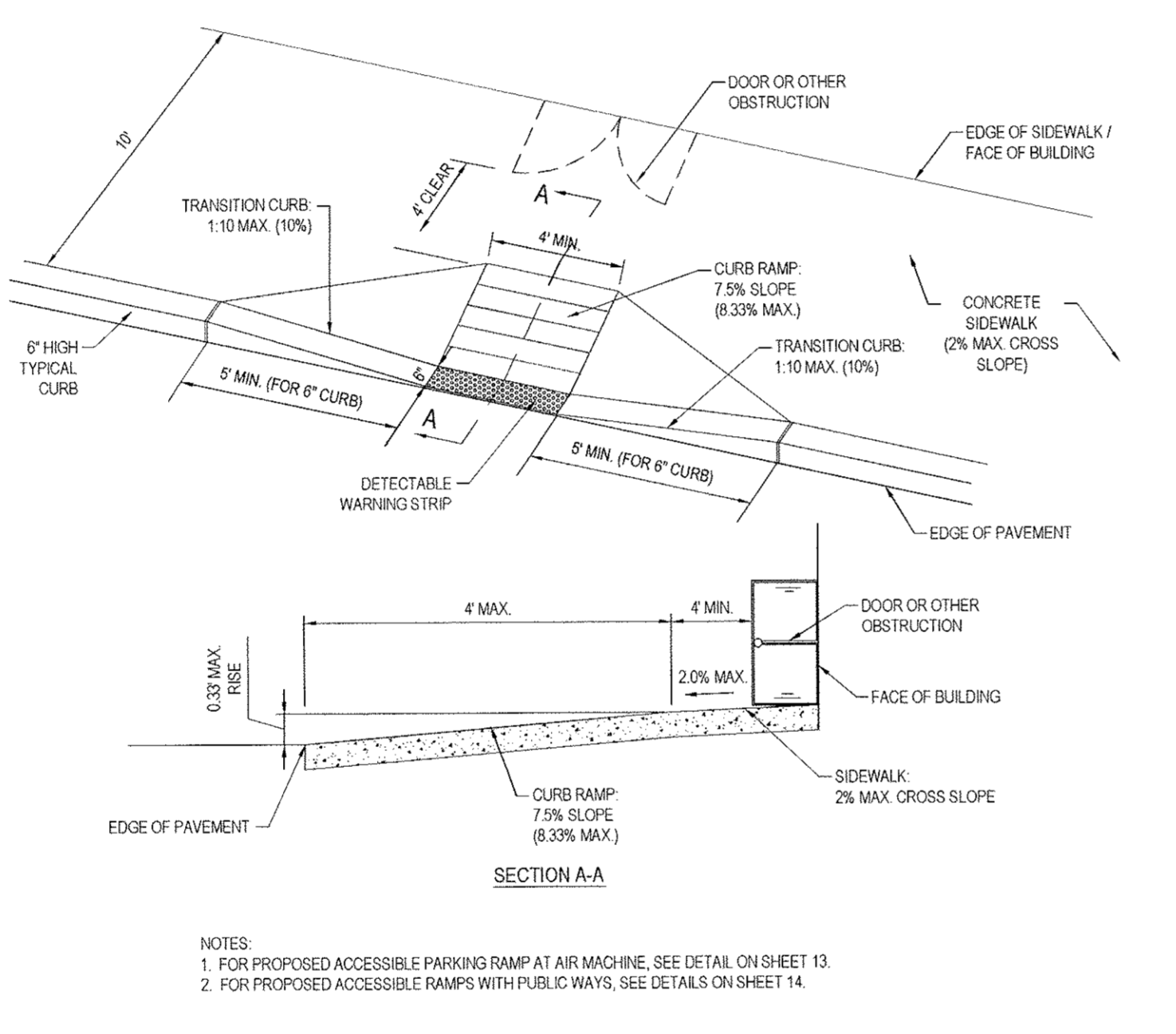
**'STOP' BAR DETAIL** N.T.S.



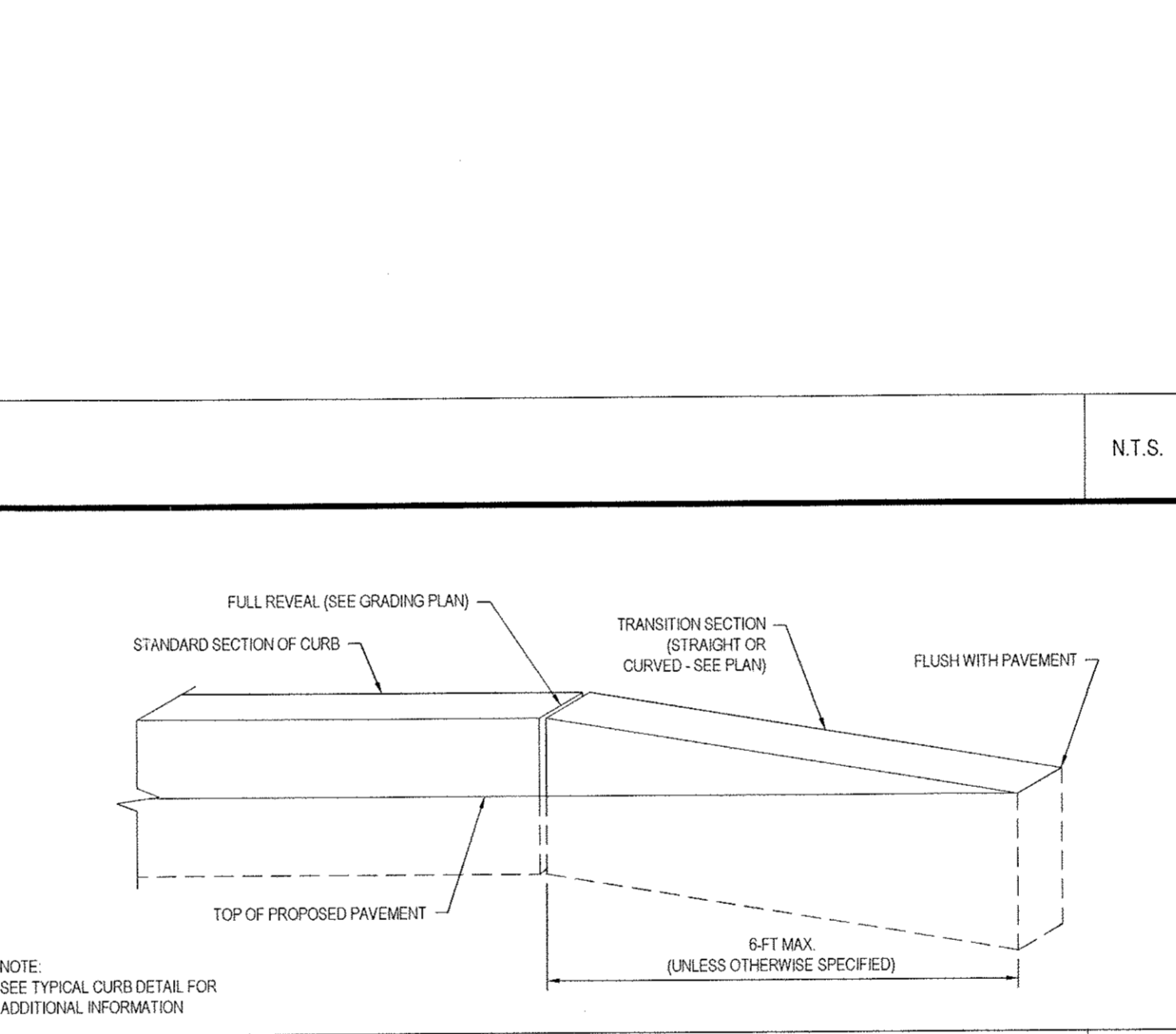
**TYPICAL ON-SITE METAL SIGN POSTS** N.T.S.



