



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES
LYLE R. SHUTE, P.E. (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

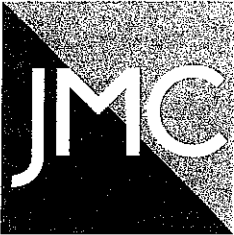
PROJECT: CORTLAND COMMONS
PROJECT NO.: 2017-11
PROJECT LOCATION: SECTION 9, BLOCK 1, LOT 60
REVIEW DATE: 4 OCTOBER 2017
MEETING DATE: 5 OCTOBER 2017
PROJECT REPRESENTATIVE: JMC PLANNING & ENGINEERING

1. Status of the NYSDEC and Orange County Health Department Approval for the subsurface sanitary sewer disposal system should be addressed.
2. Status of the NYSDOT's review and approval of the site access and utility connections should be received.
3. The Planning Boards input on the proposed landscaping should be addressed. Landscaping security and inspection fees will be required.
4. The stormwater management modifications on the site incorporating an infiltration and in pipe storage system are acceptable. Municipal authorization form will be processed upon receipt. Stormwater SPDES permit is required prior to any grading on the site.
5. The Applicants representative are requested to address the geotechnical report and borings. Modifications to the retaining walls were provided based on geo tech report. It is requested the Applicants representative address the potential for the need to blast on the site.
6. A Stormwater Facilities Control Maintenance Agreement is required.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

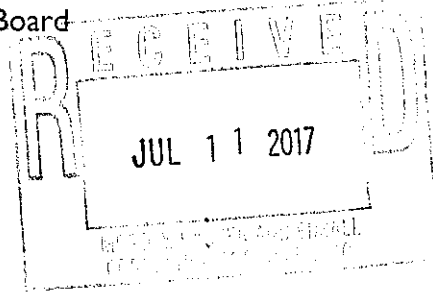
Patrick J. Hines
Principal



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

July 10, 2017

Chairman John P. Ewasutyn and Members of the Planning Board
 Newburgh Town Hall
 Town of Newburgh
 308 Gardnertown Road
 Newburgh, NY 12550



RE: JMC Project 16055
 Route 9W Retail
 Route 9W
 Newburgh, NY

Dear Chairman Ewasutyn and Members of the Planning Board:

In response to the Town's review of the Cortland Commons application, please find 16 copies of the following revised drawings and documents:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
SP-1	"Cover Sheet"	1 07/07/2017
SP-2	"Existing Conditions & Tree Removal Plan"	1 07/07/2017
SP-3	"Layout Plan"	1 07/07/2017
SP-4	"Grading Plan"	1 07/07/2017
SP-5	"Utilities Plan"	1 07/07/2017
SP-6	"Erosion and Sediment Control Plan"	1 07/07/2017
SP-7	"Landscaping Plan"	1 07/07/2017
SP-8	"Lighting Plan"	1 07/07/2017
SP-9	"Construction Details"	1 07/07/2017
SP-10	"Construction Details"	1 07/07/2017
SP-11	"Construction Details"	1 07/07/2017
SP-12	"Construction Details"	1 07/07/2017
SP-13	"Construction Details"	1 07/07/2017
SP-14	"Construction Details"	1 07/07/2017
SP-15	"Construction Details"	1 07/07/2017
SP-16	"Construction Details"	1 07/07/2017
SP-17	"Truck Turning Analysis"	1 07/07/2017

2. Stormwater Pollution Prevention Plan, dated 07/07/2017. (1 disk to Planning Board, 1 copy to Mr. Hines).
3. Mauri Architects, PC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Date</u>
PB-1	"Proposed Plan & Elevations-Retail Buildings"	04/19/2017
PB-3	"Proposed Plan & Elevations-Fast Food Building"	04/19/2017

4. Parr Valley Condominium and JNM Realty LLC Easement Agreement, dated 01/12/2009
5. Carlin-Simpson and Associates Soils Report Memo, dated 07/07/2017.

For ease of review, we have repeated the enumerated comments in italic print, followed by our responses:

Response to MH & E "Town of Newburgh Planning Board Technical Review Comments", dated 03/16/2017

Comment No. 1

The right to access Cortland Drive, the private right of way should be identified. Documents regarding this should be provided to Mike Donnelly's office for review.

Response No. 1

Enclosed please find a copy of the Parr Valley Condominium and JNM Realty LLC Easement Agreement, dated 01/12/2009 easement filed in Book 12785/Page 855 Orange County Department of Land Records, granting a permanent access easement over Cortlandt Drive.

Comment No. 2

The Planning Boards attention is called to the retaining wall structure proposed at the westerly most portion of the site. A 16+/- ft retaining wall is proposed to the rear of Building A.

Response No. 2

A majority of the retaining wall will be screened from Route 9W by the proposed building. Proposed trees were added along the wall face in certain locations to reduce the visual impact of the wall from the sightline from Route 9W.

Comment No. 3

The constructability of the retaining wall in very close proximity to the property line should be addressed.

Response No. 3

The proposed retaining wall is approximately 8.5' from the property line at it's closest point. Borings completed in June 2017 revealed bedrock at approximately elevation 221.00, eleven feet below existing grade. The portion of the wall which is in close proximity to the property line will likely be a cast in place concrete wall and a segmental wall type where the wall is not constrained by the property line. The plans have been revised to illustrate the different wall types. Rock will not be blasted and will be excavated/removed via hydraulic hammers and large excavation equipment. See the enclosed Carlin-Simpson Report, dated 07/07/2017.

Comment No. 4

The septic design chart on sheet SP-5 identifies flow rates for the project. Flows are identified as 25 gallons per day times 37 seat restaurant at 2,295. While the calculation should identify 925. The 2,295 is actual gallons per day from the entire site. The subsurface sanitary sewer disposal system design of 2,300 +/- gallons per day will require a SPDES permit from the DEC and review by the Orange County Health Department.

Response No. 4

The septic design calculations have been reviewed and revised. We will be making an application to the Health Department and NYSDEC for their approval of the septic system. We will discuss the potential use of alternative treatment systems to achieve additional capacity to maximize the efficiency of the treatment area with the Health Department.

Comment No. 5

A Stormwater Pollution Prevention Plan should be provided for review with future submissions.

Response No. 5

Enclosed please find Stormwater Pollution Prevention Plan (SWPPP), dated July 7, 2017

Comment No. 6

Water line service laterals must comply with town of Newburgh requirements where systems are split with potable water being taken after fire flow valve. Valving arrangement is such that potable water is terminated if fire suppression systems are terminated.

Response No. 6

The water line service arrangement has been revised as directed. In addition, fire hydrant and Fire Department building connections have been identified as recommended.

Comment No. 7

Lead Agency circulation should include NYSDEC, NYSDOT, Orange County Health Department as involved agencies.

Response No. 7

Comment noted.

Comment No. 8

The zoning Bulk Table on sheet SP-1 identifies the front yard as 40 ft minimum and proposed 59. Section 185-18 - Exceptions to District Regulations(4)(b) requires front yards abutting all State and County Highways be at least 60 feet in depth.

Response No. 8

The front yard setback has been corrected to 60 feet and the building shifted accordingly to accommodate the setback requirement.

Comment No. 9

The lots in the B Zone, which abut a Residential District, in this case R-3, require side yard setbacks of greater of the setback identified in the B Zone or 25 feet. Side yard setback should be identified as 25 feet rather than 15 as depicted in the table.

Response No. 9

The table has been revised accordingly to reflect this requirement.

Comment No. 10

Sheet SP-11 contains anchor and thrust block details and charts. Town of Newburgh requires restraint joint pipes. Thrust blocks are not permitted.

Response No. 10

Thrust blocks have been removed from the detail sheet, "Field Lok" restraint gaskets have been specified on Drawing SP-5 "Utilities Plan". See General Notes.

Comment No. 11

The Applicants should evaluate the Town of Newburgh design guidelines with regard to parking in front of the building and size of lighting pole proposed. Waivers for design guideline deviation should be specifically applied for from the Planning Board.

Response No. 11

JMC has reviewed the design guidelines and has reduced the height of the proposed lighting fixtures to 20 feet and reviewed the ability to shift parking to the rear of the building. The applicant is proposing the construction of a 30 inch high by 29 inch wide natural fieldstone wall in conjunction with a landscape buffer area along the frontage or Route 9W as recommended by the design guidelines.

Comment No. 12

The Bulk Table parking summary identifies 63 parking spaces required while the parking calculation identifies 68 parking spaces required.

Response No. 12

The parking count has been reviewed and adjusted. The plan currently provides 68 parking spaces.

Comment No. 13

The Applicant's representative is asked to check the additional parking spaces. Total spaces provided appears to be 61 including handicap spaces.

Response No. 13

The parking count has been reviewed and adjusted.

Comment No. 14

Ken Wersted's comments regarding proposed access and internal circulation should be received. Dual direction access to the drive in aisle may cause traffic conflicts and stacking to the Cortland Dr. access drive.

Response No. 14

Mr. Wersted's comments have been reviewed and responded to accordingly below:

Response to Town of Newburgh Planning Board "Technical Review Comments from Creighton Manning", dated 03/13/2017:

Comment No. 1

This site was subject to review from 2006 to 2010 under Town project number 2006-37, JNM Realty (CM#06-150, NYSDOT SEQR# 08-0060). At the time, a 9,260 SF Office/Retail building (with drive-thru) and a 3,036 SF retail building (with drive-thru) was proposed. A traffic study prepared by John Collins Engineers assumed a drug store and bank. NYSDOT conceptually approved the right in/right out driveway to Route 300 but only if it were moved further north, constructed with a raised island, and a separate right

turn lane was provided (NYSDOT to TON PB 5/1/2008). The driveway to Cortland Drive required a cross access easement. Parr Valley Condominium agreed to this easement for JNM Realty (Spinnaker to TON PB 4/2/2008).

Response No. 1

With regard to the portion of the comment noting to shift the driveway further north, this application proposes to shift the right in/right out driveway approximately 55 feet further north of the original application location. We are working with the NYSDOT to process a Highway Work Permit for the new driveway.

Comment No. 2

The proposed project has a substantially similar layout of the main building, although slightly smaller at 8,700 SF, and no drive-thru. The Building B is smaller at 2,500 SF and listed as a fast-food restaurant/retail with drive-thru. The drive-thru is proposed along the east and north sides of the building, increasing the queue capacity from the previous site plan proposal.

Response No. 2

Comment noted.

Comment No. 3

The original traffic study assumed the site would generate 65 trips in the AM peak hour and 228 trips in the PM peak hour (ITE Trip Generation 7th edition). An updated estimate should be provided based on the expected uses.

Response No. 3

The currently proposed development is projected to generate 122 and 114 total driveway trips during the peak weekday AM and PM hours, respectively, based on ITE Trip Generation Manual, 9th Edition. These trips do not include pass-by or internal trip credits. The current development represents a net additional 57 total driveway trips during the peak weekday AM hours and a net reduction of 114 total driveway trips during the peak weekday PM hours to the previous development. With pass-by and internal credits, the development represents a net additional of 25 primary trips during the peak weekday AM hour and a net reduction of 104 primary trips during the peak weekday PM hour. The 25 net additional primary trips during the peak weekday AM hour results in 1.7% of the existing hourly volumes along Route 9W. The reduction of 104 net additional primary trips during the peak weekday PM hour results in 6.9% of the existing hourly volumes along Route 9W.

Comment No. 4

The garbage enclosure orientation may limit the ability for a front lift truck to access the dumpsters. A truck circulation plan should be prepared in future submissions.

Response No. 4

SP-15 Truck Access Plan has been added to the drawing set to illustrate garbage truck turning maneuvers. The garbage enclosure locations have been modified to improve accessibility.

Comment No. 5

Sidewalk is provided on the southern corners of the Route 9W/Cortland Drive intersection and along the south side of Cortland Drive leading into Orchard Hills. A signalized pedestrian crossing is provided across Route 9W, although the button on the SW corner looks inaccessible for wheelchairs. Sidewalks to and from the site should be discussed with the board.

Response No. 5

An accessible sidewalk has been added along the frontage of the site connecting to the Cortland Drive/Route 9W intersection. In addition, a sidewalk has been added in the rear of the site at the Cortland Drive intersection to connect the existing Cortland Drive sidewalk to the site. This will give pedestrian access to the site for the residents who live adjacent to the retail development.

Comment No. 6

The plans should be circulated to the respective agencies to confirm whether the original comments and approvals are still applicable.

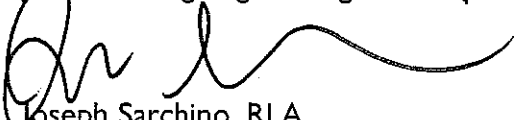
Response No. 6

Comment noted.

We trust that the above satisfies the comment to Town staff and look forward to continuing the review with the Planning Board at the next available meeting. If you have any questions or require additional information, please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC



Joseph Sarchino, RLA
Principal

cc: Mr. Patrick J. Hines, w/enc.
Michael H Donnelly, Esq., w/enc.
Mr. Ken Wersted, w/enc.
Mr. Stephen H. Zagoren, w/enc.
Stanley A. Schutzman, Esq.
Mr. Jay Diesing, RA, AIA, w/enc.

FA\2016\16055\vtComment Response 07-10-2017.docx

SITE PLAN APPROVAL DRAWINGS

CORTLAND COMMONS

TAX MAP SECTION 09 | BLOCK 01 | LOT 60

ORANGE COUNTY

5452 ROUTE 9W

TOWN OF NEWBURGH, NY 12550

Owner:
JNM REALTY, LLC
 595 GRAND AVENUE
 NEWBURGH, NY 12550

Applicant:
FARRELL HOLDING CO. LTD.
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932
 (631) 537-1068

Attorney:
STANLEY A. SCHUTZMAN ESQ.
 61 S. MAIN STREET, SUITE 5
 NEW CITY, NY 10956

JMC Site Planner, Civil & Traffic Engineer,
 Surveyor and Landscape Architect:
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225

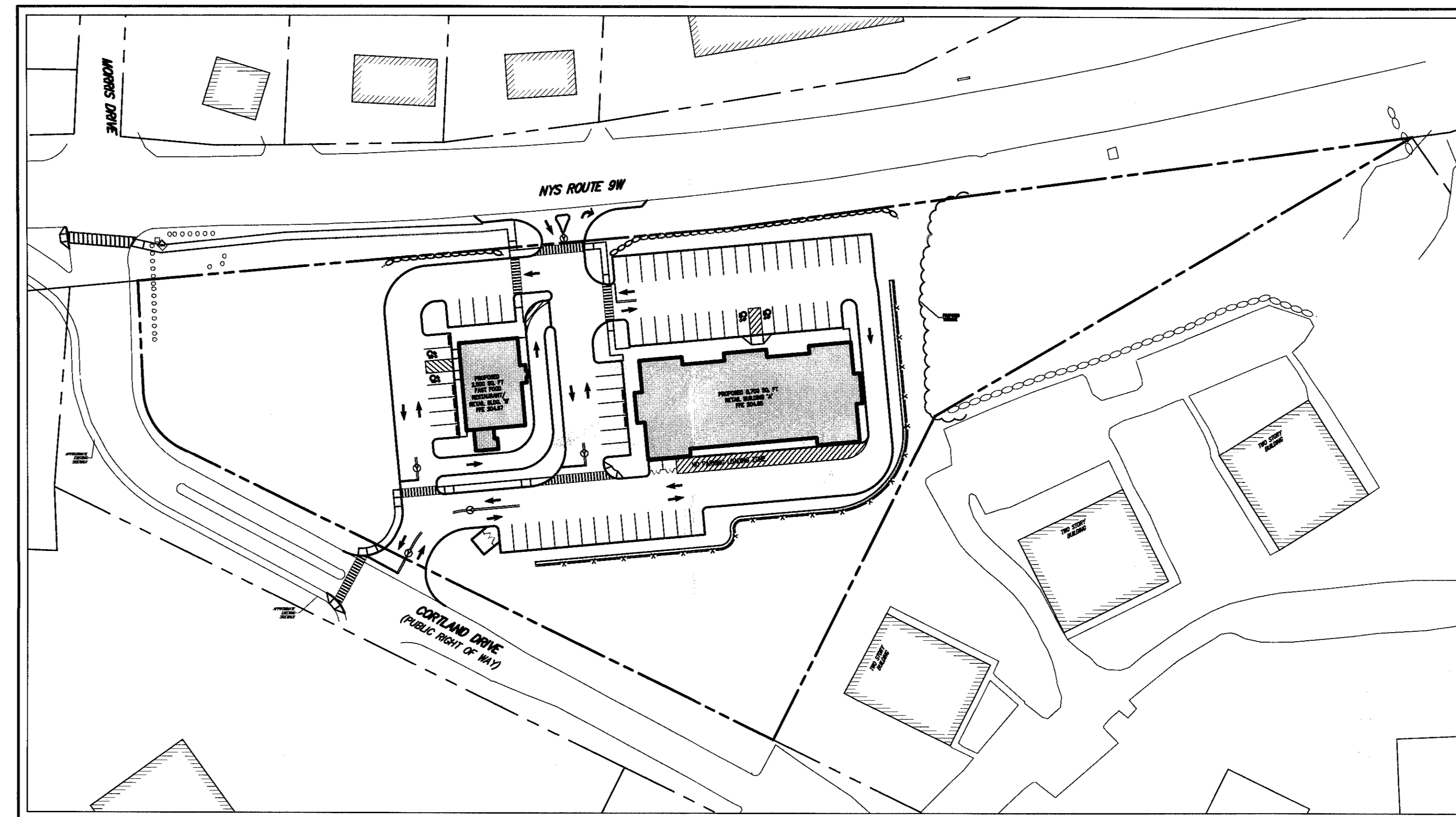
Architect:
MAURI ARCHITECTS P.C.
 303 MILL STREET
 POUGHKEEPSIE, NY 12601

JMC Drawing List:

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS & TREE REMOVAL PLAN
- SP-3 LAYOUT PLAN
- SP-4 GRADING PLAN
- SP-5 UTILITIES PLAN
- SP-6 EROSION AND SEDIMENT CONTROL PLAN
- SP-7 LANDSCAPING PLAN
- SP-8 LIGHTING PLAN
- SP-9 CONSTRUCTION DETAILS
- SP-10 CONSTRUCTION DETAILS
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 CONSTRUCTION DETAILS
- SP-16 CONSTRUCTION DETAILS
- SP-17 TRUCK TURNING ANALYSIS

MAURI ARCHITECTS Drawing List:

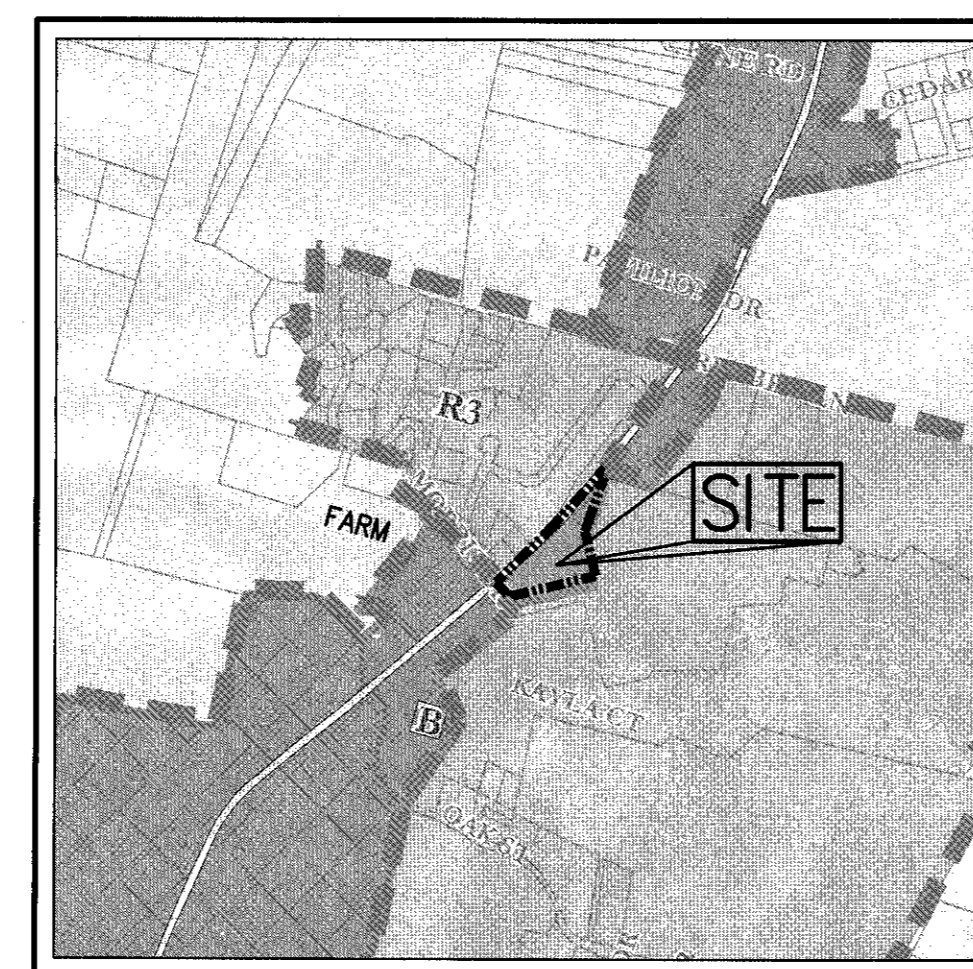
- PB-1 PROPOSED PLAN & ELEVATIONS - RETAIL BUILDING
- PB-2 PROPOSED PLAN & ELEVATIONS - FAST FOOD BUILDING



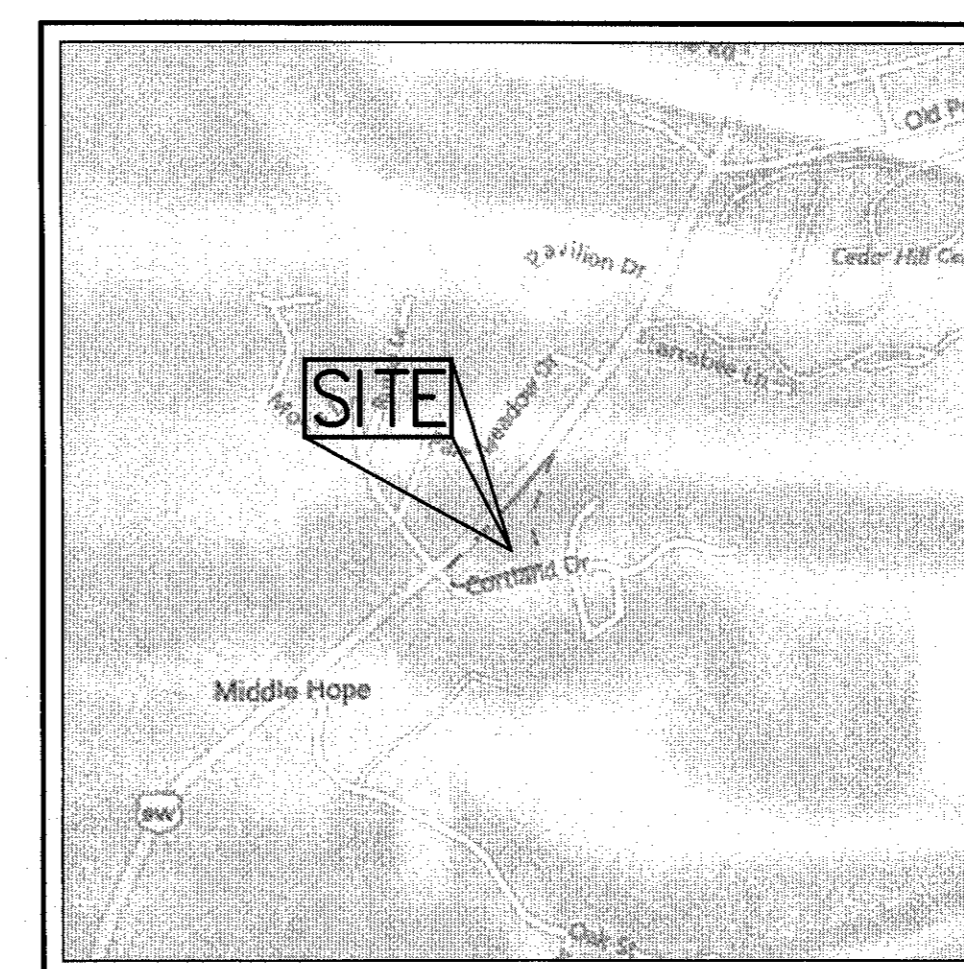
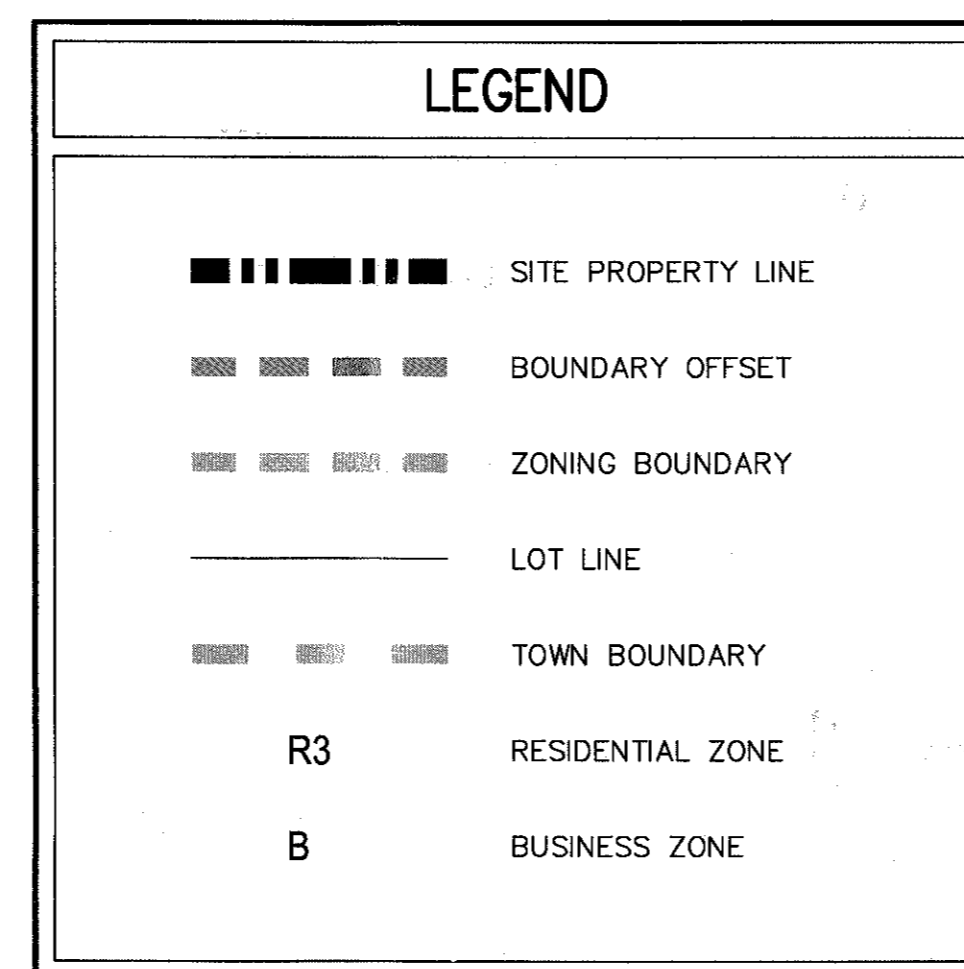
AREA MAP
 SCALE: 1" = 60'

TABLE OF LAND USE			
SECTION 09, BLOCK 01, LOTS 14.11 AND 14.12			
ZONE "B DISTRICT" - "BUSINESS"			
FIRE DISTRICT: MIDDLEHOPE			
SCHOOL DISTRICT: MARLBORO SCHOOL DISTRICT			
PROPOSED USE: RETAIL, AND FAST FOOD RESTAURANT			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF/AC.)	15,000/0.34	139,666±/3.2	139,666±/3.2
LOT WIDTH (FEET)	100	840±	670 ⁽¹⁾
LOT DEPTH (FEET)	125	338±	338±
LOT BUILDING COVERAGE (PERCENT)	40	0	8
BUILDING HEIGHT (FEET)	35	0	29'-3"
LOT SURFACE COVERAGE (PERCENT)	80	0	50±
YARDS			
FRONT BUILDING SETBACK (FEET)	60 MIN. ⁽²⁾	N/A	60
REAR BUILDING SETBACK (FEET)	30 MIN.	N/A	51
SIDE BUILDING SETBACK (FEET)	25 MIN/50 TOTAL ⁽³⁾	N/A	N/A
PARKING SUMMARY			
TOTAL SPACES REQUIRED (SPACES)	1 SPACE PER 150 S.F. AND 1/4 SEATS = 68 SPACES ⁽⁴⁾		
TOTAL SPACES PROVIDED (SPACES)	68 SPACES		
STANDARD SPACES PROVIDED (SPACES)	64 SPACES		
HANDICAP SPACES PROVIDED (SPACES)	4 SPACES		

NOTES:
 (1) MEASURED FROM FRONT BUILDING LINE.
 (2) SECTION 185-18 - EXCEPTIONS TO DISTRICT REGULATIONS (4)(b) REQUIRES FRONT YARDS ABUTTING ALL STATE AND COUNTY HIGHWAYS BE AT LEAST 60 FEET IN DEPTH.
 (3) SECTION 185-18 - EXCEPTIONS TO DISTRICT REGULATIONS (5)(a) COMMERCIAL USES ABUTTING A SIDE YARD AND BUILDING SQUARE FOOTAGE LESS THAN 30,000, MINIMUM SIDE YARD IS 25 FEET.
 (4) PARKING:
 RETAIL AT 1 SPACE/150 GSF = 58.0
 FAST FOOD AT 1 SPACE/4 SEATS OR 1 SPACE/40 S.F. OF SEATING AREA = 10 SPACES
 PARKING CALCULATION ARE BASED ON A 37 SEAT RESTAURANT PAD WHICH AMOUNTS TO 10 PARKING SPACES REQUIRED



ZONING MAP
 SCALE: N.T.S.



VICINITY MAP
 SCALE: N.T.S.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED OF FIELD EVIDENCE AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

811 Know what's below. Call before you dig.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	07/07/2017	RB

PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR, MANURE MAY BE APPLIED, AND PERSISTENT NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

JUL 11 2017

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

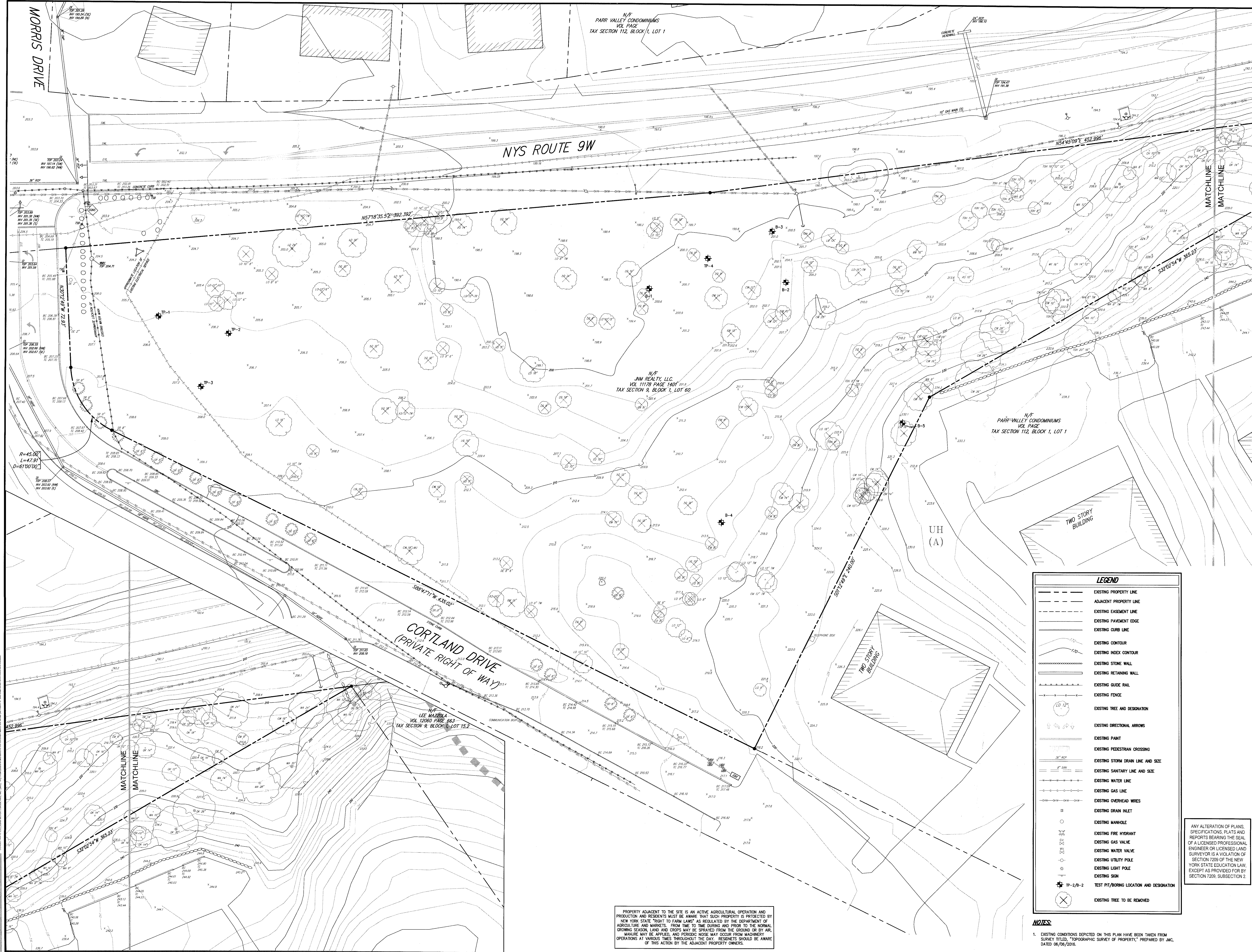
Scale: NOT TO SCALE
 Date: 02/23/2017
 Project No: 16055
 Drawing No: COVER COVER

Drawn: RC Approved: JS
 Date: 02/23/2017
 Project No: 16055
 Drawing No: COVER COVER

SP-1

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	TEST PIT/BORING LOCATION AND DESIGNATION
	EXISTING TREE TO BE REMOVED

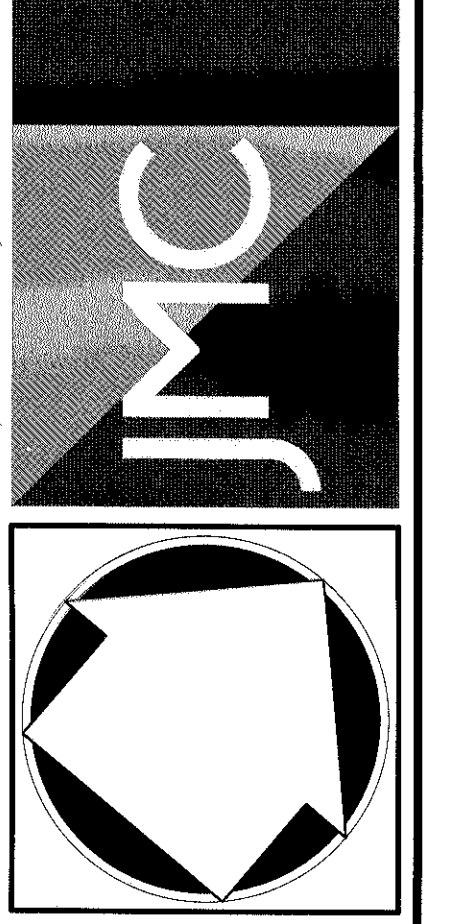
NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.

