



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
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Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CUMBERLAND FARMS**  
**PROJECT NO.: 16-05**  
**PROJECT LOCATION: SECTION 86, BLOCK 1, LOT 14 & 15**  
**REVIEW DATE: 9 SEPTEMBER 2016**  
**MEETING DATE: 15 SEPTEMBER 2016**  
**PROJECT REPRESENTATIVE: BOHLER ENGINEERING**

1. Time frames for outside agencies to contest the Town's Lead Agency status have lapsed. No agency has objected to the Town of Newburgh acting as Lead Agency for the project.
2. Status of review from NYSDOT and Orange County Department of Public Works for access drives should be discussed with the Planning Board as this is a critical path item for approvals.
3. Response to technical comments regarding SWPPP is requested. The Applicant's representative were tasked with addressing discharge to culvert pipes which traverse neighboring properties.
4. Sanitary sewer pump station design has been provided and is acceptable.
5. Lot consolidation must be a condition of approval combining the two existing parcels into one to eliminate zoning compliance issues.
6. The Planning Board has indicated a Public Hearing should be held for the project which could be scheduled upon making a SEQRA determination.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

Patrick J. Hines  
Principal

PJH/kbw



# BOHLER<sup>TM</sup>

## ENGINEERING

17 Computer Drive West  
Albany, NY 12205  
PHONE 5:8.438.9900  
FAX 5:8.438.0900

### Via Overnight Delivery

August 16, 2016

Town of Newburgh  
308 Gardnertown Road  
Newburgh, NY 12550

Attention: Mr. John Ewasutyn, Planning Board Chairman

**Re: Response to Comments Summary  
Proposed Cumberland Farms  
270 NY-17K  
Town of Newburgh, New York**

Dear Mr. Ewasutyn:

Please find enclosed fifteen (15) copies of the updated Site Development Plans. On behalf of our client, Cumberland Farms, we are pleased to submit this response to comments summary to the July 21, 2016 comment letter from Mr. Patrick Hines at McGoey, Hauser and Edsall Consulting Engineers D.P.C. As part of this response to comments summary, enclosed please find two (2) copies of the Engineer's Report for this project. We have also sent Mr. Hines a copy of this submittal directly to his office.

1. A Stormwater Pollution Prevention Plan has been submitted and is under review by this office.  
*Comment noted.*
2. The discharge location for the existing pipe, which receives runoff from the Stormwater Management practices should be identified on the plans. Operation and maintenance of this drainage system should be addressed by the Applicants representative. Portions of the drainage are tributary to an NYSDOT culvert under Route 17K. This office is aware of maintenance issues identified by neighboring property owners.  
*Stormwater from the subject property discharges to an existing established drainage channel along the northern property line. This channel conveys stormwater from the subject property, portions of Rock Cut Road and lands to the east in a westerly direction across the adjoining westerly properties and ultimately across Route 17K. Stormwater from this point flows in a southerly and easterly direction through several tributaries which ultimately discharge to the Hudson River. There are many properties which are tributary to this drainage path. The Cumberland Farms property is a relatively small portion of this watershed. With regard to the existing pipe in the existing drainage channel at the northwest corner of the property, it appears the adjoining westerly property owner installed a pipe in this existing drainage channel to utilize more of his land for parking. It also appears he has ownership and maintenance responsibilities for this pipe, as we are not aware of any easements or agreements associated with it. The discharge location of the existing pipe referenced above is on private property on the adjoining westerly lands and is outside the scope of this project and is therefore not shown on the project survey or site development plans. The proposed stormwater management system for this project is designed to treat and discharge stormwater at a flow rate less than exists today. The proposed stormwater management system is designed to exceed the goals and requirements set forth by the NYSDEC for water quality, runoff reduction and water quantity controls. Stormwater from other privately owned properties and downstream conveyance pipes are not in control of or the responsibility of the applicant. The applicant is meeting their responsibilities by mitigating stormwater from this site per the guidelines set forth by the NYSDEC and are discharging treated stormwater at a controlled rate into an established drainage channel on our property which will follow the same flow path as exists today and at a flow rate less than exists today. We have added an overflow connection from our treatment system in the rear of the site which will discharge to the NYSDOT ROW in the front of the site in the event of a failure of the conveyance pipe and channel in the rear of the site. Cumberland Farms will be responsible for the ongoing operations and maintenance of their onsite stormwater treatment and conveyance systems.*

3. Orange County Planning referral is required. This office will submit plans to Orange County now that SWPPP has been submitted, additional copy of applications, environmental assessment forms, plans and SWPPP should be provided.  
*Comment noted, we have provided additional copies as requested.*
4. Orange County DPW and NYSDOT approvals are required for driveway access points.  
*Comment noted, we have completed a preliminary submittal to the NYSDOT and to the OCDPW.*
5. The Planning Board should review the Landscape plan, specifically the stone wall designs proposed to mitigate design guidelines of parking in the front yard. A detail of the stone wall should be provided on the plans.  
*The requested details have been added to the plans.*
6. This office is awaiting submission of the Sanitary Sewer Pump Station and associated design details, including grease trap sizing.  
*A sanitary sewer pump station design report as well as design details and grease trap sizing has been included in this submittal.*
7. Water service lateral must be set up such that when sprinkler system is terminated potable water is terminating valving must be provided to incorporate that.  
*The proposed water service valves and service lines have been updated on the Utility Plan as requested.*
8. Water service lateral does not appear to meet separation distances from drainage pipe along rear of structure.  
*Water service lateral has been revised to meet separation distances from drainage pipe.*
9. It is requested the Applicants pursue NYSDOT and Orange County DPW comments for access as soon as possible in order to determine if those agencies will require modifications to the plans. Orange County DPW will require notes on plan sheets which state no construction may commence until county permit is issued. Orange County DPW standard access detail will be required on the plan sheets.  
*We have completed a preliminary submittal to the NYSDOT and the OCDPW and are awaiting comments from both.*
10. Landscaping plan has an incomplete owner maintenance responsibility note.  
*The owner maintenance responsibility note has been revised to included specific requirements from the Town Code.*
11. Details of the hydrodynamic separator and the drainage manhole/outlet control structure should be added to the plans.  
*The requested details have been added to the plans.*

Should you have any questions or any additional needs please do not hesitate to contact us at (518) 438-9900.

Sincerely,

**BOHLER ENGINEERING, LLC**

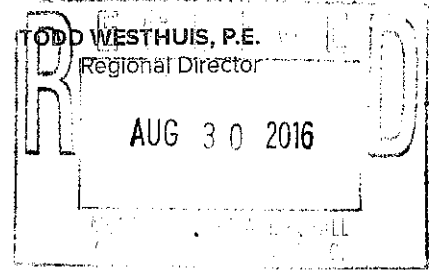
  
James R. Gillespie



Department of Transportation

ANDREW M. CUOMO Governor

MATTHEW J. DRISCOLL Commissioner



August 22, 2016

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: NYSDOT SEQR #: 16-142
Cumberland Farms
Route 17K
Town of Newburgh; Orange County

Dear Mr. Ewasutyn:

A submittal for the subject proposal was received by this Department on August 16, 2016. Included were the Full Environmental Assessment Form Part 1, the Stormwater Pollution Prevention Plan and Site Development Plans. Also received was the request from the Town Planning Board declaring its intent to act as Lead Agency to conduct all necessary review under SEQRA. The New York State Department of Transportation consents to the Town of Newburgh Planning Board serving as Lead Agency for review of the referenced proposal.

It is anticipated that a Highway Work Permit (HWP) will be required as part of the proposed action. A detailed engineering review is necessary and required for issuance of a HWP. The applicant should be directed to contact the local HWP Engineer to initiate a review process. Please contact:

Siby Zachariah-Carbone, Permit Engineer
NYS Department of Transportation
112 Dickson Street
Newburgh, NY 12550
Phone # (845) 562-8368

The applicant is also encouraged to review the permit process and all required HWP forms on the NYSDOT website (https://www.dot.ny.gov/index) In particular, please review the PERM33-COM form.

Please submit subsequent plans and documents for this project as well as those for any future development proposals in digital (PDF.) - CD, DVD or Thumb drive.

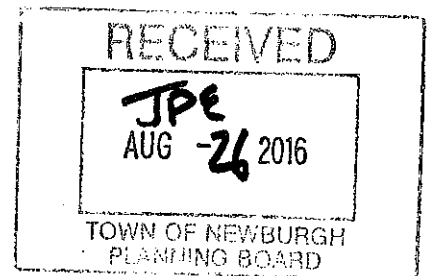
Very truly yours,

Handwritten signature of Michael P. Manning

Michael P. Manning
SEQRA Unit

cc: L. Zimmer, P.E. Regional Permit Coordinator
Siby Zachariah-Carbone, Permit Engineer, Residency 8-4
Scott Shearing, Bohler Engineering
Orange County Planning Dept.

FILE COPY







**LOT AND BULK REQUIREMENTS:**

TOWN OF NEWBURGH - ZONE IB (INTERCHANGE BUSINESS)

REQUIRED	
FRONT SETBACK	50'
SIDE SETBACK	50'
REAR SETBACK	60'
MAX. BLDG. HEIGHT	35'
MAX. BLDG. LOT COVERAGE PERCENT	40%
MIN. LOT AREA	40,000 S.F.
MIN. LOT WIDTH	150

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-15 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. 3019-760197, EFFECTIVE DATE AUGUST 14, 2015, "SCHEDULE "B"-II" (EXCEPTIONS):

ITEM NO 5: DRAINAGE EASEMENT TO THE COUNTY OF ORANGE, BOOK 2032, PAGE 928 (N). APPROXIMATE LOCATION SHOWN HEREON.

**EASEMENT NOTES:**

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-14 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. NCS-759898-H0U1, EFFECTIVE DATE AUGUST 21, 2015, "SCHEDULE "B"-II" (EXCEPTIONS):

ITEM NO 6: COVENANTS AND RESTRICTIONS, EASEMENTS AND AGREEMENTS: NONE

**TAX PARCEL NUMBER:**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK  
SEC. 86.00 - BLK. 1 - PARCELS 14 & 15

**MAP REFERENCES:**

- "CUMBERLAND FARMS LOT LINE ADJUSTMENT PLAN," PREPARED BY CONTROL POINT, DATED MARCH 28, 2002, LAST REVISED MAY 30, 2002 PROVIDED BY THE CLIENT.
- "COCHECTON TURNPIKE PART 2, S.H. 43" MAP NO. 46, PARCEL NO. 52 SHEET 1 OF 1, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 8, POUGHKEEPSIE, N.Y.

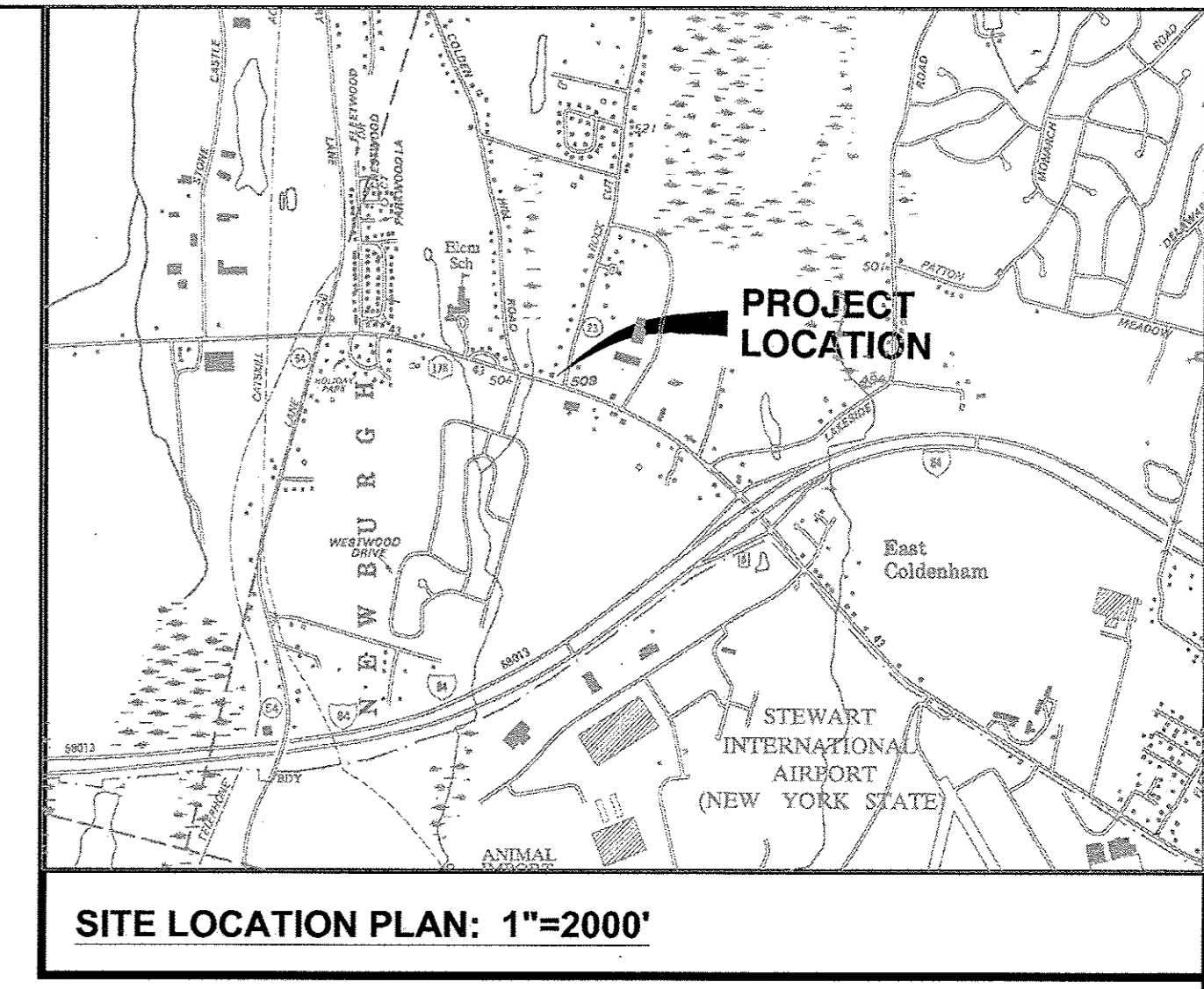
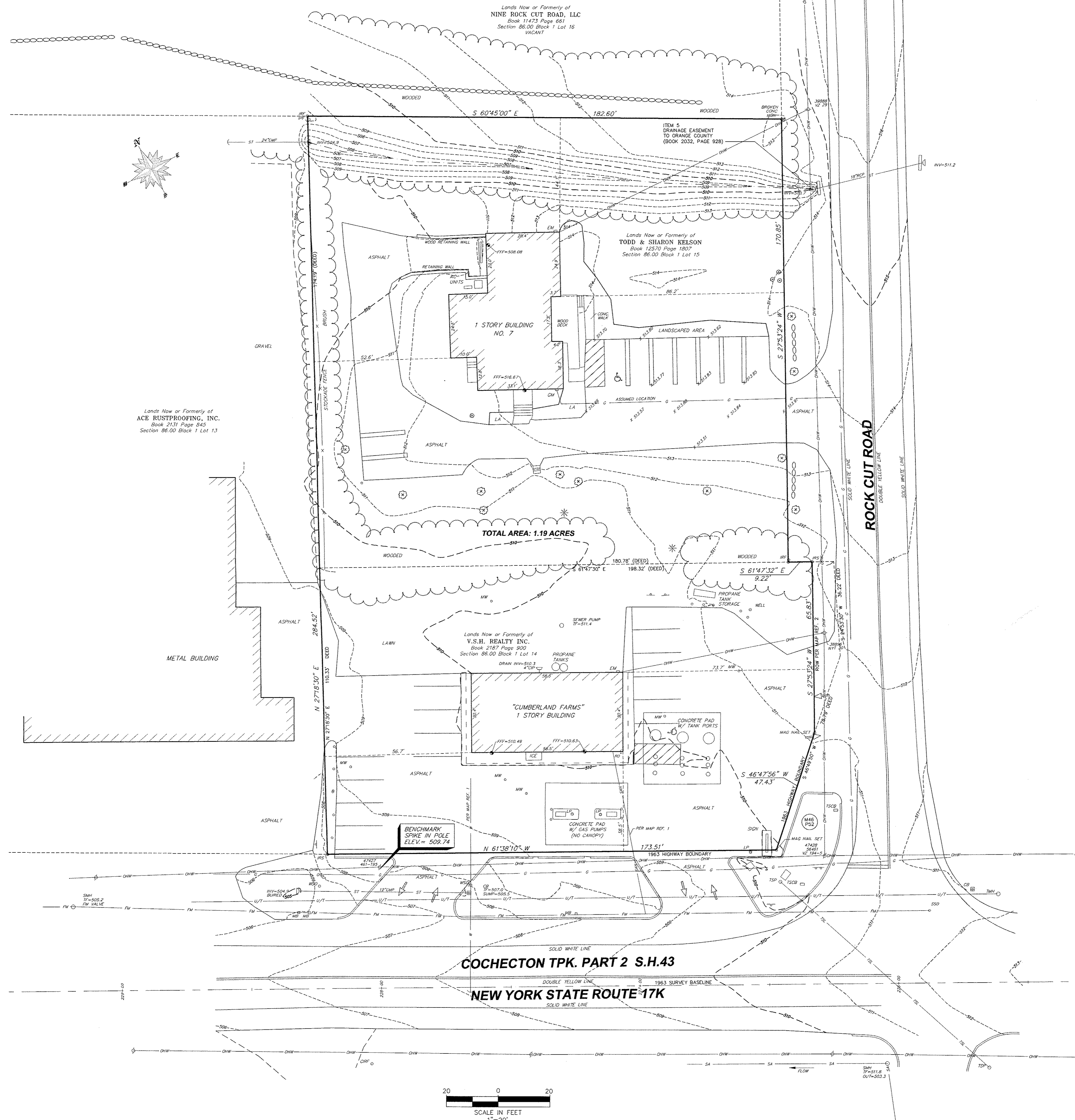
**DEED REFERENCES:**

- F.E.S. REALTY CO. TO V.S.H. REALTY INC., DATED JANUARY 16, 1981 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 2187 AT PAGE 900.
- MICHELLE MARCUS TO TODD A. AND SHARON L. KELSON, DATED NOVEMBER 2, 2007 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 12570 AT PAGE 1807.

**GENERAL NOTES:**

- NORTH IS ORIENTED TO DEED REFERENCE 1
- VERTICAL DATUM IS NGVD29 AS PER MAP REFERENCE 1
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
- SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
- SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.



**LEGAL DESCRIPTION:**

LANDS OF V.S.H. REALTY (RECORD DESCRIPTION)  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF NEW YORK STATE ROUTE 17-K WITH THE WESTERLY SIDE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE NORTHERLY SIDE OF NEW YORK STATE ROUTE 17-K NORTH 61 DEGREES 38 MINUTES 10 SECONDS WEST A DISTANCE OF 173.51 FEET TO A HIGHWAY MONUMENT; RUNNING THENCE NORTH 27 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 110.33 FEET; RUNNING THENCE SOUTH 61 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 198.32 FEET TO THE WESTERLY LINE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE WESTERLY LINE OF ROCK CUT ROAD THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) SOUTH 24 DEGREES 53 MINUTES 30 SECONDS WEST A DISTANCE OF 36.22 FEET; (2) SOUTH 46 DEGREES 49 MINUTES 50 SECONDS WEST A DISTANCE OF 78.79 FEET TO THE POINT OR PLACE OF BEGINNING.

