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CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: CUMBERLAND FARMS
PROJECT NO.: 16-05
PROJECT LOCATION: SECTION 86, BLOCK 1, LOT 14 & 15
REVIEW DATE: 15 JULY 2016
MEETING DATE: 21 JULY 2016
PROJECT REPRESENTATIVE: BOHLER ENGINEERING

1. A Stormwater Pollution Prevention Plan has been submitted and is under review by this office.
2. The discharge location for the existing pipe, which receives runoff from the Stormwater Management practices should be identified on the plans. Operation and maintenance of this drainage system should be addressed by the Applicants representative. Portions of the drainage are tributary to an NYSDOT culvert under Route 17K. This office is aware of maintenance issues identified by neighboring property owners.
3. Orange County Planning referral is required. This office will submit plans to Orange County now that SWPPP has been submitted, additional copy of applications, environmental assessment forms, plans and SWPPP should be provided.
4. Orange County DPW and NYSDOT approvals are required for driveway access points.
5. The Planning Board should review the Landscape plan, specifically the stone wall designs proposed to mitigate design guidelines of parking in the front yard. A detail of the stone wall should be provided on the plans.
6. This office is awaiting submission of the Sanitary Sewer Pump Station and associated design details, including grease trap sizing.
7. Water service lateral must be set up such that when sprinkler system is terminated potable water is terminating valving must be provided to incorporate that.

8. Water service lateral does not appear to meet separation distances from drainage pipe along rear of structure.
9. It is requested the Applicants pursue NYSDOT and Orange County DPW comments for access as soon as possible in order to determine if those agencies will require modifications to the plans. Orange County DPW will require notes on plan sheets which state no construction may commence until county permit is issued. Orange County DPW standard access detail will be required on the plan sheets.
10. Landscaping plan has an incomplete owner maintenance responsibility note.
11. Details of the hydrodynamic separator and the drainage manhole/outlet control structure should be added to the plans.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal



PAT

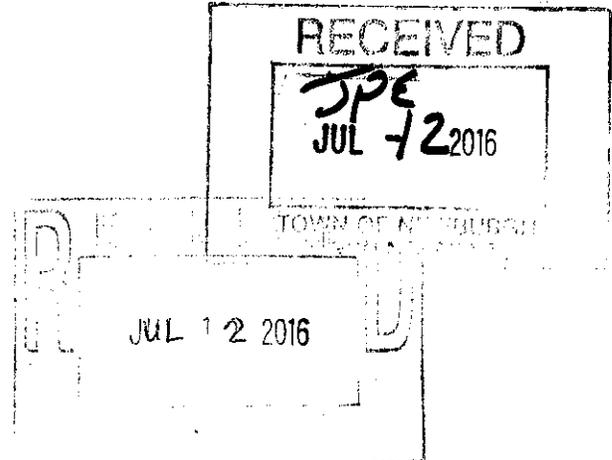
Via Hand Delivery

July 11, 2016

Town of Newburgh
308 Gardnertown Road
Newburgh, NY 12550

Attention: Mr. John Ewasutyn, Planning Board Chairman

**Re: Response to Comments Summary
Proposed Cumberland Farms
270 NY-17K
Town of Newburgh, New York**



Dear Mr. Ewasutyn:

Please find enclosed fifteen (15) copies of the updated Site Development Plans and Traffic Letter Report and three (3) copies of the Stormwater Pollution Prevention Plan (SWPPP). In response to the various comments received on our last submittal we offer the following response.

In response to the March 30, 2016 letter from McGoey, Hauser and Edsall we offer the following responses in italics to their comments listed below:

1. A City of Newburgh Flow Acceptance letter will be required for Sanitary Sewer connection.
We have filed this request and will forward the response upon receipt.
2. Orange County Planning referral will be required.
Comment noted, we are preparing a submittal and will copy the Town on any correspondence.
3. Orange County DPW and NYSDOT referrals and approvals will be required for proposed driveway access points. It is noted that 2 driveways are proposed on each of the roadways. It is unclear if these will be issued by those agencies. Information pertaining to and in coordination of submissions to the county or DOT should be copied to the Planning Board to complete the file.
Comment noted, we have completed a preliminary submittal to the NYSDOT. We are also preparing a submittal the OCDPW and will copy the Town on any correspondence.
4. The Town of Newburgh has adopted design guidelines in 2007. Compliance with design guidelines should be documented on the plans. Any specific waivers of requirements should be formally requested to the Planning Board. Parking along the front of the building along both roadway frontages is proposed. Mitigation measures for screening that parking should be incorporated into the plan and a waiver for that be requested. In the past stone walls have been incorporated into site plans to provide for screening of parking.
As discussed at the last Planning Board meeting, we have agreed to additional landscaping and the inclusion of stone walls along the property frontage in lieu of the requested waivers from the design standards with regard to parking and fuel canopy in the front of the site. We believe the site and building features have been well received by the Board and are within the intent of Towns Design guidelines.
5. Truck access plan for delivery vehicles should be provide.
A Truck Access Plan has been included in the submittal.
6. A Stormwater Management Report and SWPPP should be included in future submissions.
A SWPPP has been included in the submittal.

7. Sanitary Sewer Pump Station design report and plan should be submitted.
We are preparing a report regarding the sanitary sewer pump station and will forward to the Town under separate cover upon completion.
8. Water and sewer line routing depicts a circuitous path across the site. This should be modified.
The water and sewer laterals have been adjusted as requested.
9. Town of Newburgh has requirements for sprinklering commercial buildings. Fire Suppression sprinklers should be addressed on the plans. Water lines should be provided to adequately serve the fire protection system.
A 4" domestic and fire service lateral has been proposed. A fire suppression plan will be provided to the Town for the building permit submittal.
10. Standard Town of Newburgh water and sewer notes must be added to the plans (copies attached).
Town of Newburgh Standard Notes have been added to the plan.
11. Numerous variances will be required. The Bulk table notes previously issued variances, however the location of items involving those variances has changed on the site. Mike Donnelly's comments on the previously issued variance should be received.
Comment noted. The bulk table and plan has been adjusted accordingly. The noted variances have been granted by the Town of Newburgh Zoning Board of Appeals.
12. Based on a review of the plans the following variances will be required:
 - a) Maximum Canopy Height
 - b) Front Yard Setback for Canopy from both Rock Cut Road & Rt. 17K
 - c) Front Yard Landscaping Requirement
 - d) Signage Locations in Front Yard
 - e) Side Yard for Canopy
 - f) Number of Required Parking Spaces*The noted variances have been granted by the Town of Newburgh Zoning Board of Appeals.*
13. Notes on the Demolition Plan should be added requiring a demolition permit from the Town of Newburgh Building Department for removal of any and all structures. In addition a permit is required for removal of existing petroleum bulk storage tanks.
The requested notes have been added to the Demolition Plan.
14. Parking spaces are depicted as 10x20. Town of Newburgh parking spaces are 9x19 with a double stripe pattern. Striping pattern details should be added to the plans.
The parking striping have been adjusted as requested.
15. Sizing information for the proposed grease trap should be provided.
Sizing information for the grease trap will be included in the sanitary sewer pump station report and will be provided under separate cover upon completion.
16. The design depicts 12 inch diameter pipe. 15 inch Stormwater pipe is the minimum permitted in the Town of Newburgh.
The stormwater piping has been revised as requested.
17. A temporary sediment trap is identified in the DOT right of way. This should be addressed with the DOT during permitting.
Comment noted, the proposed temporary sediment trap location has been adjusted.

18. Drainage Plan identifies "ridgelines" on the site. These appear to conflict with the proposed grading. Discharge to the State Highway will occur based on the proposed grading.

Due to the grading of the site needed to achieve proper subsurface drainage treatment, piping and structures, etc., there are portions of the access drives that will sheet flow into the ROW. Currently the bulk of the property sheet flows into the ROW. The proposed stormwater management system is designed to meet the requirements for this redevelopment activity for both quality and quantity controls as detailed in the SWPPP and Stormwater Management Report. The off-site flows and area directly sheet flowing to the ROW has been significantly reduced from the existing condition. Review of the SWPPP will be included as part of the NYS DOT permit.

In response to the April 4, 2016 letter from Creighton Manning, we have included a Traffic Report Letter which we believe address all concerns noted in the letter. We have forward a copy of the latest plans and letter to Kenneth Wersted at Creighton Manning for review.

In response to the April 19, 2016 letter from the Town attorney, Michael Donnelly, to the Town of Newburgh Zoning Board of appeals, please note the Zoning Board of Appeals has granted all the requested variances at their June 23, 2016 meeting.

Should you have any questions or any additional needs please do not hesitate to contact us at (518) 438-9900.

Sincerely,

BOHLER ENGINEERING, LLC


James R. Gillespie



35 Technology Drive
Warren, New Jersey 07059
908-769-5588
atde@atlanticttraffic.com

July 1, 2016
VIA EMAIL

Town of Newburgh
308 Gardnertown Road
Newburgh, NY 12550
Attn: John Ewasutyn, Planning Board Chairman

**RE: Proposed Cumberland Farms Expansion
270 NYS Route 17K (Cochecton Turnpike)
at Rock Cut Road (CR 23)
Section 86, Block 1, Lots 14 & 15
Town of Newburgh
Orange County, New York
ATDE Project No. AJ16100**

Dear Mr. Ewasutyn:

Atlantic Traffic & Design Engineers, Inc. (ATDE) has prepared this Letter Report in support of the proposed expansion of an existing Cumberland Farms convenience store with gasoline filling station. The property in question is located at the northwest quadrant of the signalized "T" intersection of NYS Route 17K (Cochecton Turnpike) and Rock Cut Road (CR 23) in the Town of Newburgh, as shown on attached **Figure 1**.

Existing Condition

Lot 14, the corner lot, is currently occupied by an approximately 1,780 square foot Cumberland Farms convenience store and gasoline fueling station with 4 fueling positions. Access is provided via two full-movement driveways along the State Highway frontage and a wide (approximately 55 feet) full-movement driveway along the County Road frontage. The site is interconnected with the neighboring property to the west, which is occupied by auto repair services, a rustproofing business and an upholsterer. Lot 15 lies to the north of Lot 14 and fronts along Rock Cut Road (CR 23). Lot 2 is occupied by a one-story, approximately 2,425 square foot office building, and access is provided at a single full-movement driveway along Rock Cut Road (CR 23).

Proposed Condition

In the proposed condition, all existing site features on both lots would be removed and the lots would be consolidated for a total of approximately 1.2 acres. It is proposed to construct a 4,956 square foot Cumberland Farms convenience store with an 8 fueling position gasoline filling station and fueling canopy. The interconnection to the west would be eliminated, as the types of uses on the property in question and the adjacent parcel are not conducive to shared trips.

Access to the expanded Cumberland Farms is proposed via a full-movement driveway along NYS Route 17K (Cochecton Turnpike) and two full movement driveways along Rock Cut Road (CR 23). The existing full-movement Cumberland Farms driveway along NYS Route 17K (Cochecton Turnpike) would be eliminated, which is a benefit to the traveling public. Similarly the Rock Cut Road (CR 23) driveways would be shifted further from the signalized intersection that their existing locations, which is an improvement.

Road Network

NYS Route 17K (Cochecton Turnpike) is a 40 mile per hour urban principal arterial serving an Average Annual Daily Traffic (AADT) of approximately 16,800. In the site vicinity the Stet Highway carries one lanes plus shoulder in each direction. Parking is not permitted and sidewalks are not provided. Uses directly along the highway area are generally commercial, along with some residential subdivisions and vacant land.