No.	REVISION PER TOWN COMMENTS	Date	By
1.		07/07/2017	RB

APPLICATION OWNER:
FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT:
MAURI ARCHITECTS P.C.
303 MILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscaping
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10604
Phone 914.273.5225 • Fax 914.272.1202
www.jmcpllc.com

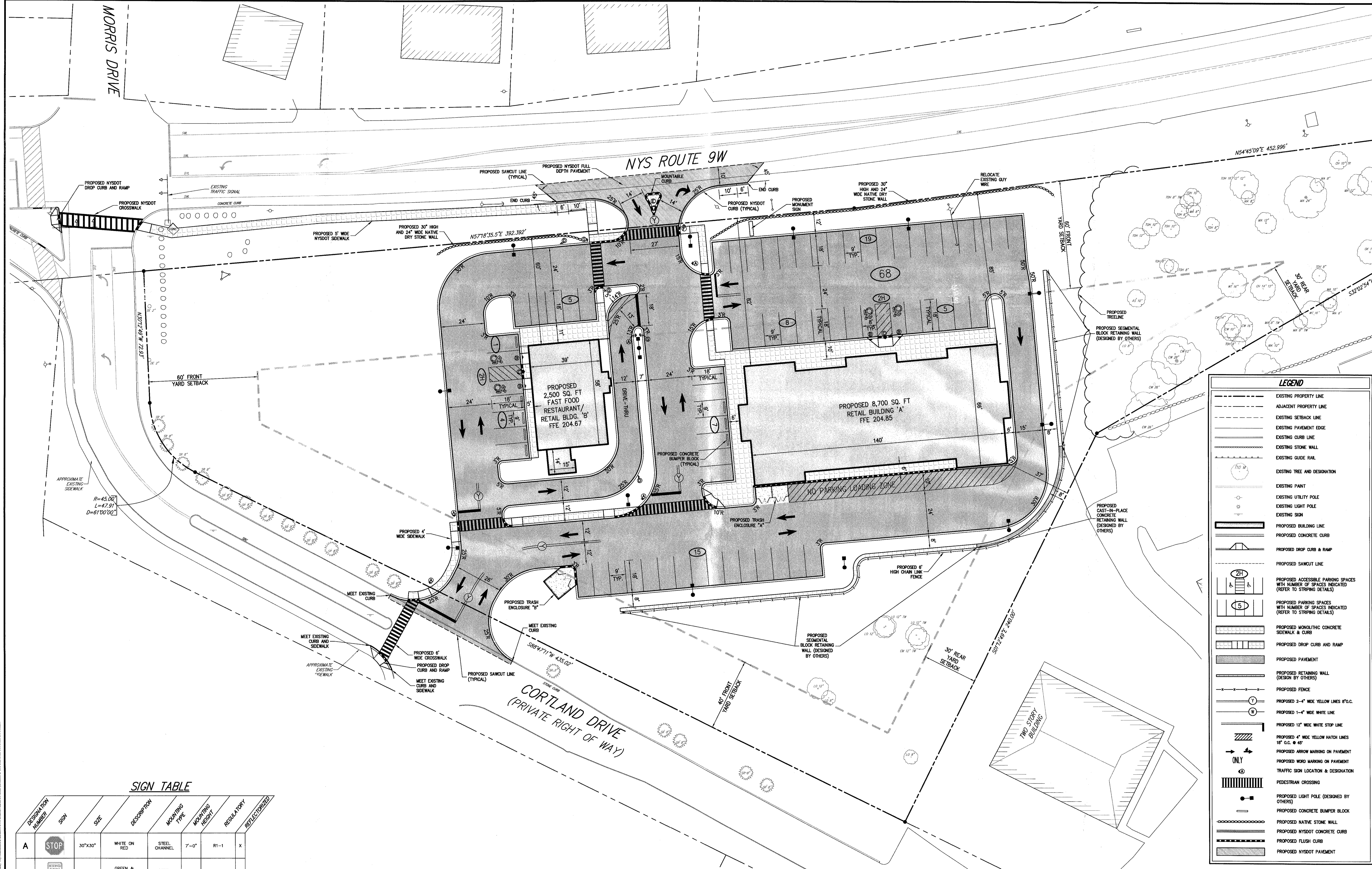


EXISTING CONDITIONS & TREE REMOVAL PLAN
CORTLAND COMMONS
TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	RC	Approved:	JS
Scale:	1" = 20'		
Date:	02/23/2017		
Project No.:	16055		
Sheet No.:	ENST	ENST	ENST
Drawing No.:			

SP-2



SIGN TABLE

DESIGNATION NUMBER	SYMBOL	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REFERENCE	REMARKS
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	NO PARKING	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C	NO PARKING ANY TIME	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X
D	NO PARKING	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
E	ONE WAY	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-7	X
F	RIGHT TURN	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
G	NO LEFT TURN	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING GUIDE RAIL
- EXISTING TREE AND DESIGNATION
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED PAVEMENT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED FENCE
- PROPOSED 2'-4" WIDE YELLOW LINES 6" O.C.
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 12" WIDE WHITE STOP LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES 18" O.C. @ 45°
- PROPOSED ARROW MARKING ON PAVEMENT
- PROPOSED WORD MARKING ON PAVEMENT
- TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING
- PROPOSED LIGHT POLE (DESIGNED BY OTHERS)
- PROPOSED CONCRETE BUMPER BLOCK
- PROPOSED NATIVE STONE WALL
- PROPOSED NYS DOT CONCRETE CURB
- PROPOSED FLUSH CURB
- PROPOSED NYS DOT PAVEMENT

NOTES

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

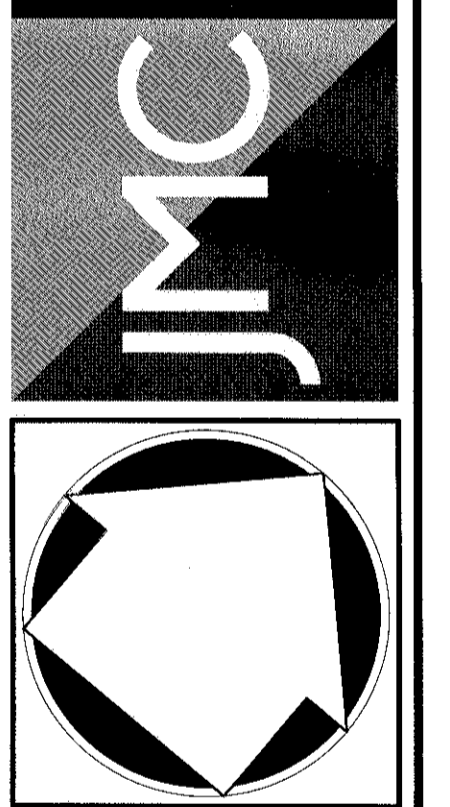
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SEPARATED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

By: RB
Date: 07/07/2017
Revision: REVISED PER TOWN COMMENTS
No. 1

APP-CUSTOMER: FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C.
303 MILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscaping
Architecture & Land Surveying, PLLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.2925 - fax 914.273.2102
www.jmcplc.com

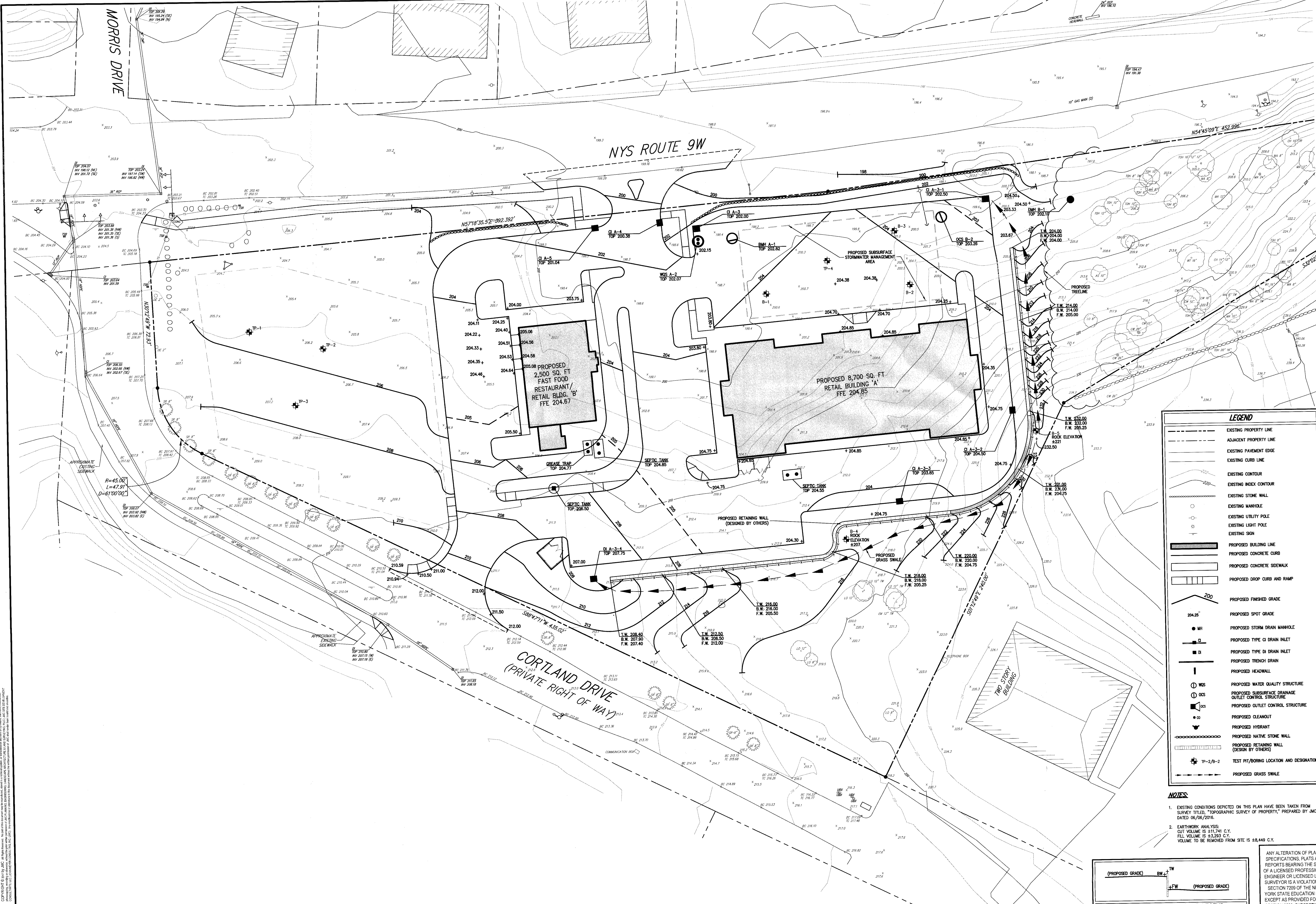


LAYOUT PLAN

CORTLAND COMMONS
942Z ROUTE 9W
TOWN OF NEWBURGH, NY 12550

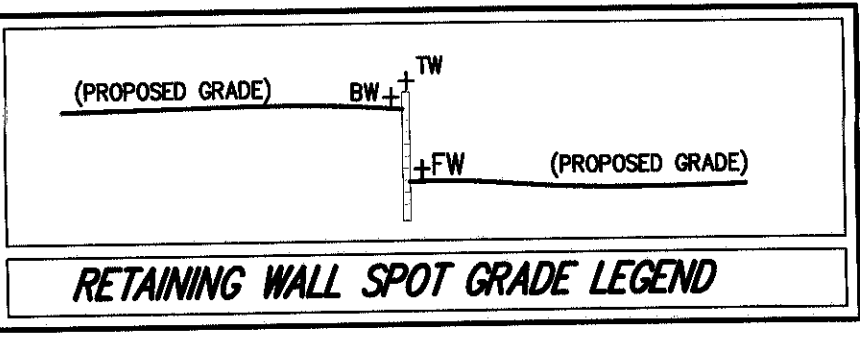
Scale: 1" = 20'
Date: 02/23/2017
Project No: 16055
WBS-SITE: LAY
Drawing No: SP-3

NOTE FOR CONSTRUCTION



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED TRENCH DRAIN
	PROPOSED HEADWALL
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED NATIVE STONE WALL
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	TEST PIT/BORING LOCATION AND DESIGNATION
	PROPOSED GRASS SWALE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.
 - EARTHWORK ANALYSIS:
CUT VOLUME IS 413,741 C.Y.
FILL VOLUME IS 43,293 C.Y.
VOLUME TO BE REMOVED FROM SITE IS 48,449 C.Y.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

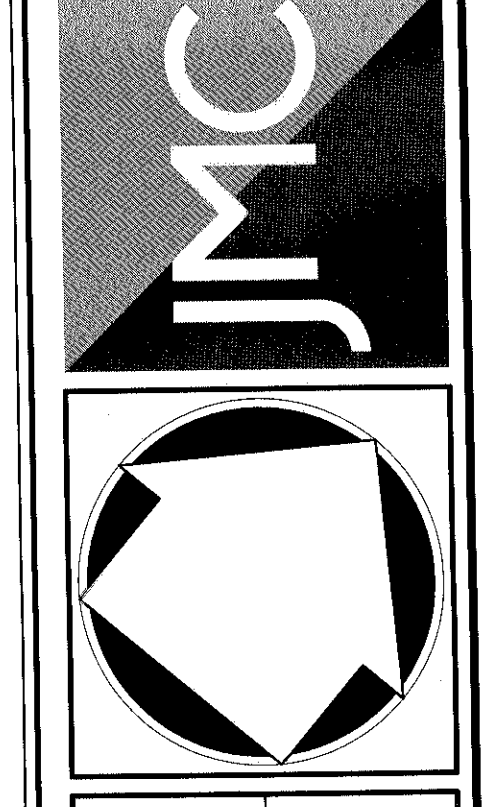
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAIDED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND RESIDUAL NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

Drawn	RC	Approved	JS
Scale	1" = 20'	Date	02/23/2017
Project No.	16055	Sheet No.	SP-4
Revision	1. REVISED PER TOWN COMMENTS	By	07/07/2017

APPLICANT/OWNER:
FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT:
MAURI ARCHITECTS P.C.
303 WEST STREET
POUGHKEEPSIE, NY 12601

JMC Site Development, Engineering, Landscaping, Architecture & Land Surveying, PLLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.271.5225 • fax 914.271.2102
www.jmcpic.com

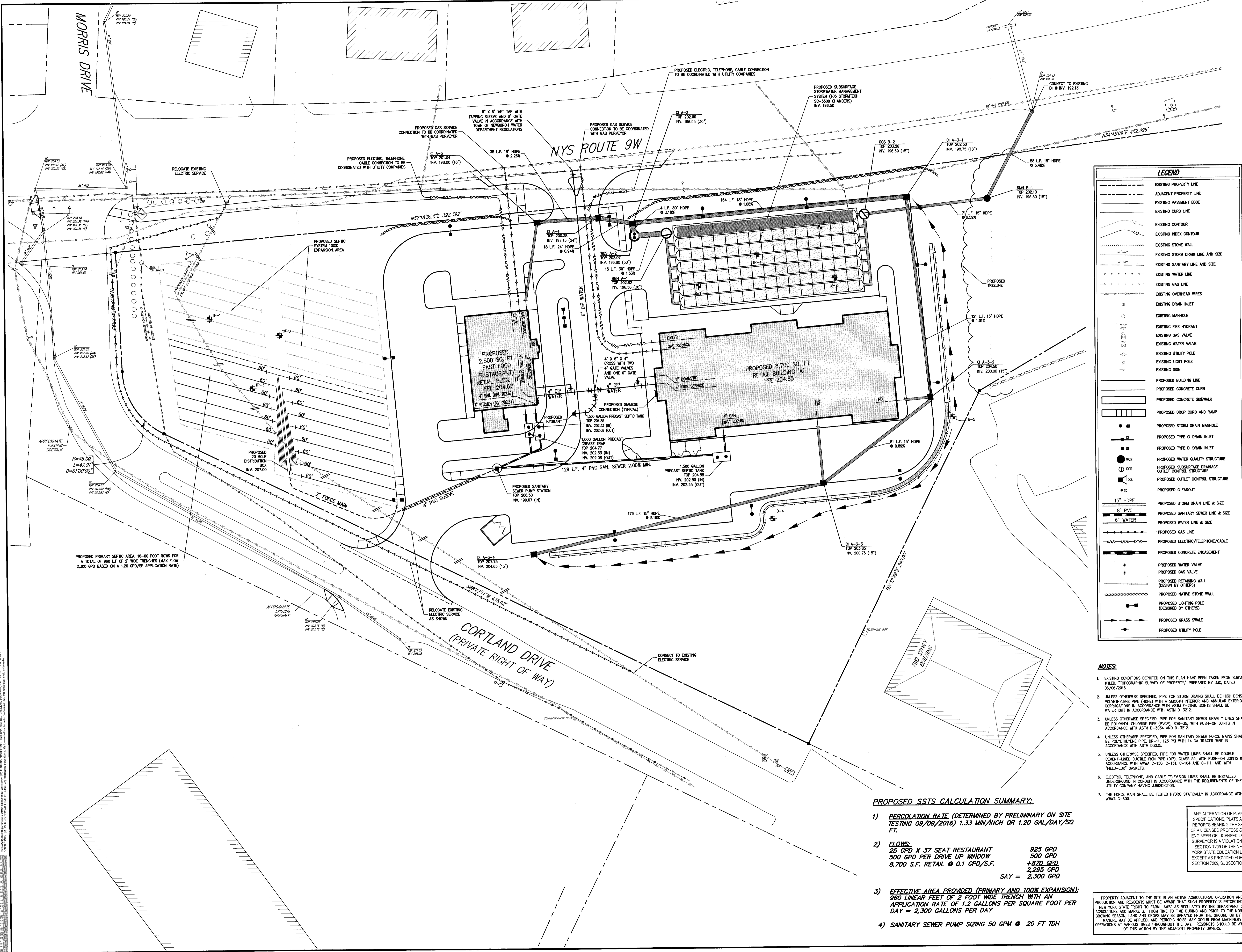


GRADING PLAN
CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEWBURGH, NY 12550

SP-4

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C DRAIN INLET
- PROPOSED TYPE D DRAIN INLET
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED CLEANOUT
- 15" HDPE
- 8" PVC
- 6" WATER
- PROPOSED WATER LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED CONCRETE ENCASMENT
- PROPOSED WATER VALVE
- PROPOSED GAS VALVE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED NATIVE STONE WALL
- PROPOSED LIGHTING POLE (DESIGNED BY OTHERS)
- PROPOSED GRASS SWALE
- PROPOSED UTILITY POLE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 05/04/2016.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2948. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER FORCE MAINS SHALL BE POLYETHYLENE PIPE (PE), 125 PS WITH 14 GA. TRACER WIRE IN ACCORDANCE WITH ASTM D-3035.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 50, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ANSIA C-150, C-151, C-104 AND C-111, AND WITH "YIELD-LOK" GASKETS.
 - ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - THE FORCE MAIN SHALL BE TESTED HYDROSTATICALLY IN ACCORDANCE WITH ANSIA C-500.

PROPOSED SSTS CALCULATION SUMMARY:

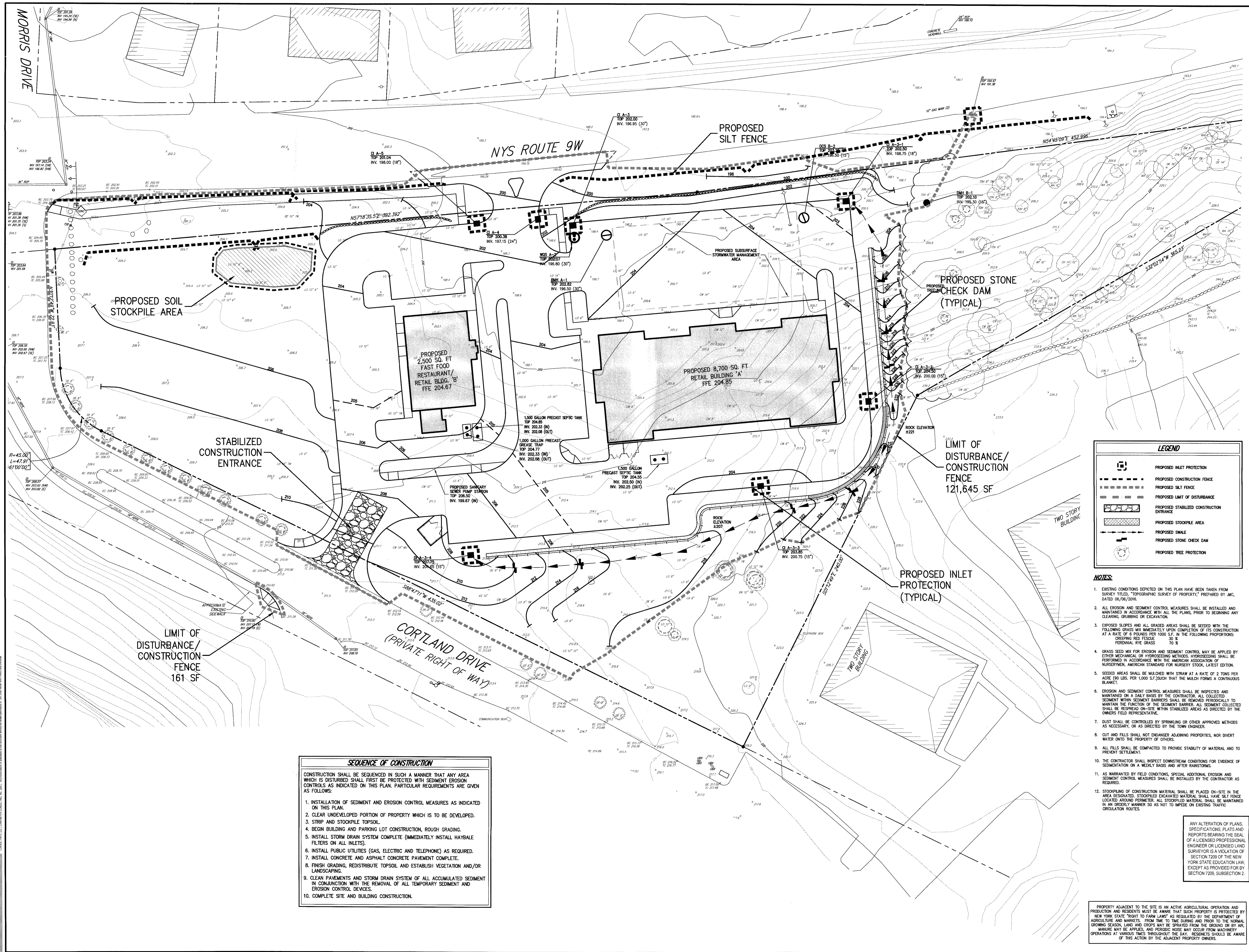
- PERCOLATION RATE (DETERMINED BY PRELIMINARY ON SITE TESTING 09/09/2016) 1.33 MIN/INCH OR 1.20 GAL/DAY/SQ FT.**
- FLOWS:**
 25 GPD X 37 SEAT RESTAURANT = 925 GPD
 500 GPD PER DRIVE UP WINDOW = 500 GPD
 8,700 S.F. RETAIL @ 0.1 GPD/S.F. = +870 GPD
2,295 GPD
 SAY = 2,300 GPD
- EFFECTIVE AREA PROVIDED (PRIMARY AND 100% EXPANSION):**
 960 LINEAR FEET OF 2 FOOT WIDE TRENCH WITH AN APPLICATION RATE OF 1.2 GALLONS PER SQUARE FOOT PER DAY = 2,300 GALLONS PER DAY
- SANITARY SEWER PUMP SIZING 50 GPM @ 20 FT TDH**

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

By	RC	Approved	JS
Date	07/07/2017	Scale	1" = 20'
Revision	REVISION PER TOWN COMMENTS	Date	02/23/2017
No.	1.	Project No.	16055
APPLICANT/OWNER: FARRELL HOLDING CO. LTD. 3317 MONTELUK HIGHWAY BRIDGEHAMPTON, NY 11932		ARCHITECT: MAURI ARCHITECTS P.C. 303 MILL STREET POUGHKEEPSIE, NY 12601	
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC JMC Site Development Consultants, LLC John Meyer Consulting, Inc. 120 BEAUFORD ROAD - ARBONIK, NY 10804 PHONE 914.273.5225 - FAX 914.273.102 www.jmcplc.com		UTILITIES PLAN CORTLAND COMMONS 5452 ROUTE 9W TOWN OF NEWBURGH, NY 12550	
Drawing No.		SP-5	

NOT FOR CONSTRUCTION



LEGEND

	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION FENCE
	PROPOSED SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED STOCKPILE AREA
	PROPOSED SWALE
	PROPOSED STONE CHECK DAM
	PROPOSED TREE PROTECTION

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 05/09/2016.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDING WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS: CREEPING RED FESCUE 30% PERENNIAL RYE GRASS 70%.
 - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE, WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
 - CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER INTO THE PROPERTY OF OTHERS.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDER EXISTING TRAFFIC CIRCULATION ROUTES.

SEQUENCE OF CONSTRUCTION

CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:

- INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
- CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
- STRIP AND STOCKPILE TOPSOIL.
- BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
- INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
- INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
- INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
- CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE SITE AND BUILDING CONSTRUCTION.

ANY ALTERATION OF PLANS, SPECIFICATIONS PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

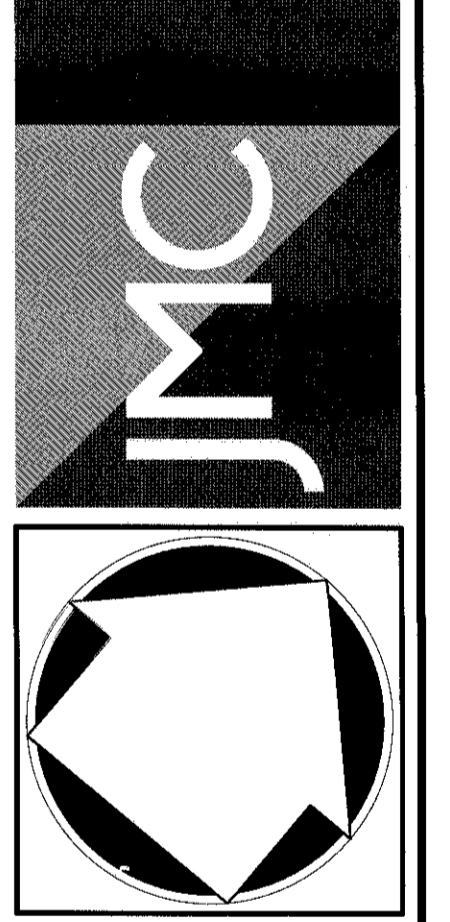
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCERS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

By	RB
Date	07/07/2017
Revision	
No.	1
REVISION PER TOWN COMMENTS	

APPLICANT/OWNER:
FARRELL HOLDING CO. LTD.
2377 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

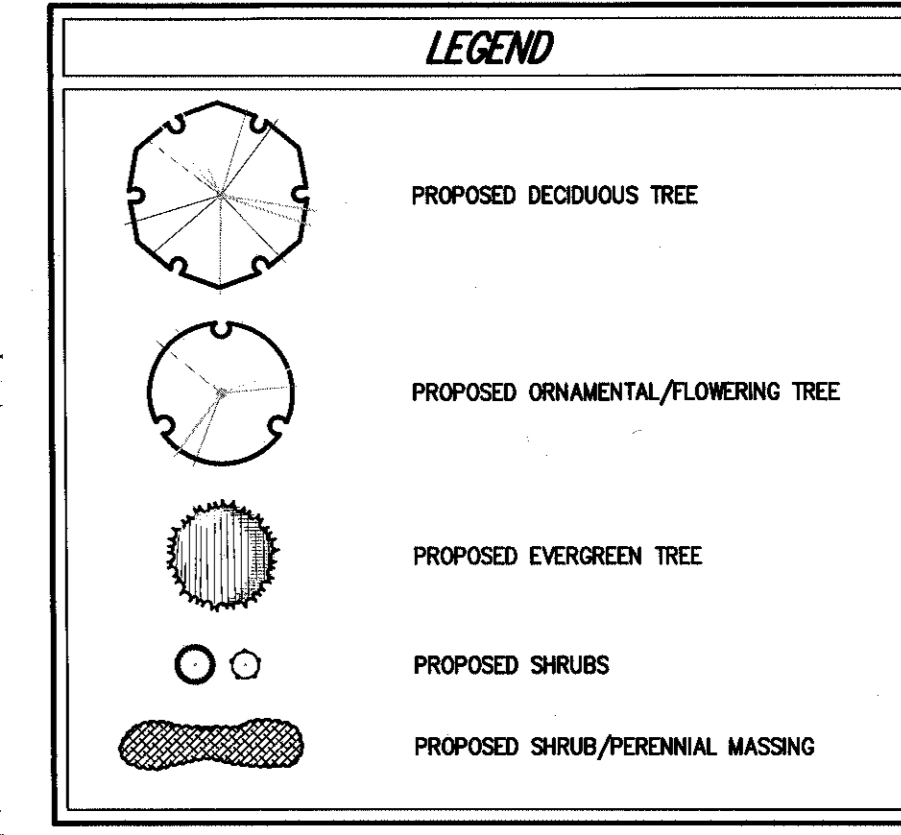
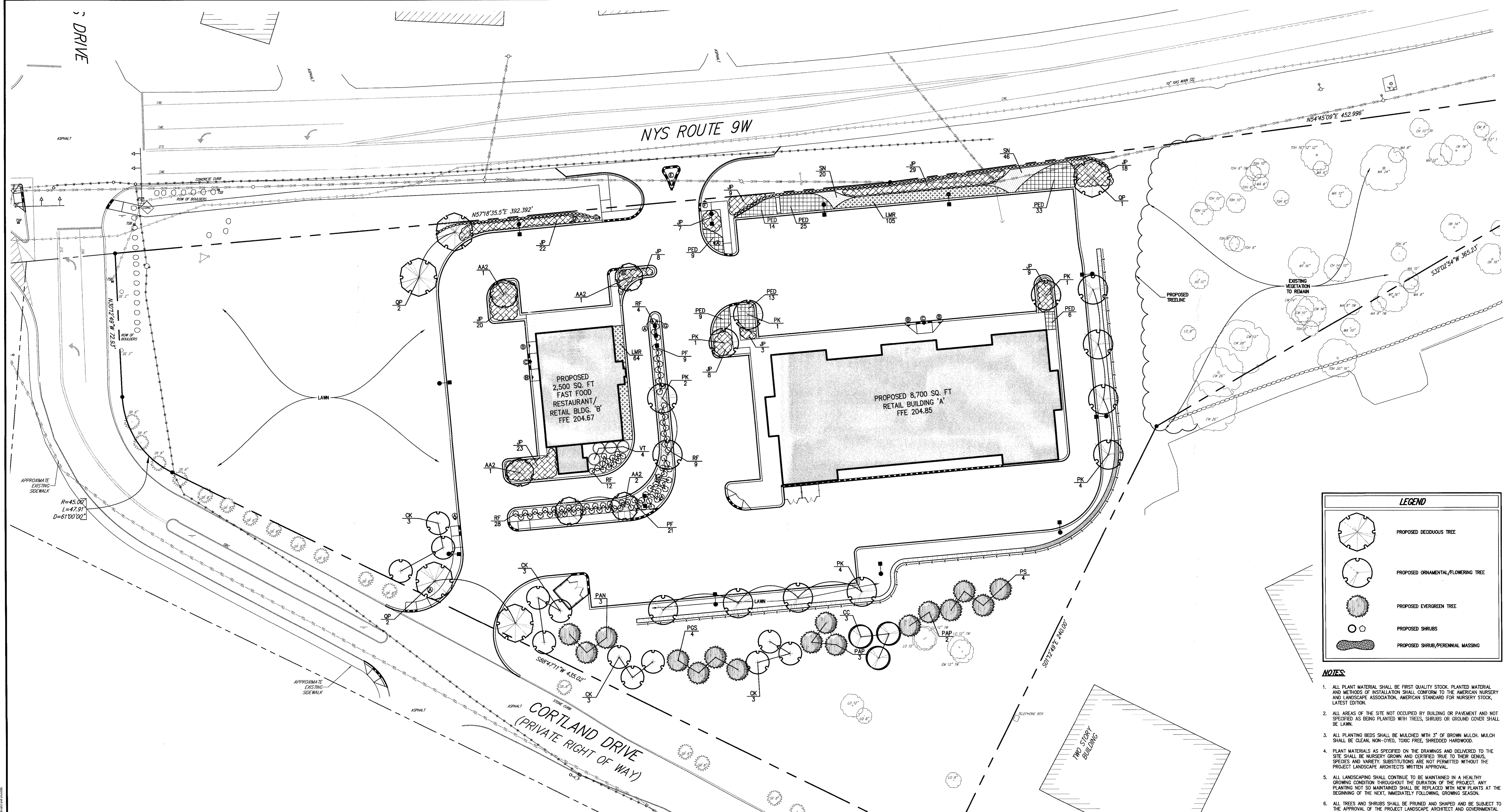
ARCHITECT:
MAURI ARCHITECTS P.C.
303 WILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architects & Urban Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
PHONE 914.273.9225 • FAX 914.273.2102
www.jmcpllc.com



EROSION AND SEDIMENT CONTROL PLAN
CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEUBURGH, NY 12550

Drawn	RC	Approved	JS
Scale	1" = 20'		
Date	02/23/2017		
Project No.	16055		
Sheet No.	5E	of	5E
SP-6			



- NOTES:**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GRASS COVER SHALL BE LAWN.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
 5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSCURABLE DEFECTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

PLANT SCHEDULE					
DECIDUOUS TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
AA2	5	Armstrong Red Maple / <i>Acer rubrum</i> 'Armstrong'	3" - 3 1/2" CAL.	B & B	
CC	3	Eastern Redbud / <i>Cercis Canadensis</i>	9'-10' HT.	B & B	
CK	12	Kousa Dogwood / <i>Cornus Kousa</i>	7'-8' HT.	B & B	
PK	13	Kwanzan Cherry / <i>Prunus Serrulata</i> 'Kwanzan'	3" - 3 1/2" Cal.	B & B	
OP	5	Pin Oak / <i>Quercus Palustris</i>	3" - 3 1/2" Cal.	B & B	
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
PAN	3	Norway Spruce / <i>Picea Abies</i>	6'-8' HT.	B & B	
PAP	5	Colorado Spruce / <i>Picea Pungens</i>	7' - 8' HT.	B & B	
PGS	4	Colorado Blue Spruce / <i>Picea Pungens</i> Glauca	7'-8' HT.	B & B	
PS	4	White Pine / <i>Pinus Strobus</i>	7'-8' HT.	B & B	
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
PF	30	Yellow Gem Potentilla / <i>Potentilla Fruticosa</i> 'Yellow Gem'	24" - 30" SPR.	Cont.	
RF	53	Mary Rose (Pink) / <i>Rosa Mary Rose</i>	15" - 18" HT.	Cont.	
VT	4	Doublefile Viburnum / <i>Viburnum Plicatum tomentosum</i> 'Shasta'	5' - 6' HT.	B & B	
SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT.	ROOT COND.	REMARKS
JP	156	Parson's Juniper / <i>Juniperus davurica</i> 'Parsonii'	24" - 30" SPR.	Cont.	
LMR	169	Variagated Lily Turf / <i>Liriope Muscari</i> 'Variagata'	10" - 12" HT.	Cont.	
PED	106	Harmel Dwarf Fountain Grass / <i>Pennisetum Alopecuroides</i> 'Harmel'	12" - 18" HT.	Cont.	
SN	66	Woodland Sage / <i>Salvia Nemerosa</i> 'Blue Hill'	1' - 2' HT.	Cont.	

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANTS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

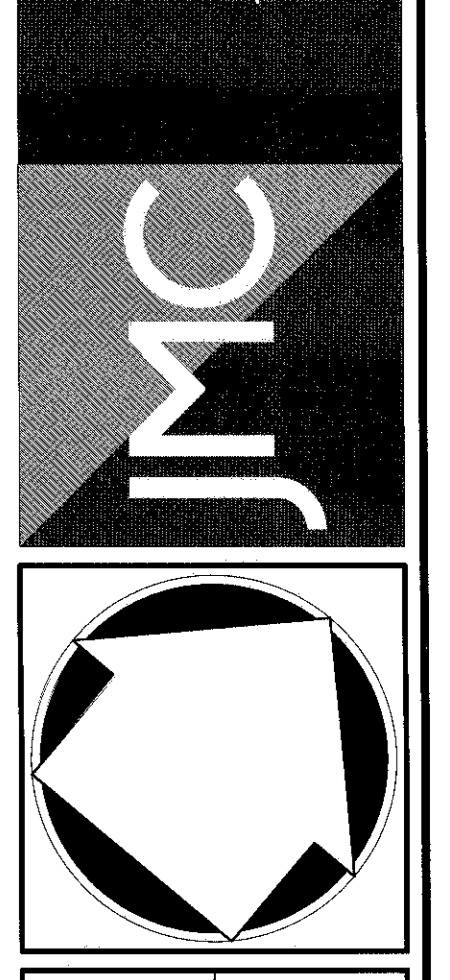
NOT FOR CONSTRUCTION

By	RC
Date	07/07/2017
Revision	REVISION PER TOWN COMMENTS
No.	1

APPLICANT/OWNER:
FARRELL HOLDING CO. LTD.
 2377 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11952

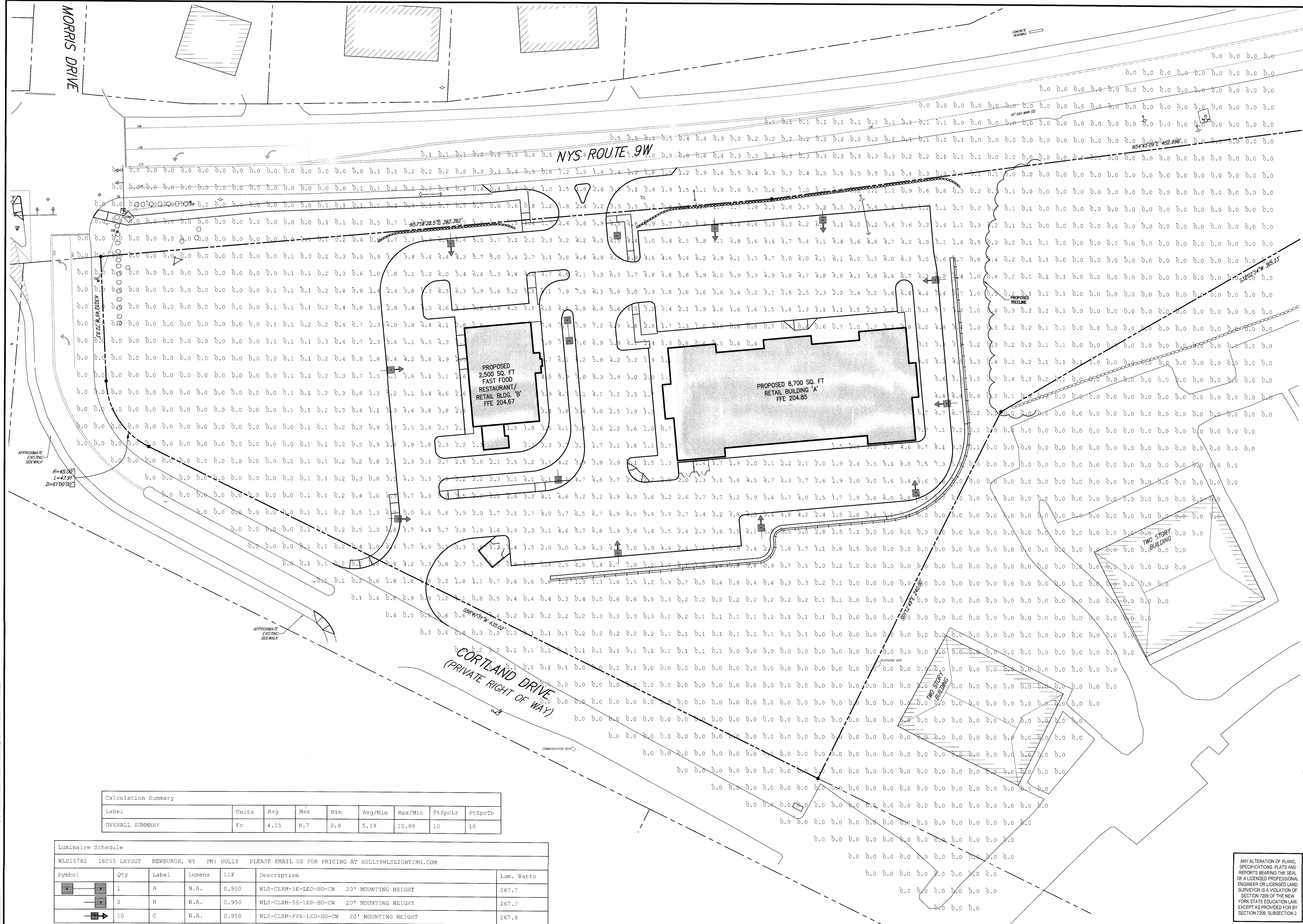
ARCHITECT:
MAURI ARCHITECTS P.C.
 303 MILL STREET
 POUGHKEEPSA, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Consulting, LLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 140 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.9225 • fax 914.273.102
 www.jmcpic.com



LANDSCAPING PLAN
CORTLAND COMMONS
 5452 ROUTE 9W
 TOWN OF NEWBURGH, NY 12550

Drawn:	RC	Approved:	JS
Scale:	1" = 20'		
Date:	02/23/2017		
Project No.:	16055		
WSS-LMO	LAND	P-LANDSCAPE-PLANS	
SP-7			



Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSp/Lt
OVERALL SUMMARY	Fc	4.15	8.7	0.8	5.19	10.88	10

Luminaire Schedule						
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts
	1	A	N.A.	0.950	WLS-CLXM-SE-LED-HO-CW 20' MOUNTING HEIGHT	267.7
	2	B	N.A.	0.950	WLS-CLXM-SE-LED-HO-CW 20' MOUNTING HEIGHT	267.7
	10	C	N.A.	0.950	WLS-CLXM-FPE-LED-HO-CW 20' MOUNTING HEIGHT	267.8

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7208, SUBSECTION 2.

