

ORANGE COUNTY CLERK'S OFFICE RECORDING PAGE

THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE

TYPE IN BLACK INK:
NAME(S) OF PARTY(S) TO DOCUMENT

John Taylor and Melissa J. Costa

TO

Central Hudson Gas & Electric Corporation

SECTION 34 BLOCK 1 LOT 1.2

RECORD AND RETURN TO:
(name and address)

Central Hudson Gas & Electric Corporation
ATTN: Veronica Bardunias, Special Svcs.
284 South Avenue
Poughkeepsie, NY 12601



Submitted by Ken Lytle 6/23/16

THIS IS PAGE ONE OF THE RECORDING

ATTACH THIS SHEET TO THE FIRST PAGE OF EACH RECORDED INSTRUMENT ONLY

DO NOT WRITE BELOW THIS LINE

Zoning Board of Appeals
JUN 23 2016
Town of Newburgh

INSTRUMENT TYPE: DEED MORTGAGE SATISFACTION ASSIGNMENT OTHER Att WY

PROPERTY LOCATION

- | | |
|--------------------------------------|----------------------------------|
| <u>2089</u> BLOOMING GROVE (TN) | <u>4289</u> MONTGOMERY (TN) |
| <u>2001</u> WASHINGTONVILLE (VLG) | <u>4201</u> MAYBROOK (VLG) |
| <u>2003</u> SO. BLOOMING GROVE (VLG) | <u>4203</u> MONTGOMERY (VLG) |
| <u>2289</u> CHESTER (TN) | <u>4205</u> WALDEN (VLG) |
| <u>2201</u> CHESTER (VLG) | <u>4489</u> MOUNT HOPE (TN) |
| <u>2489</u> CORNWALL (TN) | <u>4401</u> OTISVILLE (VLG) |
| <u>2401</u> CORNWALL (VLG) | <u>4600</u> NEWBURGH (TN) |
| <u>2600</u> CRAWFORD (TN) | <u>4800</u> NEW WINDSOR (TN) |
| <u>2800</u> DEERPARK (TN) | <u>5089</u> TUXEDO (TN) |
| <u>3089</u> GOSHEN (TN) | <u>5001</u> TUXEDO PARK (VLG) |
| <u>3001</u> GOSHEN (VLG) | <u>5200</u> WALLKILL (TN) |
| <u>3003</u> FLORIDA (VLG) | <u>5489</u> WARWICK (TN) |
| <u>3005</u> CHESTER (VLG) | <u>5401</u> FLORIDA (VLG) |
| <u>3200</u> GREENVILLE (TN) | <u>5403</u> GREENWOOD LAKE (VLG) |
| <u>3489</u> HAMPTONBURGH (TN) | <u>5405</u> WARWICK (VLG) |
| <u>3401</u> MAYBROOK (VLG) | <u>5600</u> WAWAYANDA (TN) |
| <u>3689</u> HIGHLANDS (TN) | <u>5889</u> WOODBURY (TN) |
| <u>3601</u> HIGHLAND FALLS (VLG) | <u>5801</u> HARRIMAN (VLG) |
| <u>3889</u> MINISINK (TN) | <u>5809</u> WOODBURY (VLG) |
| <u>3801</u> UNIONVILLE (VLG) | CITIES |
| <u>4089</u> MONROE (TN) | <u>0900</u> MIDDLETOWN |
| <u>4001</u> MONROE (VLG) | <u>1100</u> NEWBURGH |
| <u>4003</u> HARRIMAN (VLG) | <u>1300</u> PORT JERVIS |
| <u>4005</u> KIRYAS JOEL (VLG) | <u>9999</u> HOLD |

NO. PAGES 4 CROSS REF.
CERT. COPY ADD'L X-REF.
MAP# PGS.

PAYMENT TYPE: CHECK
CASH
CHARGE
NO FEE

Taxable
CONSIDERATION \$
TAX EXEMPT
Taxable
MORTGAGE AMT. \$

MORTGAGE TAX TYPE:
 (A) COMMERCIAL/FULL 1%
 (B) 1 OR 2 FAMILY
 (C) UNDER \$10,000
 (E) EXEMPT
 (F) 3 TO 6 UNITS
 (I) NAT.PERSON/CR. UNION
 (J) NAT.PER-CR.UN/1 OR 2
 (K) CONDO

Donna L. Benson
DONNA L. BENSON
ORANGE COUNTY CLERK

Received From Central Hudson

RECORDED/FILED
04/13/2012/ 14:36:39
DONNA L. BENSON
County Clerk
ORANGE COUNTY, NY
FILE#20120037479
PU / BK 13328PG 1822
RECORDING FEES 60.00
TTX# 004393 T TAX 0.00
Receipt#1439437 marse