Rock Cut Road (CR 23) is an Orange County road serving an AADT of approximately 7,700. The speed limit is not posted and is understood to be 55 miles per hour. In the site vicinity Rock Cut Road (CR 23) carries one lane in each direction, with narrow shoulders. Parking is not permitted and sidewalks are not provided. Aside from commercial uses in the vicinity of NYS Route 17K (Cochecton Turnpike) Rock Cut Road (CR 23) is generally developed with residential uses. Rock Cut Road (CR 23) meets its southerly terminus at the signalized "T" intersection with NYS Route 17K (Cochecton Turnpike).

Site Traffic

NYS Route 17K (Cochecton Turnpike) meets I-84 at grade separated Interchange 6 approximately one half mile east of the Cumberland Farms site. Due to the interstate access the Route 17K (Cochecton Turnpike) corridor features a number nearby alternatives for fuel and convenience store purchases. These include a Shell station, a Mobil station and a Pilot truck stop, all of which are located closer to I-84 than the subject property; and a Valero station located further away from the interstate. As a result these uses do not necessarily generate traffic to the degree normally projected.

However, in order to provide a conservative analysis, traffic projections for the proposed redevelopment have been prepared using rates published by the Institute of Transportation Engineers (ITE) in the 9th Edition of *Trip Generation*, 2012. This ITE reference includes compilations of trip generation data collected for a wide variety of land uses throughout the United States. **Table I** displays the projected trip generation for the existing and proposed developments using Land Use Code 853: "Convenience Market with Gasoline Pumps." For the purpose of this analysis the trip generation of the existing office building has been ignored, as it only amounts to a few peak hour trips.

**TABLE I
 ITE TRIP GENERATION COMPARISON**

		Enter	Exit	Total
Existing 1,780 SF Cumberland Farms with Gas	AM	36	37	73
	PM	45	46	91
Proposed 4,956 SF Cumberland Farms with Gas	AM	101	102	203
	PM	126	126	252
Difference	AM	65	65	130
	PM	81	80	161

A significant portion of the site generated traffic is projected to be "pass-by" in nature. Pass-by trips are defined as diverted movements into the site from adjacent flows of traffic (i.e., one stop made in a series of linked "errand" type trips to multiple retail locations, or made by a commuter on the way to work or home). The average peak hour pass-by trip percentage for a Convenience Market with Gasoline Pumps is 63% during the weekday morning peak hour and 66% during the weekday evening peak hour, as found in ITE's *Trip Generation Handbook*, 3rd Edition, 2014. These average rates are conservative for the Cumberland Farms, as it is located in close proximity to interstate highway access; the site is therefore exposed to a high proportion of commuter drivers, which results in higher pass-by demand.

Table II shows the site-generated traffic for the proposed convenience store with gasoline filling station in terms of newly generated traffic and pass-by traffic.

**TABLE II
 ITE TRIP INCREASE
 WITH CONSIDERATION OF PASS-BY TRIPS**

Trip Type	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	Enter	Exit	Total	Enter	Exit	Total
New	24	24	48	28	27	55
Pass-By	41	41	82	53	53	106
Total	65	65	130	81	80	161

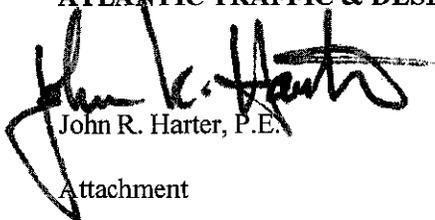
As shown, the proposed project is expected to generate a maximum of 81 one-way trips in any peak hour. An increase of fewer than 100 one-way peak hour trips is not considered "significant" by NYSDOT, and therefore further analysis is not warranted. Furthermore, the analysis shows fewer than 100 new two-way trips added to the traffic network.

In addition, as previously noted, the proposed modifications to the access configuration will eliminate a driveway in close proximity to the traffic signal at the intersections of NYS Route 17K (Cochecton Turnpike) and Rock Cut Road (CR 23). Driveways along Rock Cut Road (CR 23) will be shifted further away from the signal as well. These changes will enhance safety by eliminating points of conflict and providing greater separation between points of conflict. It can therefore be concluded that the proposed project will not have a significant impact on traffic.

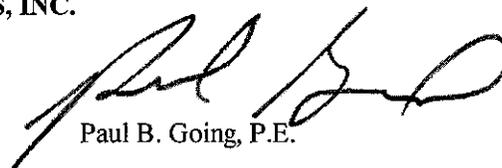
Please do not hesitate to contact the undersigned with any questions or comments you may have.

Sincerely,

ATLANTIC TRAFFIC & DESIGN ENGINEERS, INC.



John R. Harter, P.E.



Paul B. Going, P.E.

Attachment

X:\2016\AJ16100\Correspondence\Letters-Memos\AJ16100-Letter Report 7-01-2016.docx/PG

PROPOSED CUMBERLAND FARMS EXPANSION
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

LOCATION MAP



C:\CSD2014\TEMP\CPUBLISH_4004\ATD FIGURE TEMPLATE--->LAYOUT: 01 MAP

LOT AND BULK REQUIREMENTS:

TOWN OF NEWBURGH - ZONE IB (INTERCHANGE BUSINESS)

REQUIRED	
FRONT SETBACK	50'
SIDE SETBACK	50'
REAR SETBACK	60'
MAX. BLDG. HEIGHT	35'
MAX. BLDG. LOT COVERAGE PERCENT	40%
MIN. LOT AREA	40,000 S.F.
MIN. LOT WIDTH	150'

EASEMENT NOTES:

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-15 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. 3019-760197, EFFECTIVE DATE AUGUST 14, 2015, SCHEDULE "B-II" (EXCEPTIONS):

ITEM NO 5: DRAINAGE EASEMENT TO THE COUNTY OF ORANGE, BOOK 2032, PAGE 928 (N). APPROXIMATE LOCATION SHOWN HEREON.

EASEMENT NOTES:

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

FOR TAX MAP PARCEL 86.00-1-14 ONLY:

BASED UPON REVIEW OF FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE POLICY NO. NCS-789998-H0U1, EFFECTIVE DATE AUGUST 21, 2015, SCHEDULE "B-II" (EXCEPTIONS):

ITEM NO 6: COVENANTS AND RESTRICTIONS, EASEMENTS AND AGREEMENTS: NONE

TAX PARCEL NUMBER:

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK
SEC. 86.00 - BLK. 1 - PARCELS 14 & 15

MAP REFERENCES:

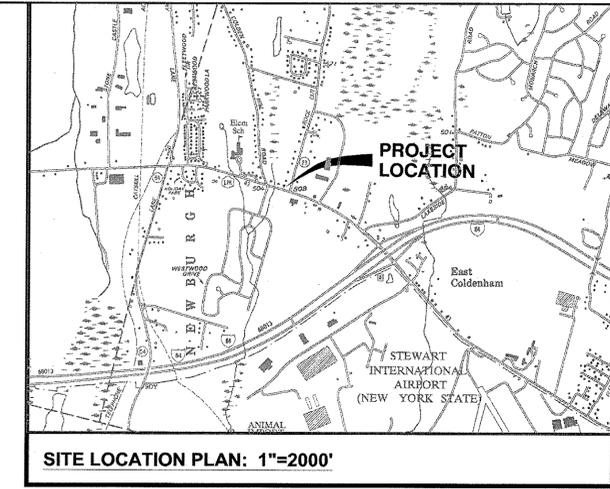
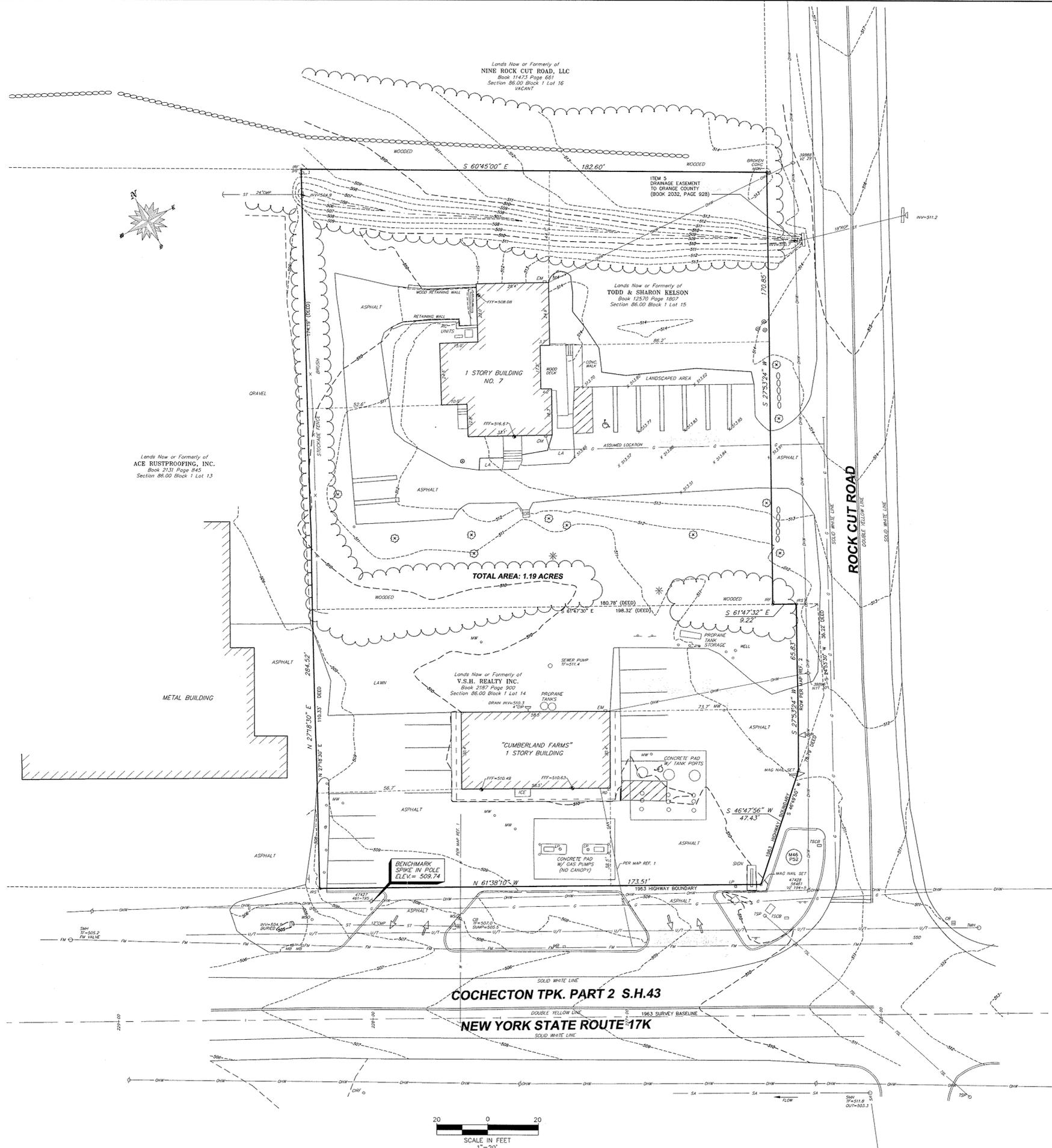
- "CUMBERLAND FARMS LOT LINE ADJUSTMENT PLAN." PREPARED BY CONTROL POINT, DATED MARCH 28, 2002. LAST REVISED MAY 30, 2002 PROVIDED BY THE CLIENT.
- "COCHECTON TURNPIKE PART 2, S.H. 43" MAP NO. 46, PARCEL NO. 52 SHEET 1 OF 1, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 8, Poughkeepsie, N.Y.