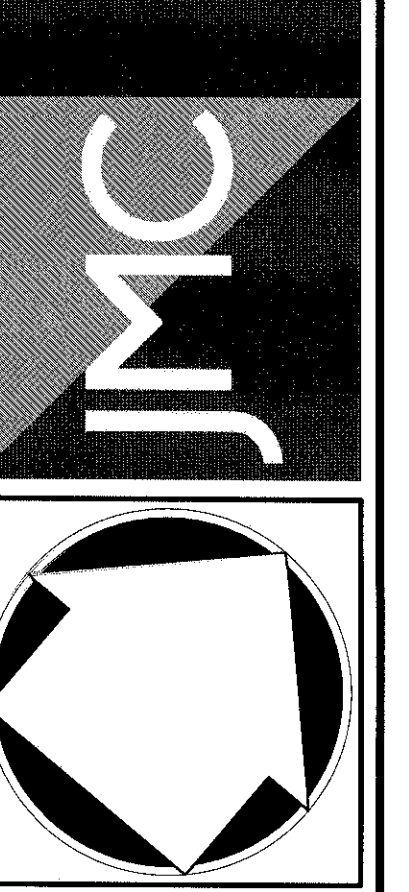
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	07/07/2017

APPLICANT: **FARRELL HOLDING CO. LTD.**
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**
 303 MILL STREET
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 130 BEAUFORT ROAD - ARMONK, NY 10664
 voice 914.273.3225 - fax 914.273.2102
 www.jmcplic.com

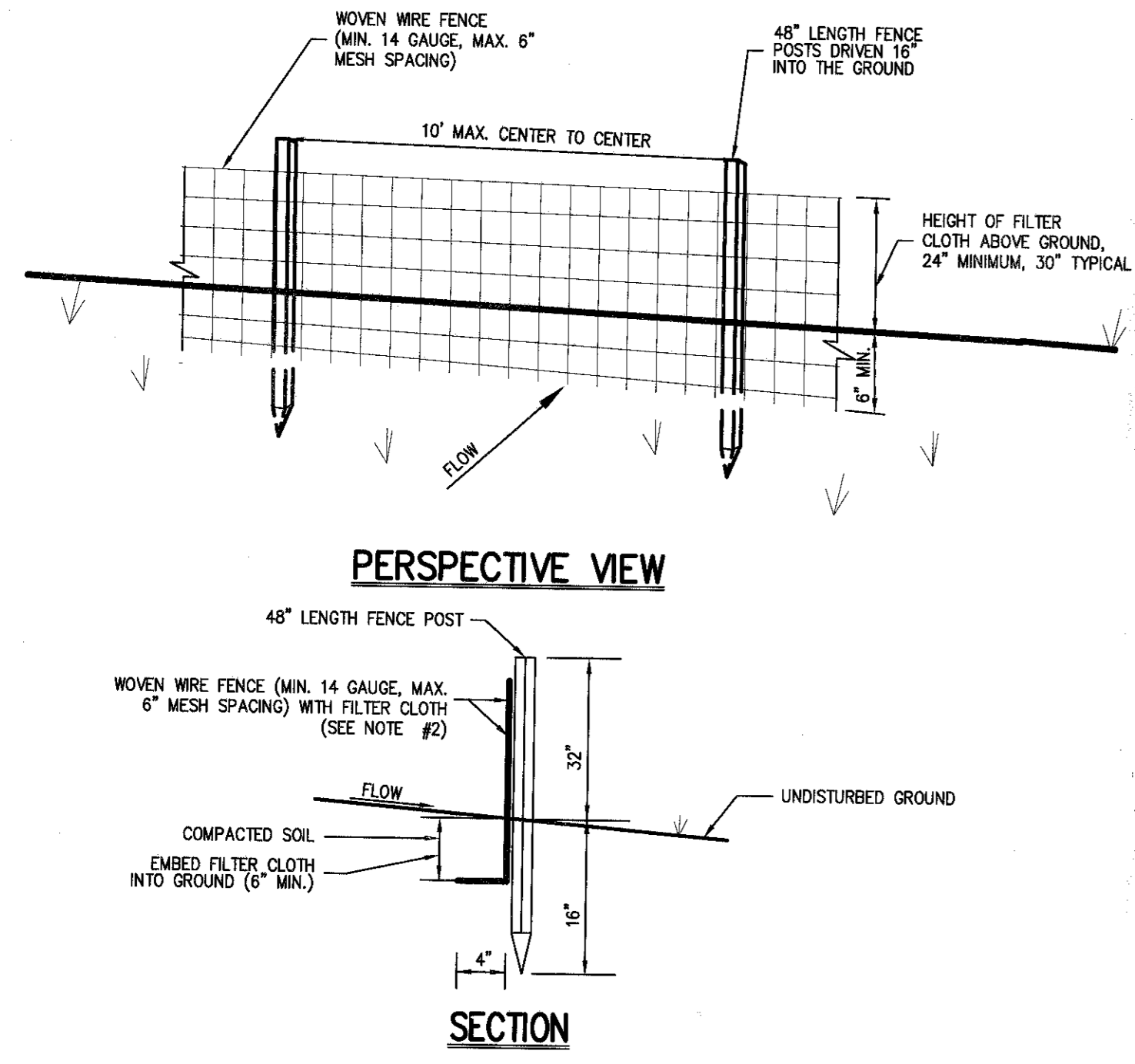


LIGHTING PLAN
 CORTLAND COMMONS
 5452 ROUTE 9W
 TOWN OF NEWBURGH, NY 12550

Drawn: RC Approved: JS
 Scale: 1" = 20'
 Date: 02/23/2017
 Project No: 16055

WSS-SE LIGHT LIGHTAR
 Drawing No: **SP-8**

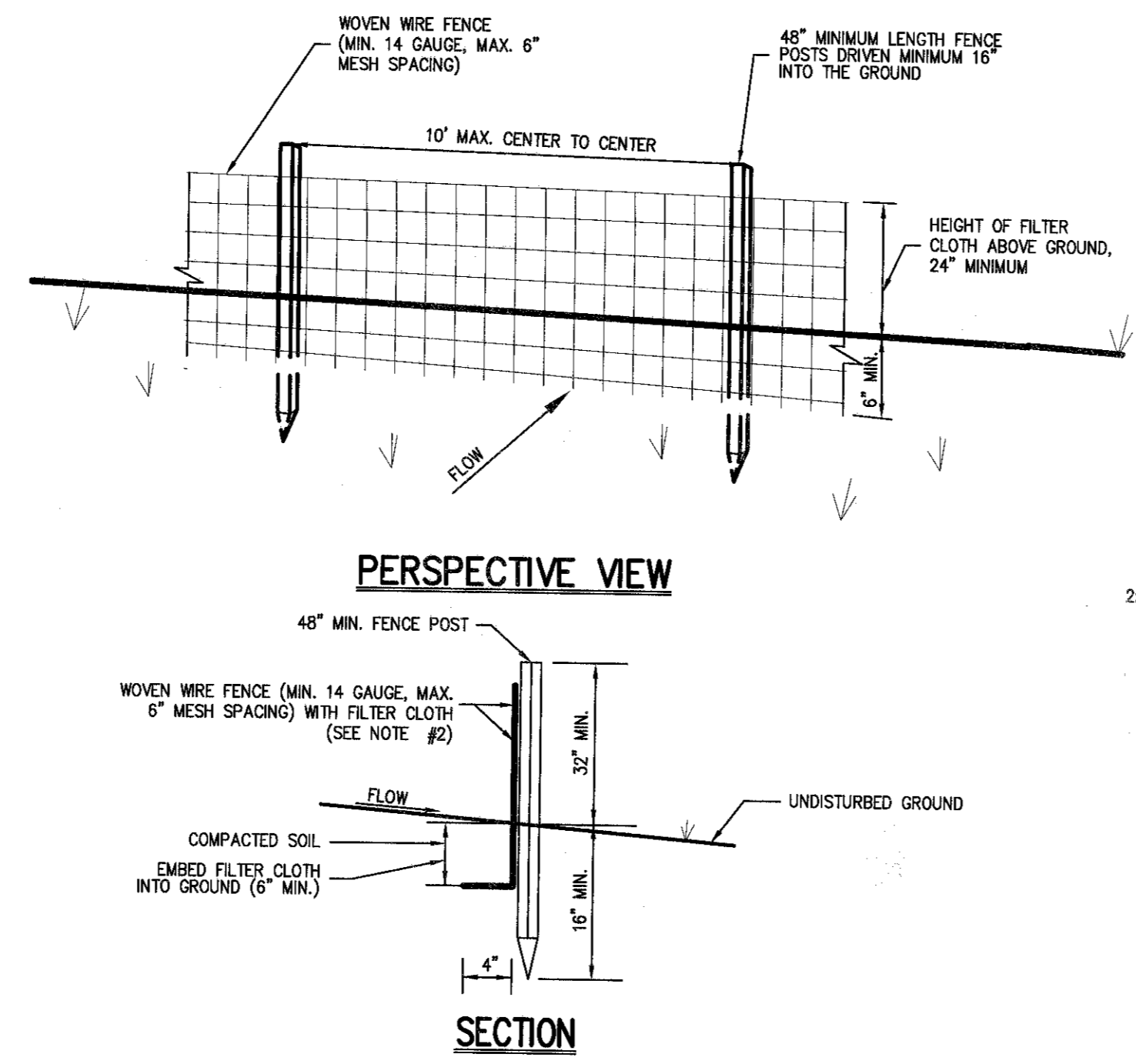
NOT FOR CONSTRUCTION



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE

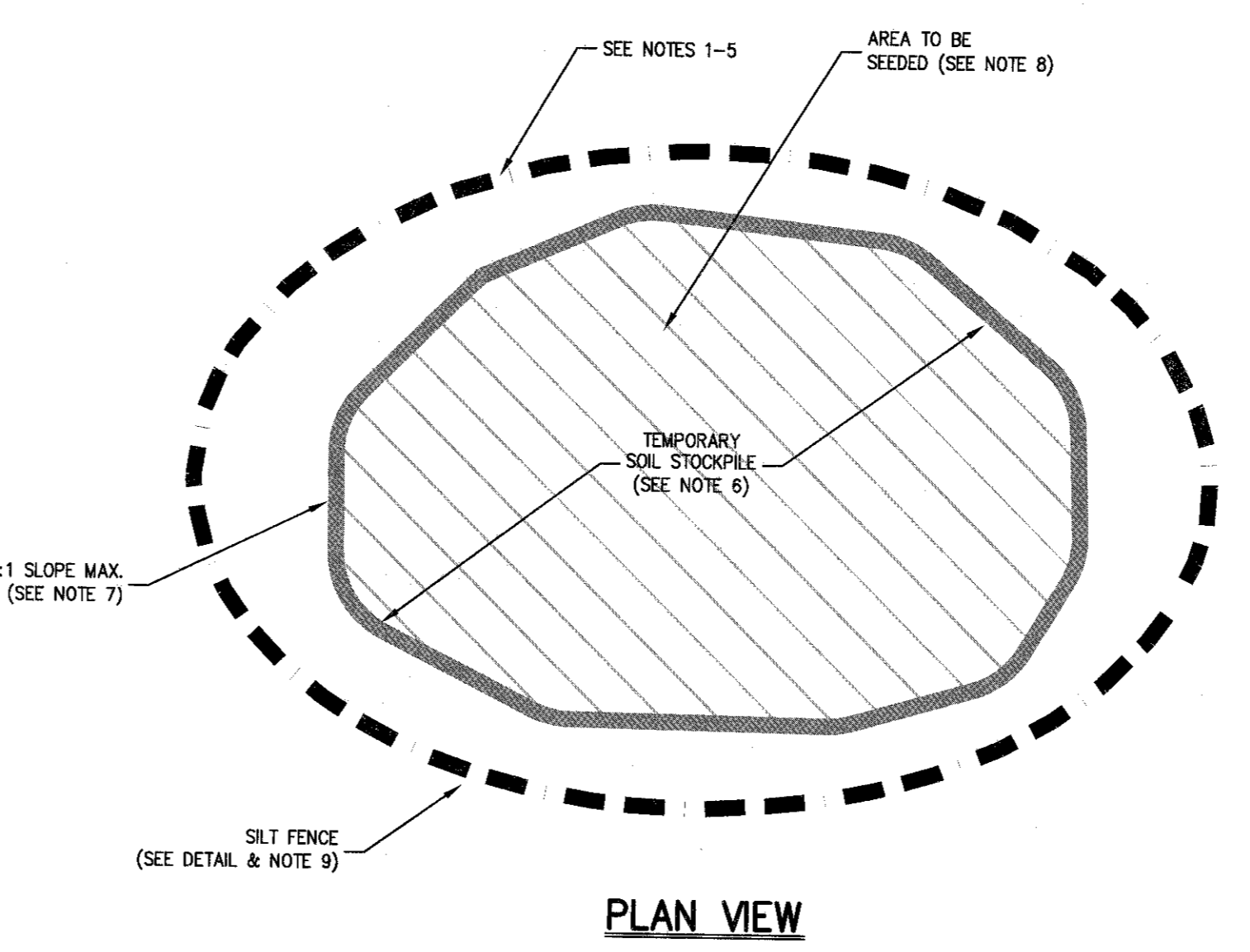
1



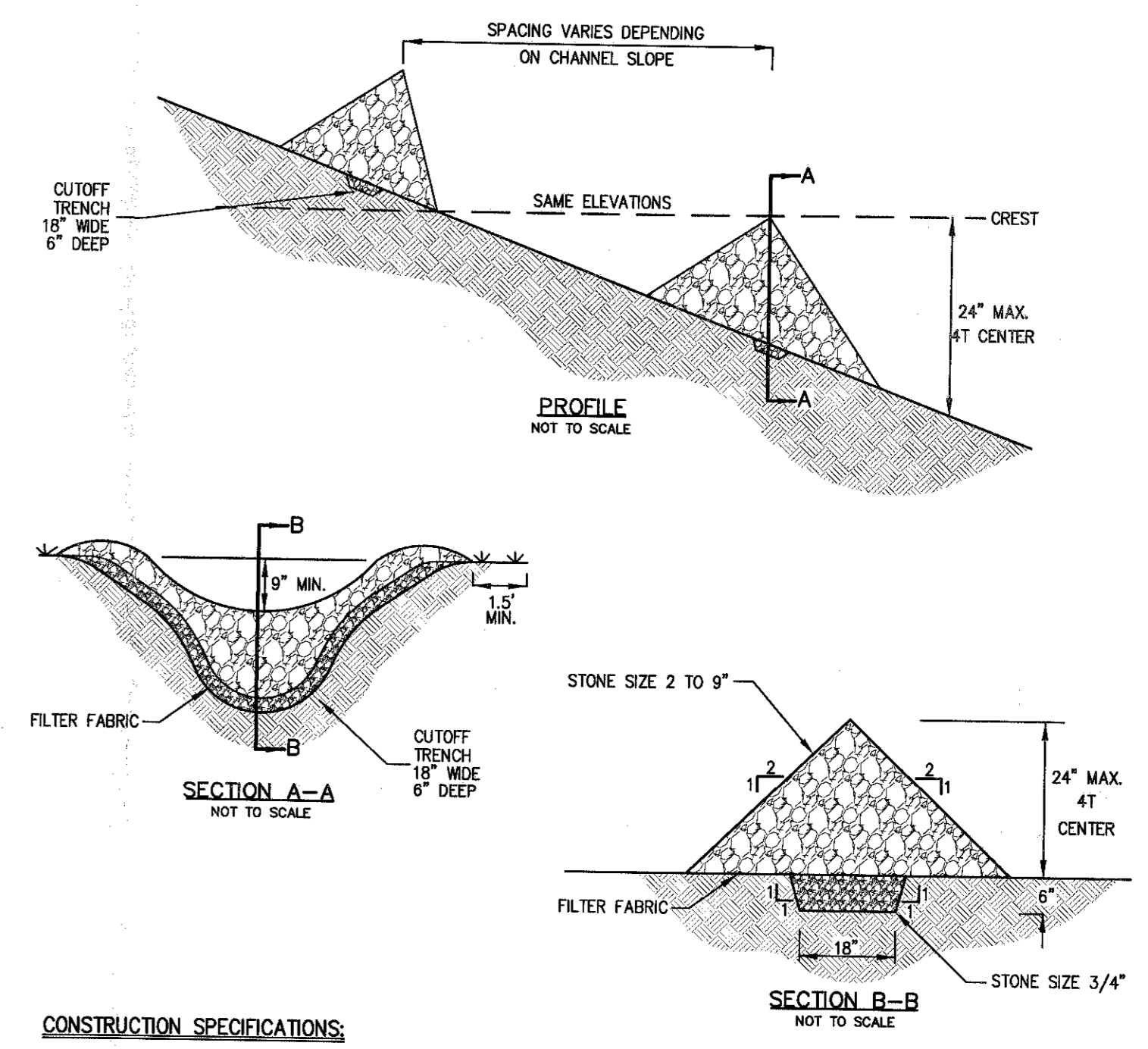
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

2



- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

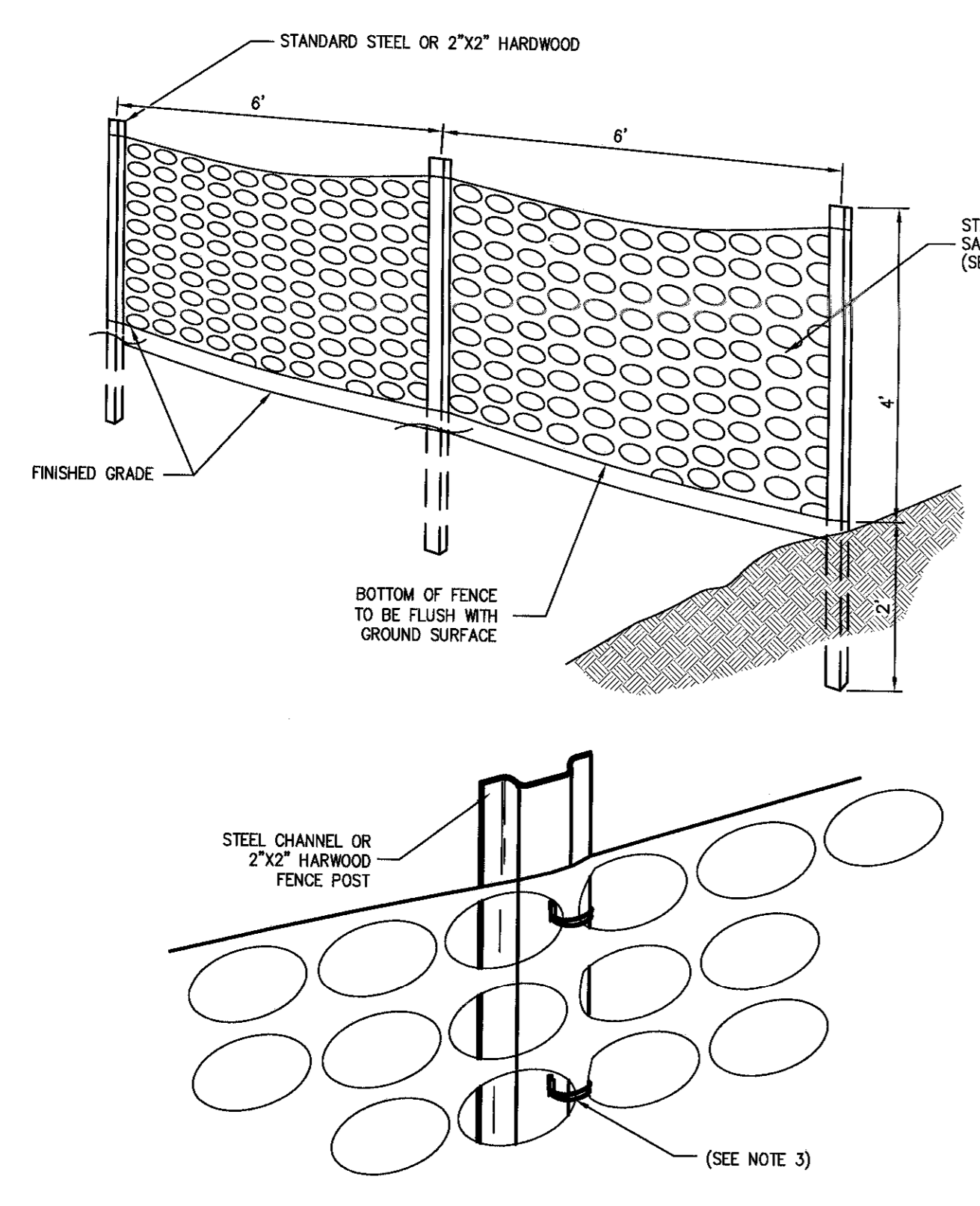


- CONSTRUCTION SPECIFICATIONS:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE SIDES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM

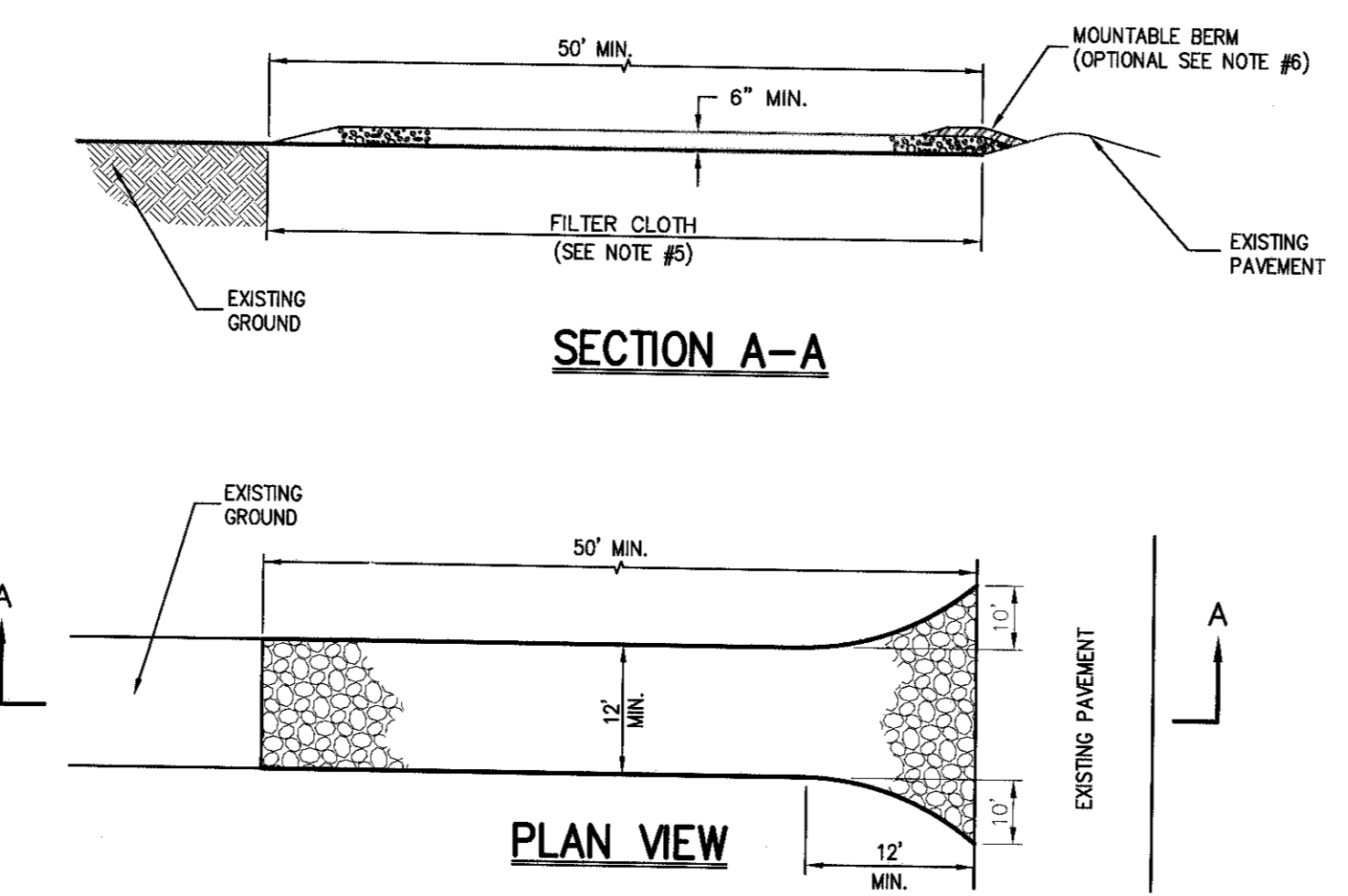
3



- NOTES:**
- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
 - DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
 - FINELY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
 - PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
 - PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADRI ENTERPRISES, INC. OR APPROVED EQUAL.
 - REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

CONSTRUCTION FENCE

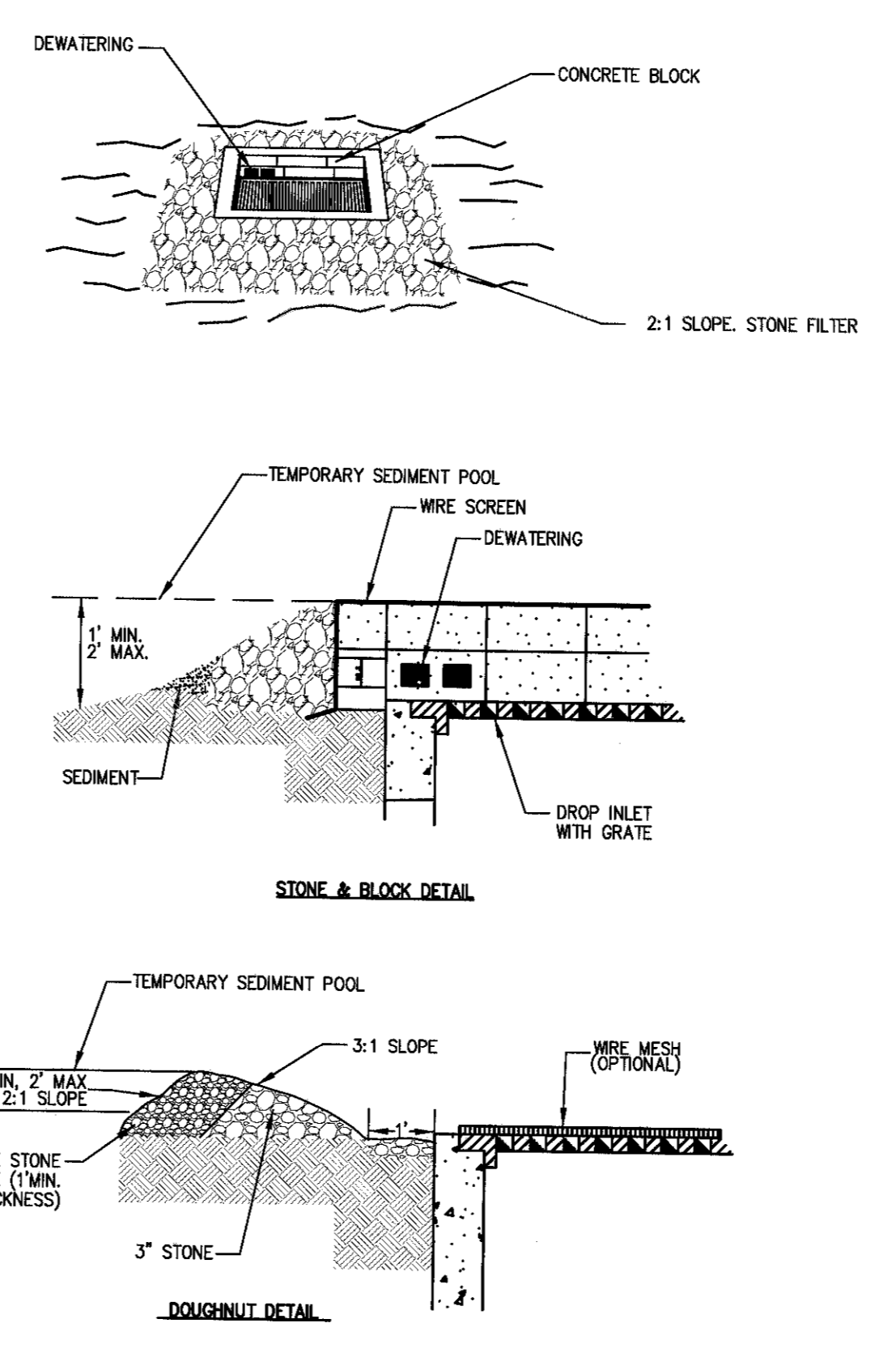
4



- NOTES:**
- STONE SIZE - USE 1\"/>

STABILIZED CONSTRUCTION ENTRANCE

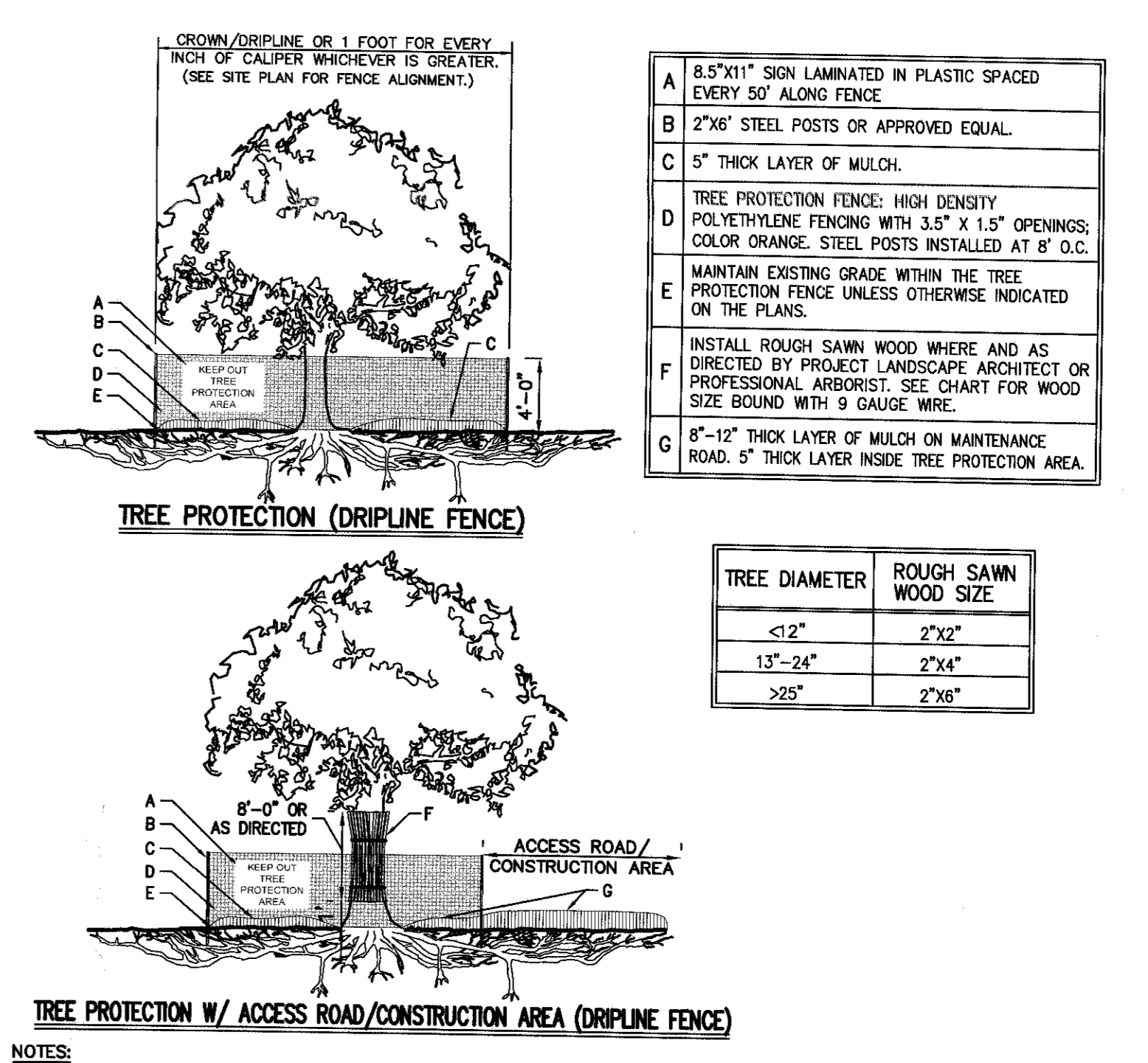
5



- NOTES:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2\"/>

STONE & BLOCK DROP INLET PROTECTION

6



- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

7

NOT FOR CONSTRUCTION

APPLICANT/OWNER: FARRELL HOLDING CO. LTD., 2317 MONTAUK HIGHWAY, BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C., 303 MILL STREET, FOUCHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.

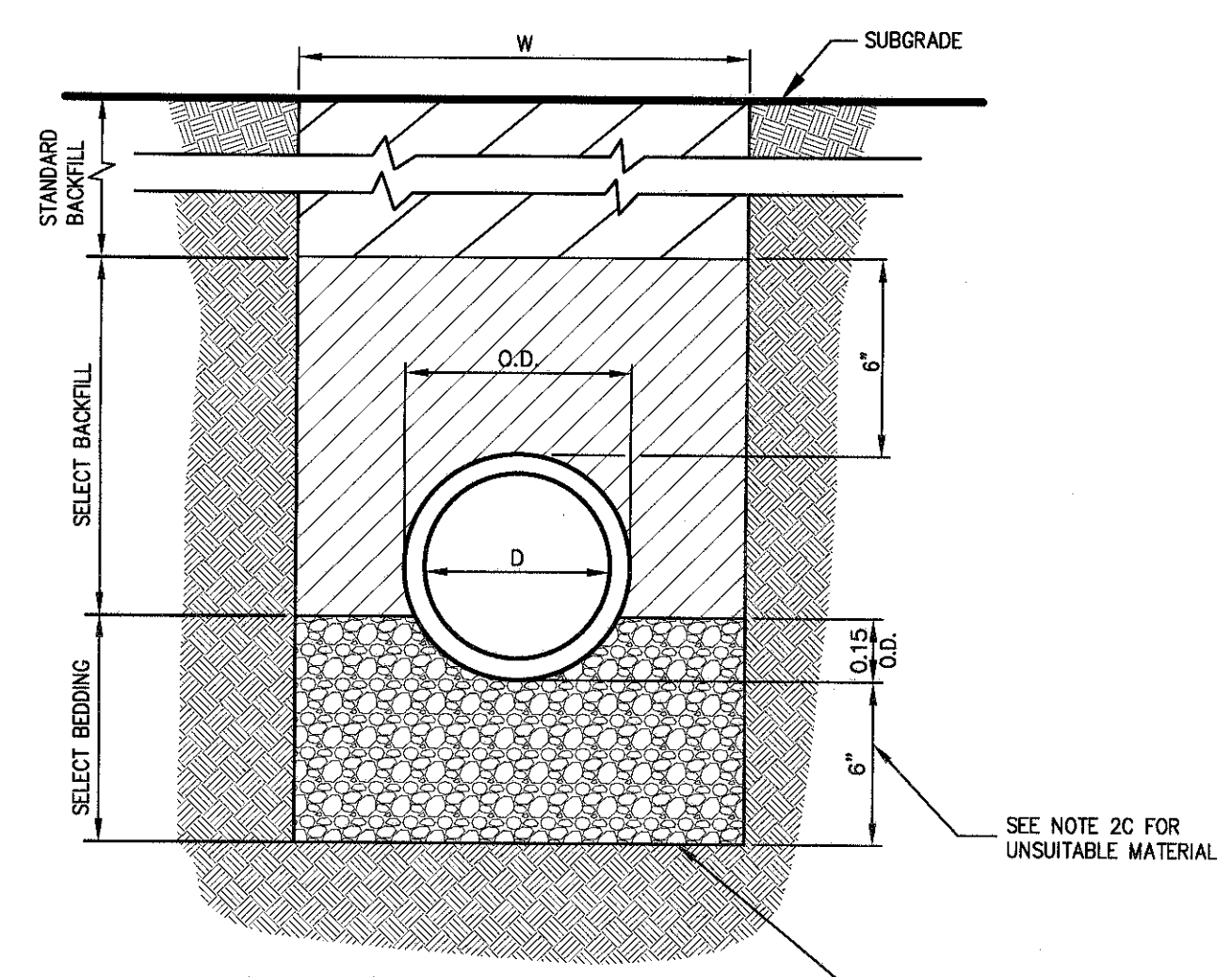
120 BEEBROOK ROAD - ARMONK, NY 10504
VOICE 914.273.5226 - FAX 914.273.2102
www.jmcplic.com

CONSTRUCTION DETAILS

CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEWMBURGH, NY 12550

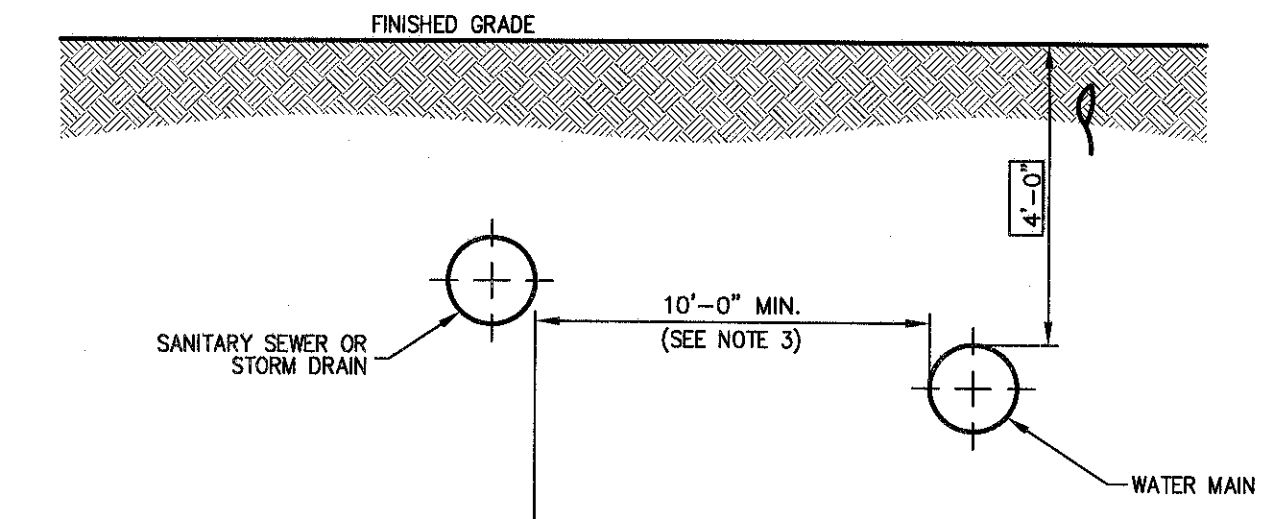
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209. SUBSECTION 2.

Drawn: RC Approved: JS
Scale: NOT TO SCALE
Date: 02/23/2017
Project No: 16055
REV: 01 SP-9
Drawing No: SP-9



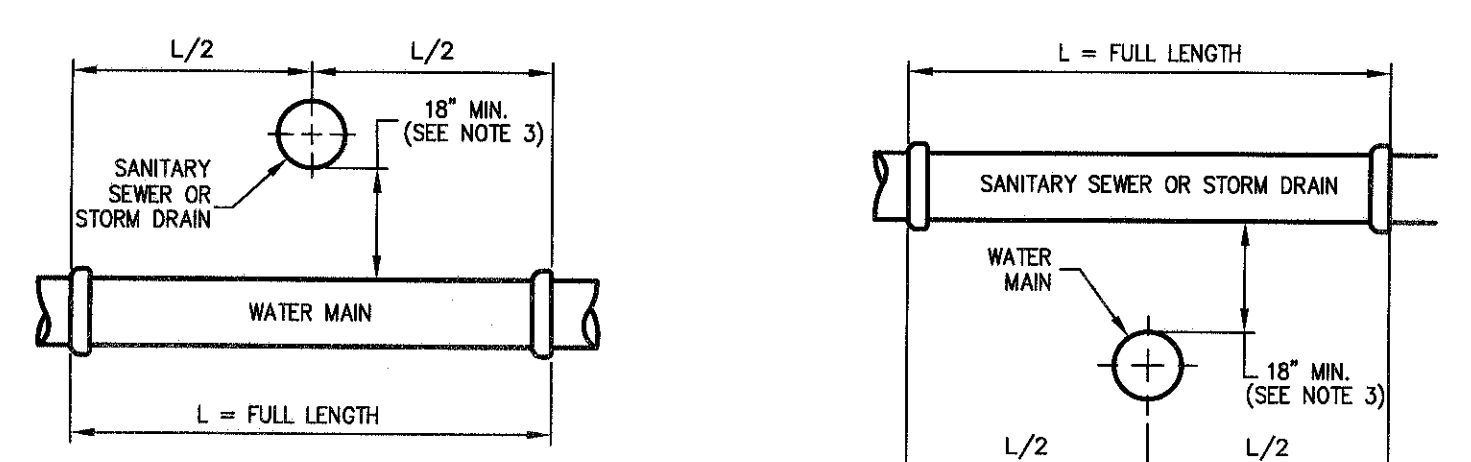
D=INSIDE DIAMETER, SPAN, OR RISE
 O.D.=OUTSIDE DIAMETER, SPAN, OR RISE
 H.L.=HORIZONTAL DIAMETER, SPAN, OR RISE
 W=H.D. + 2.0' - FOR 48" OR SMALLER DIAMETER, SPAN, OR RISE
 W=H.L. + 2.5' - FOR GREATER THAN 48" DIAMETER, SPAN, OR RISE

- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPOP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH, IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DETERMINED BY THE ENGINEER WITH 6" MINIMUM.
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EXCAVATIONS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [REDACTED] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

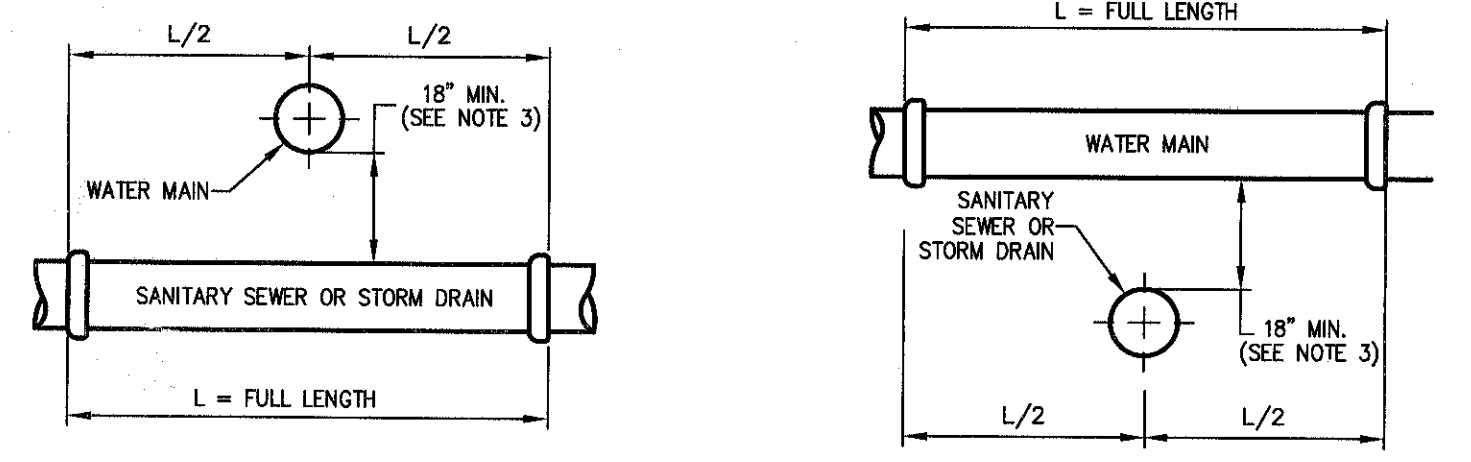


HORIZONTAL SEPARATION

- NOTES:**
- NORMAL CONDITIONS:
 - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 - WATER MAIN CROSSING UNDER SANITARY SEWERS:
 - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 - IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN MEYER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE ORANGE COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION.

