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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CORTLAND COMMONS**  
**PROJECT NO.: 2017-11**  
**PROJECT LOCATION: SECTION 9, BLOCK 1, LOT 60**  
**REVIEW DATE: 10 MARCH 2017**  
**MEETING DATE: 16 MARCH 2017**  
**PROJECT REPRESENTATIVE: JMC PLANNING & ENGINEERING**

1. The right to access Cortland Drive, the private right of way should be identified. Documents regarding this should be provided to Mike Donnelly's office for review.
2. The Planning Boards attention is called to the retaining wall structure proposed at the westerly most portion of the site. A 16+/- ft retaining wall is proposed to the rear of Building A.
3. The constructability of the retaining wall in very close proximity to the property line should be addressed.
4. The septic design chart on sheet SP5 identifies flow rates for the project. Flows are identified as 25 gallons per day times 37 seat restaurant at 2,295. While the calculation should identify 925. The 2,295 is actual gallons per day from the entire site. The subsurface sanitary sewer disposal system design of 2,300 +/- gallons per day will require a SPDES permit from the DEC and review by the Orange County Health Department.
5. A Stormwater Pollution Prevention Plan should be provided for review with future submissions.
6. Water line service laterals must comply with town of Newburgh requirements where systems are split with potable water being taken after fire flow valve. Valving arrangement is such that potable water is terminated if fire suppression systems are terminated.
7. Lead Agency circulation should include NYSDEC, NYSDOT, Orange County Health Department as involved agencies.
8. The zoning Bulk Table on sheet SP1 identifies the front yard as 40 ft minimum and proposed 59. Section 185-18 –Exceptions to District Regulations(4)(b) requires front yards abutting all State and County Highways be at least 60 feet in depth.

9. The lots in the B Zone, which abut a Residential District, in this case R-3, require side yard setbacks of greater of the setback identified in the B Zone or 25 feet. Side yard setback should be identified as 25 feet rather than 15 as depicted in the table.
10. Sheet SP11 contains anchor and thrust block details and charts. Town of Newburgh requires restrain joint pipes. Thrust blocks are not permitted.
11. The Applicants should evaluate the Town of Newburgh design guidelines with regard to parking in front of the building and size of lighting pole proposed. Waivers for design guideline deviation should be specifically applied for from the Planning Board.
12. The Bulk Table parking summary identifies 63 xx parking spaces required while the parking calculation identifies 68 parking spaces required.
13. The Applicants representative is asked to check the additional parking spaces. Total spaces provided appears to be 61 including handicap spaces.
14. Ken Wersted's comments regarding proposed access and internal circulation should be received. Dual direction access to the drive in aisle may cause traffic conflicts and stacking to the Cortland Dr. access drive.

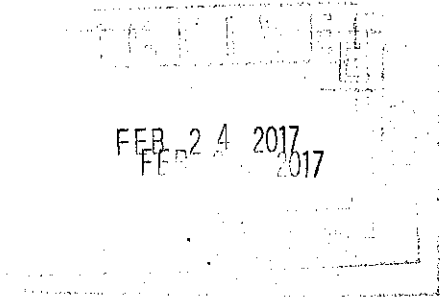
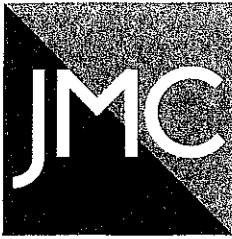
Respectfully submitted,

**McGoey, Hauser and Edsall**  
**Consulting Engineers, D.P.C.**

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Patrick J. Hines  
Principal

PJH/kbw



- Site Planning
- Civil Engineering
- Landscape Architecture
- Land Surveying
- Transportation Engineering
- Environmental Studies
- Entitlements
- Construction Services
- 3D Visualization
- Laser Scanning

February 22, 2017

Chairman John P Ewasutyn and Members of the Planning Board  
 Newburgh Town Hall  
 Town of Newburgh  
 308 Gardnertown Road  
 Newburgh, NY 12550

RE: JMC Project 16055  
 Cortland Commons  
 Route 9W and Cortland Drive  
 Town of Newburgh, NY 12550 (PB#2017-11)

Dear Chairman Ewasutyn and Members of the Planning Board:

We are pleased to submit sixteen (16) copies of the following documents in support of the Site Plan Approval application for the Cortland Commons retail project located along Route 9W at the intersection of Cortland Drive in the Town of Newburgh, NY:

1. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
SP-1	"Cover Sheet"	02/23/2017
SP-2	"Existing Conditions / Demolition Plan"	02/23/2017
SP-3	"Layout Plan"	02/23/2017
SP-4	"Grading Plan"	02/23/2017
SP-5	"Utilities Plan"	02/23/2017
SP-6	"Erosion and Sediment Control Plan"	02/23/2017
SP-7	"Landscaping Plan"	02/23/2017
SP-8	"Lighting Plan"	02/23/2017
SP-9	"Construction Details"	02/23/2017
SP-10	"Construction Details"	02/23/2017
SP-11	"Construction Details"	02/23/2017
SP-12	"Construction Details"	02/23/2017
SP-13	"Construction Details"	02/23/2017
SP-14	"Construction Details"	02/23/2017

2. Town of Newburgh Planning Board "Checklist for Major/Minor Subdivision and or Site Plan", dated 02/22/2017.
3. Town of Newburgh "Application for Subdivision/Site Plan Review", dated 02/03/2017.
4. "Proxy" Statement, dated 02/03/2017

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC | JMC Site Development Consultants, LLC





**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

Cortland Commons

**2. Owner of Lands to be reviewed:**

**Name** JNM Realty, LLC, Joseph Roncs

**Address** 595 Grand Avenue  
Newburgh, NY 12550

**Phone** (845) 563-9512

**3. Applicant Information (If different than owner):**

**Name** Farrell Holding Co., Ltd.

**Address** 2317 Montauk Highway  
Bridgehampton, NY 11932  
(631) 537-1068

**Representative** Stephen Zagoren

**Phone** (631) 766-0023

**Fax** \_\_\_\_\_

**Email** zags1413@gmail.com

**4. Subdivision/Site Plan prepared by:**

**Name** JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

**Address** 120 Bedford Road  
Armonk, NY 10504

**Phone/Fax** (914) 273-5225 / (914) 273-2102

**5. Location of lands to be reviewed:**

5452 Route 9W and Cortland Drive, Newburgh, NY 12550

**6. Zone** "B" Business

**Acreage** 3.2 acres

**Fire District** Middle Hope

**School District** Marlboro Central School District

**7. Tax Map: Section** 09 **Block** 01 **Lot** 60

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1  
Lot line change No  
Site plan review Yes  
Clearing and grading No  
Other \_\_\_\_\_

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) No

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Signature] Title Member

Date: 2/3/17

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

FEB 24 2017

Cortland Commons

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

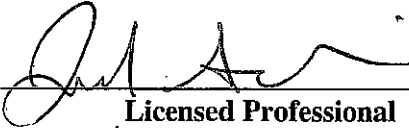
**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16.  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33.  Estimated or known cubic yards of material to be excavated and removed from the site
34.  Estimated or known cubic yards of fill required
35.  The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
- 
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 
- 
38.  List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  JOE SARETTA  
Licensed Professional

Date: 2/22/17

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

**PROXY**

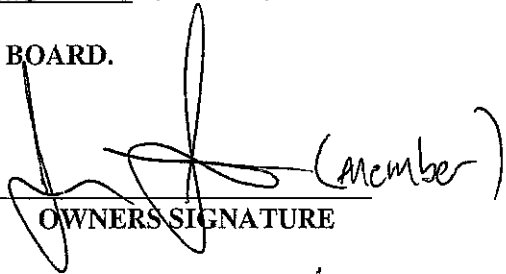
(OWNER) JNM Realty, LLC, DEPOSES AND SAYS THAT HE/SHE  
RESIDES AT 595 Grand Avenue, Newburgh, NY  
IN THE COUNTY OF Orange County  
AND STATE OF New York  
AND THAT HE/SHE IS THE OWNER IN FEE OF \_\_\_\_\_  
5452 US-9W, Newburgh, NY 12550

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND Stan Schutzman Esq./JMC IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 2/3/17

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAMES OF ADDITIONAL  
REPRESENTATIVES

 (member)  
\_\_\_\_\_  
OWNERS SIGNATURE

Jason Siegel  
\_\_\_\_\_  
OWNERS NAME (printed)

  
\_\_\_\_\_  
WITNESS' SIGNATURE

Elizabeth Olsen  
\_\_\_\_\_  
WITNESS' NAME (printed)

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

DATE: 30 January 2017

NAME OF PROJECT: Cortland Commons

The applicant is to submit in writing the following items prior to signing of the site plans.

**EXTERIOR FINISH (skin of the building):**

Type (steel, wood, block, split block, etc.)

Simulated Stone Veneer, Vinyl Horizontal Siding & Vinyl Simulated Shake Siding

**COLOR OF THE EXTERIOR OF BUILDING:**

Alpine LedgeStone, Pheasant / Mastic Vinyl, Wicker & Pebblestone Clay

**ACCENT TRIM:**

Location: Fascia, Rake, Window & Door Casing, PVC Panels & Brackets

Color: White

Type (material): PVC and Polyurethane

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

Not Applicable

**ROOF:**

Type (gabled, flat, etc.): Gable & Shed

Material (shingles, metal, tar & sand, etc.): Shingle & Metal Accents

Color: Timberline HD Shingle, Weathered Wood / Pac-Clad, Medium Bronze

WINDOWS/SHUTTERS:

Color (also trim if different): White

Type: Aluminum - Fixed

DOORS:

Color: White

Type (if different than standard door entrance): Glass & Aluminum

SIGN:

Color: To be determined and approved by others.

Material: To be determined and approved by others.

Square footage of signage of site: To be determined and approved by others.

Architect: Jay Diesing, RA AIA

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Jay Diesing

Signature



**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

2/3/17

DATED

Stephen Zagoren, Agent for  
APPLICANT'S NAME (printed)

Farrell Holding Co. Ltd., Contract  
Vendee

by Stephen Zagoren  
APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

           NONE

  N/A   NAME, ADDRESS, RELATIONSHIP OR INTEREST  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- TOWN BOARD
- PLANNING BOARD
- ZONING BOARD OF APPEALS
- ZONING ENFORCEMENT OFFICER
- BUILDING INSPECTOR
- OTHER

Feb. 3, 2017  
DATED

\_\_\_\_\_  
INDIVIDUAL APPLICANT

\_\_\_\_\_  
CORPORATE OR PARTNERSHIP APPLICANT

*Farrell Holding Co. Ltd.*  
BY: *James R. Kennedy* *Asst Secy*  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)  
*Contract Vendee*

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Cortland Commons		
Project Location (describe, and attach a general location map): 5452 Route 9W and Cortland Drive, Newburgh, NY 12550		
Brief Description of Proposed Action (include purpose or need): Site plan approval for a new 8,700 s.f. retail building and a 2,500 s.f. pad site for a retail or restaurant use. A total of 75 parking spaces are proposed in support of the retail use with a right-in/right-out driveway on Route 9W and a full access driveway on Cortland Drive.		
Name of Applicant/Sponsor: Stephen Zagoren, Farrell Holding Co. Ltd.	Telephone: (631) 766-0023	E-Mail: zags1413@gmail.com
Address: 2317 Montauk Highway		
City/PO: Bridgehampton	State: NY	Zip Code: 11932
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): JNM Realty, LLC, Joseph Rones	Telephone: (845) 563-9512	E-Mail: jrones@lawampm.com
Address: 595 Grand Avenue		
City/PO: Newburgh	State: NY	Zip Code: 12550

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, <u>Town</u> or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town Planning Board	02/2017
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Health Department	02/2017
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT Highway Work Permit	02/2017
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

In or adjacent to agricultural district #1. See Orange County Agricultural District #1 & #2 map, dated 04/18/2013.

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 \_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? City of Newburgh

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police

c. Which fire protection and emergency medical services serve the project site?  
Middle Hope Fire District

d. What parks serve the project site?  
N/A

**D. Project Details****D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
Retail/Resturant

b. a. Total acreage of the site of the proposed action? 3.2 acres  
 b. Total acreage to be physically disturbed? 2.5 +/- acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 3.2 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
 \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

- i. Total number of structures 2
- ii. Dimensions (in feet) of largest proposed structure: 29' height; 66' width; and 140' length
- iii. Approximate extent of building space to be heated or cooled: 11,200 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

- i. Purpose of the impoundment: \_\_\_\_\_
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
  - Volume (specify tons or cubic yards): \_\_\_\_\_
  - Over what duration of time? \_\_\_\_\_
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
\_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
\_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes: (896+105.7 food service emp.@15gal/emp.)

i. Total anticipated water usage/demand per day: 1,002 (Includes retail and food service) gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 1,002 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary Sewer

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Do existing sewer lines serve the project site?  Yes  No  
 Will line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 Applicant/sponsor for new district: \_\_\_\_\_  
 Date application submitted or anticipated: \_\_\_\_\_  
 What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 65,500 Square feet or 1.5 acres (impervious surface)  
 139,392 Square feet or 3.2 acres (parcel size)  
 ii. Describe types of new point sources. Discharge to existing 24" pipe.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 To catch basins and on-site stormwater management facility. Site discharge to 24" pipe in Route 9W.  
 \_\_\_\_\_  
 If to surface waters, identify receiving water bodies or wetlands: Unnamed channel.  
 \_\_\_\_\_  
 Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: TBD

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Central Hudson Gas & Electric Corp.

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	<u>7am - 7pm</u>	• Monday - Friday:	<u>8am - 10pm</u>
• Saturday:	<u>9am - 6pm</u>	• Saturday:	<u>8am - 10pm</u>
• Sunday:	<u>9am - 6pm</u>	• Sunday:	<u>8am - 10pm</u>
• Holidays:	<u>9am - 6pm</u>	• Holidays:	<u>8am - 10pm</u>

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Parking lot and building lighting. Parking lot fixture height 25' - 0", dark sky lighting downward lit. See lighting plan. 110 feet to nearest structure.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
Normal use of herbicides and pesticides to maintain property.  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	1.8	+1.8
• Forested	2.5	0.8	-1.7
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.70	0.60	-0.10
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_  
 \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
 \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
 \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
 \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
 \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ +/- 6.5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Udorthents - UH \_\_\_\_\_ 100 %  
 USDA web soils survey \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: 3' - 6' feet

e. Drainage status of project site soils:  Well Drained: 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 70 % of site  
 10-15%: 15 % of site  
 15% or greater: 15 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.  
 i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.  
 iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 Birds, Deer, Squirrels \_\_\_\_\_  
 (typical rural wildlife) \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: ORAN001

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site: \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name JOSEPH SARCITINO Date 2/22/17

Signature  Title PRINCIPAL

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <span style="float: right;"><input type="checkbox"/> NO      <input type="checkbox"/> YES</span> <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b>			
The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b>			
The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____	<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**8. Impact on Agricultural Resources**  
 The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)  NO  YES  
*If "Yes", answer questions a - h. If "No", move on to Section 9.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**9. Impact on Aesthetic Resources**  
 The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)  NO  YES  
*If "Yes", answer questions a - g. If "No", go to Section 10.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur

a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**10. Impact on Historic and Archeological Resources**  
The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)  NO  YES  
If "Yes", answer questions a - e. If "No", go to Section 11.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>
d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3: i. The proposed action may result in the destruction or alteration of all or part of the site or property. ii. The proposed action may result in the alteration of the property's setting or	E3e, E3g, E3f  E3e, E3f, E3g, E1a,	<input type="checkbox"/>  <input type="checkbox"/>	<input type="checkbox"/>  <input type="checkbox"/>

integrity.	E1b E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.			

**11. Impact on Open Space and Recreation**  
 The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.  NO  YES  
 (See Part 1. C.2.c, E.1.c., E.2.q.)  
*If "Yes", answer questions a - e. If "No", go to Section 12.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**  
 The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)  NO  YES  
*If "Yes", answer questions a - c. If "No", go to Section 13.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - g. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>

b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>14. Impact on Energy</b>			
The proposed action may cause an increase in the use of any form of energy. (See Part 1. D.2.k)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

<b>15. Impact on Noise, Odor, and Light</b>			
The proposed action may result in an increase in noise, odors, or outdoor lighting. (See Part 1. D.2.m., n., and o.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>16. Impact on Human Health</b>	
The proposed action may have an impact on human health from exposure	<input type="checkbox"/> NO <input type="checkbox"/> YES

to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____			

**17. Consistency with Community Plans**

The proposed action is not consistent with adopted land use plans.  
(See Part 1. C.1, C.2. and C.3.)

NO

YES

If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not	C3, D1c,	<input type="checkbox"/>	<input type="checkbox"/>

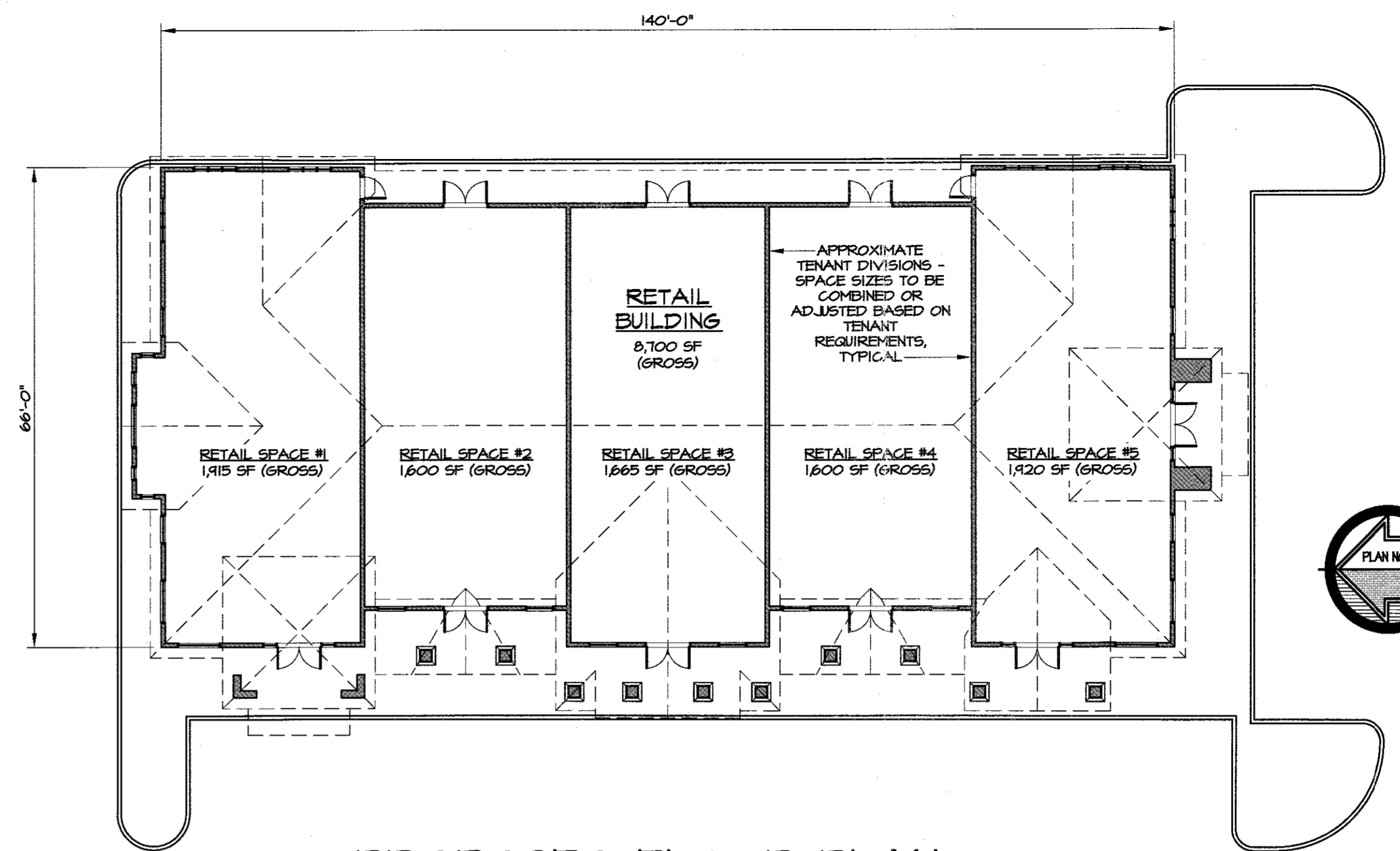
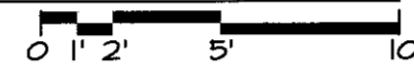


supported by existing infrastructure or is distant from existing infrastructure.	D1d, D1f, D1d, E1b		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

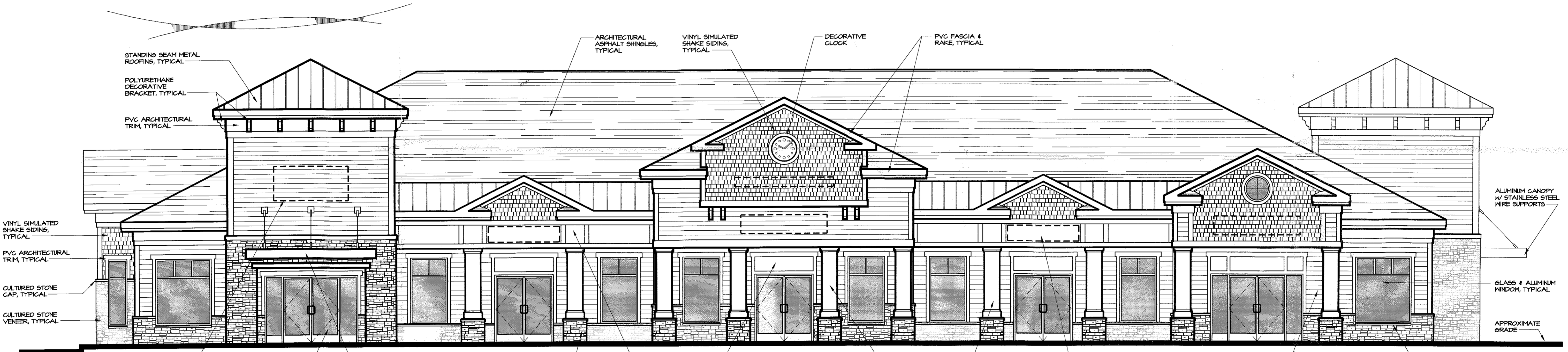
<b>18. Consistency with Community Character</b>			
The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



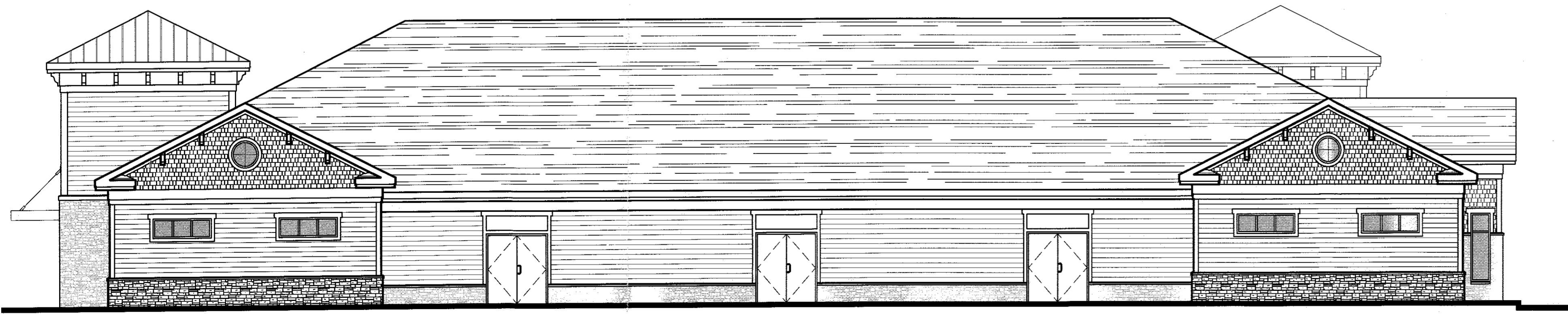
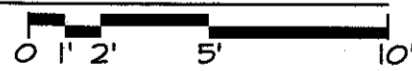
**2 PROPOSED SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



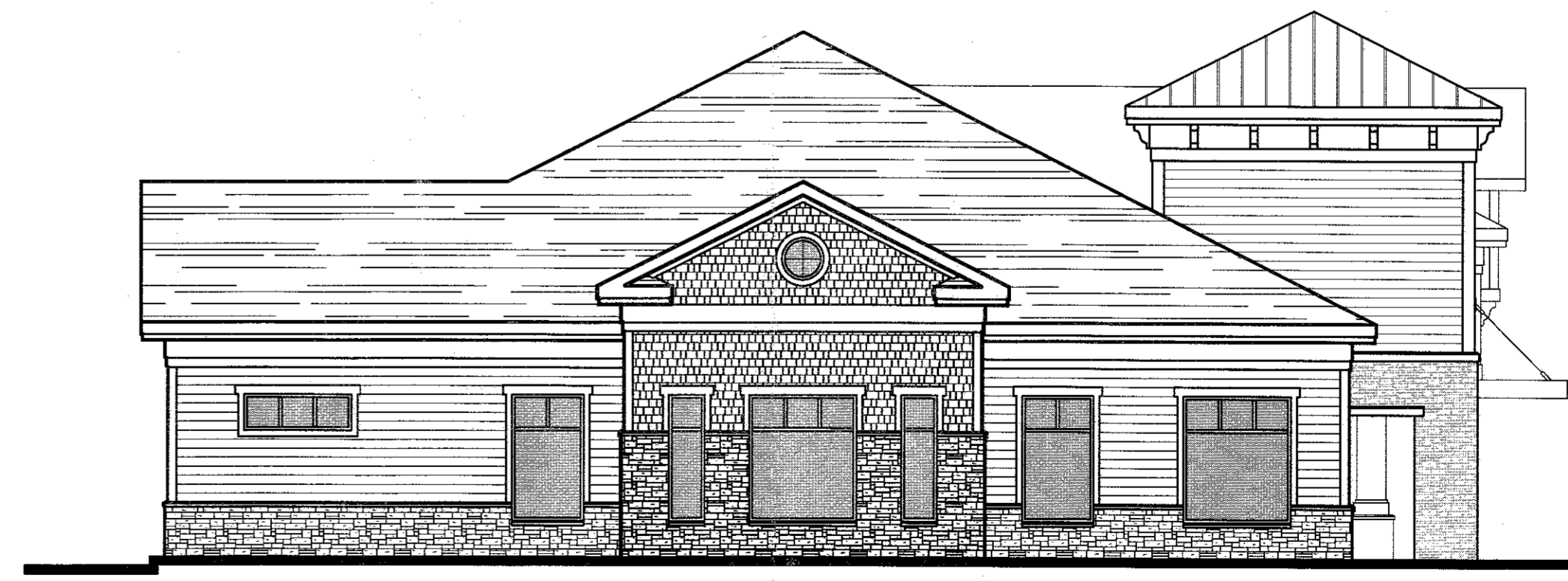
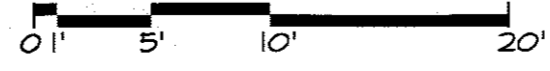
**PROPOSED FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



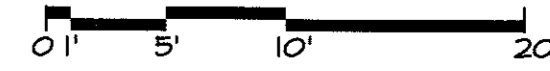
**3 PROPOSED WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**4 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



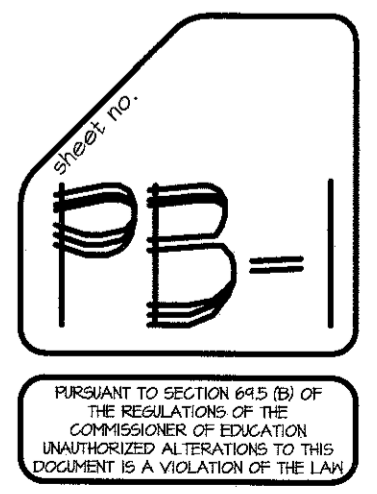
**5 PROPOSED NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



project no.	16-54
date	23 JAN 17
drawn by	BP
description	
building height notations	
revision	
DATE	BY
31 JAN 17	

NEW RETAIL & FAST FOOD DEVELOPMENT SITE:  
**CORTLAND COMMONS**  
 CORTLAND DR & NY'S ROUTE 41A  
 NEWBURGH, NY

PROPOSED PLAN & ELEVATIONS - RETAIL BUILDING  
**MAURI ARCHITECTS PC**  
 305 MILL STREET Poughkeepsie NY 12601 845-452-0250 mauri-architects.com



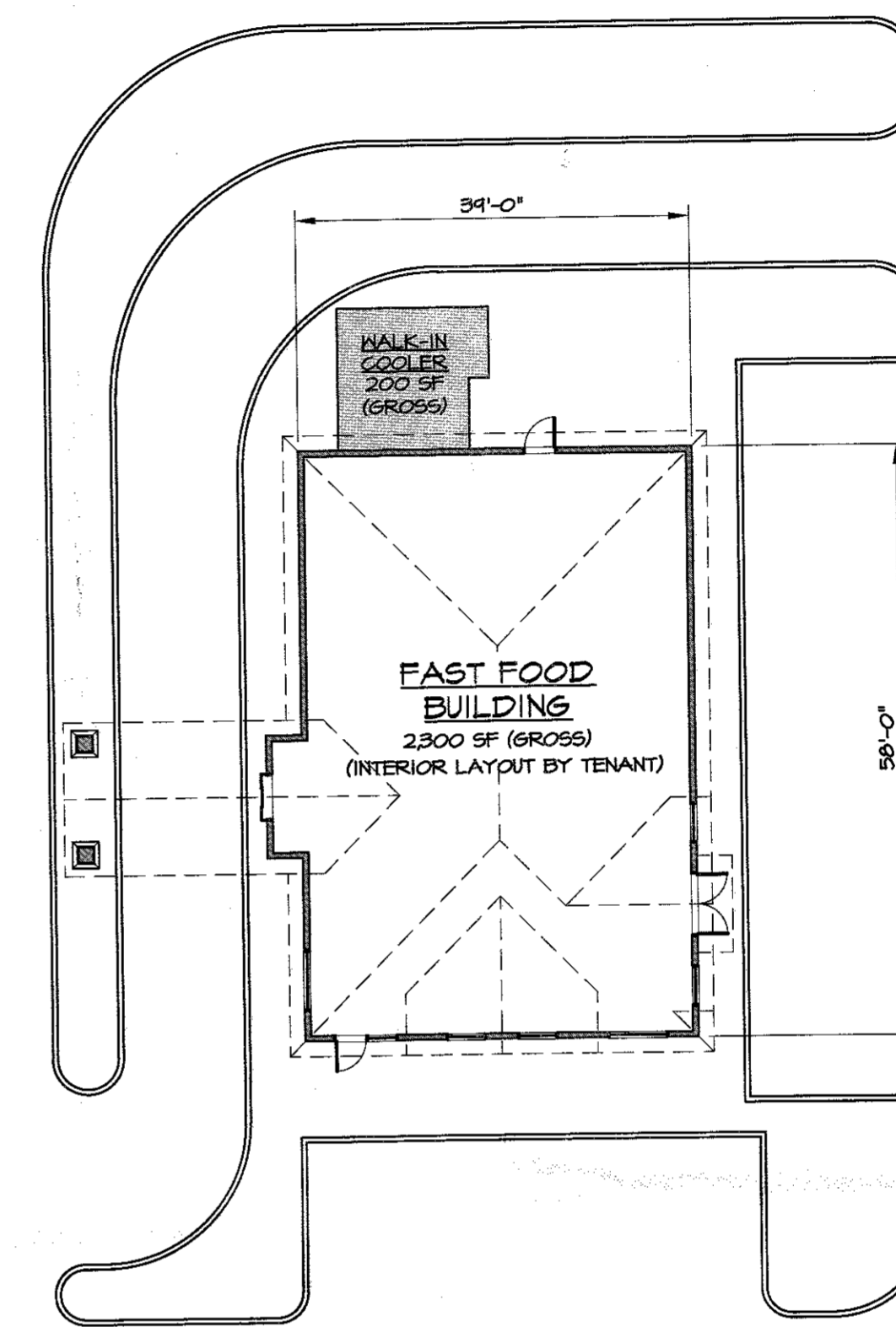
PERMIT TO SECTION 415.15 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION AUTHORIZED ALTERATIONS TO THIS DOCUMENT IS A VIOLATION OF THE LAW.