DEED REFERENCES:

- F.E.S. REALTY CO. TO V.S.H. REALTY INC., DATED JANUARY 16, 1981 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 2187 AT PAGE 900.
- MICHELLE MARCUS TO TODD A. AND SHARON L. KELSON, DATED NOVEMBER 2, 2007 AND RECORDED IN THE ORANGE COUNTY CLERKS OFFICE IN DEED BOOK 12570 AT PAGE 1807.

GENERAL NOTES:

NORTH IS ORIENTED TO DEED REFERENCE 1
VERTICAL DATUM IS NGVD29 AS PER MAP REFERENCE 1
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.
UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.



LEGAL DESCRIPTION:

LANDS OF V.S.H. REALTY (RECORD DESCRIPTION)
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF NEW YORK STATE ROUTE 17-K WITH THE WESTERLY SIDE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE NORTHERLY SIDE OF NEW YORK STATE ROUTE 17-K NORTH 61 DEGREES 38 MINUTES 10 SECONDS WEST A DISTANCE OF 173.51 FEET TO A HIGHWAY MONUMENT; RUNNING THENCE NORTH 27 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 110.33 FEET; RUNNING THENCE SOUTH 61 DEGREES 47 MINUTES 30 SECONDS WEST A DISTANCE OF 198.32 FEET TO THE WESTERLY LINE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE WESTERLY LINE OF ROCK CUT ROAD THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) SOUTH 24 DEGREES 53 MINUTES 30 SECONDS WEST A DISTANCE OF 36.22 FEET; (2) SOUTH 46 DEGREES 49 MINUTES 50 SECONDS WEST A DISTANCE OF 78.79 FEET TO THE POINT OR PLACE OF BEGINNING
LANDS OF KELSON (DESCRIPTION OF RECORD)
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND LYING AND BEING IN, THE TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE LANDS N/F VSH REALTY (TAX LOT 86-1-14) AND THE LANDS N/F HONCH (TAX LOT 86-1-15), THE SUBJECT PREMISES, THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, N 37° 12' 46" E A DISTANCE OF 170.38' TO A CONCRETE MONUMENT, THENCE, N 51° 25' 38" W A DISTANCE OF 182.60' TO A POINT, THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F ACE RUSTPROOFING, INC., S 36° 37' 52" W A DISTANCE OF 174.19' TO A POINT THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F VSH REALTY, S 52° 37' 08" E 180.78' TO THE POINT OR PLACE OF BEGINNING.

COMBINED PARCEL:
ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF THE COCHECTON TURNPIKE, S.H. 43 ALSO KNOWN AS N.Y.S. ROUTE 17K AND THE WESTERLY LINE OF ROCK CUT ROAD; THENCE IN A WESTERLY DIRECTION AND ALONG SAID NORTHERLY LINE OF N.Y.S. ROUTE 17K, NORTH 61°38'10" WEST, 173.51 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ACE RUSTPROOFING, INC. (BOOK 2131, PAGE 845), NORTH 27°18'30" EAST, 284.52 FEET TO AN IRON ROD FOUND; THENCE IN AN EASTERLY DIRECTION AND ALONG THE SOUTHERLY LINE OF THE LANDS NOW OR FORMERLY OF NINE ROCK CUT ROAD, LLC (BOOK 11473, PAGE 661), SOUTH 60°45'00" EAST, 182.80 FEET TO A POINT; THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORESAID WESTERLY LINE OF ROCK CUT ROAD, THE FOLLOWING FOUR COURSES: 1) SOUTH 27°53'24" WEST, 170.85 FEET TO A POINT; 2) SOUTH 61°47'30" EAST, 9.22 FEET TO A POINT; 3) SOUTH 27°53'24" WEST, 65.83 FEET TO A POINT AND 4) SOUTH 46°47'56" WEST, 47.43 FEET TO THE POINT OR PLACE OF BEGINNING.
CONTAINING IN ALL 1.19 ACRES OF LAND BEING MORE OR LESS

FLOOD ZONE NOTE:

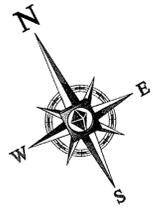
PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 360710138E, PANEL 139 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

CERTIFICATION:

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10 (a), 11(a), 13, 14, 16 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 14, 2015.

SIGNED: *Vincent P. Ausfeld* DATE: NOVEMBER 27, 2015
N.Y.S. REGISTRATION NO. 049597

270 ROUTE 17K		
ALTA/ACSM LAND TITLE SURVEY OF THE LANDS OF V.S.H. REALTY, INC. & TODD AND SHARON KELSON		
TOWN OF NEWBURGH	ORANGE COUNTY, N.Y.	
SCALE: 1"=20'	OCTOBER 28, 2015	
DRAWN BY: KGW	PROJECT NO: 15-1563	
Ausfeld & Waldruft Land Surveyors LLP 514 State Street, Schenectady N.Y. 12305 Phone: (518) 346-1595 Fax: 518-770-1655		VINCENT P. AUSFELD P.L.S. LICENSE #049597 www.ausfeld.com



MAP 86.00
BLOCK 1
N/F LANDS OF
NINE ROCK CUT ROAD, LLC
BK. 11473, PG. 661
[LOT 16]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: VACANT

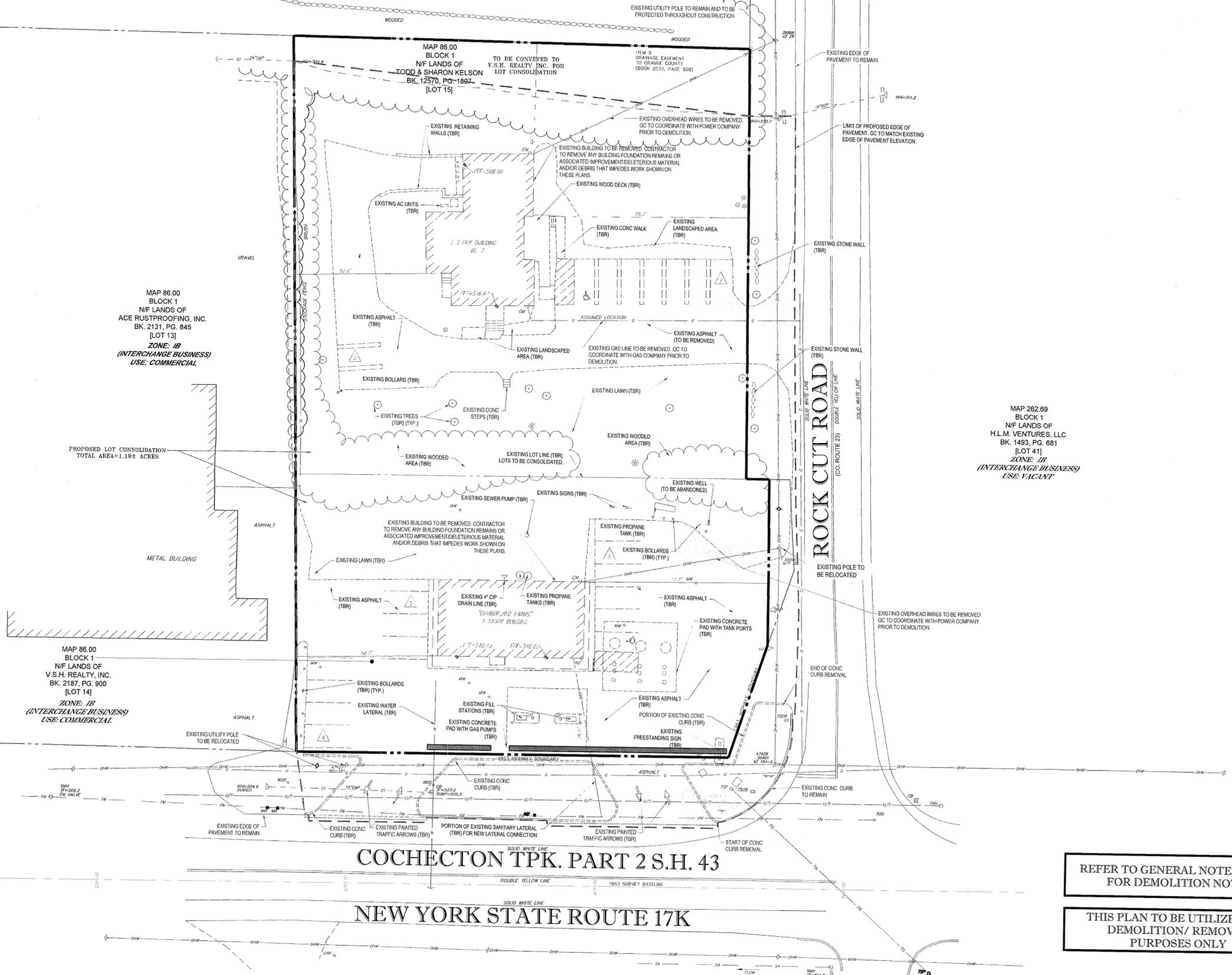
MAP 86.00
BLOCK 1
N/F LANDS OF
TODD & SHARON KELSON
BK. 12570, PG. 1897
[LOT 15]

MAP 86.00
BLOCK 1
N/F LANDS OF
ACE RUSTPROOFING, INC.
BK. 2131, PG. 845
[LOT 13]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: COMMERCIAL

MAP 86.00
BLOCK 1
N/F LANDS OF
V.S.H. REALTY, INC.
BK. 2187, PG. 900
[LOT 14]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: COMMERCIAL

MAP 262.69
BLOCK 1
N/F LANDS OF
H.L.M. VENTURES, LLC
BK. 1493, PG. 681
[LOT 41]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: VACANT

- TOWN OF NEWBURGH STANDARD SEWER NOTES:
1. A DEMOLITION PERMIT FROM THE TOWN OF NEWBURGH BUILDING DEPARTMENT IS REQUIRED FOR THE REMOVAL OF ANY AND ALL STRUCTURES.
 2. A PERMIT IS REQUIRED FOR THE REMOVAL OF EXISTING PETROLEUM BULK STORAGE TANKS.



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REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/26/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
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PRELIMINARY

PROJECT No.: B150208
DRAWN BY: JMG
CHECKED BY: JMG
DATE: 01/12/2016
SCALE: AS NOTED
CAD I.D.: B150208SS07

PROJECT: **SITE DOCUMENT PLANS FOR**

Cumberland FARMS
LOCATION OF SITE
270 ROUTE 17K
TOWN OF NEWBURGH
ORANGE COUNTY
STATE OF NEW YORK

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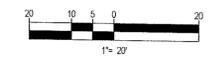
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REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY



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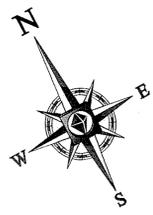
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SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
CFG03.0
OF 16

REV 3

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MAP 86.00
BLOCK 1
N/F LANDS OF
NINE ROCK CUT ROAD, LLC
BK. 11473, PG. 661
[LOT 16]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: VACANT

MAP 86.00
BLOCK 1
N/F LANDS OF
TODD & SHARON KELSON
BK. 12570, PG. 1807
[LOT 15]
TO BE CONVEYED TO
V.S.H. REALTY INC. FOR
LOT CONSOLIDATION

MAP 86.00
BLOCK 1
N/F LANDS OF
ACE RUSTPROOFING, INC.
BK. 2131, PG. 845
[LOT 13]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: COMMERCIAL

MAP 86.00
BLOCK 1
N/F LANDS OF
V.S.H. REALTY, INC.
BK. 2187, PG. 900
[LOT 14]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: COMMERCIAL

MAP 262.69
BLOCK 1
N/F LANDS OF
H.L.M. VENTURES, LLC
BK. 1493, PG. 681
[LOT 41]
ZONE: IB
(INTERCHANGE BUSINESS)
USE: VACANT