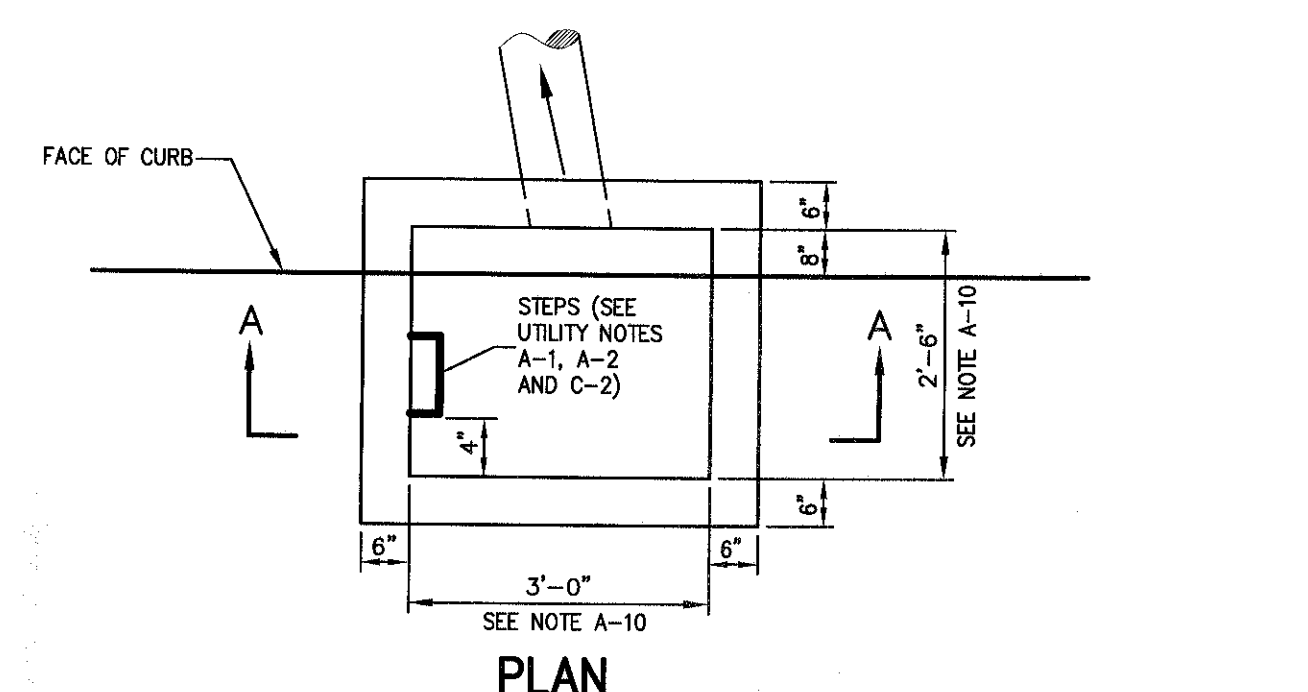


SANITARY SEWER OR STORM DRAIN OVER WATER MAIN

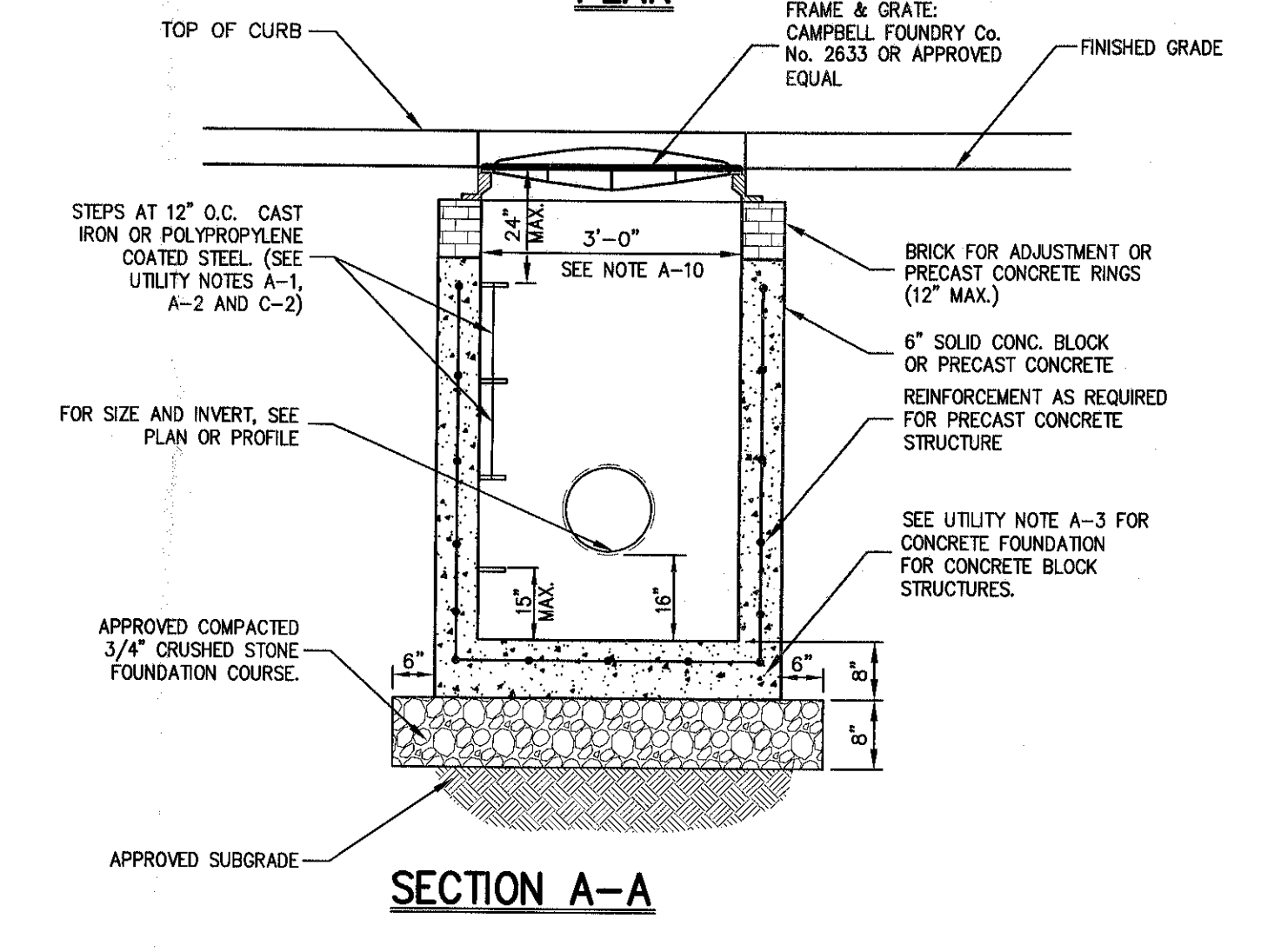


WATER MAIN OVER SANITARY SEWER OR STORM DRAIN

VERTICAL SEPARATION



PLAN



SECTION A-A

- NOTE:**
- SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

TYPE II TRENCH

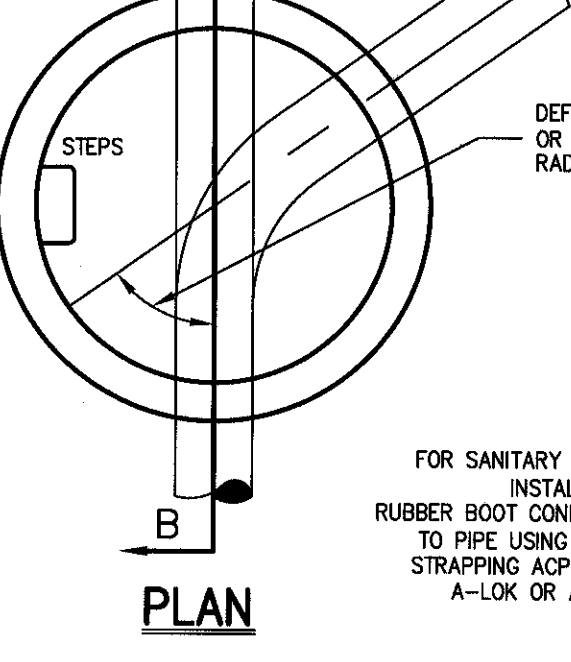
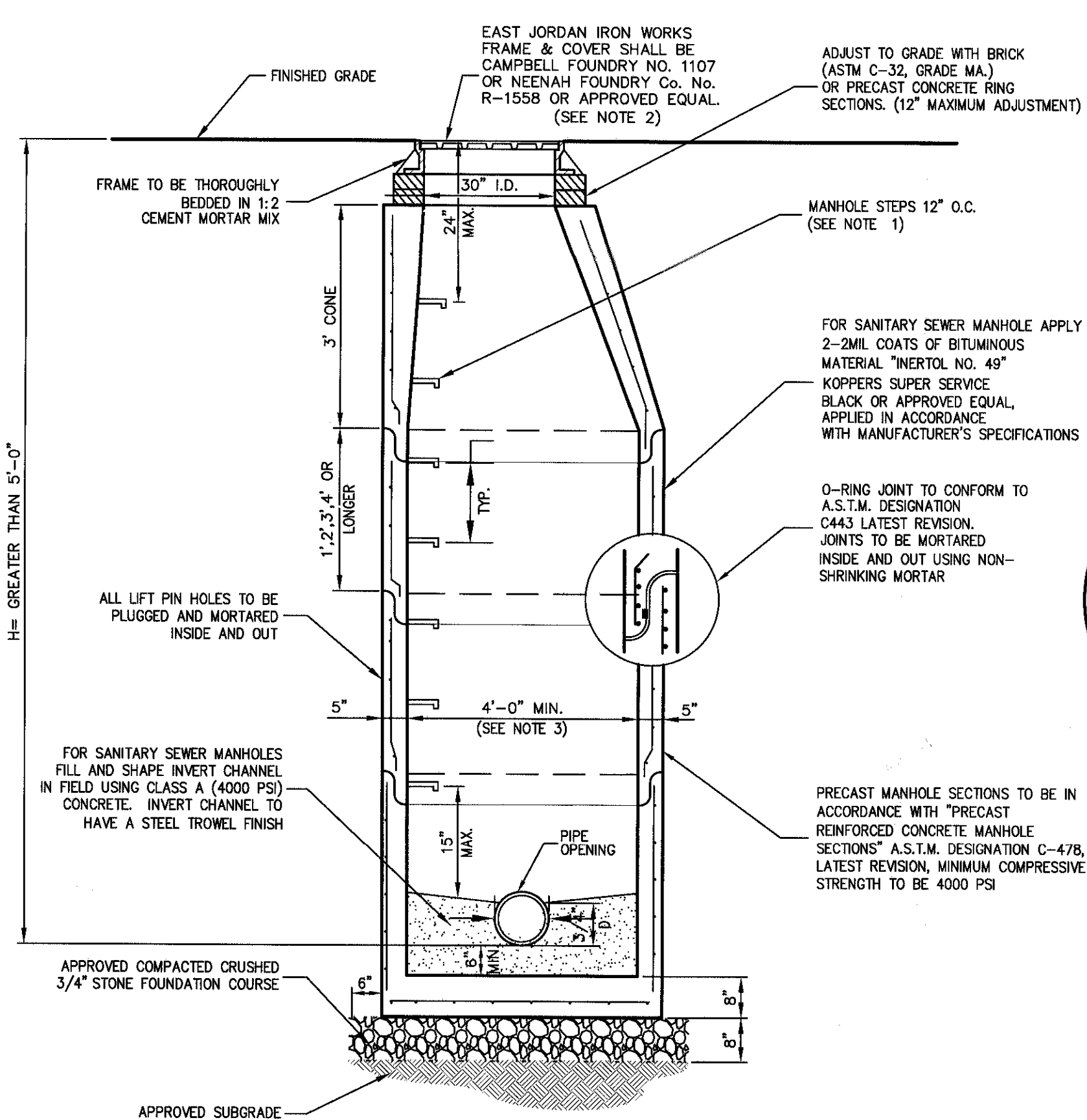
8

SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

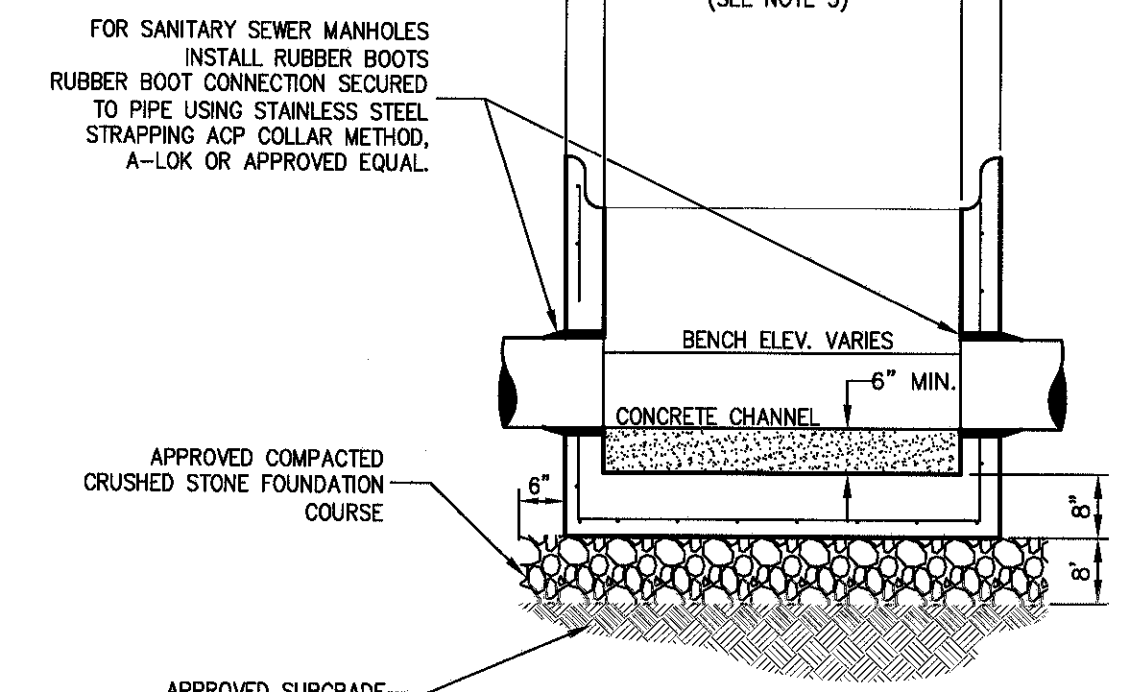
9

DRAIN INLET (TYPE CI)

10



SECTION B-B (Chute Manhole Base)

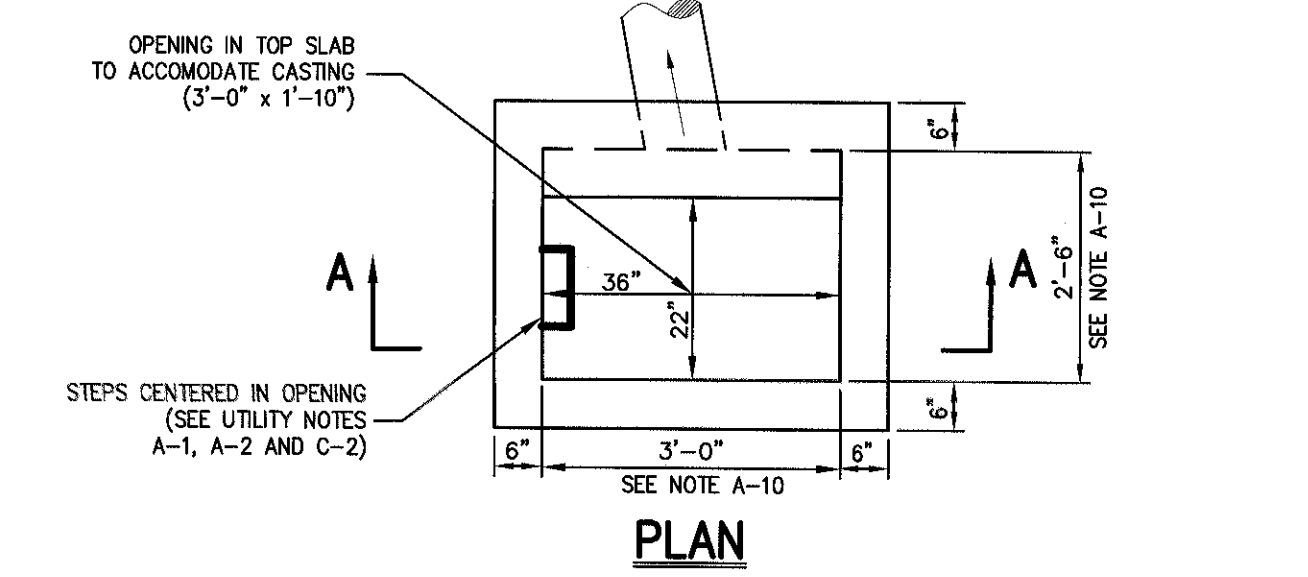


SECTION B-B (Standard Manhole Base)

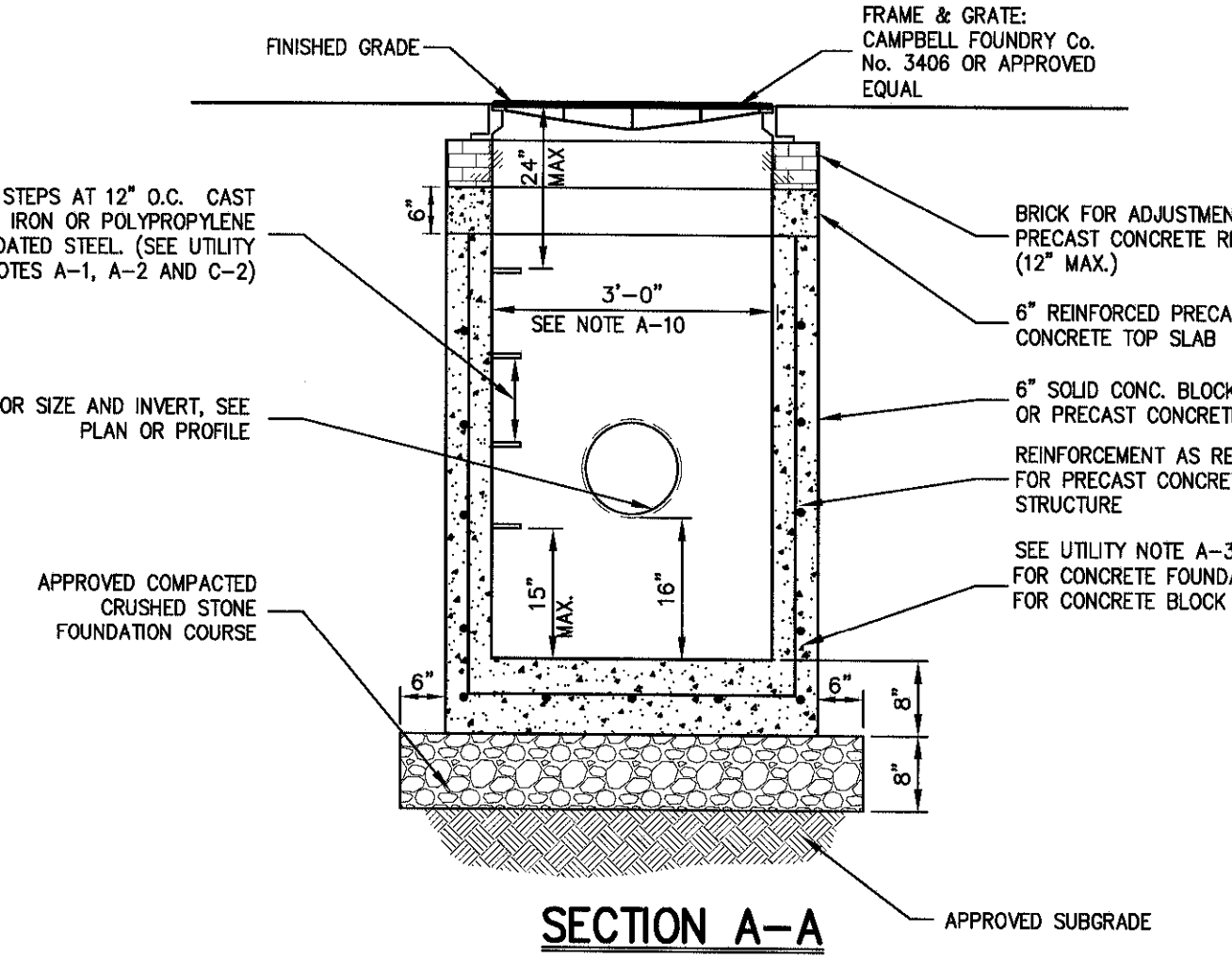
- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEEDHAM No. R-1981-0 OR CAMPBELL FOUNDRY No. 2688-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES WITH DEPTH (H) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING [REDACTED]

MANHOLE (TYPE B)
 (H > 5'-0") < 10'-0")

11



PLAN

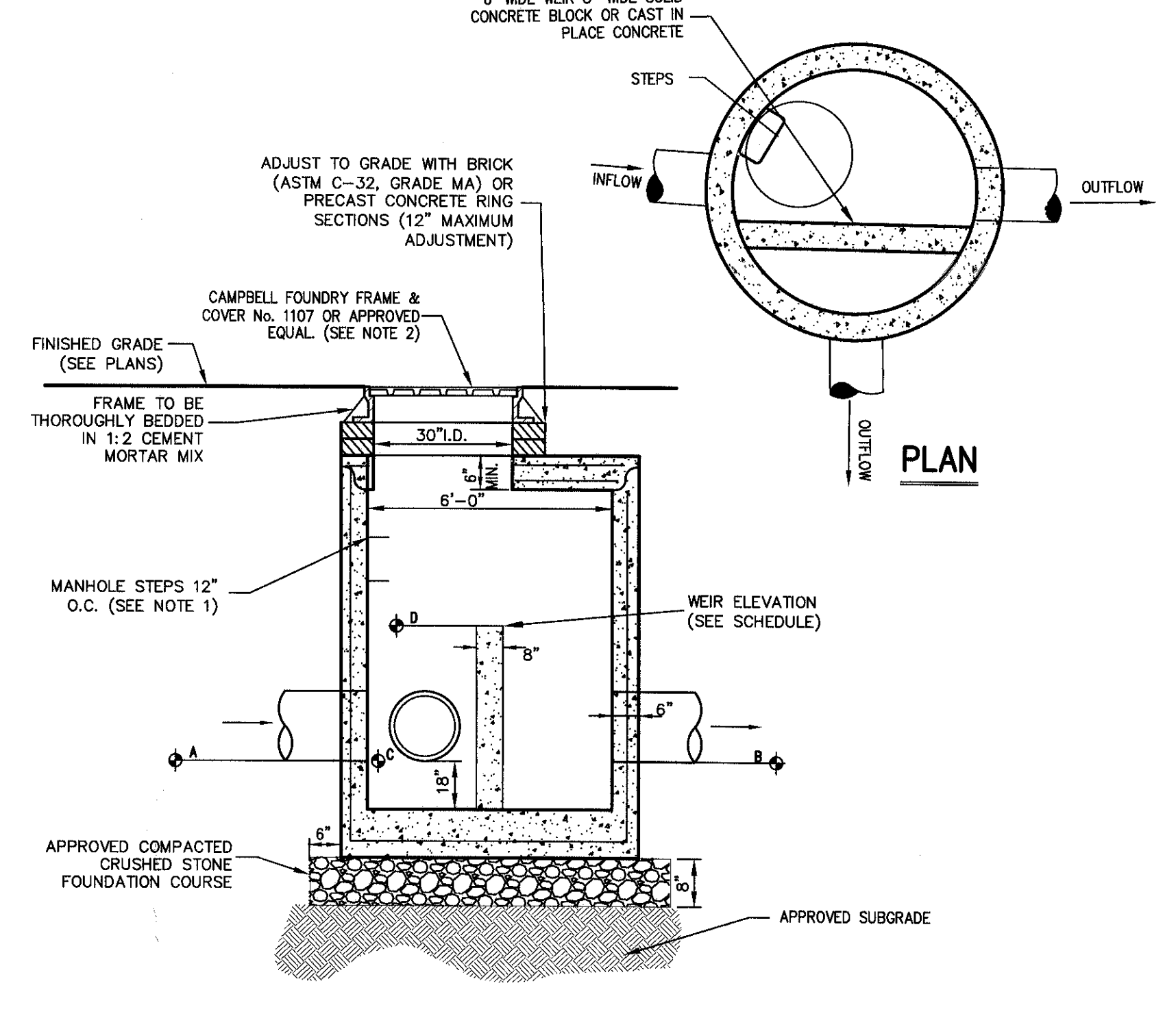


SECTION A-A

- NOTE:**
- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 - SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

DRAIN INLET (TYPE DI)

12



SCHEDULE OF INVERTS AND ELEVATIONS

STRUCTURE	A		B		C		D
	SIZE	INVERT	SIZE	INVERT	SIZE	INVERT	WEIR ELEVATION
BMH-1	30" HOPE	196.50	24" HOPE	196.50	24" HOPE	196.50	200.25

- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEEDHAM No. R-1981-0 OR CAMPBELL FOUNDRY No. 2688-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.
 - O-RING JOINTS TO CONFORM TO A.S.T.M. DESIGNATION C443 LATEST REVISION. JOINTS TO BE MORTARED INSIDE AND OUT USING NON-SHRINKING MORTAR.
 - PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. DESIGNATION C-478, LATEST REVISION, MINIMUM COMPRESSIVE STRENGTH TO BE 4000 P.S.I.

BYPASS MANHOLE

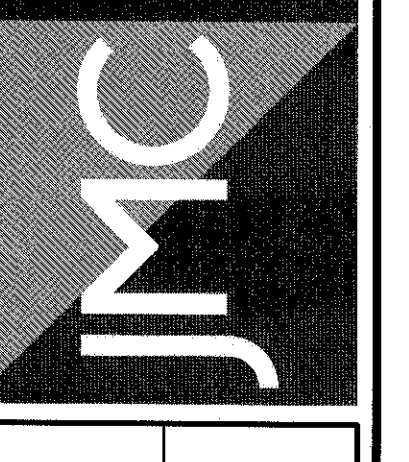
13

By	RB
Date	07/07/2017
Revision	
1. REVISED PER TOWN COMMENTS	

APPLICATOR/OWNER: **FARRELL HOLDING CO. LTD.**
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**
 303 MILL STREET
 POUGHKEEPSIE, NY 12601

JMC Planning, Engineering & Landscape Architecture & Land Surveying, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10506
 phone 914.273.5225 - fax 914.273.2102
 www.jmcplic.com



CONSTRUCTION DETAILS

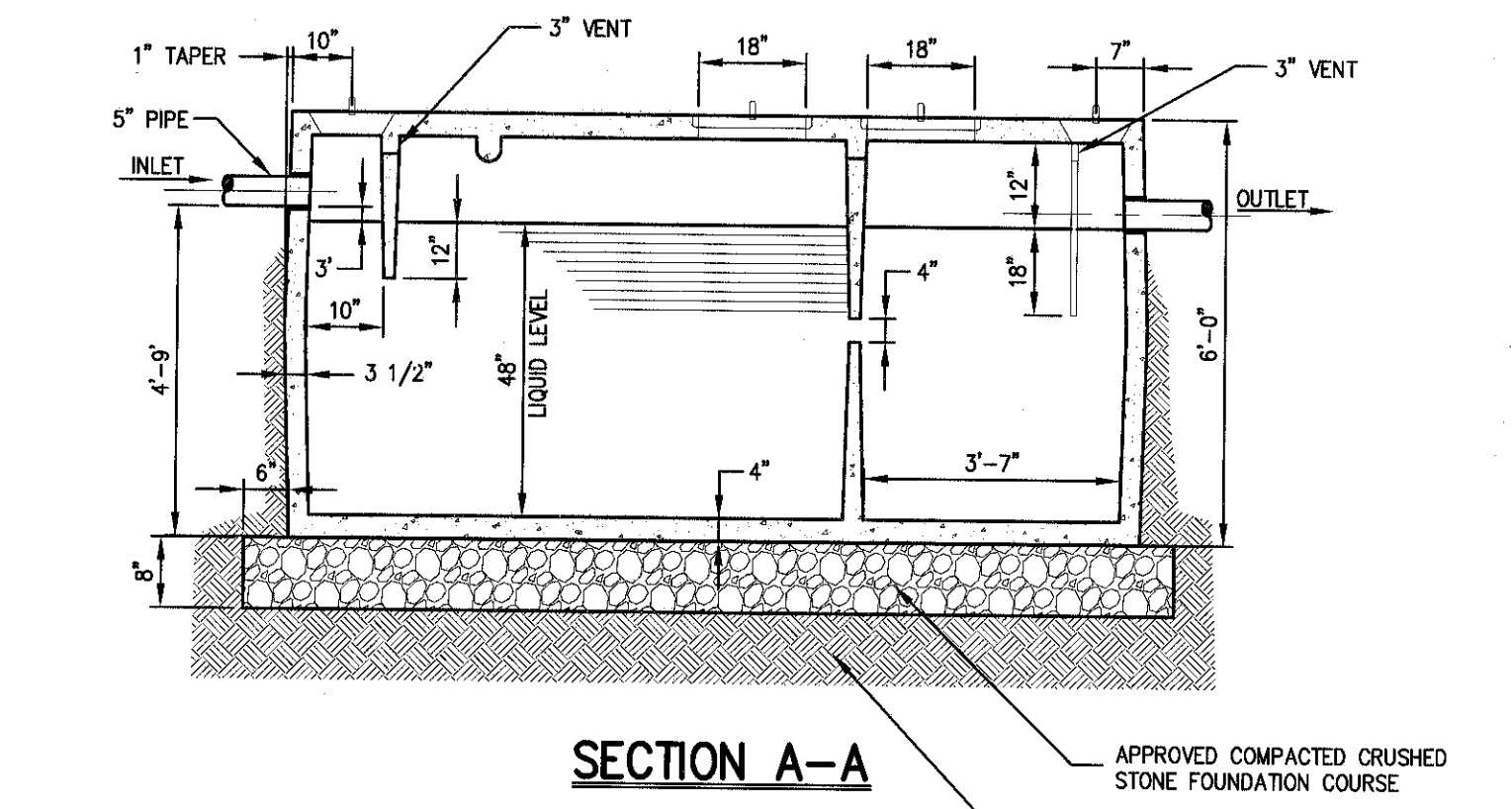
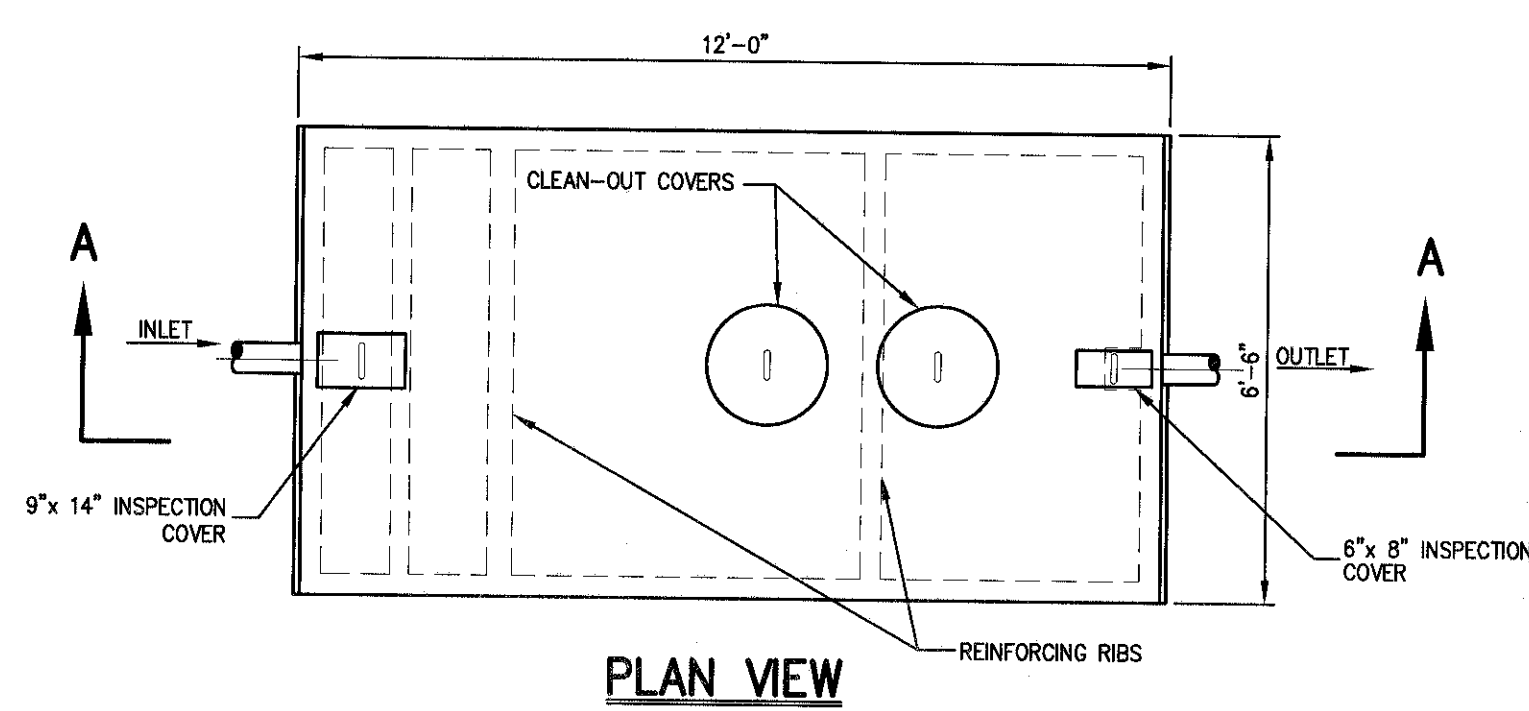
CORTLAND COMMONS
 5452 ROUTE 9W
 TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	RC	Approved	JS
Scale	NOT TO SCALE		
Date	02/23/2017		
Project No	16055		
WEB-DRAWING	SP-10		
Drawing No	SP-10		

SP-10

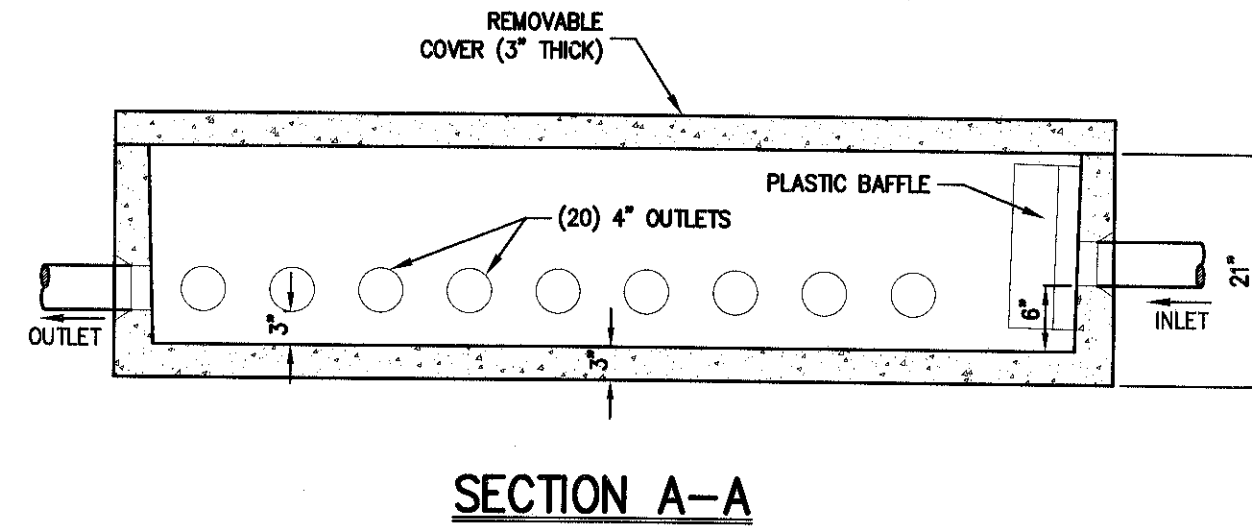
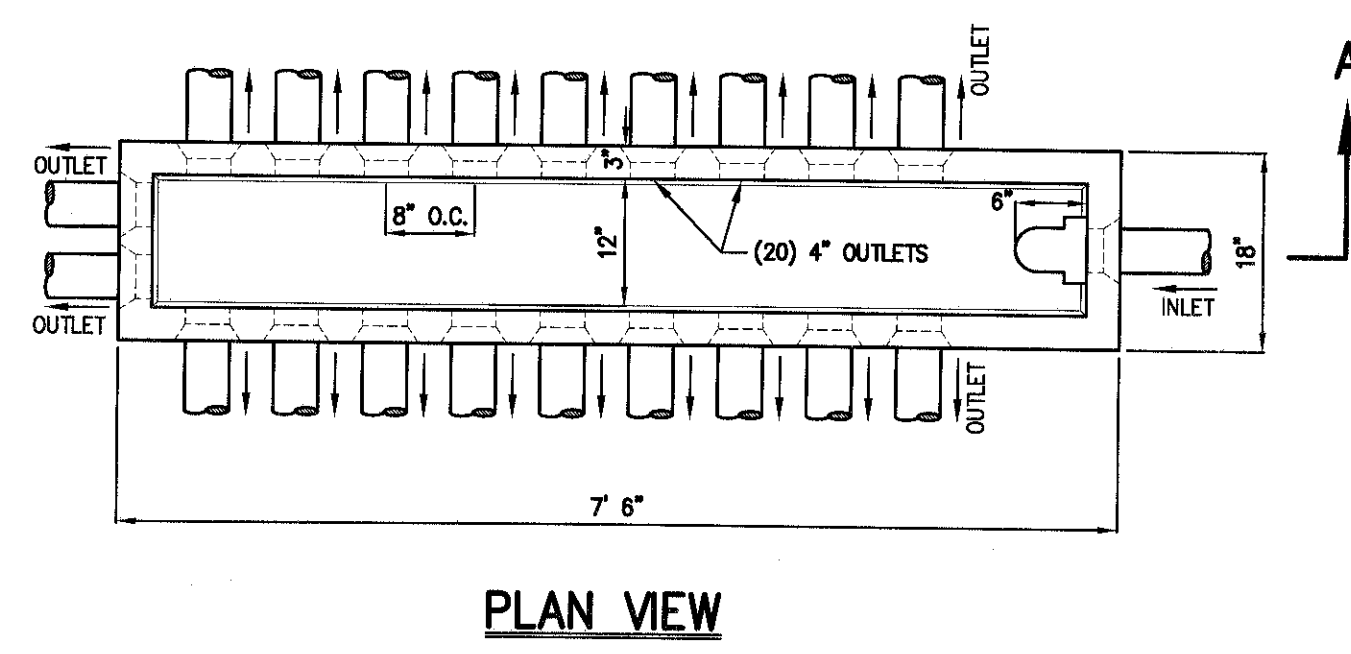
NOT FOR CONSTRUCTION



- NOTES:**
1. SEPTIC TANK SHALL BE MAM CONCRETE PRODUCTS, INC. PRODUCT NO. S-1000-12, 1,000 GALLON, OR APPROVED EQUAL.
 2. CONCRETE MINIMUM STRENGTH: 4,000 PSI @ 28 DAYS.
 3. TANK SHALL BE PLACED ON 3" BED OF SAND OR PEA GRAVEL.

1,500 GALLON SEPTIC TANK

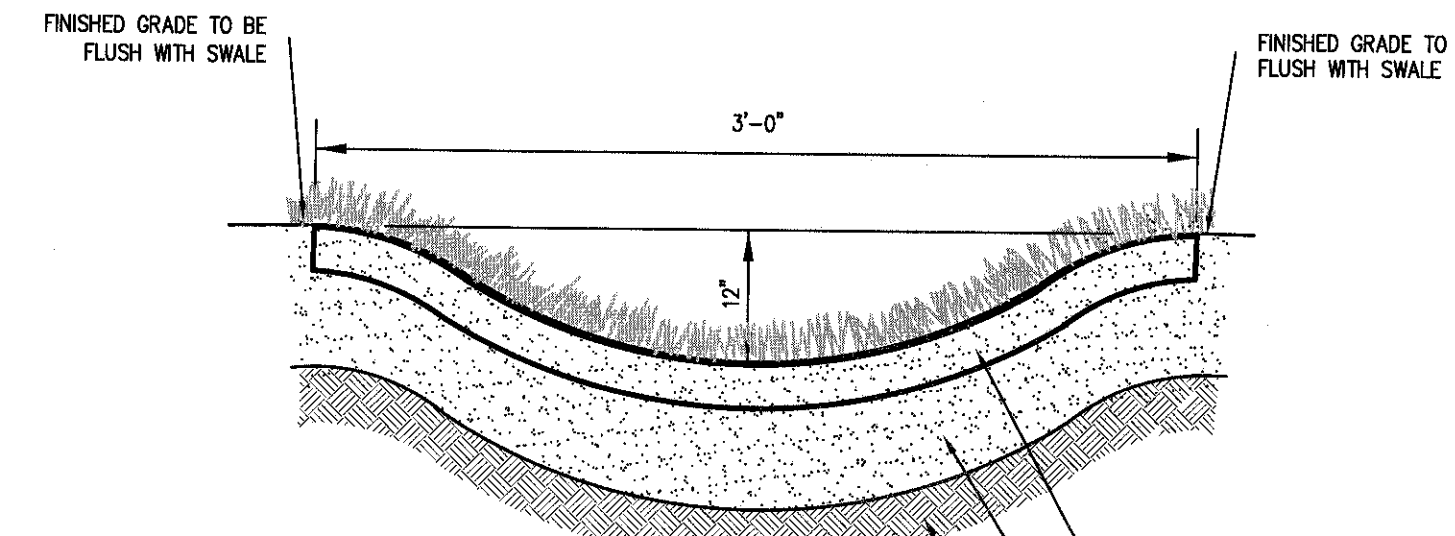
14



- NOTES:**
1. DISTRIBUTION BOX SHALL BE PRECAST CONCRETE AND DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 2. DISTRIBUTION BOX SHALL BE MODEL DB-20 / 20 OUTLET DISTRIBUTION BOX AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC.
 3. CONCRETE SHALL BE MINIMUM 4,000 PSI AT 28 DAYS AND REINFORCED WITH #4 REBAR AND 10 GA. WIRE MESH.
 4. PIPE PENETRATIONS SHALL BE INTO A POLYLOK SEALS.
 5. CONTRACTOR SHALL ONLY USE THE AMOUNT OF PENETRATIONS REQUIRED.
 6. THE BOTTOM OF THE BOX SHALL BE LEVEL AND SUPPORTED SOULIDLY TO BELOW FROST LINE.
 7. SPEED LEVELERS ARE RECOMMENDED TO AID IN THE EQUAL DISTRIBUTION OF EFFLUENT TO ALL LATERALS.