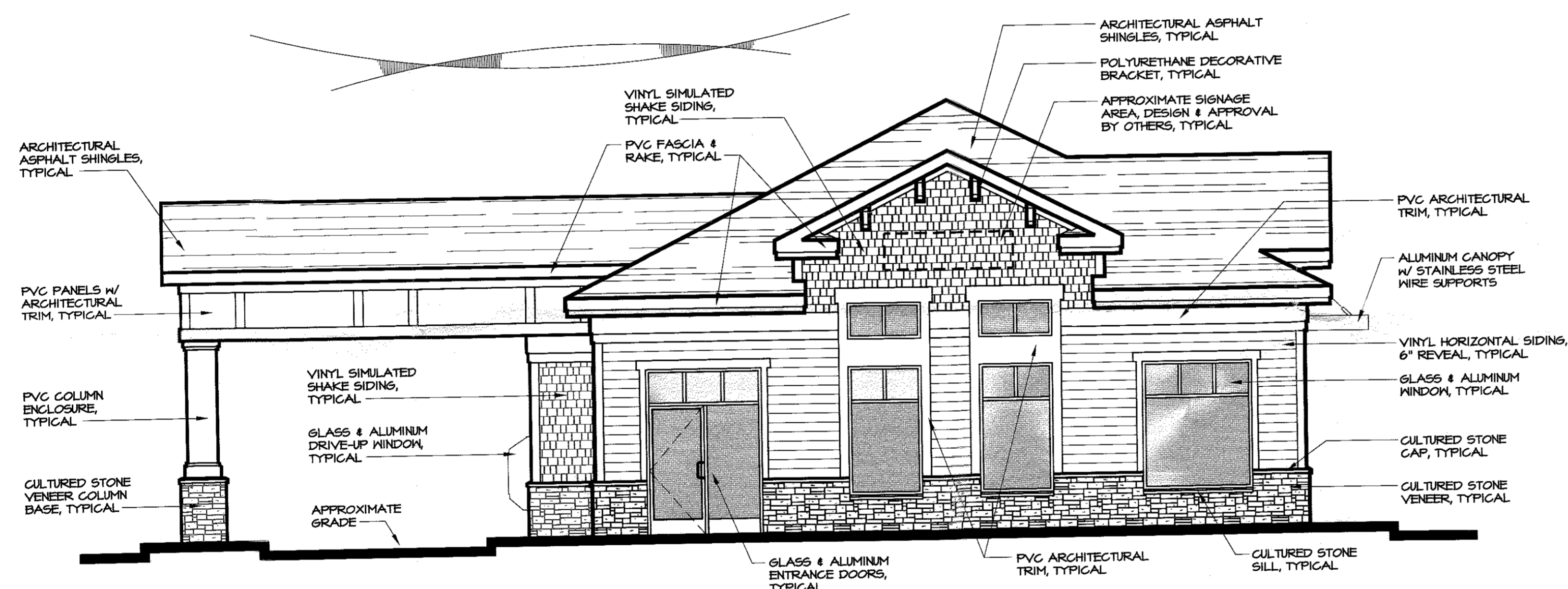
project no.	16-54
date	23 JAN 17
drawn by	BP
revision	
code	
description	BUILDING HEIGHT NOTATIONS



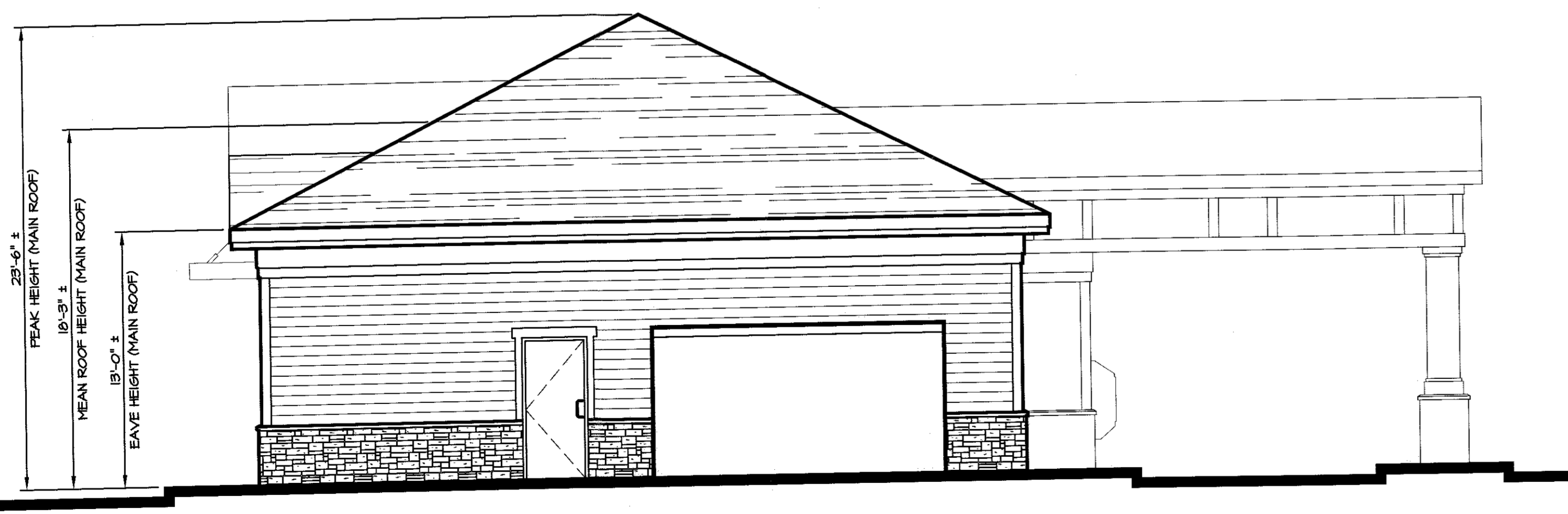
2 PROPOSED NORTH ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0 1' 2' 5' 10'



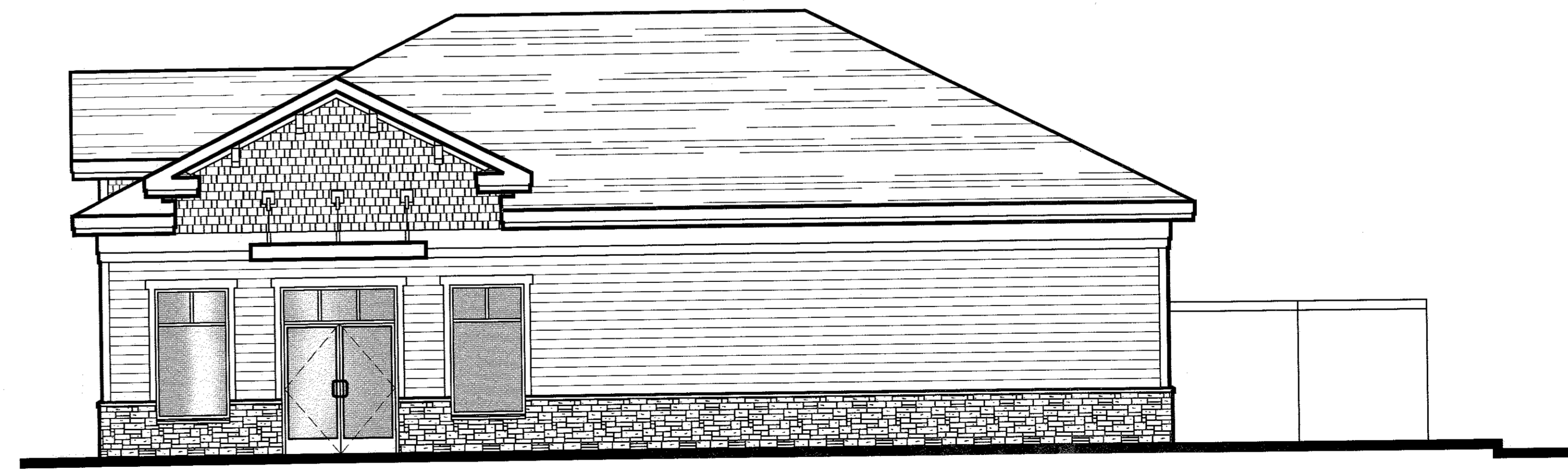
1 PROPOSED FLOOR PLAN  
 SCALE: 1/16" = 1'-0"  
 0 2' 10' 20' 40'



3 PROPOSED WEST ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0 1' 2' 5' 10'



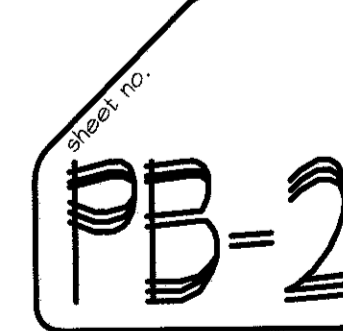
4 PROPOSED EAST ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0 1' 2' 5' 10'



5 PROPOSED SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0"  
 0 1' 2' 5' 10'

NEW RETAIL & FAST FOOD DEVELOPMENT SITE:  
**CORTLAND COMMONS**  
 NEWBURGH, NY  
 CORTLAND DR & NY'S ROUTE 9W

PROPOSED PLAN & ELEVATIONS - FAST FOOD BUILDING  
**MAURI ARCHITECTS PC**  
 303 MILL STREET Poughkeepsie NY 12601 845-452-1050 mauri-architects.com



PURSUANT TO SECTION 1615 (b) OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION, UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT IS A VIOLATION OF THE LAW.



# PRELIMINARY SITE PLAN

# CORTLAND COMMONS

## TAX MAP SECTION 09 | BLOCK 01 | LOT 60

## ORANGE COUNTY

## 5452 ROUTE 9W

## TOWN OF NEWBURGH, NY 12550

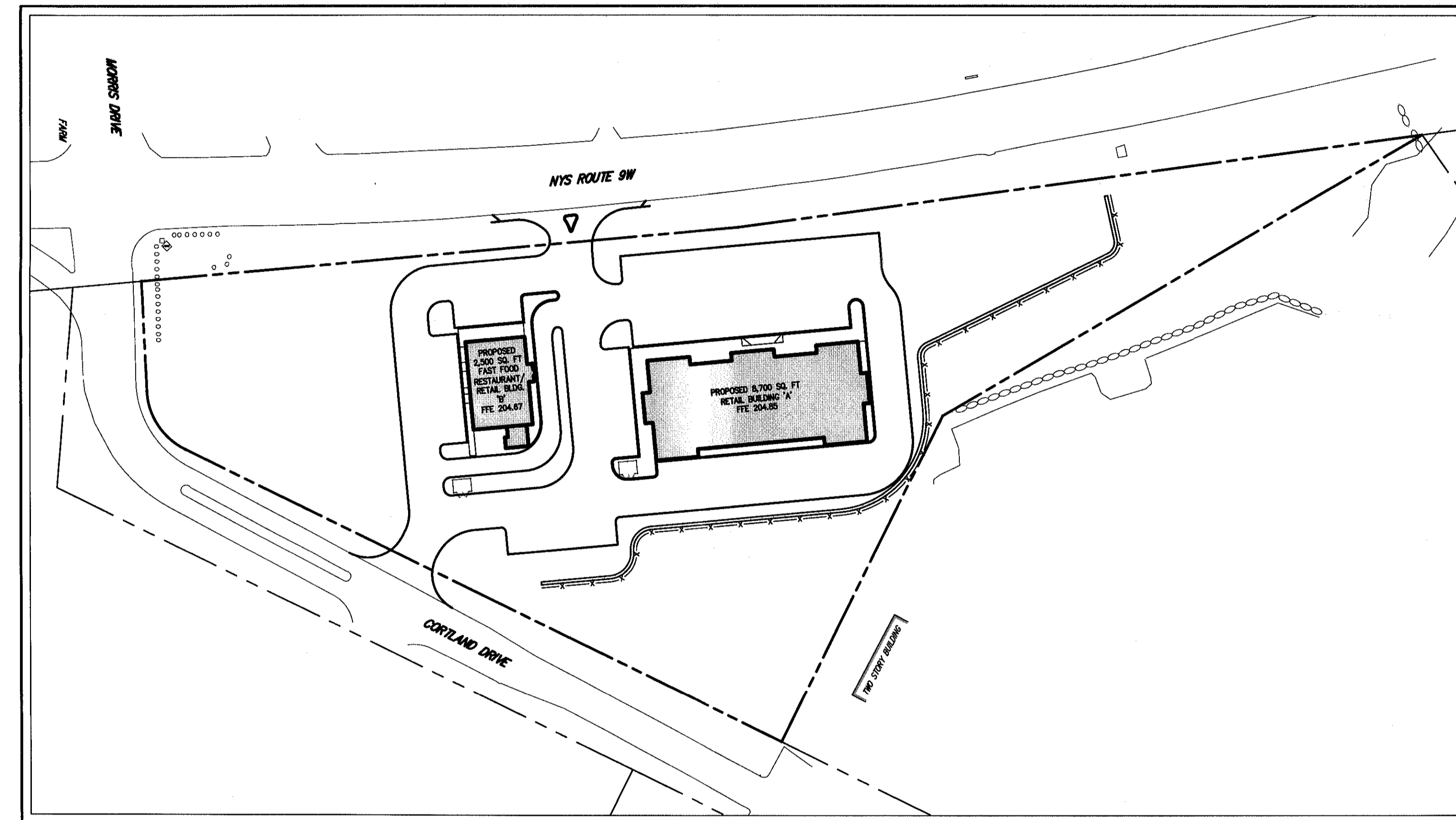
**Owner:**  
**JNM REALTY, LLC**  
 595 GRAND AVENUE  
 NEWBURGH, NY 12550

**Applicant:**  
**FARRELL HOLDING CO. LTD.**  
 2317 MONTAUK HIGHWAY  
 BRIDGEHAMPTON, NY 11932  
 (631) 537-1068

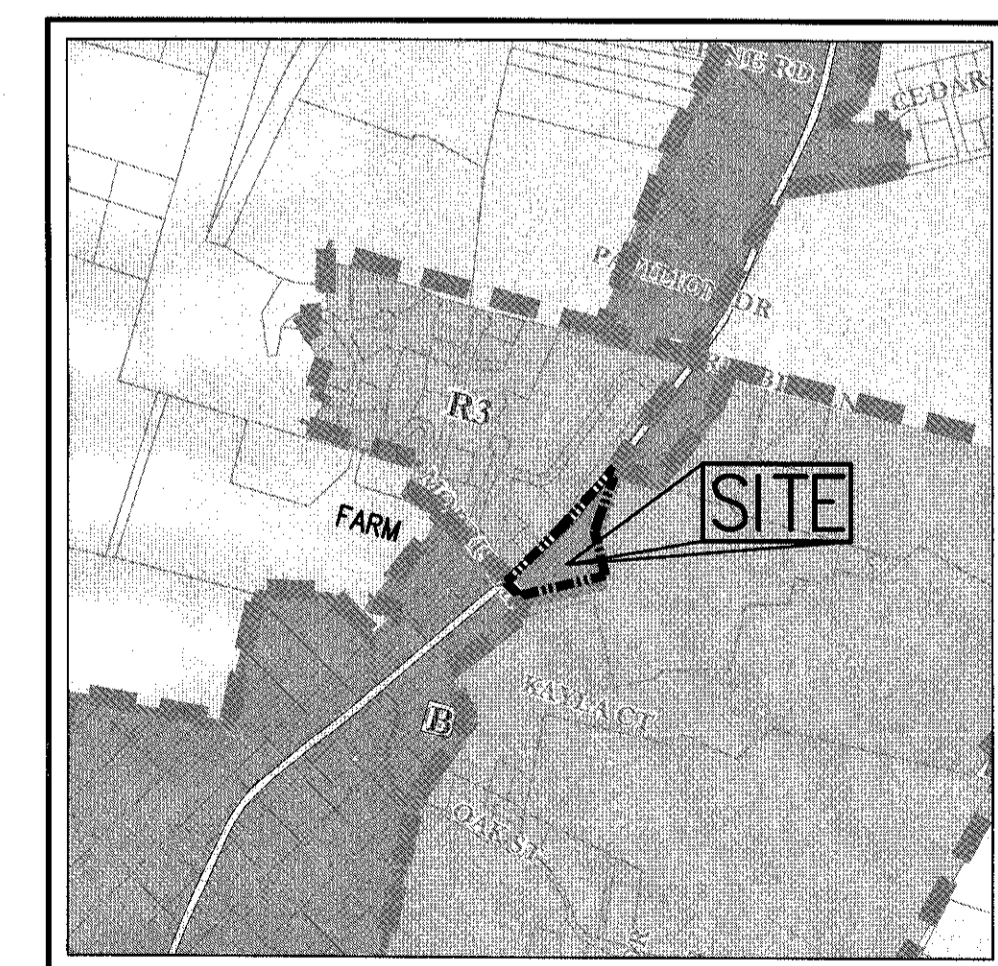
**Attorney:**  
**STANLEY A. SCHUTZMAN ESQ.**  
 61 S. MAIN STREET, SUITE 5  
 NEW CITY, NY 10956

**JMC Site Planner, Civil & Traffic Engineer,  
 Surveyor and Landscape Architect:**  
**120 BEDFORD ROAD**  
**ARMONK, NY 10504**  
**(914) 273-5225**

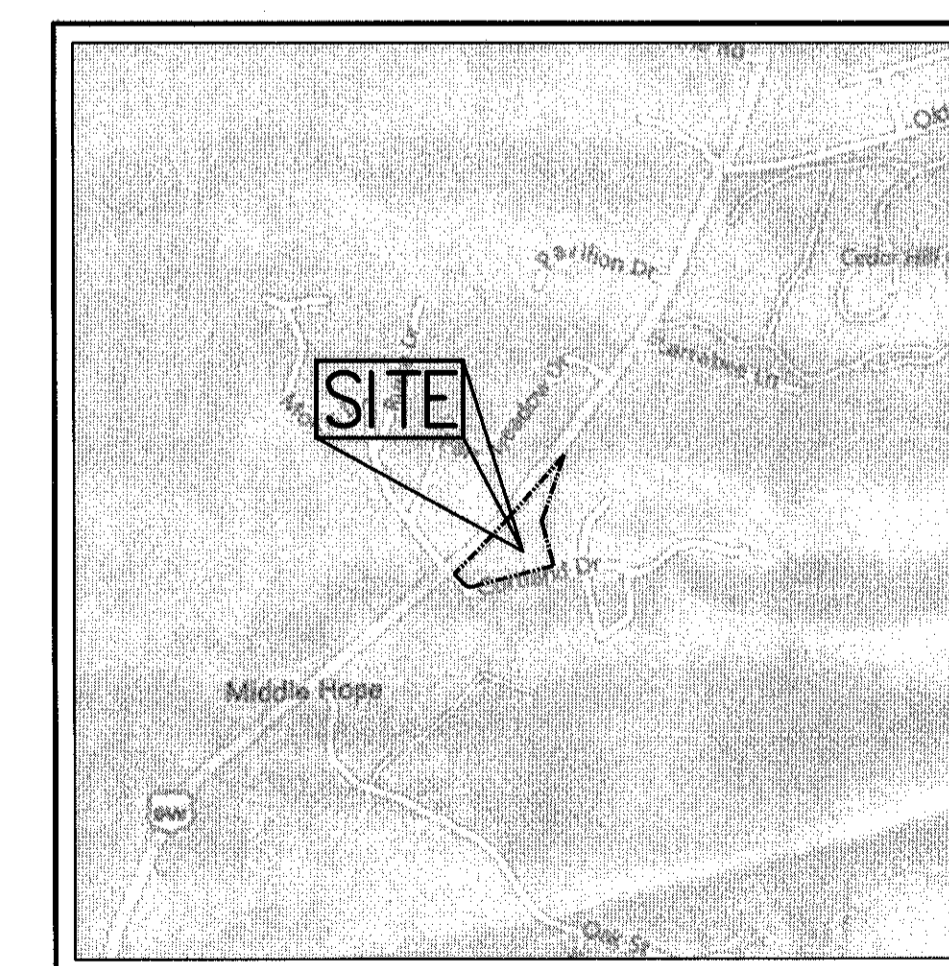
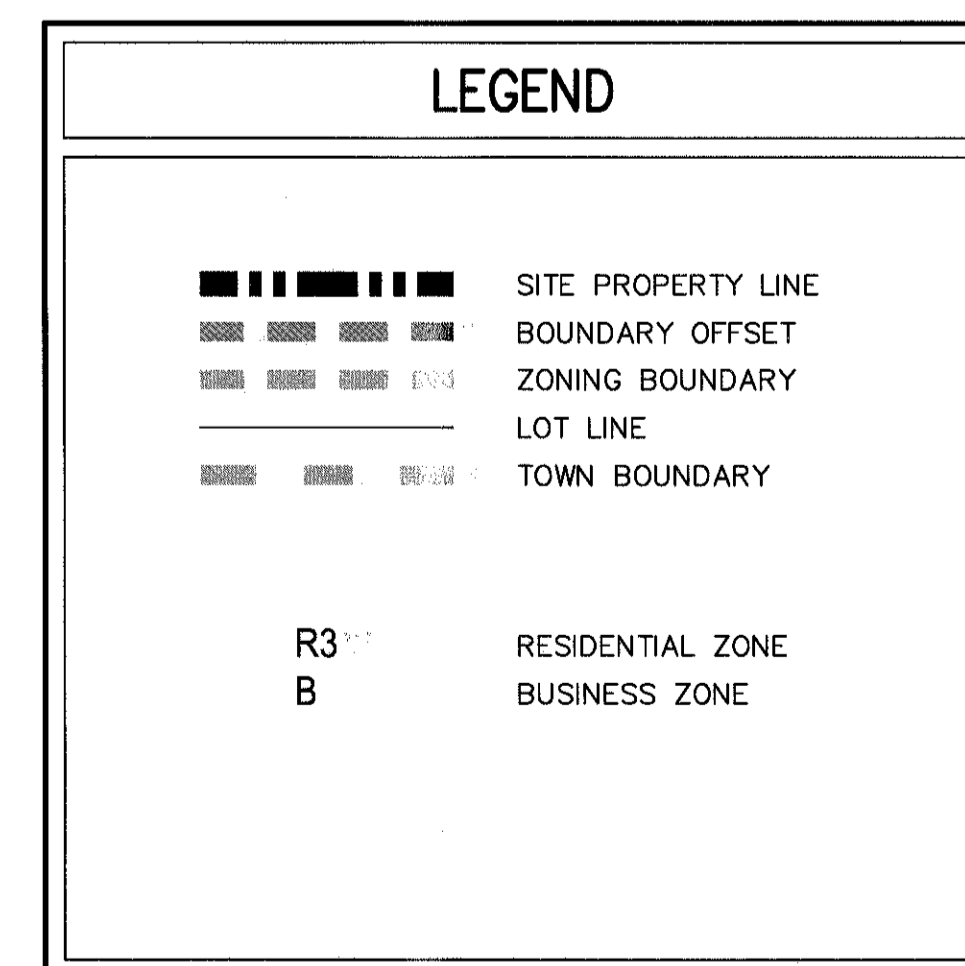
**Architect:**  
**MAURI ARCHITECTS P.C.**  
 303 MILL STREET  
 POUGHKEEPSIE, NY 12601



**AREA MAP**  
 SCALE: 1" = 60'



**ZONING MAP**  
 SCALE: 1" = 1,000'



**VICINITY MAP**  
 SCALE: 1" = 1,000'

**JMC Drawing List:**

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS / DEMOLITION PLAN
- SP-3 LAYOUT PLAN
- SP-4 GRADING PLAN
- SP-5 UTILITIES PLAN
- SP-6 EROSION AND SEDIMENT CONTROL PLAN
- SP-7 LANDSCAPING PLAN
- SP-8 LIGHTING PLAN
- SP-9 CONSTRUCTION DETAILS
- SP-10 CONSTRUCTION DETAILS
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS

TABLE OF LAND USE			
SECTION 09, BLOCK 01, LOTS 14.11 AND 14.12 ZONE "B DISTRICT" - "BUSINESS" FIRE DISTRICT: MIDDLEHOPE SCHOOL DISTRICT: CITY OF NEWBURGH PROPOSED USE: RETAIL, AND FAST FOOD RESTAURANT			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF./AC.)	15,000/0.34	139,666±/3.2	139,666±/3.2
LOT WIDTH (FEET)	100	840±	670 <sup>(1)</sup>
LOT DEPTH (FEET)	125	338±	338±
LOT BUILDING COVERAGE (PERCENT)	40	0	8
BUILDING HEIGHT (FEET)	35	<35	<35
LOT SURFACE COVERAGE (PERCENT)	80	0	50±
<b>YARDS</b>			
FRONT BUILDING SETBACK (FEET)	40 MIN.	N/A	59
REAR BUILDING SETBACK (FEET)	30 MIN.	N/A	51
SIDE BUILDING SETBACK (FEET)	15 MIN/30 TOTAL	N/A	N/A
<b>PARKING SUMMARY</b>			
TOTAL SPACES REQUIRED (SPACES)	1 SPACE PER 150 S.F. AND 1/4 SEATS = 63 SPACES <sup>(2)</sup>		
TOTAL SPACES PROVIDED (SPACES)	73 SPACES		
STANDARD SPACES PROVIDED (SPACES)	59 SPACES		
HANDICAP SPACES PROVIDED (SPACES)	4 SPACES		

NOTES:  
 (1) MEASURED FROM FRONT BUILDING LINE.  
 (2) PARKING:  
 RETAIL AT 1 SPACE/150 GSF = 58.0  
 FAST FOOD AT 1 SPACE/4 SEATS OR 1 SPACE/40 S.F. OF SEATING AREA = 10 SPACES  
 PARKING CALCULATION ARE BASED ON A 37 SEAT RESTAURANT PAD WHICH AMOUNTS TO 10 PARKING SPACES REQUIRED

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

NOT FOR CONSTRUCTION

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED LIST OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

**811** Know what's below. Call before you dig.

No.	Revision	Date	By

Previous Editions Obsolete

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAWLED FROM THE GROUND OR BY AIR, MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

DATE: FEB 24 2017

Scale: NOT TO SCALE

Date: 02/23/2017

Project No: 16055

Drawn By: JMC

Checked By: JMC

Approved By: JMC

**JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC**  
**JMC Site Development Consultants, LLC**  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcpllc.com

SP-1

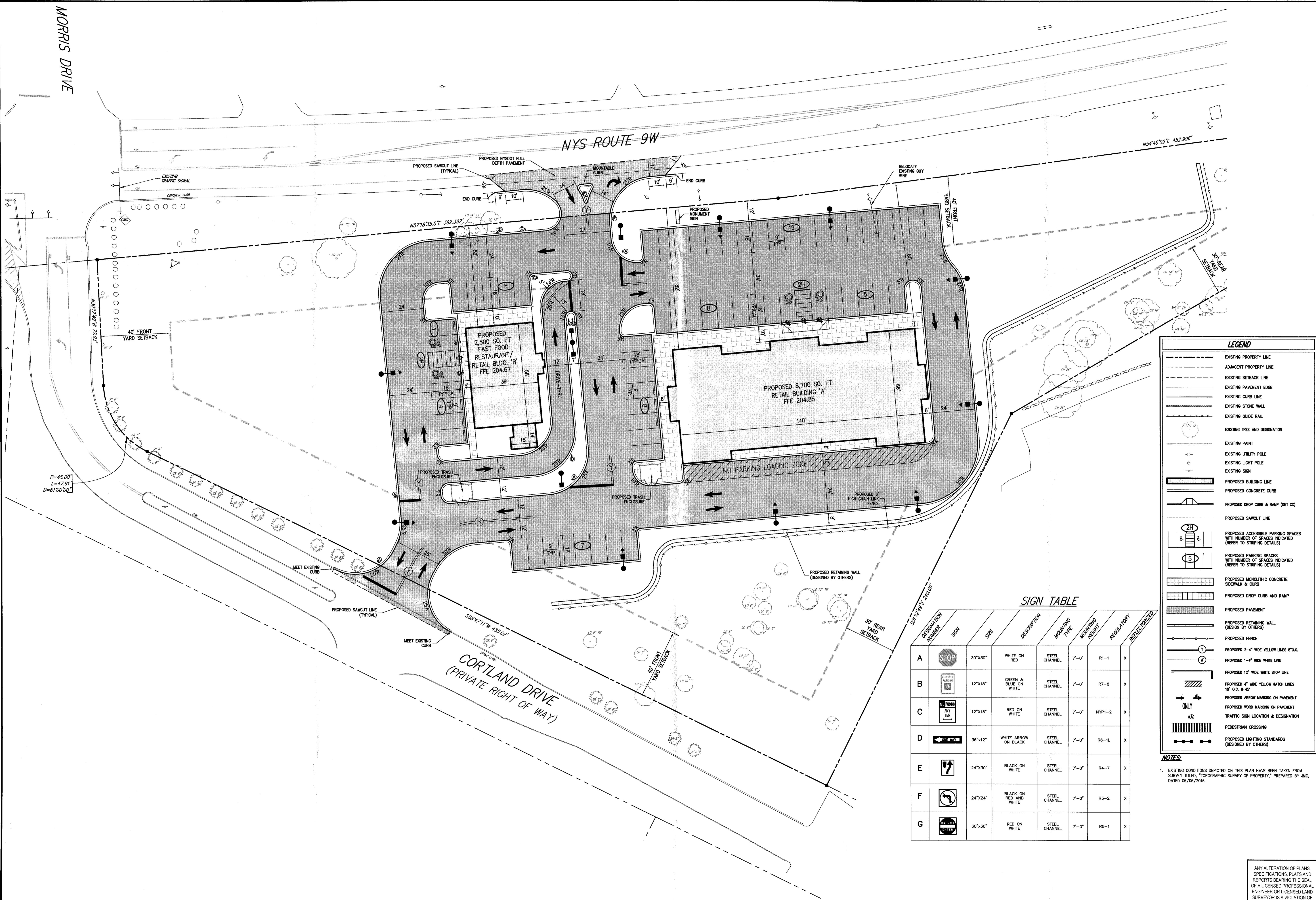






NOT FOR CONSTRUCTION

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**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING GUIDE RAIL
- EXISTING TREE AND DESIGNATION
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP (DET XX)
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED DROP CURB AND RAMP
- PROPOSED PAVEMENT
- PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
- PROPOSED FENCE
- PROPOSED 2'-4" WIDE YELLOW LINES 8" O.C.
- PROPOSED 1'-4" WIDE WHITE LINE
- PROPOSED 12" WIDE WHITE STOP LINE
- PROPOSED 4" WIDE YELLOW HATCH LINES 18" O.C. @ 45°
- PROPOSED ARROW MARKING ON PAVEMENT
- PROPOSED WORD MARKING ON PAVEMENT
- TRAFFIC SIGN LOCATION & DESIGNATION
- PEDESTRIAN CROSSING
- PROPOSED LIGHTING STANDARDS (DESIGNED BY OTHERS)

**NOTES**

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.