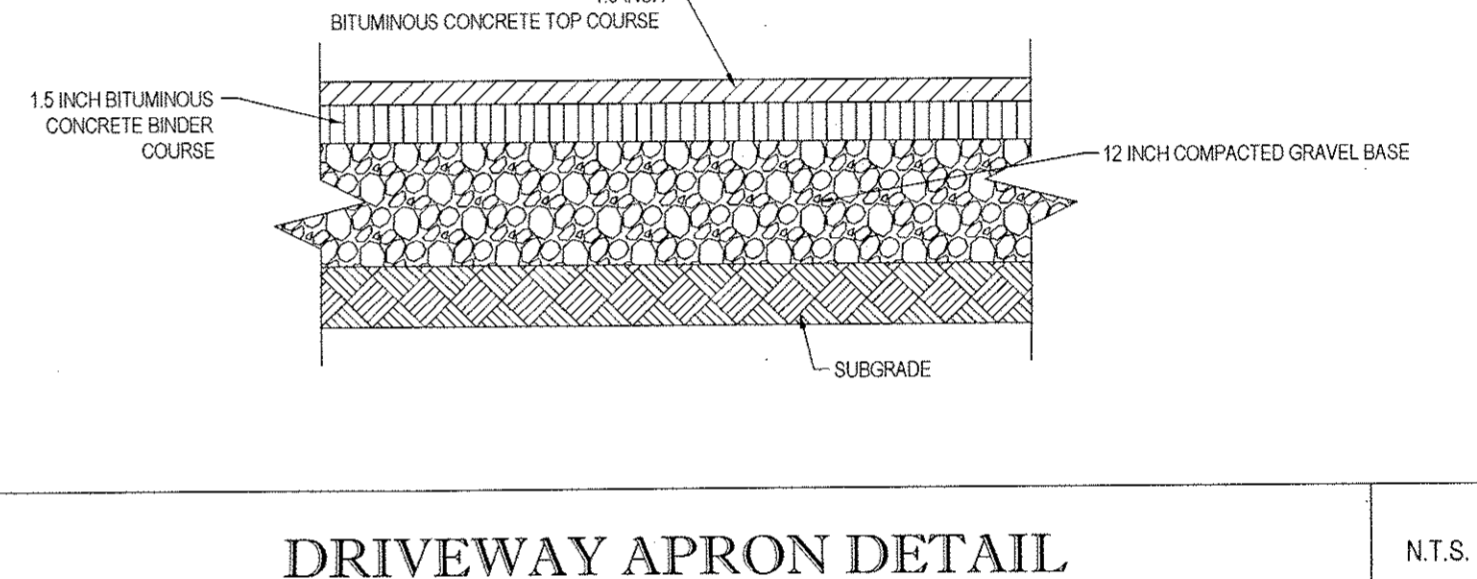
**BOLLARD ELEVATION AT ADA RAMP** N.T.S.



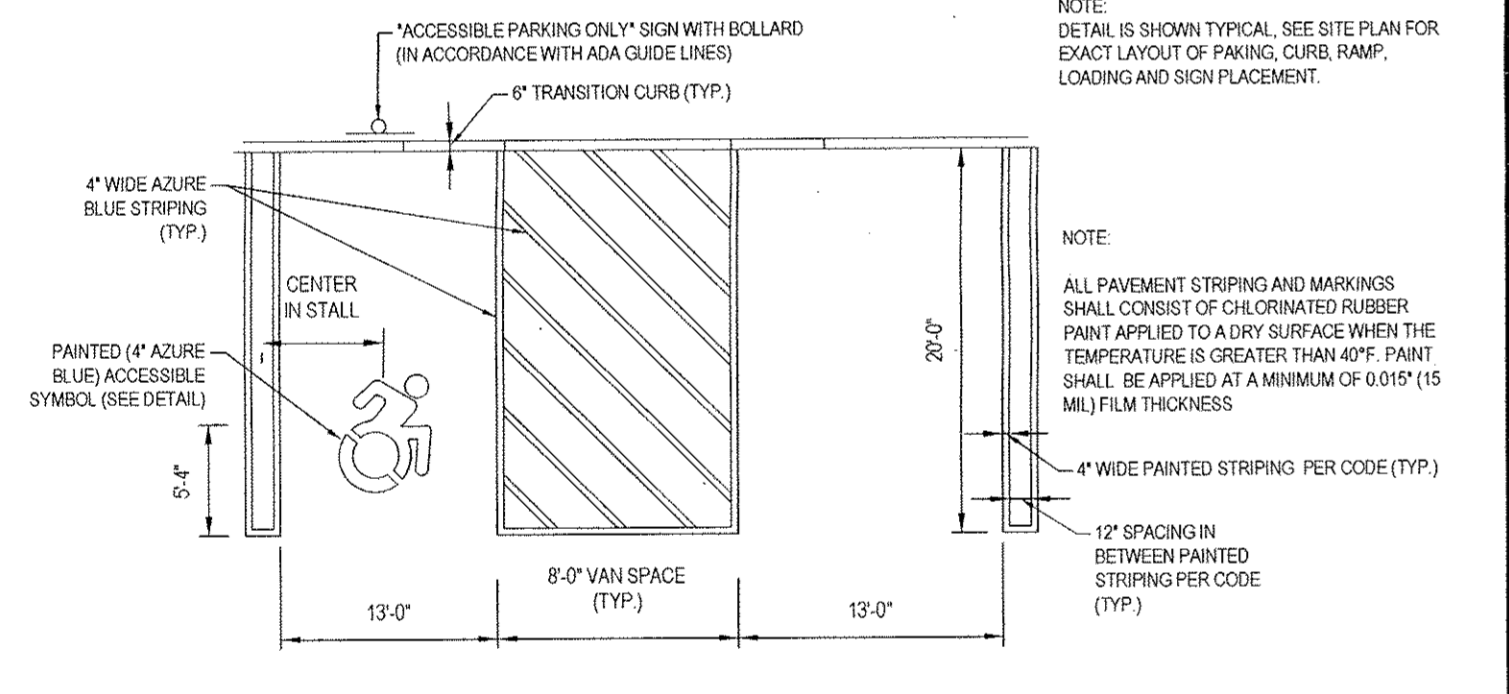
**TYPICAL ADA RAMP DETAIL WITH 10' WIDE SIDEWALK** N.T.S.



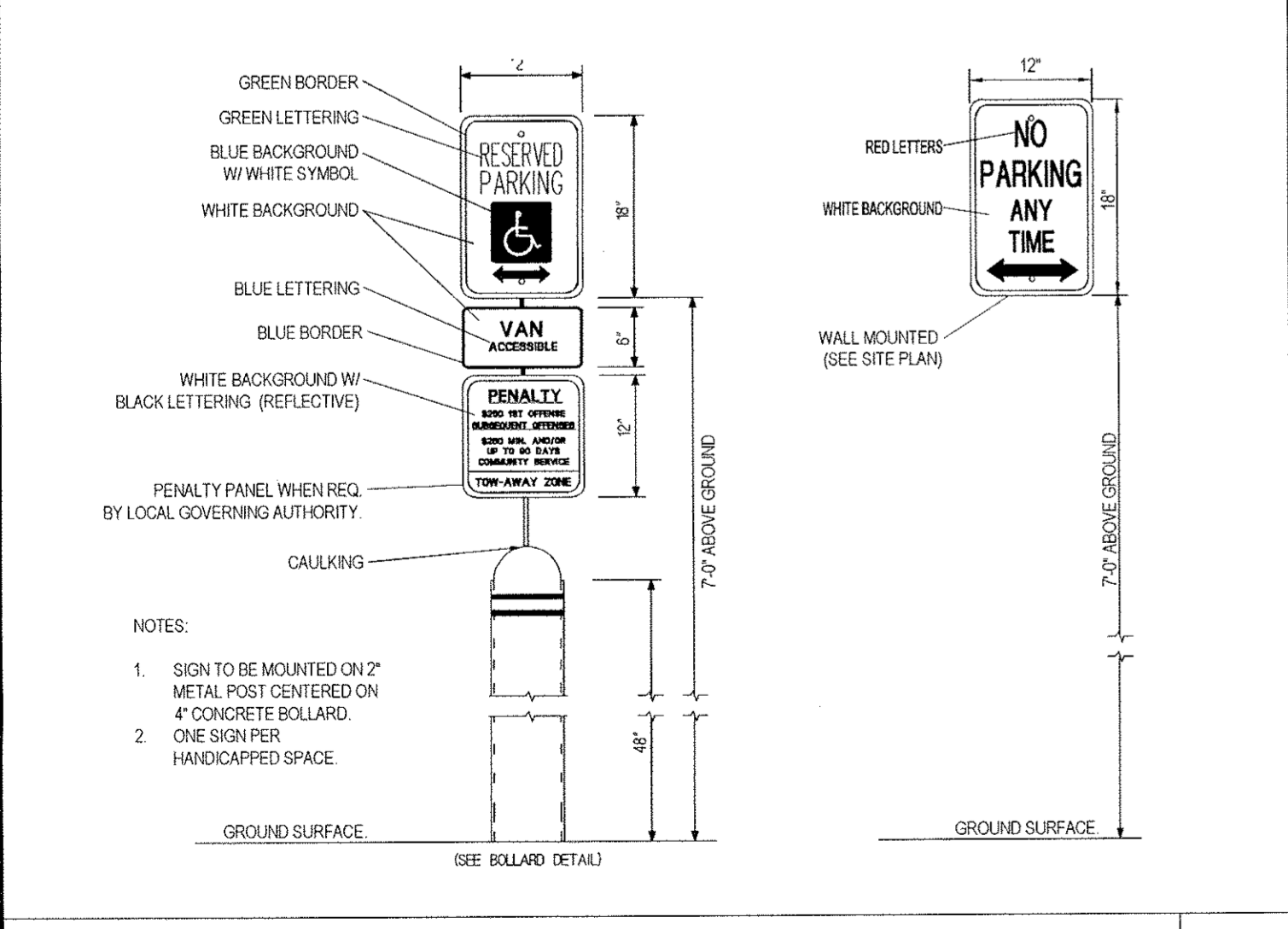
**TRANSITION CURB DETAIL** N.T.S.