20 WAY DISTRIBUTION BOX

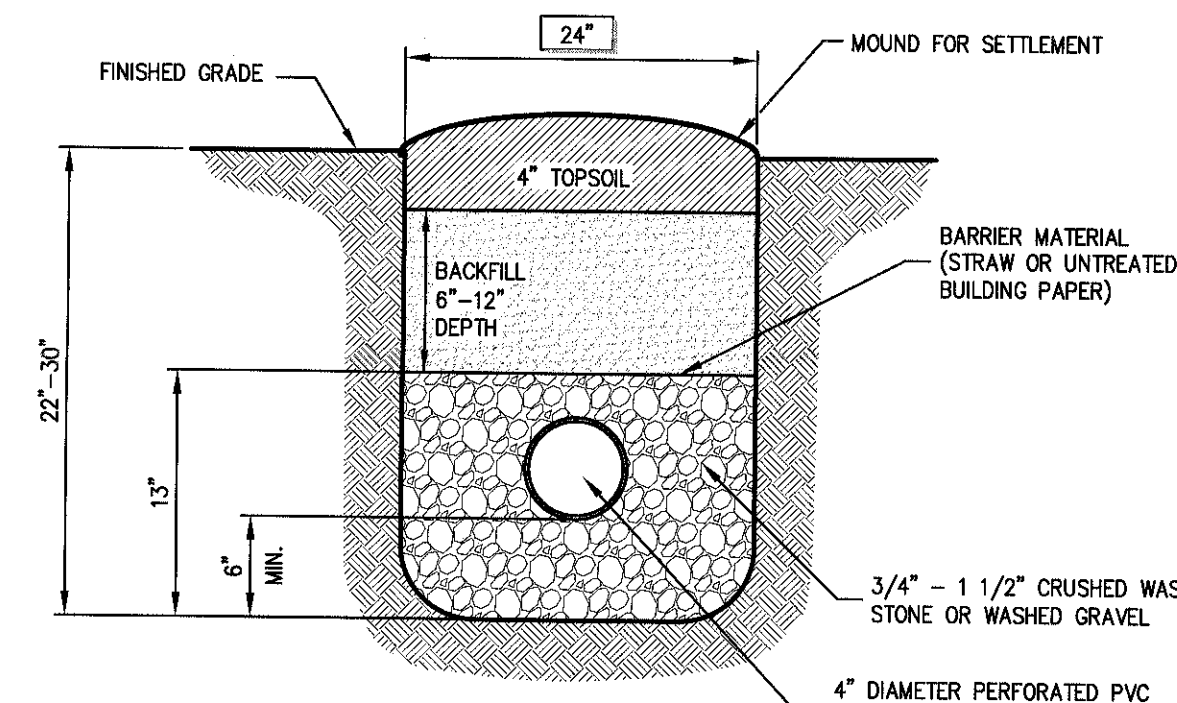
15



- NOTES:**
1. IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
 2. FOR SWALE SLOPES EXCEEDING SIX (6) INCHES, WIRE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
 3. AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED. TOPSOILED, SEEDING AND MAINTAINED FOR EROSION CONTROL.

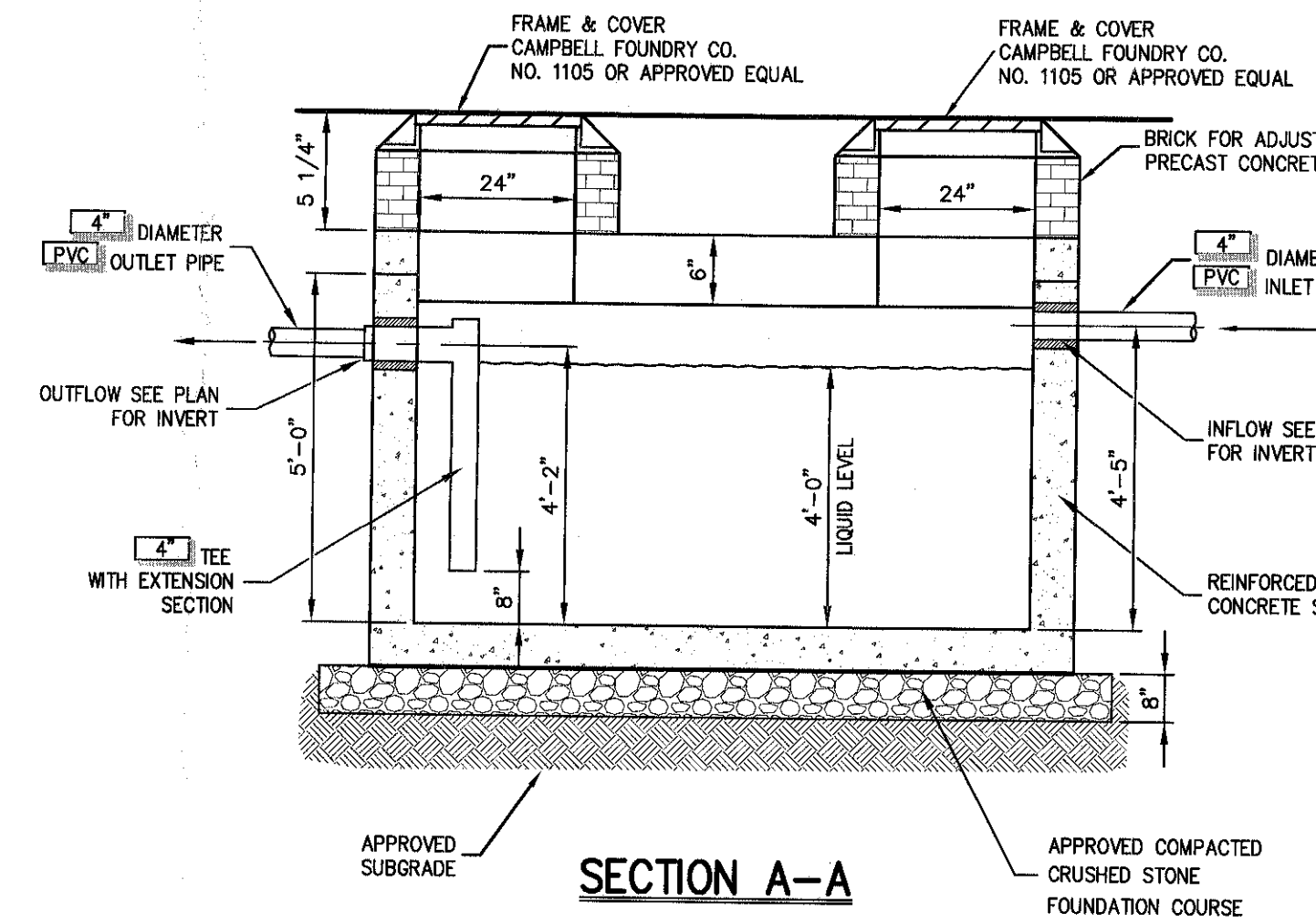
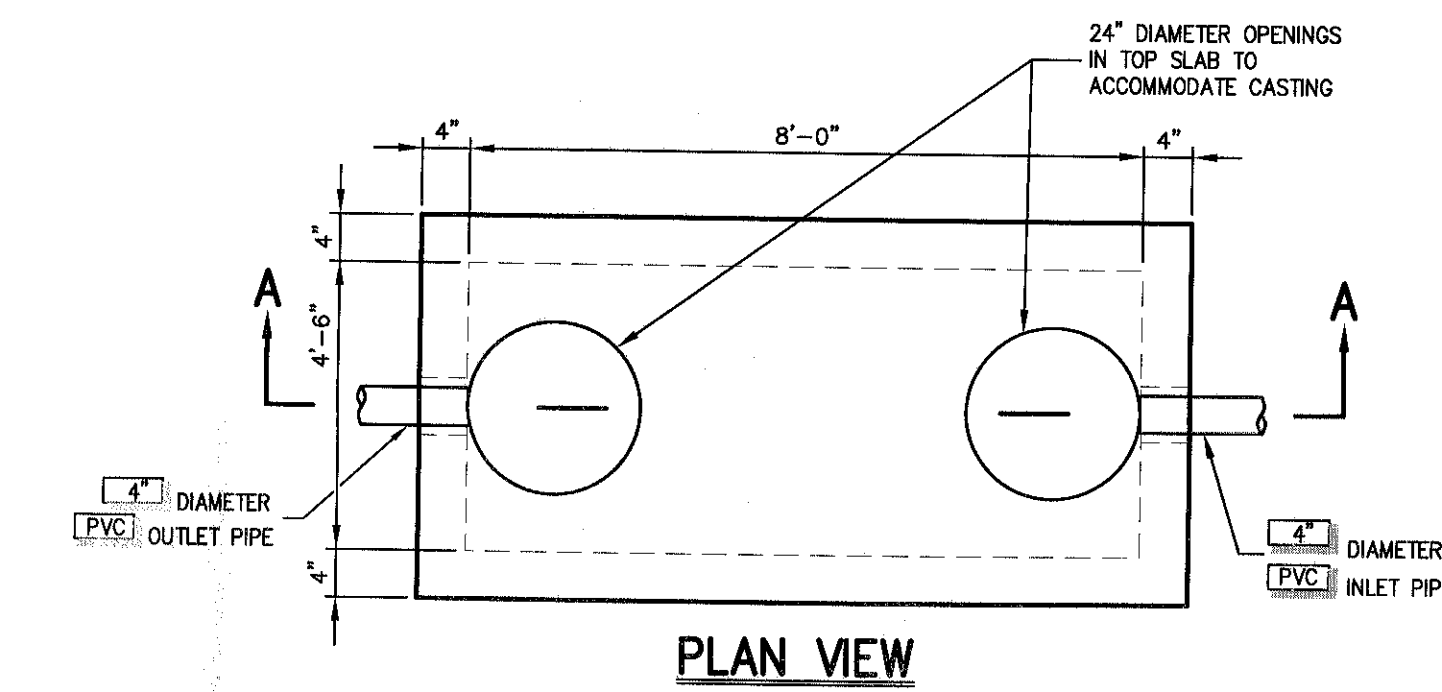
GRASS SWALE

16



ABSORPTION TRENCH

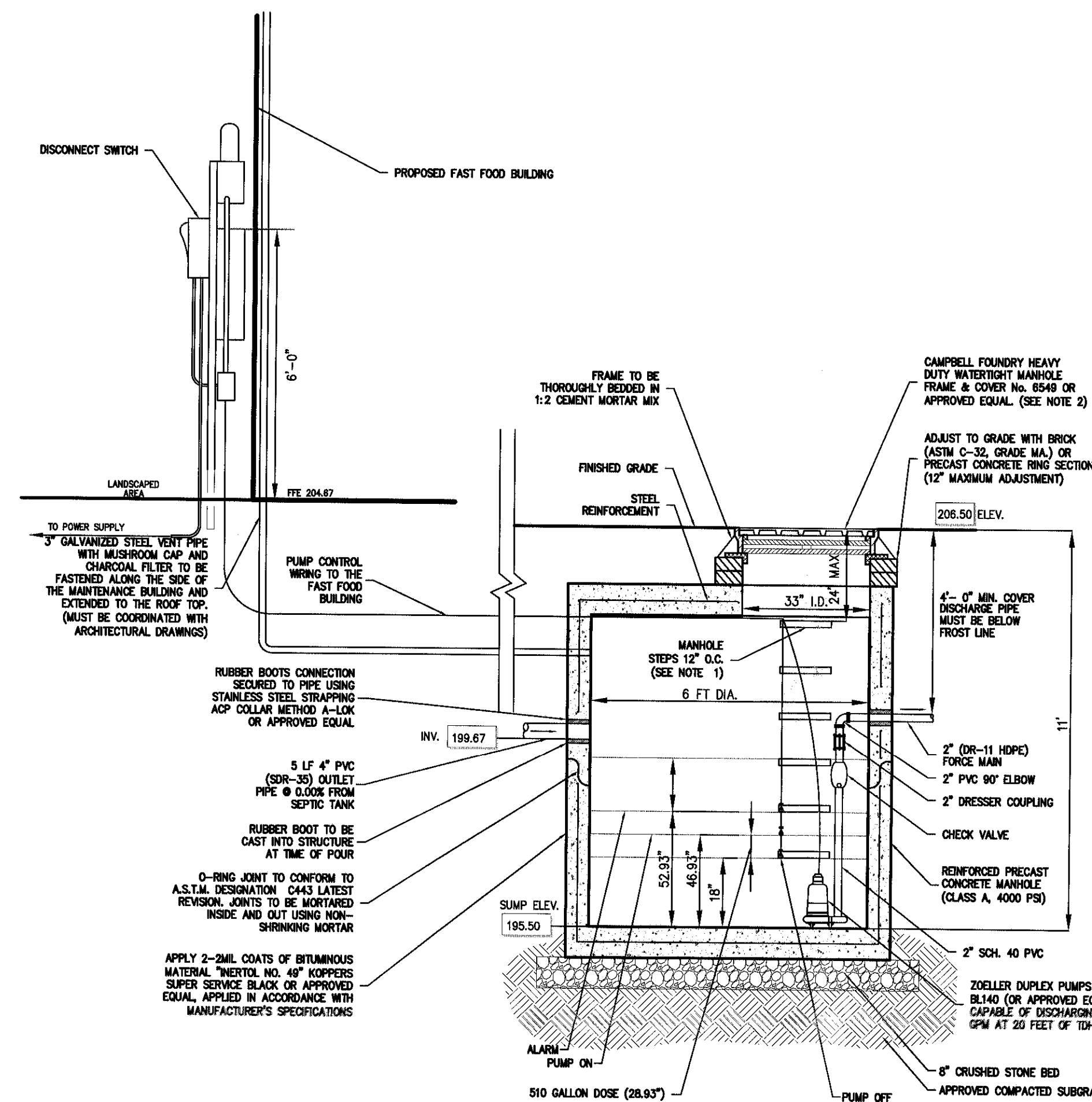
17



- NOTES:**
1. CONCRETE TO TEST 4,000 PSI AT 28 DAYS.
 2. GREASE PIT TO BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 3. GREASE PIT AS PROVIDED BY PRECAST CONCRETE SALES COMPANY, OR APPROVED EQUAL.

1,000 GALLON GREASE TRAP

18



- NOTES:**
1. MANHOLE STEPS SHALL BE CAST IRON (NEEDHAM NO. R-1981-3 OR CAMPBELL FOUNDRY NO. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 2. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER".
 3. MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 4. SEE NOTES ON DRAWING SP-10.
 5. AUDIO/VISUAL EMERGENCY ALARM SYSTEM TO BE INSTALLED WITHIN THE MAINTENANCE BUILDING.
 6. ALL ELECTRICAL WORK MUST CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL ELECTRICAL AND BUILDING CODES.
 7. CONCRETE MINIMUM STRENGTH: 4,000 PSI @ 28 DAYS.
 8. STEEL REINFORCEMENT: 6" x 6" 10-11 GAUGE STEEL WIRE MESH.
 9. CONSTRUCTION JOINT: SEALED WITH ASPHALT CEMENT OR EQUIVALENT.
 10. GRAVITY LINES SHALL BE PVC SDR-35.
 11. FORCE MAIN SHALL BE HOPE DR-11 HOPE WITH TRACER WIRE.
 12. ALL CHECK VALVES AND GATE VALVES SHALL BE BRONZE.
 13. PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD. CONCRETE SHALL BE 4,000 PSI MINIMUM 28 DAYS, REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A-62, A-185, A-498 OR A-815 GRADE 60 STEEL.
 14. VISUAL/AUDIO ALARM SHALL BE MOUNTED AT ELECTRICAL CONTROL PANEL (NEMA 4). THE ALARM SHALL BE LOCKABLE AND VANDAL PROOF.
 15. PUMP STATION MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS AND GROUP 17 DIVISION. PUMPS AND FLOATS SHALL BE WIRED DIRECTLY INTO THE CONTROL PANEL. NO SPICES OR JUNCTION BOXES SHALL BE PERMITTED. USE ONE (1) ZOLLER SUBMERSIBLE PUMP, MODEL BL40 OR APPROVED EQUAL. THE PUMP SHALL BE RATED 50 GPM, AT 20 FEET TOTAL DYNAMIC HEAD. PUMP MOTOR SHALL BE RATED 3 HP, 3450 RPM, SINGLE PHASE, 230 VOLTS, 90 CYCLE.
 16. DISCONNECT SWITCH SHALL BE INSTALLED IN NEMA 4, LOCKABLE ENCLOSURE.
 17. CONTROL EQUIPMENT SHALL BE SECURELY MOUNTED ON BUILDING WALL AS DIRECTED BY OWNER'S FIELD REPRESENTATIVE AND SHALL BE WITHIN VIEW OF THE PUMP STATION.
 18. TELEMETRY SYSTEM SHALL BE PROVIDED WITHIN THE ELECTRICAL CONTROL PANEL FOR TRANSMISSION OF EMERGENCY SIGNAL TO THE MAINTENANCE BUILDING. EMERGENCY SIGNAL SHALL BE PROVIDED FOR: HIGH WATER ALARM, POWER FAILURE, AND PUMP FAILURE, AT A MINIMUM.
 19. MANHOLE IS TO BE BITUMINOUS COATED INSIDE AND OUT.
 20. PROVIDE RUBBER BOOTS FOR ALL PIPES ENTERING AND EXISTING THE MANHOLE.
 21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING OPENINGS IN STRUCTURES TO ACCOMMODATE GRADE AND INSTALLATION OF ALL PIPES AS SHOWN.
 22. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 23. CONTRACTOR SHALL VERIFY INVERT FROM THE MAINTENANCE BUILDING.
 24. STRUCTURE MUST MEET AASHTO H-20 LOADING CONDITIONS.
 25. PUMPS SHALL BE HOOKED UP TO EMERGENCY GENERATOR SYSTEM WITH AUTOMATIC TRANSFER SWITCH.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

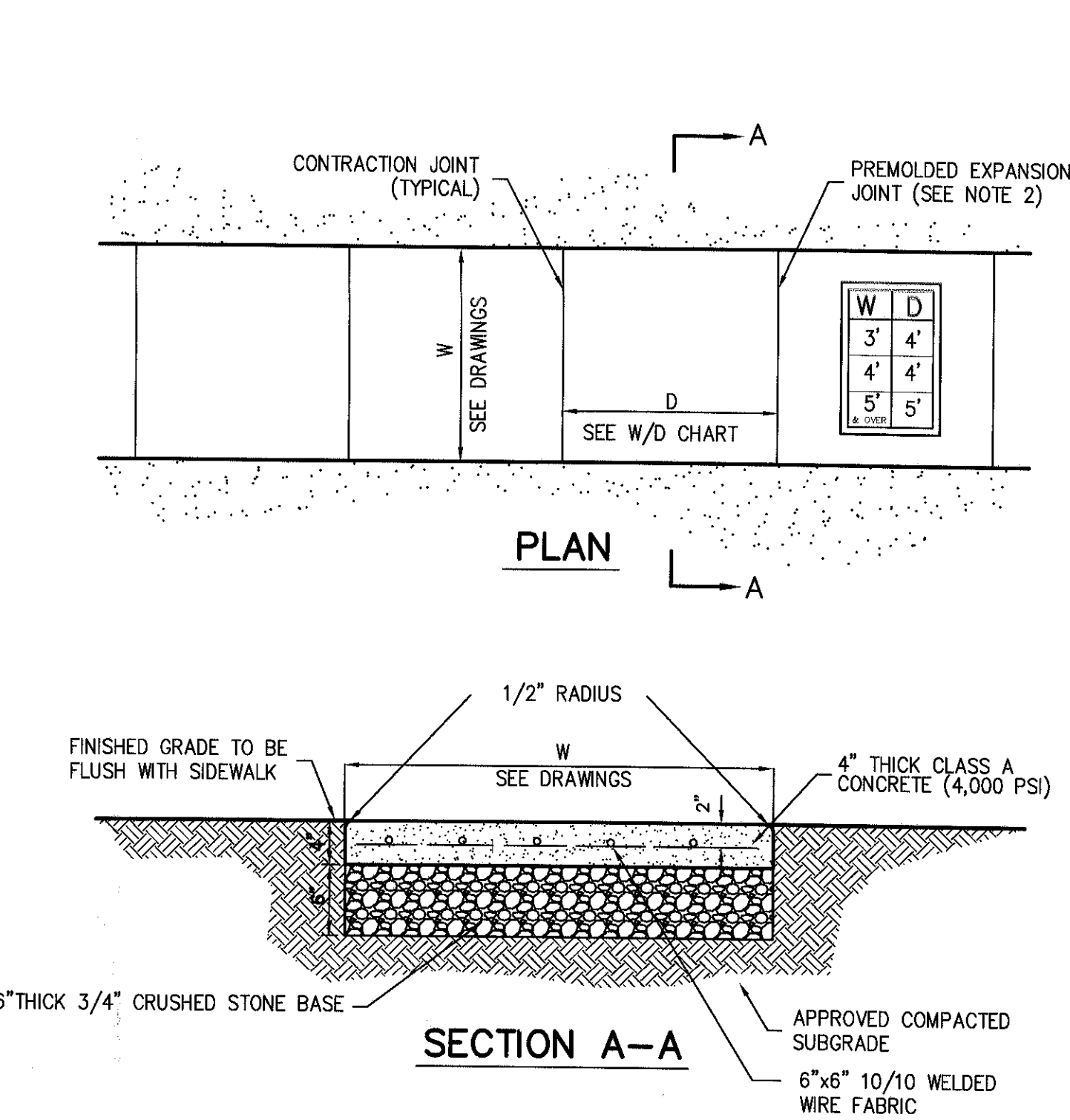
WET WELL PUMP STATION / OVERFLOW STORAGE TANK

19

- NOTES PERTAINING TO DRAIN INLETS**
- A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
 - A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
 - A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
 - A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
 - A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO Sika-SET AS MANUFACTURED BY THE Sika CHEMICAL CORP.
 - A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
 - A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
 - A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
 - A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
 - A-10 FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.
- NOTES PERTAINING TO MANHOLES**
- B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-443.
 - B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
 - B-3 FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
 - B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
 - B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
 - B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

- NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**
- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 - C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

UTILITY NOTES



- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1/8" MIN. TO 2% MAX.
 2. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

CONCRETE SIDEWALK

21

Drawn: RC Approved: JS
Scale: NOT TO SCALE
Date: 02/23/2017
Project No: 16055
Sheet No: SP-11
Drawing No: SP-11

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

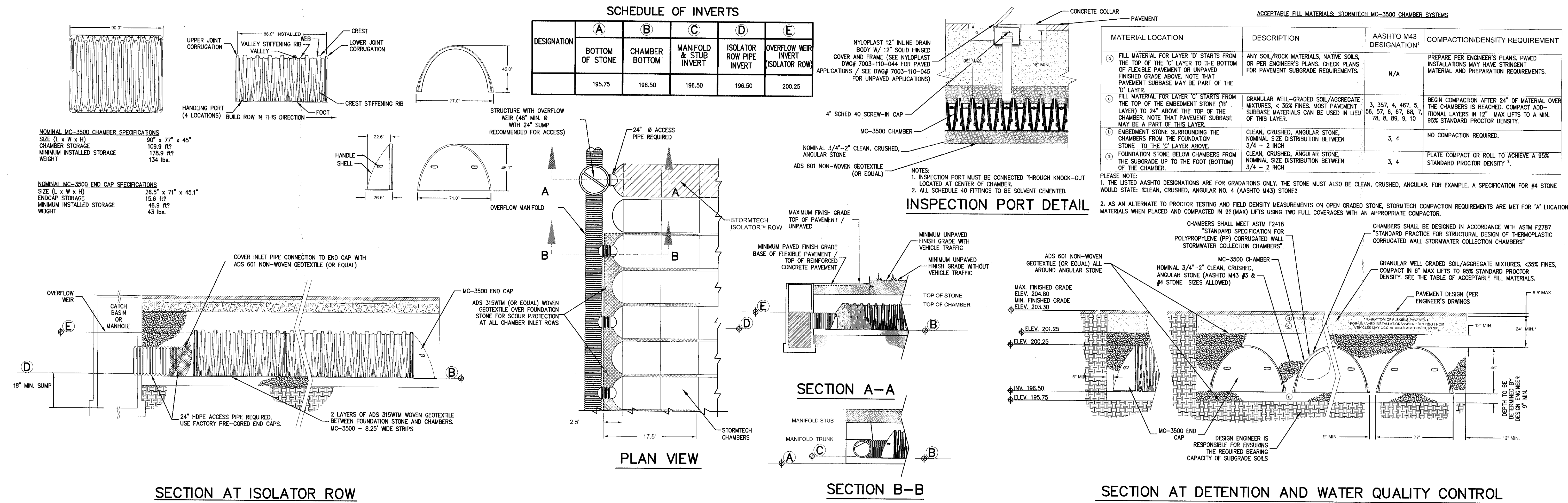
JMC
CONSTRUCTION DETAILS
CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEWBURGH, NY 12550

APPLICANT/OWNER: FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932
ARCHITECT: MAURI ARCHITECTS P.C.
303 MILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Urban Consulting, PLLC
John Meyer Consulting, Inc.
120 BEBEDOOD ROAD - ARMONK, NY 10504
Phone 914.273.5225 - fax 914.273.102
www.jmcpic.com

Revision: 07/07/2017 RB
1. REVISED PER TOWN COMMENTS

NOT FOR CONSTRUCTION



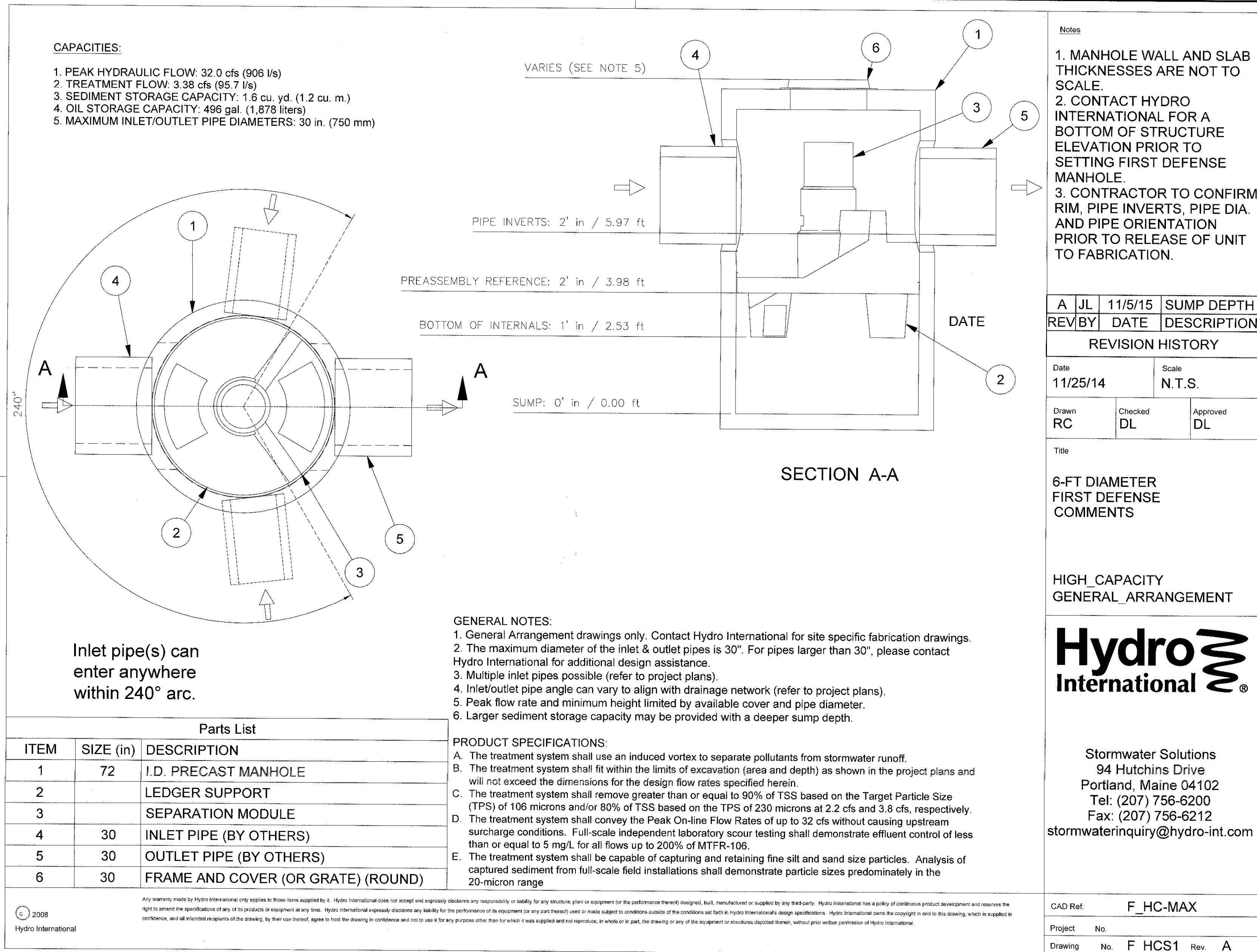
SECTION AT ISOLATOR ROW

SECTION B-B

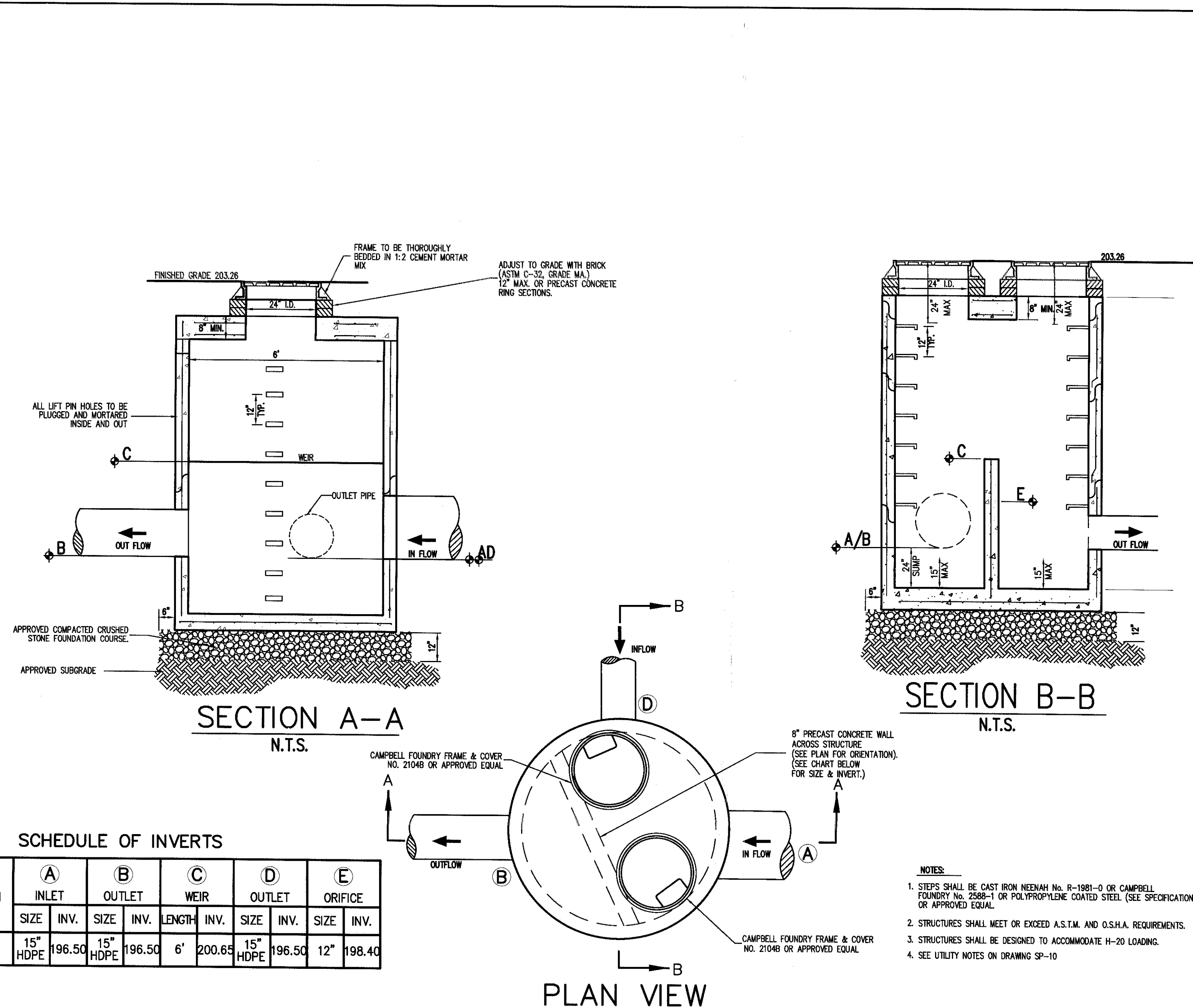
SECTION AT DETENTION AND WATER QUALITY CONTROL

STORMTECH CHAMBERS MC-3500

22



23



BYPASS MANHOLE

24

HYDRO INTERNATIONAL FIRST DEFENSE FD-6HC UNIT

By: [Signature] Date: 07/07/2017

Revised Per: TOWN COMMENTS

APPLICATOR: FARRELL HOLDING CO. LTD. 2317 MONTAUK HIGHWAY BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C. 303 MILL STREET Poughkeepsie, NY 12601

JMC Planning, Engineering & Landscape Architecture & Land Surveying, PLLC John Meyer Consulting, Inc. 120 BEDFORD ROAD - ARMONK, NY 10806 voice 914.273.5225 - fax 914.273.2102 www.jmcpllc.com

CONSTRUCTION DETAILS

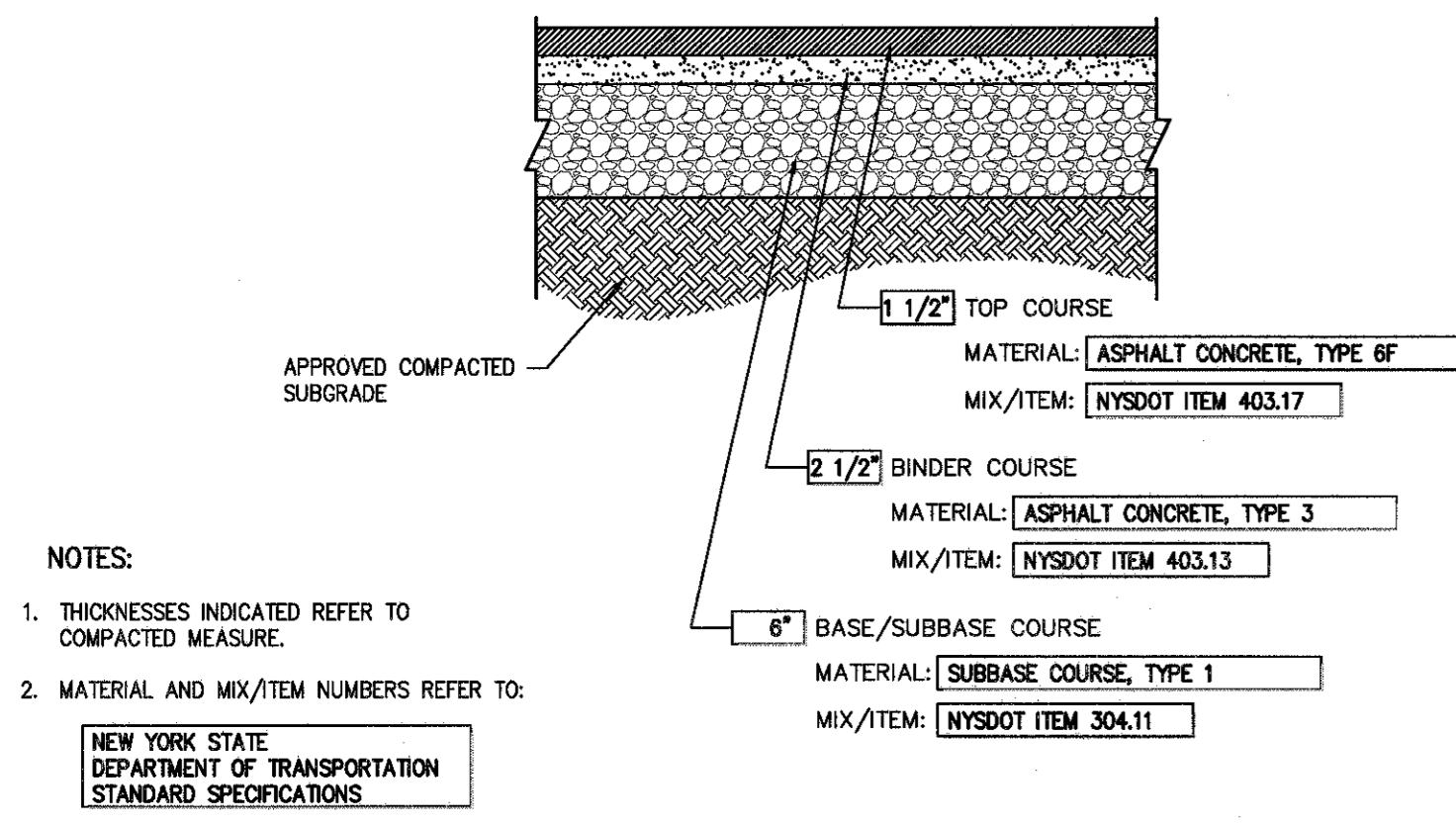
CORTLAND COMMONS 5452 ROUTE 9W TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: RC Approved: JS Scale: NOT TO SCALE Date: 02/23/2017 Project No: 16055

SP-12

NOT FOR CONSTRUCTION



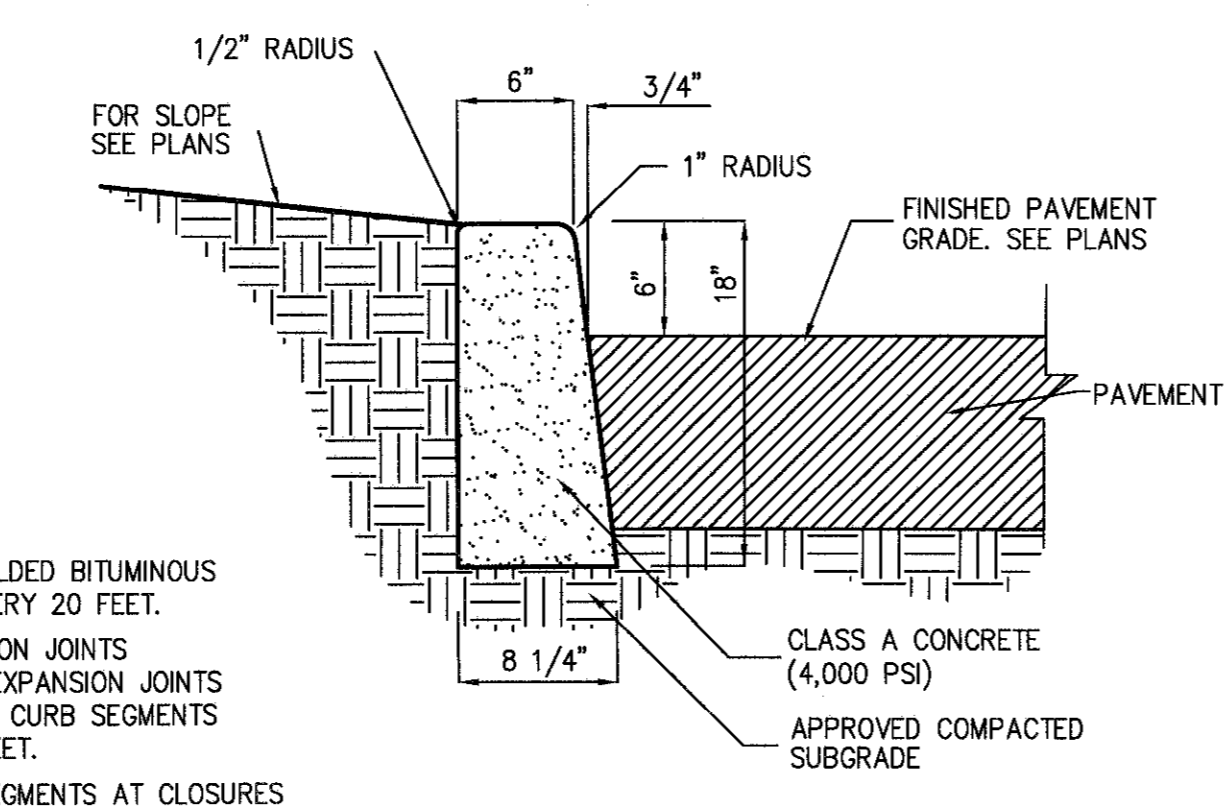
NOTES:
 1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:
 NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT
(Light Duty)