LANDS OF KELSON (DESCRIPTION OF RECORD)  
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND LYING AND BEING IN, THE TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE LANDS N/F VSH REALTY (TAX LOT 86-1-14) AND THE LANDS N/F COUCH (TAX LOT 86-1-15), THE SUBJECT PREMISES; THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, N 37° 12' 46" E A DISTANCE OF 170.38' TO A CONCRETE MONUMENT; THENCE, N 51° 25' 38" W A DISTANCE OF 182.60' TO A POINT; THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F ACE RUSTPROOFING, INC., S 36° 37' 52" W A DISTANCE OF 174.19' TO A POINT; THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F VSH REALTY, S 52° 37' 08" E 180.78' TO THE POINT OR PLACE OF BEGINNING.

COMBINED PARCEL:  
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF THE COCHECTON TURNPIKE, S.H. 43 ALSO KNOWN AS N.Y.S. ROUTE 17K AND THE WESTERLY LINE OF ROCK CUT ROAD; THENCE IN A WESTERLY DIRECTION AND ALONG SAID NORTHERLY LINE OF N.Y.S. ROUTE 17K; NORTH 61°38'10" WEST, 173.51 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ACE RUSTPROOFING, INC. (BOOK 2131, PAGE 845), NORTH 27°18'30" EAST, 284.52 FEET TO AN IRON ROD FOUND; THENCE IN AN EASTERLY DIRECTION AND ALONG THE SOUTHERLY LINE OF THE LANDS NOW OR FORMERLY OF NINE ROCK CUT ROAD, LLC (BOOK 11473, PAGE 661), SOUTH 60°45'00" EAST, 182.80 FEET TO A POINT; THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORESAID WESTERLY LINE OF ROCK CUT ROAD, THE FOLLOWING FOUR COURSES: 1) SOUTH 27°53'24" WEST, 170.85 FEET TO A POINT; 2) SOUTH 61°47'30" EAST, 9.22 FEET TO A POINT; 3) SOUTH 27°53'24" WEST, 65.83 FEET TO A POINT AND 4) SOUTH 46°47'56" WEST, 47.43 FEET TO THE POINT OR PLACE OF BEGINNING.

CONTAINING IN ALL 1.19 ACRES OF LAND BEING MORE OR LESS

**FLOOD ZONE NOTE:**

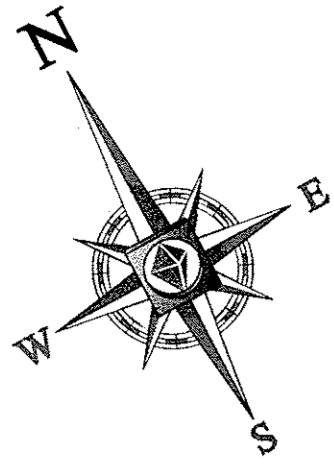
PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 3607100138E, PANEL 138 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

**CERTIFICATION:**

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(c), 7(c), 7(b)(1), 7(c), 8, 9, 10 (c), 11(c), 13, 14, 16 & 18 OF TABLE A THEROF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 14, 2015.

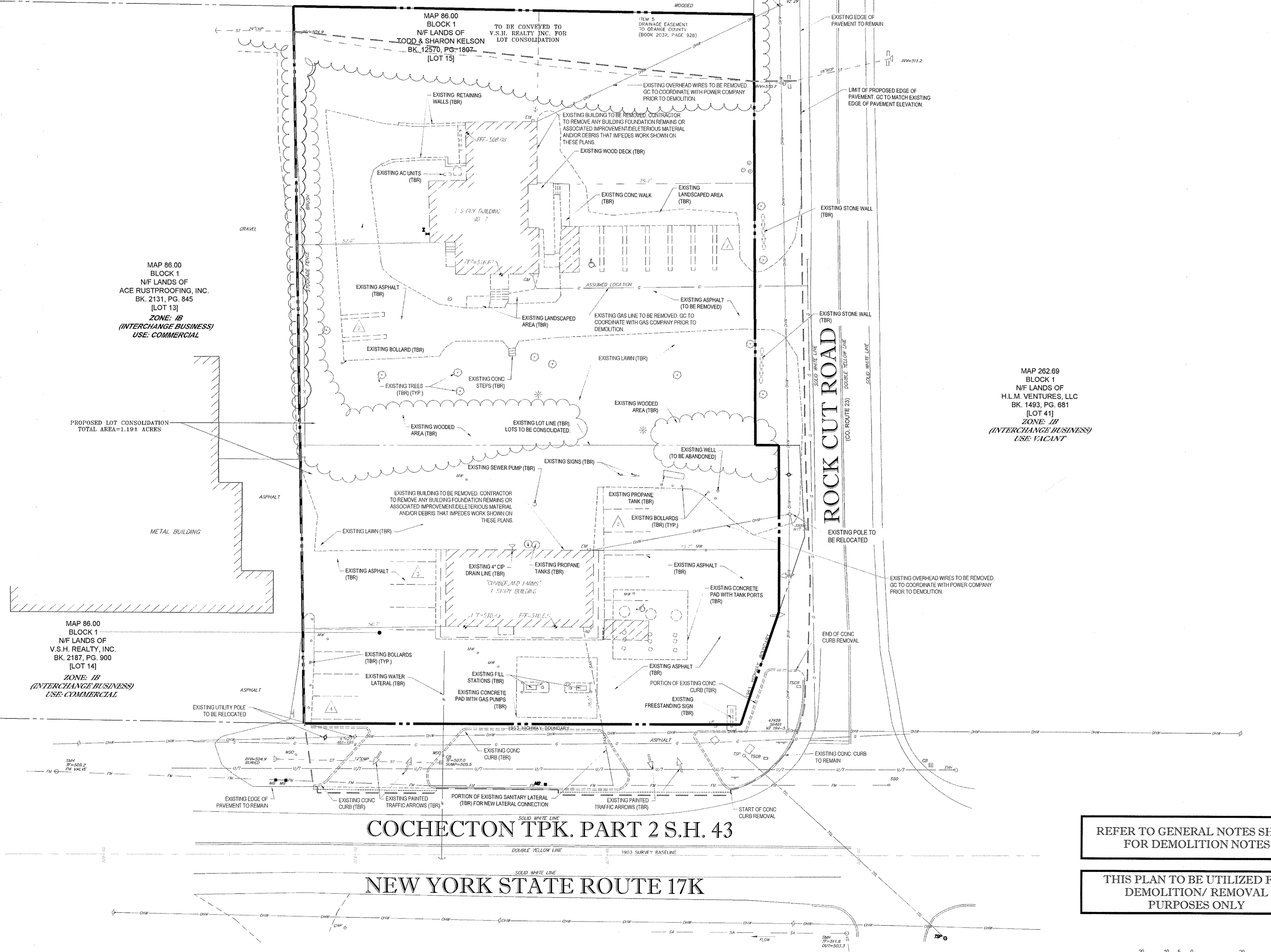
SIGNED: *Vincent P. Ausfeld* DATE: NOVEMBER 27, 2015  
N.Y.S. REGISTRATION NO. 049597

<b>270 ROUTE 17K</b>	
<b>ALTA/ACSM LAND TITLE SURVEY</b>	
<b>OF THE LANDS OF</b>	
<b>V.S.H. REALTY, INC. &amp;</b>	
<b>TODD AND SHARON KELSON</b>	
TOWN OF NEWBURGH	ORANGE COUNTY, N.Y.
SCALE: 1"=20'	OCTOBER 28, 2015
DRAWN BY: KCV	PROJECT NO: 15-1563
<b>Austfeld &amp; Waldroff Land Surveyors LLP</b>	
514 State Street, Schenectady N.Y. 12305	
Phone: (518) 346-1595 Fax: 318-770-1655	
VINCENT P. AUSFELD P.L.S. LICENSE #049597 www.awslfp.com	



MAP 86.00  
BLOCK 1  
N/F LANDS OF  
NINE ROCK CUT ROAD, LLC  
BK. 11473, PG. 661  
[LOT 16]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: VACANT

- TOWN OF NEWBURGH STANDARD SEWER NOTES:
1. A DEMOLITION PERMIT FROM THE TOWN OF NEWBURGH BUILDING DEPARTMENT IS REQUIRED FOR THE REMOVAL OF ANY AND ALL STRUCTURES.
  2. A PERMIT IS REQUIRED FOR THE REMOVAL OF EXISTING PETROLEUM BULK STORAGE TANKS.



MAP 86.00  
BLOCK 1  
N/F LANDS OF  
ACE RUSTPROOFING, INC.  
BK. 2131, PG. 845  
[LOT 13]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

MAP 262.69  
BLOCK 1  
N/F LANDS OF  
H.L.M. VENTURES, LLC  
BK. 1493, PG. 681  
[LOT 41]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: VACANT

MAP 86.00  
BLOCK 1  
N/F LANDS OF  
V.S.H. REALTY, INC.  
BK. 2187, PG. 900  
[LOT 14]  
ZONE: IB  
(INTERCHANGE BUSINESS)  
USE: COMMERCIAL

COCHECTON TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES  
CONSTRUCTION SERVICES

OFFICES:  
 ALBANY, NY  
 BOSTON, MA  
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 COLUMBIA, SC  
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 INDIANAPOLIS, IN  
 JACKSONVILLE, FL  
 MEMPHIS, TN  
 MIAMI, FL  
 NEW YORK, NY  
 ORLANDO, FL  
 PHOENIX, AZ  
 RICHMOND, VA  
 TAMPA, FL  
 WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	08/15/16	PER TDE COMMENTS	AKS
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PRELIMINARY

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRC  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS09

PROJECT: SITE DOCUMENT PLANS FOR

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-0000  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
 NEW YORK LICENSE No. 071284  
 VERMONT LICENSE No. 7735  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10287  
 MASSACHUSETTS LICENSE No. 05654  
 OHIO LICENSE No. E-88320

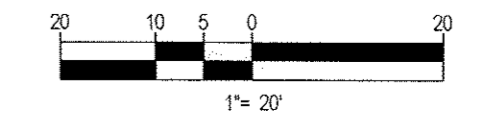
REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**CFG03.0**  
 OF 17

REV 4



P:\15818\2020\2020\Cumberland Farms, 270 NY-17K, Newburgh, NY\03 - CDD - CDD\15818\2020\2020\CFG03.dwg, CF0303.dwg, 7/11/2016, 8:41:42 AM, jammeham, Xerox/US/04 - 10x3, User/84, 1:1

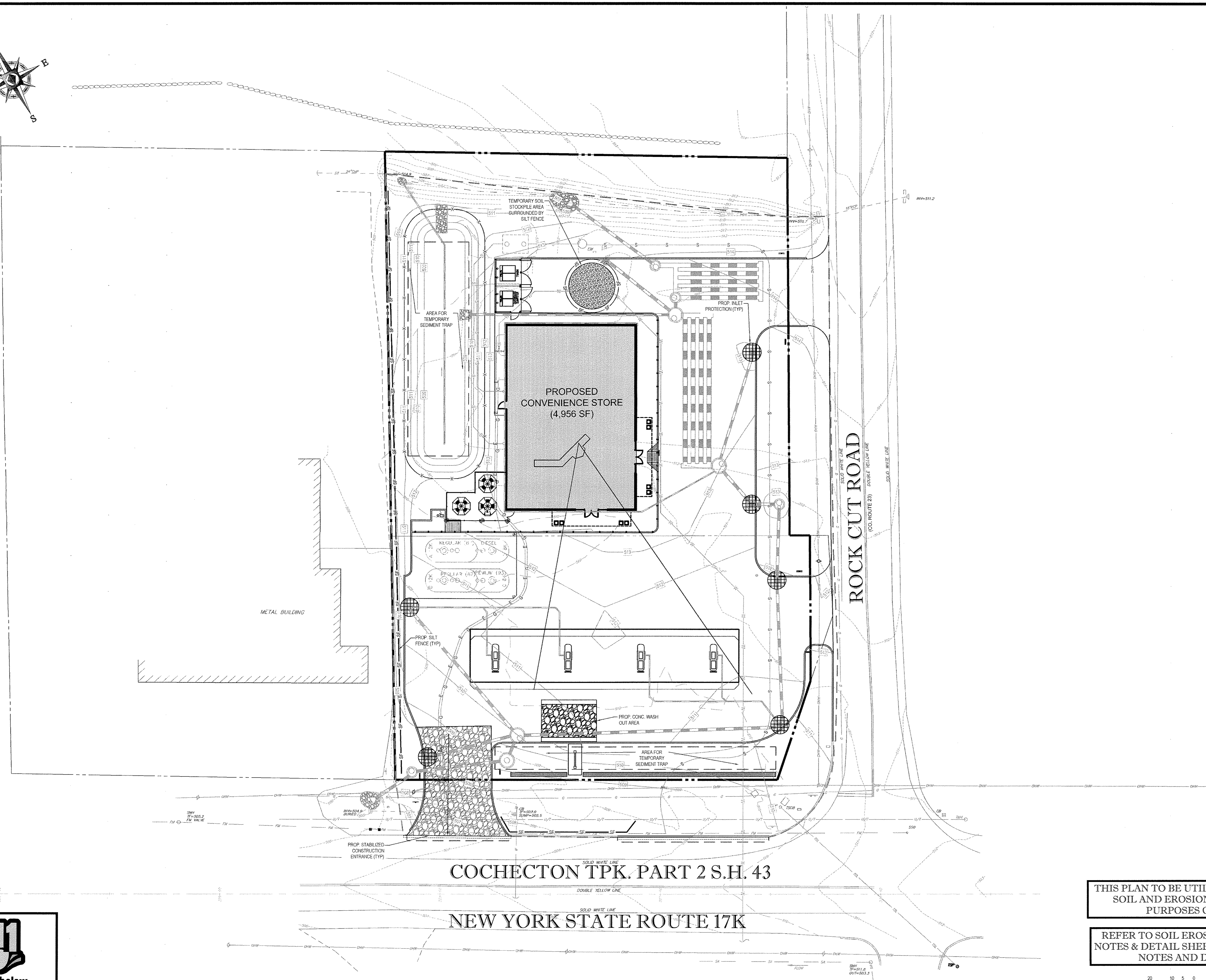
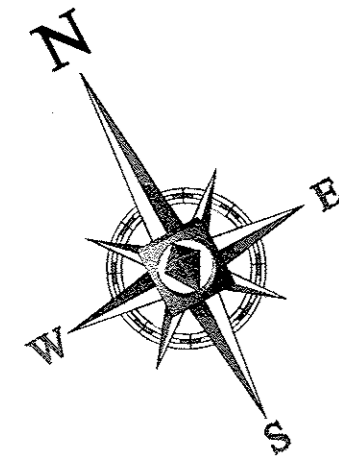
**811**

Know what's below.  
 Call before you dig.









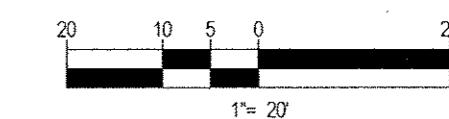
COCHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

ROCK CUT ROAD  
(CO. ROUTE 23)

THIS PLAN TO BE UTILIZED FOR SITE  
SOIL AND EROSION CONTROL  
PURPOSES ONLY

REFER TO SOIL EROSION CONTROL  
NOTES & DETAIL SHEET FOR EROSION  
NOTES AND DETAILS



**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

NEW YORK STATE LICENSE NO. 071284-1  
VERMONT LICENSE NO. 7735  
CONNECTICUT LICENSE NO. 21854  
NEW HAMPSHIRE LICENSE NO. 10297  
MASSACHUSETTS LICENSE NO. 42644  
CHICAGO LICENSE NO. E-68329

NEW YORK, NY  
BALTIMORE, MD  
BOSTON, MA  
DENVER, CO  
FORT LAUDERDALE, FL  
HARTFORD, CT  
HOUSTON, TX  
INDIANAPOLIS, IN  
LOS ANGELES, CA  
MEMPHIS, TN  
MIAMI, FL  
MINNEAPOLIS, MN  
NEW JERSEY  
NEW ORLEANS, LA  
PHILADELPHIA, PA  
PORTLAND, ME  
RICHMOND, VA  
SAN ANTONIO, TX  
WASHINGTON, DC  
WICHITA, KS

REVISIONS

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	08/15/16	PER TDE COMMENTS	AKS
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PRELIMINARY

PROJECT No.: B150208  
DRAWN BY: MED  
CHECKED BY: JRG  
DATE: 01/12/2016  
SCALE: AS NOTED  
CAD ID.: B150208SS09

PROJECT: SITE DOCUMENT PLANS FOR

**Cumberland FARMS**

LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST, SUITE 203  
ALBANY, NY 12205  
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MASSACHUSETTS LICENSE NO. 42644  
CHICAGO LICENSE NO. E-68329

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**CFG06.0**  
OF 17

REV 4

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Know what's below.  
Call before you dig.

## EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNGRADED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT. (THIS WOULD INCLUDE WETLANDS)
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOUSE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING) MAY BE ATTEMPTED AS WELL TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED UNTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 80 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOY MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-80 LBS PER 1,000 SF. A HYDRO APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

### MULCH

LOCATION / PROTECT AREA	MULCH TYPE	RATE (1000 SF) / 100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS / 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

\*A HYDRO APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

**MULCH ANCHORING**  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD. BLOCK), MULCH NETTING (AS PER MANUFACTURER), WOOD CELLULOSE FIBER (750 LBS/ACRE), CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS), USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

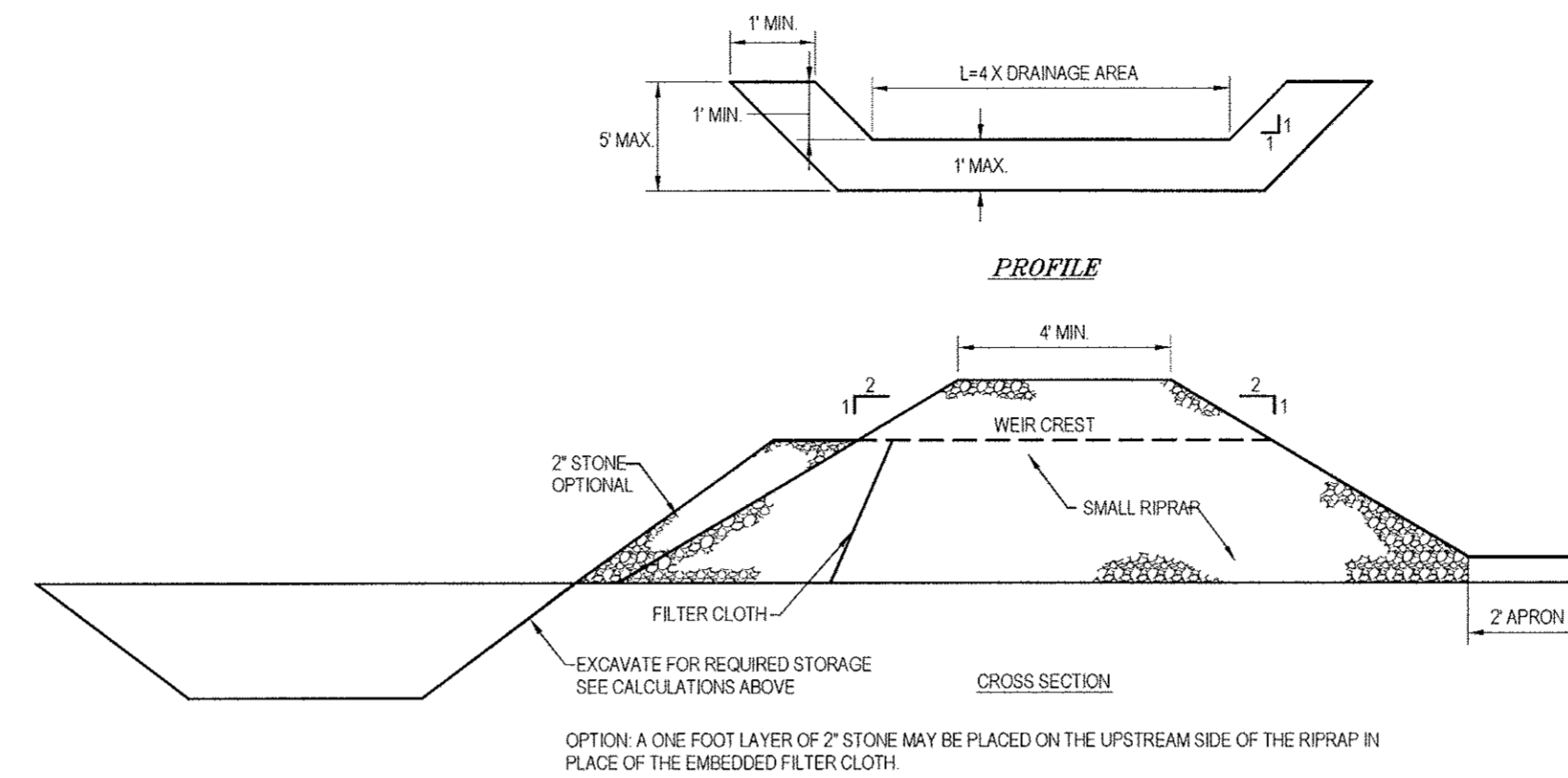
## EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR SEED AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK UNLESS UNLESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

## CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

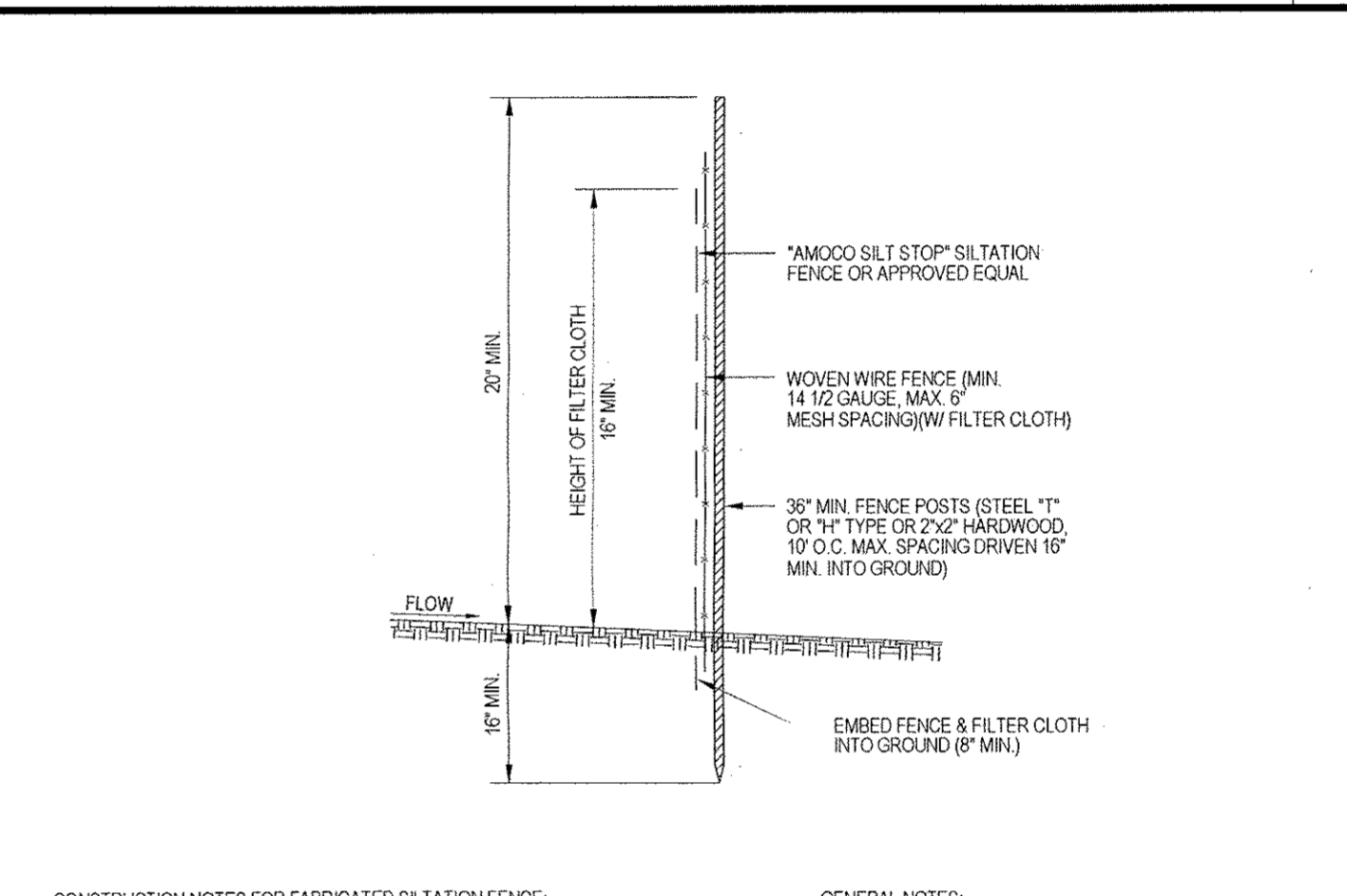
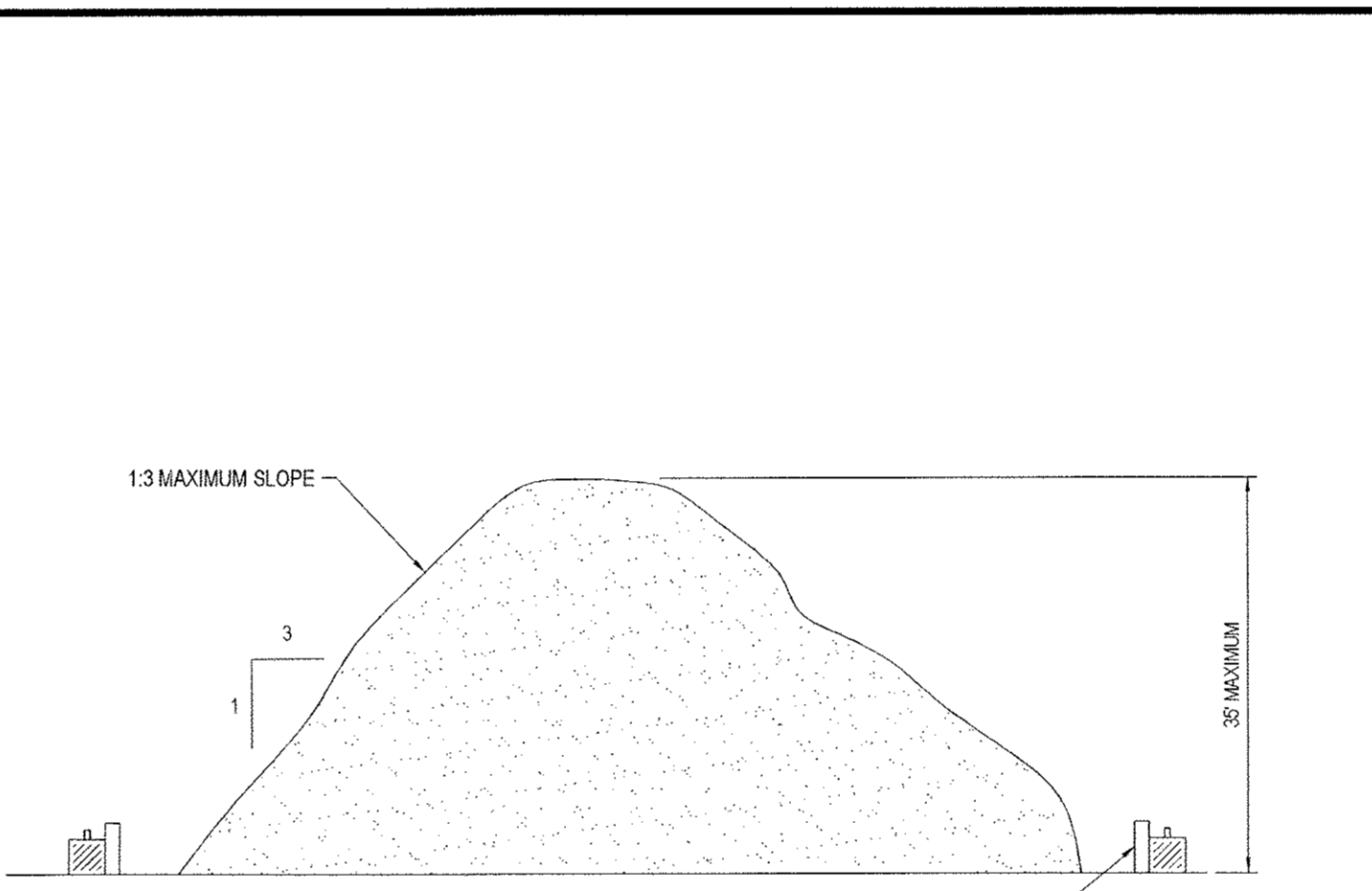
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



NOTES:  
AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACT BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4" X 8" ALONG WITH A THICKNESS OF 2" AGGREGATE PLACED ON THE UP-DRAPE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH TO THE TRAP. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

## STONE OUTLET SEDIMENT TRAP DETAIL

N.T.S.



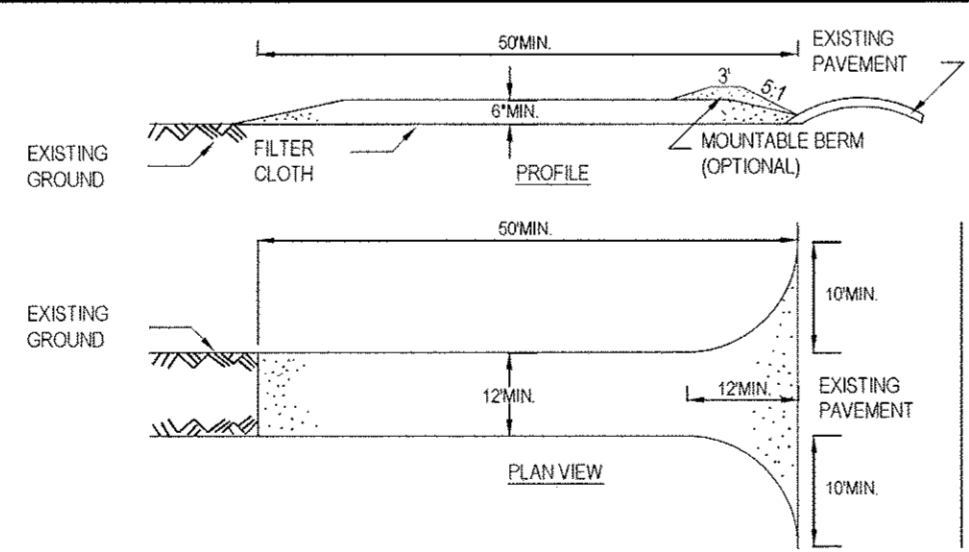
- CONSTRUCTION NOTES FOR FABRICATED SILTATION FENCE:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP & MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH JOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
  - PRE-FABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- GENERAL NOTES:**
- LOCATIONS AS SHOWN ON THE PLANS.
  - ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER.
  - REMOVAL OF EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.

## TEMPORARY STOCKPILE DETAIL

N.T.S.

## TYP. SILTATION FENCE DETAIL

N.T.S.

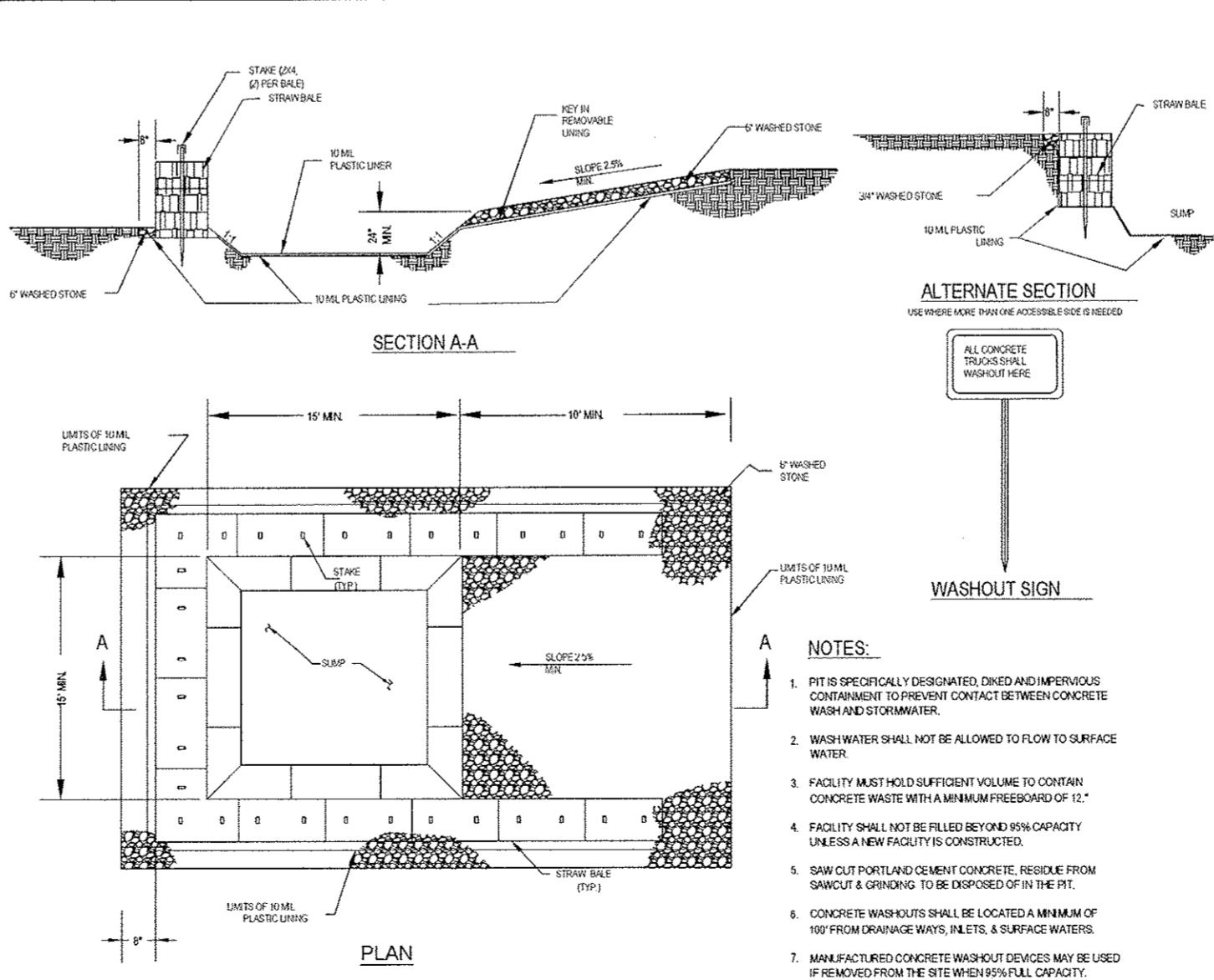


### CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1/4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## STABILIZED CONSTRUCTION EXIT

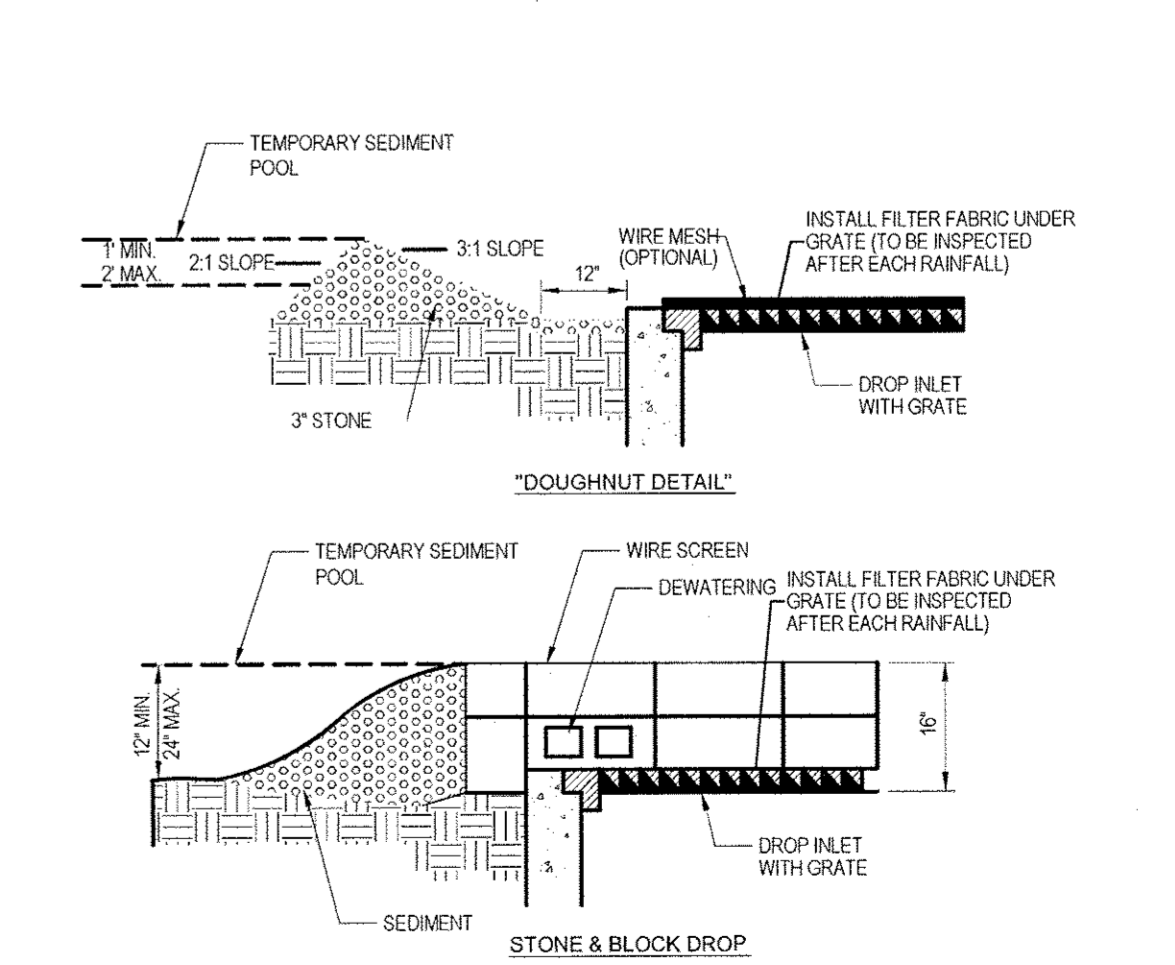
N.T.S.