**SIGN TABLE**

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MARKING TYPE	MARKING HEIGHT	REGULATORY	REFLECTORIZED
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	PROPOSED PARKING SIGN	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C	PROPOSED ANY TRAFFIC SIGN	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2	X
D	PROPOSED ONE WAY SIGN	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
E	PROPOSED TURN SIGN	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-7	X
F	PROPOSED NO TURN SIGN	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
G	PROPOSED STOP SIGN	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X

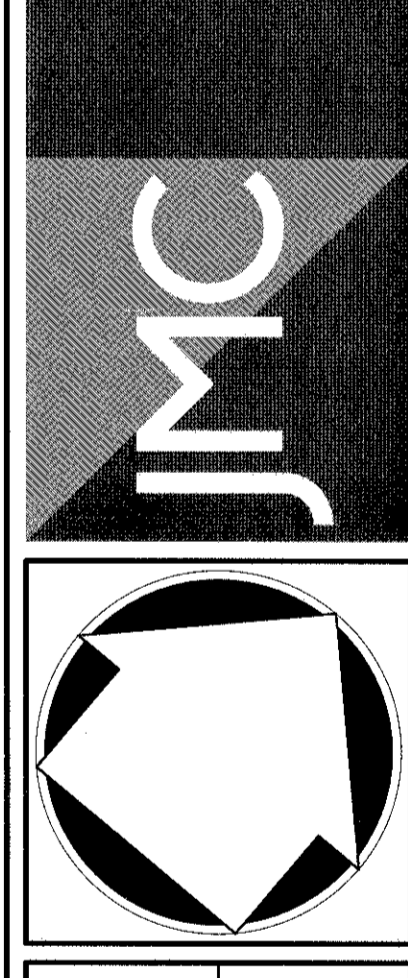
No.	Revision	Date	By

APPLICANT/OWNER: **FARRELL HOLDING CO. LTD.**  
 2317 MONTAUK HIGHWAY  
 BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**  
 303 MILL STREET  
 Poughkeepsie, NY 12601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.

120 BEDFORD ROAD - ARMONK, NY 10504  
 voice 914.273.6225 • fax 914.273.2102  
 www.jmcpllc.com



**LAYOUT PLAN**

**CORTLAND COMMONS**  
 5452 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

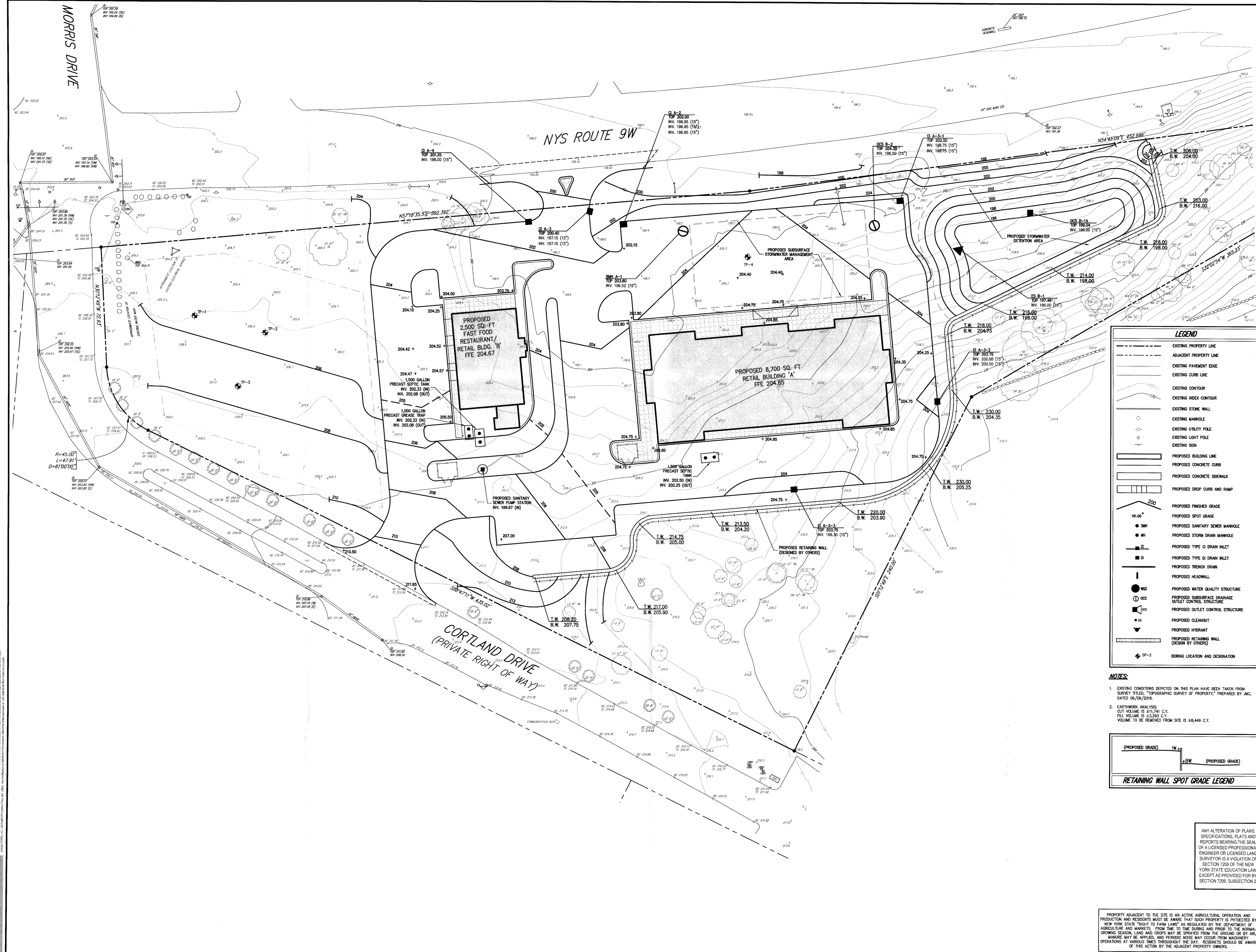
Drawn: RC Approved: JS  
 Scale: 1" = 20'  
 Date: 02/23/2017  
 Project No: 16055  
 Issued By: LAT  
 Drawing No: SP-3

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

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NOT FOR CONSTRUCTION

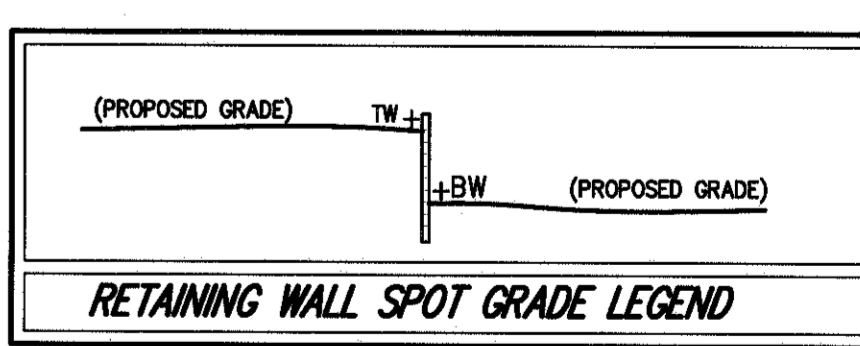


**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BOUNDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED HEADWALL
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED CLEANOUT
- PROPOSED HYDRANT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- BORING LOCATION AND DESIGNATION

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.
- EARTHWORK ANALYSIS:  
CUT VOLUME IS 811,741 C.Y.  
FILL VOLUME IS 13,293 C.Y.  
VOLUME TO BE REMOVED FROM SITE IS 88,448 C.Y.



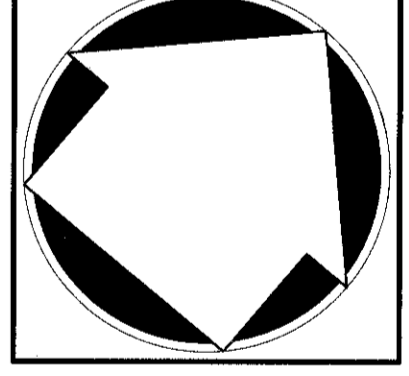
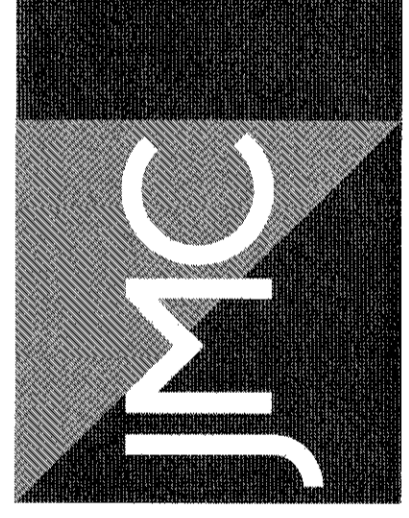
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Revision	
No.	
Date	
By	

APPLICANT/OWNER: **FARRELL HOLDING CO. LTD.**  
2317 MONTAUK HIGHWAY  
BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**  
303 MILL STREET  
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JMC Planning, Engineering & Landscape Architecture & Land Surveying, LLC  
John Meyer Consulting, Inc.  
130 BEDFORD ROAD - ARMONK, NY 10504  
PHONE 914.273.5225 - FAX 914.273.2102  
WWW.JMCPINC.COM



**GRADING PLAN**

**CORTLAND COMMONS**  
5462 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

Drawn	RC	Approved	JS
Scale:	1" = 20'		
Date:	02/23/2017		
Project No:	16055		
Sheet No:	GRD	GRD	GRD
Sheeting No:	SP-4		

PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM THE TIME TO THE DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

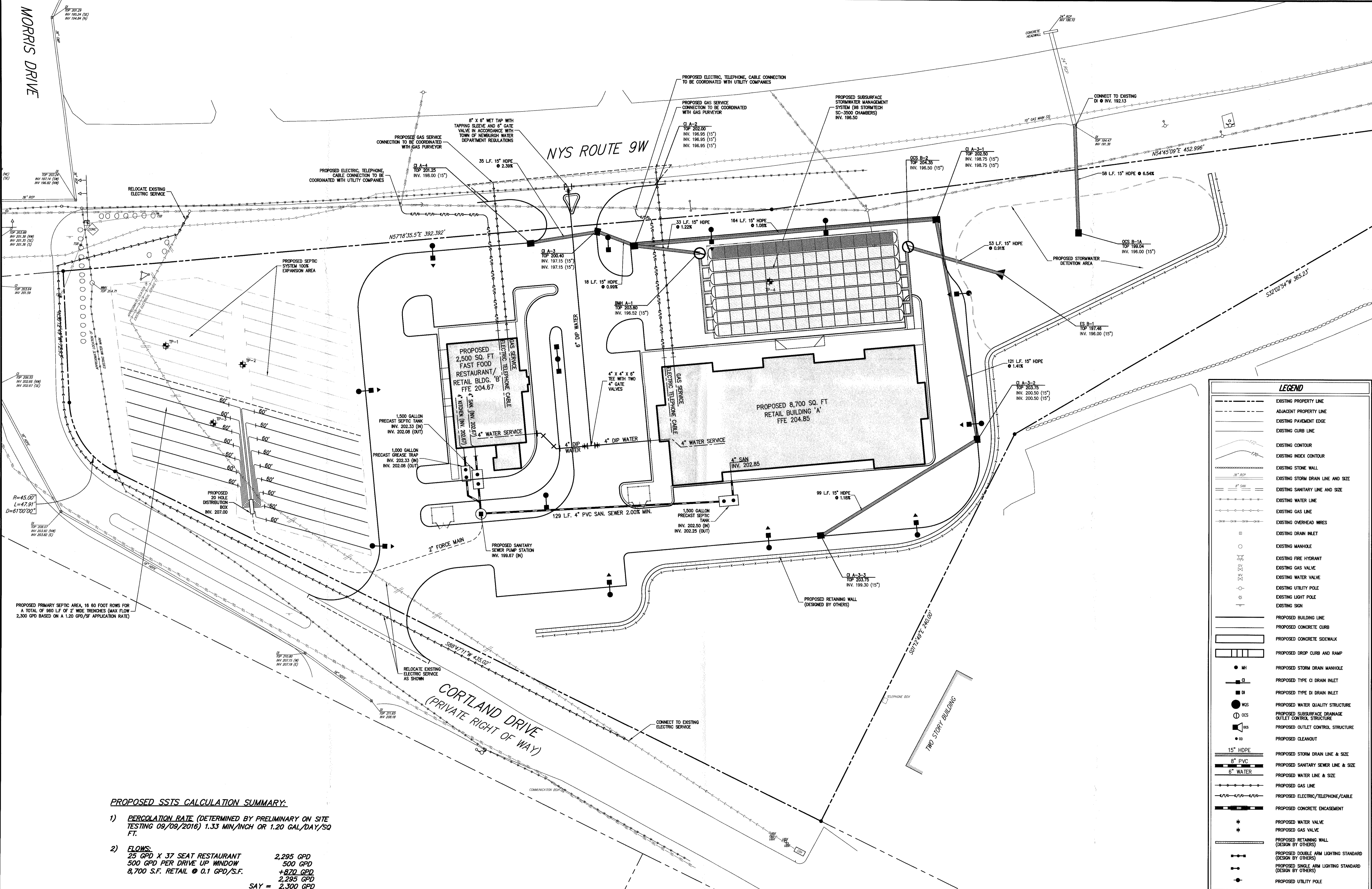


MORRIS DRIVE

NYS ROUTE 9W

CORTLAND DRIVE  
(PRIVATE RIGHT OF WAY)

TWO STORY BUILDING



**PROPOSED SSTS CALCULATION SUMMARY:**

- PERCOLATION RATE (DETERMINED BY PRELIMINARY ON SITE TESTING 09/09/2016)** 1.33 MIN/INCH OR 1.20 GAL/DAY/SQ FT.
- FLOWS:**  
 25 GPD X 37 SEAT RESTAURANT 2,295 GPD  
 500 GPD PER DRIVE UP WINDOW 500 GPD  
 8,700 S.F. RETAIL @ 0.1 GPD/S.F. +2,720 GPD  
 SAY = 2,300 GPD
- EFFECTIVE AREA PROVIDED (PRIMARY AND 100% EXPANSION):**  
 960 LINEAR FEET OF 2 FOOT WIDE TRENCH WITH AN APPLICATION RATE OF 1.2 GALLONS PER SQUARE FOOT PER DAY = 2,300 GALLONS PER DAY
- SANITARY SEWER PUMP SIZING** 50 GPM @ 20 FT TDH

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE
	PROPOSED CONCRETE ENCASEMENT
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED UTILITY POLE

**NOTES:**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 06/06/2016.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER FORCE MAINS SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (PVCPR), SDR-26, 160 PS, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-2241.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 50, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
- ELECTRIC, TELEPHONE, AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

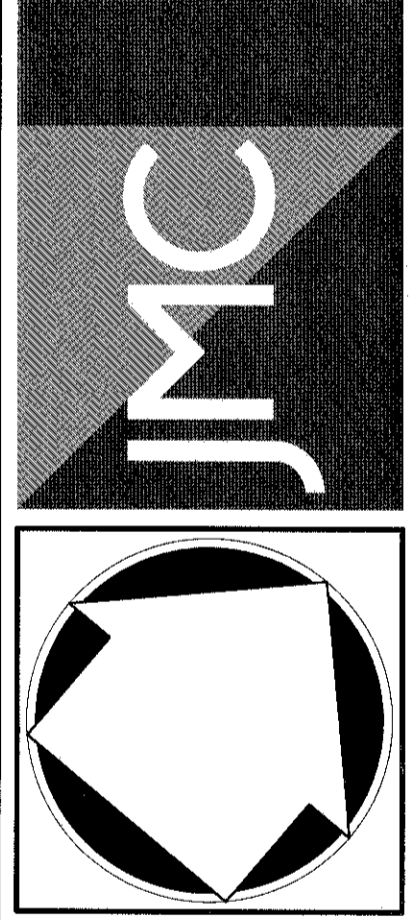
PROPERTY ADJACENT TO THE SITE IS AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON, LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR. MAINTENANCE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATIONS AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.

By	
Date	
Revision	
No.	

APPLICANT: **FARRELL HOLDING CO. LTD.**  
 2377 MONTAUK HIGHWAY  
 BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**  
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 120 BEDFORD ROAD - ARMONK, NY 10806  
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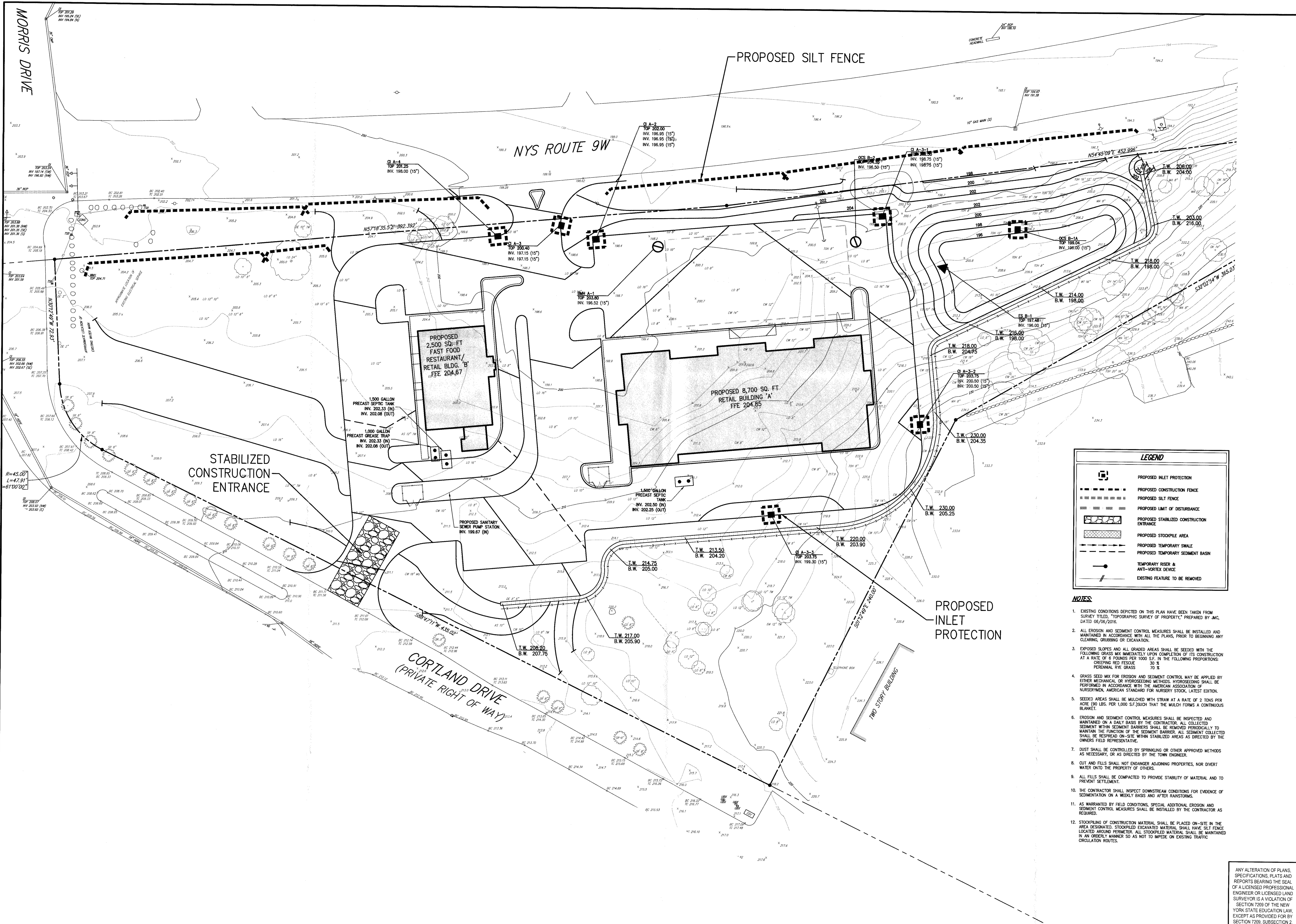
**UTILITIES PLAN**

**CORTLAND COMMONS**  
 5-LEG CIRCLE 9W  
 TOWN OF NEWBURGH, NY 12550

Drawn	RC	Approved	JS
Scale	1" = 20'		
Date	02/23/2017		
Project No.	16055		
MSB-SE	UTL	UTL	UTL
Drawn By	SP-5		

NOT FOR CONSTRUCTION





**LEGEND**

- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED STOCKPILE AREA
- PROPOSED TEMPORARY BASIN
- PROPOSED TEMPORARY SEDIMENT BASIN
- TEMPORARY RISER & ANTI-VORTEX DEVICE
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC, DATED 09/29/2016.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
  - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 8 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS: CREEPING RED FESCUE 30% PERENNIAL TYPICAL GRASS 70%.
  - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REAPPLIED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
  - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
  - CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
  - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
  - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON EXISTING TRAFFIC CIRCULATION ROUTES.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

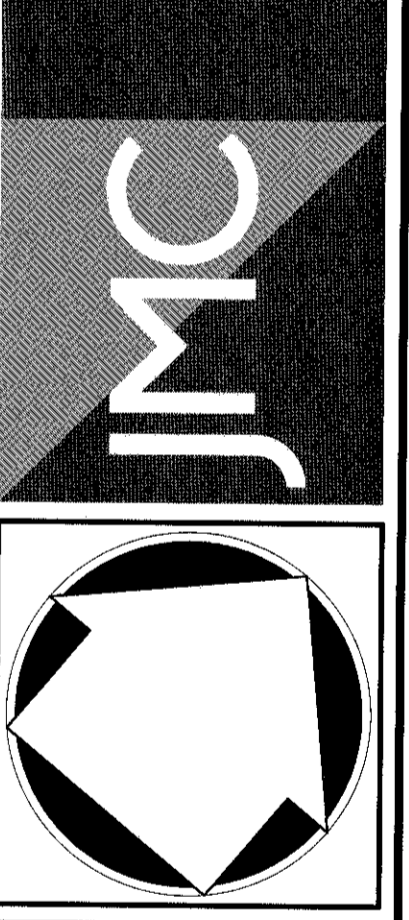
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No.	Revision	Date

APPLICANT/OWNER: FARRELL HOLDING CO. LTD.  
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 BRIDGEHAMPTON, NY 11932

ARCHITECT: MAURI ARCHITECTS P.C.  
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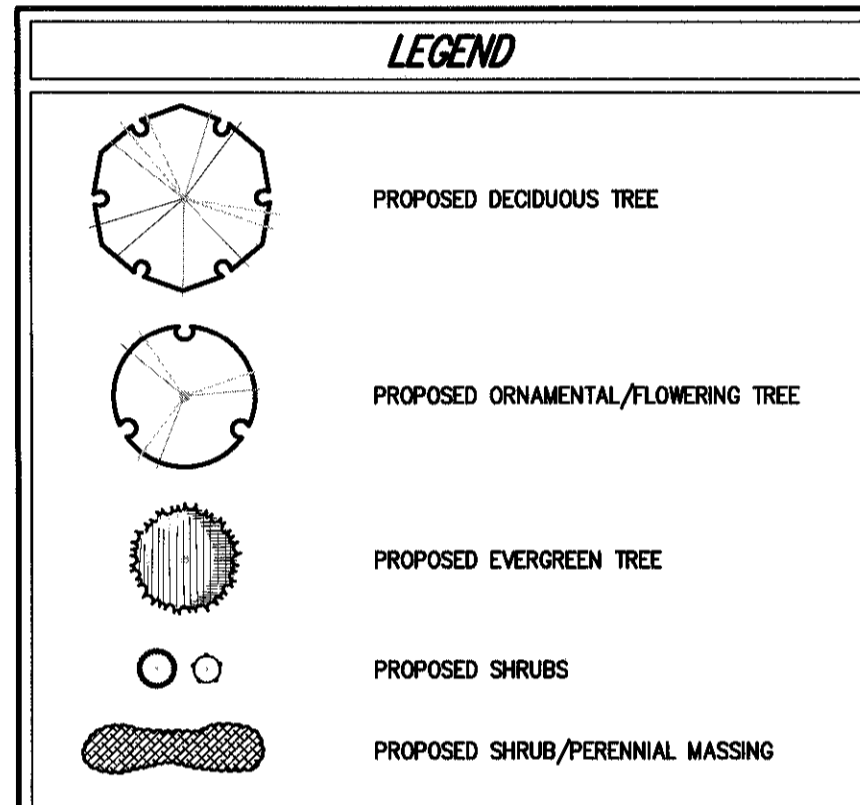
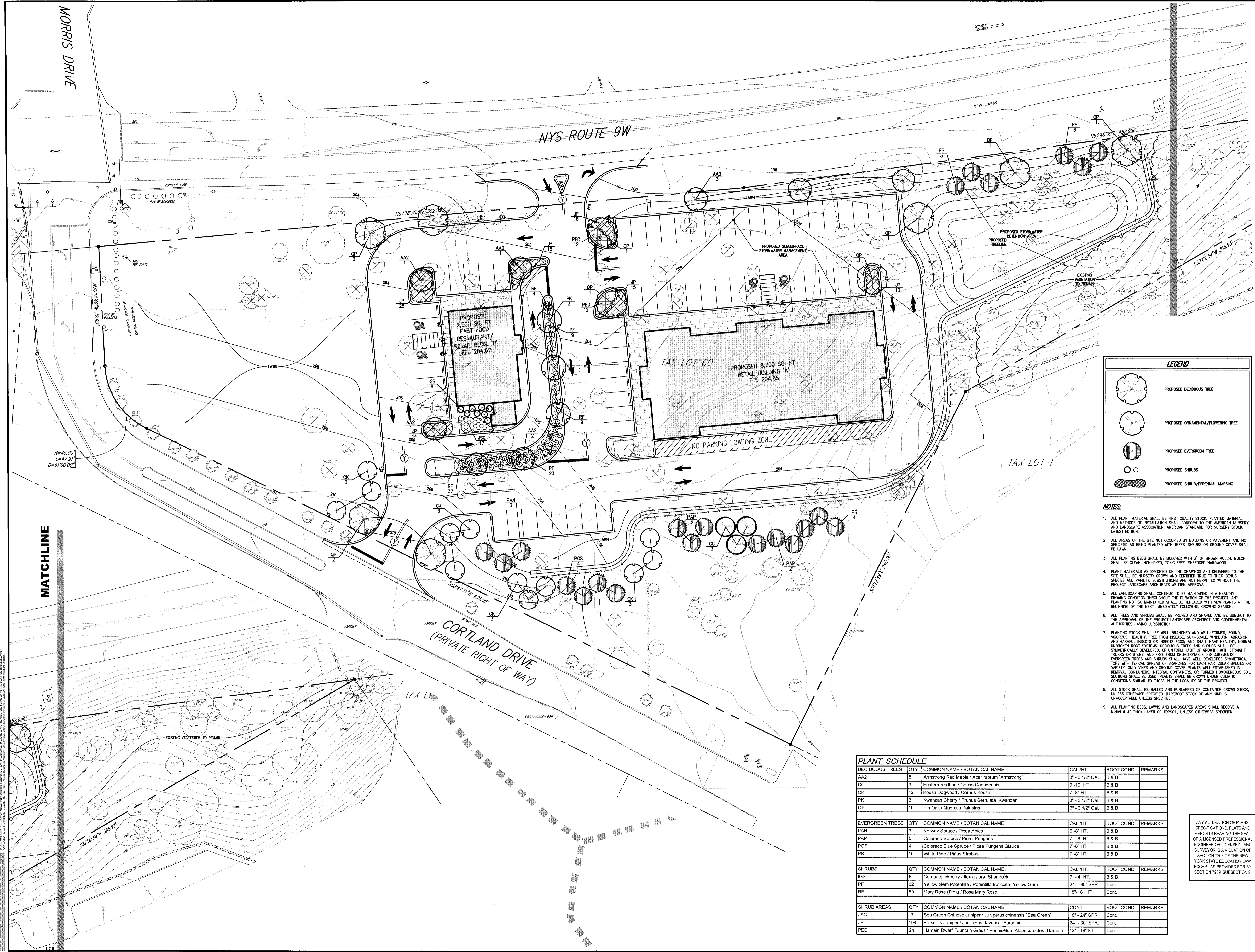
**EROSION AND SEDIMENT CONTROL PLAN**

CORTLAND COMMONS  
 5452 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

Drawn: RC	Approved: JS
Scale: 1" = 20'	Date: 02/23/2017
Project No: 16055	Sheet No: 5 of 5
Drawing No: SP-6	

NOT FOR CONSTRUCTION





- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
  - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDED HARDWOOD.
  - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
  - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
  - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
  - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OR UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OR BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR POTTED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARER ROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
  - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
AA2	8	Armstrong Red Maple / <i>Acer rubrum</i> 'Armstrong'	3' - 3 1/2" CAL.	B & B	
CC	3	Eastern Redbud / <i>Cercis Canadensis</i>	9' - 10' HT.	B & B	
CK	12	Kousa Dogwood / <i>Cornus Kousa</i>	7' - 8' HT.	B & B	
PK	3	Kwanzani Cherry / <i>Prunus Serrulata</i> 'Kwanzani'	3' - 3 1/2" Cal.	B & B	
QP	10	Pin Oak / <i>Quercus Palustris</i>	3' - 3 1/2" Cal.	B & B	

EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
PAN	3	Norway Spruce / <i>Picea Abies</i>	6' - 8' HT.	B & B	
PAP	5	Colorado Spruce / <i>Picea Pungens</i>	7' - 8' HT.	B & B	
PGS	4	Colorado Blue Spruce / <i>Picea Pungens</i> Glauca	7' - 8' HT.	B & B	
PS	10	White Pine / <i>Pinus Strobus</i>	7' - 8' HT.	B & B	

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
IGS	8	Compact Inkberry / <i>Ilex glabra</i> 'Shamrock'	3' - 4' HT.	B & B	
PF	32	Yellow Gem Potentilla / <i>Potentilla fruticosa</i> 'Yellow Gem'	24" - 30" SPR.	Cont.	
RF	50	Mary Rose (Pink) / <i>Rosa Mary Rose</i>	15" - 18" HT.	Cont.	

SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT.	ROOT COND.	REMARKS
JSG	17	Sea Green Chinese Juniper / <i>Juniperus chinensis</i> 'Sea Green'	18" - 24" SPR.	Cont.	
JP	104	Parson's Juniper / <i>Juniperus davurica</i> 'Parson's'	24" - 30" SPR.	Cont.	
PED	24	Hamel Dwarf Fountain Grass / <i>Pennisetum Alopecuroides</i> 'Hamel'	12" - 18" HT.	Cont.	

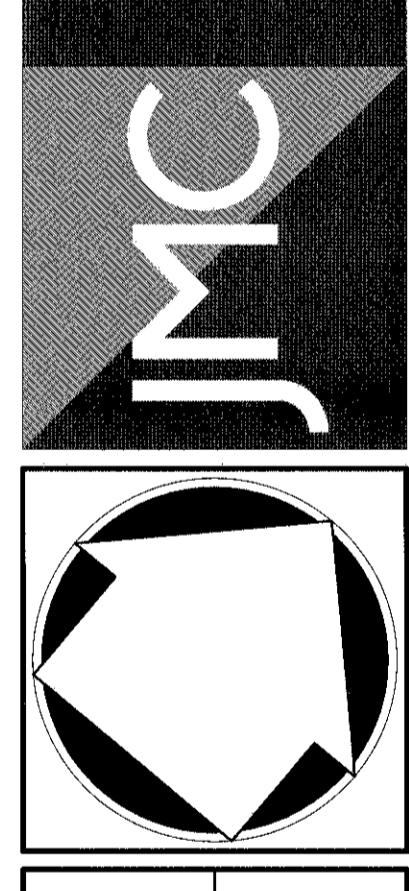
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Revision	Date	By

APPLICATOR: **FARRELL HOLDING CO. LTD.**  
 2317 MONTAUK HIGHWAY  
 BRIDGEHAMPTON, NY 11932

ARCHITECT: **MAURI ARCHITECTS P.C.**  
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**LANDSCAPING PLAN**

**CORTLAND COMMONS**  
 5452 ROUTE 9W SW  
 TOWN OF NEWBURGH, NY 12550

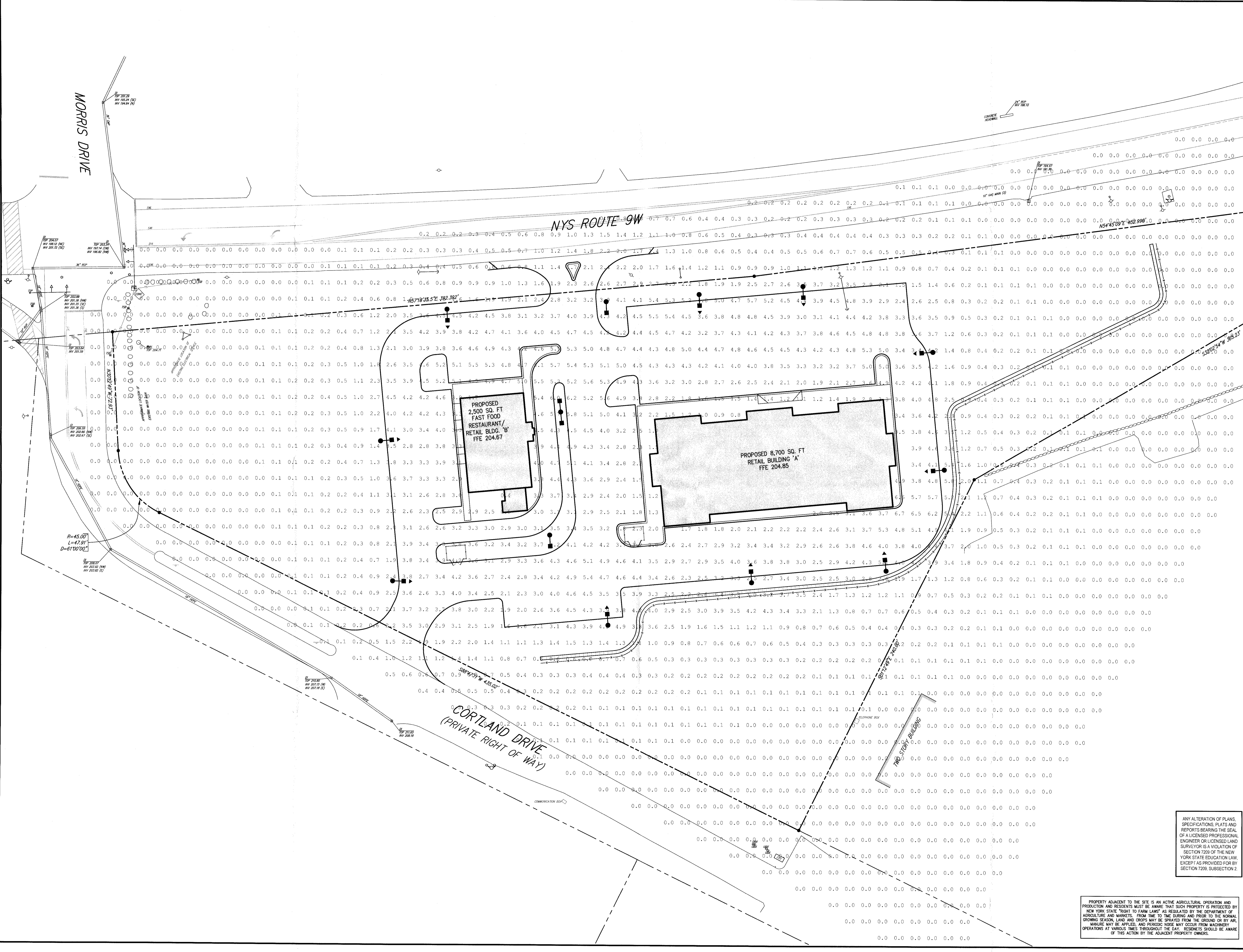
Drawn: RC Approved: JS  
 Scale: 1" = 20'  
 Date: 02/23/2017  
 Project No: 16055  
 WBS-140 LAND - LANDSCAPE-PLANS  
 Drawing No: **SP-7**

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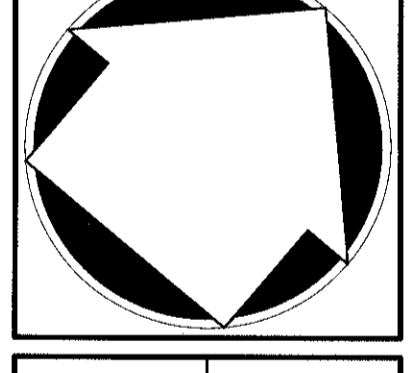
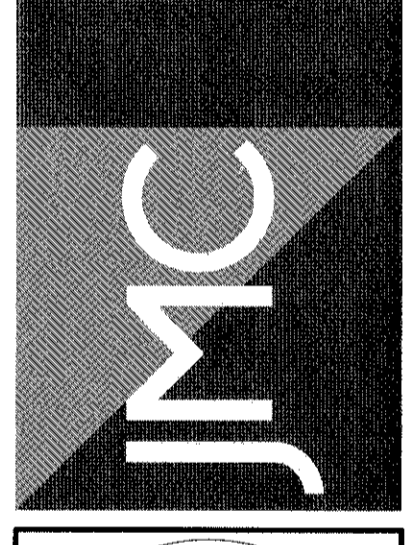
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No.	Revision	Date	By

APPLICATIONS FOR:  
**FARRELL HOLDING CO. LTD.**  
 2377 MONTAUK HIGHWAY  
 BRIDGEHAMPTON, NY 11932  
 ARCHITECT:  
**MAURI ARCHITECTS P.C.**  
 303 WILL STREET  
 POUCHKEEPSIE, NY 12601

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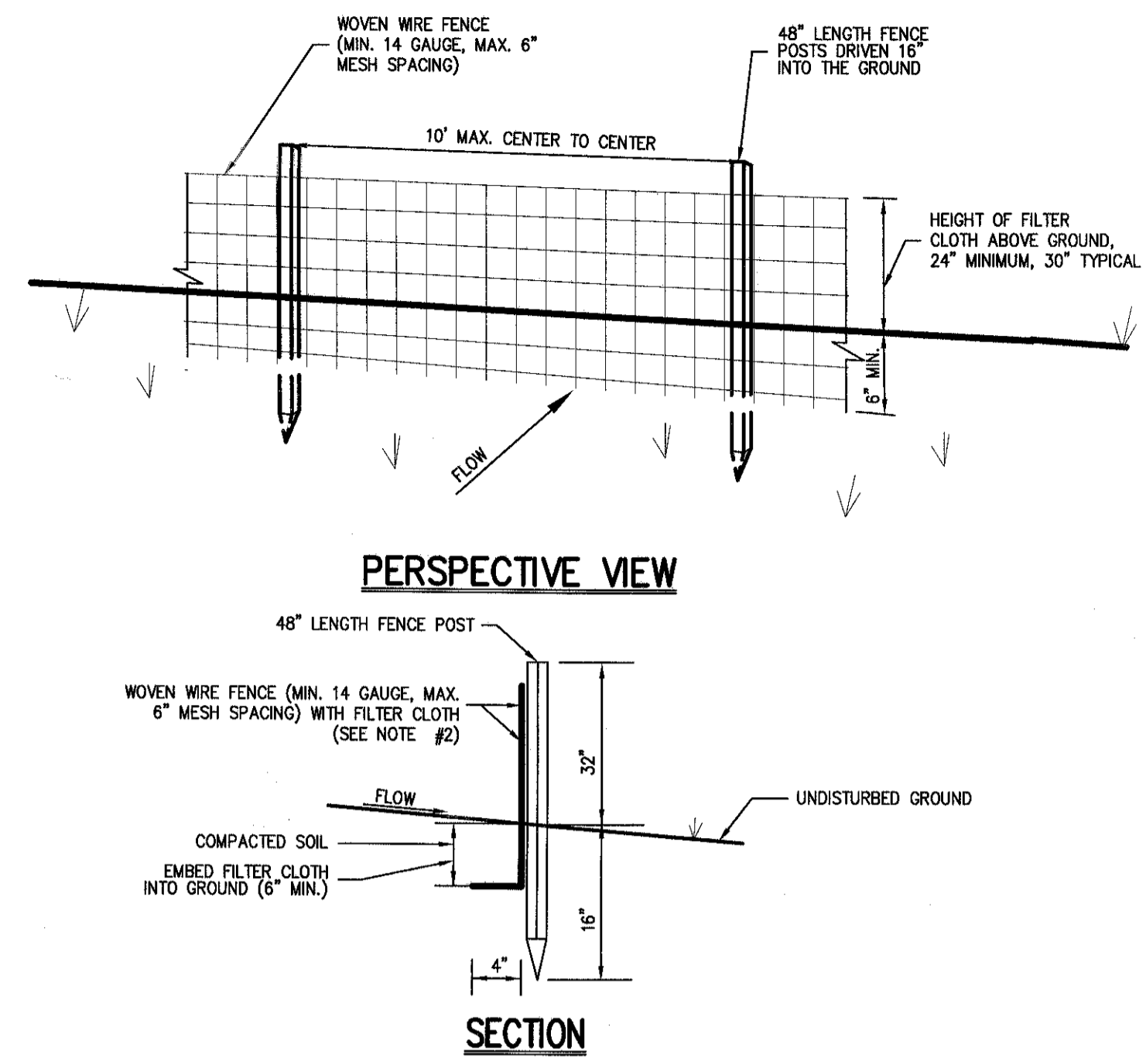


**SITE LIGHTING PLAN**  
 CORTLAND COMMONS  
 5460 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

Drawn: RC Approved: JS  
 Scale: 1" = 20'  
 Date: 02/23/2017  
 Project No: 16055  
 Title: LIGHT  
 Drawing No: SP-8

SP-8



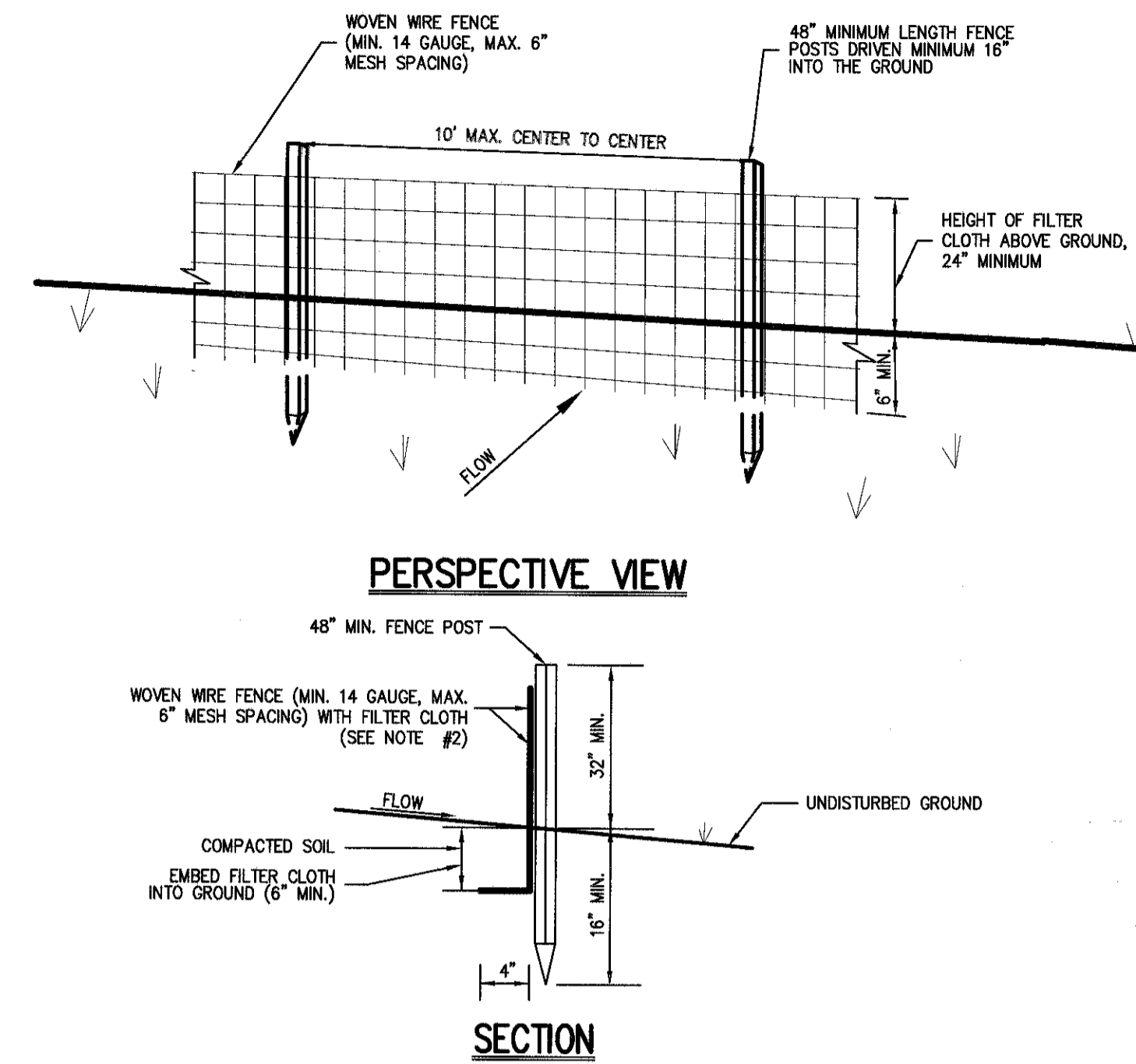


**NOTES:**

- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MRAFI 100X, STABLANKA 110X, OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**

1

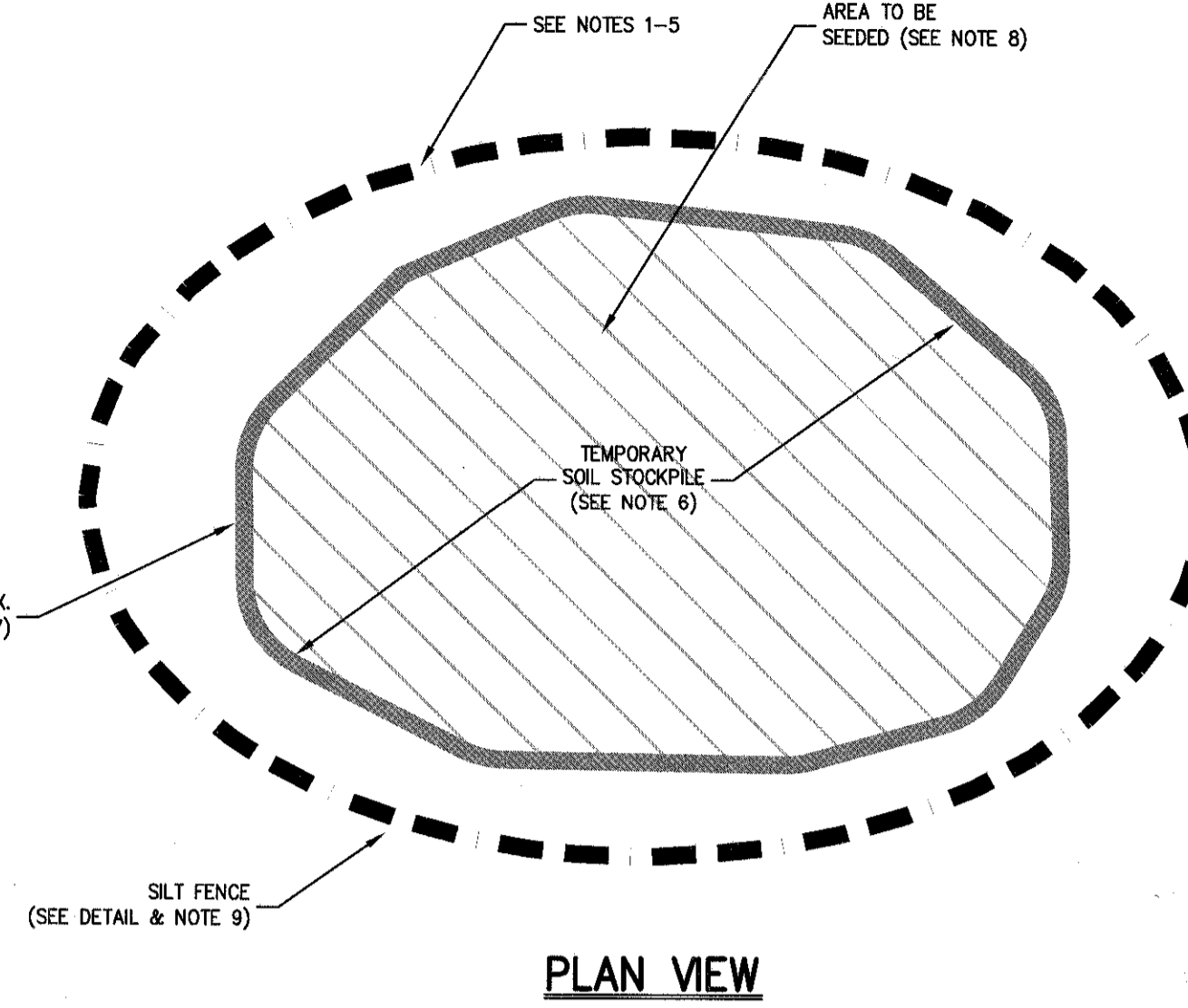


**NOTES:**

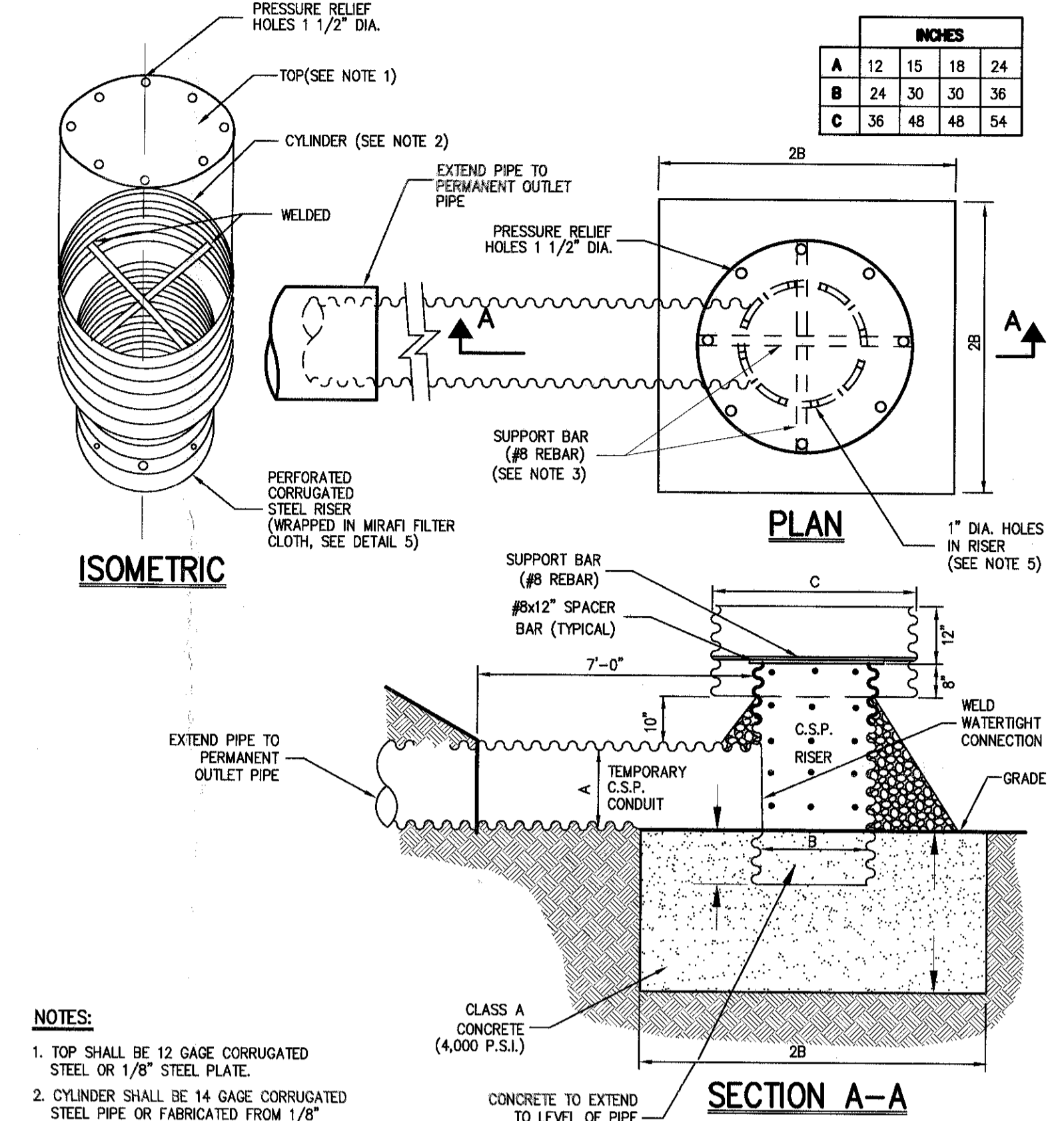
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- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MRAFI 100X, STABLANKA 110X, OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

**TEMPORARY SOIL STOCKPILE WITH SILT FENCE**

2



**PLAN VIEW**



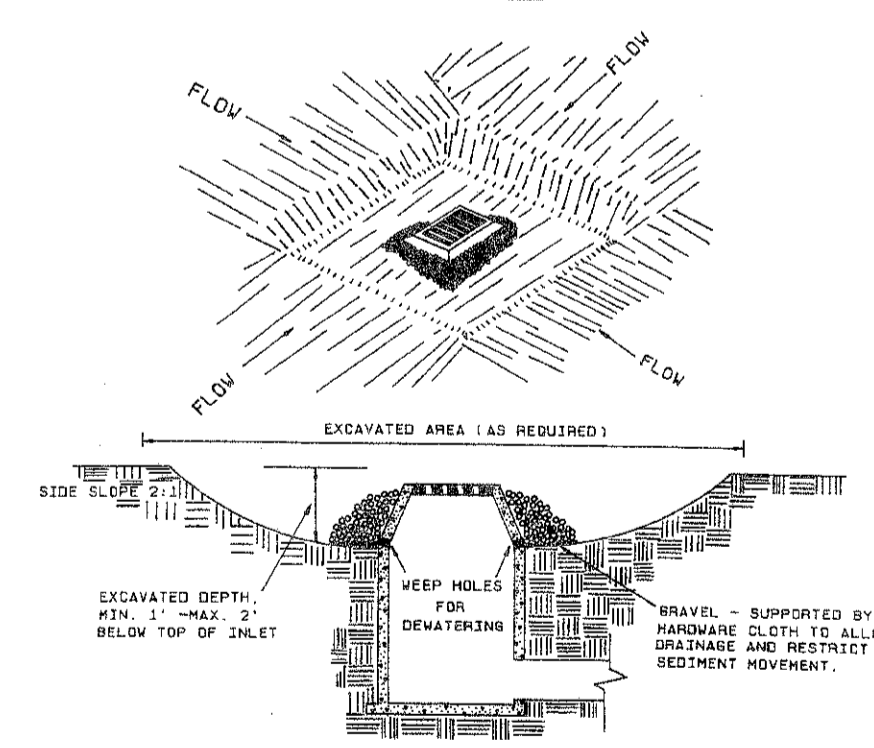
**NOTES:**

- TOP SHALL BE 12 GAUGE CORRUGATED STEEL OR 1/8" STEEL PLATE.
- CYLINDER SHALL BE 14 GAUGE CORRUGATED STEEL PIPE OR FABRICATED FROM 1/8" STEEL PLATE. THE CYLINDER SHALL BE FIRMLY FASTENED TO THE TOP OF THE RISER.
- SUPPORT BARS SHALL BE WELDED TO THE TOP OF THE RISER OR ATTACHED BY STRAPS BOLTED TO THE TOP OF THE RISER.
- TEMPORARY RISER AND ANTI-VORTEX DEVICE SHALL BE REMOVED UPON COMPLETION OF PAVEMENT AND ESTABLISHMENT OF SEEDING AREAS.
- RISER TO BE PERFORATED WITH 1" HOLES SPACED 12" HORIZ. AND VERT. AND LOCATED IN CONCAVE PORTION OF CORRUGATIONS. PERFORATIONS SHALL NOT EXTEND BELOW INVERT ELEVATIONS OF OUTLET PIPE. WRAP RISER IN MRAFI FILTER CLOTH OR APPROVED EQUAL AND SURROUND RISER WITH 1 1/2"-2" SIZE CRUSHED STONE.