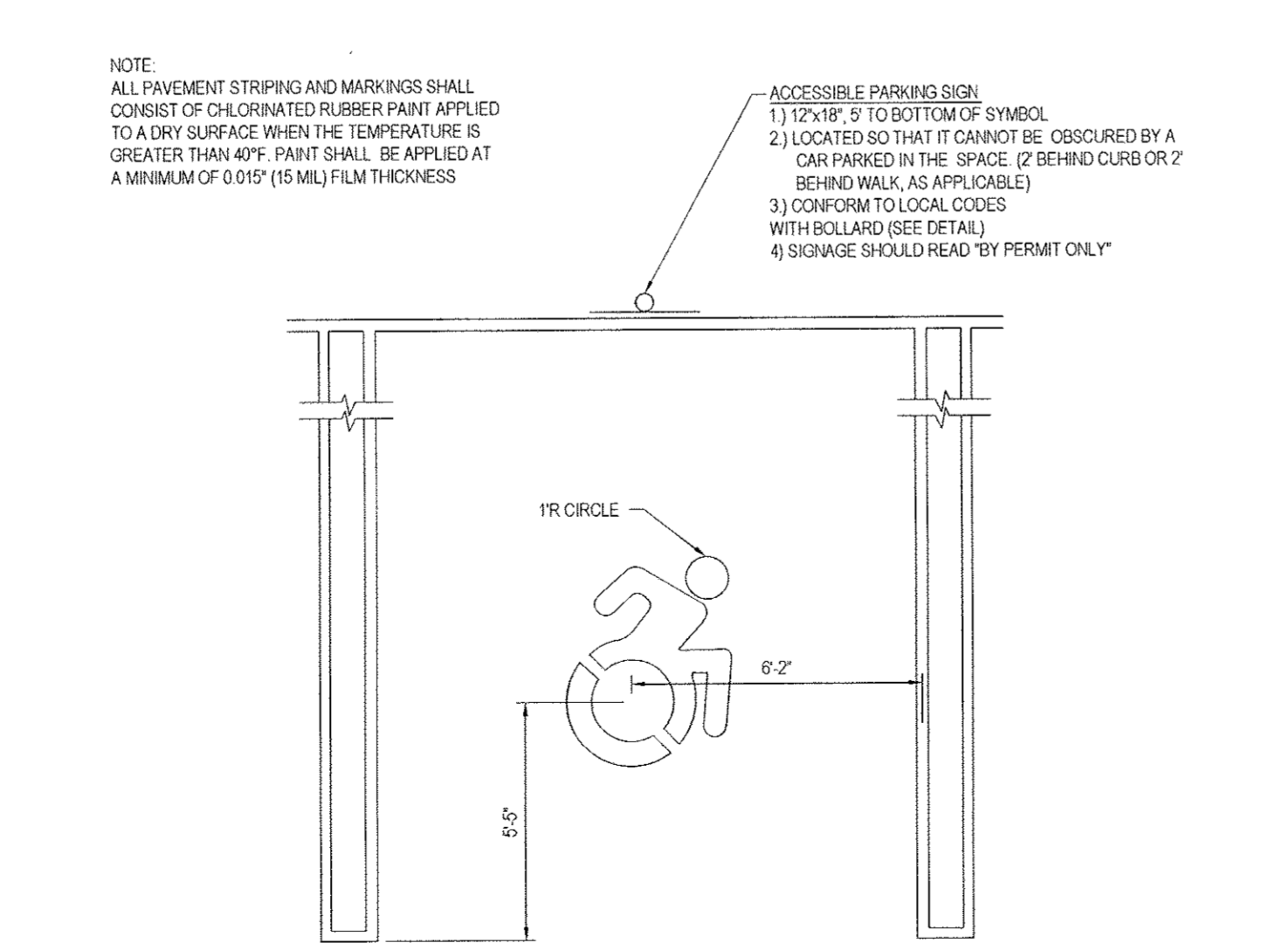
**DRIVEWAY APRON DETAIL** N.T.S.



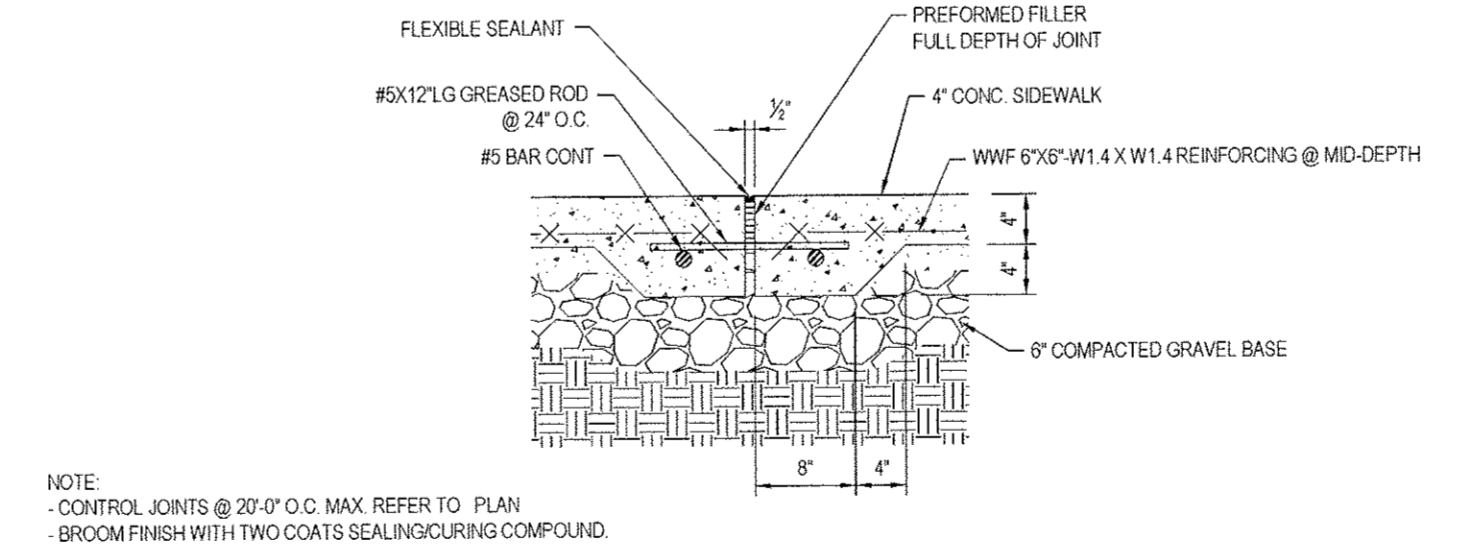
**ADA ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL** N.T.S.