- NOTES:**
- FIT IS SPECIFICALLY DESIGNED AND IMPROVED CONCRETE TO PREVENT CONTRACTOR WHEN CONCRETE WASH-OUT OCCURS.
  - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
  - FACILITY MUST HOLD SUPPORT VOLUME TO OBTAIN CONCRETE MADE WITH A MAXIMUM FREEWATER OF 17%.
  - FACILITY SHALL NOT BE FILLED BEFORE PAVING OPERATIONS UNLESS A NEW FACILITY IS CONSTRUCTED.
  - SAW CUT PORTLAND CEMENT CONCRETE, INSURE FROM CRACKS & CRACKS TO BE REPAIRED BY THE CONTRACTOR.
  - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE BASIN, PAVEMENT, SURFACE WATER.
  - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF APPROVED FROM THE STATE ENVIRONMENTAL DIVISION.

## CONCRETE WASHOUT DETAIL

N.T.S.



- CONSTRUCTION SPECIFICATIONS:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER CLOTH OPENINGS TO SUPPORT STONE.
  - USE CLEAN STONE OR GRAVEL 1/2" TO 3/4" IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  - FOR STONE STRUCTURES ONLY: A 1 FOOT THICK LAYER OF THE FILER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

## STONE & BLOCK DROP INLET PROTECTION STRUCTURE

N.T.S.

**BOHLER ENGINEERING**  
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LAND SURVEYING, DESIGN, CONSTRUCTION AND INSPECTION SERVICES  
SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES

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• WEST PALM BEACH, FL  
• MIAMI, FL  
• MIAMI BEACH, FL  
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• MIAMI SPRING, FL  
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• NORTHERN VIRGINIA  
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• VIRGINIA  
• WEST VIRGINIA  
• MARYLAND  
• DELAWARE  
• DISTRICT OF COLUMBIA  
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• DISTRICT OF COLUMBIA

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**PRELIMINARY**

PROJECT No.: B150208  
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CHECKED BY: JRS  
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**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
LOCATION OF SITE  
270 ROUTE 17K  
TOWN OF NEWBURGH  
ORANGE COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**  
17 COMPUTER DRIVE WEST, SUITE 203  
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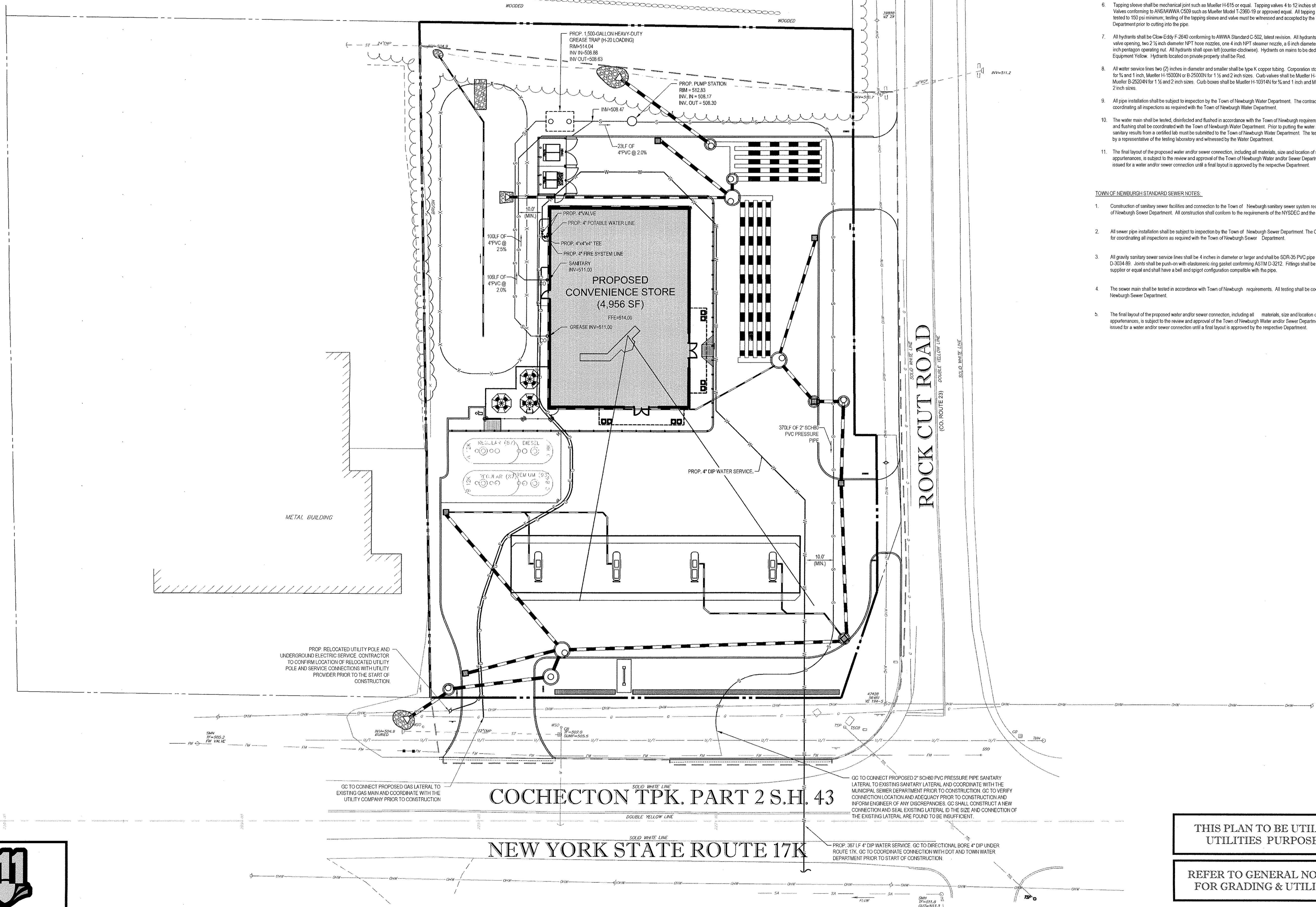
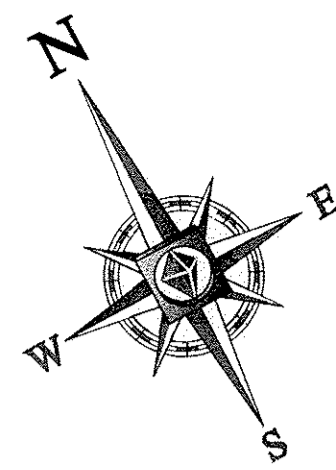
**W.D. GOEBEL**  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE NO. 077284-1  
VERMONT LICENSE NO. 7735  
CONNECTICUT LICENSE NO. 21854  
NEW HAMPSHIRE LICENSE NO. 10287  
MASSACHUSETTS LICENSE NO. 42644  
CALIFORNIA LICENSE NO. 65592

**SOIL EROSION CONTROL NOTES & DETAILS SHEET**

SHEET NUMBER:  
**CFG06.1**  
OF 17

REV 4





COHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

- TOWN OF NEWBURGH STANDARD WATER NOTES:**
- "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDEC and the Town of Newburgh."
  - All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI/AWWA C151A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
  - Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with restraint glands. All fittings and valves shall also be installed with restraint glands for joint restraint. Restraint glands shall be EBBA Iron Mogul Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
  - All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI/AWWA C110A21.10 for Ductile and Gray Iron Fittings or ANSI/AWWA C153A21.53 for Ductile Iron Compact Fittings, latest revision.
  - All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model A-2300.23 or approved equal. All gate valves shall open left (counterclockwise).
  - Tapping sleeve shall be mechanical joint such as Mueller H-515 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model T-2300-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.
  - All hydrants shall be Clow Eddy F-2840 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5/8 inch main valve opening, two 2 1/2 inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 1/2 inch porting operating nut. All hydrants shall open left (counterclockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Pink.
  - All water service lines two (2) inches in diameter and smaller shall be Type K copper tubing. Corporation stops shall be Mueller H-1520N for 1/2 and 1 inch, Mueller H-1520N or B-2500N for 1 1/2 and 2 inch sizes. Curb valves shall be Mueller H-1520-20 for 1/2 and 1 inch and Mueller B-2500N for 1 1/2 and 2 inch sizes. Curb boxes shall be Mueller H-1014 for 1/2 and 1 inch and Mueller H-1010N for 1 1/2 and 2 inch sizes.
  - All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
  - The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service, satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
  - The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

- TOWN OF NEWBURGH STANDARD SEWER NOTES:**
- Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.
  - All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.
  - All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming to ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and gasket configuration compatible with the pipe.
  - The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.
  - The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING DESIGN  
SUSTAINABLE DESIGN

PERMITTING SERVICES  
TRANSPORTATION SERVICES

OFFICES:  
 • ALBANY, NY  
 • BOSTON, MA  
 • CHARLOTTE, NC  
 • CHICAGO, IL  
 • COLUMBIA, SC  
 • DALLAS, TX  
 • DENVER, CO  
 • HOUSTON, TX  
 • INDIANAPOLIS, IN  
 • JACKSONVILLE, FL  
 • KANSAS CITY, MO  
 • LOS ANGELES, CA  
 • MEMPHIS, TN  
 • MIAMI, FL  
 • MINNEAPOLIS, MN  
 • NEW YORK, NY  
 • OMAHA, NE  
 • PHOENIX, AZ  
 • RICHMOND, VA  
 • TAMPA, FL  
 • WASHINGTON, DC

**REVISIONS**

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	09/15/16	PER TDE COMMENTS	AKS
5			
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**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/12/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS02

**SITE DOCUMENT PLANS FOR**

**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

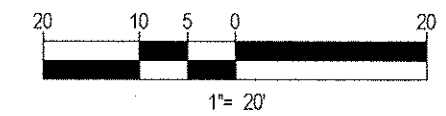
17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-0900  
 www.BohlerEngineering.com

**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
 NEW YORK LICENSE No. 071284-1  
 VERMONT LICENSE No. 7735  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10287  
 MASSACHUSETTS LICENSE No. 49644  
 OHIO LICENSE No. E-68323

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



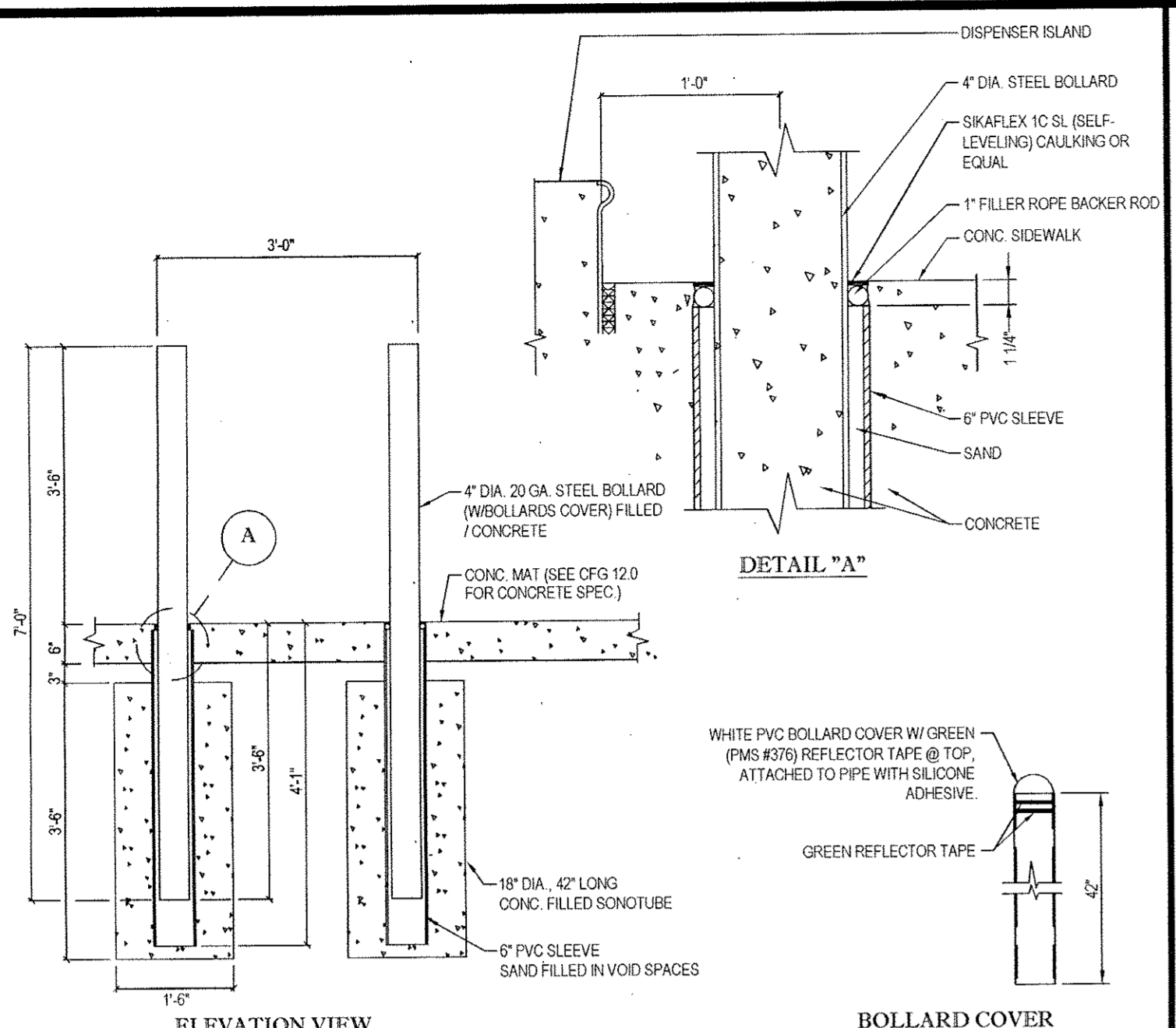
**811**

Know what's below.  
 Call before you dig.

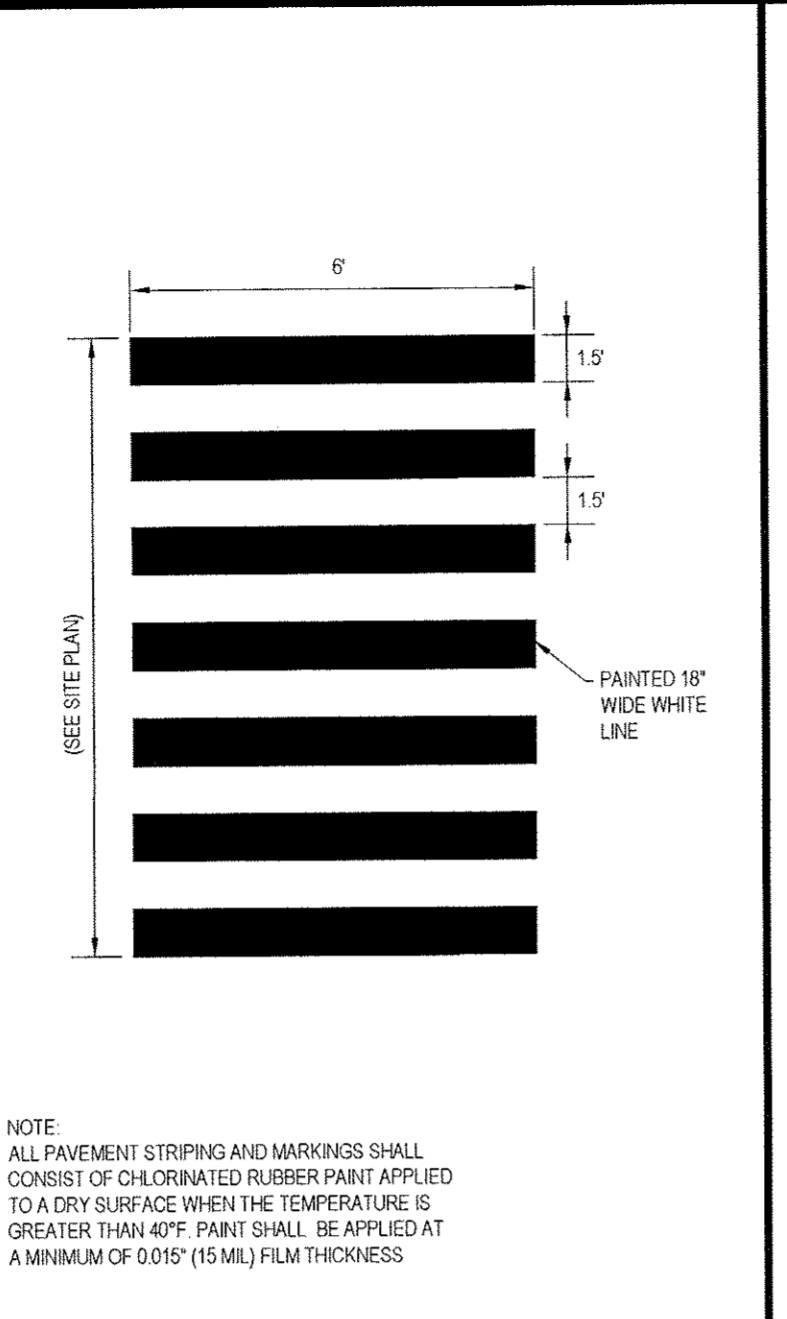
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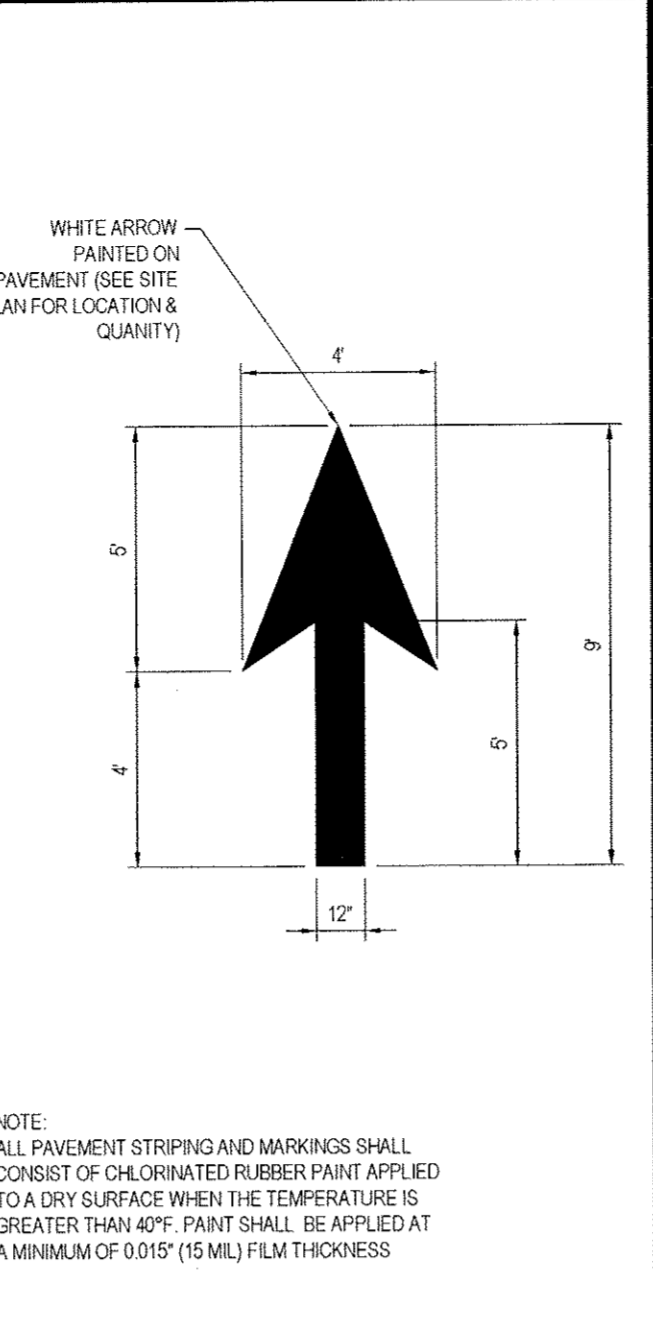