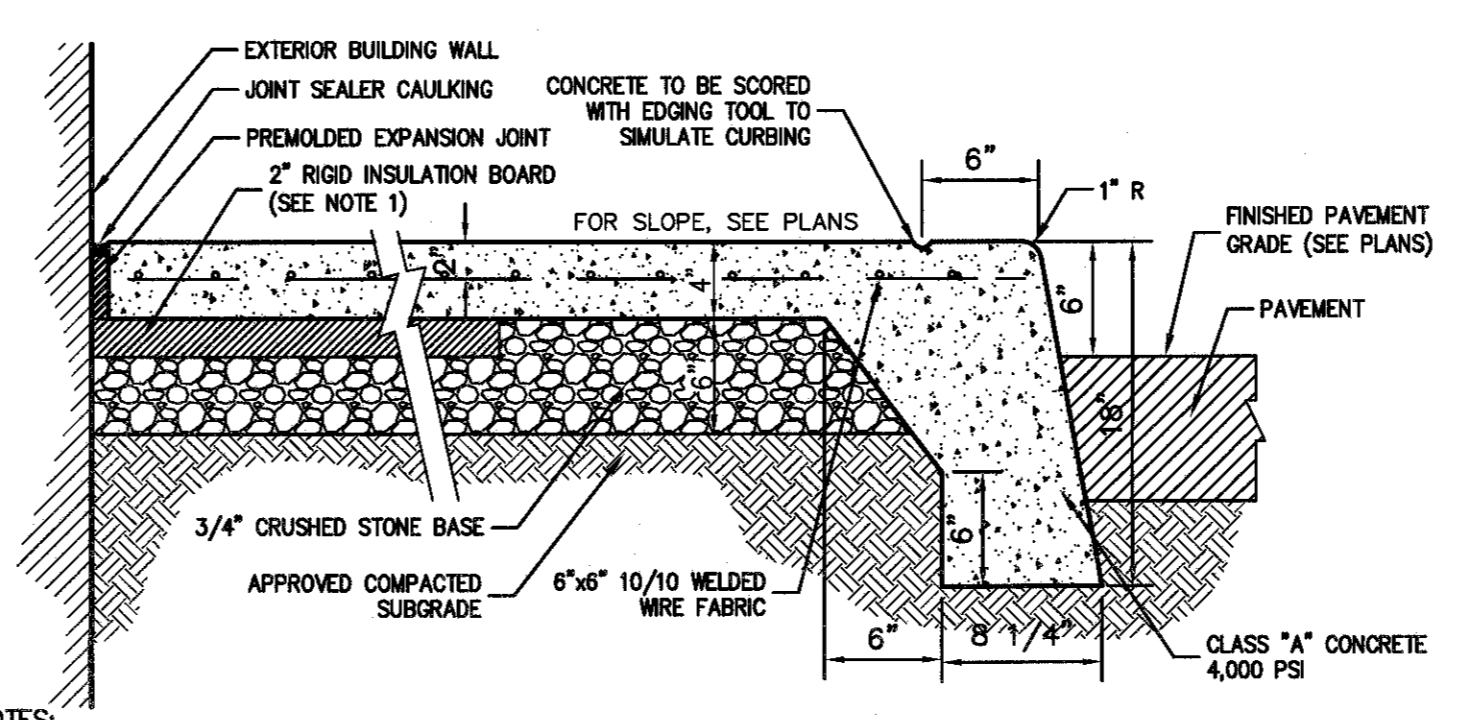
25

CAST-IN-PLACE CONCRETE CURB

27



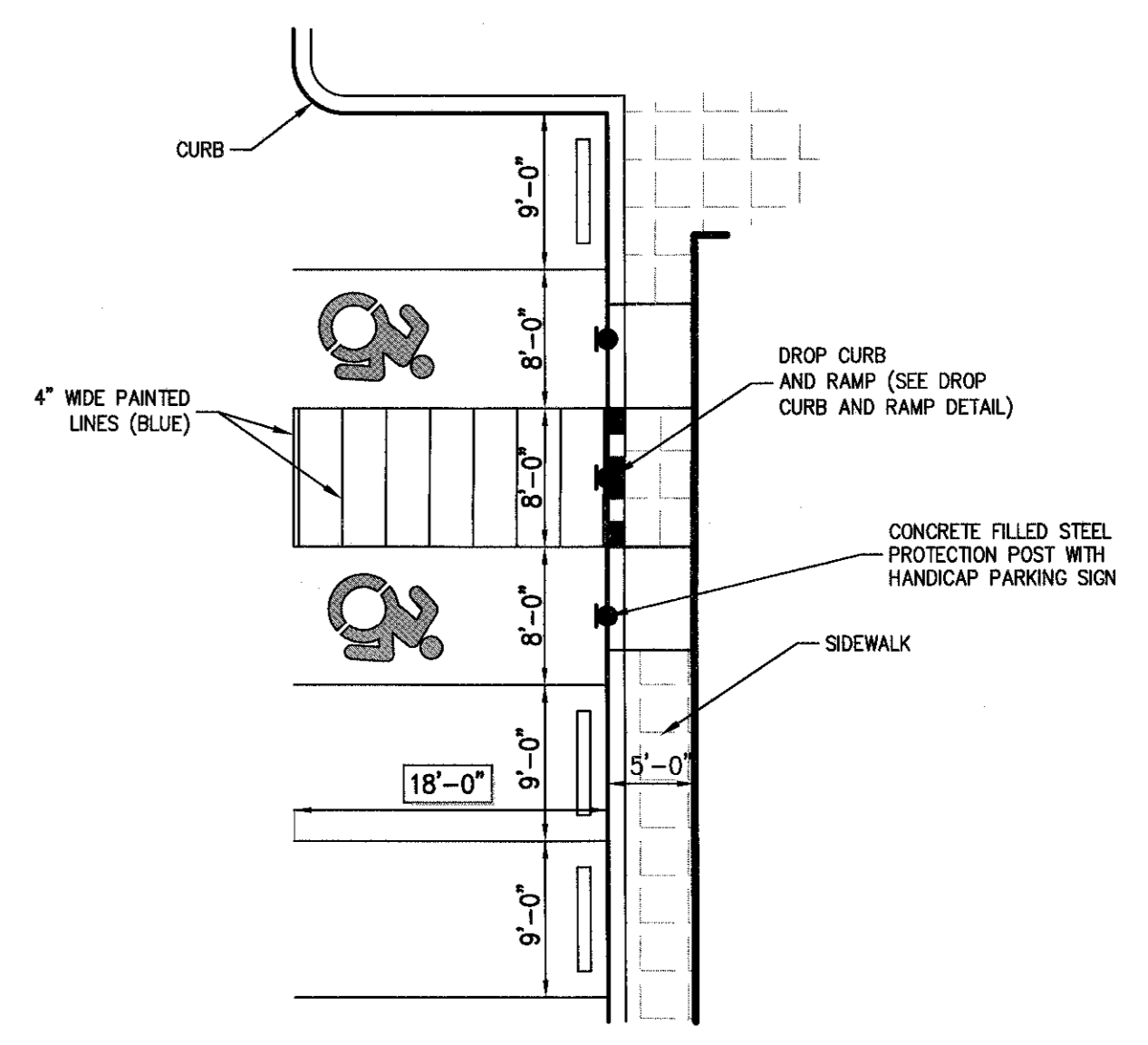
NOTES:
 1. INSTALL 1/2" PREMOULDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
 2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
 3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
 4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.



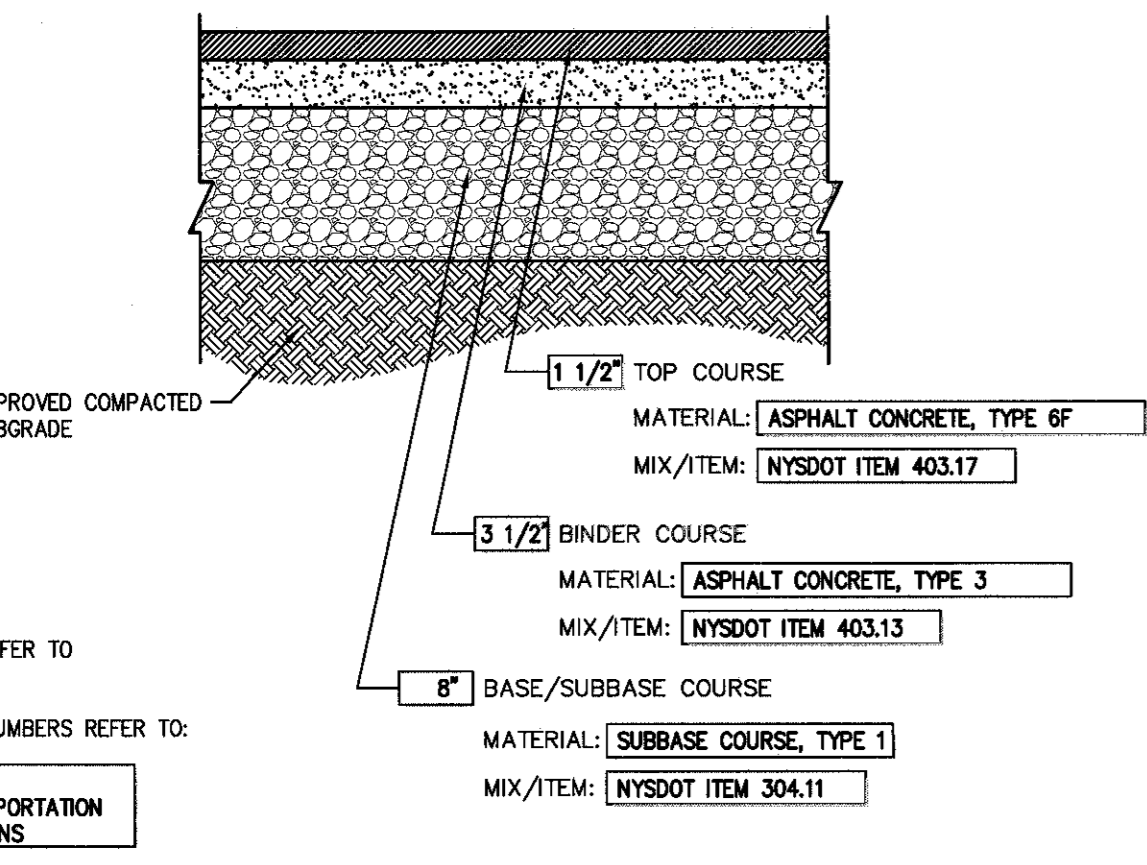
NOTES:
 1. PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 8" MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONTRACTION JOINT, WHICHEVER IS GREATER.
 2. JOINT SEALER CALLING SHALL BE PSI-841 LOW MODULUS SILICONE SEALANT, BY POLYMERIC SYSTEMS INC. OR APPROVED EQUAL. PREMOULDED EXPANSION JOINT SHALL BE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.
 3. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.)
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH
 5. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. 2% MAX.
 6. FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK

29



NOTE: SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%



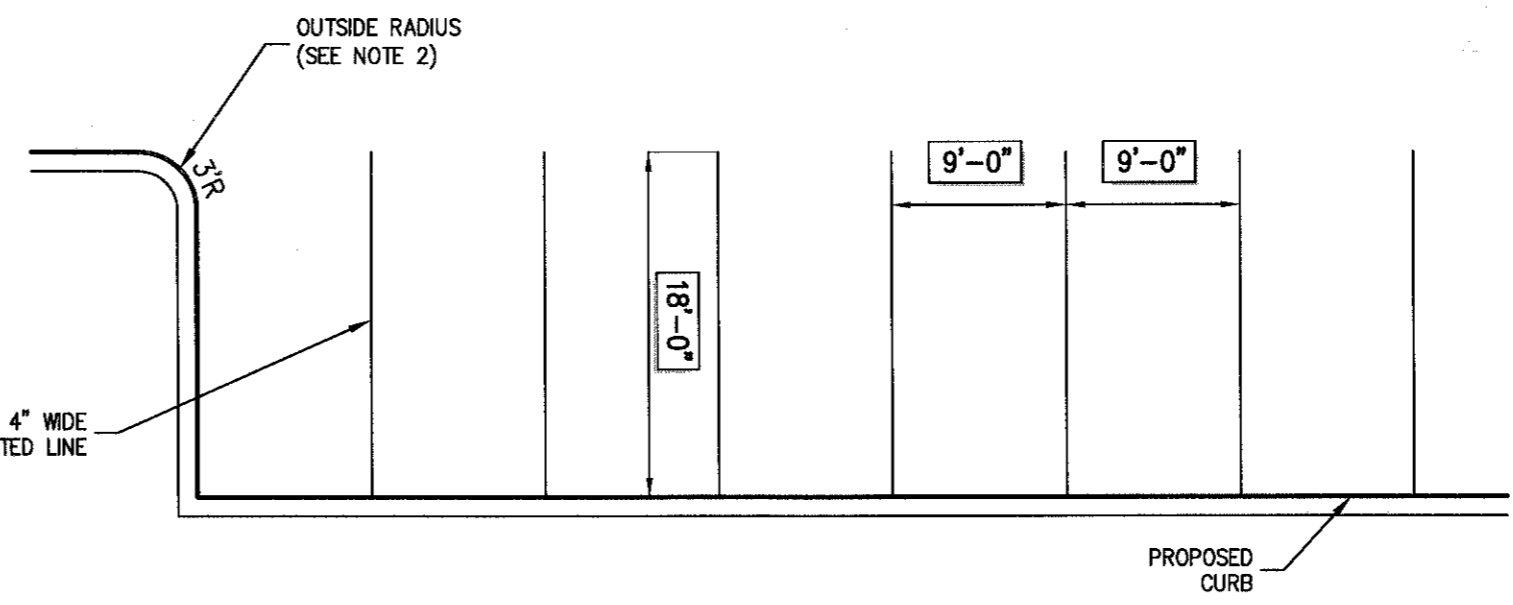
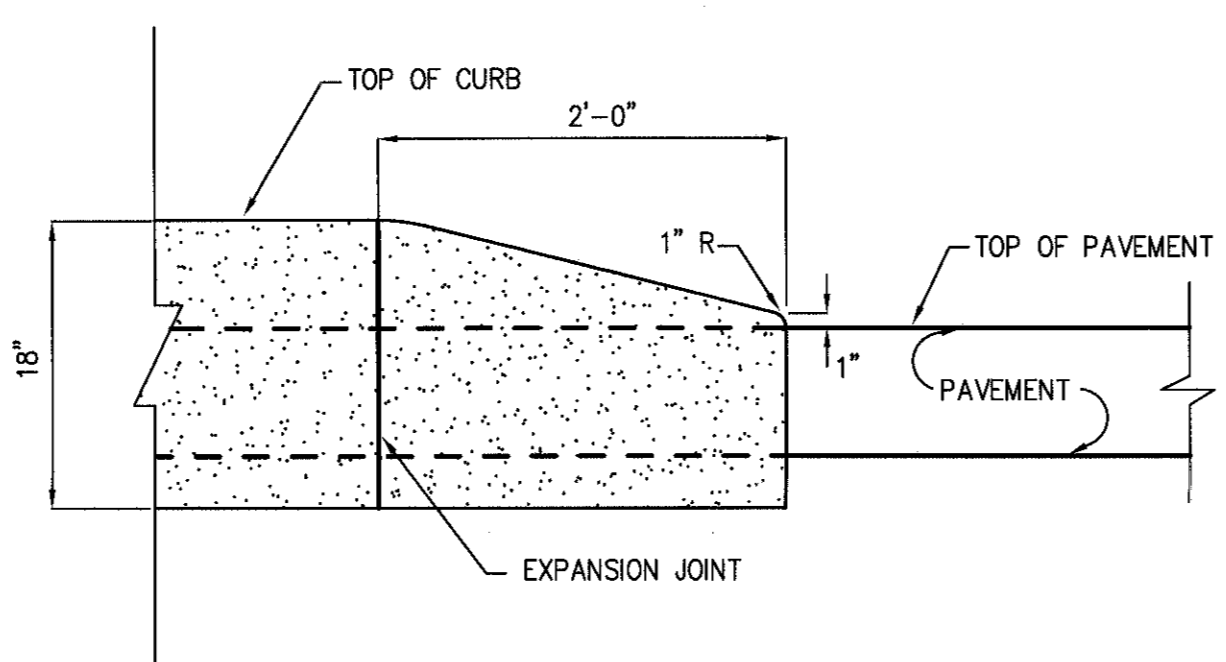
NOTES:
 1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:
 NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT
(Heavy Duty)

26

CONCRETE CURB ENDING

28



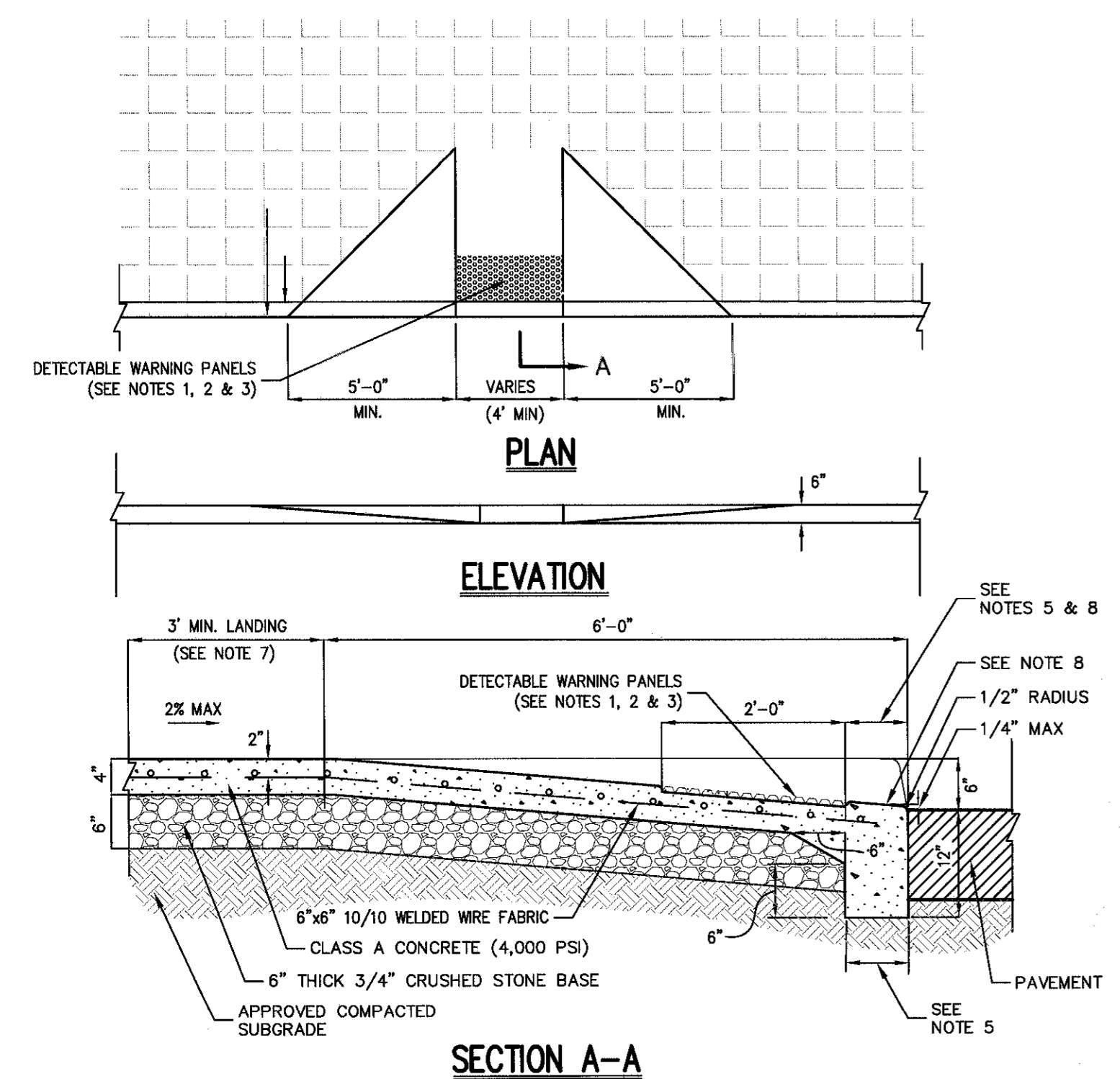
NOTES:
 1. COLOR OF PAINT SHALL BE WHITE.
 2. OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

90° PARKING

30

HANDICAP PARKING

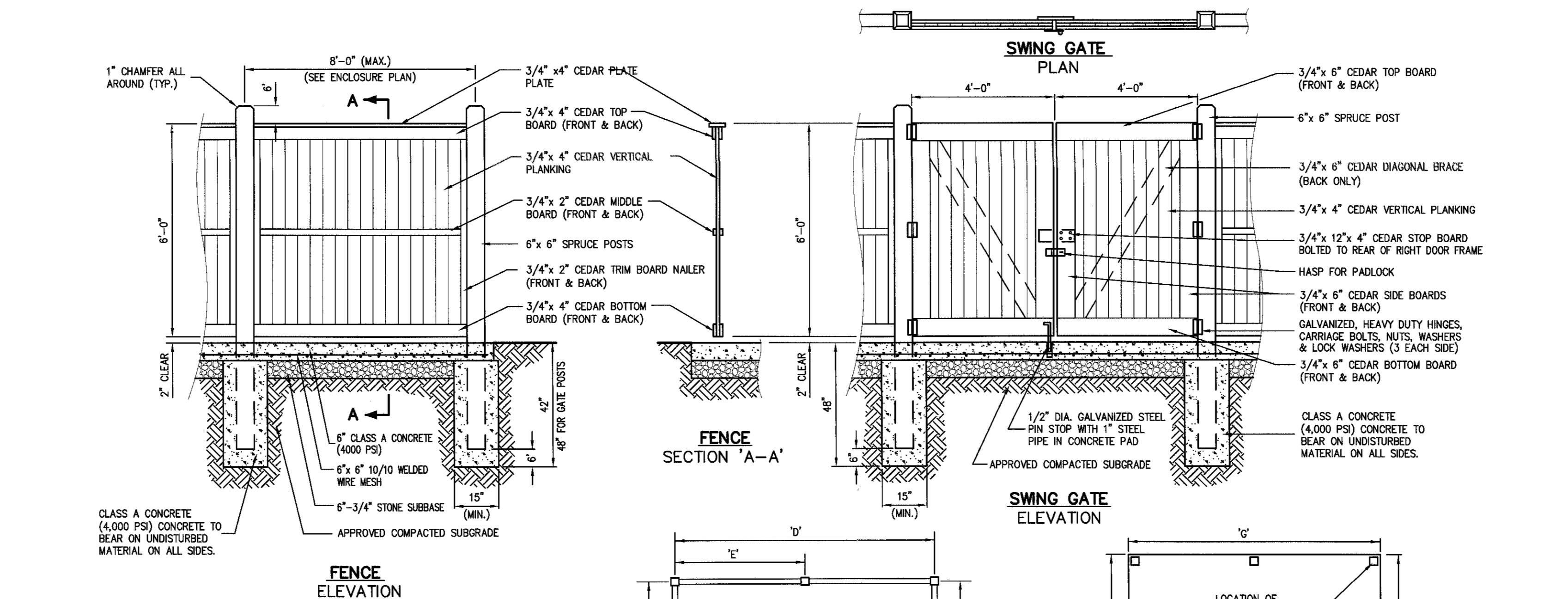
31



NOTES:
 1. RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 2. DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 35 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
 3. 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT FLOODING.
 7. WHEN LANDING OF RAMP ADJONS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
 MANUAL SWING DOORS = 60" MIN.
 FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
 8. CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

DROP CURB & RAMP (TYPE A)
WITH DETECTABLE WARNING

32



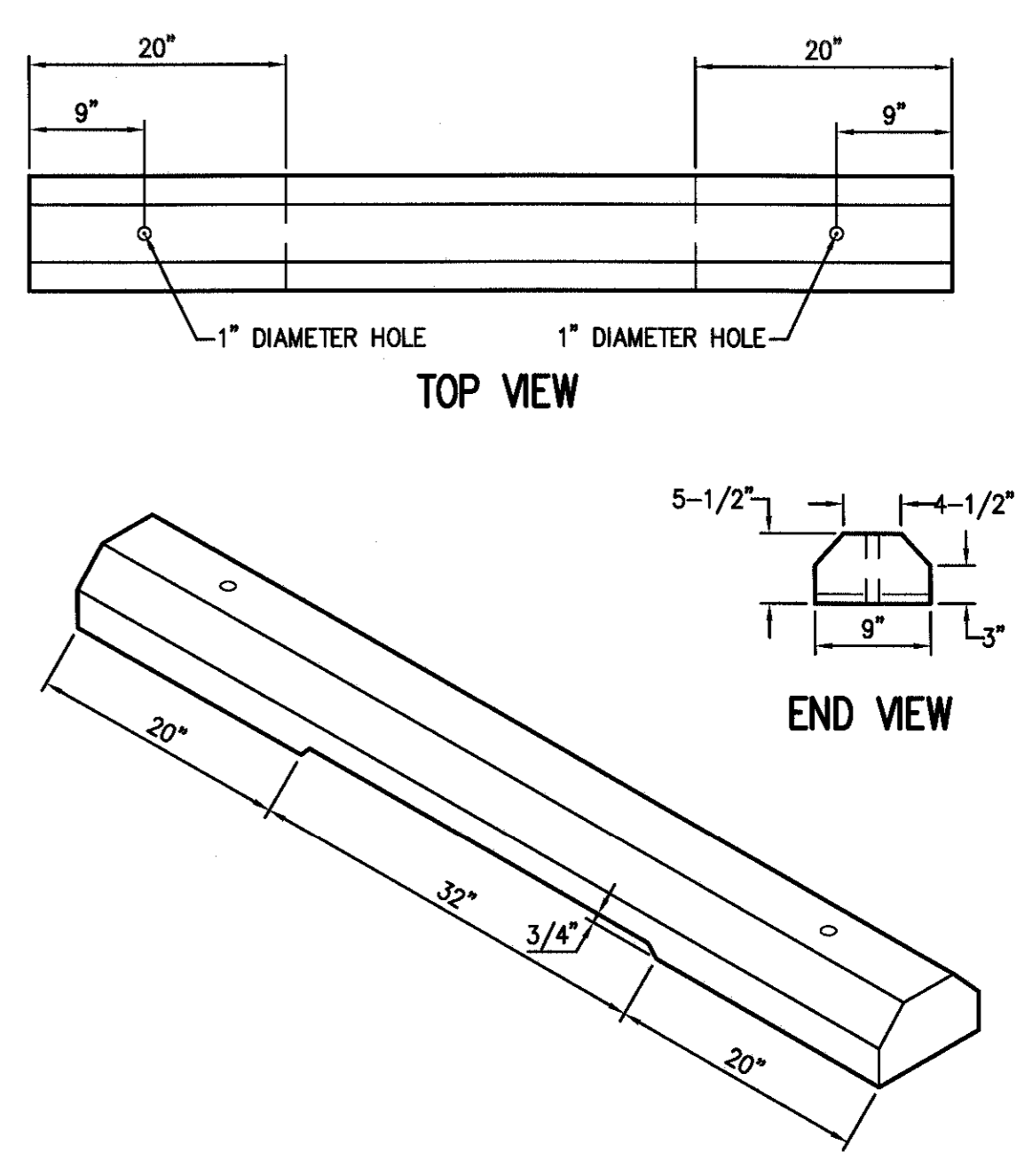
NOTES:
 1. METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
 2. ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
 3. SEE SITE LAYOUT PLANS FOR LOCATION.

SCHEDULE OF DIMENSIONS

	A	B	C	D	E	F	G	H	I
BUILDING 'A' ENCLOSURE	8'-2"	6'-2"	3'-1"	8'-8"	4'-4"	11'-2"	9'-8"	7'-2"	4'-0"
BUILDING 'B' ENCLOSURE	8'-6"	8'-4"	4'-3"	11'-10"	5'-11"	13'-6"	12'-10"	9'-6"	4'-0"

TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD)

33



NOTES:
 1. CONCRETE MINIMUM STRENGTH-4,000 PSI AT 28 DAYS
 2. REINFORCEMENT-#4 REBAR

CONCRETE BUMPER BLOCK

34

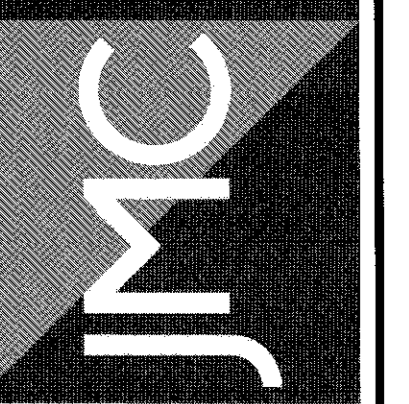
REVISIONS PER TOWN COMMENTS

No.	DATE	REVISION
1.	07/07/2017	RB

APPLICANT/OWNER: FARRELL HOLDING CO. LTD.
 100 WEST 107th STREET
 BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C.
 303 MILL STREET
 POUGHKEEPSIE, NY 12601

JMC Site Development Consultants, LLC
 120 BEEBROOK ROAD • ARBONAW, NY 11804
 607-894-2723 • 607-894-2724

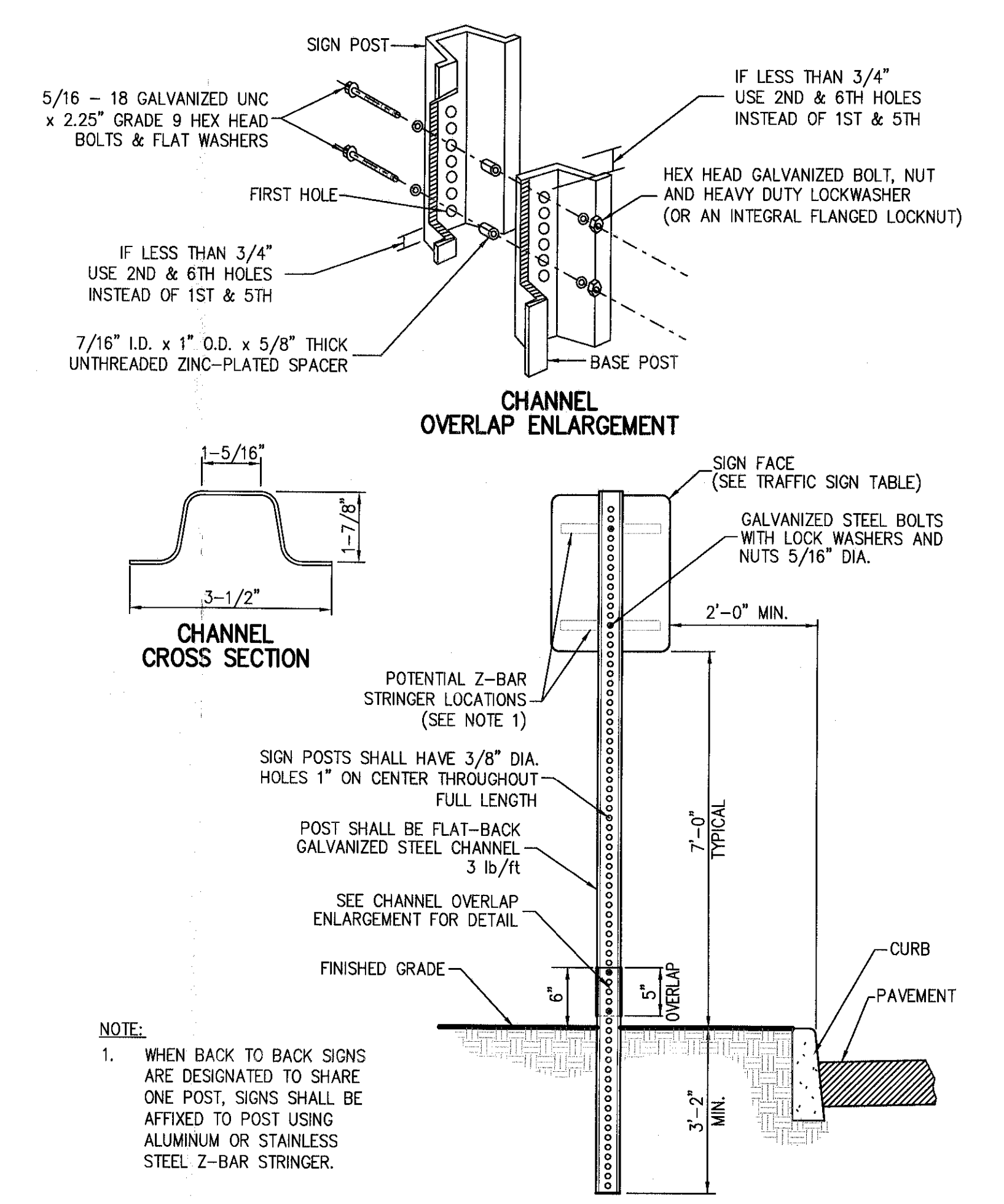
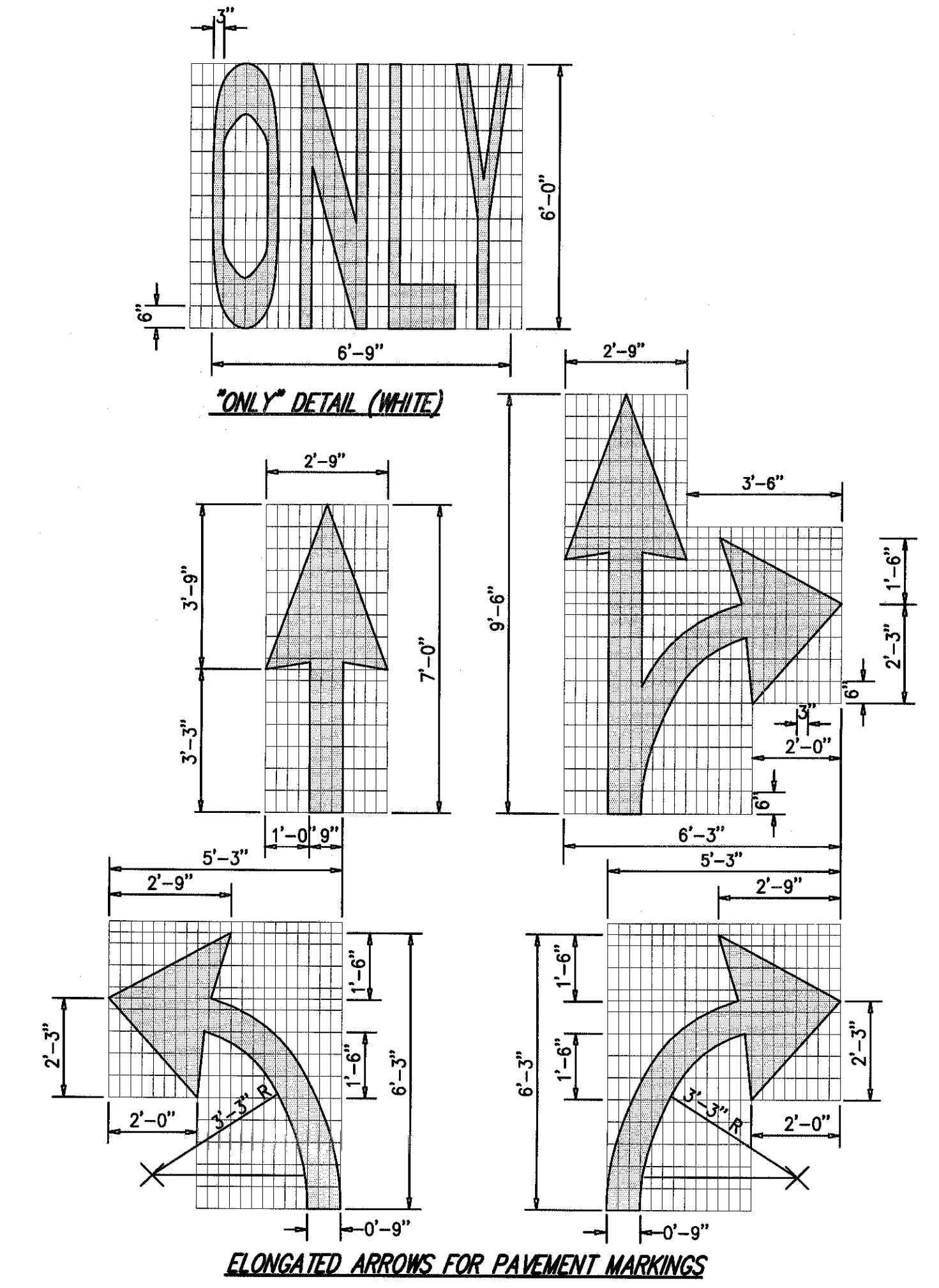
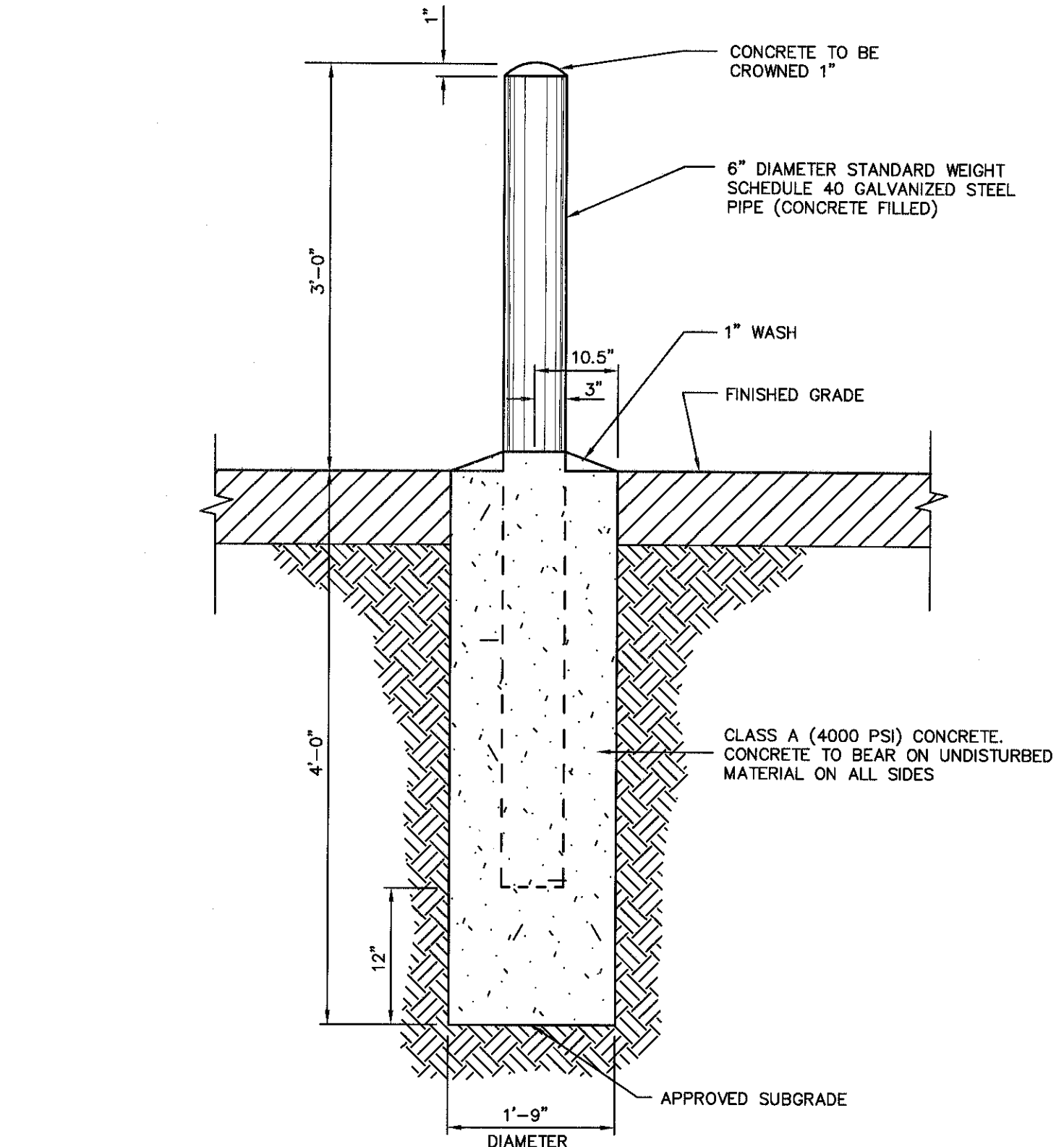
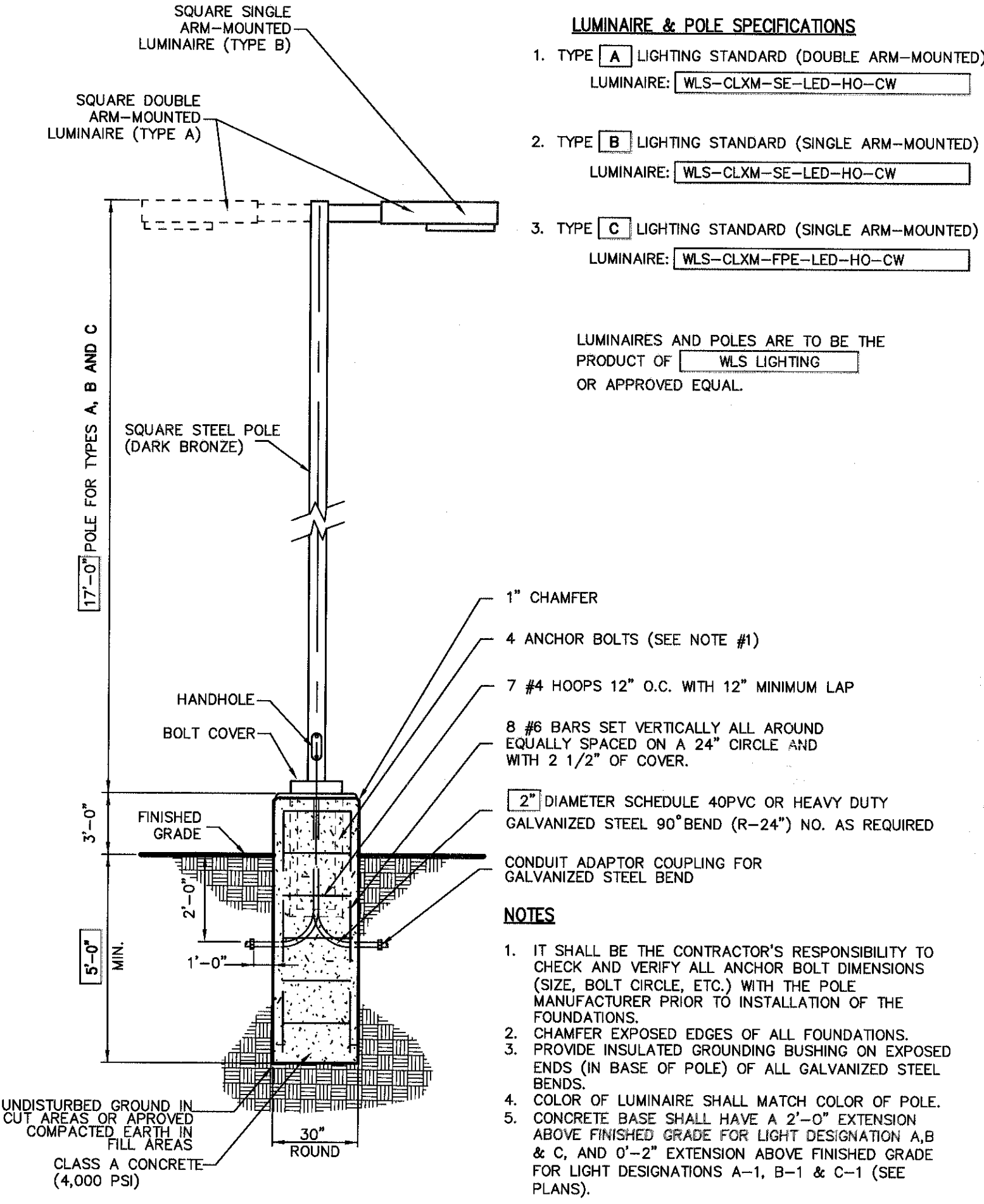