ZONING DISTRICT	IB DISTRICT CONVENIENCE STORE WITH GASOLINE FILLING STATION PERMITTED USE	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SQFT	20,600 SQFT	51,938 SQ FT	
MINIMUM LOT WIDTH	150 FT	173.51 FT	173.51 FT	
MINIMUM LOT DEPTH	150 FT	284.52 FT	284.52 FT	
MAX. BUILDING COVERAGE	40%	12%	16%	
MAX. LOT COVERAGE	80%	68.3%	67.1%	
MIN. FRONT SETBACK (FROM 17K) (BUILDING)	50 FT	38.5 FT	121.9' - ROUTE 17K	
(FROM & ROCK CUT RD) (BUILDING)	80 FT	101.8 FT	102.1' - ROCK CUT RD	
MIN. REAR SETBACK (BUILDING)	50 FT	56.7 FT	76.2 FT	
MIN. SIDE SETBACK (BUILDING)	50 FT	41.7 FT	51.9 FT	
MAX. BUILDING HEIGHT	35 FT	TBD	32 FT	
MAX. CANOPY HEIGHT	15 FT	17'-4"	21 FT (V)	
MIN. FRONT SETBACK (FROM 17K) (CANOPY)	50 FT	2.4 FT**	44.3 FT - ROUTE 17K (V)	
(FROM & ROCK CUT RD) (CANOPY)	80 FT	100.3 FT	58.7 FT - ROCK CUT RD (V)	
MIN. REAR SETBACK (CANOPY)	60 FT	82.8 FT	213.6 FT	
MIN. SIDE SETBACK (CANOPY)	50 FT	84.3 FT	34.7 FT (V)	
PARKING SPACES	34	22	31 (INCLUDING 8 FUELING) (V)	
MINIMUM SIGN SETBACK	15 FT	1 FT ENCROACHMENT	5.3 FT (V)	
PARKING CRITERIA (9x18) BY CODE (10x20) PROVIDED	RETAIL STORE - 1 PER 150 SQFT OF GROSS LEASEABLE SPACE 4,956 / 150 = 33.04 + 34 SPACES			
ACCESSIBLE PARKING SPACES	2	1	2	
FRONT YARD LANDSCAPING REQUIREMENT	45'	NONE	16.6 FT (V)	
LOADING SPACE	1	1	1	

(V) - DENOTES VARIANCE REQUESTED
 - DENOTES VARIANCE GRANTED FOR 19.54 FEET, JANUARY 25, 2001, P.B. #200-56
 - DENOTES VARIANCE GRANTED FOR 5.9 FEET, JANUARY 25, 2001, P.B. #200-56
 - DENOTES VARIANCE GRANTED FOR 17'-3", JANUARY 25, 2001, P.B. #200-56

VARIANCES REQUESTED:
 1 - MAXIMUM CANOPY HEIGHT
 2 - FRONT YARD SETBACK FOR CANOPY FROM BOTH ROCK CUT ROAD & RT. 17K
 3 - FRONT YARD LANDSCAPING REQUIREMENT
 4 - SIGNAGE LOCATION IN FRONT YARD
 5 - SIDE YARD FOR CANOPY
 6 - NUMBER OF REQUIRED PARKING SPACES

ALLOWED	173.51 LF 47.43 LF 69.85 LF 170.85 LF 457.62 LF
TOTAL AREA OF ALL SIGNS ON A LOT SHALL NOT EXCEED 1/2 OF TOTAL LENGTH OF STREET FRONTAGE OF THE LOT IN LINEAR FEET.	457.62 LF / 2 = 228.81 SF ALLOWED
PROPOSED	(2) BUILDING SIGNS @ 37.5 SF = 75.2 SF (2) CANOPY SIGNS @ 11 SF = 22 SF (1) FREESTANDING SIGN @ 90.2 SF = 90.2 SF TOTAL = 177.4 SF

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PRELIMINARY
 PROJECT NO.: B150208
 DRAWN BY: JRC
 CHECKED BY: MED
 DATE: 01/12/2016
 SCALE: AS NOTED
 CAD I.D.: B150208SS07

PROJECT: **SITE DOCUMENT PLANS FOR**

Cumberland FARMS
 LOCATION OF SITE
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 ORANGE COUNTY
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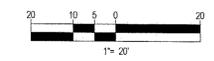
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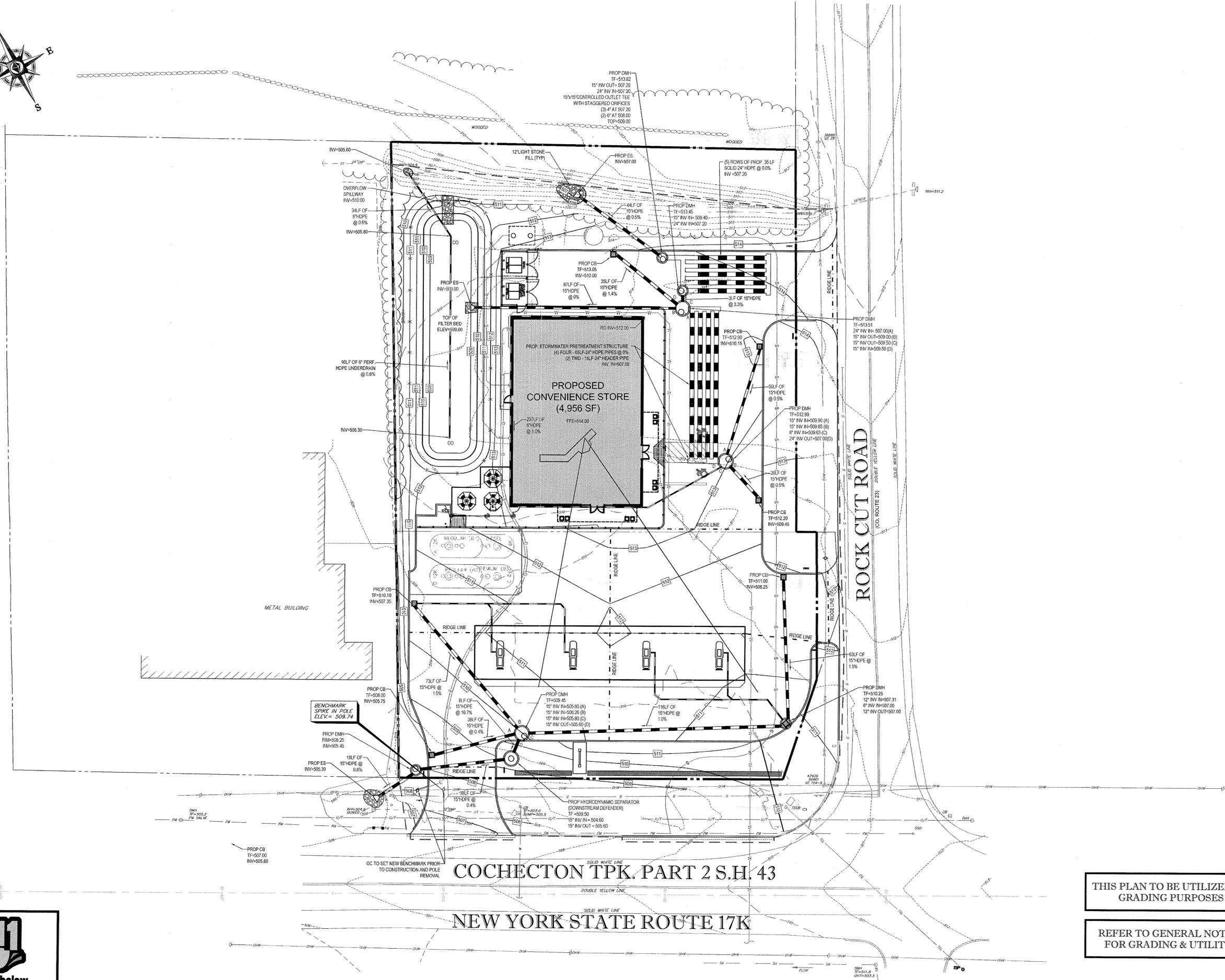
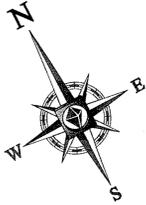
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SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
CFG04.0
 OF 16
 REV 3

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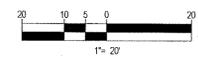


COHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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PRELIMINARY

PROJECT No.: B150208
 DRAWN BY: MED
 CHECKED BY: JRS
 DATE: 01/12/2016
 SCALE: AS NOTED
 CAD I.D.: B150208SS07

SITE DOCUMENT PLANS FOR

Cumberland Farms
 LOCATION OF SITE
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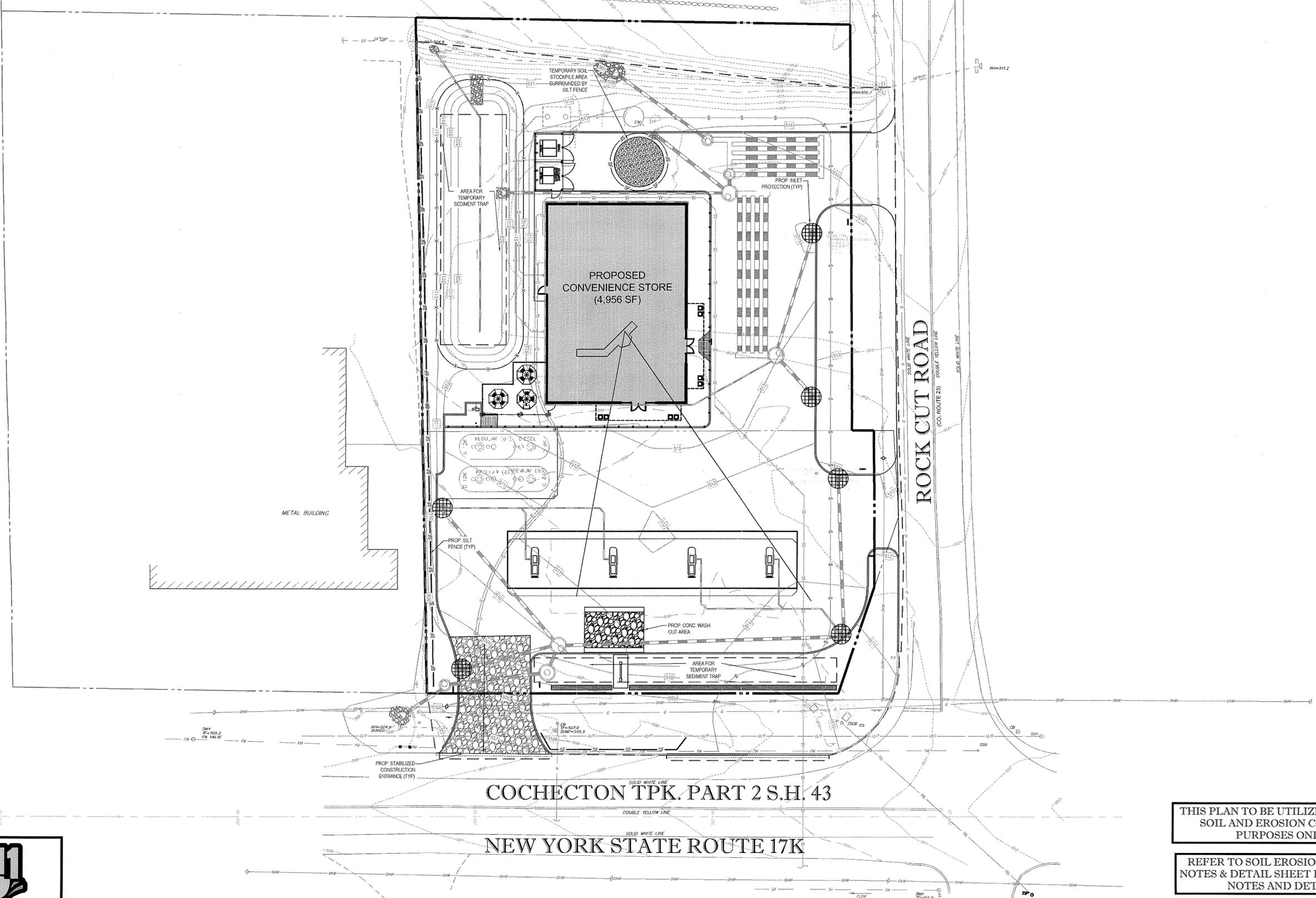
SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
CFG05.0
 OF 16