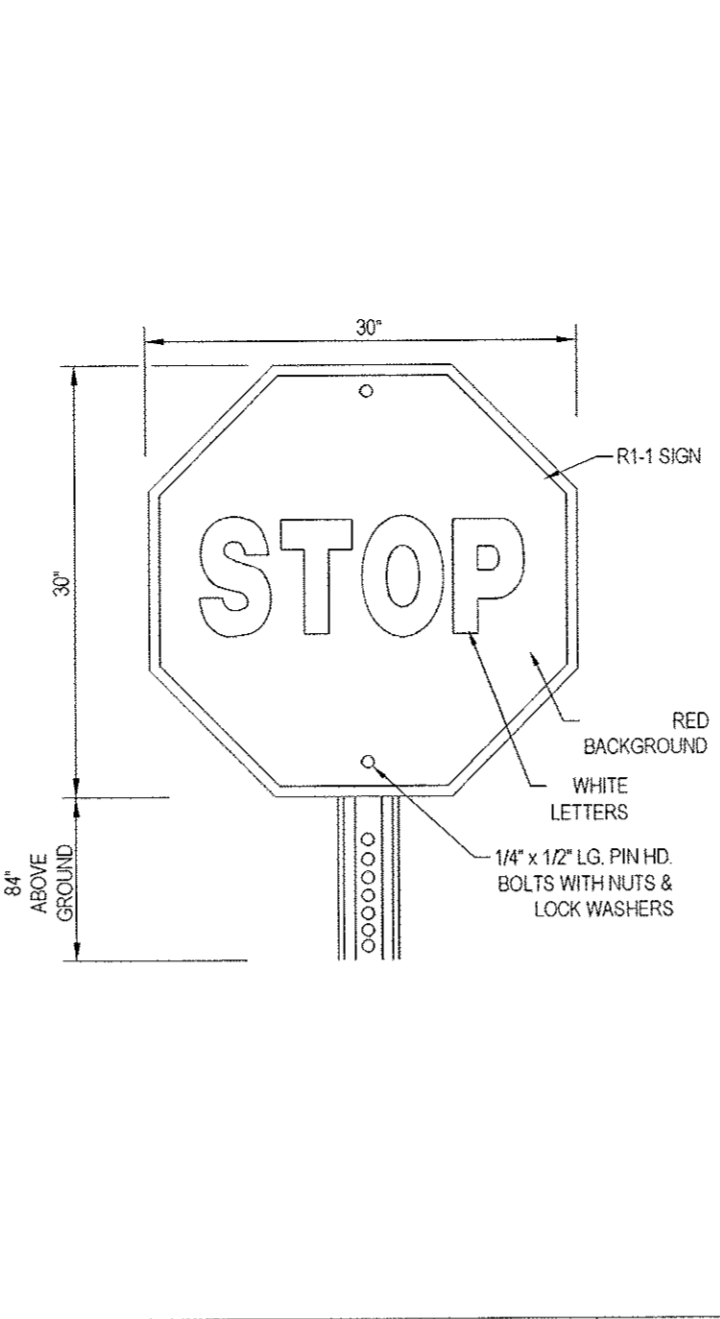
**BOLLARD SET IN CONCRETE WALK** N.T.S.



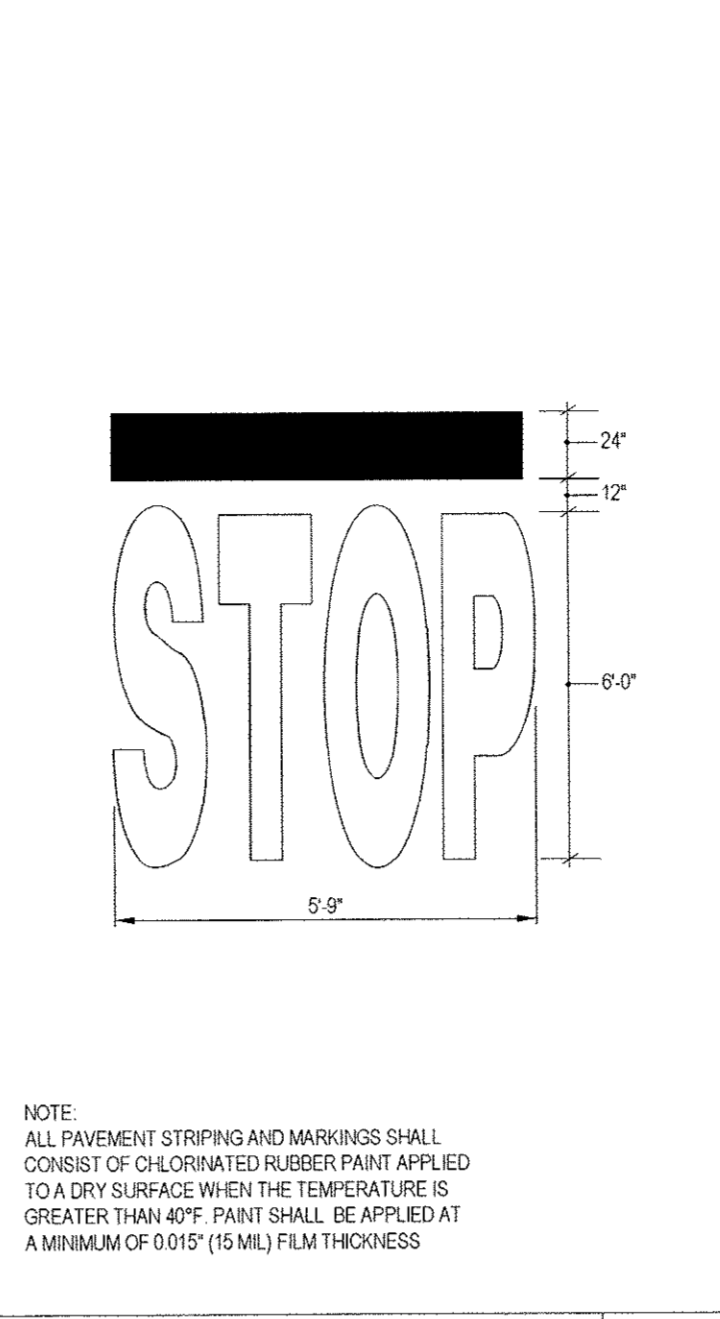
**CROSSWALK DETAIL** N.T.S.



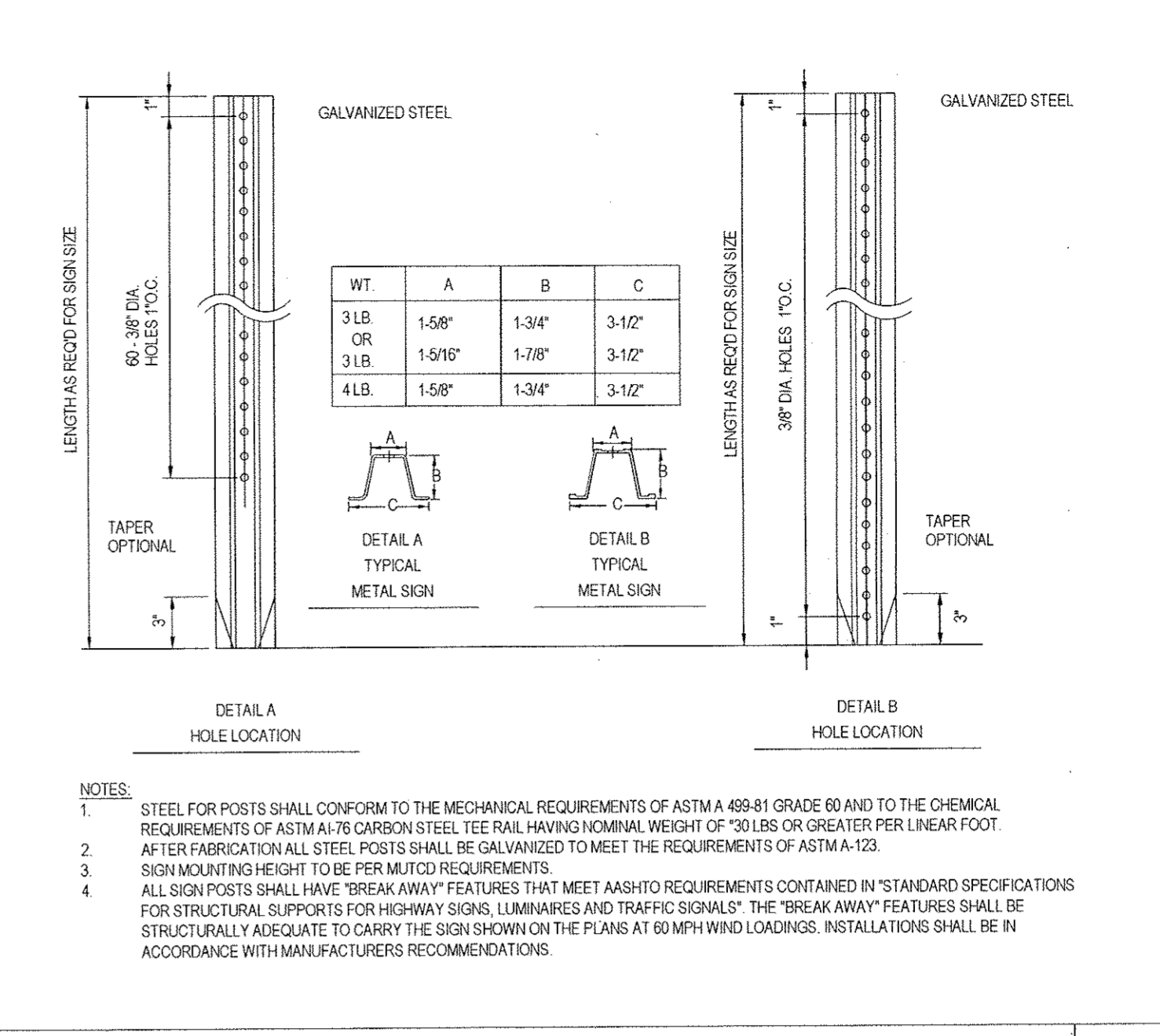
**TYPICAL PAINTED ARROW** N.T.S.



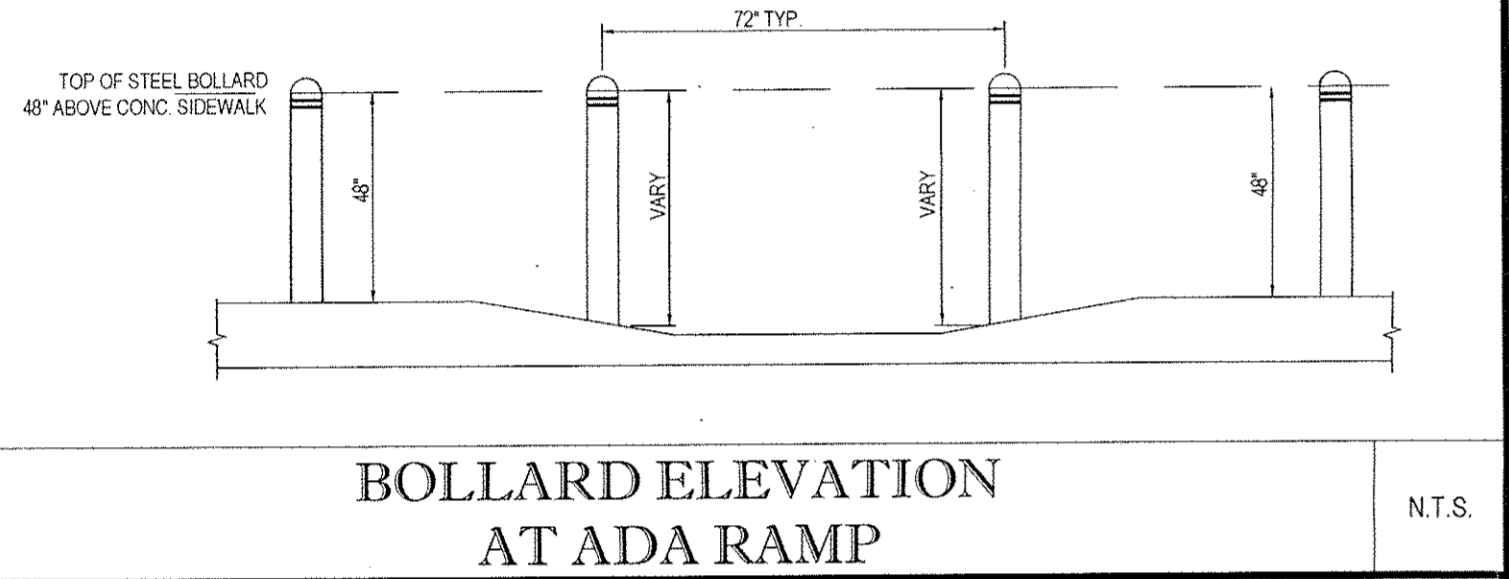
**'STOP' SIGN** N.T.S.



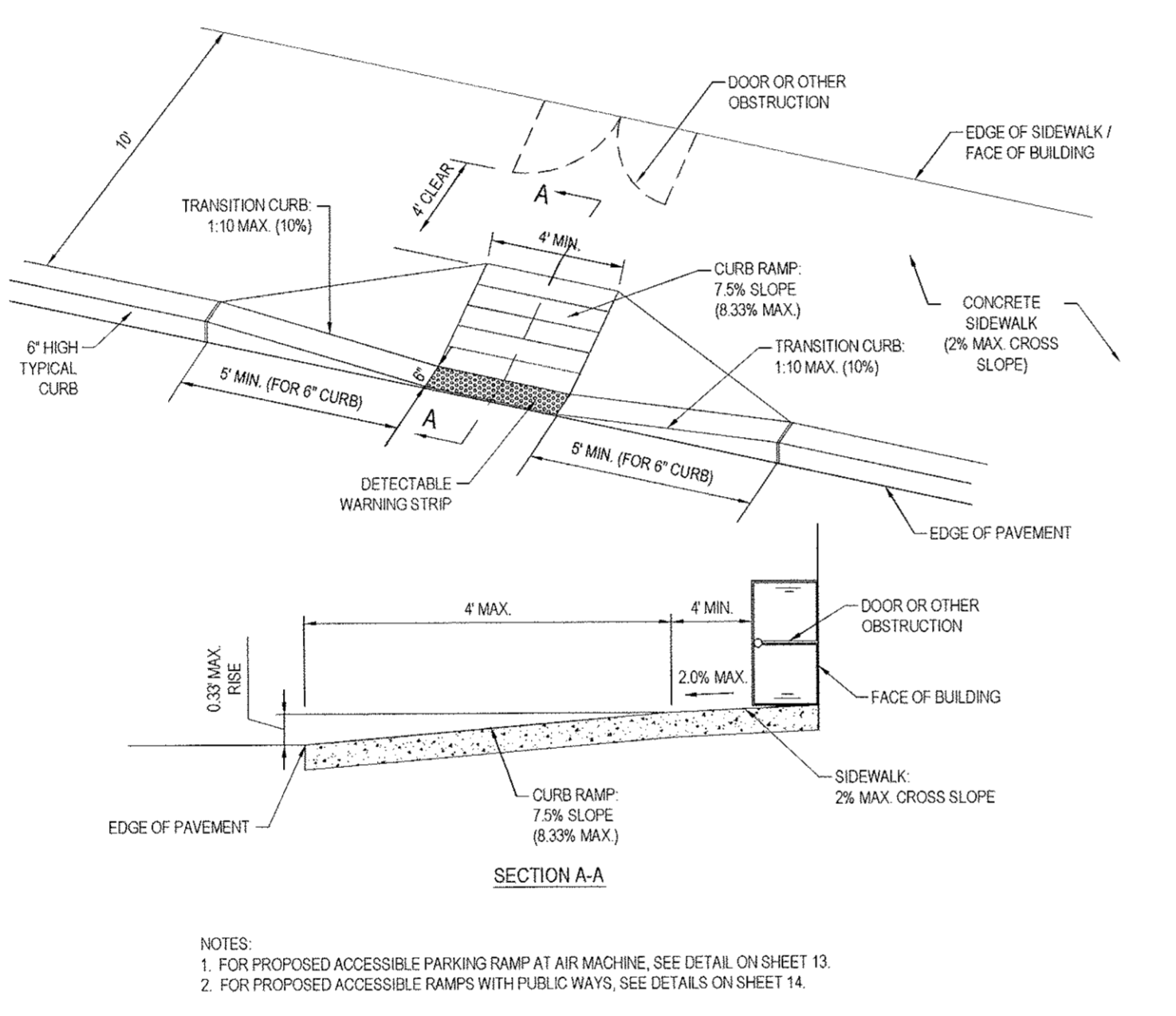
**'STOP' BAR DETAIL** N.T.S.