CONSTRUCTION DETAILS
 CORTLAND COMMONS
 5452 ROUTE 9N
 TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

Drawn: RC **Approved:** JS
Scale: NOT TO SCALE
Date: 02/23/2017
Project No.: 16055
ISSUE DETAILS: SP-13
Drawing No.: SP-13

NOT FOR CONSTRUCTION



LIGHTING STANDARD
(Arm Mounted)

35

STEEL PIPE PROTECTION POST

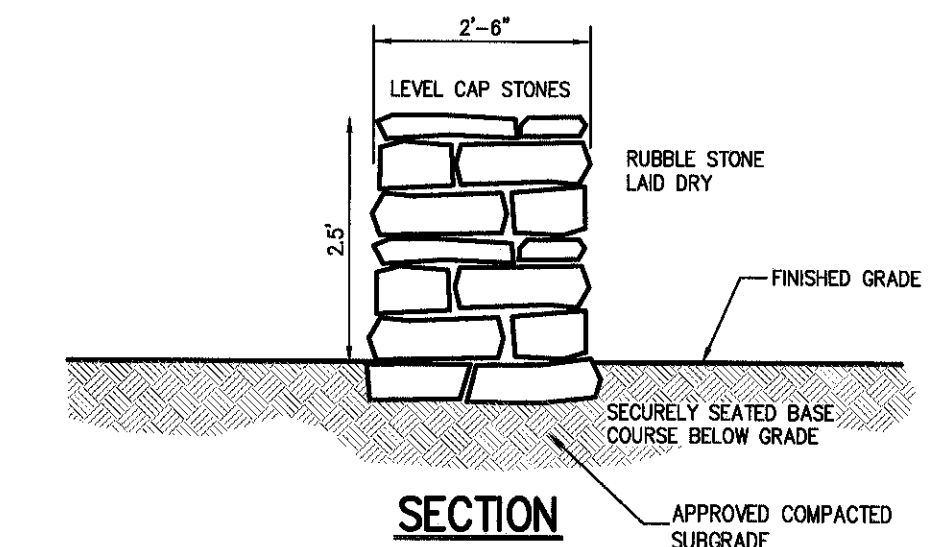
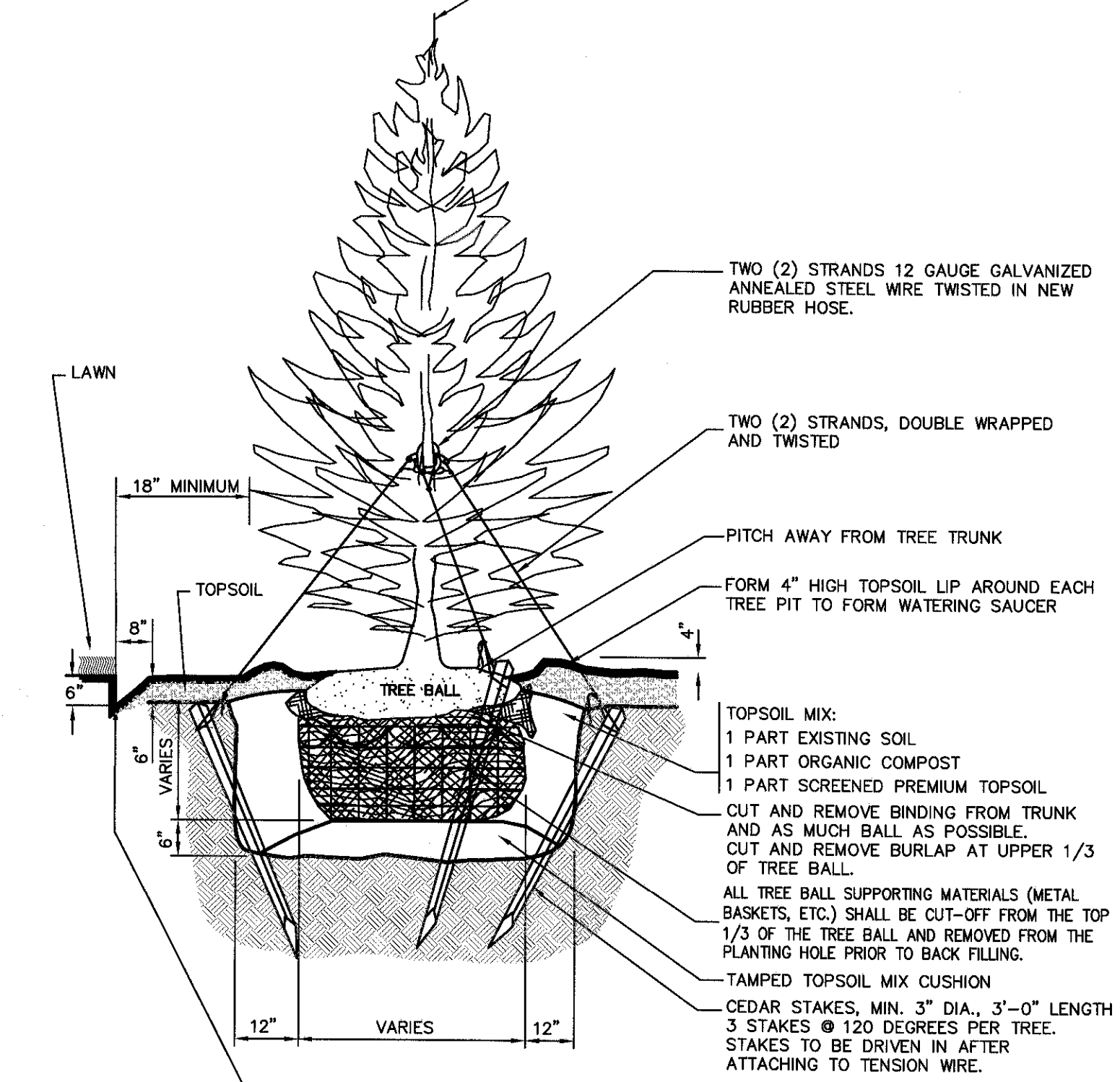
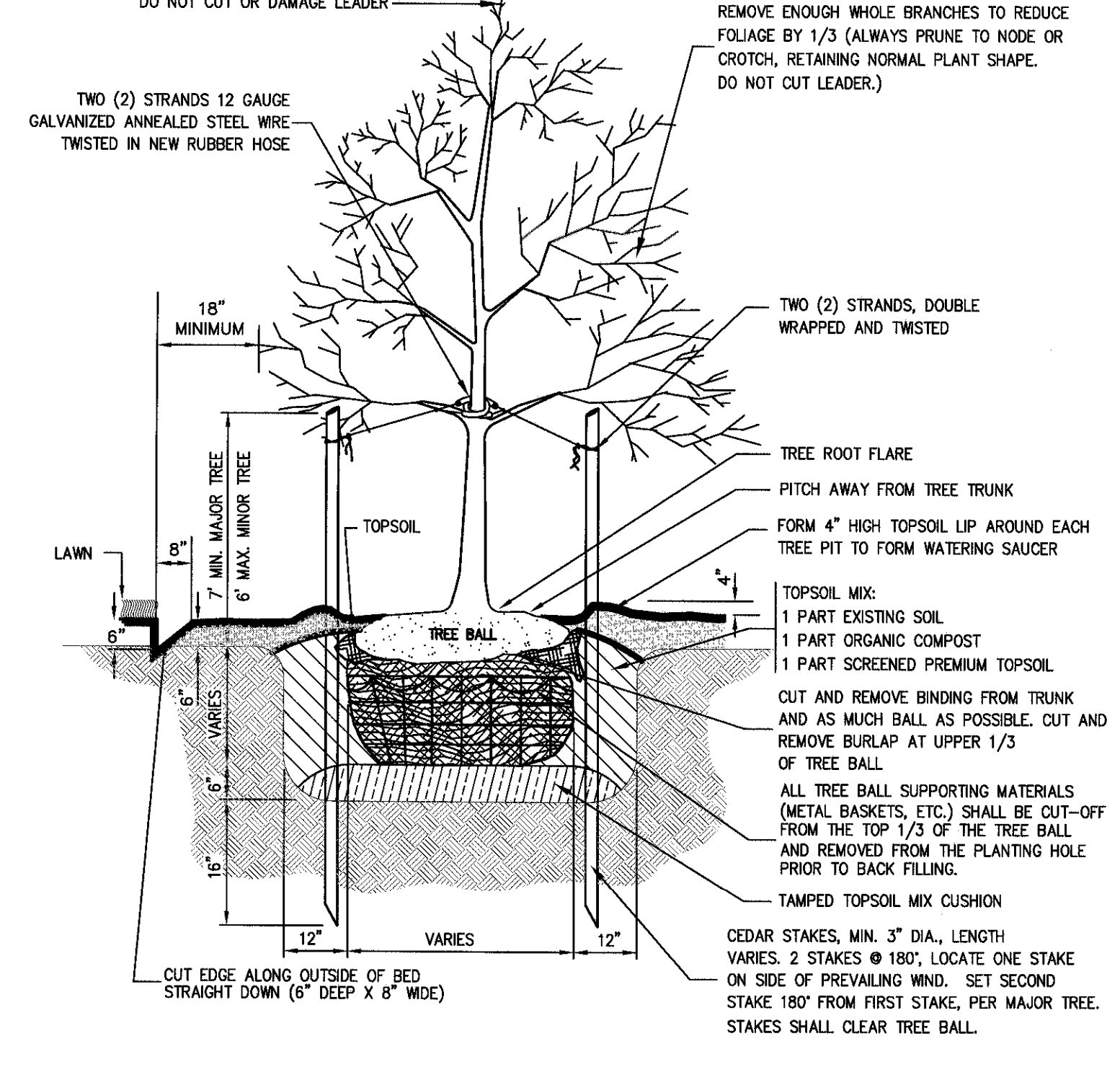
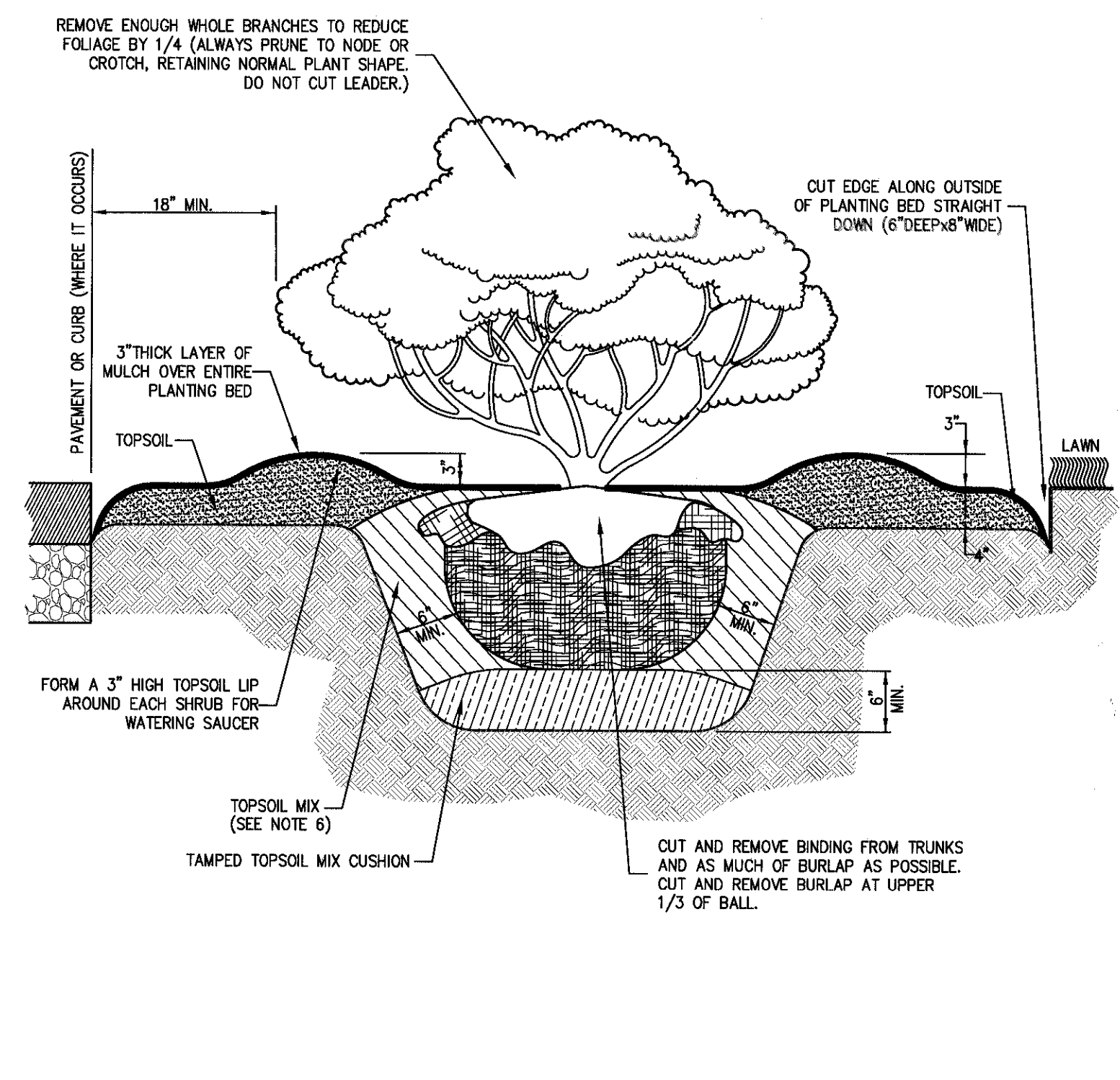
36

PAVEMENT TEXT & ARROWS
(ON-SITE)

37

TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL)

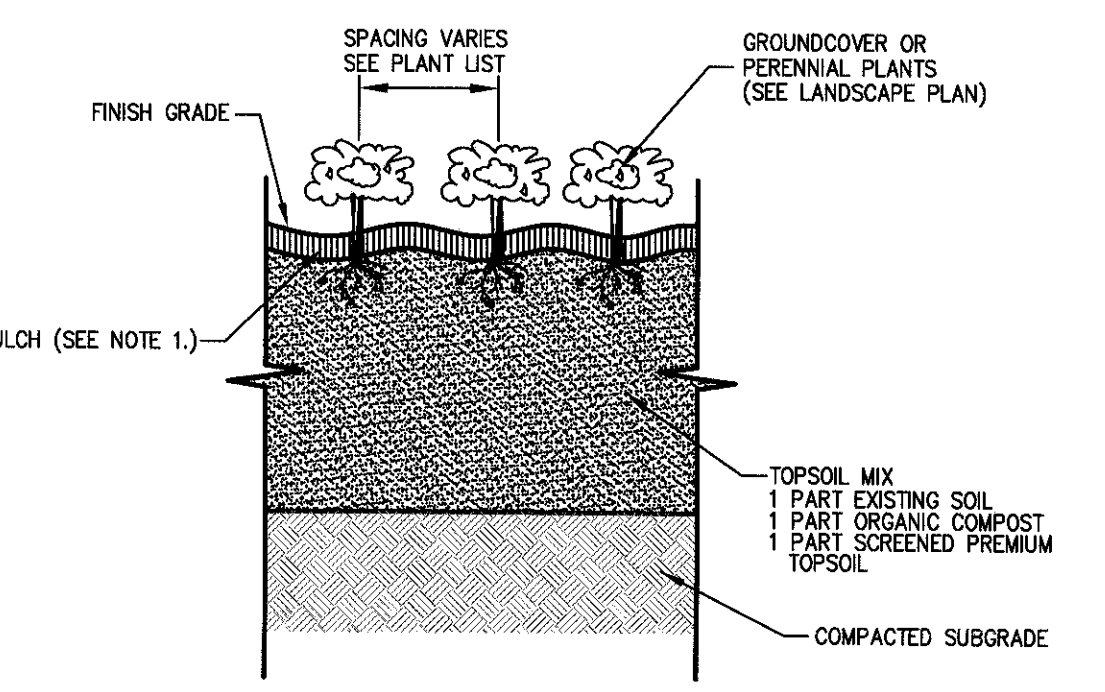
38



- NOTES:**
- THE CONTRACTOR MAY LAY RUBBLE STONE AVAILABLE FROM THE JOB SITE, PROVIDED THE STONE MEETS THE APPROVAL OF THE OWNERS FIELD REPRESENTATIVE.
 - STAGGER VERTICAL JOINTS FOR STRENGTH.
 - SET STONES TIGHTLY WITH MINIMAL MOVEMENT.
 - BATTER WALL 1 INCH PER FOOT OF HEIGHT.

DRY LAID STONE WALL

42



SHRUB PLANTING

39

DECIDUOUS TREE PLANTING

40

EVERGREEN TREE PLANTING

41

GROUND COVER PLANTING

43

NOT FOR CONSTRUCTION

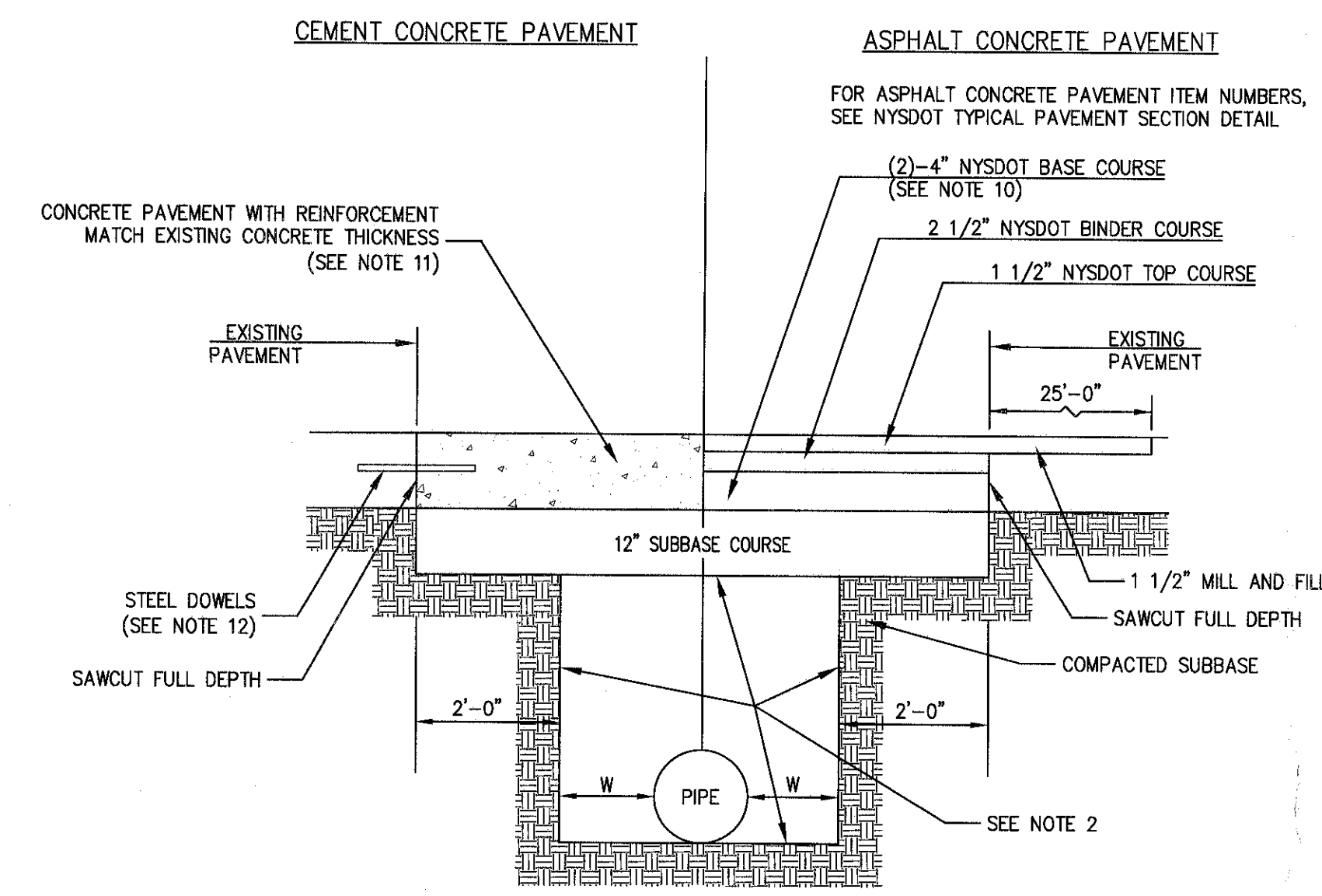
JMC
JMC Planning, Engineering, Landscaping, Architecture & Land Surveying, PLLC
John Meyer Consulting, Inc.
120 BELFORD ROAD - ARMONK, NY 10504
PHONE: 914.272.5225 - FAX: 914.272.1102
WWW.JMCPINC.COM

CONSTRUCTION DETAILS
CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEWBURGH, NY 12550

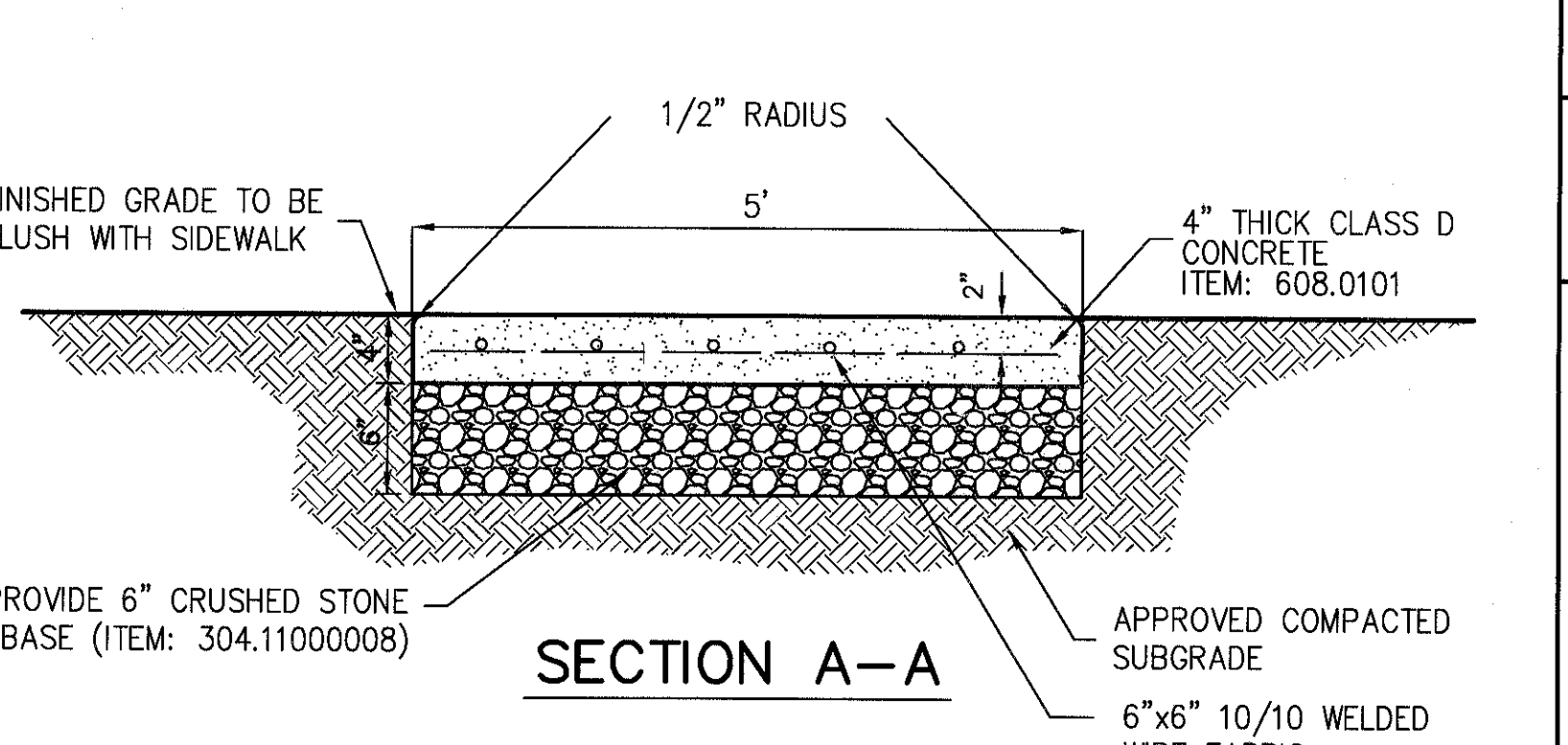
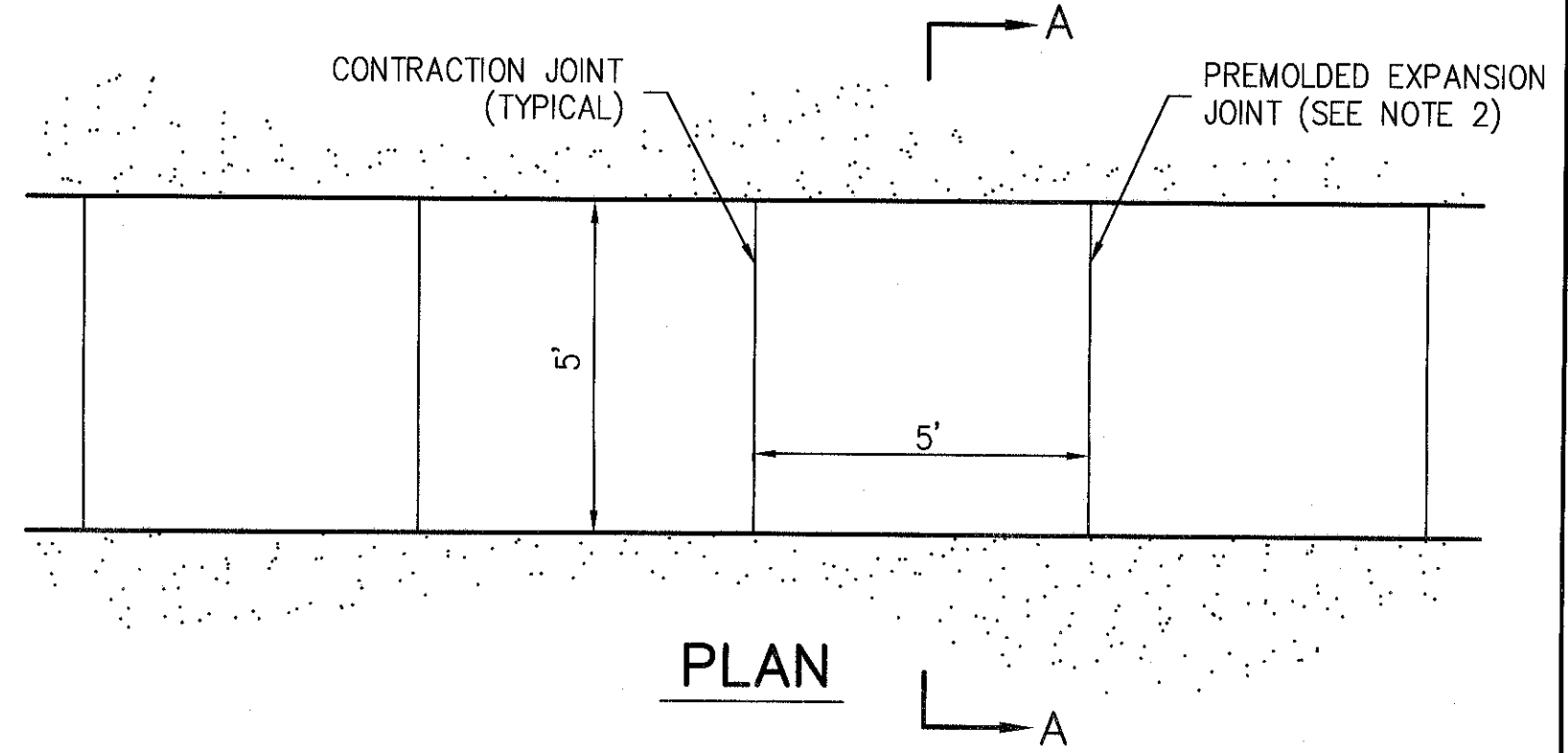
SP-14

By	07/07/2017	RB
Revised Per Town Comments		
No.	1.	

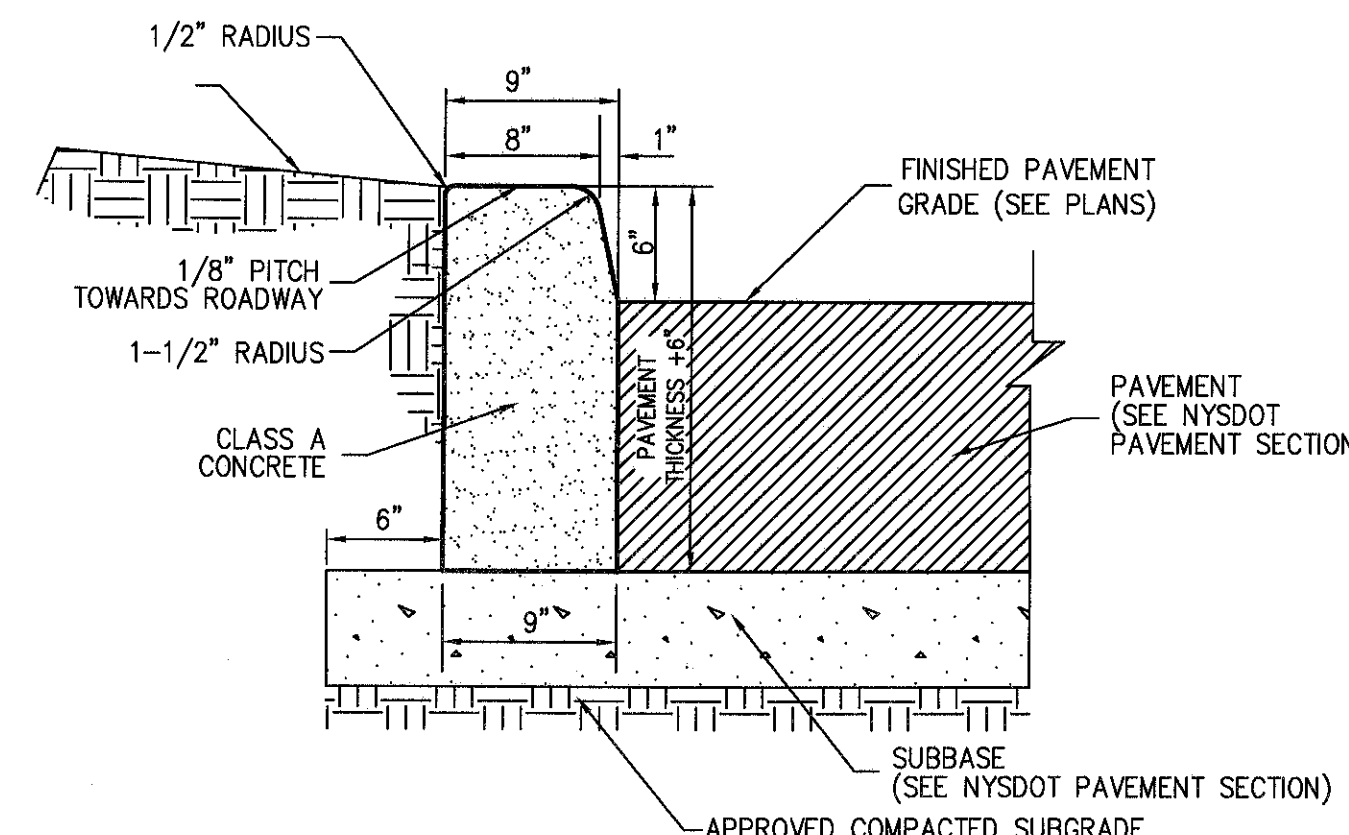
APPLICANT/COWNER: FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932
ARCHITECT: MAURI ARCHITECTS P.C.
303 MILL STREET
POUGHKEEPSIE, NY 12601



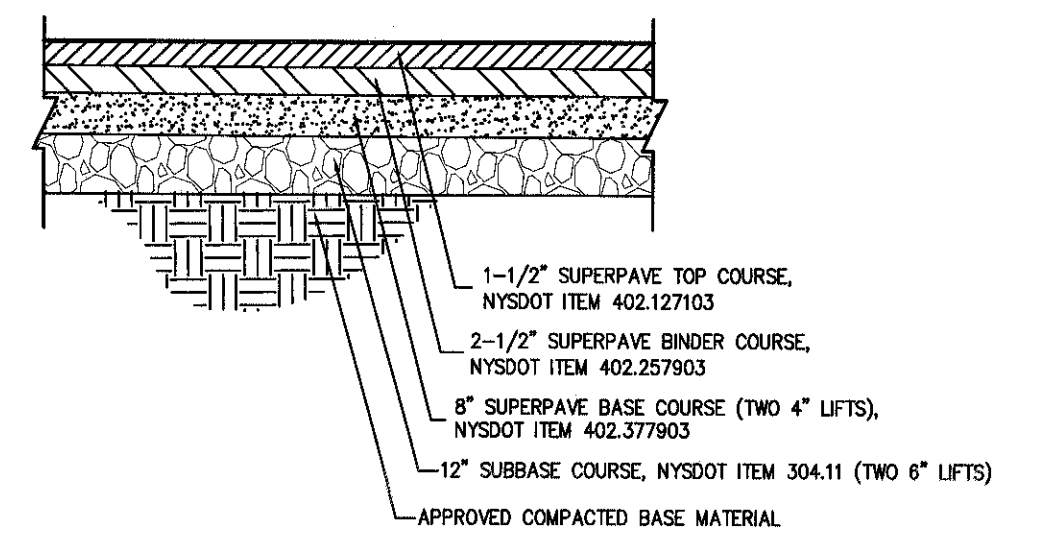
- NOTES:**
1. ALL MATERIALS SHALL BE PROVIDED AND WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND STANDARD SPECIFICATIONS AND ALL CURRENT ADDENDUM.
 2. WHEN "W" IS LESS THAN 18", CONTROLLED LOW STRENGTH BACKFILL (CLSM) SHALL BE USED. WHEN "W" IS 18" OR GREATER, THE BACKFILL SHALL BE SELECT GRANULAR FILL. MATERIAL AND PLACEMENT SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE STANDARD SPECIFICATIONS. COMPACTION TESTS WILL BE COMPLETED ON IN-PLACE SELECT GRANULAR FILL. THE CLSM HAS TO SET PRIOR TO BACKFILLING. THE CONTRACTOR MAY SURROUND THE PIPE OR UTILITY WITH SPECIAL MATERIAL SUBJECT TO APPROVAL OF THE ENGINEER.
 3. FOR LIGHTWEIGHT PIPE INSTALLATIONS, IT MAY BE NECESSARY TO COUNTERACT THE BUOYANCY OF THE PIPE DURING THE CLSM PLACEMENT. METHODS SUCH AS PARTIALLY FILLING WATER-TIGHT PIPES WITH WATER, OR USING ANCHOR STRAPS OR GRAVEL BAGS TO HOLD DOWN THE PIPES CAN BE USED TO PREVENT FLOTATION.
 4. WHERE THE DISTANCE BETWEEN THE TOP OF PIPE ELEVATION AND THE TOP OF THE SUBGRADE ELEVATION IS LESS THAN 2", CLSM SHALL BE USED FOR BACKFILL MATERIAL TO TOP OF SUBGRADE ELEVATION.
 5. WHERE UNSUITABLE MATERIAL IS ENCOUNTERED AT THE BOTTOM OF THE TRENCH, A LAYER OF SELECT GRANULAR FILL OR CLSM SHALL BE PLACED TO PROVIDE A STABLE BEDDING.
 6. DO NOT PLACE CLSM IN CONTACT WITH ALUMINUM PIPE OR CONNECTIONS UNLESS ALUMINUM IS COATED WITH AN APPROVED PRIMER.
 7. DO NOT PLACE CLSM CONTAINING FLY ASH IN CONTACT WITH CAST IRON OR DUCTILE IRON PIPES OR FITTINGS.
 8. ALL PAVEMENT JOINTS SHALL BE SEALED.
 9. ALL DISTURBED OR NEW PAVEMENT SHALL HAVE TEMPORARY PAVEMENT STRIPING INSTALLED WITHIN 24 HOURS, AND FINAL STRIPING BEFORE ACCEPTANCE OF WORK.
 10. THE 8" ASPHALT PAVEMENT BASE COURSES SHALL BE PLACED IN LIFTS NO GREATER THAN 4". IF THE EXISTING PAVEMENT IS GREATER THAN 12" TOTAL THICKNESS, THE BASE COURSE THICKNESS SHALL BE INCREASED SO THE BOTTOM OF THE RESTORATION PAVEMENT MATCHES THE EXISTING PAVEMENT.
 11. THE CEMENT CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS IF SECTION 502 OF THE SPECIFICATIONS. THE THICKNESS SHALL MATCH THE EXISTING CONCRETE PAVEMENT. THE STEEL REINFORCEMENT SHALL BE #4 BARS @ 12" ON CENTER. BARS SHALL BE PLACED NO LOWER THAN THE MEET REQUIREMENTS OF SECTION 556 OF THE SPECIFICATIONS. THE BARS SHALL HAVE 4" COVER AND BE PLACED NO LOWER THAN THE MEET REQUIREMENTS OF SECTION 556 OF THE SPECIFICATIONS.
 12. DRILL AND GROUT #8 BARS INTO EXISTING CONCRETE SLAB 12" MINIMUM @ 18" ON CENTER. BARS SHALL BE A MINIMUM OF 24" LONG.
 13. WHEN CEMENT CONCRETE PAVEMENT HAVING AN ASPHALT OVERLAY IS ENCOUNTERED, PAVEMENT REPLACEMENT OVER TRENCH SHALL FOLLOW THE REQUIREMENTS FOR ASPHALT CONCRETE PAVEMENT REPLACEMENT.



- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE.
 2. PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH
 5. ANY CONCRETE SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 6" AND INCLUDE STEEL MESH REINFORCEMENT WITH 3" OF TOP COVER.