REV 3

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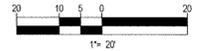


COHECTION TPK. PART 2 S.H. 43

NEW YORK STATE ROUTE 17K

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



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PRELIMINARY

PROJECT No.: B150209
 DRAWN BY: MED
 CHECKED BY: JRG
 DATE: 01/12/2016
 SCALE: AS NOTED
 CAD I.D.: B150209SS07

SITE DOCUMENT PLANS FOR

Cumberland FARMS
 LOCATION OF SITE
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SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
CFG06.0
 OF 16

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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MAINTENANCE INCLUDING LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5 TO 7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN, NEW DROP SEED.
II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
D. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
E. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
F. TREE PROTECTION
I. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
II. A FORTY EIGHT (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT (8) FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
III. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
IV. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
G. SOIL MODIFICATIONS
I. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
II. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NOT BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
III. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PEECS WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYP-SUM.
3. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
4. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM LUP TO 30% OF THE TOTAL MIX.
H. FINISHED GRADING
I. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
II. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1 1/2").
III. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
IV. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
I. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 2" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.])
I. 20 POUNDS SODIUM POLYACRYLAMATE (SODIUM POLYACRYLAMATE)
II. 20 POUNDS NITRO-FORM (COURSE) 36-0-4 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING
A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS WELL AS THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER BRUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CORYLUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELREUTERIA QUERCUS VARIETIES
LIQUIDAMBAR STYRACFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPFERA ZELKOVIA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIX, MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME
IV. 21 GRAMS NITRO-FORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. ALL PLANTS SHALL BE PLANTED SO THAT THE POINT OF THE ROOT BALL, THE POINT OF THE ROOT BALL, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GROUND.
L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF MULCH RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE UNINSTALLED AFTER PLANTING TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

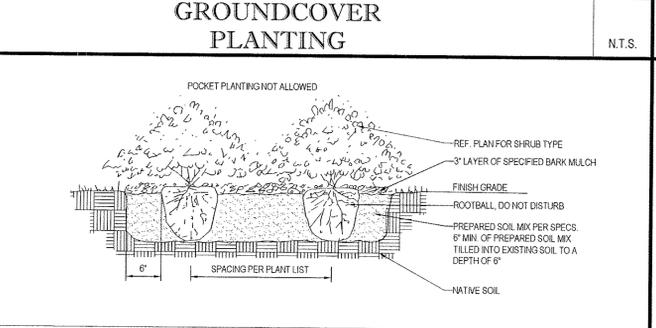
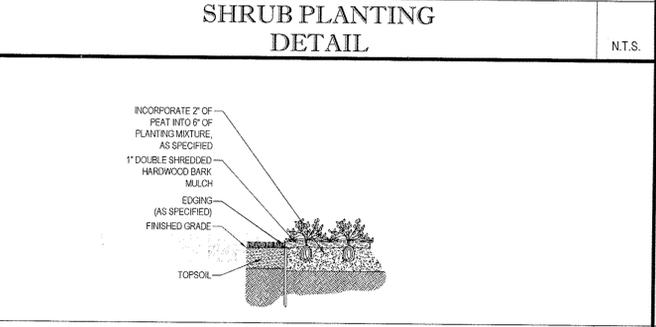
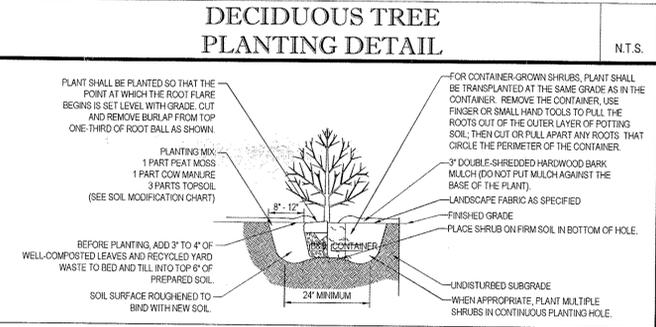
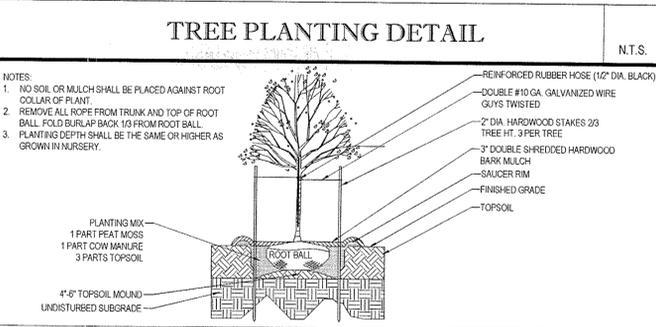
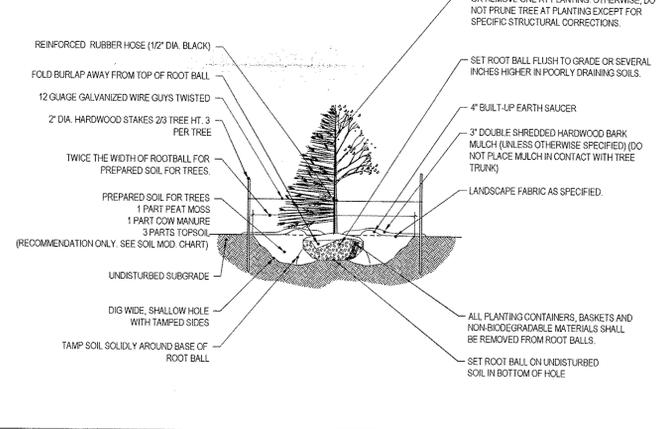
10. TRANSPLANTING WHEN REQUIRED
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE UNTIL UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

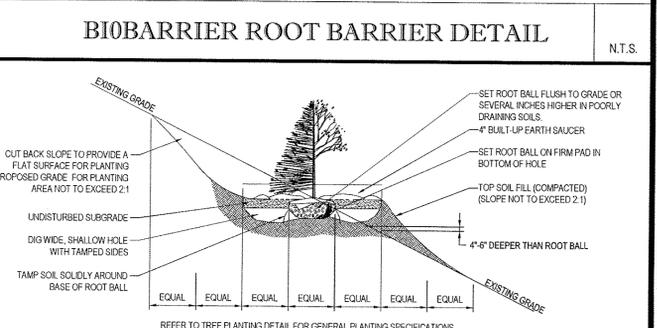
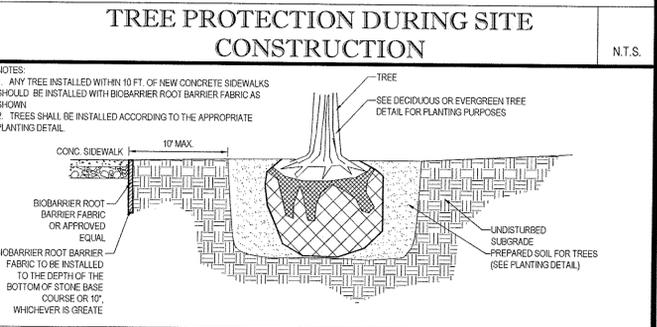
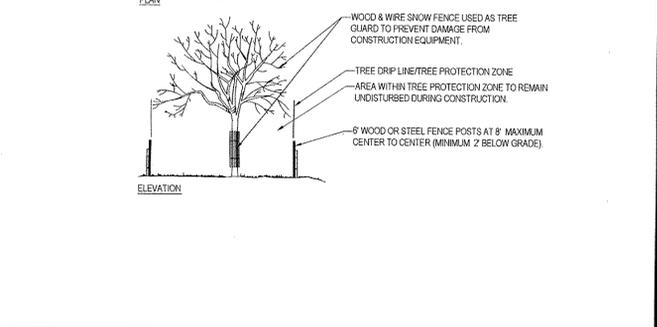
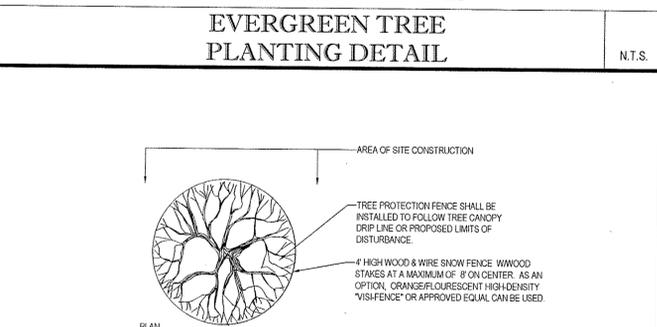
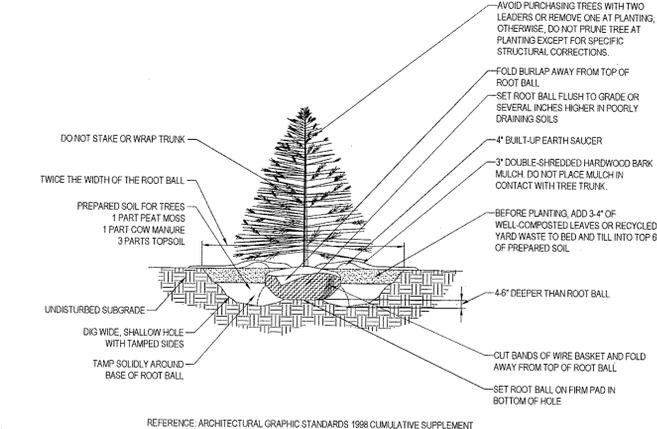
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARPING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.

13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
C. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OWNER THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OWNER MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OWNER.

NOTES:
1) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 10" FROM ROOT BALL.
3) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL (X).
7) SUBSTITUTE ABSORBITE STAKING SYSTEM WHEN SPECIFIED.



NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 10" FROM TOP OF ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2-3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



DETENTION BASIN SEED MIX SPECIFICATIONS

SEED MIX SHALL BE:
"NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES"
PREPARED BY NEW ENGLAND WETLAND PLANTS, INC.
820 WEST STREET
AMHERST, MA 01002

SEEDING RATE: 35 LBS/ACRE (1250 SF/LB)

SPECIES LIST
Virginia Wild Rye, (Elymus virginicus), Creeping Red Fescue, (Festuca rubra), Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Anthericum perfoliatum), Fox Sedge, (Carex waltersiana), Switch Grass, (Panicum virgatum), Rough Doggrass, (Aristida scabra), New England Aster, (Aster novae-angliae), Boneset, (Eupatorium perfoliatum), Green Leaved Galium, (Galium glaberrimum), Green Bulrush, (Scirpus atrovirens), Blue Vervain, (Verbena hastata), Soft Rush, (Juncus effusus), Wood Grass, (Scirpus opacifolius)

HYDROSEED SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
PERENNIAL RYEGRASS 12 LB/1000 SQ FT
KENTUCKY BLUEGRASS 11 LB/1000 SQ FT
RED FESCUE 12 LB/1000 SQ FT
SPREADING FESCUE 12 LB/1000 SQ FT
FERTILIZER (16-32-16) 2 LB/1000 SQ FT
LIQUID LIME 1 GAL/800 GAL
TANK TACKIFIER 35 LB/800 GAL
TANK FIBER/MULCH 30 LB/1000 SQ FT
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

GROUND COVER PLANTING

POCKET PLANTING NOT ALLOWED

REF. PLAN FOR SHRUB TYPE
3" LAYER OF SPECIFIED BARK MULCH
FINISH GRADE
ROOTBALL, DO NOT DISTURB
PREPARED SOIL MIX PER SPECS
6" MIN OF PREPARED SOIL MIX TILLED INTO EXISTING SOIL TO A DEPTH OF 6"
NATIVE SOIL

BIOBARRIER ROOT BARRIER DETAIL

SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS
4" BUILT-UP EARTH SAUCER
SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE
TOP SOIL FILL (COMPACTED) (SLOPE NOT TO EXCEED 2:1)
UNDISTURBED SUBGRADE
DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES
4" DEEPER THAN ROOT BALL
TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL

REFER TO TREE PLANTING DETAIL FOR GENERAL PLANTING SPECIFICATIONS

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
SUSTAINABLE DESIGN
PROGRAM MANAGEMENT
PERMITTING SERVICES
TRANSPORTATION SERVICES

LANDSCAPE ARCHITECTURE
NORTH VIRGINIA
NORTH CAROLINA
SOUTH CAROLINA
FLORIDA
ALABAMA
MISSISSIPPI
LOUISIANA
MISSOURI
ARKANSAS
OKLAHOMA
KANSAS
NEBRASKA
MINNESOTA
IOWA
WISCONSIN
ILLINOIS
INDIANA
OHIO
MICHIGAN
PENNSYLVANIA
DELAWARE
MARYLAND
DISTRICT OF COLUMBIA
VIRGINIA
WEST VIRGINIA
NEW YORK
NEW JERSEY
CONNECTICUT
MASSACHUSETTS
RHODE ISLAND
CONNECTICUT
NEW HAMPSHIRE
VERMONT
NEW MEXICO
UTAH
ARIZONA
CALIFORNIA
OREGON
WASHINGTON
MONTANA
WYOMING
NEBRASKA
KANSAS
OKLAHOMA
MISSOURI
ARKANSAS
LOUISIANA
MISSISSIPPI
ALABAMA
FLORIDA
SOUTH CAROLINA
NORTH CAROLINA
NORTH VIRGINIA

REVISIONS

REV	DATE	COMMENT	BY
1	03/22/16	PER TOWN SUBMISSION	AKS
2	04/28/16	PER TOWN PLANNING BOARD COMMENTS	AKS
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PRELIMINARY

PROJECT No.: B150208
DRAWN BY: MED
CHECKED BY: JED
DATE: 01/12/2016
SCALE: AS NOTED
CAD I.D.: B150208S07

SITE DOCUMENT PLANS FOR

Cumberland FARMS
LOCATION OF SITE
270 ROUTE 17K
TOWN OF NEWBURGH
ORANGE COUNTY
STATE OF NEW YORK

BOHLER ENGINEERING

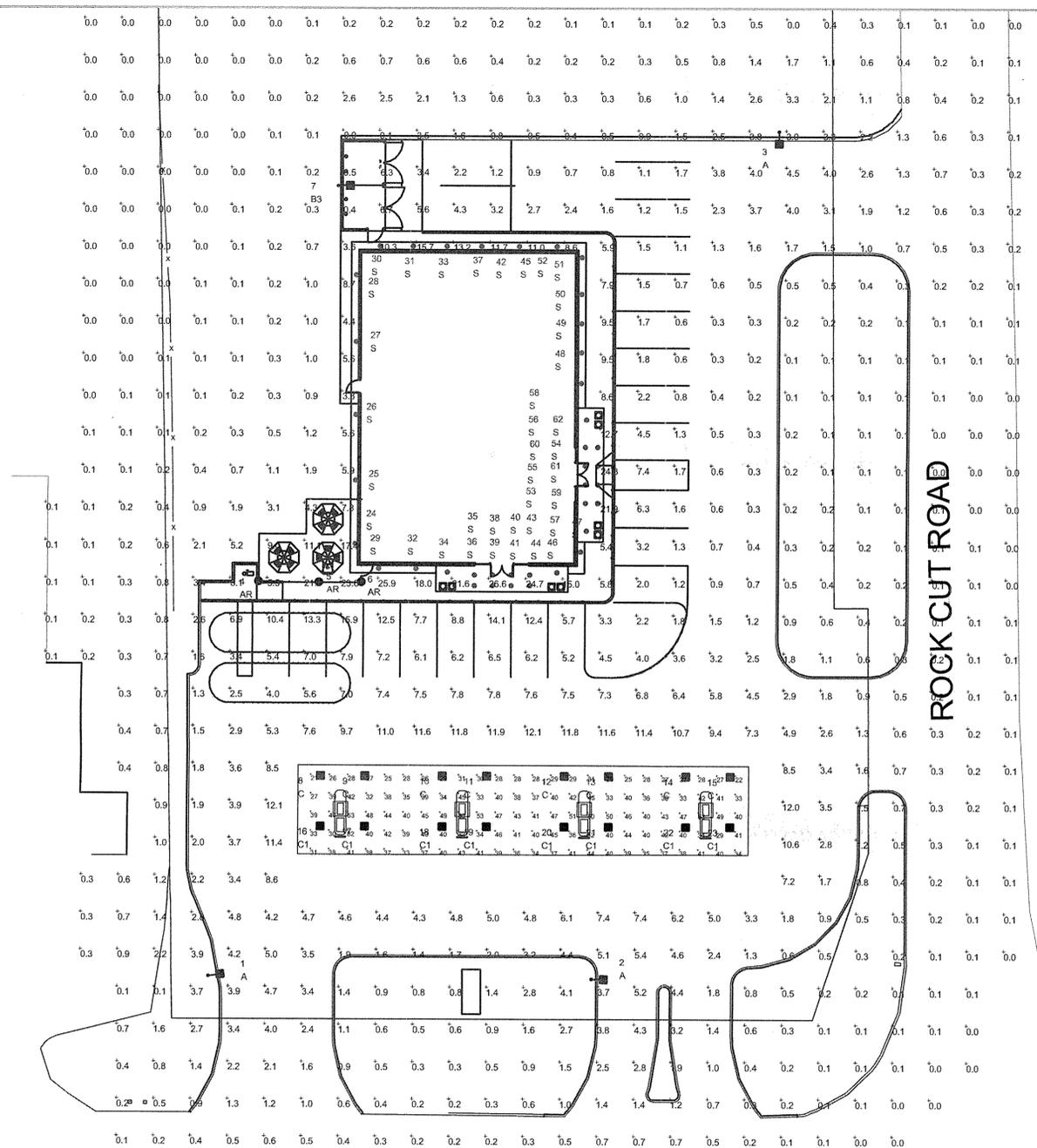
17 COMPUTER DRIVE WEST, SUITE 203
ALBANY, NY 12205
Phone: (518) 436-9900
Fax: (518) 436-9900
www.BohlerEngineering.com

SHEET TITLE:
LANDSCAPE NOTES & DETAILS SHEET

SHEET NUMBER:
CFG08.1
OF 16

REV 3

P:\158160208\Cumberland Farms, 270 NY 17K, Newburgh, NY\05 - CSD - 030808\520208S07.dwg, CP:08, 1:30pm, 7/1/2016, 8:41:43 AM, aewentman, Xms0516 - 1000, 11



NOTE:
 - FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES
 - EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
 - TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUM. NO.	LABEL	MTG. HT.
1	A	16.228
2	A	16.228
3	A	16.228
4	AR	8
5	AR	8
6	AR	8
7	B3	16.228
8	C	14
9	C	14
10	C	14
11	C	14
12	C	14
13	C	14
14	C	14
15	C	14
16	C1	14
17	C1	14
18	C1	14
19	C1	14
20	C1	14
21	C1	14
22	C1	14
23	C1	14
24	S	12
25	S	12
26	S	12
27	S	12
28	S	12
29	S	12
30	S	12
31	S	12

LUM. NO.	LABEL	MTG. HT.
32	S	12
33	S	12
34	S	12
35	S	16.228
36	S	16.228
37	S	12
38	S	16.945
39	S	16.945
40	S	16.945
41	S	16.945
42	S	12
43	S	16.228
44	S	16.228
45	S	12
46	S	12
47	S	12
48	S	12
49	S	12
50	S	12
51	S	12
52	S	12
53	S	16.228
54	S	16.945
55	S	16.945
56	S	16.228
57	S	12
58	S	12
59	S	16.228
60	S	16.945
61	S	16.945
62	S	16.228

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CONOPY	37.53	53	21	1.79	2.52
PAVED AREA	4.34	15.9	0.2	21.70	79.50
UNDEFINED AREA	1.29	26.6	0.0	N.A.	N.A.

NEW YORK STATE ROUTE 17K

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
AR	3	AR	SINGLE	7985	1.040	92	276	CREE INC.	ARE-EDR-5M-R5-04-E-UL-XX-700-57K
A	3	A	SINGLE	10706	1.040	132.5	397.5	CREE INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
B3	1	B3	SINGLE	8480	1.040	134	134	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-700-57K
C	8	C	SINGLE	12060	1.040	134	1072	CREE, INC.	CAN-304-5M-RS-06-E-UL-XX-700-57K
C1	8	C1	SINGLE	13696	1.040	134	1072	CREE, INC.	CAN-304-PS-RS-06-E-UL-XX-700-57K
S	39	S	SINGLE	1757	1.000	19.8	772.2	Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR-RC6 HOUSING

REV.	BY	DATE	DESCRIPTION

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SCALE: 1" = 20'
 LAYOUT BY: TAS
 DWG SIZE: DATE: 3/15/16
 DRAWING NUMBER: RL-3609-S1