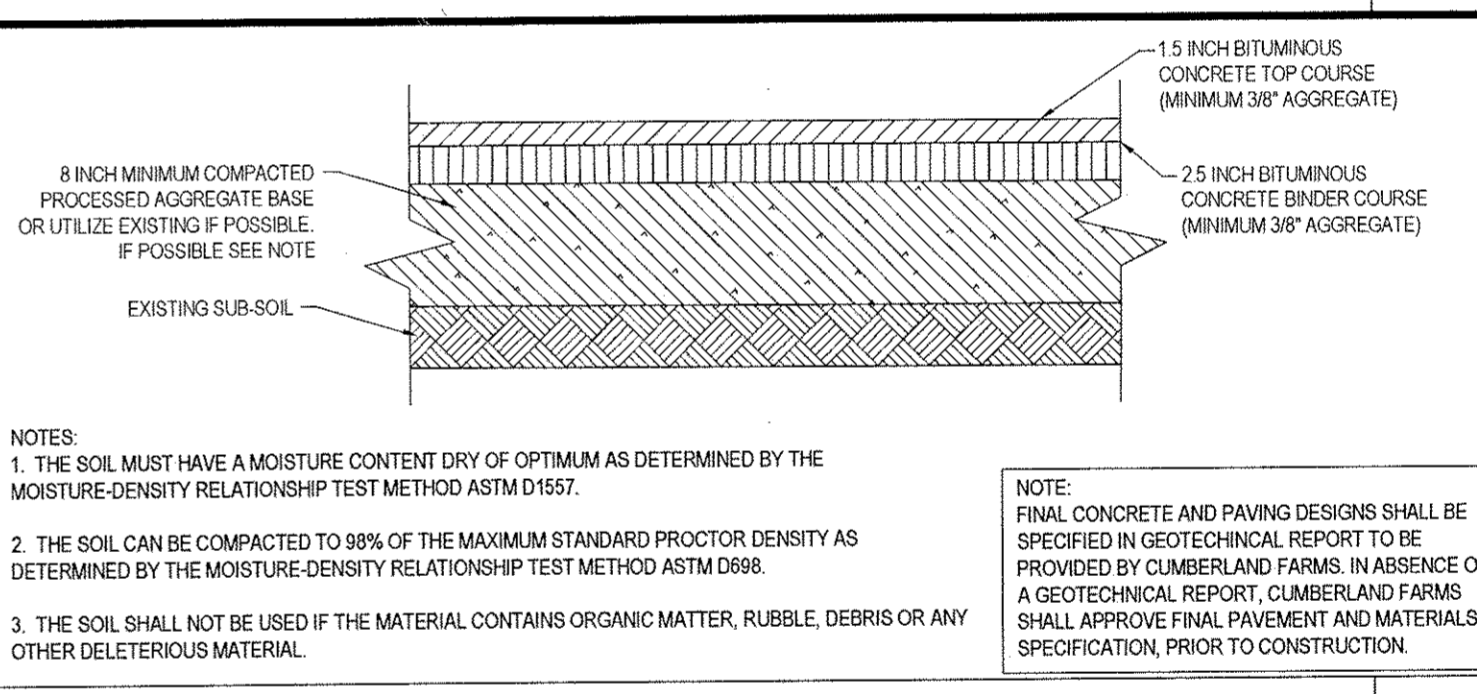
**ADA PARKING SIGN (WITH BOLLARD)** N.T.S.



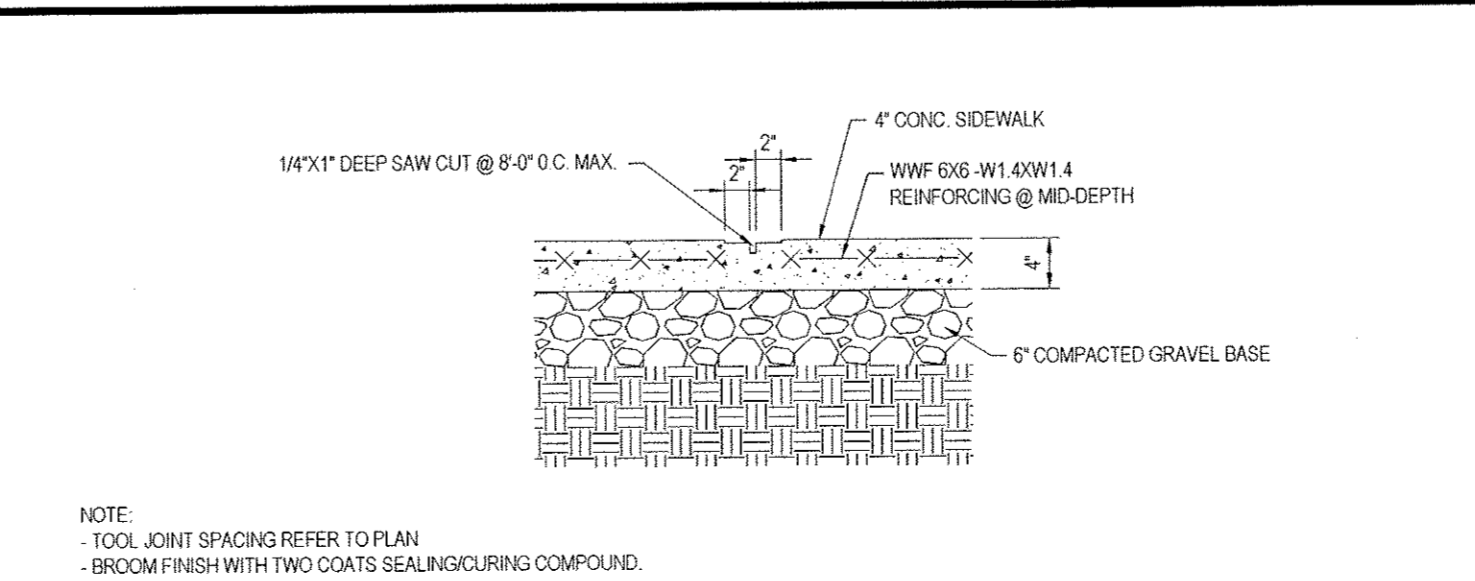
**ADA PARKING STALL PAINTING DETAIL** N.T.S.



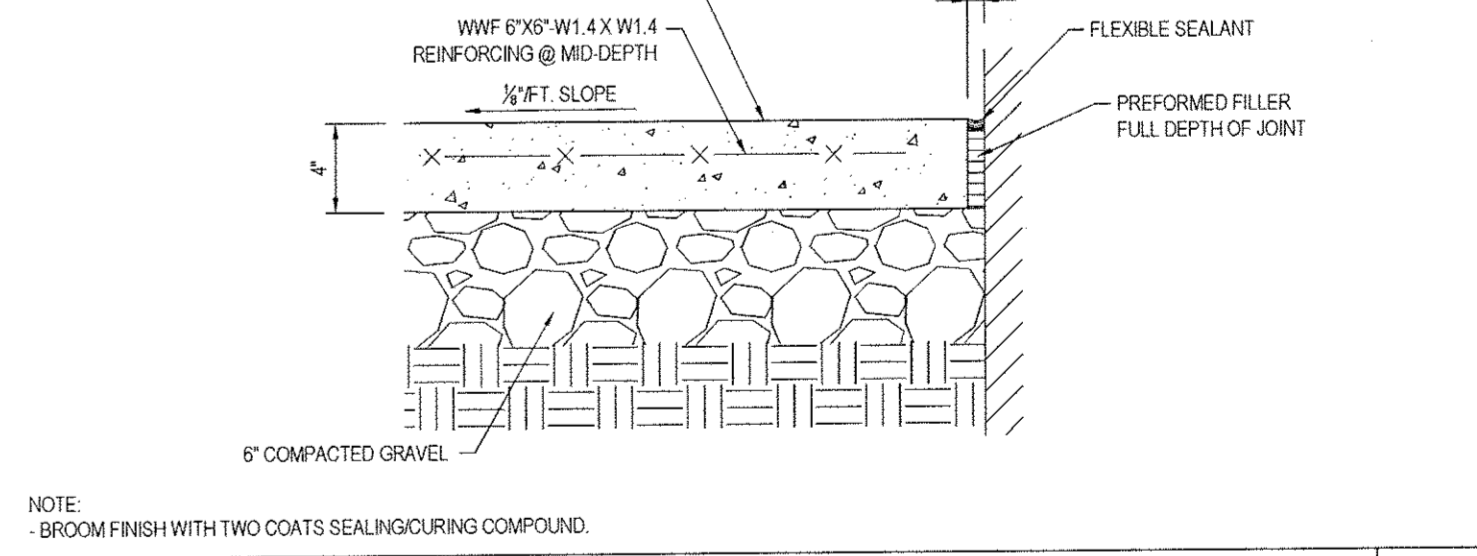
**DETAIL @ SIDEWALK EXPANSION JOINT** N.T.S.