NYSDOT TYPE VF150 CONCRETE CURB
(ITEM 608.0101)



- NOTES:**
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
 3. ASPHALT SHALL COMPLY WITH REQUIREMENTS FOR NUCLEAR GAUGE MONITORING WITH CORE VERIFICATION (TOP BINDER, BASES) SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 4. ITEM 407.2103 TACCORD SHALL BE APPLIED TO EACH LIFT OF ASPHALT AT THE FOLLOWING RATES:
- | SUBGRADE TYPE | NEW HOT MIX ASPHALT | APPLICATION RATE (LBS/1000 SQ YD) |
|--------------------------|---------------------|-----------------------------------|
| WELLED | 0.21 - 0.28 | |
| EXISTING HOT MIX ASPHALT | 0.21 - 0.28 | |
| PORTLAND CEMENT CONCRETE | 0.17 - 0.30 | |
| VERTICAL SURFACES | 0.27 - 0.32 | |

NYSDOT DETAIL OF PAVEMENT REPLACEMENT OVER TRENCH

44

CONCRETE SIDEWALK

45

NYSDOT FULL DEPTH PAVEMENT SECTION (SUPERPAVE)

47

X

GENERAL NOTES:

1. THESE SHEETS ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE REQUIREMENTS OF THE 2011 PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY PROGRAM.
2. DIMENSIONS SHOWN IN THE DETAILS AS MINIMUMS AND MAXIMUMS ARE THE LIMITS FOR DESIGN AND FIELD LAYOUT. FACILITIES SHALL NOT BE CONSTRUCTED WITH VALUES BEYOND THE LIMITS FOR WORK ACCEPTANCE. SEE THESE "DESIGN ELEMENT TOLERANCES" ON THIS SHEET. FURTHER INFORMATION IS PROVIDED ON "CRITICAL ELEMENTS FOR THE DESIGN LAYOUT" AND ACCEPTANCE CRITERIA AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 14 WEBSITE.
3. NOT ALL FACILITIES CAN BE CONSTRUCTED TO MEET THE DESIGN STANDARDS. FACILITIES THAT CANNOT BE CONSTRUCTED TO MEET THE DESIGN STANDARDS SHALL BE IDENTIFIED AS "NON-STANDARD" AND THE GREATEST EXTENT PRACTICABLE. NONSTANDARD FACILITIES SHALL BE IDENTIFIED PER HIGHWAY DESIGN MANUAL CHAPTER 2, EXHIBIT 2-15A.
4. TO CHECK FIELD LAYOUT AND TO VERIFY WORK ACCEPTANCE, ALL SLOPES AND GRADES WILL BE MEASURED WITH A 4 FOOT LONG DIGITAL LEVEL. ALL SLOPES AND GRADES SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL. SLOPES WILL BE MEASURED ALONG THE CENTERLINE AND OFFSET 12" TO 18" FROM THE CENTERLINE. CROSS SLOPES WILL BE MEASURED PERPENDICULAR TO CENTERLINE AT 9" TO 10" INTERVALS.
5. GRADES (INCLUDING SLOPES) ARE MEASURED IN THE DIRECTION OF PEDESTRIAN TRAVEL. CROSS SLOPES ARE MEASURED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
6. JOINTS BETWEEN SIDEWALKS, CURB RAMPS, TURNING SPACES AND RAMPWAYS SHALL BE FLUSH AND FREE FROM ABRUPT VERTICAL CHANGES GREATER THAN 1/4" VERTICAL SURFACE DISCONTINUITIES BETWEEN 1/4" AND 1/2" SHALL BE PERMITTED WITH SLOPES NOT STEEPER THAN 1:10. THE SLOPE SHALL BE APPLIED ACROSS THE ENTIRE JOINT. SEE DETAIL ON SHEET 17 OF 9.
7. SIDEWALKS ARE CONNECTED TO ROADWAYS BY EITHER BLENDED TRANSITIONS OR CURB RAMPS. BLENDED TRANSITIONS ARE CONNECTIONS BETWEEN THE SIDEWALK LEVEL AND THE ROADWAY LEVEL THAT HAVE A MAXIMUM GRADE (INCLUDING SLOPE) OF 5% AND TRANSITIONS GREATER THAN 5% ARE CONSIDERED CURB RAMPS.
8. CURB RAMPS AND BLENDED TRANSITIONS MAY REQUIRE THE INSTALLATION OF DETECTABLE WARNING SURFACES. SEE ADDITIONAL "DETECTABLE WARNING SURFACE" ON THIS SHEET, AND DETAILS ON SHEET 2 OF 9 FOR DIMENSIONS, ORIENTATION AND INSTALLATION.
9. VERTICAL ALIGNMENT SHALL BE GENERALLY PLANAR. GRADE BREAKS WITHIN THE PEDESTRIAN ACCESS ROUTE SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL AND SHALL NOT BE ROUNDED.
10. MATERIAL DEPTHS SHOWN ON THESE SHEETS ARE TYPICAL MINIMUM VALUES AND MAY BE DIFFERENT IN THE CONTRACT DOCUMENTS.
11. SIDEWALK GRADE (INCLUDING SLOPES) SHALL NOT BE DESIGNED TO EXCEED 4.5% EXCEPT WHEN MATCHING INTO EXISTING SIDEWALK OR WHEN THE HIGHWAY GRADE IS STEEPER. WHEN HIGHWAY GRADE IS GREATER THAN 5%, THE SIDEWALK GRADE SHALL NOT EXCEED THE HIGHWAY GRADE.
12. THE CROSS SLOPE OF PEDESTRIAN ACCESS ROUTES SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE. THE FOLLOWING EXCEPTIONS ARE ALLOWED:
 - A. WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WITHOUT YIELD OR STOP CONTROL, OR WHERE THERE IS NO TRAFFIC SIGNAL WITHOUT A FLASHING RED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A STREET CROSSING SHALL BE 4.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 5% MAXIMUM FOR WORK ACCEPTANCE.
 - B. WHERE MIDDLE PEDESTRIAN STREET CROSSINGS ARE PROVIDED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A MIDDLE PEDESTRIAN STREET CROSSING SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE.
13. THE MINIMUM CLEAR WIDTH FOR PEDESTRIAN ACCESS ROUTES IS 4'-0", EXCLUSIVE OF THE CURB. WHEN WALKWAY WIDTHS ARE LESS THAN 5'-0":
 - A. 5'-0" PASSING SPACES SHOWN IN DETAIL A, B, OR C, OR A FEATURE OF EQUAL OR GREATER DIMENSION, E.G., DRIVEWAYS THAT MEET THE SLOPE CRITERIA, SHALL BE PROVIDED AT A MAXIMUM INTERVAL OF 500' EXISTING DRIVEWAYS AND STREET CROSSINGS MAY ALSO SERVE AS PASSING SPACES.
14. THE BUFFER ZONE IS A UNIDIRECTIONAL DISTANCE SEPARATING THE PEDESTRIAN ACCESS ROUTE FROM THE REGULAR TRAFFIC WAY. THE BUFFER ZONE MAY BE PLANTED OR PAVED. THE BUFFER ZONE WIDTH, EXCLUSIVE OF CURB, IS LESS THAN 3'-0" THE SURFACE SHOULD BE PAVED OR CONSTRUCTED WITH HARDSCAPE MATERIALS.
15. THE MAXIMUM RECOMMENDED CROSS SLOPE OF A TURF BUFFER ZONE OR SLOPE TRANSITION BEHIND SIDEWALK IS 2%. BUFFER ZONES WITH A CROSS SLOPE GREATER THAN 2% SHOULD BE PAVED, PLANTED OR CONSTRUCTED WITH HARDSCAPE MATERIALS.
16. WHEN CROSSING DRIVEWAYS, THE WORK SHALL BE IN CONFORMANCE WITH STANDARD SHEET 608-03.
17. FOR PEDESTRIAN SIGNALS AND PEDESTRIAN PUSH BUTTONS, REFER TO STANDARD SHEET 608-01 FOR DETAILS.
18. WHERE EXISTING ROADWAYS ARE SAWCUT TO INSTALL CURBING AND/OR SIDEWALK, THE ROADWAY SHOULD BE SAWCUT AT LEAST 2'-0" FROM THE PROPOSED CURB LINE TO ALLOW FOR ADEQUATE COMPACTION OF ASPHALT. SAWCUTS LESS THAN 2'-0" FROM PROPOSED CURB LINE SHALL BE REBUILT USING CLASS C CONCRETE. SEE DETAILS ON SHEET 9 OF 9.

DESIGN ELEMENT TOLERANCES

ELEMENT	DESIGN AND FIELD LAYOUT LIMIT	LIMIT FOR WORK ACCEPTANCE
SIDEWALK CROSS SLOPE - SEE NOTE 12	1.5% MAX.	2.0% MAX.
SIDEWALK GRADE (INCLUDING SLOPE) - SEE NOTE 11	4.5% MAX.	5.0% MAX.
CURB RAMP GRADE (INCLUDING SLOPE) - SEE NOTE 21	1.5% MAX.	2.5% MAX.
BLENDED TRANSITION GRADE (INCLUDING SLOPE) - SEE NOTE 7	4.5% MAX.	5.0% MAX.

DETECTABLE WARNING NOTES:

30. DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS ON PEDESTRIAN ACCESS ROUTES:
 - A. CURB RAMPS AND BLENDED TRANSITIONS AT PEDESTRIAN STREET CROSSINGS.
 - B. PEDESTRIAN REFUGE ISLANDS WHERE THE LENGTH OF THE PEDESTRIAN ACCESS ROUTE ACROSS THE REFUGE ISLAND IS GREATER THAN OR EQUAL TO 6 FEET.
 - C. PEDESTRIAN AT-GRADE RAIL CROSSINGS NOT LOCATED WITHIN A STREET OR HIGHWAY.
31. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAY APRONS.
32. SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. THE BORDER SHALL NOT EXCEED 2". WHERE THE BACK OF CURB EDGE IS TOOLED TO PROVIDE A RADIUS, THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE CURB RAMP.
33. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOWNS REFLECTED ON THE DETECTABLE WARNING UNIT IS FOR ILLUSTRATION ONLY. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND SHALL EXCEED THE FIELD WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES. THE WIDTH OF THE DETECTABLE WARNING FIELD INCLUDES A CONCRETE BORDER, IF PROVIDED.
34. ON SLOPES OF 5% OR GREATER, THE DOWNS OF DOWNS SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP. WHERE DOWNS ARE ARRANGED RADIALLY THEY MAY DIFFER IN SOME DIMENSION AND CENTER-TO-CENTER SPACING WITHIN THE DIMENSIONS SPECIFIED ON SHEET 2. ON SLOPES LESS THAN 5% DOWNS ORIENTATION IS LESS CRITICAL AND THEY MAY DIFFER FROM PERPENDICULAR OR RADIAL ALIGNMENT TO THE GRADE BREAK.
35. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT CURBS, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET

SIDEWALK AND CURB RAMP DETAILS (SHEET 1 OF 9)

APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
/s/ RICHARD W. LEE, P.E., DEPUTY CHIEF ENGINEER 608-01

48

NYSDOT FULL DEPTH PAVEMENT SECTION (SUPERPAVE)

DETECTABLE WARNING SURFACE (DWS) PLACEMENT OPTION DETAILS

DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAILS

TRUNCATED DOME DIMENSIONS	DIA. (IN.)	MIN. DIA. (IN.)	MAX. DIA. (IN.)
A	1.6"	2.4"	
B	0.66"	1.2"	
C	50% - 65% OF D DIA.		
D	0.9"	1.4"	

VERTICAL SURFACE DISCONTINUITIES
SEE NOTE 6 ON SHEET 1 OF 9

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET

SIDEWALK AND CURB RAMP DETAILS (SHEET 2 OF 9)

APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
/s/ RICHARD W. LEE, P.E., DEPUTY CHIEF ENGINEER 608-01

49

NOT FOR CONSTRUCTION

CONSTRUCTION DETAILS

CORTLAND COMMONS
TOWN OF NEWBURGH, NY 12550

JMC

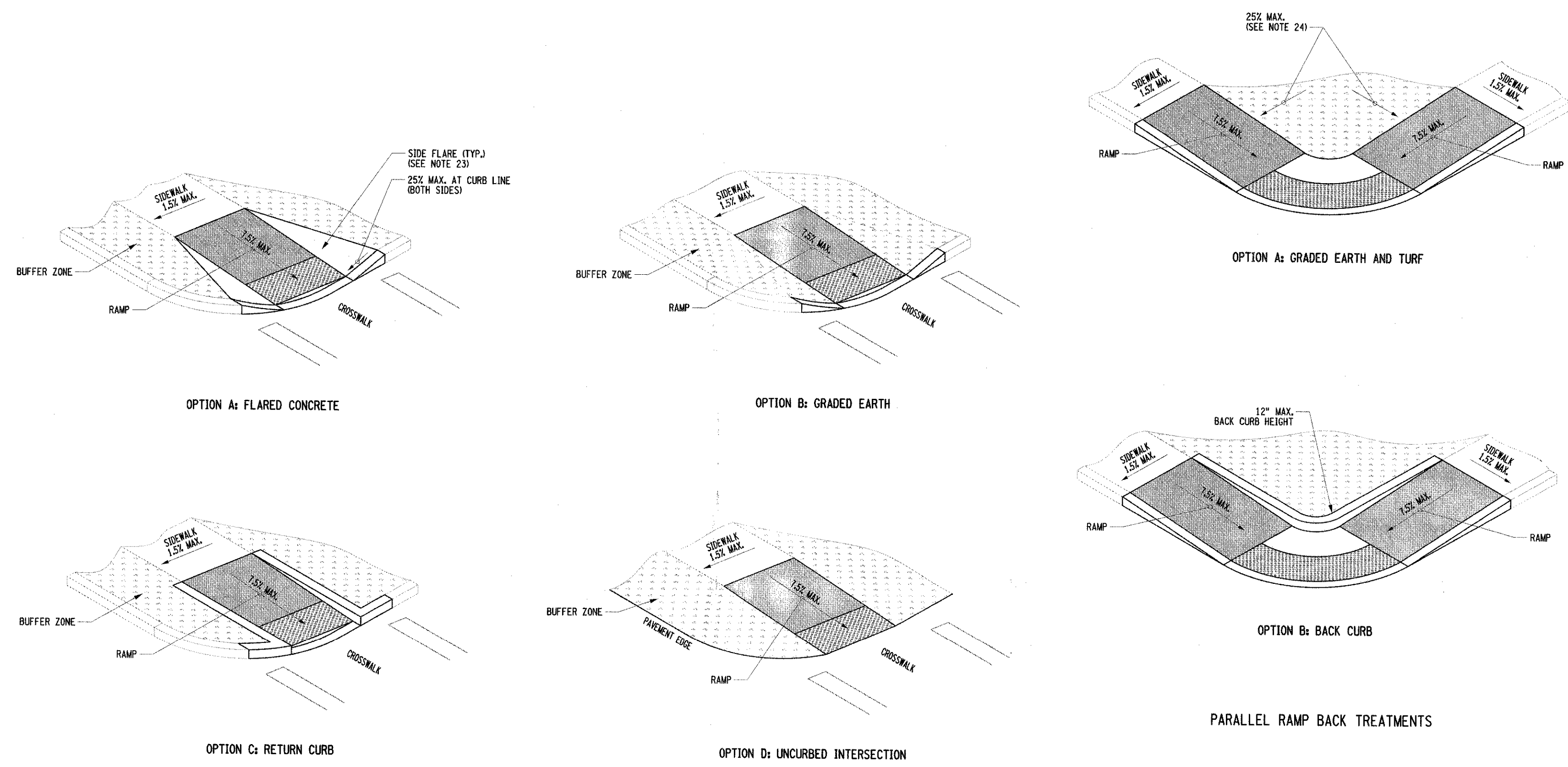
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Project: RC
Scale: NOT TO SCALE
Date: 02/23/2017
Project No: 16055
ISSUE NO: 09-15
Drawing No: SP-15

APPLICANT: FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C.
303 MILL STREET
POUGHKEEPSIE, NY 12601

REVISION: 1. REVISED PER TOWN COMMENTS
Date: 07/07/2017
By: RB



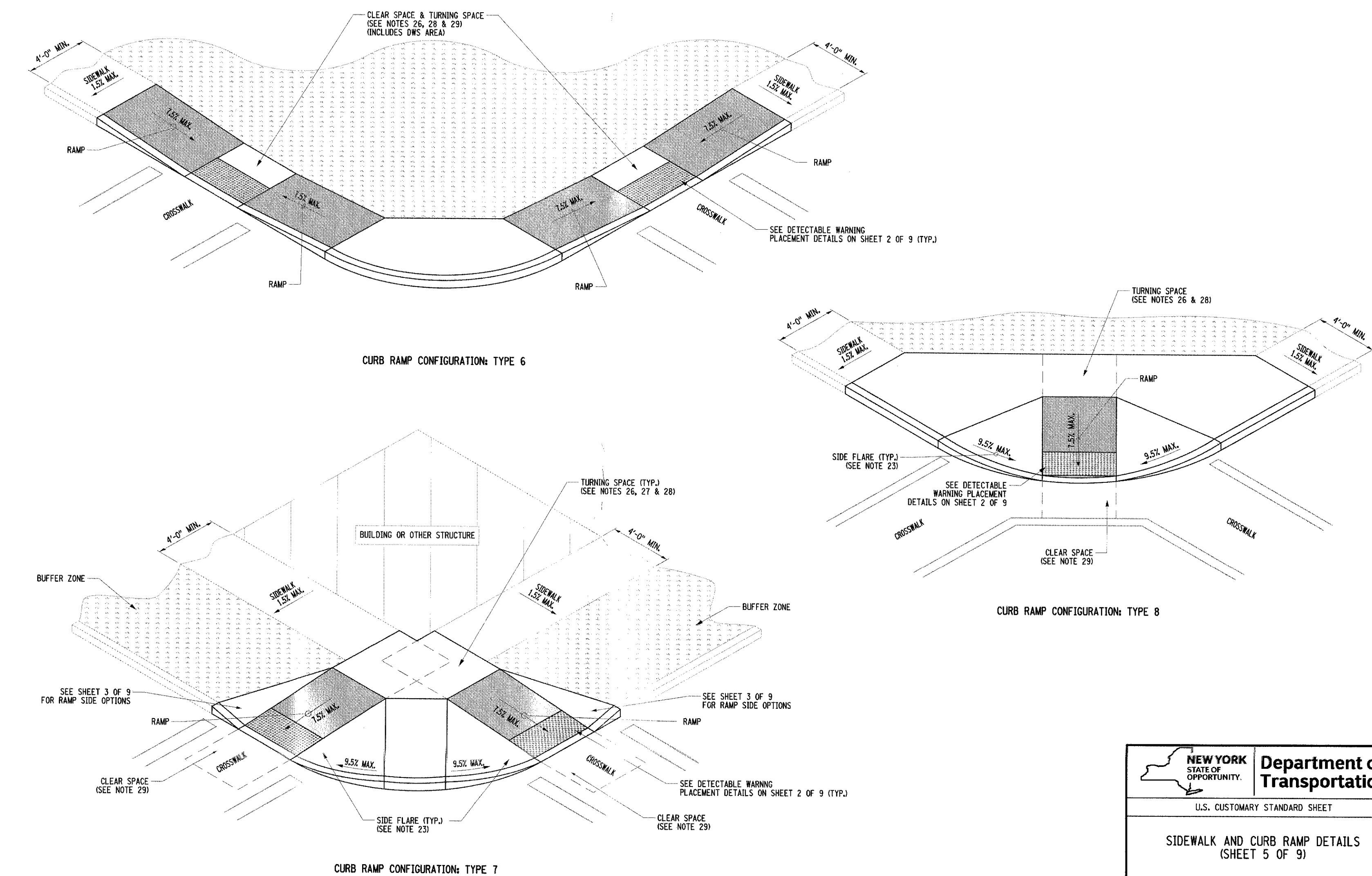
RAMP SIDE CONFIGURATIONS

NEW YORK STATE OF OPPORTUNITY
Department of Transportation
 U.S. CUSTOMARY STANDARD SHEET
SIDEWALK AND CURB RAMP DETAILS
 (SHEET 3 OF 9)
 APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
 /S/ RICHARD W. LEE, P.E.
 DEPUTY CHIEF ENGINEER (DESIGN) 608-01

NOTE:
 ALL NOTES REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-01, SHEET 1 OF 9.

CONCRETE SIDEWALK

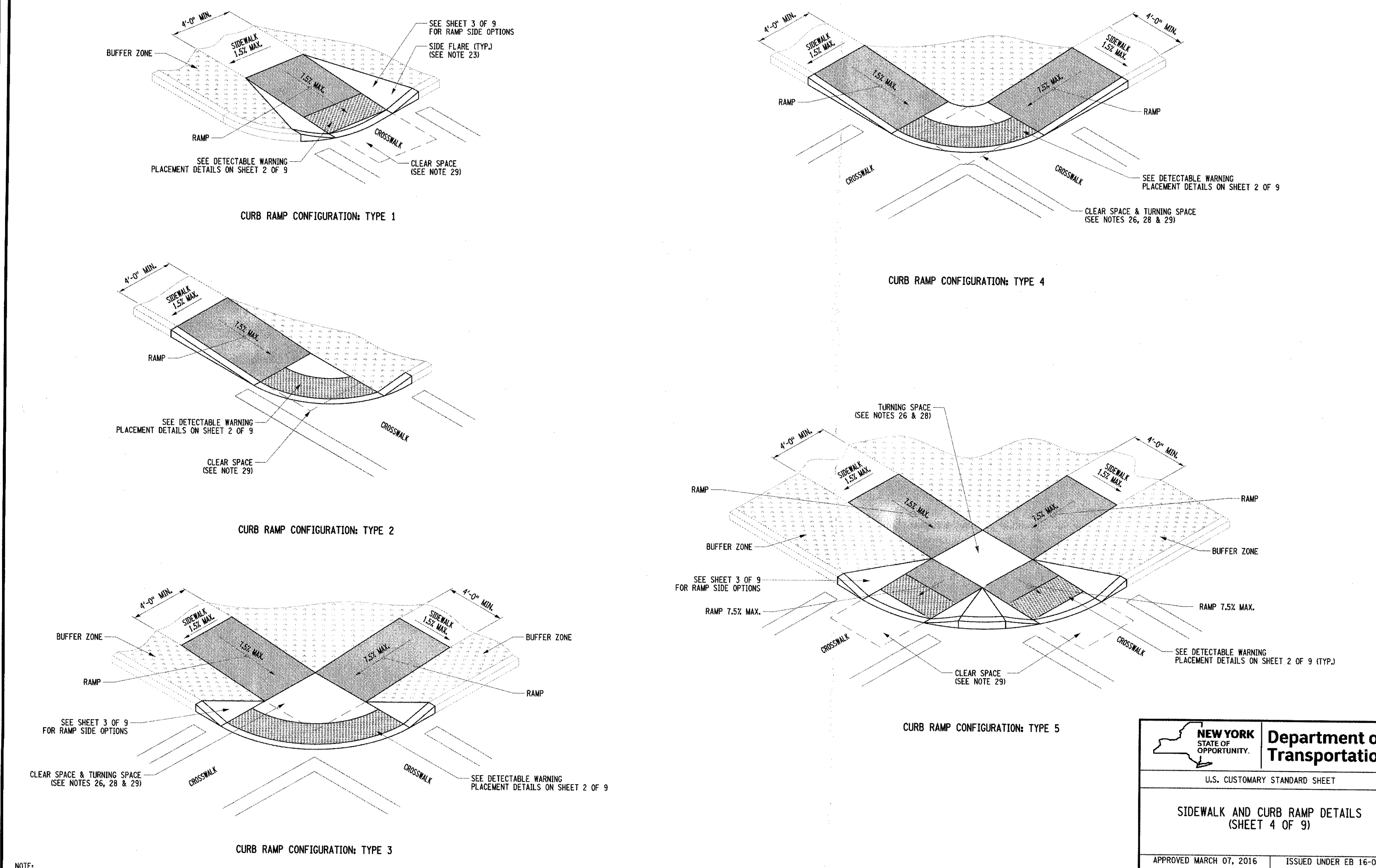
50



NEW YORK STATE OF OPPORTUNITY
Department of Transportation
 U.S. CUSTOMARY STANDARD SHEET
SIDEWALK AND CURB RAMP DETAILS
 (SHEET 5 OF 9)
 APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
 /S/ RICHARD W. LEE, P.E.
 DEPUTY CHIEF ENGINEER (DESIGN) 608-01

NOTE:
 ALL NOTES REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-01, SHEET 1 OF 9.

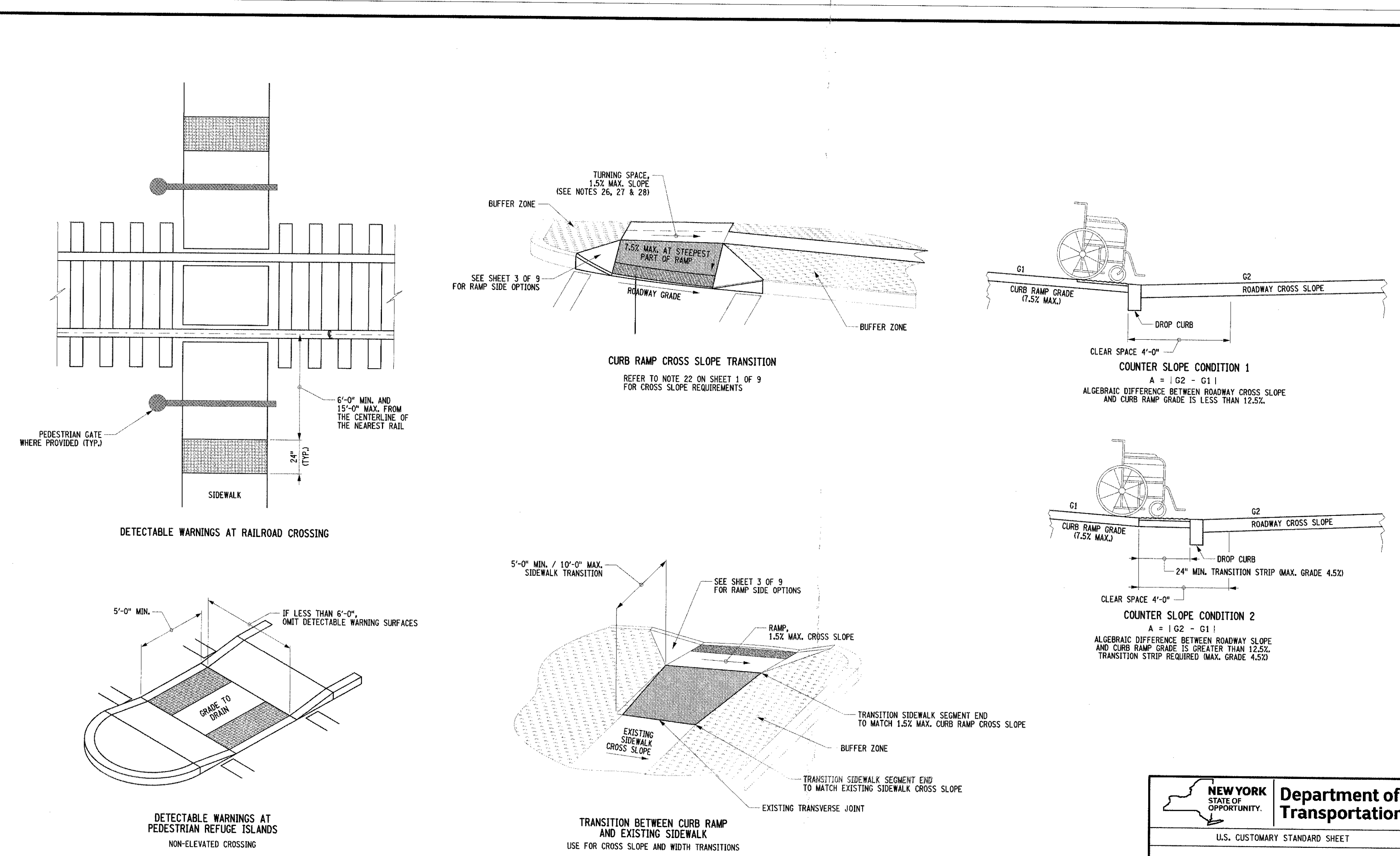
52



NEW YORK STATE OF OPPORTUNITY
Department of Transportation
 U.S. CUSTOMARY STANDARD SHEET
SIDEWALK AND CURB RAMP DETAILS
 (SHEET 4 OF 9)
 APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
 /S/ RICHARD W. LEE, P.E.
 DEPUTY CHIEF ENGINEER (DESIGN) 608-01

NOTE:
 ALL NOTES REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-01, SHEET 1 OF 9.

51



NEW YORK STATE OF OPPORTUNITY
Department of Transportation
 U.S. CUSTOMARY STANDARD SHEET
SIDEWALK AND CURB RAMP DETAILS
 (SHEET 8 OF 9)
 APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
 /S/ RICHARD W. LEE, P.E.
 DEPUTY CHIEF ENGINEER (DESIGN) 608-01

NOTE:
 ALL NOTES REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-01, SHEET 1 OF 9.

XX

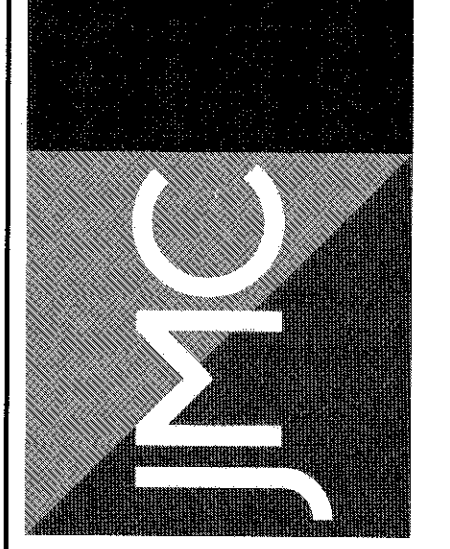
NOT FOR CONSTRUCTION

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	07/07/2017	RB

APPLICANT/OWNER
FARRELL HOLDING CO. LTD.
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932

ARCHITECT
MAURI ARCHITECTS P.C.
 103 W. MAIN STREET
 FOUCHERVILLE, NY 12801

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.6225 • fax 914.273.2102
 www.jmcplic.com

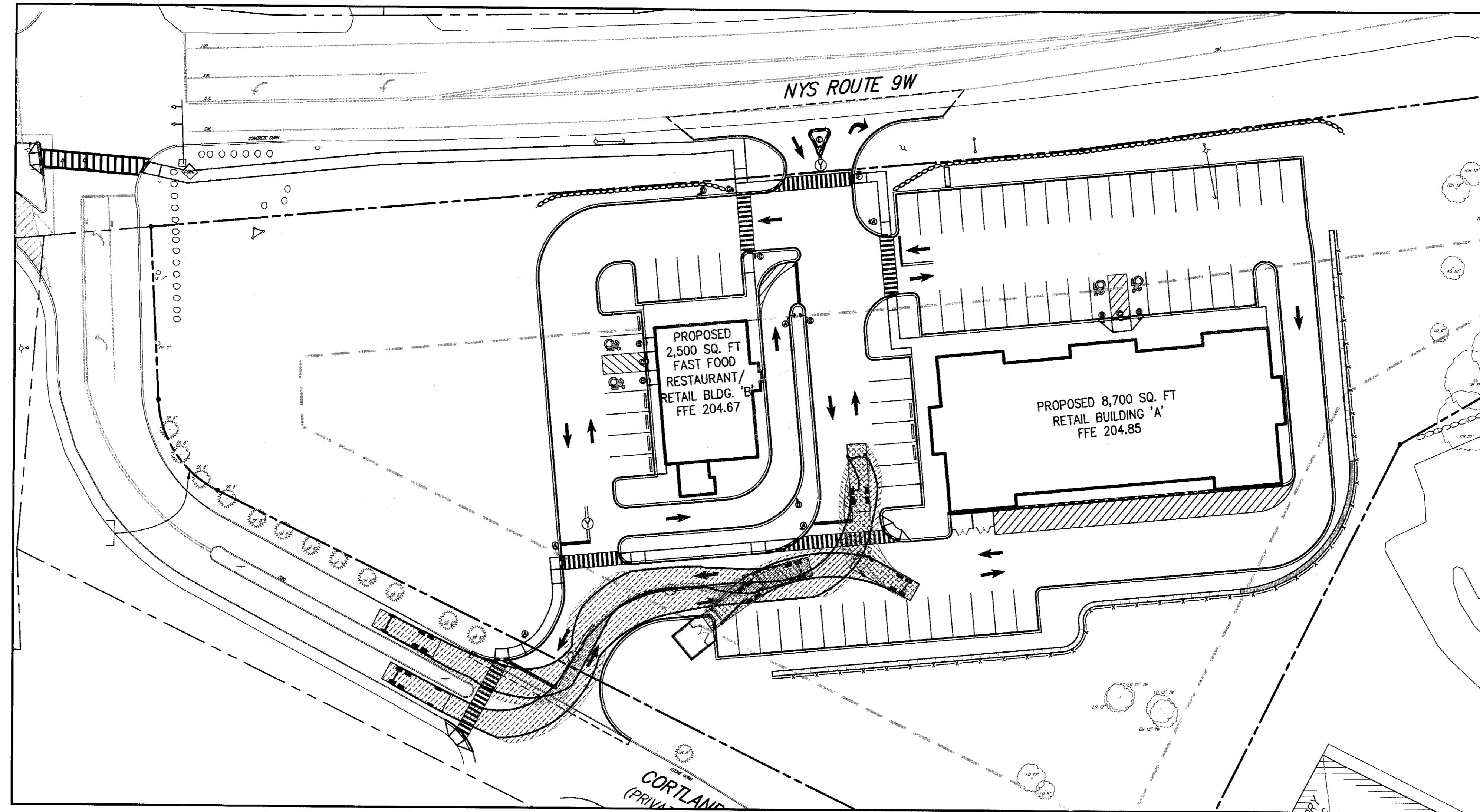


CONSTRUCTION DETAILS
CORTLAND COMMONS
 5-62 ROUTE 9W
 TOWN OF NEWBURGH, NY 12550

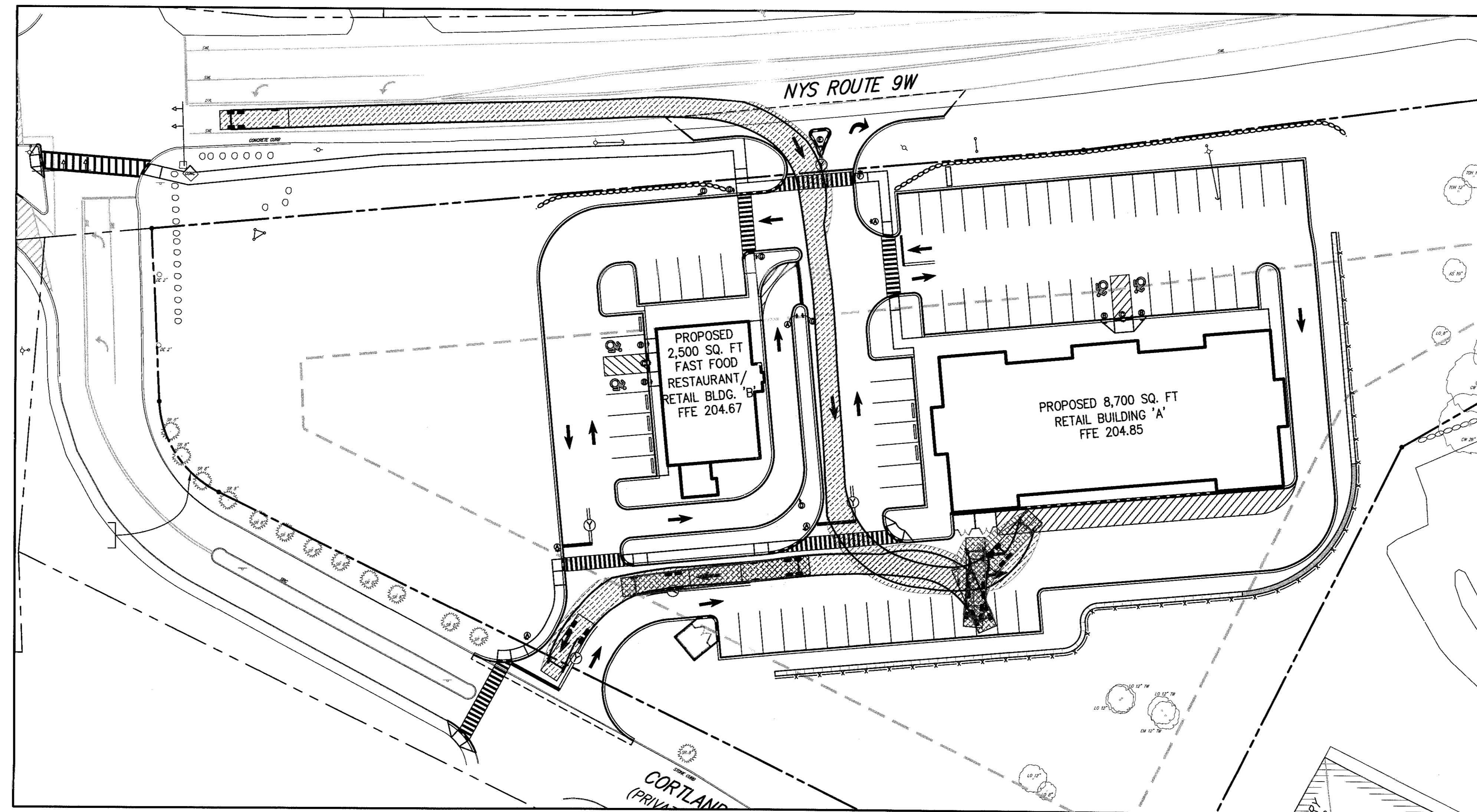
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	RC	Approved:	JS
Scale:	NOT TO SCALE		
Date:	02/23/2017		
Project No:	16055		
1905-NEWL:	SP-16		
Drawing No:			

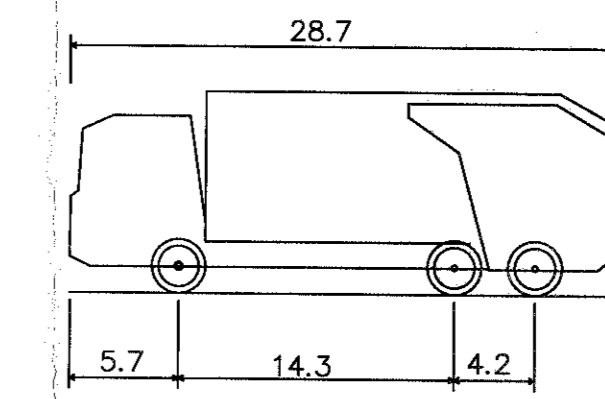
SP-16



ENTERING FROM 9W AND
EXITING TO CORTLAND DRIVE
SCALE: 1" = 30'



ENTERING FROM CORTLAND DRIVE
AND EXITING TO CORTLAND DRIVE/9W
SCALE: 1" = 30'



Mack TerraPro Low Entry 6x4 LEU 613 + Wayne Phoenix III 25Yd
28.742ft Overall Length
8.000ft Overall Width
10.481ft Overall Body Height
1.311ft Min Body Ground Clearance
8.000ft Track Width
Lock-to-lock time 6.00s
34.000ft Curb to Curb Turning Radius

NOT FOR CONSTRUCTION

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

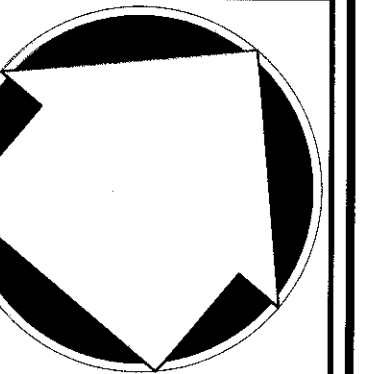
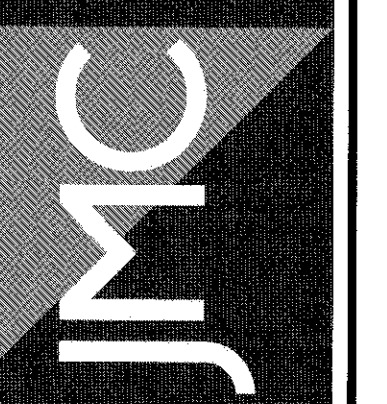
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	07/07/2017	RB

APPLICATION OWNER:
FARRELL HOLDING CO. LTD.
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT:
MAURI ARCHITECTS P.C.
303 WILL STREET
POUGHKEEPSIE, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.6225 • fax 914.273.2102
www.jmcpllc.com



TRUCK TURNING ANALYSIS
CORTLAND COMMONS
5452 ROUTE 9W
TOWN OF NEWBURGH, NY 12550

Drawn: RC Approved: JS
Scale: AS SHOWN
Date: 06/30/2017
Project No: 16055
Drawn by: TRUCK TURNING TRUCKS