In consideration of the sum of \$1.00 and other valuable considerations, the receipt whereof from Central Hudson Gas & Electric Corporation, a domestic corporation having its principal office (residence) at 284 South Avenue, Poughkeepsie, New York and Verizon New York, Inc., a domestic corporation having its principal office (residence) at 140 West Street, New York, NY is hereby acknowledged, the undersigned hereby grant(s) and convey(s) unto said corporation(s), and each of them, their respective successors, assigns and lessees (hereinafter collectively referred to as the "Corporations"), an easement for any use relating to the electric, gas, or communication industry, including, but not limited to, the installation, operation and maintenance of overhead and/or underground electric, gas or communication facilities which easement shall be 20 feet in width throughout its extent, in, upon, under, over and across the lands of the undersigned, including roads and highways thereon and adjacent thereto, situated in the Town of Newburgh, County of Orange, State of New York.

Said easement shall extend from Disano Drive on the West and from the property line known as SBL. 15-2-11 on the North in an Easterly direction to the property known as SBL. 34-1-4.2 on for approximately 385' with utilities.

Together with the permanent right at all times to have access thereto within the easement and across the remaining premise(s) of the undersigned, and to enter thereon, and to construct, excavate, place, relocate, extend, operate, maintain and to protect, repair, replace and remove, in, over and under the property covered by said easement, such facilities, including, but not limited to, lines or poles, cables, cross arms, wires, guys, braces, underground conduits, pipes, mains and ducts, and all other appurtenances and fixtures adaptable to the present and future needs, uses and purposes of said corporations, their respective successors, assigns and lessees, and provided that physical damage to the property owned by the undersigned caused solely by said corporations, their respective successors, assigns or lessees, shall be adjusted at the expense of the person or entity so causing such damage.

Together with the permanent right to also trim, cut, clear cut to ground level and at the election of either Corporation remove at any time such brush, trees and other objects, thereon or on adjacent property of the undersigned, including trees, brush and other objects located outside the easement, as in the sole judgment of either Corporation may fall upon or come in contact with the facilities or may interfere with, obstruct or endanger the construction, operation or maintenance of said rights, facilities and other appurtenances and fixtures or any thereof, which may hereafter be constructed in, over, or across said easement. Said right shall include the right to use chemical means of brush and tree removal within the limits of said easement.

The exact location of said easement and lines is to be as determined by said corporations having regard to the origin, general direction and destination of said facilities and the requirements of said corporations.

Reserving unto the undersigned the right to only plant and cultivate lawn grass and low growing ornamental shrubs within said easement, and the right to cross and recross said easement, provided that any such cultivation and/or use of said easement shall not in the sole judgment of said Corporations interfere with, obstruct or endanger any of the rights granted as aforesaid and provided that no house, shed, garage, outbuilding, pool, road, driveway or other structures or above or in ground improvements shall be erected, constructed placed, installed, or located and no excavating, mining or blasting shall be undertaken or performed within the limits of said easement without the prior written consent of said Corporations.

This easement and the provisions hereof shall be binding upon and inure to the benefit of the heirs, legal representatives, successors, assigns and lessees of the undersigned and said Corporations, respectively.

Signed, sealed and delivered, on DECEMBER 13TH, 2011 [Signature] (L.S.)
(Sign & Print Name) John Taylor

[Signature] (L.S.)
(Sign & Print Name) Melissa J Costa

In the presence of [Signature]
Robert E Hogan
(Print Name)

Residing at 1 DISANO DRIVE
Number Street
Newburgh N.Y. 12550
Town, City or Village State
Orange
County

RIGHT OF WAY

No. 2116 Town, Newburgh (032)

Village: _____

City: _____

Granted by

John Taylor

to Melissa J Costa

Central Hudson Gas & Electric Corporation

Date: December 13, 2011

Map: 912109 Line: 4015

Pole No: N 30623

Work Order #: H0924/RM#: 8-08720

SBL: 34-1-12

Address of ROW: DISANDR, H&M, NY

RECORD AND RETURN TO:

Central Hudson Gas & Electric Corporation
284 South Avenue
Poughkeepsie, NY 12601
Attn: Special Services

Notary Public

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they resides in _____, that he/she/they know(s) _____, to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said _____ execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

State of New York
County of _____
) ss.: _____

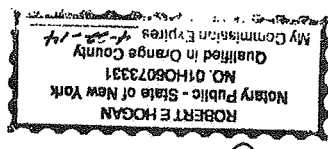
CERTIFICATE OF SUBSCRIBING WITNESS

Notary Public

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said state, personally appeared _____, personally known to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