DETENTION POND	RISER SIZE
DETENTION POND DOOR	DOOR

**TEMPORARY RISER & ANTI-VORTEX DEVICE**

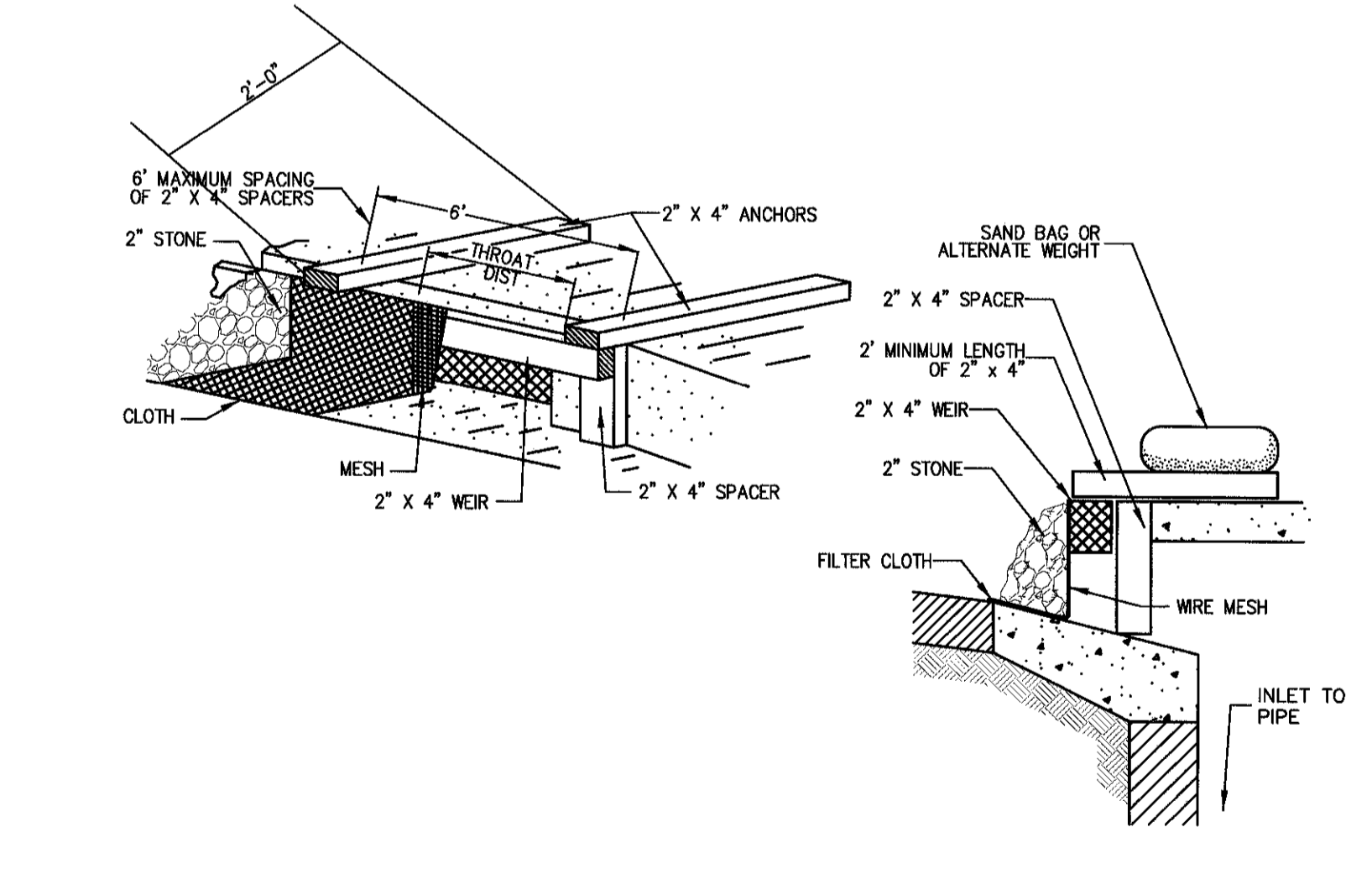
3



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEIR HOLES SHALL BE PROTECTED BY STONE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEIR HOLES FULL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

**EXCAVATED DROP INLET PROTECTION**

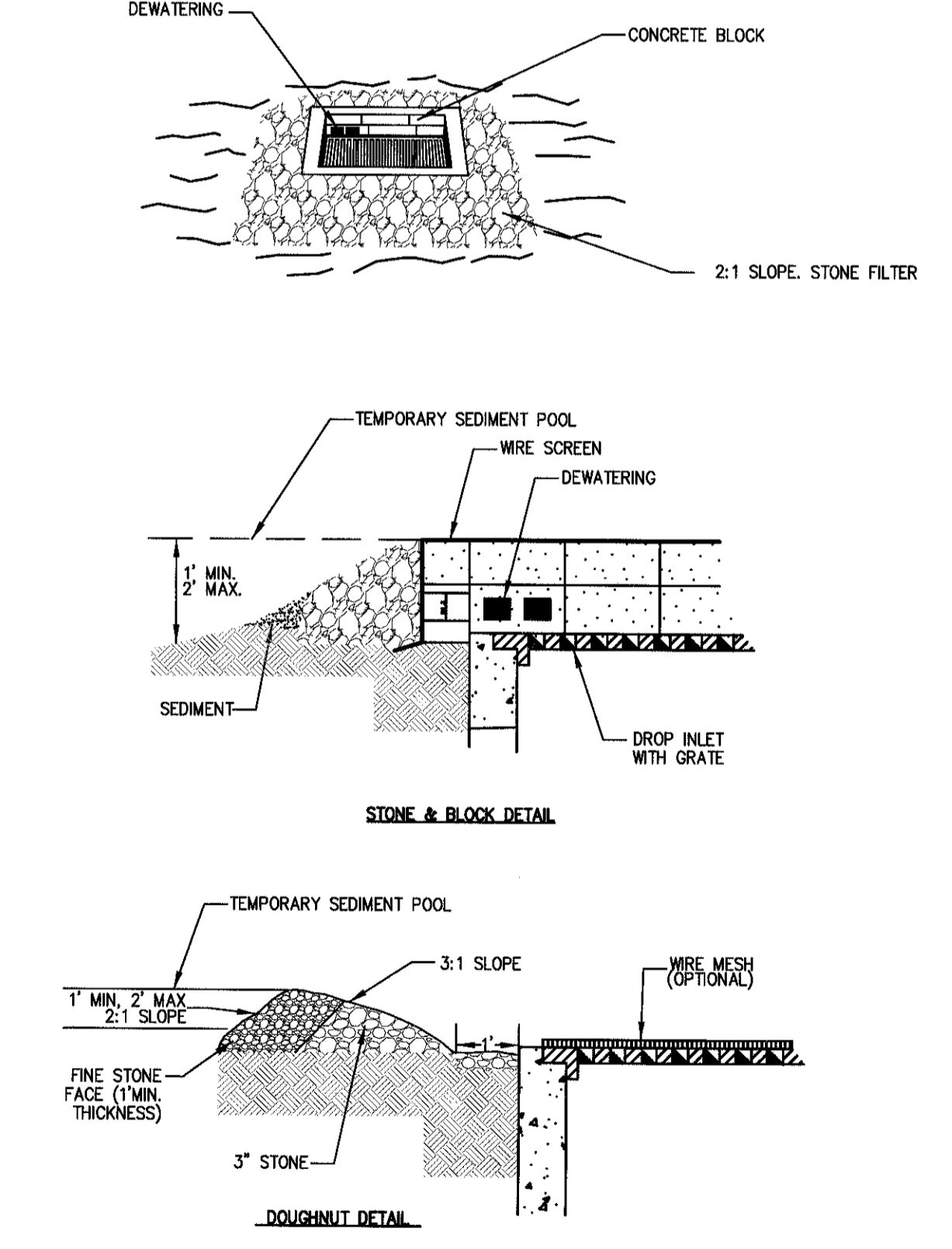
4



- NOTES:**
- FILTER FABRIC SHALL HAVE AN EGS OF 40-85.
  - WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
  - WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY WALLED TO A 2" X 4" WEIR.
  - THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2' LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
  - INLET PROTECTION SHALL BE INSPECTED FREQUENTLY, MAINTAINED, REPAIRED OR REPLACED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
  - INLET PROTECTION SHALL BE REMOVED WHEN DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
  - IF A SIDEWALK EXISTS, THE CONTRACTOR SHALL PROVIDE PROTECTIVE FENCING (SEE DETAILS) TO PROTECT THE PUBLIC.
  - THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- MAXIMUM DRAINAGE AREA 1 ACRE

**CURB DROP INLET PROTECTION STRUCTURE**

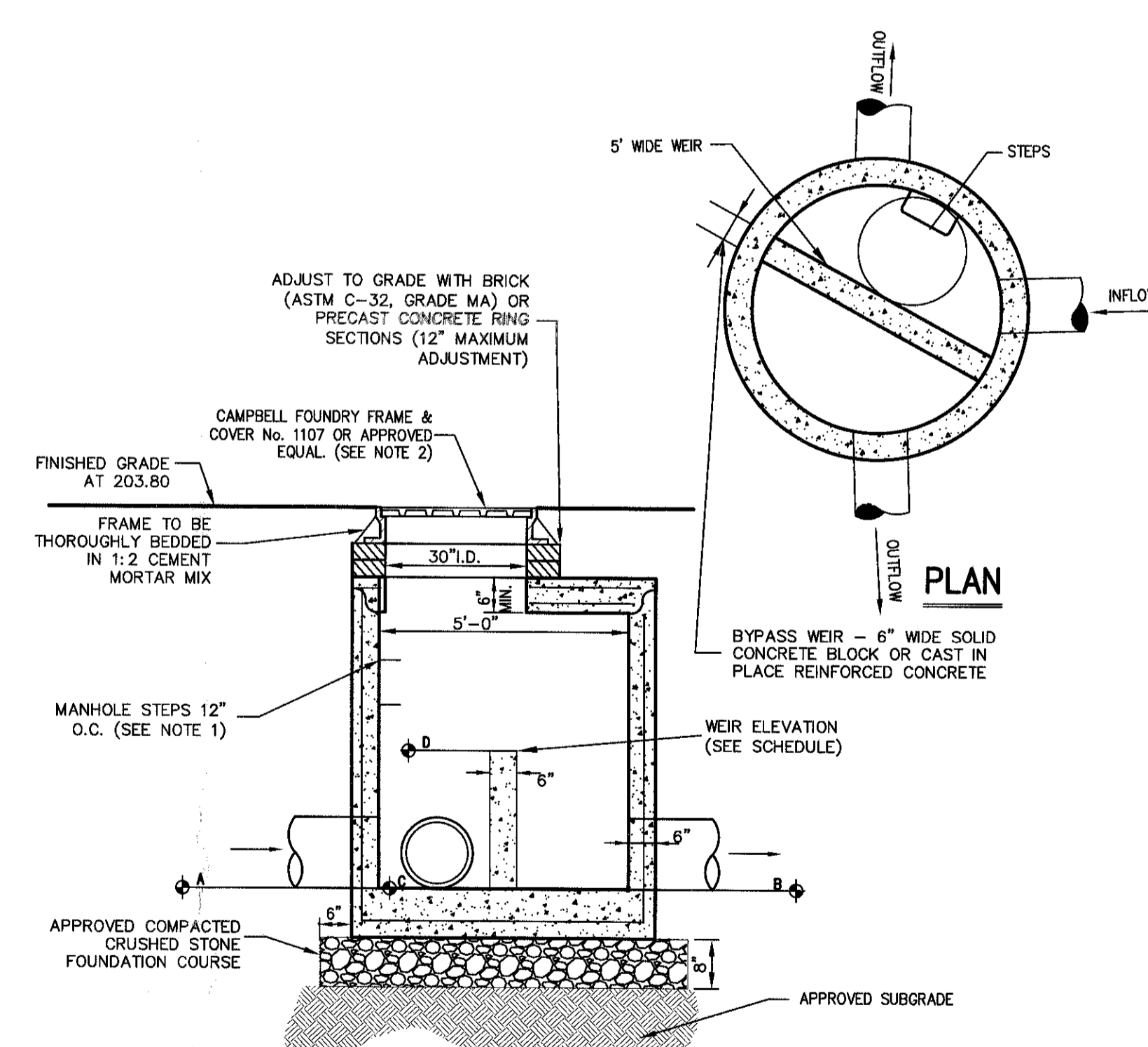
5



- NOTES:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
  - USE CLEAN STONE 1/2" TO 3/4" IN DIAMETER PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.

**STONE & BLOCK DROP INLET PROTECTION**

6



**SCHEDULE OF INVERTS AND ELEVATIONS**

BYPASS STRUCTURE	A	B	C	D
	SIZE	INVERT	SIZE	INVERT
OCS-1	15" HDPE	196.52	15" HDPE	196.52
				WEIR ELEVATION
				199.52

- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEENAH No. R-1081-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
  - UNLESS OTHERWISE SPECIFIED, STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
  - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
  - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.
  - O-RING JOINTS TO CONFORM TO A.S.T.M. DESIGNATION C443 LATEST REVISION. JOINTS TO BE MORTARED INSIDE AND OUT USING NON-SHRINKING MORTAR.
  - PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. DESIGNATION C-478, LATEST REVISION, MINIMUM COMPRESSIVE STRENGTH TO BE 4000 P.S.I.

**OUTLET CONTROL STRUCTURE (BMH A-1)**

7

NOT FOR CONSTRUCTION

Drawn: RC Approved: JS  
 Scale: NOT TO SCALE  
 Date: 02/23/2017  
 Project No: 16055  
 SHEET NO: 99-9  
 Drawing No: SP-9

APPLICANT/OWNER: **FARRELL HOLDING CO. LTD.**  
 266 EAST JERICHO TURNPIKE  
 SOUTH HUNTINGTON, NY 11746

ARCHITECT: **MAURI ARCHITECTS P.C.**  
 303 WILL STREET  
 POUGHKEEPSIE, NY 12601

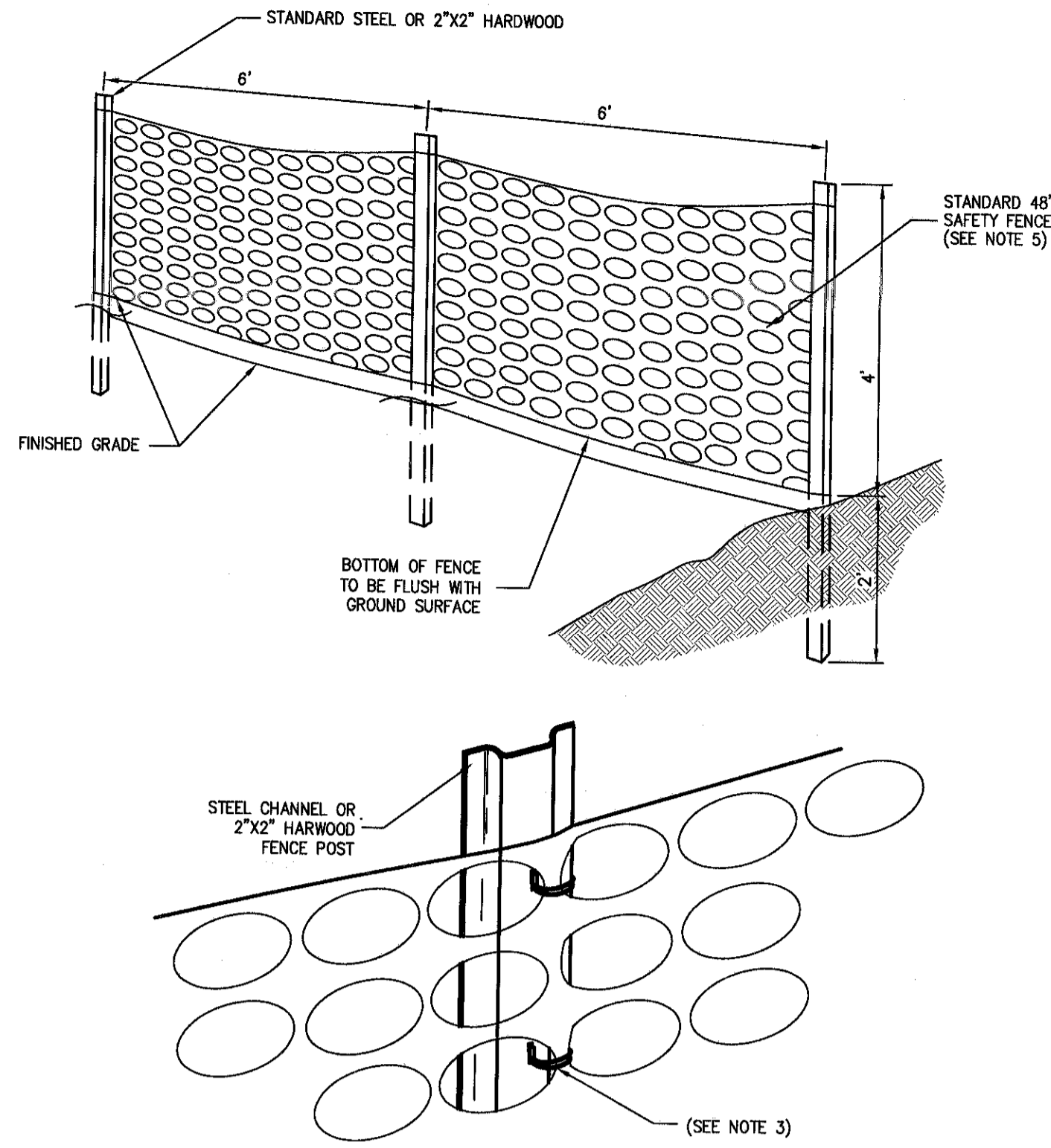
APPRAISER: **JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC**  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 914.473.8205 • fax 914.473.2102  
 www.jmcpfe.com

**JMC**

**CONSTRUCTION DETAILS**  
**CORTLAND COMMONS**  
 5452 ROUTE 9W  
 TOWN OF NEWBURGH, NY 12550

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

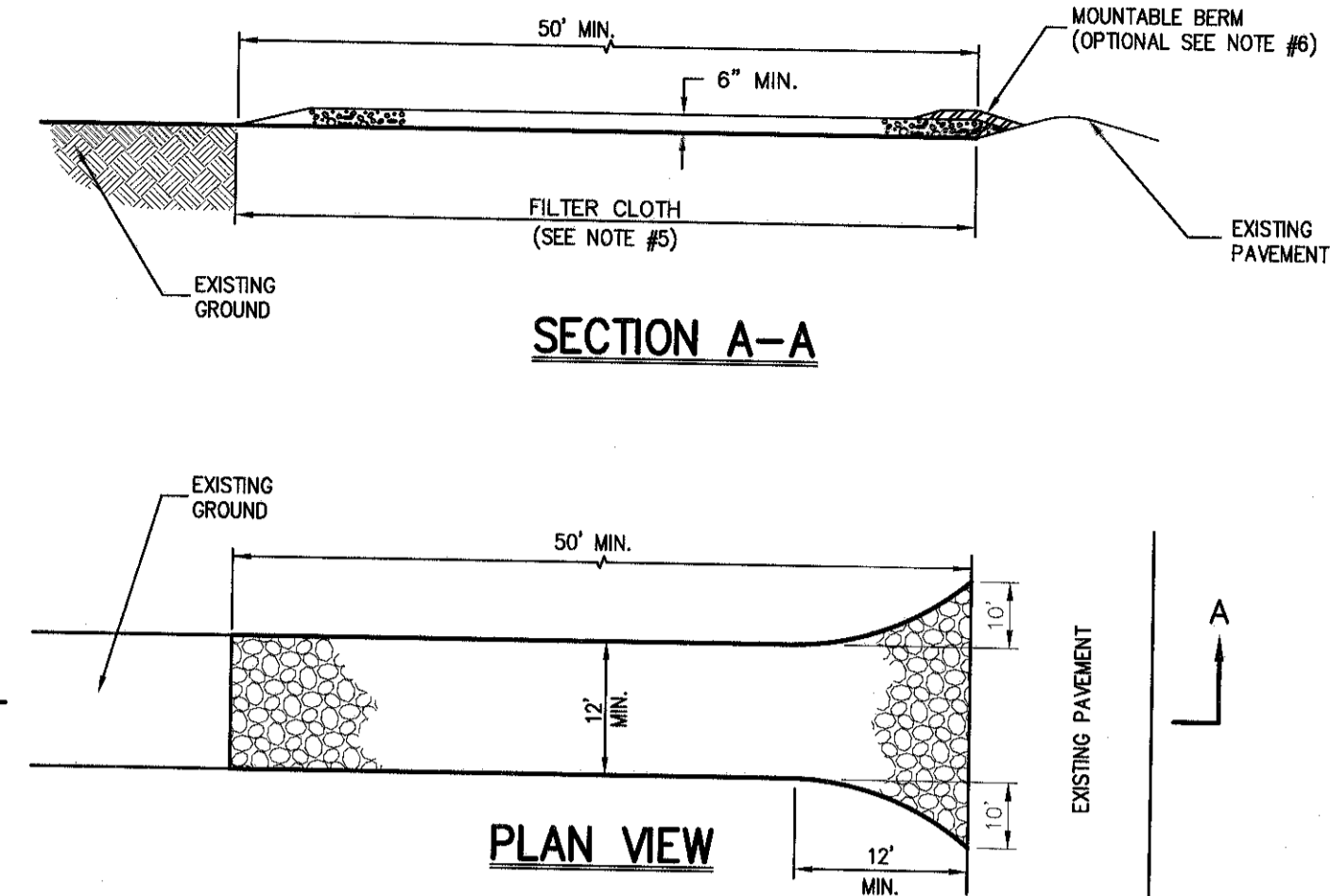




- NOTES:**
- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
  - DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
  - FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
  - PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
  - PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.
  - REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

**CONSTRUCTION FENCE**

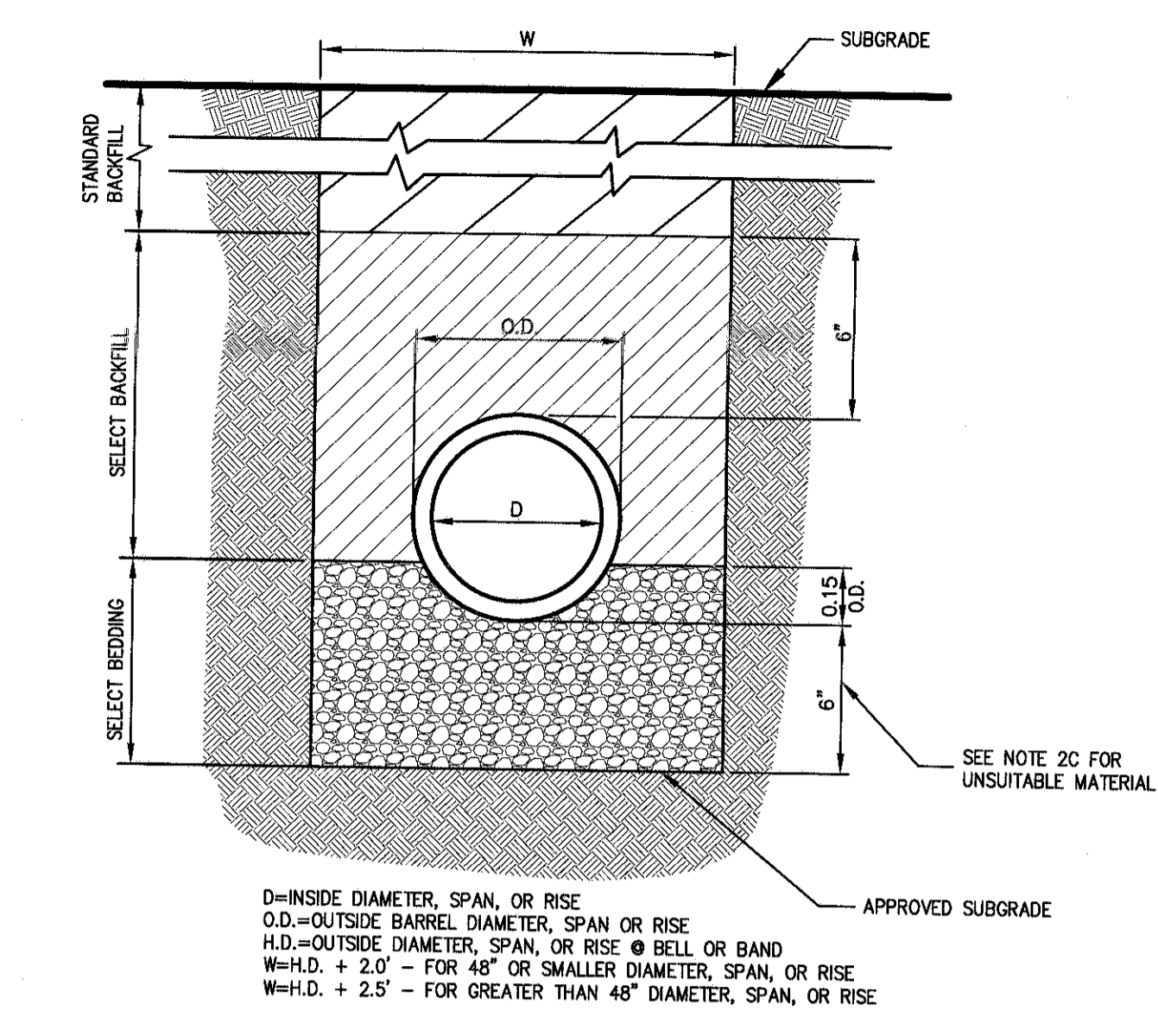
8



- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESSES OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DRENCH TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**

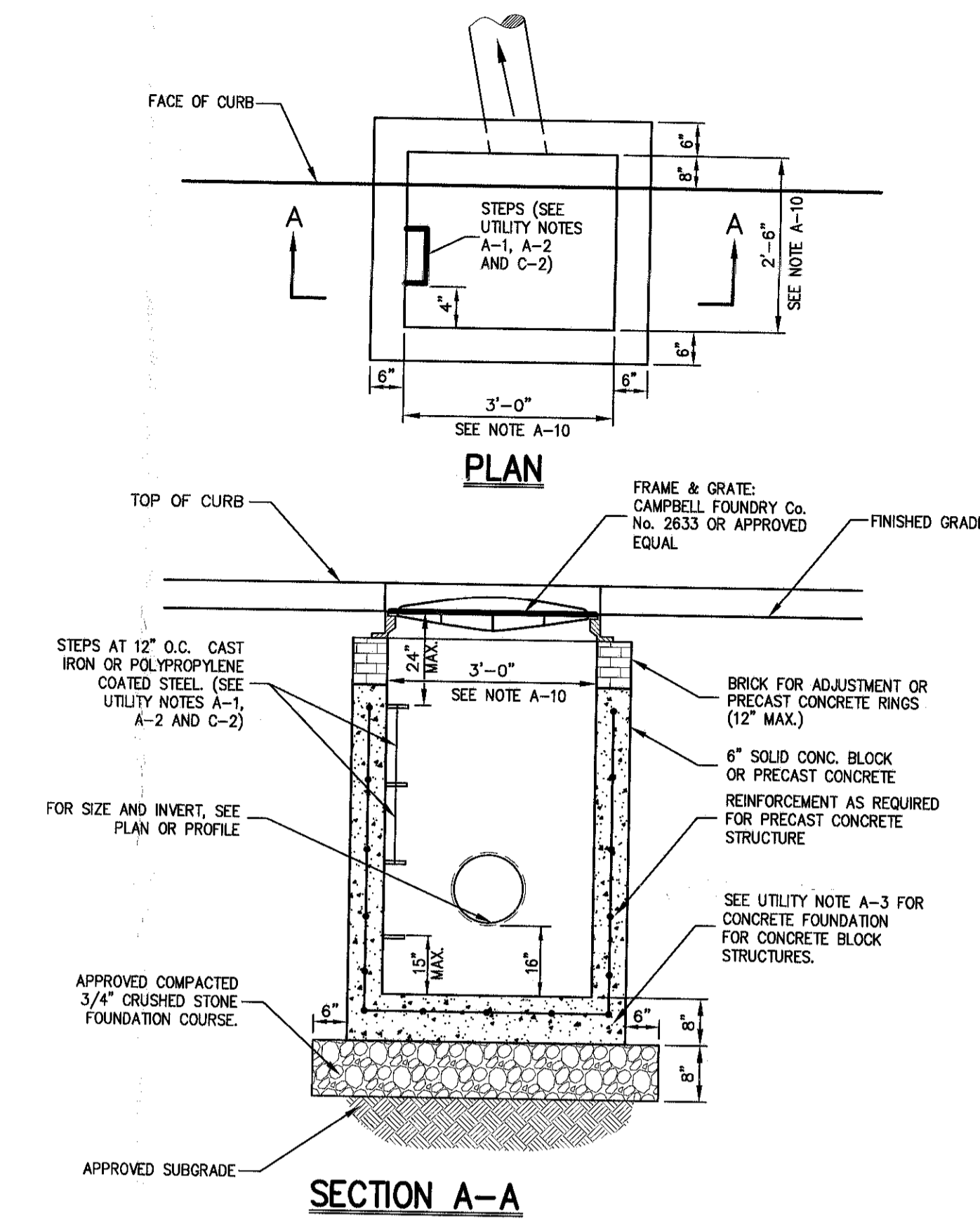
9



- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
    - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
    - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
  - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
    - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
    - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
    - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM DEPTH OF UNDERCUTTING IN FULL AREAS. ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
  - FOR ALL TRENCH EXCAVATION IN FULL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
  - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM MOISTURE DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

**TYPE II TRENCH**

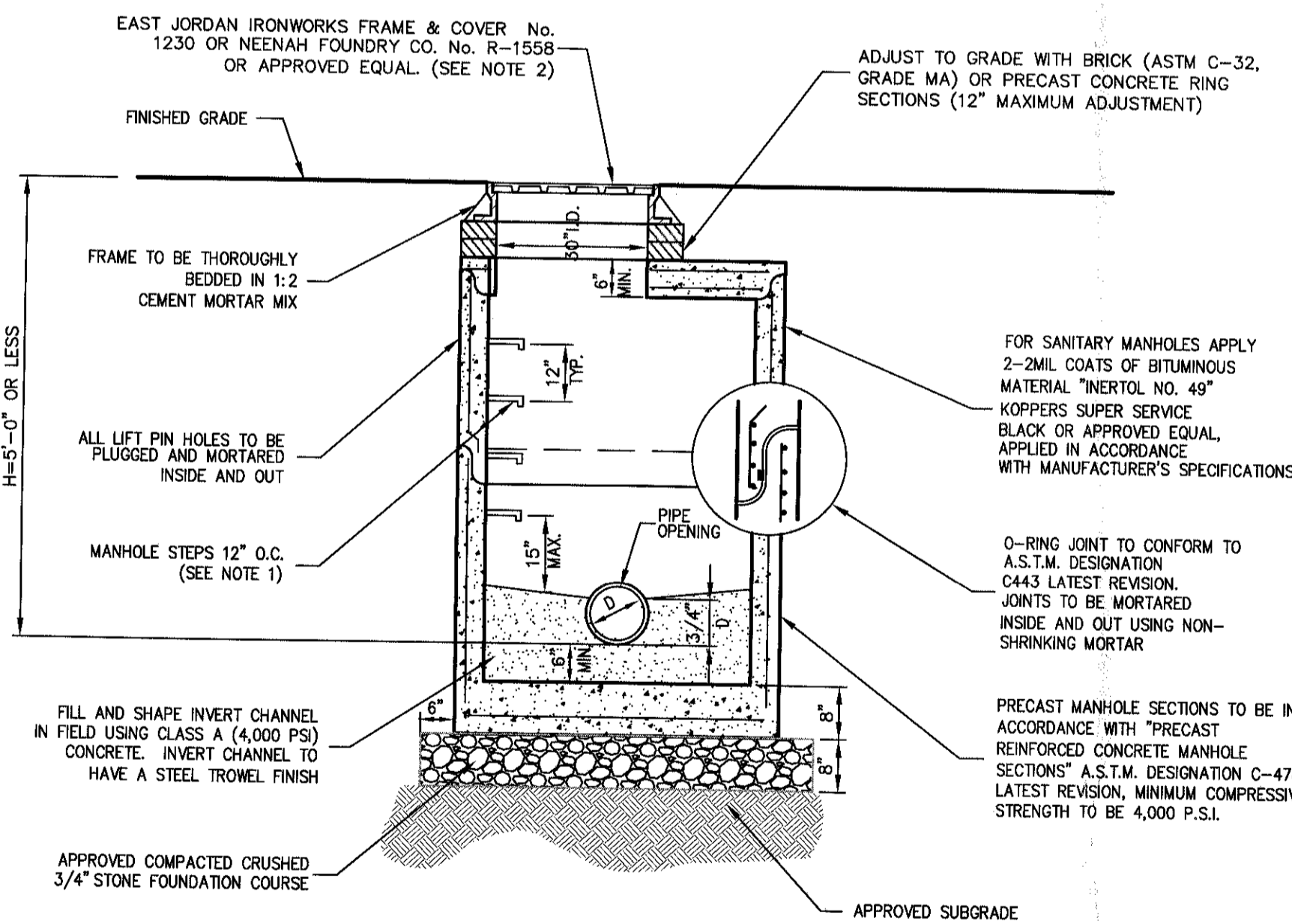
10



- NOTE:**
- SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

**DRAIN INLET (TYPE CI)**

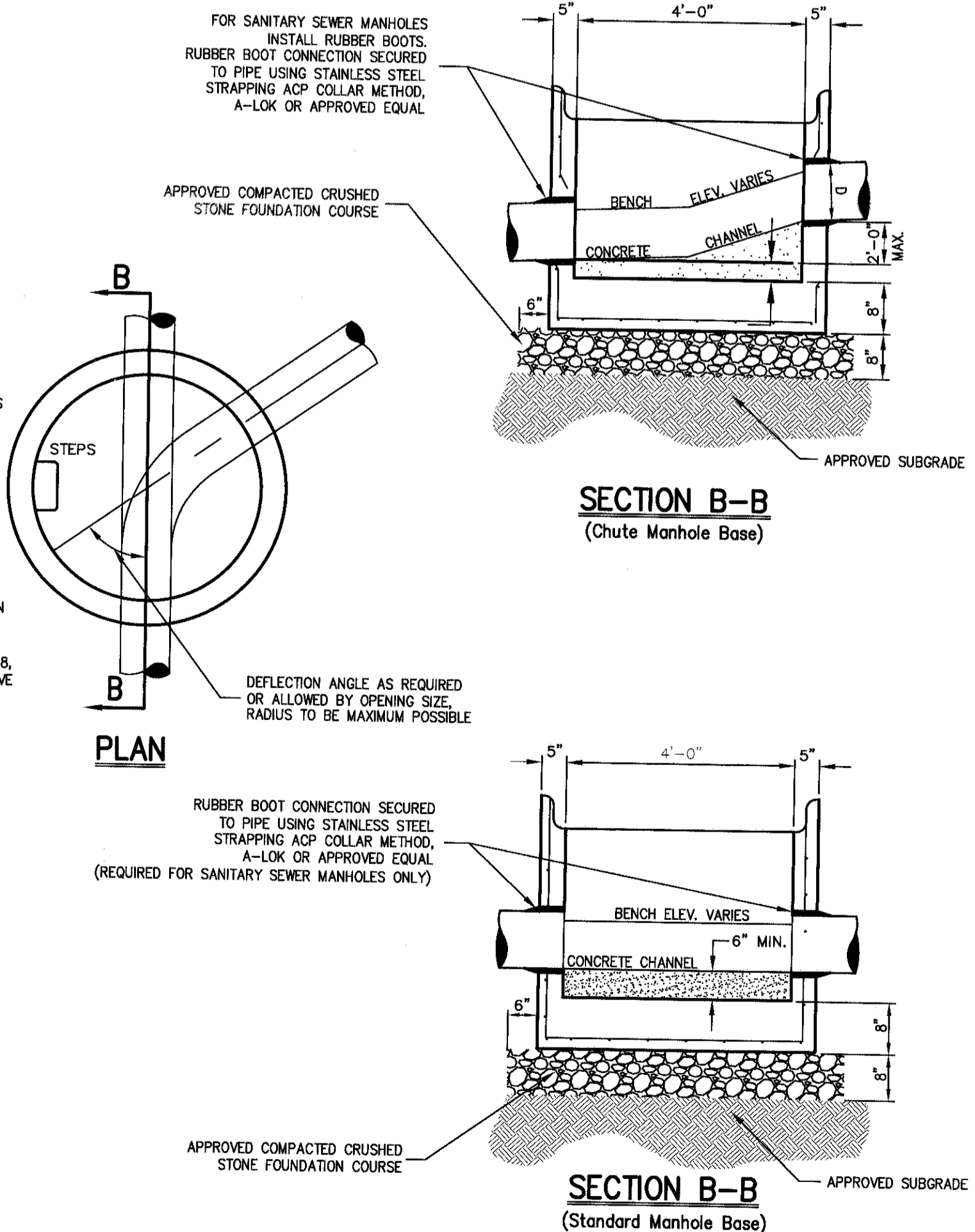
11



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL. (SEE SPECIFICATIONS) OR APPROVED EQUAL.
  - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
  - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
  - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.