PROJECT NAME:
**CUMBERLAND FARMS
 NEWBURGH, NY**
 CFG 10.0



AREA

CLICK HERE FOR PRODUCT INFO

AREA

CLICK HERE FOR PRODUCT INFO

CANOPY

CLICK HERE FOR PRODUCT INFO

SOFFIT

CLICK HERE FOR PRODUCT INFO

SYMBOL	QTY	LABEL
	3	A
	1	B3

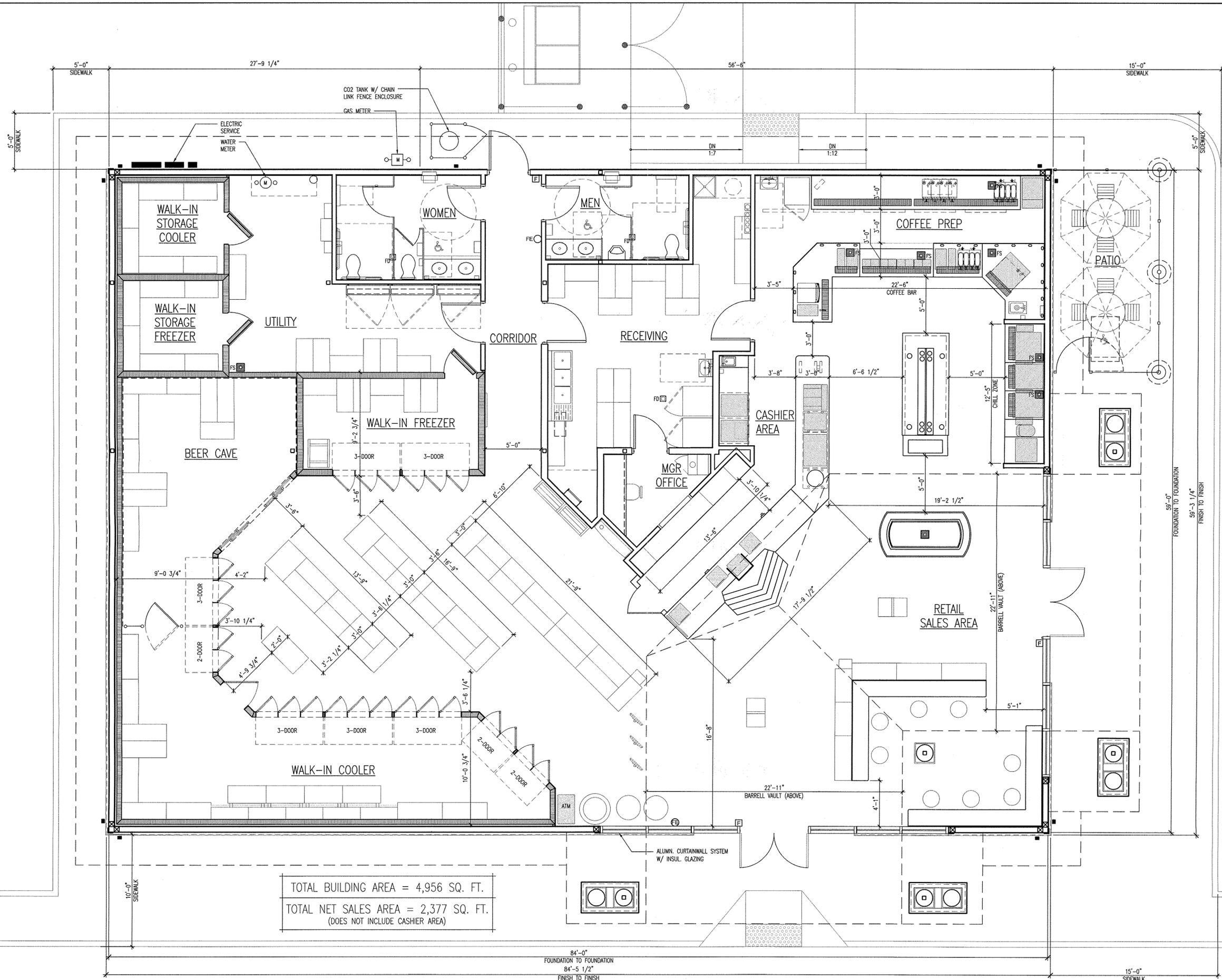
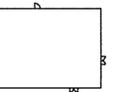
ARE-EDG-3M-DA-06-E-UL-XX-700-57K

ARE-EDG-4MB-DA-06-E-UL-700-57K

Cree Edge™ Series

LED Area/Flood Luminaire

Product Description
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherlight LED driver compartment and high performance aluminum heat sink. Various mounting choices. Adjustable Aim, Direct Aim, or Side Aim (DA) available. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 72, 84, 96, 108, 120, 144, 168, 180, 216, 252, 288, 324, 360, 432, 504, 576, 648, 720, 864, 1008, 1152, 1368, 1620, 1872, 2160, 2592, 3024, 3624, 4320, 5184, 6096, 7272, 8640, 10368, 12432, 15120, 18144, 21888, 26832, 32160, 38976, 47376, 57456, 69312, 84096, 102144, 123744, 150576, 182736, 221472, 271776, 334752, 403680, 490560, 597696, 728832, 888576, 1082304, 1322784, 1623936, 1988640, 2430720, 2982816, 3651936, 4459200, 5428800, 6682560, 8179200, 10003200, 12213600, 14842560, 18043200, 21868800, 26688000, 32889600, 40752000, 50688000, 62304000, 76944000, 94752000, 116736000, 143712000, 177120000, 218400000, 269280000, 333120000, 413760000, 514560000, 639360000, 793440000, 983040000, 1223040000, 1519680000, 1890240000, 2359680000, 2945280000, 3684480000, 4596960000, 5722800000, 7113600000, 8803200000, 10963200000, 13660800000, 17094400000, 21456000000, 26942400000, 33864000000, 42528000000, 53344000000, 66720000000, 84096000000, 105440000000, 132096000000, 166176000000, 209424000000, 264768000000, 335040000000, 424800000000, 538560000000, 680640000000, 864960000000, 1090560000000, 1377120000000, 1740480000000, 2209920000000, 2820480000000, 3599040000000, 4584960000000, 5848320000000, 7449600000000, 9475200000000, 12100800000000, 15417600000000, 19622400000000, 24926400000000, 31641600000000, 40176000000000, 51168000000000, 65280000000000, 83264000000000, 106080000000000, 135744000000000, 174048000000000, 223008000000000, 284832000000000, 362496000000000, 460800000000000, 586800000000000, 747360000000000, 951040000000000, 1216320000000000, 1561440000000000, 2007040000000000, 2582400000000000, 3321600000000000, 4262400000000000, 5452800000000000, 6945600000000000, 8913600000000000, 11438400000000000, 14665600000000000, 18883200000000000, 24393600000000000, 31603200000000000, 40812800000000000, 52521600000000000, 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1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE					
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTED		PAINT WHITE COLOR TO BE SELECTED BY ARCHITECT	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTED		PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS		SMOOTH WHITE FINISH	16"X 9" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH
VS-1	VINYL SIDING	CERTAINTED	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTED LANDMARK	LANDMARK	COBBLESTONE GRAY	30 YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	HICKMAN	.050 ALUMINIUM	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.

5 FINISH SCHEDULE
A3.1 SCALE: NTS

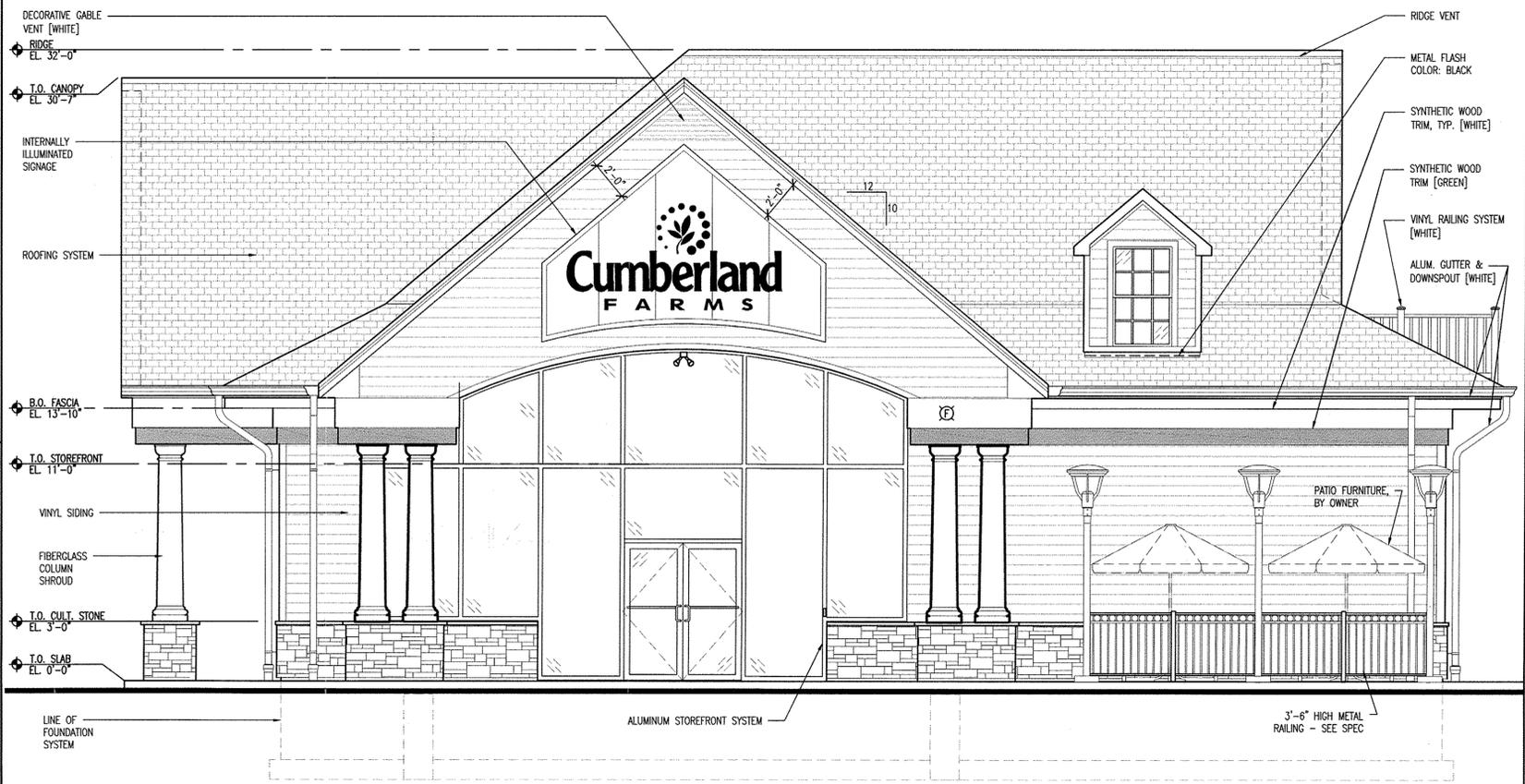
FRONT WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN BOX
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 37.6 SQ.FT



4 FRONT WALL SIGNAGE DETAIL
A3.1 SCALE: 1/4" = 1'-0"

3 NOT USED
A3.1 SCALE: NTS



2 RIGHT SIDE ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

Project Title
New Construction:



Store # 1560
VSH # V0932
Oracle # NY0932

270 RTE 17K & Rock-Cut Rd.
Newburgh, NY 12550

Owner

Cumberland Farms, Inc.
100 Crossing Blvd
Framingham, MA
tel 508 270 1400

Architect

ALLEVATO

Allevato Architects, Inc P.C.
31 Hayward Street, Franklin MA 02038
tel 508 528 0770 fax 508 528 9454