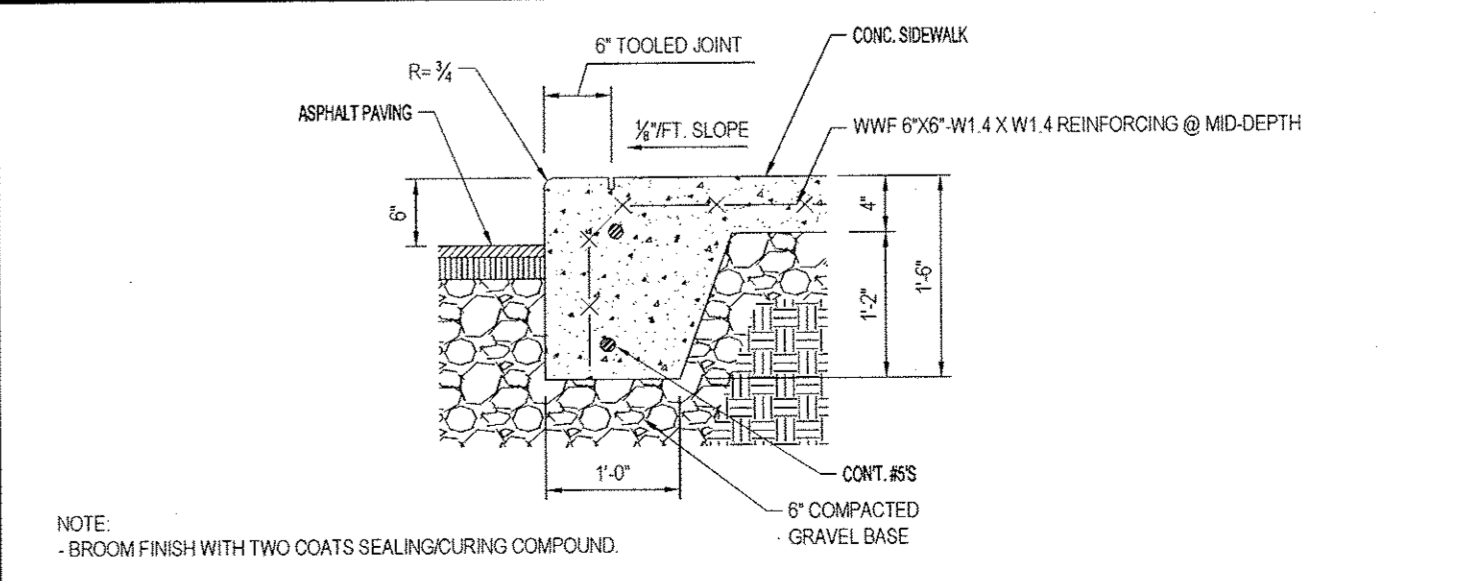
**TYPICAL PAVEMENT SECTION** N.T.S.



**DETAIL @ SIDEWALK CONTROL JOINT** N.T.S.



**DETAIL @ SIDEWALK / BLD. WALL** N.T.S.



**DETAIL @ SIDEWALK & CURB** N.T.S.

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

NEW YORK STATE LICENSE NO. 01284-1  
VERMONT LICENSE NO. 7735  
CONNECTICUT LICENSE NO. 21854  
NEW HAMPSHIRE LICENSE NO. 10287  
MASSACHUSETTS LICENSE NO. 42644  
OHIO LICENSE NO. E-08329

NEW YORK  
ALBANY, NY  
BOSTON, MA  
BURLINGTON, VT  
CHICAGO, IL  
DENVER, CO  
FORT LAUDERDALE, FL  
HOUSTON, TX  
INDIANAPOLIS, IN  
JACKSONVILLE, FL  
MEMPHIS, TN  
MIAMI, FL  
MINNEAPOLIS, MN  
NASHVILLE, TN  
PHOENIX, AZ  
PORTLAND, ME  
SAN ANTONIO, TX  
SAN JOSE, CA  
SEATTLE, WA  
SOUTH BEND, IN  
TAMPA, FL  
WASHINGTON, DC

**REVISIONS**

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/20/16	PER TOWN PLANNING BOARD COMMENTS	AKS
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13			
14			
15			

**PRELIMINARY**

PROJECT No.: B150208  
MED  
DRAWN BY: JRG  
CHECKED BY: JRG  
DATE: 01/22/2016  
SCALE: AS NOTED  
CAD I.D.: B150208SS02

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**

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Fax: (518) 438-9900  
www.BohlerEngineering.com

**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
NEW YORK LICENSE NO. 01284-1  
VERMONT LICENSE NO. 7735  
CONNECTICUT LICENSE NO. 21854  
NEW HAMPSHIRE LICENSE NO. 10287  
MASSACHUSETTS LICENSE NO. 42644  
OHIO LICENSE NO. E-08329

**SITE CONSTRUCTION DETAILS**

SHEET NUMBER: **CFG09.0**  
OF 17

REV 4

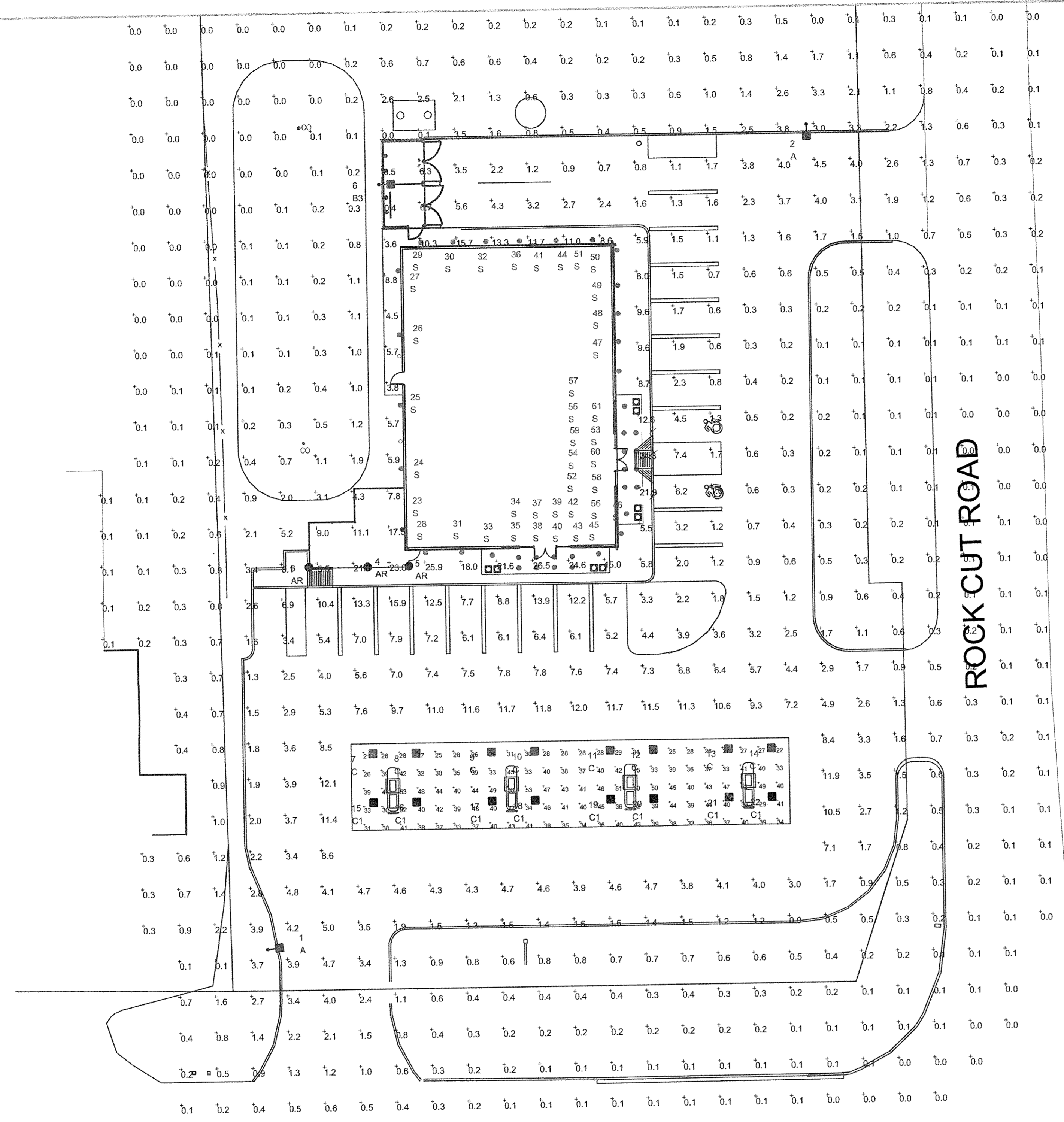
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NOTE:  
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES  
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.  
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUM NO.	LABEL	MTG. HT.
1	A	16.228
2	A	16.228
3	AR	8
4	AR	8
5	AR	8
6	B3	16.228
7	C	14
8	C	14
9	C	14
10	C	14
11	C	14
12	C	14
13	C	14
14	C	14
15	C1	14
16	C1	14
17	C1	14
18	C1	14
19	C1	14
20	C1	14
21	C1	14
22	C1	14
23	S	12
24	S	12
25	S	12
26	S	12
27	S	12
28	S	12
29	S	12
30	S	12