**MANHOLE (TYPE A)**  
(H < 5'-0")

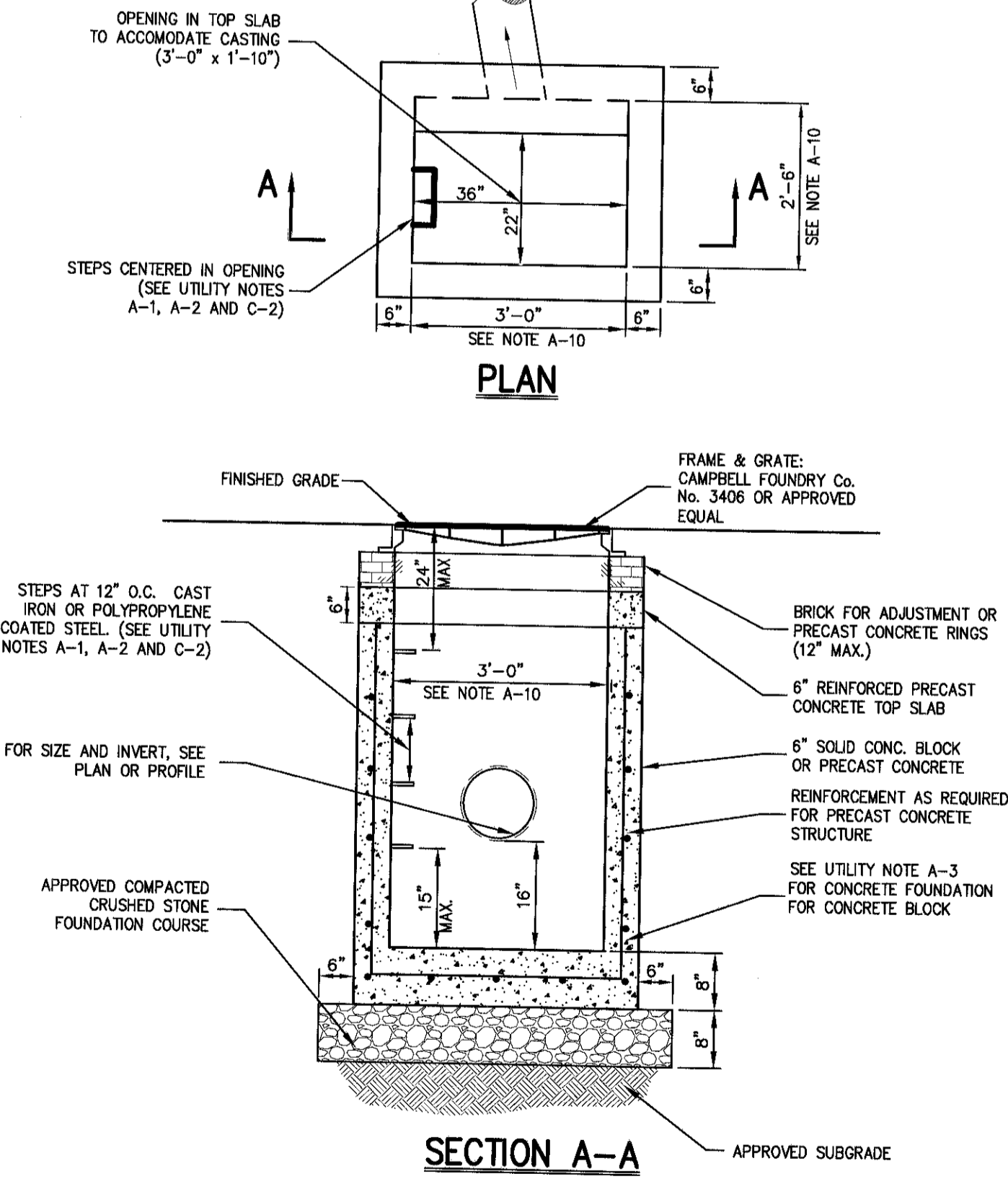
12



- NOTE:**
- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
  - SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

**DRAIN INLET (TYPE DI)**

13



- NOTES PERTAINING TO DRAIN INLETS**
- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
  - WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
  - FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS #4000 (psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
  - ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIK-A-SET AS MANUFACTURED BY THE SIK-A CHEMICAL CORP.
  - FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
  - ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
  - PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
  - FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
  - FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.
- NOTES PERTAINING TO MANHOLES**
- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
  - FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
  - FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
  - TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
  - INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
  - NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.
- NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**
- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
  - STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

**UTILITY NOTES**

14

NOT FOR CONSTRUCTION

APPLICANT/OWNER: **FARRELL HOLDING CO. LTD.**  
266 EAST JERICO TURNPIKE  
SOUTH HUNTINGTON, NY 11746

ARCHITECT: **MAURI ARCHITECTS P.C.**  
303 MILL STREET  
FOURKEEPSIE, NY 12601

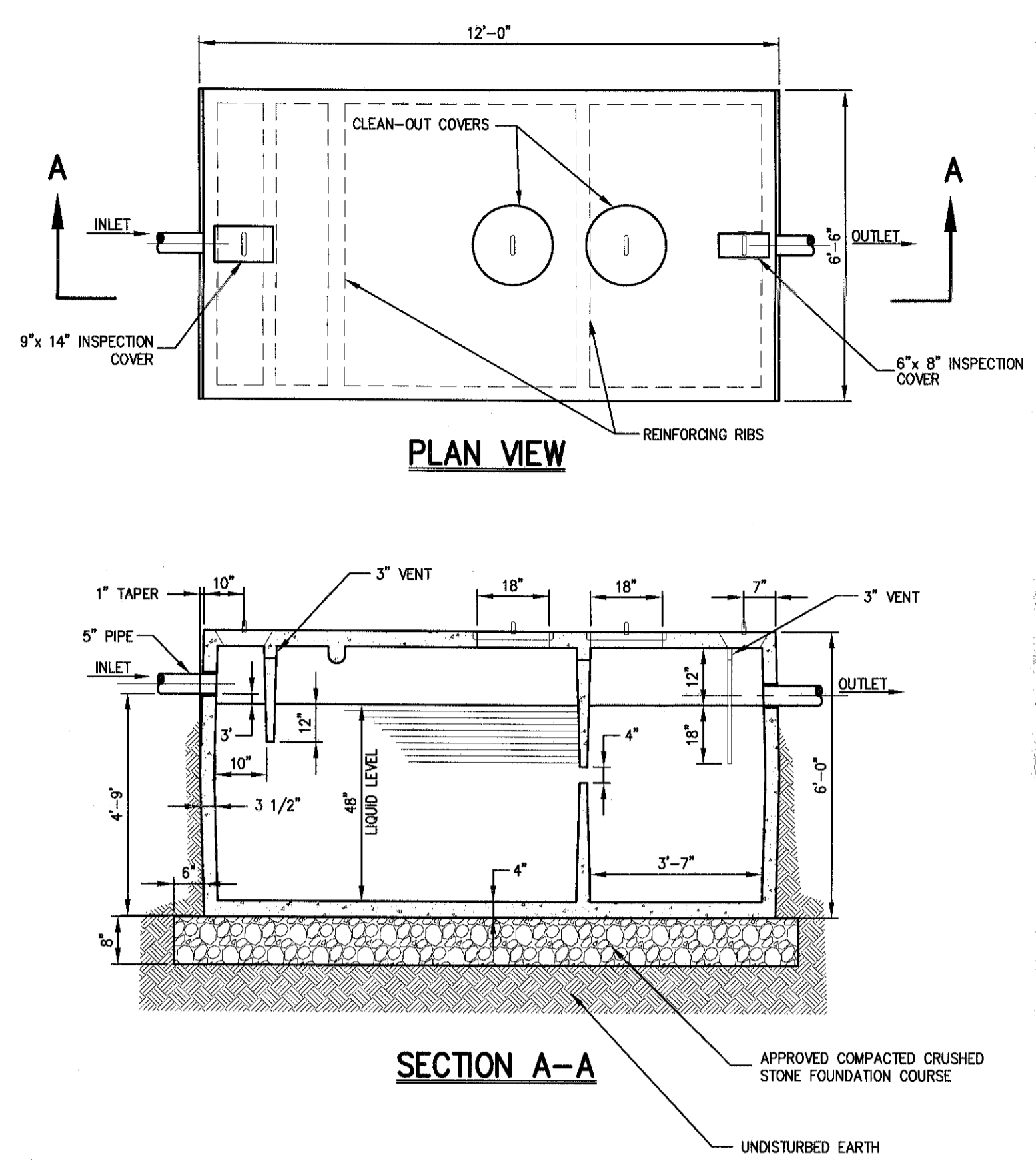
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
voice 914.273.5225 - fax 914.273.2102  
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**CONSTRUCTION DETAILS**  
CORTLAND COMMONS  
5452 ROUTE 9W  
TOWN OF NEWBURGH, NY 12550

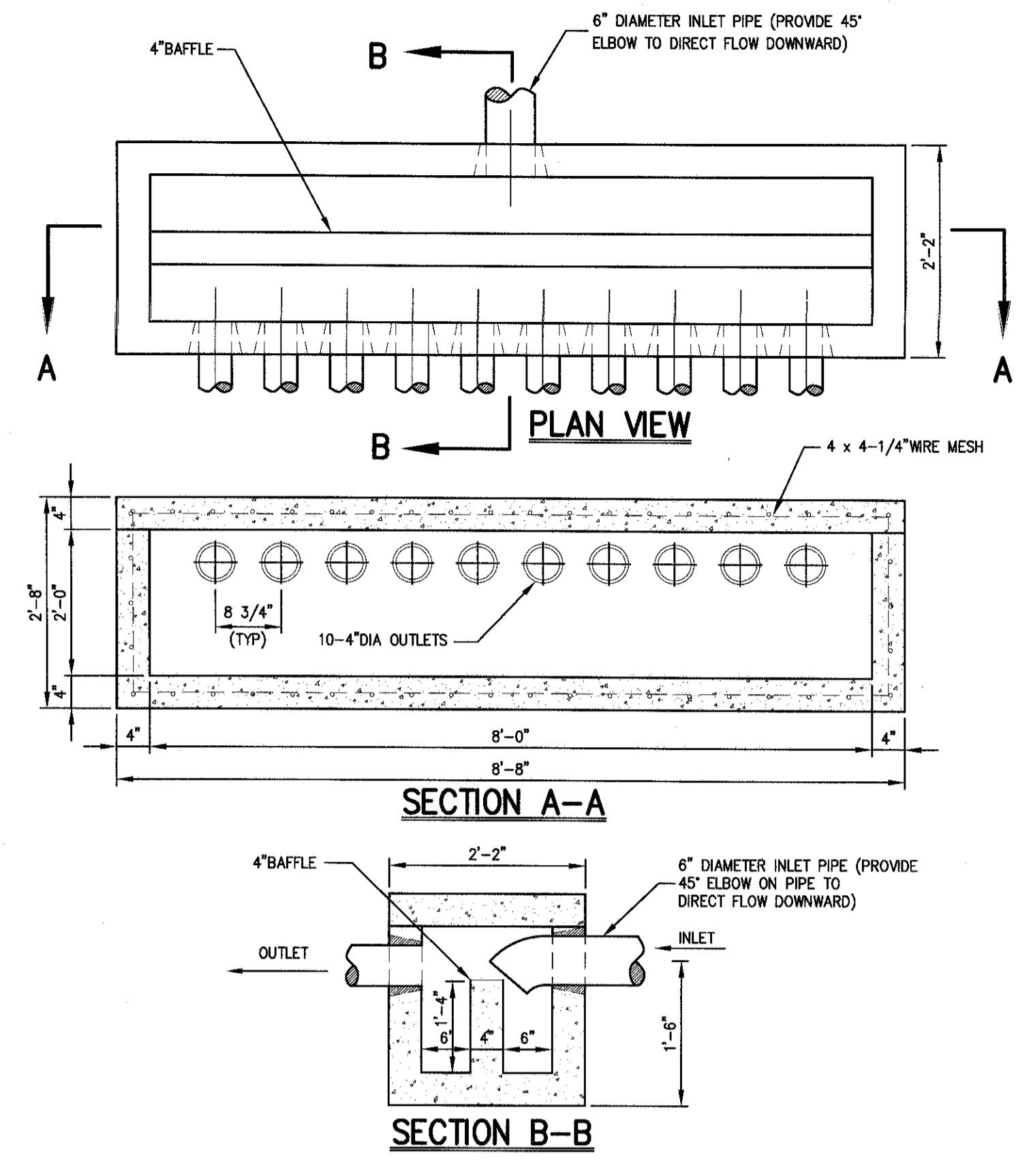
Drawn: RC Approved: JS  
Scale: NOT TO SCALE  
Date: 02/23/2017  
Project No: 16055  
Revised: SP-10

SP-10

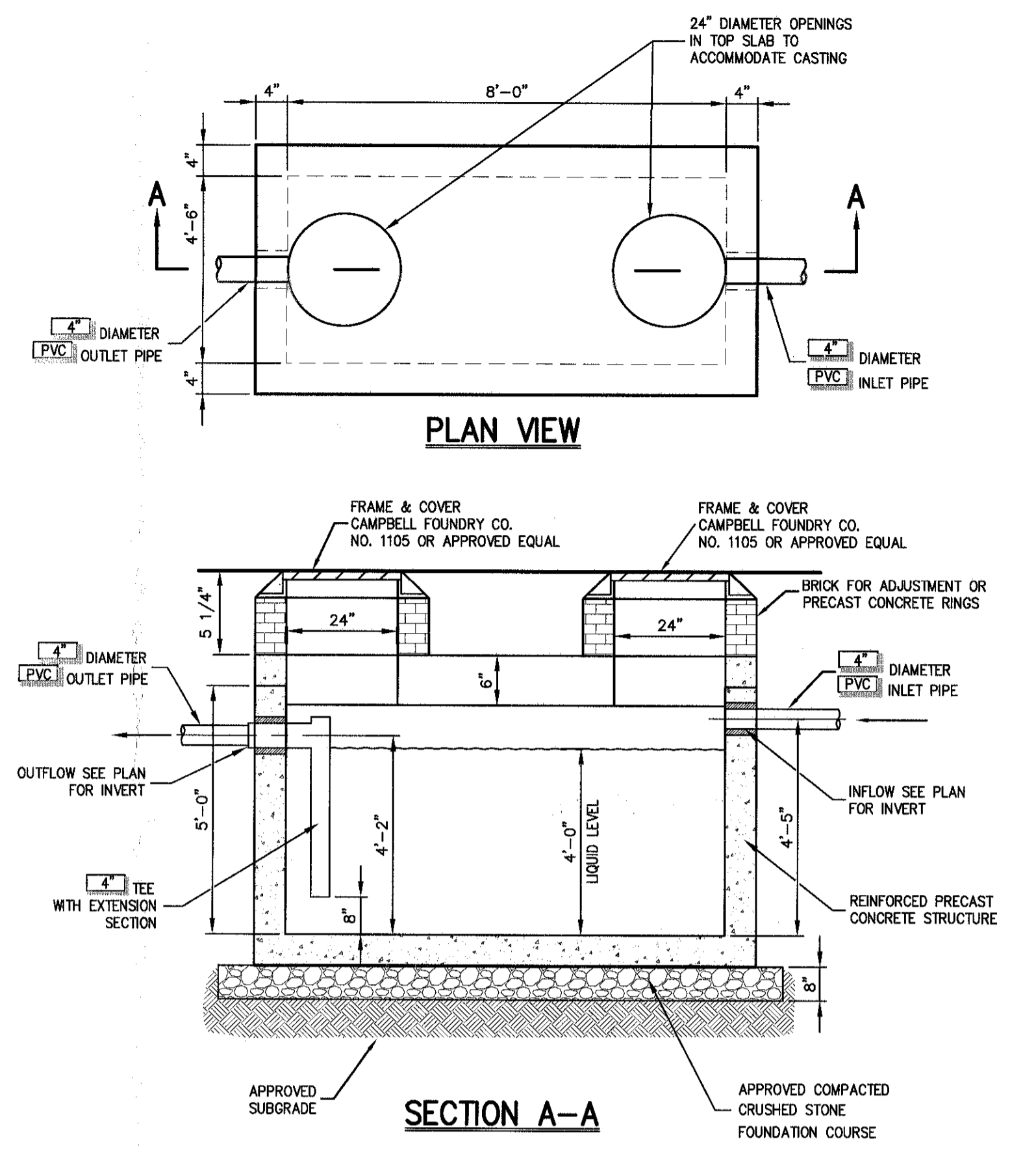
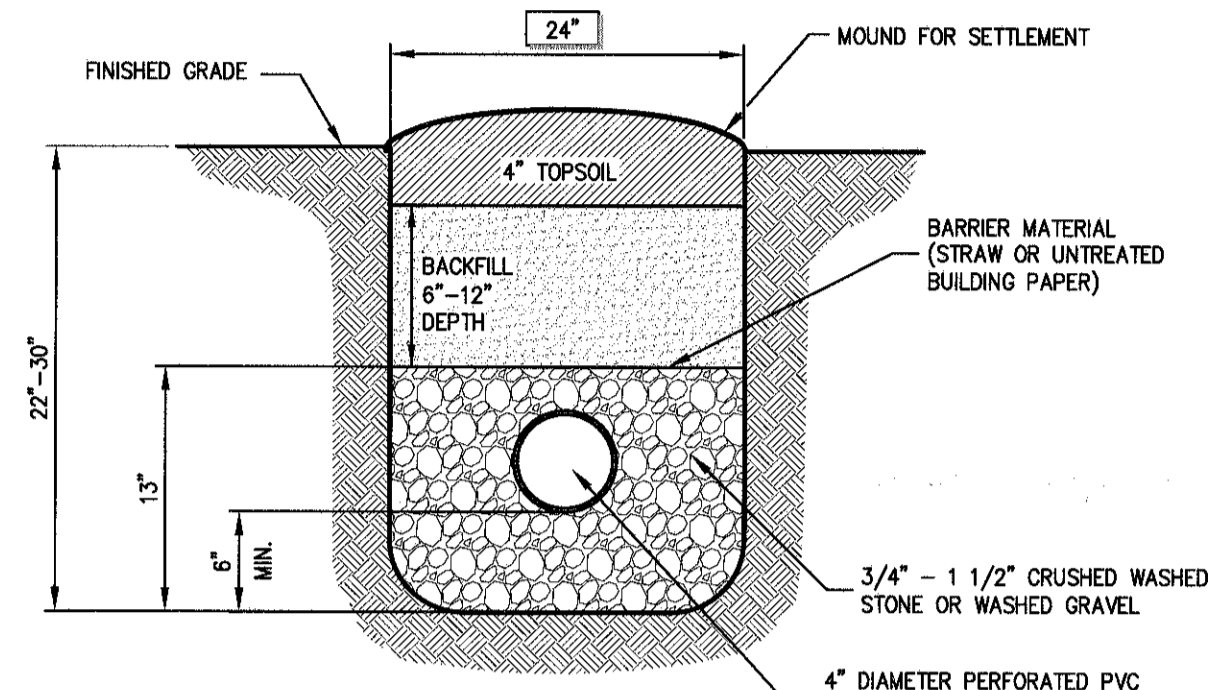




- NOTES:**
- SEPTIC TANK SHALL BE M&M CONCRETE PRODUCTS, INC. PRODUCT NO. S-1000-12, 1500 GALLON, OR APPROVED EQUAL.
  - CONCRETE MINIMUM STRENGTH: 4,000 PSI @ 28 DAYS.
  - TANK SHALL BE PLACED ON 3" BED OF SAND OR PEA GRAVEL.



- NOTES:**
- BOTTOM OF BOX MUST BE LEVEL AND SUPPORTED SOLIDLY TO BELOW FROST LINE. FOOTING TO EXTEND TO 42" BELOW GROUND LEVEL.
  - PRECAST CONCRETE BOX TO BE MANUFACTURED BY PRECAST CONCRETE SALES CO. OR APPROVED EQUAL.
  - THE INLET SHALL BE AT LEAST ONE (1) INCH ABOVE THE OUTLETS.
  - ONLY NINE OUTLETS WILL BE USED FOR THE MAIN HOUSE SSTS.



- NOTES:**
- CONCRETE TO TEST 4,000 PSI AT 28 DAYS.
  - GREASE PIT TO BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
  - GREASE PIT AS PROVIDED BY PRECAST CONCRETE SALES COMPANY, OR APPROVED EQUAL.

**1,500 GALLON SEPTIC TANK**

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**10 WAY DISTRIBUTION BOX**

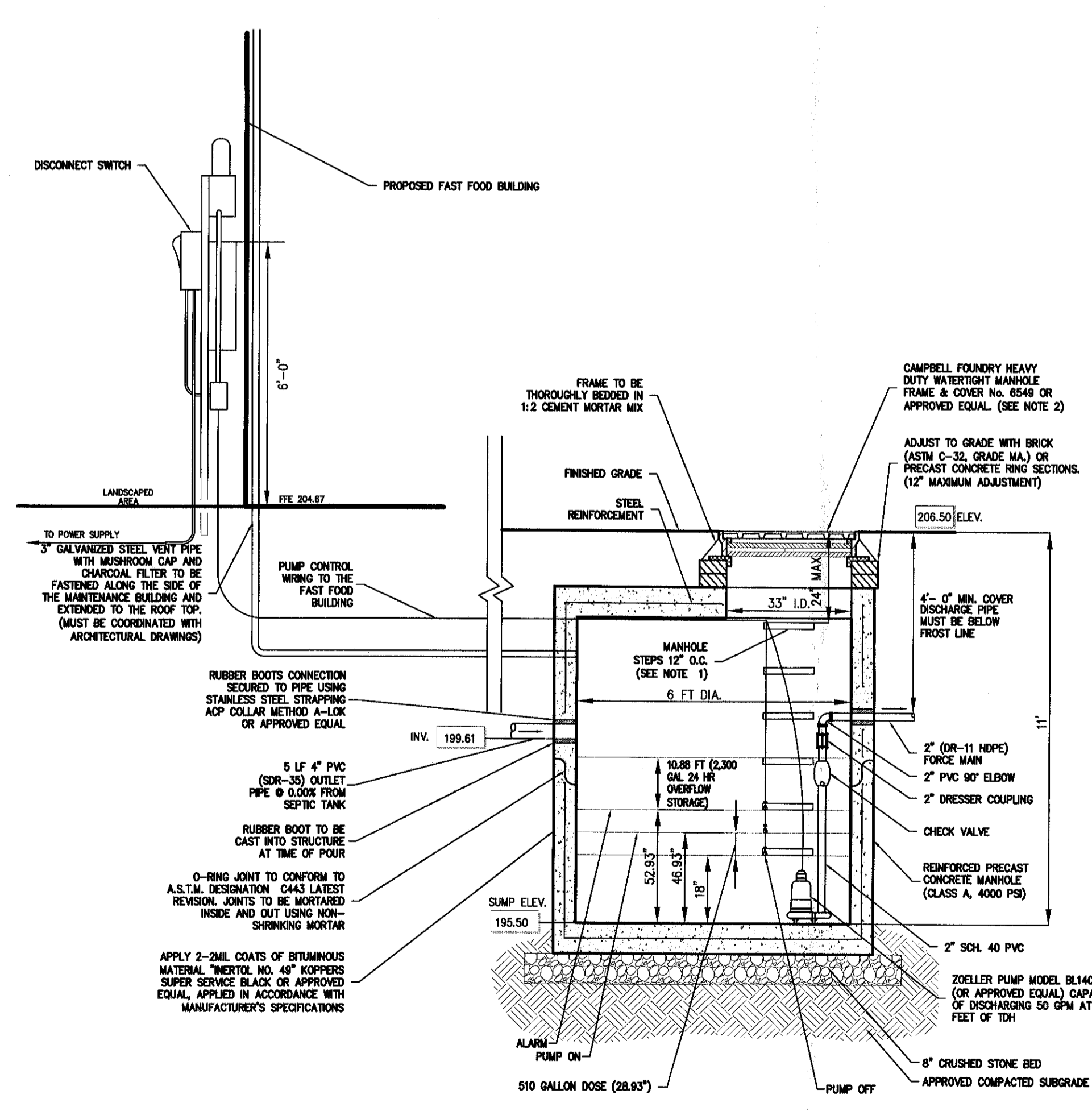
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**ABSORPTION TRENCH**

17

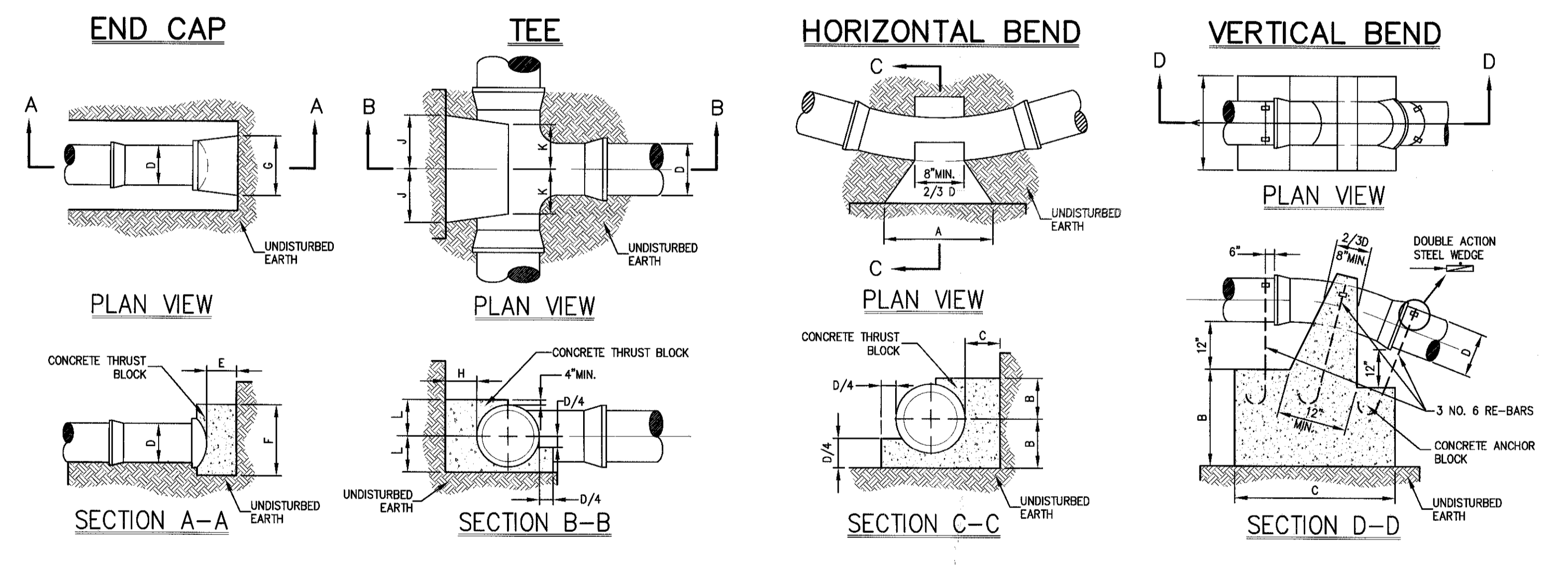
**1,000 GALLON GREASE TRAP**

18



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEEHAH NO. R-1981-0 OR CAMPBELL FOUNDRY NO. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
  - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER".
  - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
  - SEE NOTES ON DRAWING S-2.
  - AUDIO/VISUAL EMERGENCY ALARM SYSTEM TO BE INSTALLED WITHIN THE MAINTENANCE BUILDING.
  - ALL ELECTRICAL WORK MUST CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL ELECTRICAL AND BUILDING CODES.
  - CONCRETE MINIMUM STRENGTH: 4,000 PSI @ 28 DAYS.
  - STEEL REINFORCEMENT: 6" x 6" x 10-10 GAUGE STEEL WIRE MESH.
  - CONSTRUCTION JOINT: SEALED WITH ASPHALT CEMENT OR EQUIVALENT.
  - GRAVITY LINES SHALL BE PVC SDR-35.
  - FORCE MAIN SHALL BE HDPE DR-11 HDPE.
  - ALL CHECK VALVES AND GATE VALVES SHALL BE BRONZE.
  - ALL CHECK VALVES AND GATE VALVES SHALL BE BRONZE.
  - PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD. CONCRETE SHALL BE 4,000 PSI MINIMUM 28 DAYS. REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A-62, A-105, A-108 OR A-415 GRADE 60 STEEL.
  - MISAL/AUDIO ALARM SHALL BE MOUNTED AT ELECTRICAL CONTROL PANEL (NEMA 4X). THE ALARM SHALL BE LOCKABLE AND VANDAL PROOF.
  - PUMP STATION MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS AND GROUP "D" DIVISION. PUMPS AND FLOATS SHALL BE WIRED DIRECTLY INTO THE CONTROL PANEL. NO SPINDS OR JUNCTION BOXES SHALL BE PERMITTED. USE ONE (1) ZOLLER SUBMERSIBLE PUMP, MODEL BL161 OR APPROVED EQUAL. THE PUMP SHALL BE RATED 25 GPM AT 48 FEET TOTAL DYNAMIC HEAD. PUMP MOTOR SHALL RATED 1/2 HP, 3450 RPM, SINGLE PHASE, 230 VOLTS, 60 CYCLE.
  - DISCONNECT SWITCH SHALL BE INSTALLED IN NEMA 4X, LOCKABLE ENCLOSURE.
  - CONTROL EQUIPMENT SHALL BE SECURELY MOUNTED ON BUILDING WALL AS DIRECTED BY OWNER'S FIELD REPRESENTATIVE AND SHALL BE WITHIN VIEW OF THE PUMP STATION.
  - TELEMETRY SYSTEM SHALL BE PROVIDED WITHIN THE ELECTRICAL CONTROL PANEL FOR TRANSMISSION OF EMERGENCY SIGNAL TO THE MAINTENANCE BUILDING. EMERGENCY SIGNAL SHALL BE PROVIDED FOR: HIGH WATER ALARM, POWER FAILURE AND PUMP FAILURE, AT A MINIMUM.
  - MANHOLE IS TO BE BITUMINOUS COATED INSIDE AND OUT.
  - PROVIDE RUBBER BOOTS FOR ALL PIPES ENTERING AND EXITING THE MANHOLE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING OPENINGS IN STRUCTURES TO ACCOMMODATE GRADE AND INSTALLATION OF ALL PIPES AS SHOWN.
  - INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
  - CONTRACTOR SHALL VERIFY INVERT FROM THE MAINTENANCE BUILDING.
  - STRUCTURE MUST MEET HASHTO H-20 LOADING CONDITIONS.