State of New York
County of _____
) ss.: _____

NEW YORK ALL-PURPOSE ACKNOWLEDGMENT

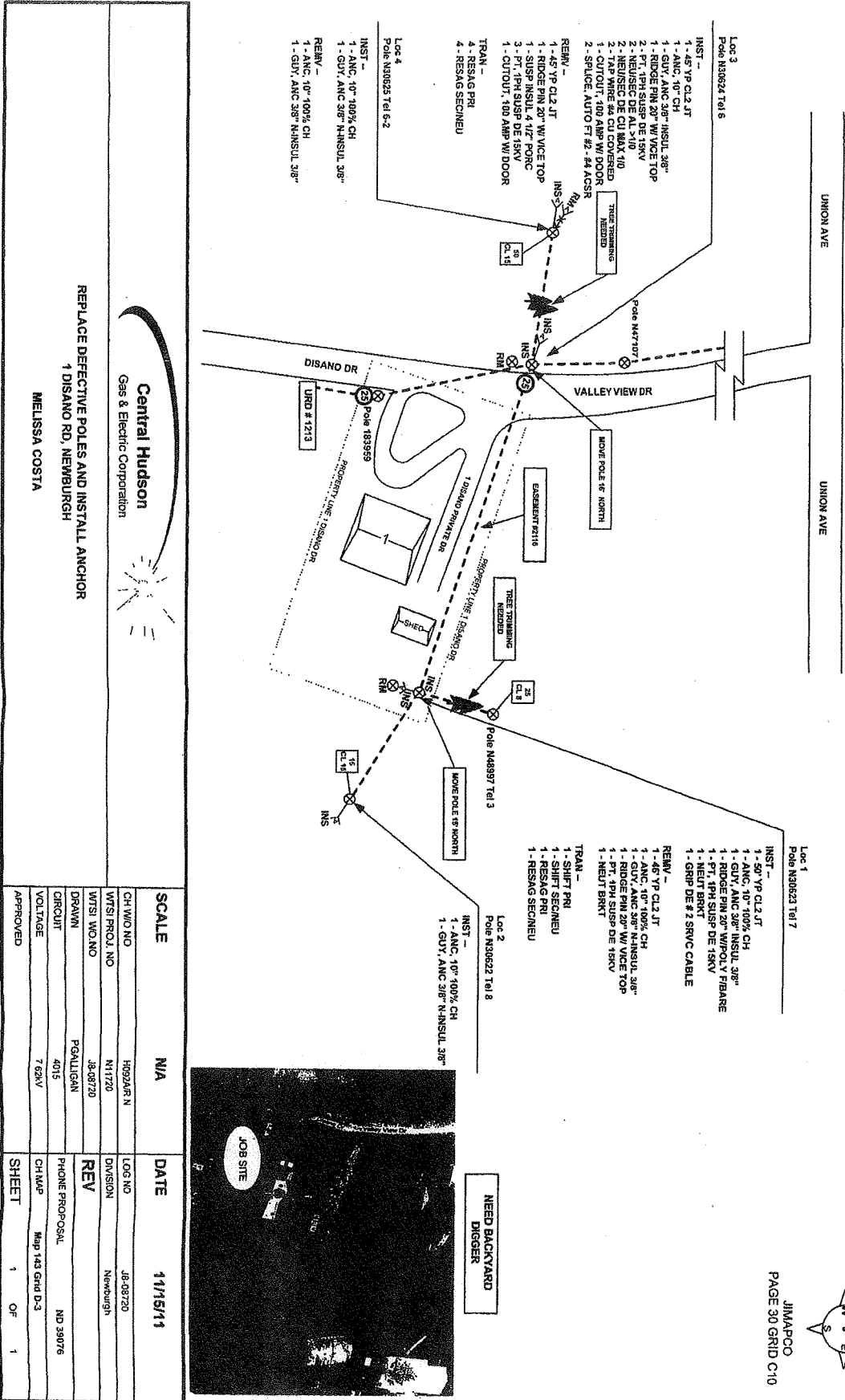


Notary Public

On the 13th day of December 2011, before me, the undersigned, a Notary Public in and for said State, personally appeared John Taylor and Melissa J Costa, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

State of New York
County of Orange
) ss.: _____

ACKNOWLEDGEMENT OF CONVEYANCE



Central Hudson
Gas & Electric Corporation

REPLACE DEFECTIVE POLES AND INSTALL ANCHOR
1 DISANO RD, NEWBURGH
MELISSA COSTA

SCALE	N/A	DATE	11/15/11
CH W/O NO	H0924R N	LOG NO	J8-08720
W/TSI PROJ NO	N11720	DIVISION	Newburgh
W/TSI W/O NO	J8-08720	REV	
DRAWN	PGALLIGAN	PHONE PROPOSAL	ND 38076
CIRCUIT	4015	CH MAP	Map 143 Grid D-3
VOLTAGE	7.62kV	SHEET	1 OF 1
APPROVED			