LUM NO.	LABEL	MTG. HT.
31	S	12
32	S	12
33	S	12
34	S	16.228
35	S	16.228
36	S	12
37	S	16.945
38	S	16.945
39	S	16.945
40	S	16.945
41	S	12
42	S	16.228
43	S	16.228
44	S	12
45	S	12
46	S	12
47	S	12
48	S	12
49	S	12
50	S	12
51	S	12
52	S	16.228
53	S	16.945
54	S	16.945
55	S	16.228
56	S	12
57	S	12
58	S	16.228
59	S	16.945
60	S	16.945
61	S	16.228

**NEW YORK STATE ROUTE 17K**

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CONOPY	37.28	53	21	1.78	2.52
PAVED AREA	4.17	15.9	0.2	20.85	79.50
UNDEFINED AREA	1.21	26.5	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
AR	2	AR	SINGLE	10706	1.040	132.5	265	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
A	3	A	SINGLE	10706	1.040	132.5	397.5	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
B3	1	B3	SINGLE	8480	1.040	134	134	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-700-57K
C	8	C	SINGLE	12060	1.040	134	1072	CREE, INC.	CAN-304-3M-RS-06-E-UL-XX-700-57K
C1	8	C1	SINGLE	13696	1.040	134	1072	CREE, INC.	CAN-304-PS-RS-06-E-UL-XX-700-57K
S	39	S	SINGLE	1757	1.000	19.8	772.2	Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR +RC6 HOUSING

REV.	BY	DATE	DESCRIPTION
R1	TAS	7/25/16	UPDATE SITE PLAN

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY: ALL PRODUCT SERVICE AND OPERATING NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND DIMENSIONS MAY VARY. THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. AND USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF RED LEONARD ASSOCIATES, INC. IS EXPRESSLY PROHIBITED.

ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

PROJECT NAME: **CUMBERLAND FARMS NEWBURGH, NY**

SCALE: 1" = 20'

LAYOUT BY: TAS

DWG SIZE: D

DATE: 3/15/16

DRAWING NUMBER: **RL-3609-S1-R1**

PROJECT NUMBER: **CFG 10.0**

**rla**

1 of 2



# AREA



# AREA



# CANOPY



# SOFFIT

SYMBOL	QTY	LABEL
	3	A
ARE-EDG-3M-DA-06-E-UL-XX-700-57K		
	1	B3
ARE-EDG-4MB-DA-06-E-UL-700-57K		

SYMBOL	QTY	LABEL
	2	AR
ARE-EDG-3M-DA-06-E-UL-XX-700-57K		

SYMBOL	QTY	LABEL
	8	C
CAN-304-5M-RS-06-E-UL-XX-700-57K		
	8	C1
CAN-304-PS-RS-06-E-UL-XX-700-57K		

SYMBOL	QTY	LABEL
	39	S
LR618L-40K-120V-A-DR +RC6 HOUSING		

### Cree Edge™ Series

**Product Description:** Cree Edge™ Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent beam spread.

**Applications:** Warehouse, industrial, and commercial lighting.

**Ordering Information:** Includes a table with columns for Product, Type, Mounting, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### Cree Edge™ Series

**Product Description:** Cree Edge™ Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent beam spread.

**Applications:** Warehouse, industrial, and commercial lighting.

**Ordering Information:** Includes a table with columns for Product, Type, Mounting, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### 304 Series™

**Product Description:** Cree 304 Series™ LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent beam spread.

**Applications:** Warehouse, industrial, and commercial lighting.

**Ordering Information:** Includes a table with columns for Product, Type, Mounting, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### LR6 Series

**Product Description:** Cree LR6 Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent beam spread.

**Applications:** Warehouse, industrial, and commercial lighting.

**Ordering Information:** Includes a table with columns for Series, LED Power, Color, and Options.

**UL US IEC CREE**

### RC6

**Product Description:** Cree RC6 LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent beam spread.

**Applications:** Warehouse, industrial, and commercial lighting.

**Ordering Information:** Includes a table with columns for Series, LED Power, Color, and Options.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and beam spread data.

**Photometry:** Includes a table for photometric data.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and beam spread data.

**Photometry:** Includes a table for photometric data.

**UL US IEC CREE**

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**UL US IEC CREE**

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**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and beam spread data.

**Photometry:** Includes a table for photometric data.

**UL US IEC CREE**



Store # 1560  
VSH # V0932  
Oracle #NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