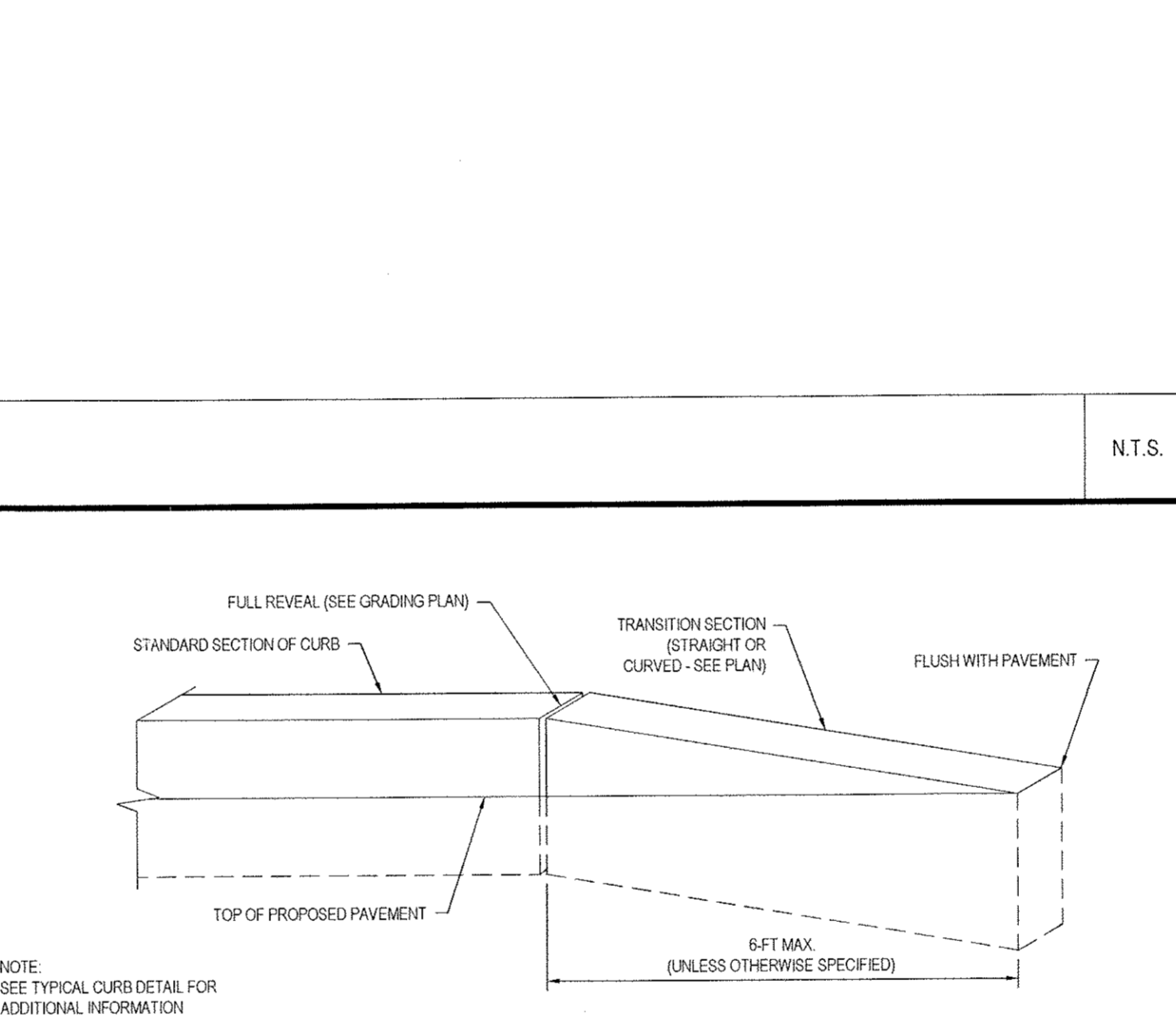
**TYPICAL ON-SITE METAL SIGN POSTS** N.T.S.



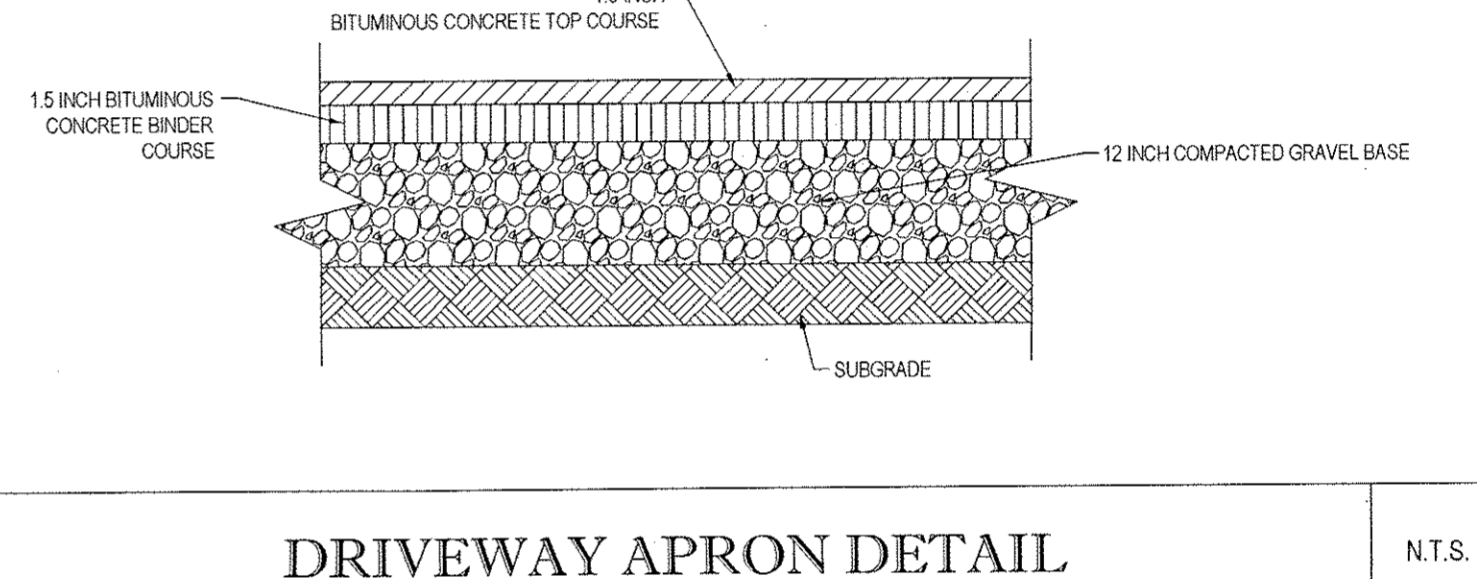
**BOLLARD ELEVATION AT ADA RAMP** N.T.S.



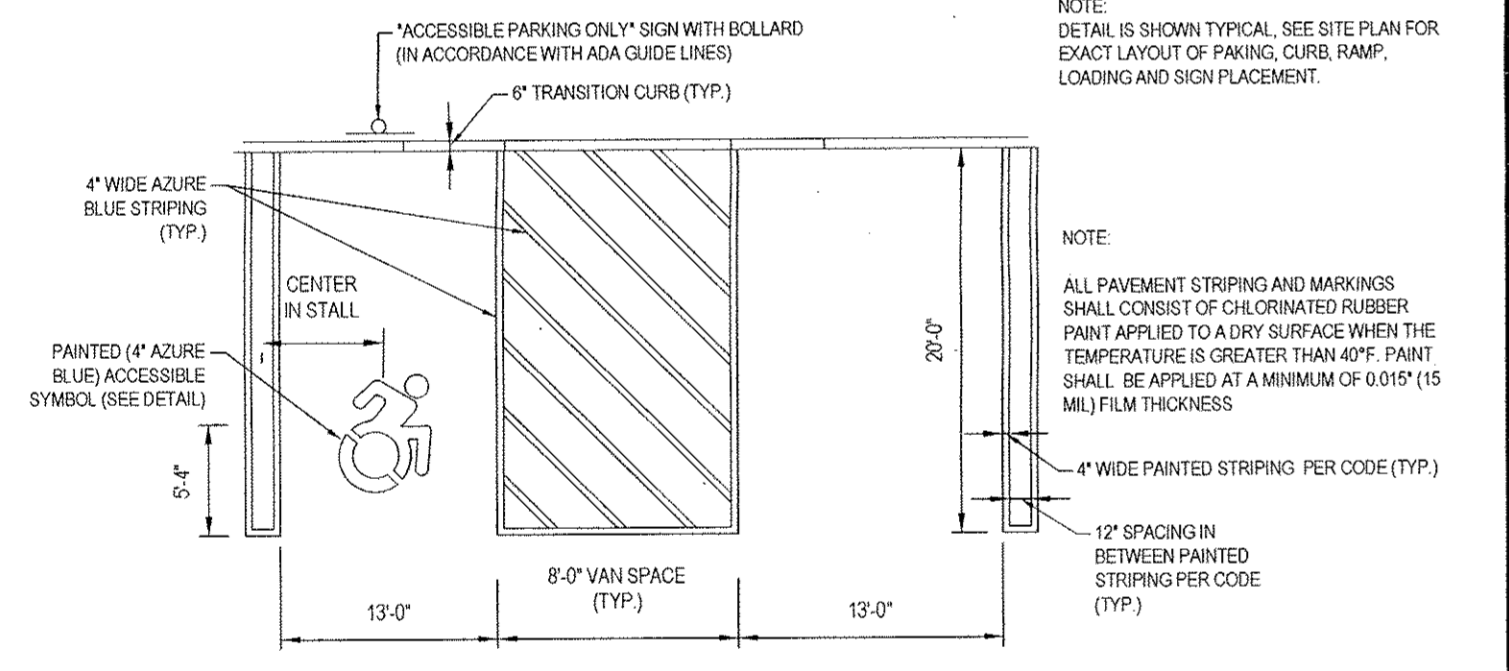
**TYPICAL ADA RAMP DETAIL WITH 10' WIDE SIDEWALK** N.T.S.



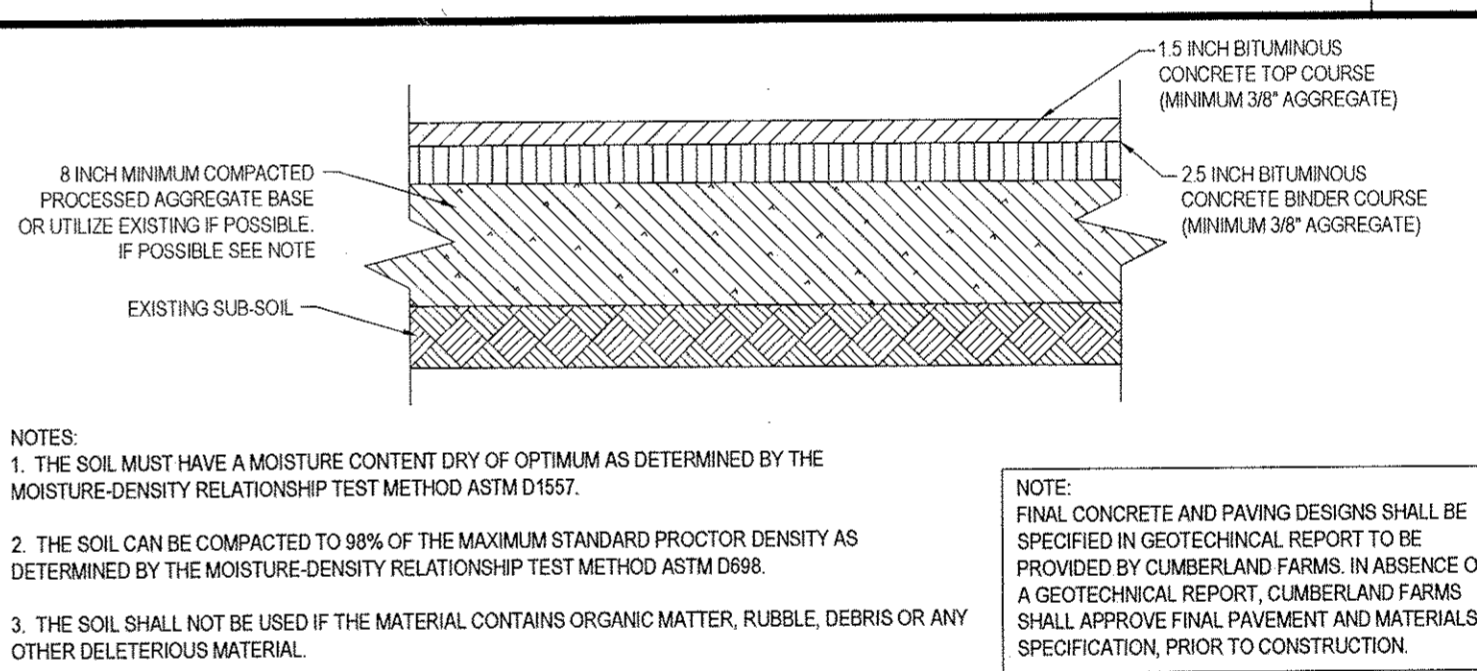
**TRANSITION CURB DETAIL** N.T.S.



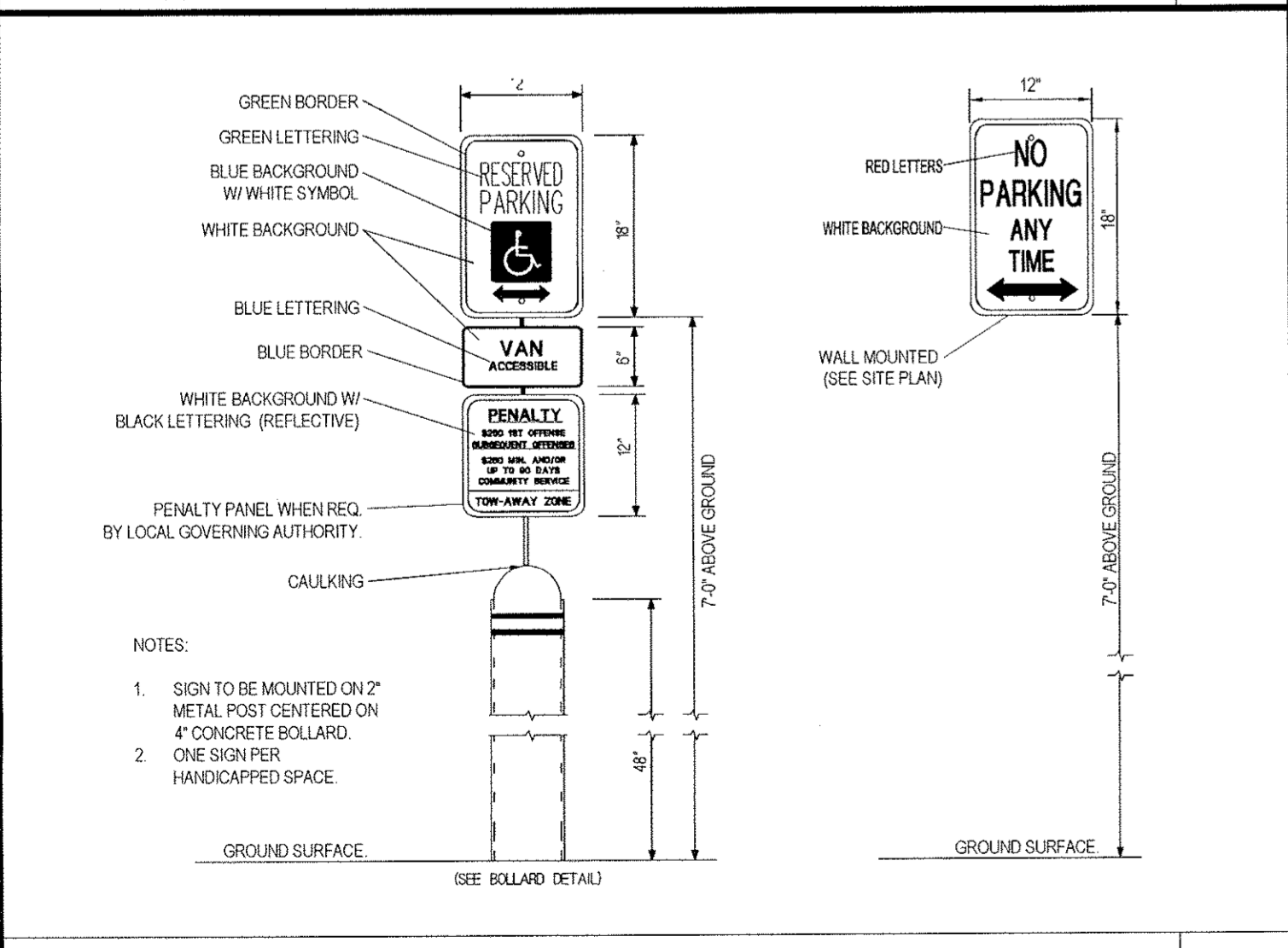
**DRIVEWAY APRON DETAIL** N.T.S.



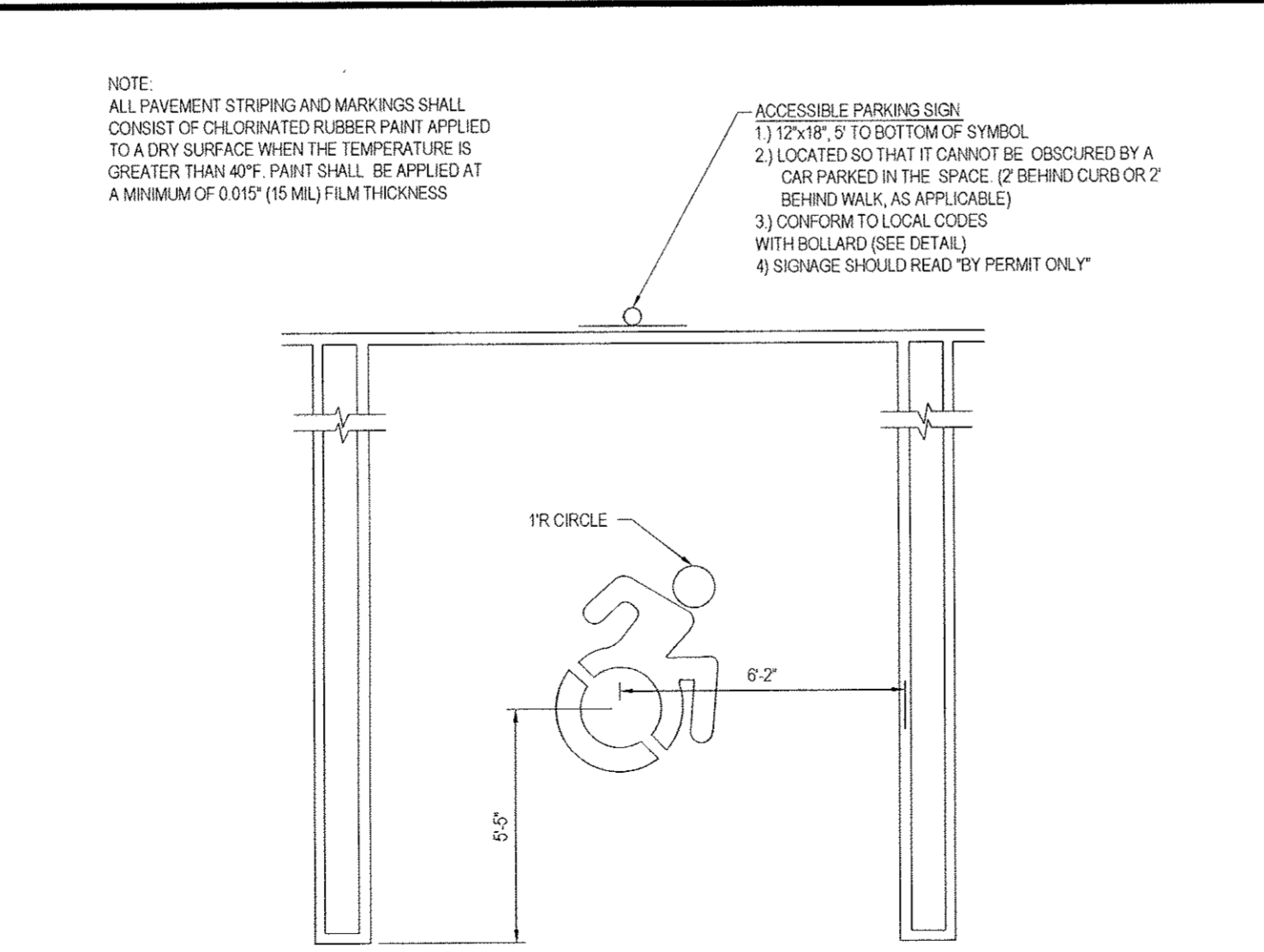
**ADA ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL** N.T.S.