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**END CAP CHART**

D	4"	6"	8"	10"	12"
E	6"	8"	8"	8"	10"
F	12"	12"	11-4"	11-8"	2'-0"
G	1'-6"	1'-5"	2'-0"	2'-5"	3'-0"

**TEE CHART**

D	4"	6"	8"	10"	12"
H <td>6"</td> <td>7"</td> <td>8"</td> <td>10"</td> <td>12"</td>	6"	7"	8"	10"	12"
L <td>8"</td> <td>8"</td> <td>10"</td> <td>12"</td> <td>1'-3"</td>	8"	8"	10"	12"	1'-3"
J <td>7"</td> <td>7"</td> <td>9"</td> <td>12"</td> <td>1'-2"</td>	7"	7"	9"	12"	1'-2"
K <td>6"</td> <td>6"</td> <td>8"</td> <td>8"</td> <td>8"</td>	6"	6"	8"	8"	8"

**HORIZONTAL BEND CHART**

BEND (DEGREE)	4"	6"	8"	10"	12"
1/32 (1/2)	A 8"	8"	8"	10"	12"
	B 7"	7"	8"	9"	10"
	C 7"	7"	7"	8"	8"
1/16 (2/2)	A 9"	9"	12"	1'-6"	1'-9"
	B 7"	7"	8"	9"	10"
	C 8"	8"	8"	10"	11"
1/8 (4/8)	A 1'-3"	1'-3"	1'-8"	2'-1"	2'-6"
	B 7"	7"	8"	9"	11"
	C 8"	8"	8"	9"	10"
1/4 (8/8)	A 2'-0"	2'-0"	2'-6"	3'-0"	3'-6"
	B 7"	7"	9"	12"	1'-3"
	C 2'-0"	2'-0"	1'-9"	1'-8"	1'-7"

**VERTICAL BEND CHART**

BEND (DEGREE)	4"	6"	8"	10"	12"	16"
1/32 (1/2)	A 1'-6"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"
	B 1'-3"	1'-3"	1'-9"	1'-3"	2'-0"	2'-0"
	C 2'-0"	2'-0"	2'-6"	2'-9"	3'-0"	4'-0"
1/16 (2/2)	A 2'-0"	2'-0"	3'-4"	3'-8"	4'-0"	4'-4"
	B 1'-9"	1'-9"	2'-3"	2'-6"	2'-6"	2'-8"
	C 2'-6"	2'-6"	2'-8"	4'-0"	4'-0"	5'-8"
1/8 (4/8)	A 2'-6"	2'-6"	3'-0"	4'-0"	4'-6"	5'-2"
	B 2'-6"	2'-6"	2'-9"	3'-0"	3'-6"	4'-0"
	C 3'-0"	3'-0"	4'-0"	4'-6"	4'-9"	6'-4"

- NOTES:**
- ALL CONCRETE TO BE CLASS A (4,000 PSI).
  - ALL DIMENSIONS ARE MINIMUMS. ALL ANCHOR AND THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
  - IN ALL CASES SHOWN, MEASUREMENT TO METERS TO THE INSIDE PIPE DIAMETER.
  - ANCHOR AND THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 100 PSI WATER PRESSURE AND SOIL RESISTANCE OF 2 SPS PER SQ. FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SHALL BE APPROVED.
  - IF THE OWNER OF THE WATER SYSTEM REQUIRES A METHOD THAT RESTRAINS INDIVIDUAL JOINTS, EACH JOINT THAT FALLS WITHIN THE MINIMUM RESTRAINED LENGTH, MEASURED FROM THE CENTER OF THE FITTING, AS SHOWN ON THESE SHEETS SHALL BE RESTRAINED, AND SHALL WITHSTAND THE MAXIMUM PRESSURE APPLIED TO THE SYSTEM.
  - CLASS A CONCRETE SHALL NOT BE PLACED UNDER WATER. THE CONTRACTOR SHALL DENY THE EXCAVATION OR PLACE TYPE G CONCRETE USING APPROPRIATE UNDERWATER PLACEMENT TECHNIQUES.
  - CONCRETE FOR THRUST BLOCKS SHALL NOT BE ALLOWED TO COVER OR INTERFERE WITH JOINT OR RESTRAINT HARDWARE. PLASTIC SHEETING OR BUILDING FELT MAY BE PLACED OVER PIPE OR FITTINGS TO PREVENT CONCRETE FROM ADHERING TO SURFACES.
  - FOR BENDS, BEARING AREA SHALL BE PARALLEL TO THE EDGE OF THE FITTING AT THE FITTING MIDPOINT.
  - FOR TEES, BEARING AREA SHALL BE PERPENDICULAR TO THE BRANCH (SINGLE LEG) AXIS.
  - FOR REDUCERS BEARING AREA SHALL BE PERPENDICULAR TO THE FITTING AXIS. THE MINIMUM THICKNESS ALONG THE BELLS, WHICHEVER IS SMALLER.
  - THRUST RESTRAINTS FOR SIZES OR FITTINGS NOT SHOWN ON THESE SHEETS WILL BE DESIGNED ON A CASE BY CASE BASIS, AND WILL BE SHOWN IN THE CONTRACT DOCUMENTS.

**WET WELL PUMP STATION / OVERFLOW STORAGE TANK**

19

**ANCHOR AND THRUST BLOCKS**

20

By	
Date	
Revision	
No.	

APPLICANT/OWNER: **FARRELL HOLDING CO. LTD.**  
266 EAST JERICHO TURNPIKE  
SOUTH HUNTINGTON, NY 11746

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**CONSTRUCTION DETAILS**

**CORTLAND COMMONS**

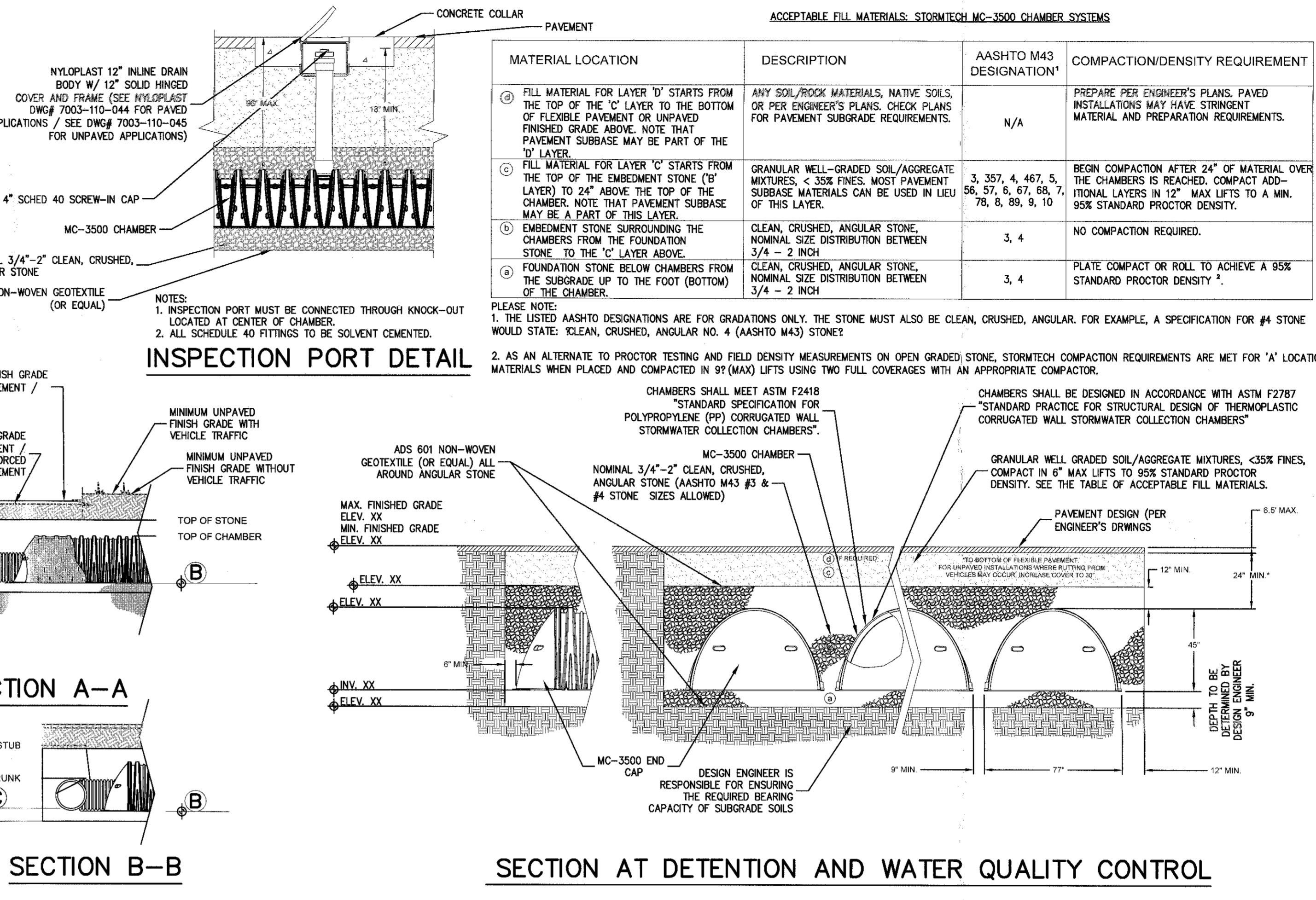
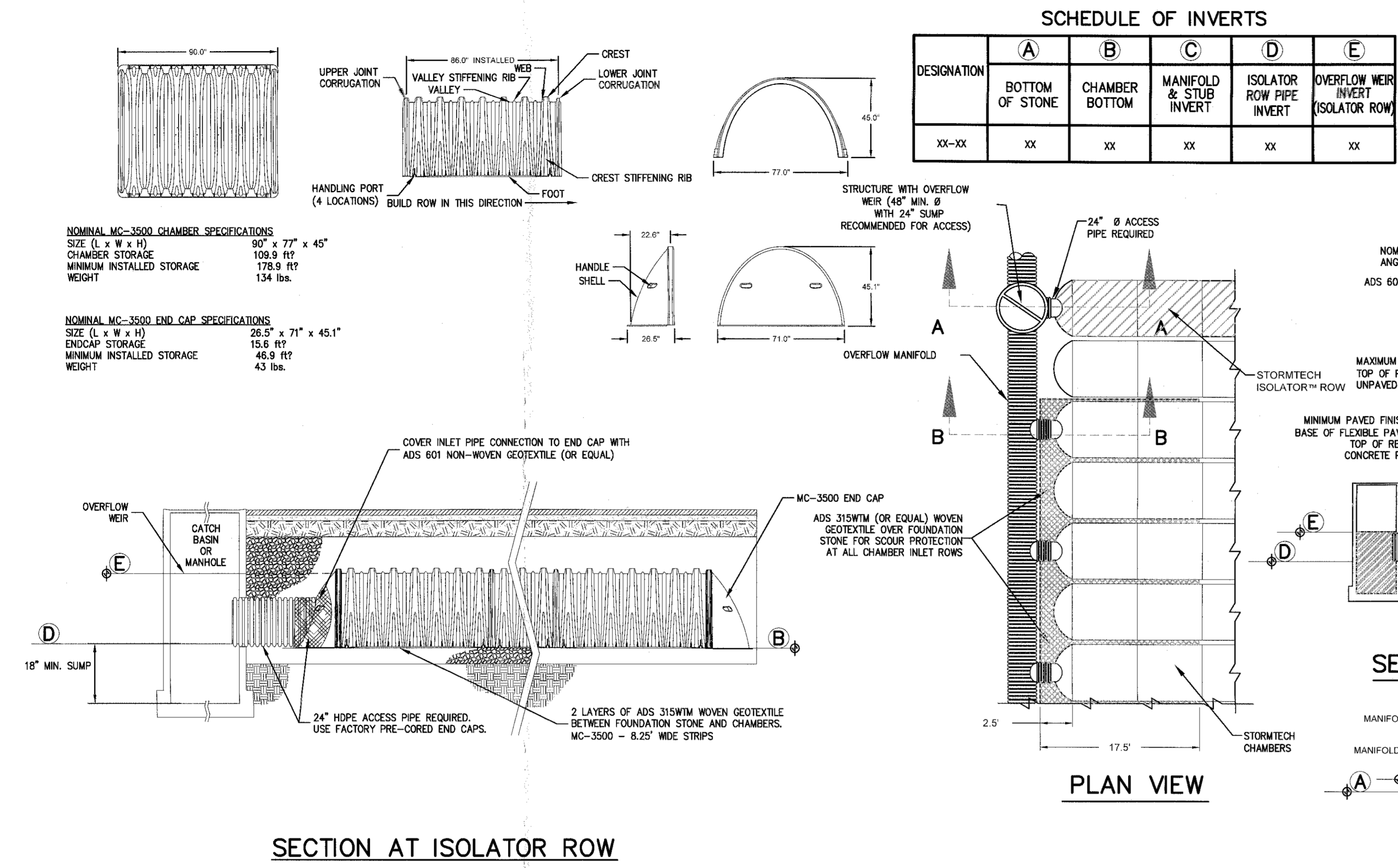
TOWN OF NEWBURGH, NY 12550

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Scale	NOT TO SCALE		
Date	02/23/2017		
Project No.	16055		
ISSUE/REVISION	9-11		
Drawing No.	SP-11		

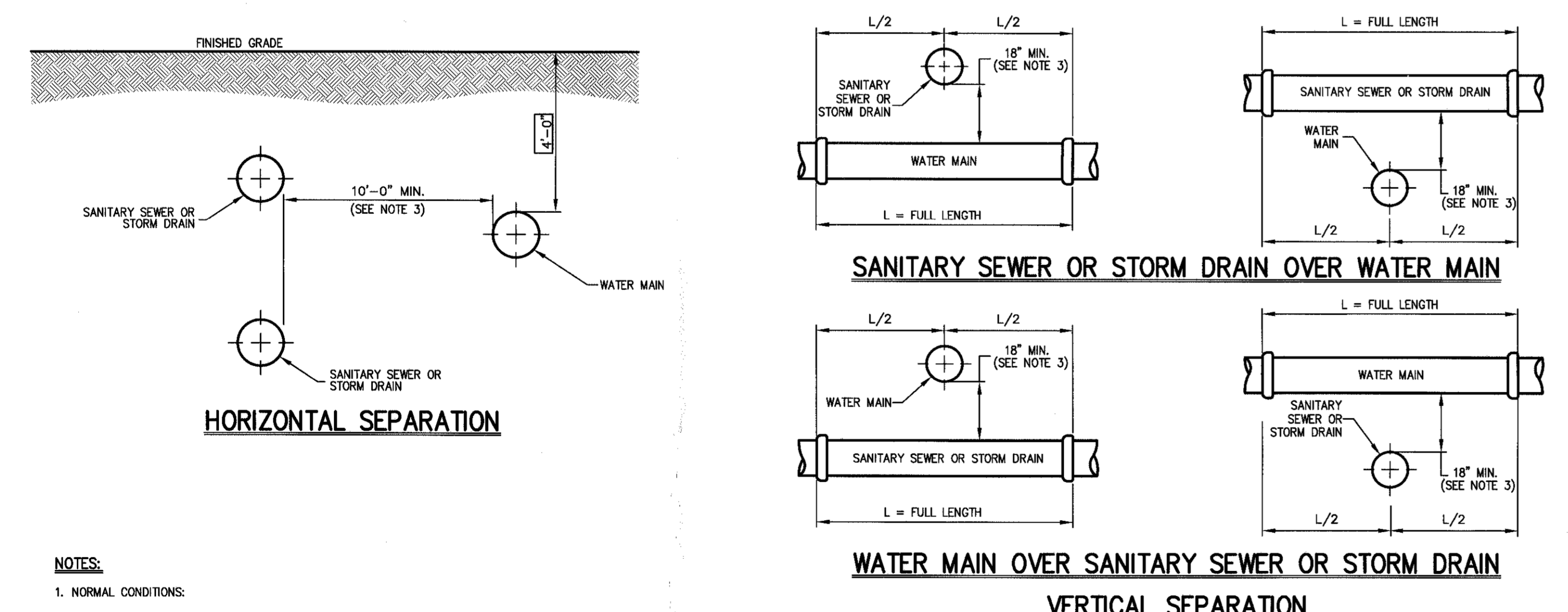
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STORMTECH CHAMBERS MC-3500

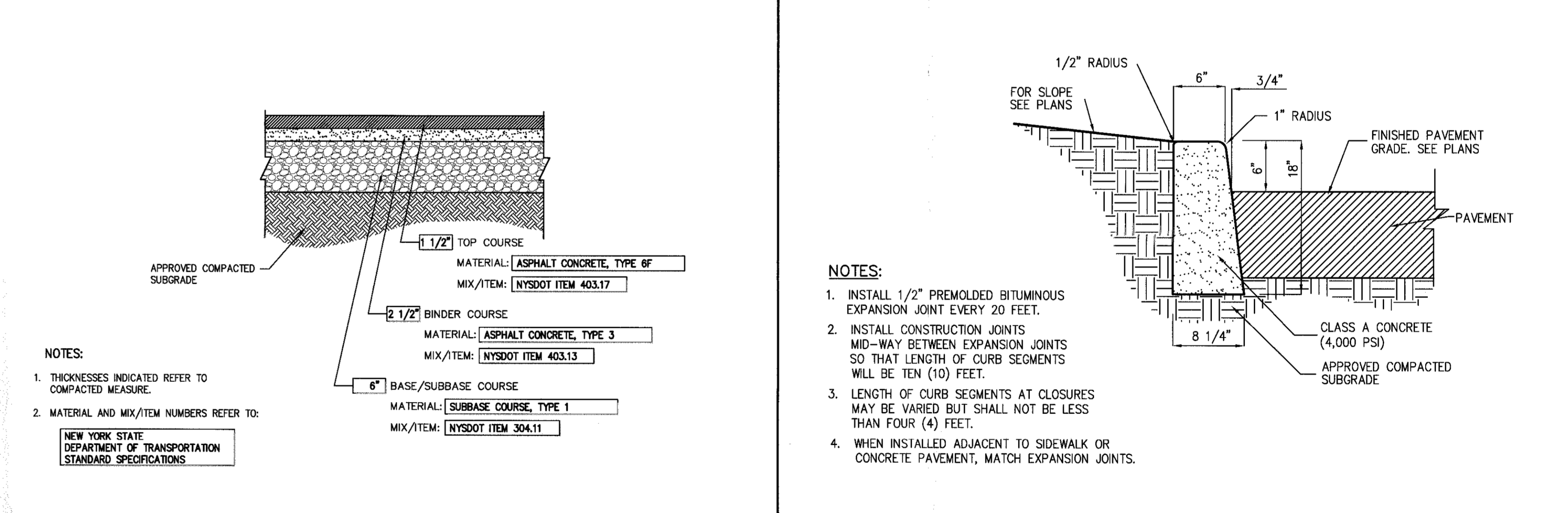
21



- NOTES:**
- NORMAL CONDITIONS:
    - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
    - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  - WATER MAIN CROSSING UNDER SANITARY SEWERS:
    - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
    - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
    - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  - IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN MEYER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO INSTALLATION.

SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

22

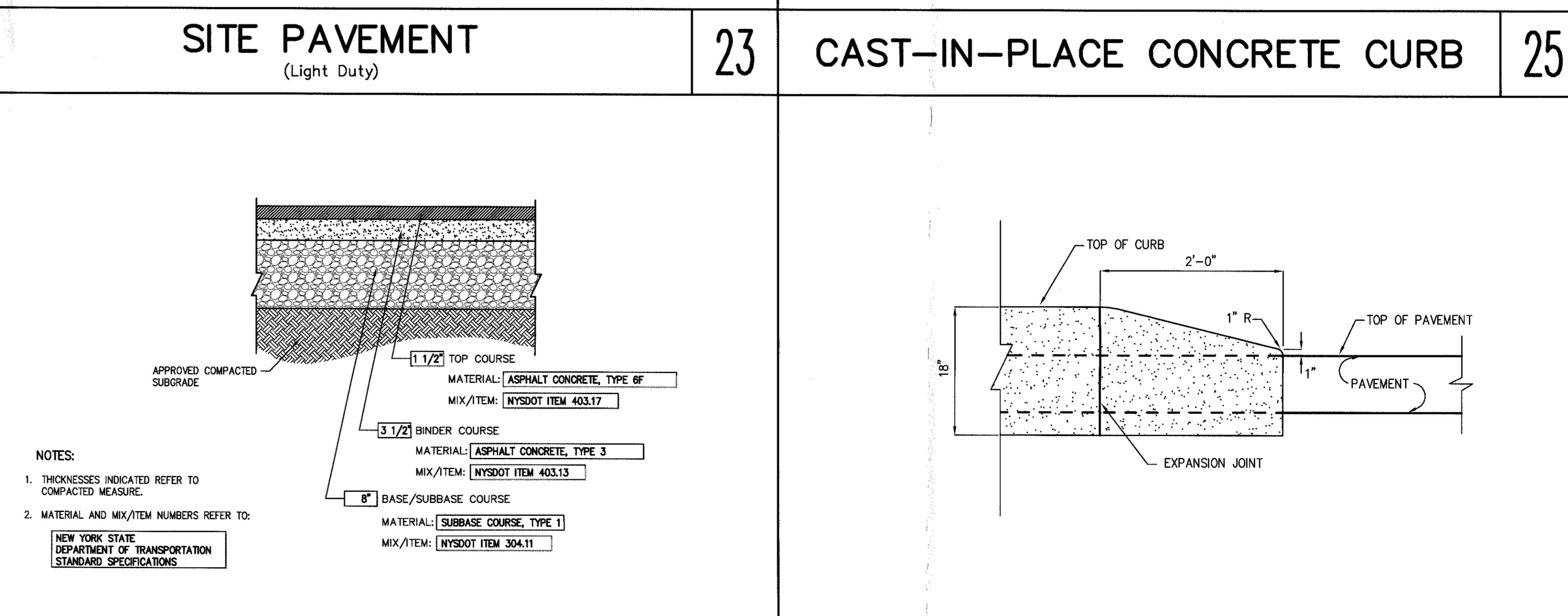


SITE PAVEMENT (Light Duty)

23

CAST-IN-PLACE CONCRETE CURB

25



SITE PAVEMENT (Heavy Duty)

24

CONCRETE CURB ENDING

26

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By	
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Revision	
No.	

APPLICATOR: FARRELL HOLDING CO. LTD.  
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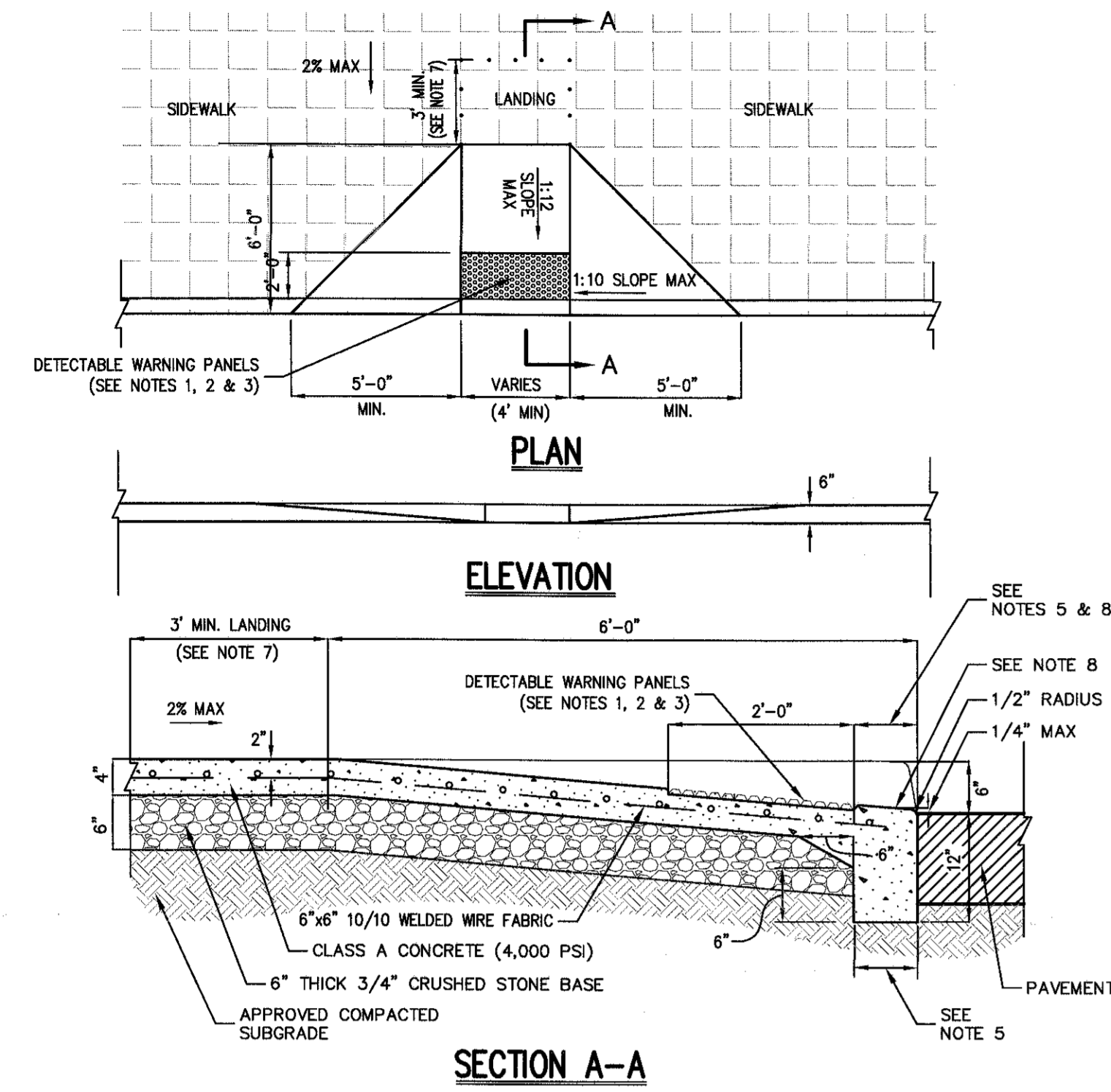
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5452 ROUTE 9W  
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MS&ME No.	99-12		
Drawing No.	SP-12		

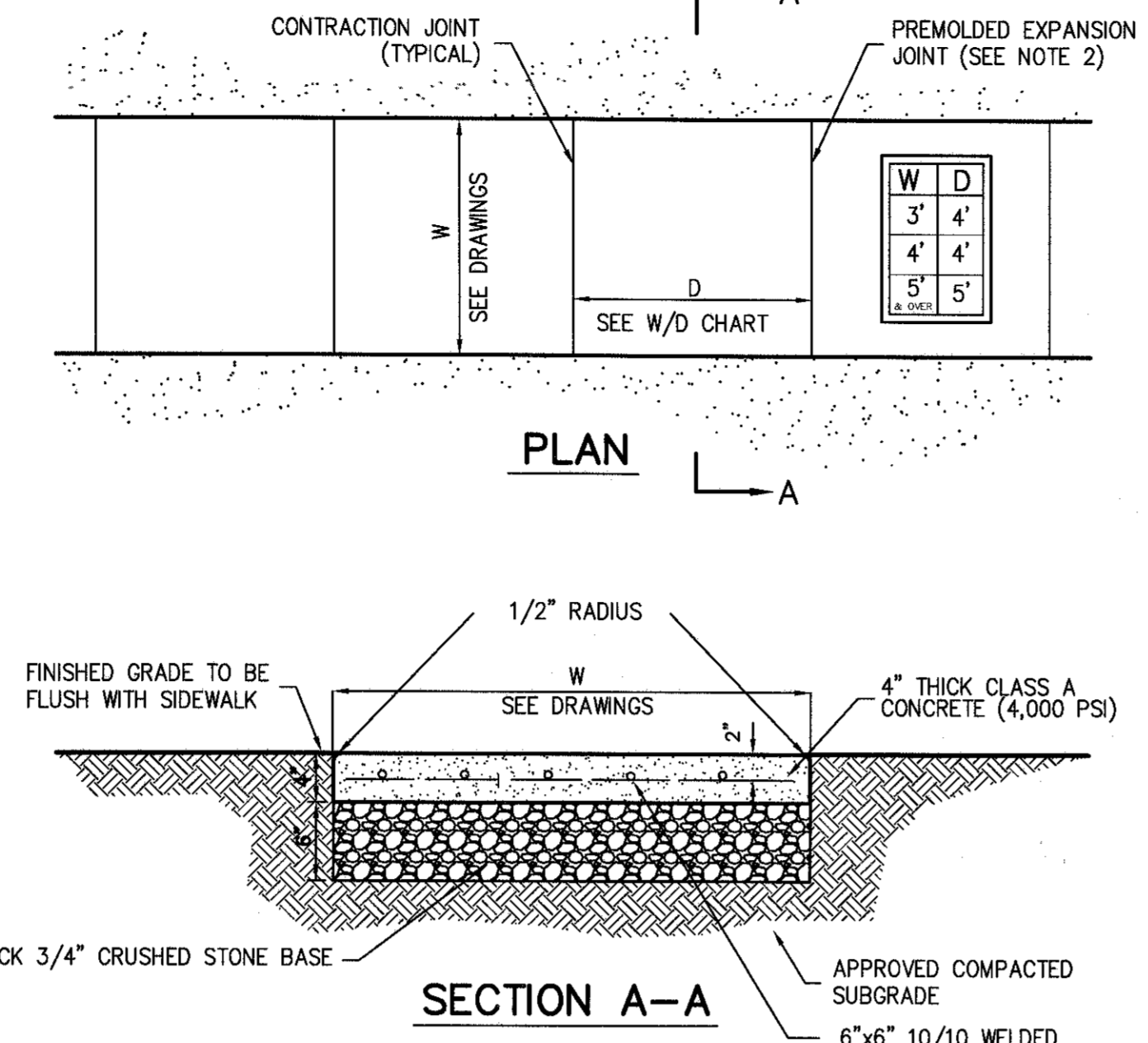




- NOTES:**
- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRIANGULAR DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  - DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.09.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
  - 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  - CURB TREATMENT VARIES; SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
  - RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  - WHEN LANDINGS OF RAMP ADJACENT TO A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
    - MANUAL SWING DOORS - 60" MIN.
    - FULL POWERED AUTOMATIC SLIDING DOORS - 48" MIN.
  - CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