# ALLEVATO

Allevalo Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

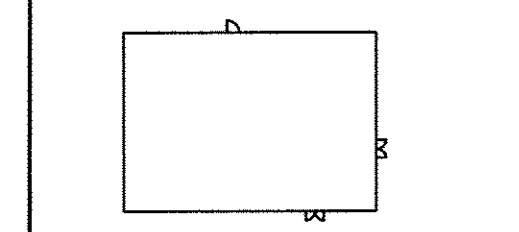
Seal

Consultant

Revisions

No.	Date	Issued for
1	12/9/15	SD SUBMISSION

Key Plan

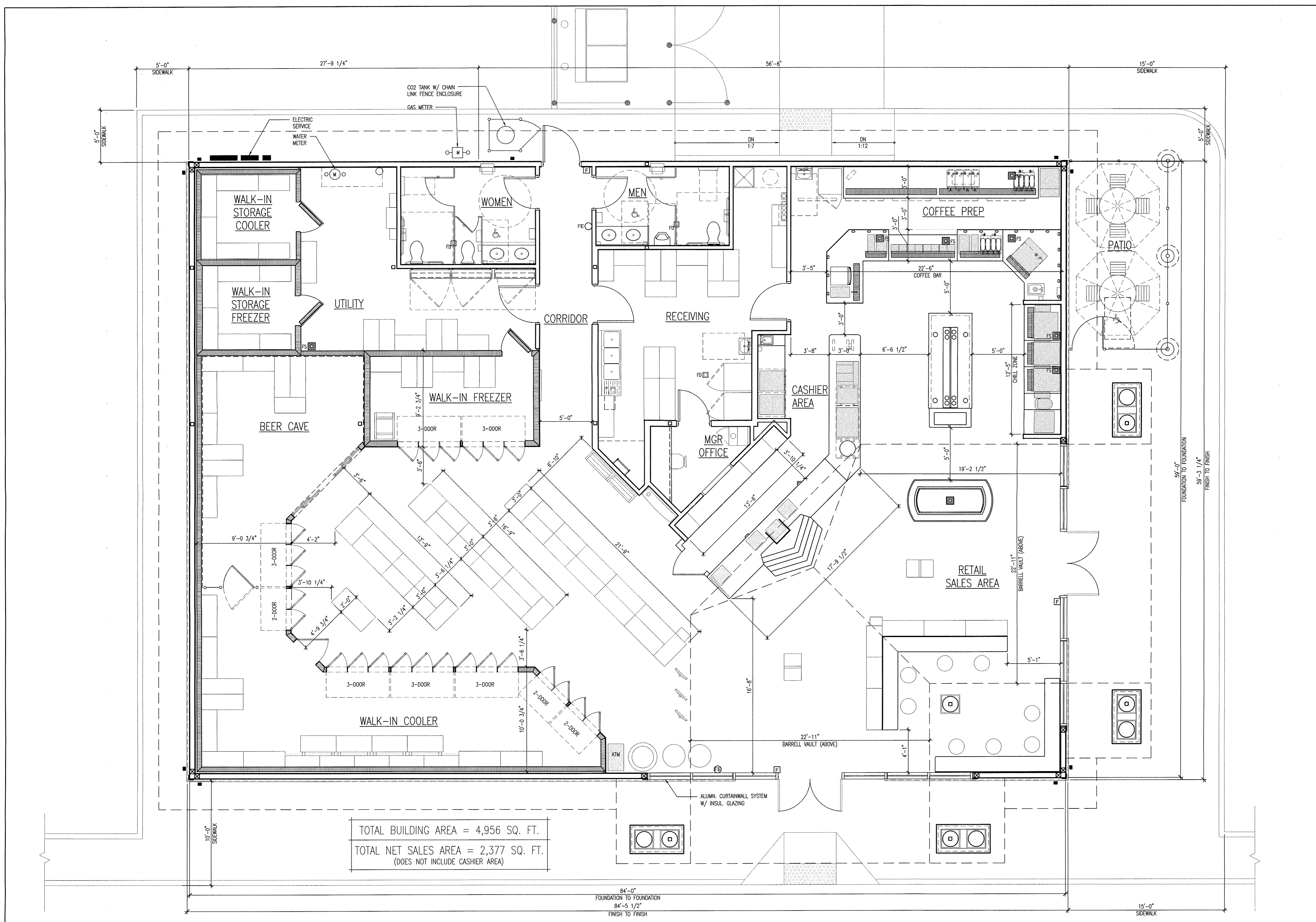


Title  
**FLOOR PLAN**

Date: 12/09/15  
Drawing No.

# A1.1

Project No. 1500.59



1 FLOOR PLAN  
A1.1 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE					
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTED		PAINTE WHITE COLOR TO BE SELECTED BY ARCHITECT	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GO TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTED		PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM & PANELS. GO TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS		SMOOTH WHITE FINISH	16" X 9" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH
VS-1	VINYL SIDING	CERTAINTED	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTED LANDMARK	LANDMARK	COBBLESTONE GRAY	30 YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	HICKMAN	.050 ALUMINIUM	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.

5 FINISH SCHEDULE  
A3.1 SCALE: NTS

FRONT WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED  
INTERNALLY ILLUMINATED SIGN BOX  
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 37.6 SQ.FT



4 FRONT WALL SIGNAGE DETAIL  
A3.1 SCALE: 1/4"=1'-0"

3 NOT USED  
A3.1 SCALE: NTS



2 RIGHT SIDE ELEVATION  
A3.1 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
A3.1 SCALE: 1/4"=1'-0"

Project Title  
New Construction:



Store # 1560  
VSH # V0932  
Oracle #NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner

Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

ALLEVATO

Allevalo Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

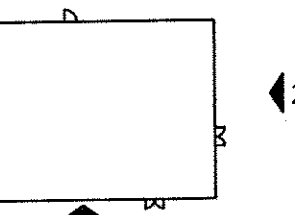
Seal

Consultant

Revisions

No.	Date	Issued for
12/9/15	SD SUBMISSION	

Key Plan



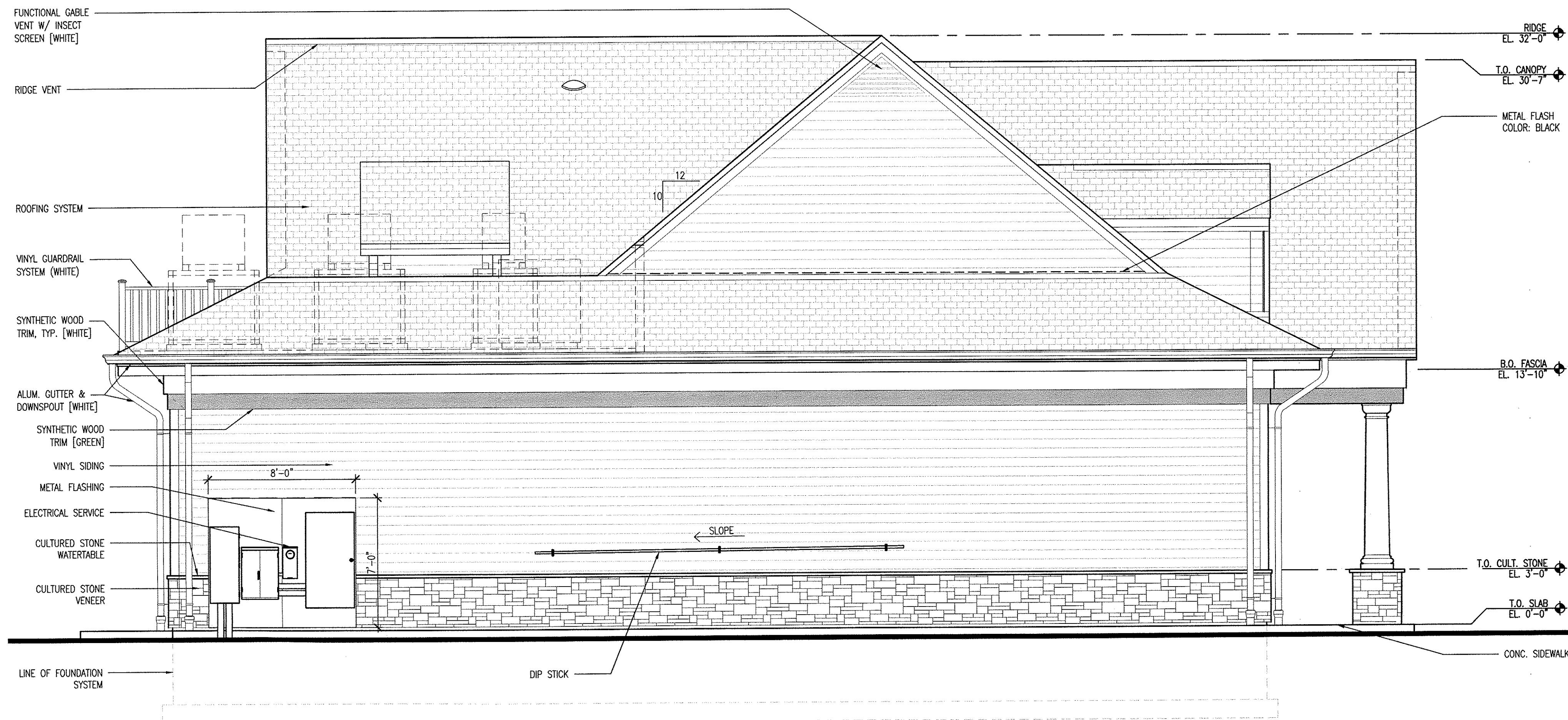
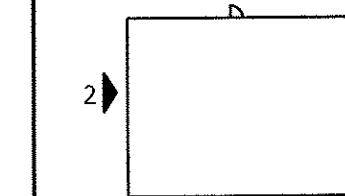
Title