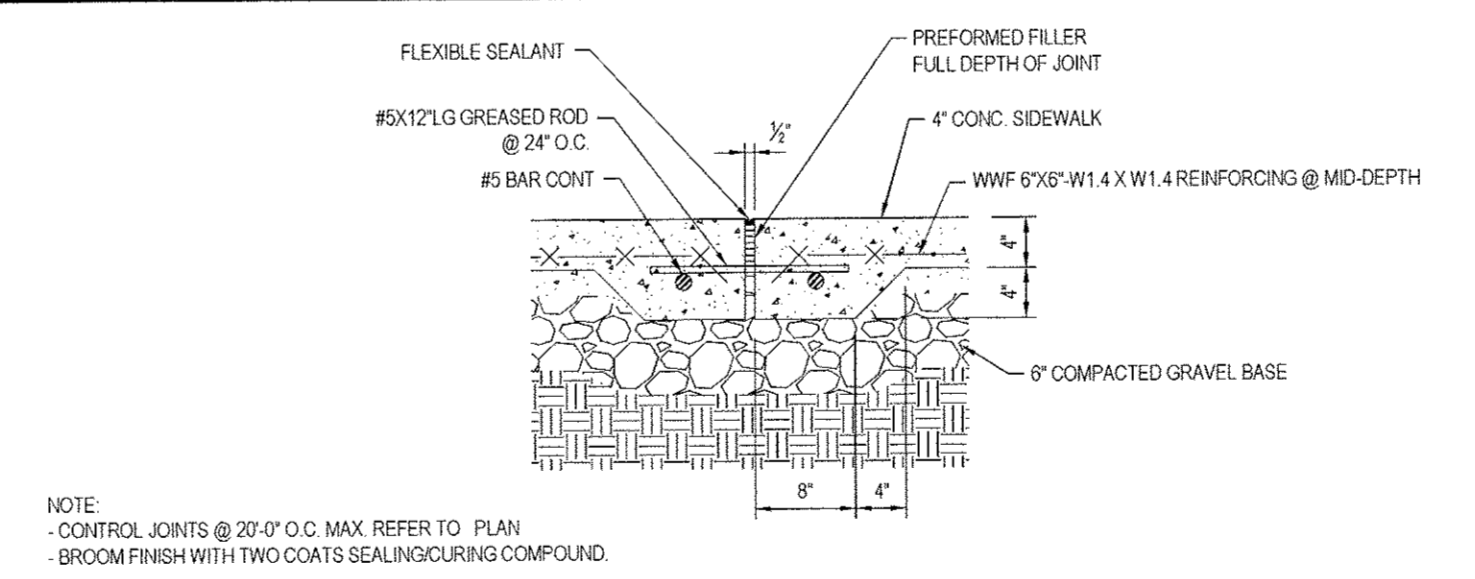
**TYPICAL PAVEMENT SECTION** N.T.S.



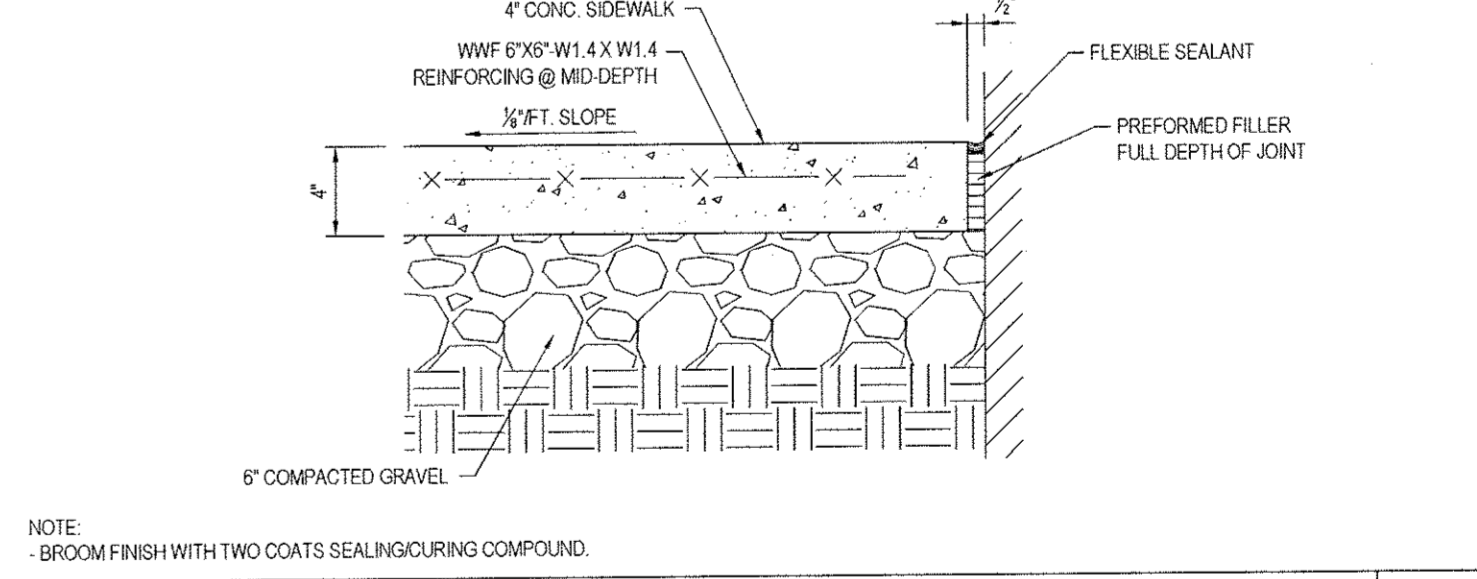
**ADA PARKING SIGN (WITH BOLLARD)** N.T.S.



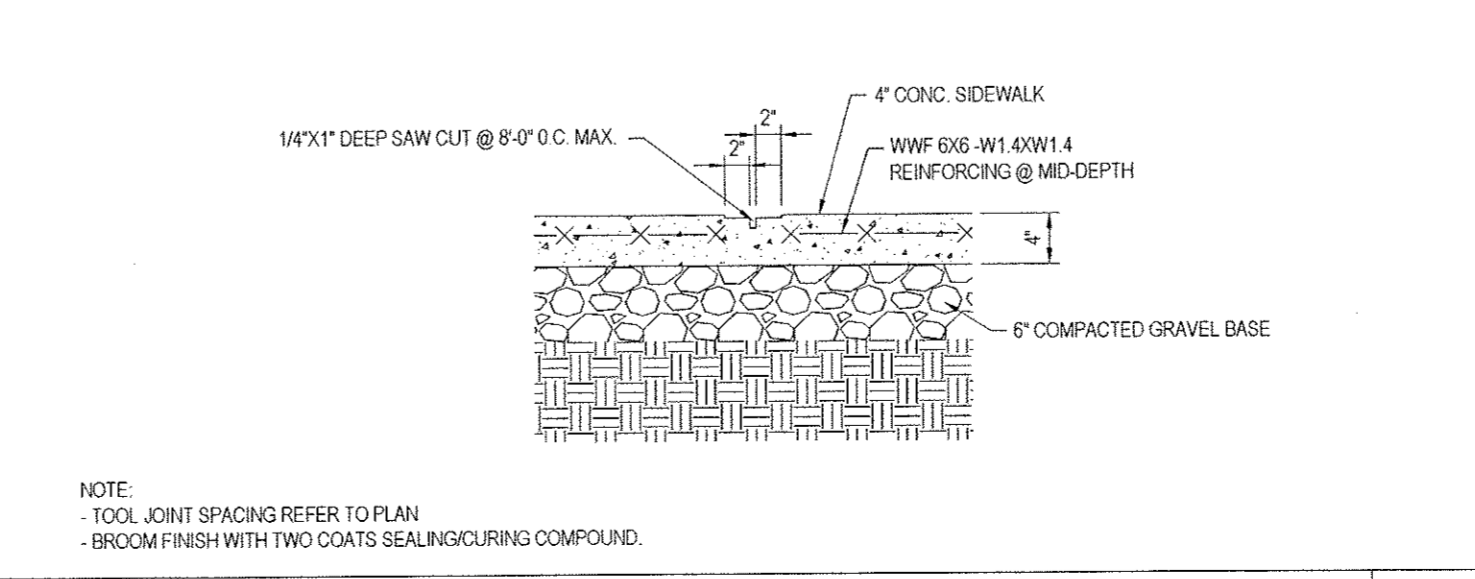
**ADA PARKING STALL PAINTING DETAIL** N.T.S.



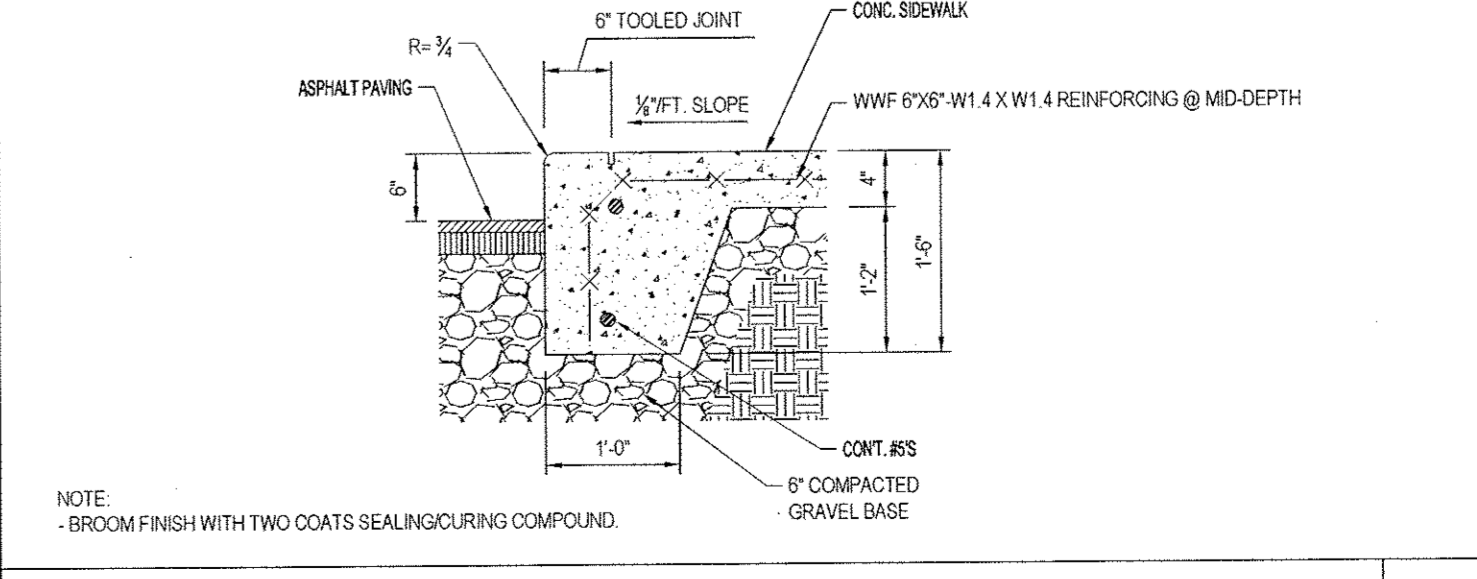
**DETAIL @ SIDEWALK EXPANSION JOINT** N.T.S.



**DETAIL @ SIDEWALK / BLD. WALL** N.T.S.



**DETAIL @ SIDEWALK CONTROL JOINT** N.T.S.



**DETAIL @ SIDEWALK & CURB** N.T.S.

**BOHLER ENGINEERING**  
 CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

NEW YORK STATE LICENSE NO. 01284-1  
 VERMONT LICENSE NO. 7735  
 CONNECTICUT LICENSE NO. 21854  
 NEW HAMPSHIRE LICENSE NO. 10287  
 MASSACHUSETTS LICENSE NO. 42644  
 OHIO LICENSE NO. E-08329

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/20/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4	08/15/16	PER TDE COMMENTS	AKS
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15			

**PRELIMINARY**

PROJECT No.: B150208  
 DRAWN BY: MED  
 CHECKED BY: JRG  
 DATE: 01/22/2016  
 SCALE: AS NOTED  
 CAD I.D.: B150208SS02

**SITE DOCUMENT PLANS**  
 FOR  
**Cumberland FARMS**  
 LOCATION OF SITE  
 270 ROUTE 17K  
 TOWN OF NEWBURGH  
 ORANGE COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**  
 17 COMPUTER DRIVE WEST, SUITE 203  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
 Fax: (518) 438-9900  
 www.BohlerEngineering.com

**W.D. GOEBEL**  
 PROFESSIONAL ENGINEER  
 NEW YORK LICENSE NO. 01284-1  
 VERMONT LICENSE NO. 7735  
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 NEW HAMPSHIRE LICENSE NO. 10287  
 MASSACHUSETTS LICENSE NO. 42644  
 OHIO LICENSE NO. E-08329

**SITE CONSTRUCTION DETAILS**  
 SHEET NUMBER:  
**CFG09.0**  
 OF 17  
 REV 4

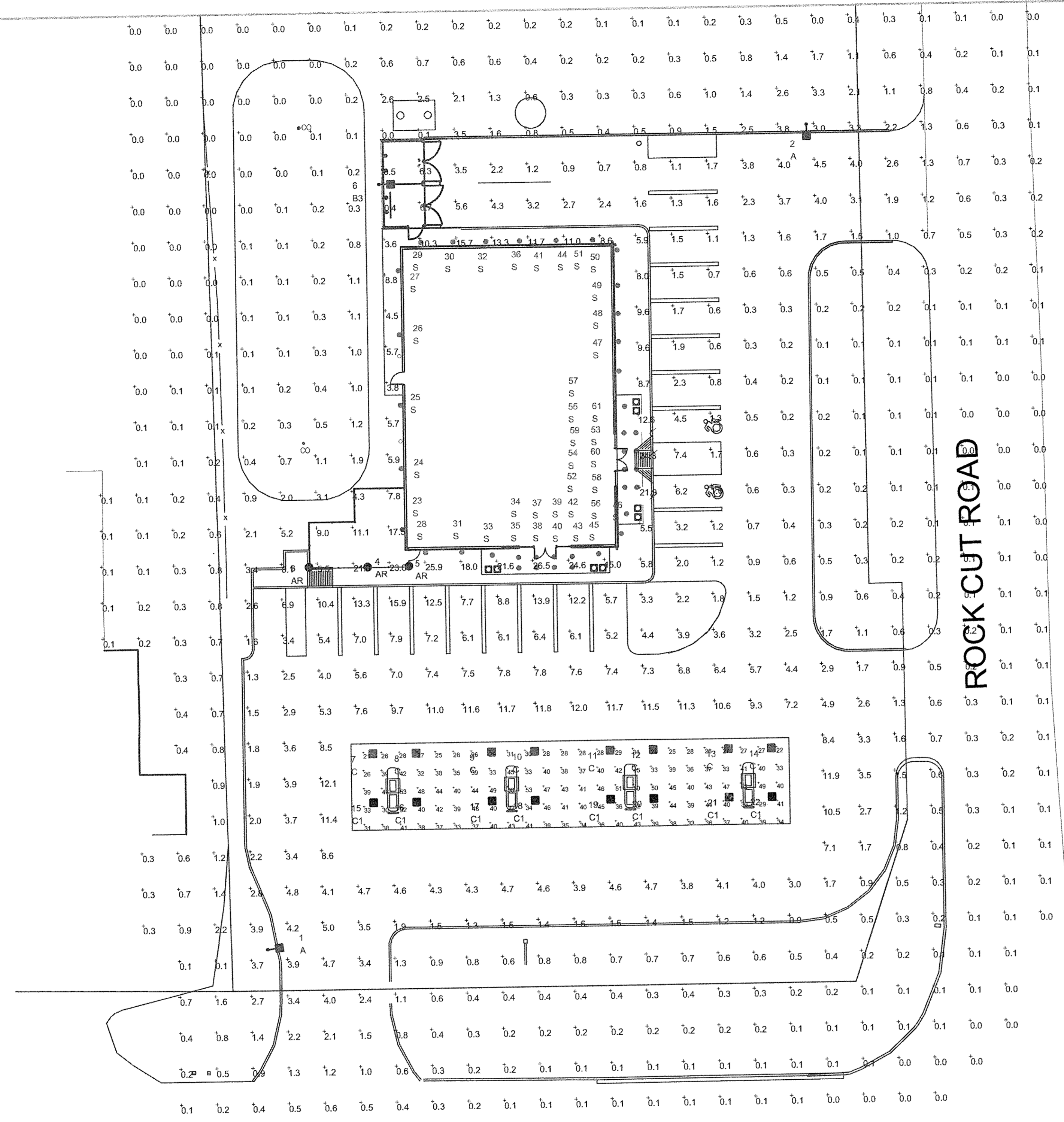
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NOTE:  
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES  
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.  
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUM NO.	LABEL	MTG. HT.
1	A	16.228
2	A	16.228
3	AR	8
4	AR	8
5	AR	8
6	B3	16.228
7	C	14
8	C	14
9	C	14
10	C	14
11	C	14
12	C	14
13	C	14
14	C	14
15	C1	14
16	C1	14
17	C1	14
18	C1	14
19	C1	14
20	C1	14
21	C1	14
22	C1	14
23	S	12
24	S	12
25	S	12
26	S	12
27	S	12
28	S	12
29	S	12
30	S	12

LUM NO.	LABEL	MTG. HT.
31	S	12
32	S	12
33	S	12
34	S	16.228
35	S	16.228
36	S	12
37	S	16.945
38	S	16.945
39	S	16.945
40	S	16.945
41	S	12
42	S	16.228
43	S	16.228
44	S	12
45	S	12
46	S	12
47	S	12
48	S	12
49	S	12
50	S	12
51	S	12
52	S	16.228
53	S	16.945
54	S	16.945
55	S	16.228
56	S	12
57	S	12
58	S	16.228
59	S	16.945
60	S	16.945
61	S	16.228

**NEW YORK STATE ROUTE 17K**

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CONOPY	37.28	53	21	1.78	2.52
PAVED AREA	4.17	15.9	0.2	20.85	79.50
UNDEFINED AREA	1.21	26.5	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
AR	2	AR	SINGLE	10706	1.040	132.5	265	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
A	3	A	SINGLE	10706	1.040	132.5	397.5	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
B3	1	B3	SINGLE	8480	1.040	134	134	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-700-57K
C	8	C	SINGLE	12060	1.040	134	1072	CREE, INC.	CAN-304-3M-RS-06-E-UL-XX-700-57K
C1	8	C1	SINGLE	13696	1.040	134	1072	CREE, INC.	CAN-304-PS-RS-06-E-UL-XX-700-57K
S	39	S	SINGLE	1757	1.000	19.8	772.2	Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR +RC6 HOUSING

REV.	BY	DATE	DESCRIPTION
R1	TAS	7/25/16	UPDATE SITE PLAN

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT SERVICE AND OPERATING NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND DIMENSIONS MAY VARY. THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. AND USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF RED LEONARD ASSOCIATES, INC. IS EXPRESSLY PROHIBITED.

ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

PROJECT NAME: **CUMBERLAND FARMS NEWBURGH, NY**

SCALE: 1" = 20'

LAYOUT BY: TAS

DWG SIZE: D

DATE: 3/15/16

DRAWING NUMBER: **RL-3609-S1-R1**

PROJECT NUMBER: **CFG 10.0**

**rla**

1 of 2



# AREA



# AREA



# CANOPY



# SOFFIT

SYMBOL	QTY	LABEL
	3	A
ARE-EDG-3M-DA-06-E-UL-XX-700-57K		
	1	B3
ARE-EDG-4MB-DA-06-E-UL-700-57K		

SYMBOL	QTY	LABEL
	2	AR
ARE-EDG-3M-DA-06-E-UL-XX-700-57K		

SYMBOL	QTY	LABEL
	8	C
CAN-304-5M-RS-06-E-UL-XX-700-57K		
	8	C1
CAN-304-PS-RS-06-E-UL-XX-700-57K		

SYMBOL	QTY	LABEL
	39	S
LR618L-40K-120V-A-DR +RC6 HOUSING		

### Cree Edge™ Series

**Product Description:** Cree Edge™ Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent color rendering.

**Applications:** Warehouse, industrial, and commercial spaces.

**Ordering Information:** Includes a table with columns for Product, Qty, Housing, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### Cree Edge™ Series

**Product Description:** Cree Edge™ Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent color rendering.

**Applications:** Warehouse, industrial, and commercial spaces.

**Ordering Information:** Includes a table with columns for Product, Qty, Housing, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### 304 Series™

**Product Description:** Cree 304 Series™ LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent color rendering.

**Applications:** Warehouse, industrial, and commercial spaces.

**Ordering Information:** Includes a table with columns for Product, Qty, Housing, LED Power, Series, Voltage, Color, and Options.

**UL US IEC CREE**

### LR6 Series

**Product Description:** Cree LR6 Series LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent color rendering.

**Applications:** Warehouse, industrial, and commercial spaces.

**Ordering Information:** Includes a table with columns for Series, Total LED Power, Qty, Voltage, and Color Temp.

**UL US IEC CREE**

### RC6

**Product Description:** Cree RC6 LED lighting fixtures are designed for high-bay applications, providing excellent performance and long life.

**Performance Summary:** High efficacy, long life, and excellent color rendering.

**Applications:** Warehouse, industrial, and commercial spaces.

**Ordering Information:** Includes a table with columns for Series, Total LED Power, Qty, Voltage, and Color Temp.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and performance metrics.

**Photometry:** Includes a beam spread diagram and photometric data.

**Application Reference:** Includes a diagram showing the fixture's application in a high-bay setting.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and performance metrics.

**Photometry:** Includes a beam spread diagram and photometric data.

**Application Reference:** Includes a diagram showing the fixture's application in a high-bay setting.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and performance metrics.

**Photometry:** Includes a beam spread diagram and photometric data.

**Application Reference:** Includes a diagram showing the fixture's application in a high-bay setting.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and performance metrics.

**Photometry:** Includes a beam spread diagram and photometric data.

**Application Reference:** Includes a diagram showing the fixture's application in a high-bay setting.

**UL US IEC CREE**

### Technical Specifications

**Electrical Data:** Includes tables for electrical specifications and performance metrics.

**Photometry:** Includes a beam spread diagram and photometric data.

**Application Reference:** Includes a diagram showing the fixture's application in a high-bay setting.

**UL US IEC CREE**



Store # 1560  
VSH # V0932  
Oracle #NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

# ALLEVATO

Allevato Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

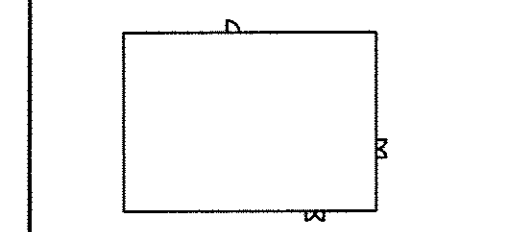
Seal

Consultant

Revisions

No.	Date	Issued for
1	12/9/15	SD SUBMISSION

Key Plan

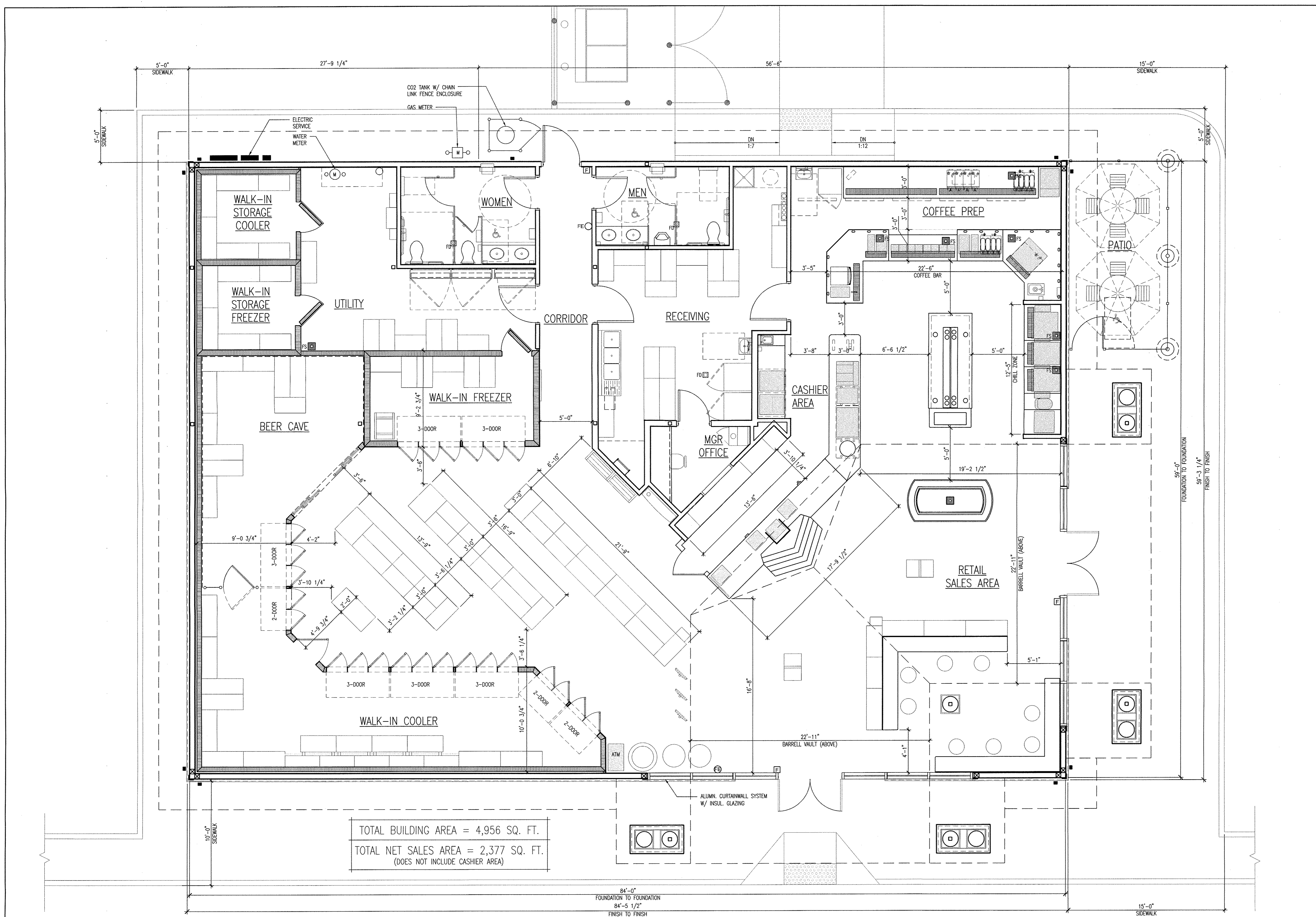


Title  
**FLOOR PLAN**

Date: 12/09/15  
Drawing No.

# A1.1

Project No. 1500.59



1 FLOOR PLAN  
A1.1 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE					
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTED		PAINTE WHITE COLOR TO BE SELECTED BY ARCHITECT	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GO TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTED		PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM & PANELS. GO TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS		SMOOTH WHITE FINISH	16" X 9" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH
VS-1	VINYL SIDING	CERTAINTED	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTED LANDMARK	LANDMARK	COBBLESTONE GRAY	30 YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	HICKMAN	.050 ALUMINIUM	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.

5 FINISH SCHEDULE  
A3.1 SCALE: NTS

FRONT WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED  
INTERNALLY ILLUMINATED SIGN BOX  
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 37.6 SQ.FT

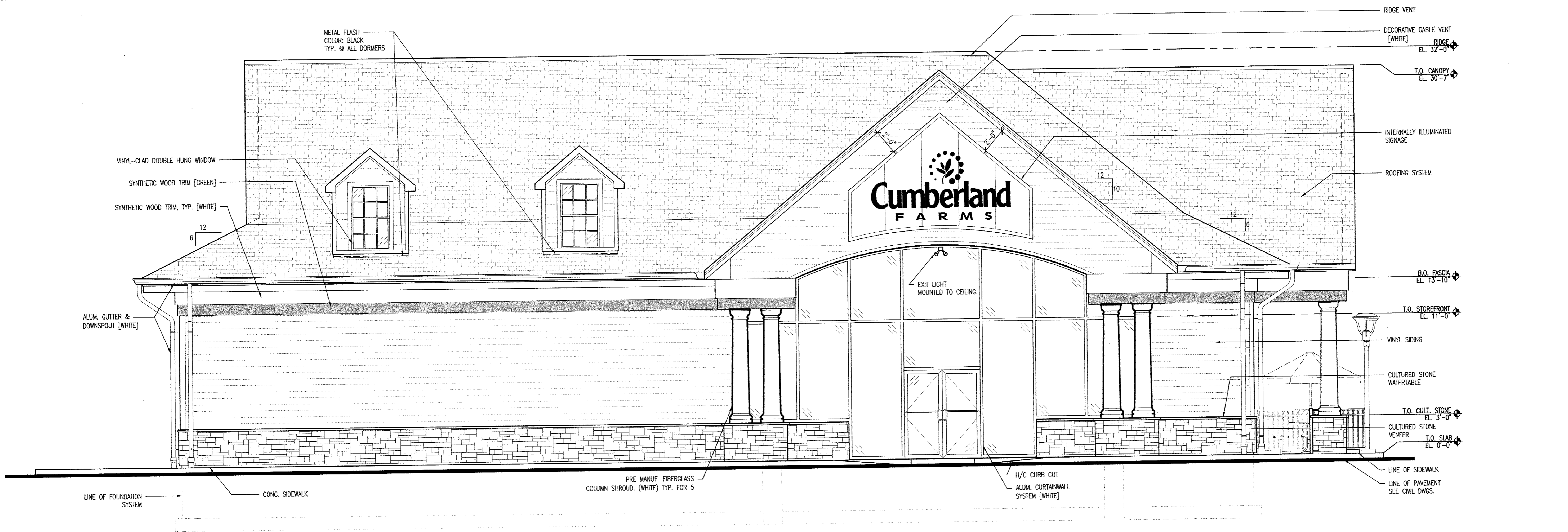


4 FRONT WALL SIGNAGE DETAIL  
A3.1 SCALE: 1/4"=1'-0"

3 NOT USED  
A3.1 SCALE: NTS



2 RIGHT SIDE ELEVATION  
A3.1 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
A3.1 SCALE: 1/4"=1'-0"

Project Title  
New Construction:

**Cumberland FARMS**  
Store # 1560  
VSH # V0932  
Oracle #NY0932

270 RTE 17K & Rock-Cut Rd.  
Newburgh, NY 12550

Owner

Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, MA  
tel 508 270 1400

Architect

**ALLEVATO**

Allevalo Architects, Inc P.C.  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

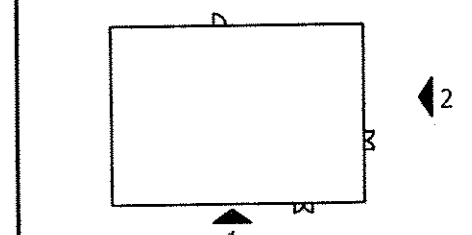
Seal

Consultant

Revisions

No.	Date	Issued for
	12/9/15	SD SUBMISSION

Key Plan



Title

EXTERIOR ELEVATIONS

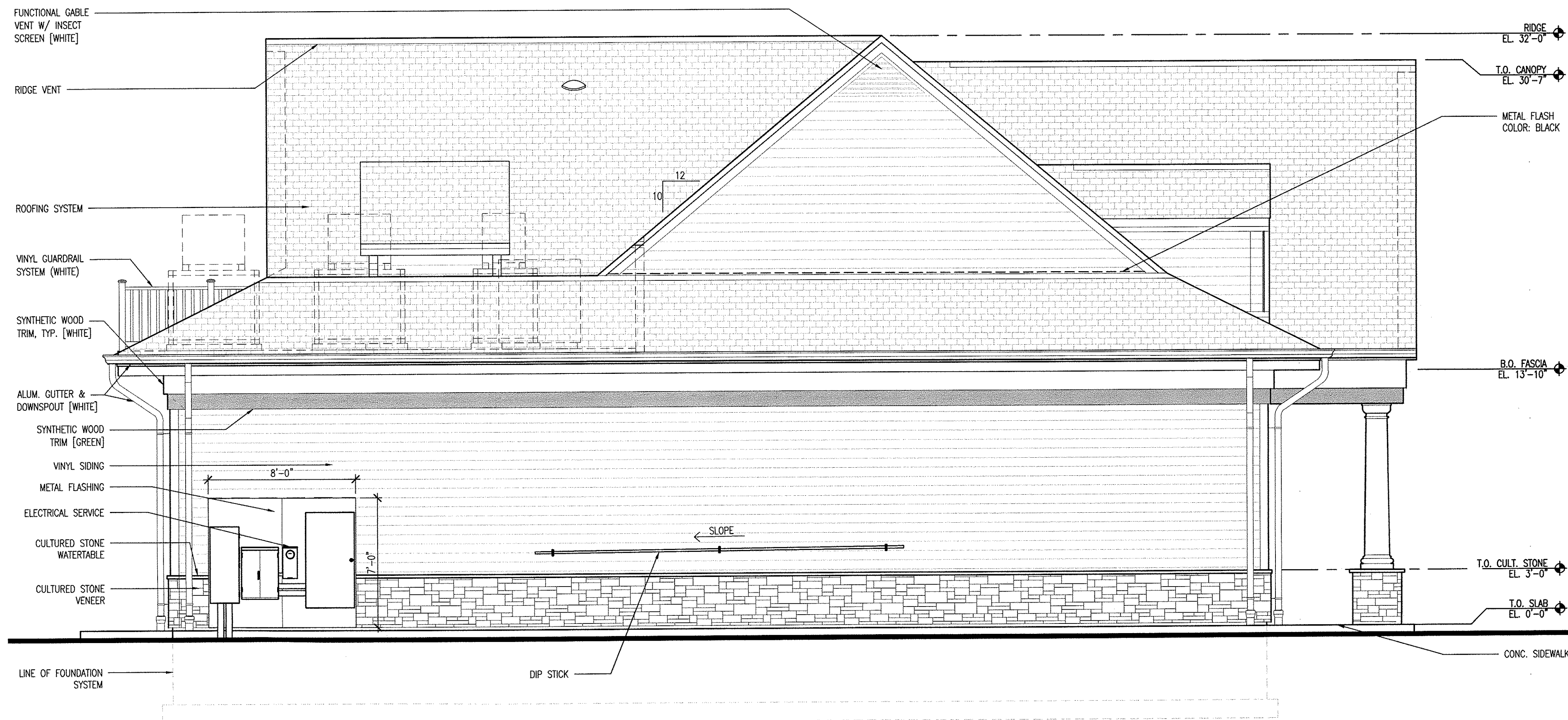
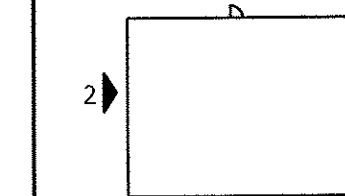
Date: 12/09/15

Drawing No.

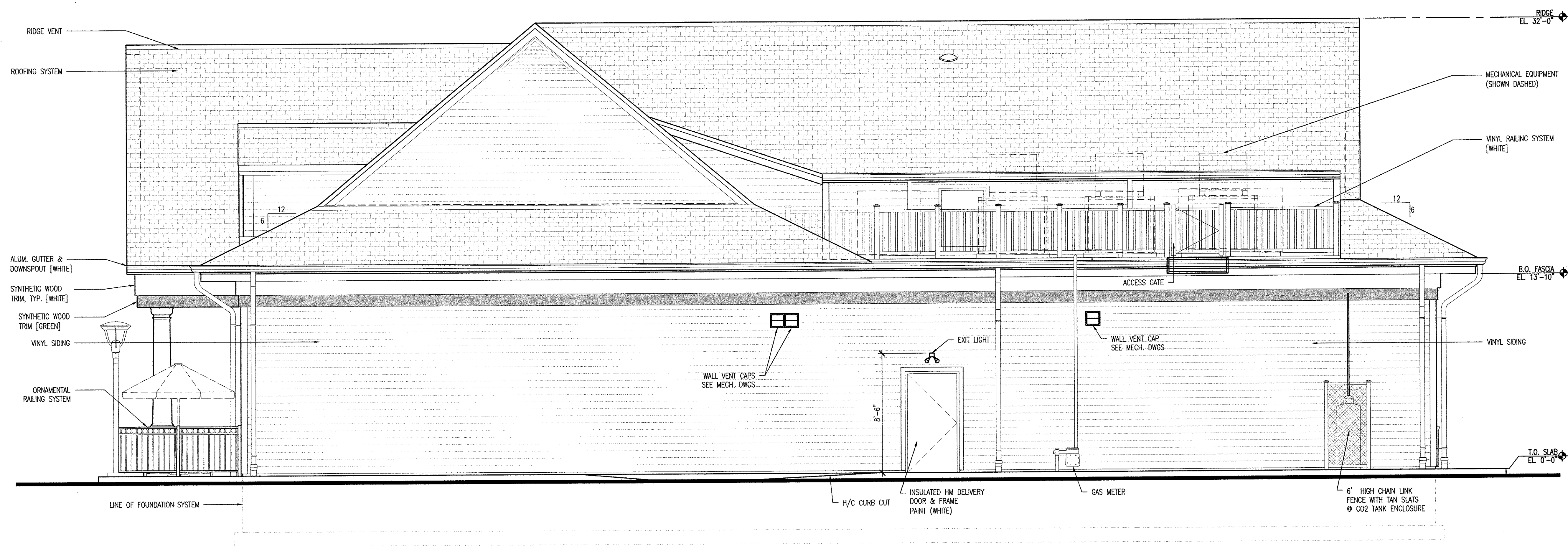
**A3.1**

Project No.

1500.59



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