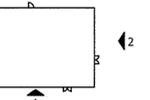
Seal

Consultant

Revisions

No.	Date	Issued for
	12/9/15	SD SUBMISSION

Key Plan



Title

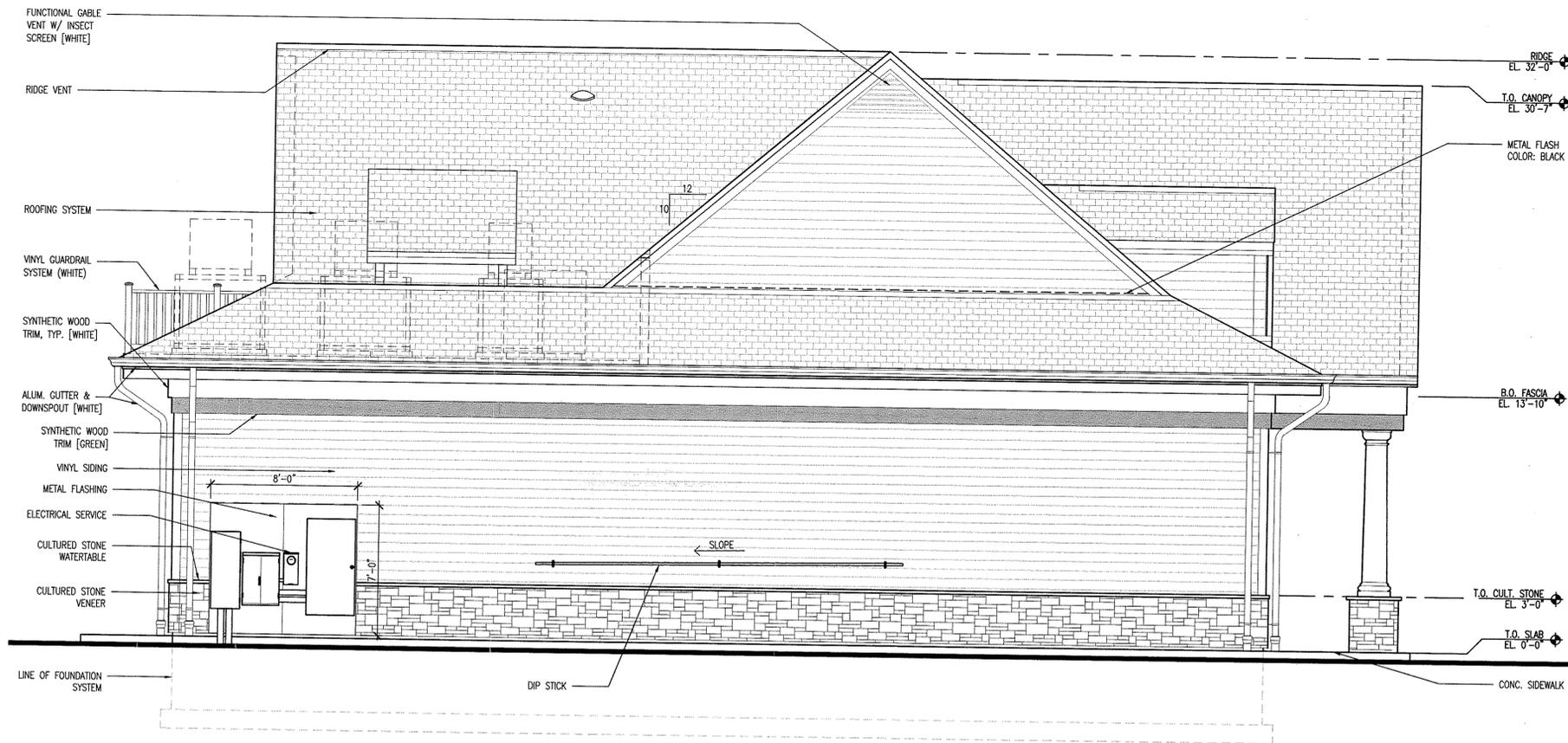
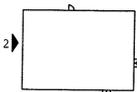
EXTERIOR ELEVATIONS

Date: 12/09/15

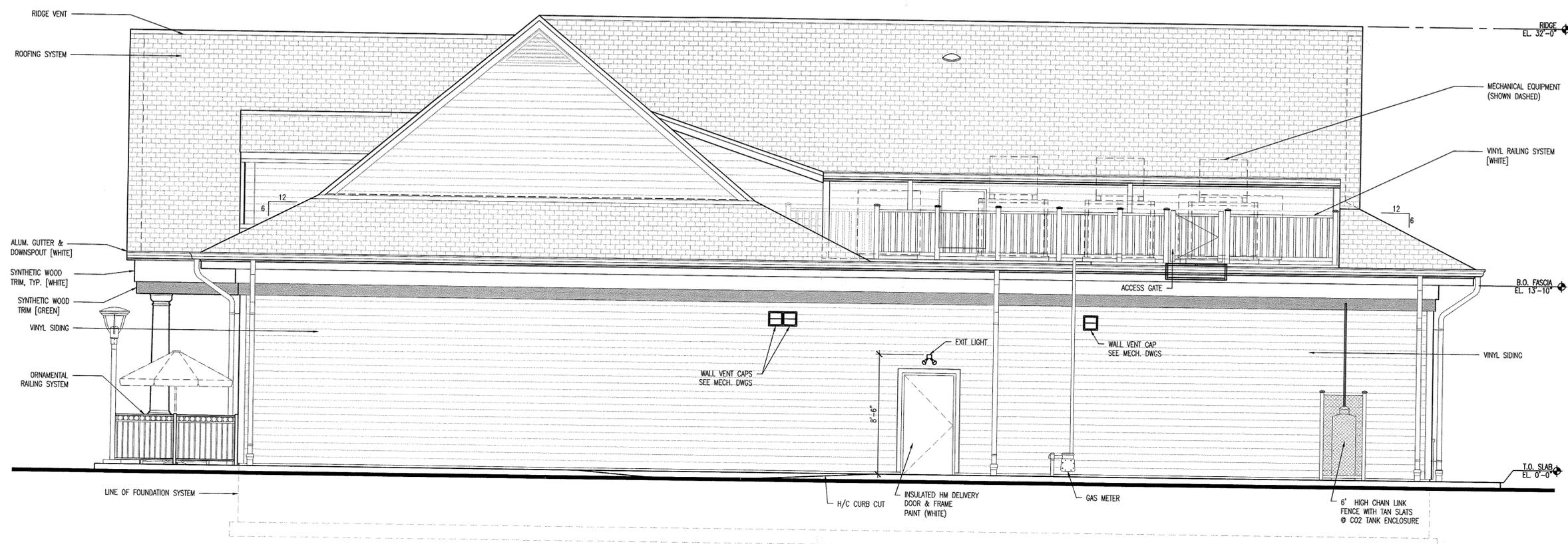
Drawing No.

A3.1

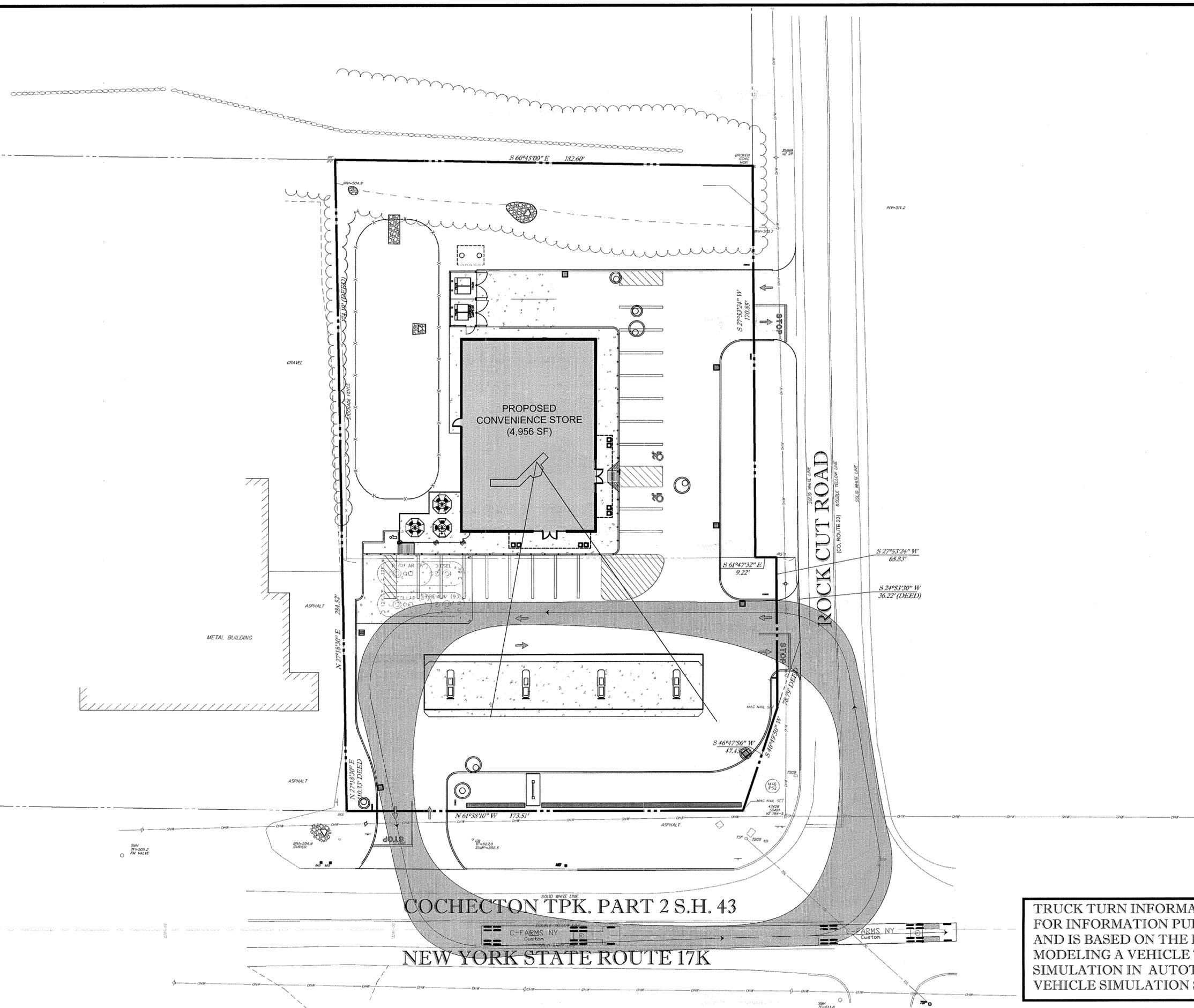
No.	Date	Issued for
12/9/15		BD SUBMISSION



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

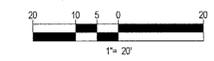


1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



COCHECTON TPK. PART 2 S.H. 43
 NEW YORK STATE ROUTE 17K

TRUCK TURN INFORMATION SHOWN FOR INFORMATION PURPOSES ONLY AND IS BASED ON THE RESULTS OF MODELING A VEHICLE TURN SIMULATION IN AUTOTURN VEHICLE SIMULATION SOFTWARE



BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING LANDSCAPE ARCHITECTURE
 LAND SURVEYING PROGRAM MANAGEMENT PERMITTING SERVICES TRANSPORTATION SERVICES
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 DENVER, CO
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 INDIANAPOLIS, IN
 JACKSONVILLE, FL
 KANSAS CITY, MO
 LOS ANGELES, CA
 MEMPHIS, TN
 MIAMI, FL
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 NASHVILLE, TN
 NEW ORLEANS, LA
 NEW YORK, NY
 PHILADELPHIA, PA
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 WASHINGTON, DC

REVISIONS				
REV	DATE	COMMENT	BY	
1	03/22/16	PER TOWN SUBMISSION	AKS	
2	04/28/16	PER TOWN PLANNING BOARD COMMENTS	AKS	
3	05/03/16	INFO ADDED FOR ZBA APPLICATION	AKS	
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				

PRELIMINARY

PROJECT No.: B150206
 DRAWN BY: MED
 CHECKED BY: JRG
 DATE: 01/12/2016
 SCALE: AS NOTED
 GAD I.D.: B150206SS07

PROJECT: **SITE DOCUMENT PLANS FOR**
Cumberland FARMS
 LOCATION OF SITE
 270 ROUTE 17K
 TOWN OF NEWBURGH
 ORANGE COUNTY
 STATE OF NEW YORK

BOHLER ENGINEERING
 17 COMPUTER DRIVE WEST, SUITE 203
 ALBANY, NY 12205
 Phone: (518) 438-9900
 Fax: (518) 438-0900
 www.BohlerEngineering.com

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 NEW HAMPSHIRE LICENSE No. 10260
 MASSACHUSETTS LICENSE No. 40544
 OHIO LICENSE No. E-69325

SHEET TITLE:
TRUCK SIMULATION PLAN

SHEET NUMBER:
1
 OF 1

REV 3

P:\1618150206\Cumberland Farms_270 NY-17K_Newburgh_NY05_CBD_WORKSET\150206s07.dwg_XC TRUCK SIMULATION_7/11/16 16:41:43 AM_annotated_Xref51p1.pcl User:ES4_111

811
 Know what's below.
 Call before you dig.