EXTERIOR ELEVATIONS

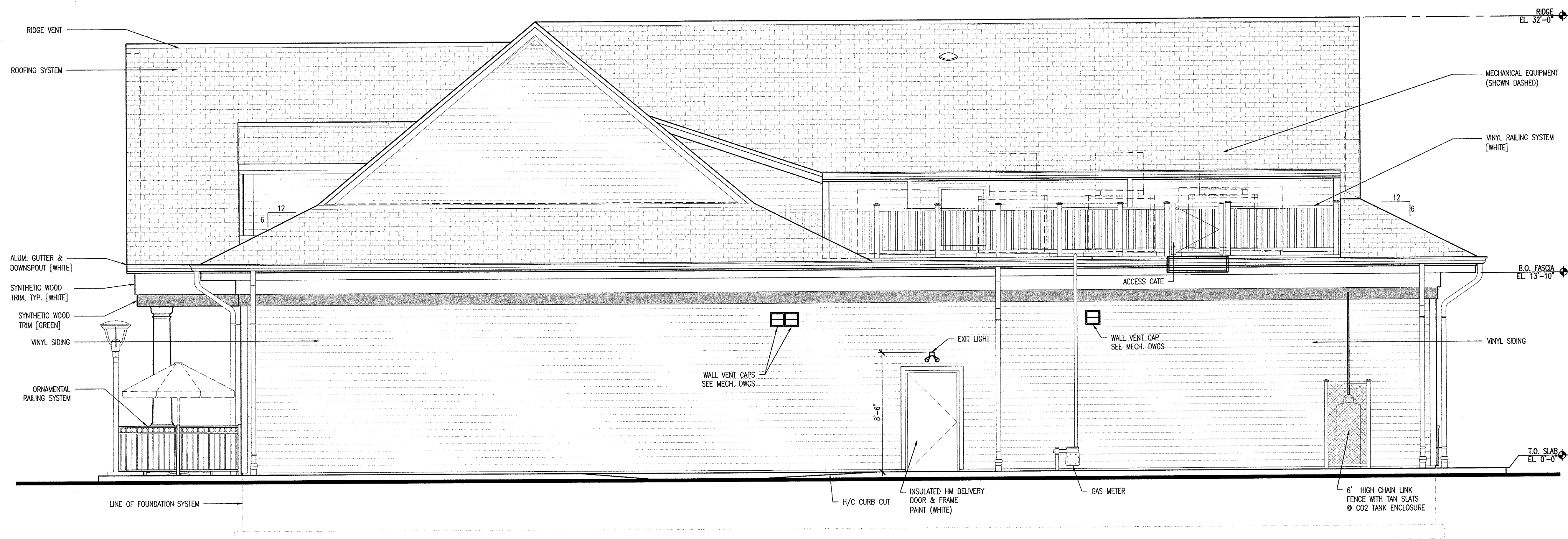
Date: 12/09/15

Drawing No.

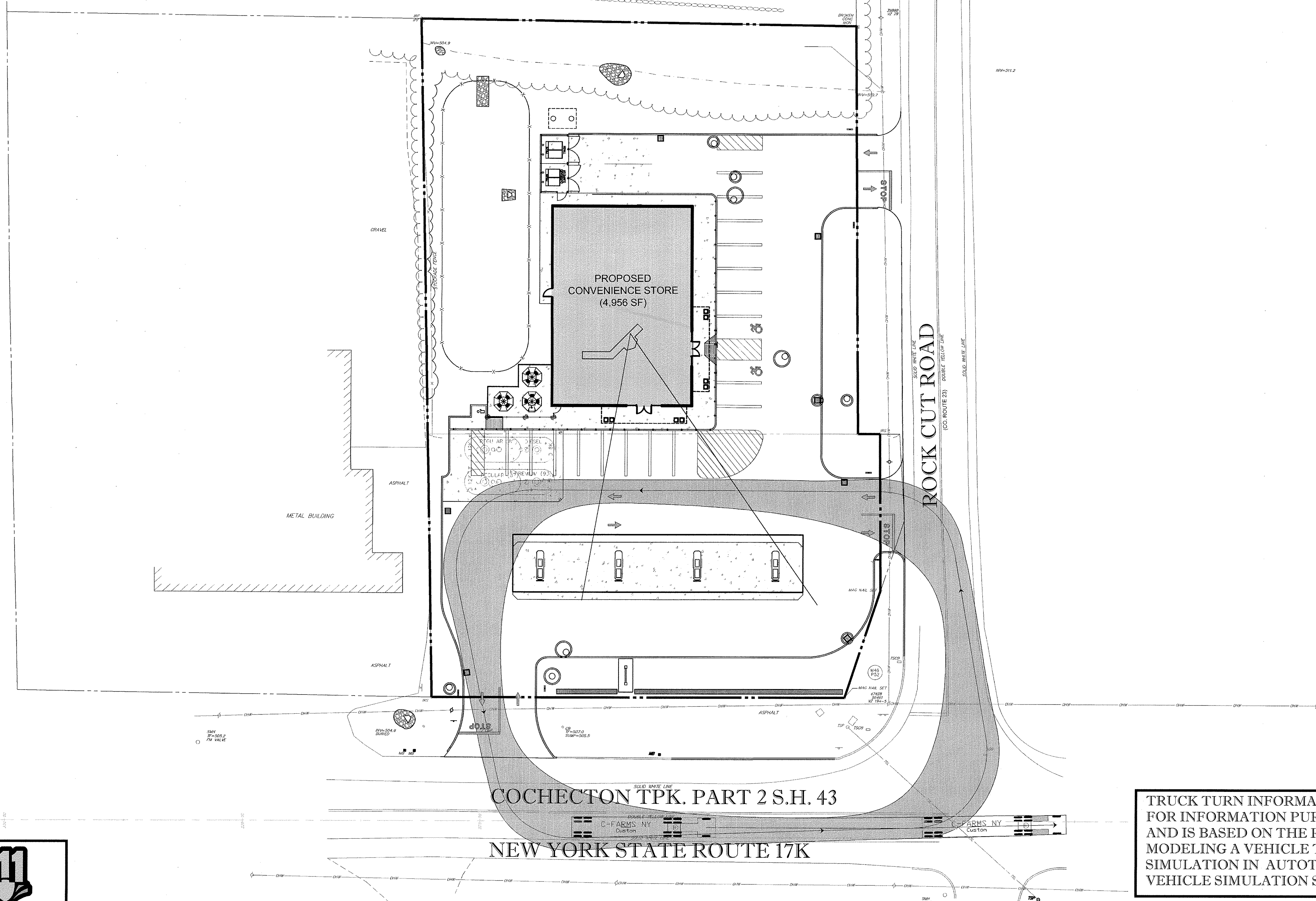
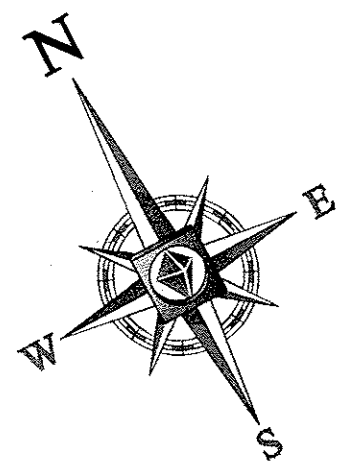
A3.1



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



TRUCK TURN INFORMATION SHOWN FOR INFORMATION PURPOSES ONLY AND IS BASED ON THE RESULTS OF MODELING A VEHICLE TURN SIMULATION IN AUTOTURN VEHICLE SIMULATION SOFTWARE

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 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

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 LOS ANGELES, CA  
 MEMPHIS, TN  
 MIAMI, FL  
 NEW YORK, NY  
 PHILADELPHIA, PA  
 RICHMOND, VA  
 TAMPA, FL  
 WASHINGTON, DC

REVISIONS			
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4	08/15/16	PER TDE COMMENTS	AKS
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13			
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**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS00

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**  
 17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
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SHEET TITLE:  
**TRUCK SIMULATION PLAN**

SHEET NUMBER:  
**1**  
 OF 1

REV 4

**811**  
 Know what's below.  
 Call before you dig.

P:\1518150208\Cumberland Farms, 270 NY-17K, Newburgh, NY\05\_CAD\_DOCUMENT\B150208SS00.dwg, XY TRUCK SIMULATION, 7/11/2016, 8:41:43 AM, ewesterman, xms0510-1.pcs, User634, 11