**DROP CURB & RAMP (TYPE A)**  
WITH DETECTABLE WARNING

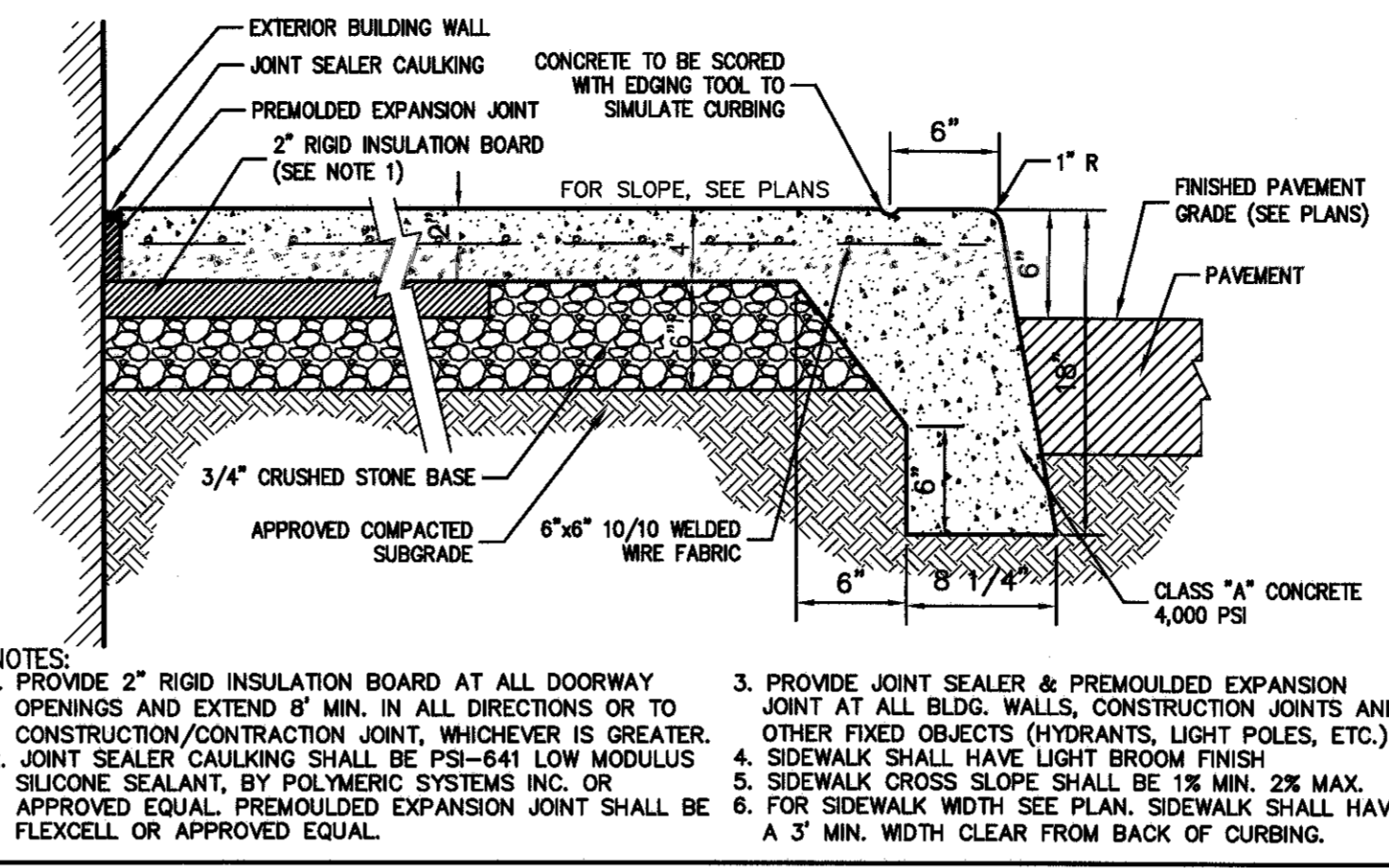
27



- NOTES:**
- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
  - PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
  - REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
  - SIDEWALK SHALL HAVE LIGHT BROOM FINISH.

**CONCRETE SIDEWALK**

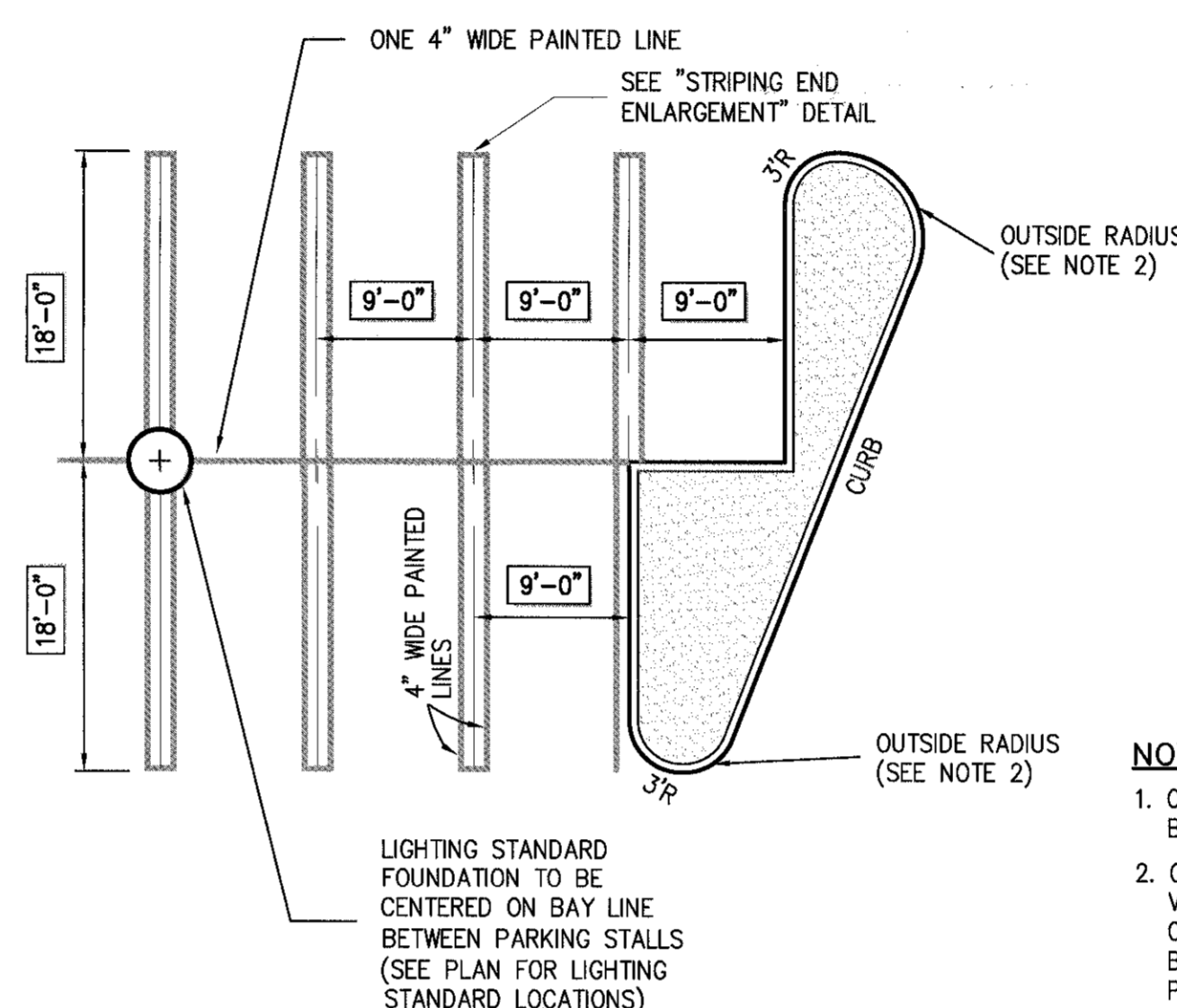
28



- NOTES:**
- PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 6" MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONTRACTION JOINT, WHICHEVER IS GREATER.
  - JOINT SEALER CAULKING SHALL BE PSB-PAT LOW MODULUS SILICONE SEALANT, BY POLYMERIC SYSTEMS INC. OR APPROVED EQUAL. PREMOLDED EXPANSION JOINT SHALL BE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.
  - PROVIDE JOINT SEALER & PREMOLDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
  - SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
  - SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
  - FOR SIDEWALK WIDTH SEE PLAN, SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

**BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK**

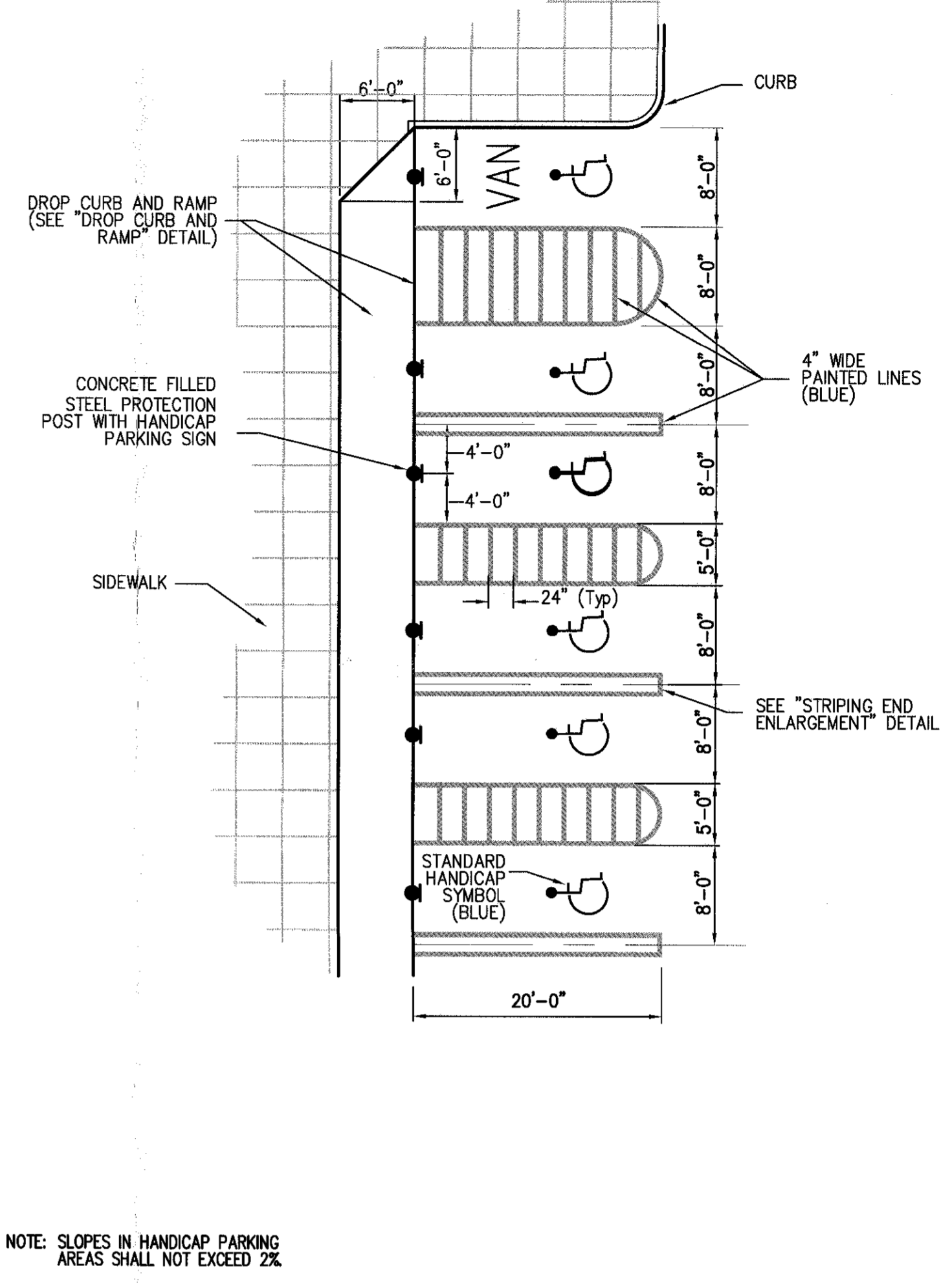
29



- NOTES:**
- COLOR OF PAINT SHALL BE XXXXXX
  - OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

**90° PARKING**  
(DOUBLE STRIPING - CURBED END)

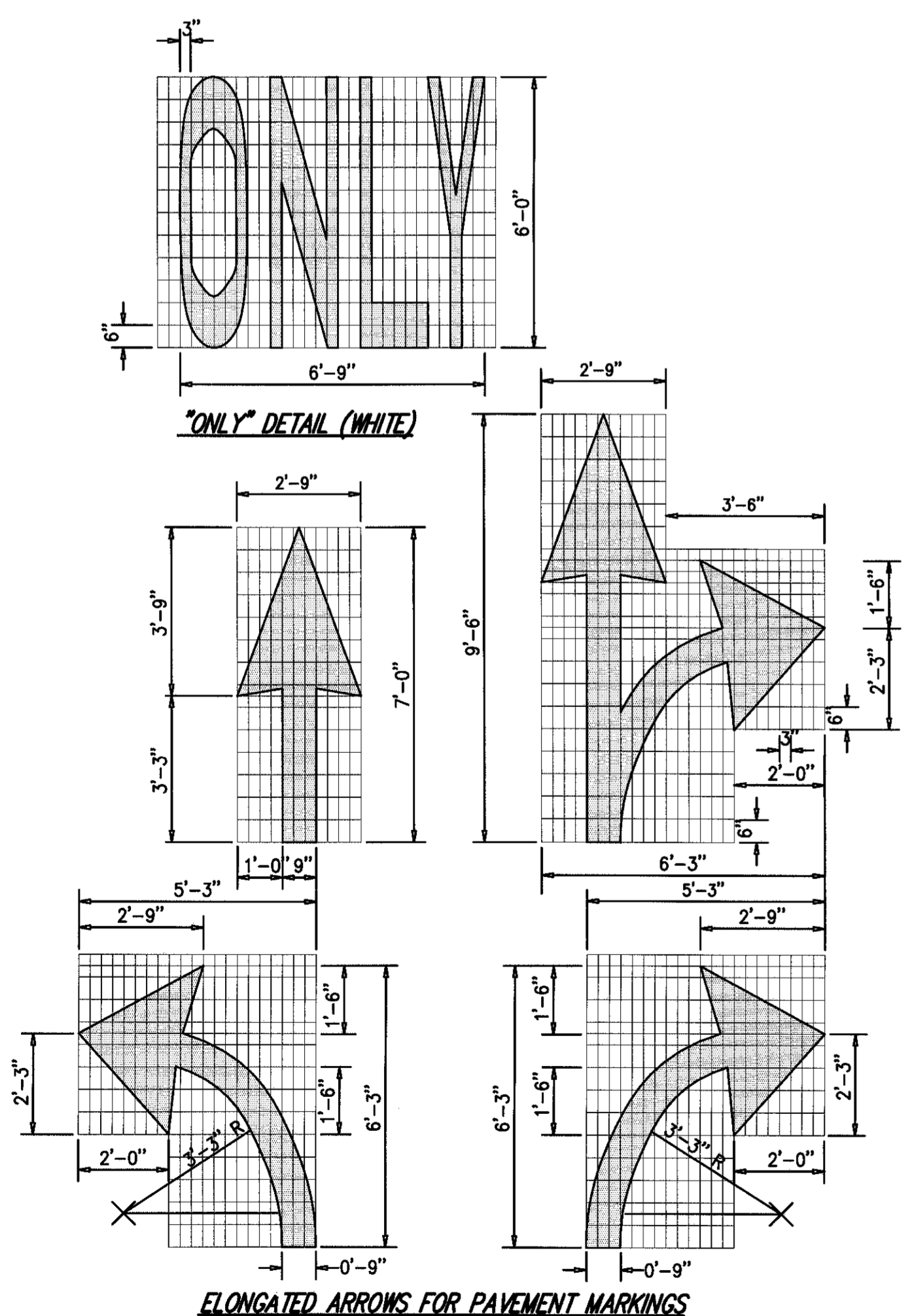
30



NOTE: SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%.

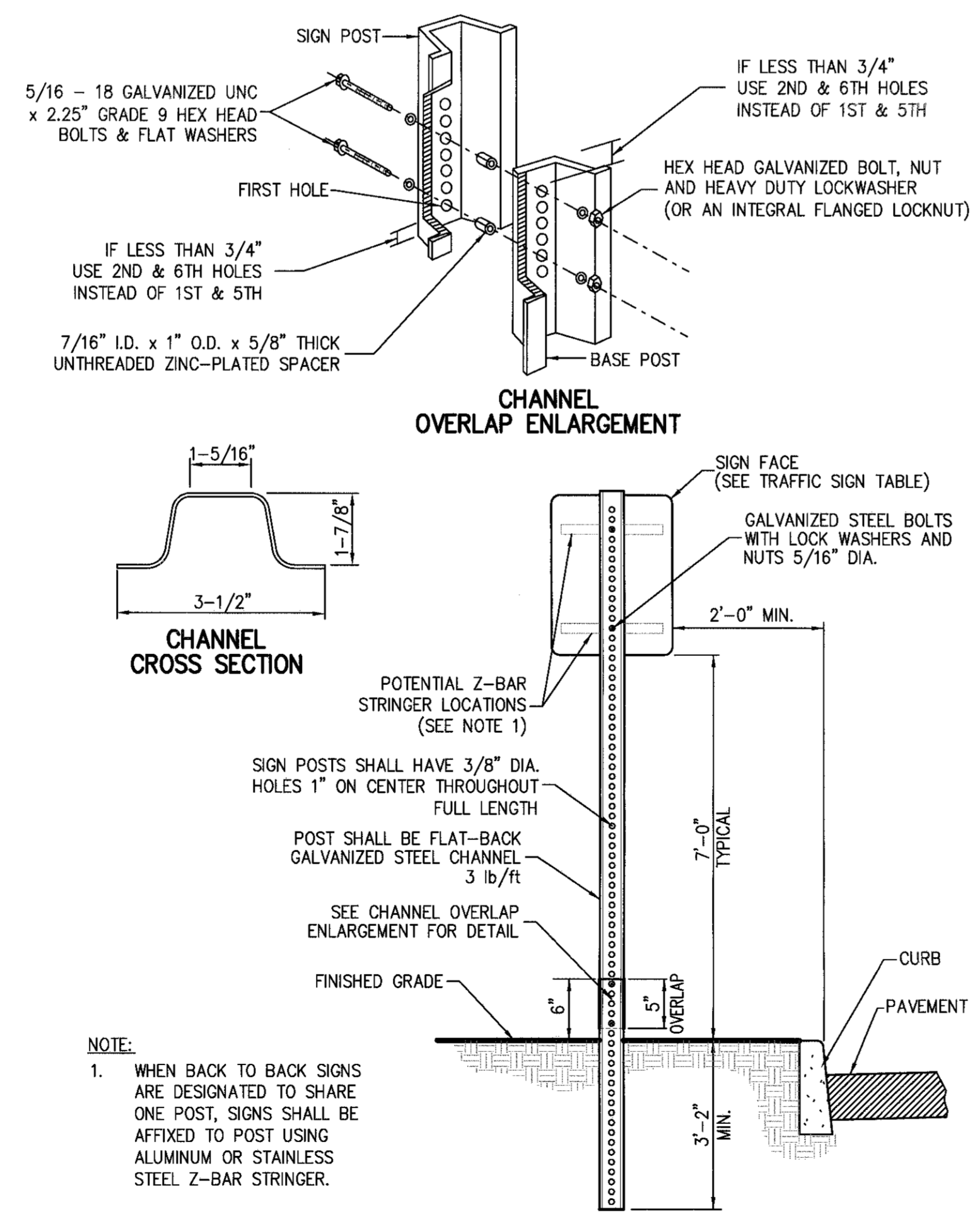
**HANDICAP PARKING**  
(DOUBLE STRIPING - CURBLINE ALIGNMENT - 1/2 SIDEWALK)

31



**PAVEMENT TEXT & ARROWS**  
(ON-SITE)

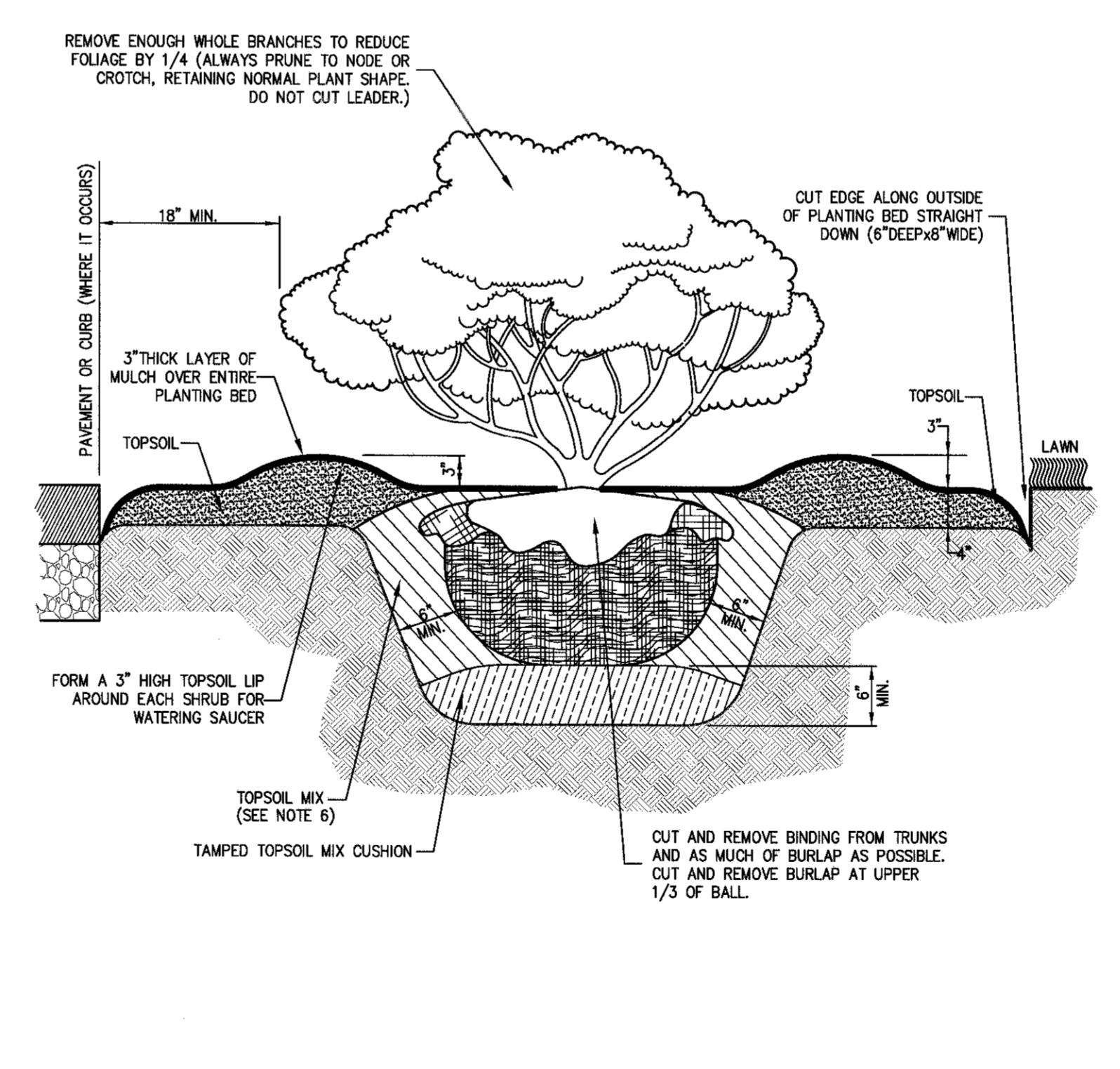
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- NOTE:**
- WHEN BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST, SIGNS SHALL BE AFFIXED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRINGER.

**TRAFFIC SIGN POST**  
(BREAKAWAY STEEL CHANNEL)

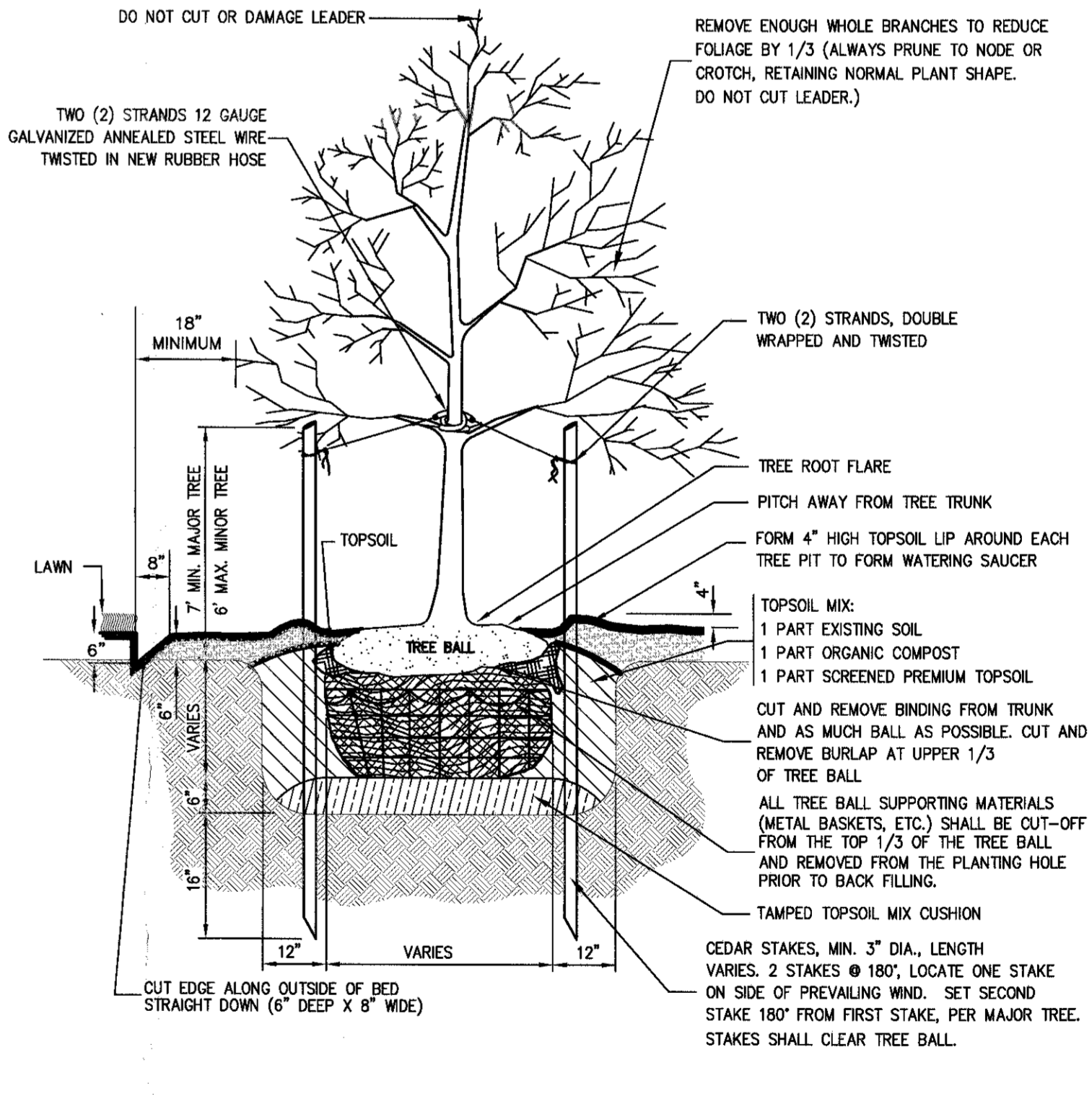
33



- NOTES:**
- ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO INSTALLATION OF PLANTS.
  - PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  - AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHALL BE PLACED AROUND THE PLANT 1/3 OF THE WAY UP. A SLOW RELEASE FERTILIZER SHALL THEN BE ADDED TO THE SOIL AROUND THE SHRUB, AND THEN FILL THE REMAINDER OF THE HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHALL THEN BE GENTLY COMPACTED.
  - TOPSOIL SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, STONES OVER 1 1/2" DIAMETER AND NOXIOUS WEEDS.
  - PLANT MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
  - TOPSOIL MIX SHALL CONSIST OF:
    - 1 PART SCREENED PREMIUM TOPSOIL
    - 1 PART EXISTING SOIL
    - 1 PART ORGANIC COMPOST

**SHRUB PLANTING**

34



- NOTES:**
- PLANTS IN CONTAINERS MUST HAVE THE FIBROUS POTBOUND ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
  - AFTER THE TREE HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE TREE ONE-THIRD OF THE WAY UP. A SLOW RELEASE SUPER PHOSPHATE FERTILIZER WILL BE ADDED TO THE SOIL AROUND THE TREE, AND THEN FILL THE REMAINDER OF THE HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  - PROVIDE 3" LAYER OF SHREDED HARDWOOD MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED. THE SHREDED HARDWOOD MULCH SHALL NOT COME IN CONTACT WITH THE TREE ROOT FLARE.
  - REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.
  - ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
  - THE CENTRAL LEADER OF ALL DECIDUOUS PLANTINGS SHALL NOT BE CUT OR DAMAGED.

**DECIDUOUS TREE PLANTING**

35

NOT FOR CONSTRUCTION

By	
Date	
Revision	
No.	

APPLICATOR/OWNER: **FARRELL HOLDING CO. LTD.**  
266 EAST JERICHO TURNPIKE  
SOUTH HUNTINGTON, NY 11746

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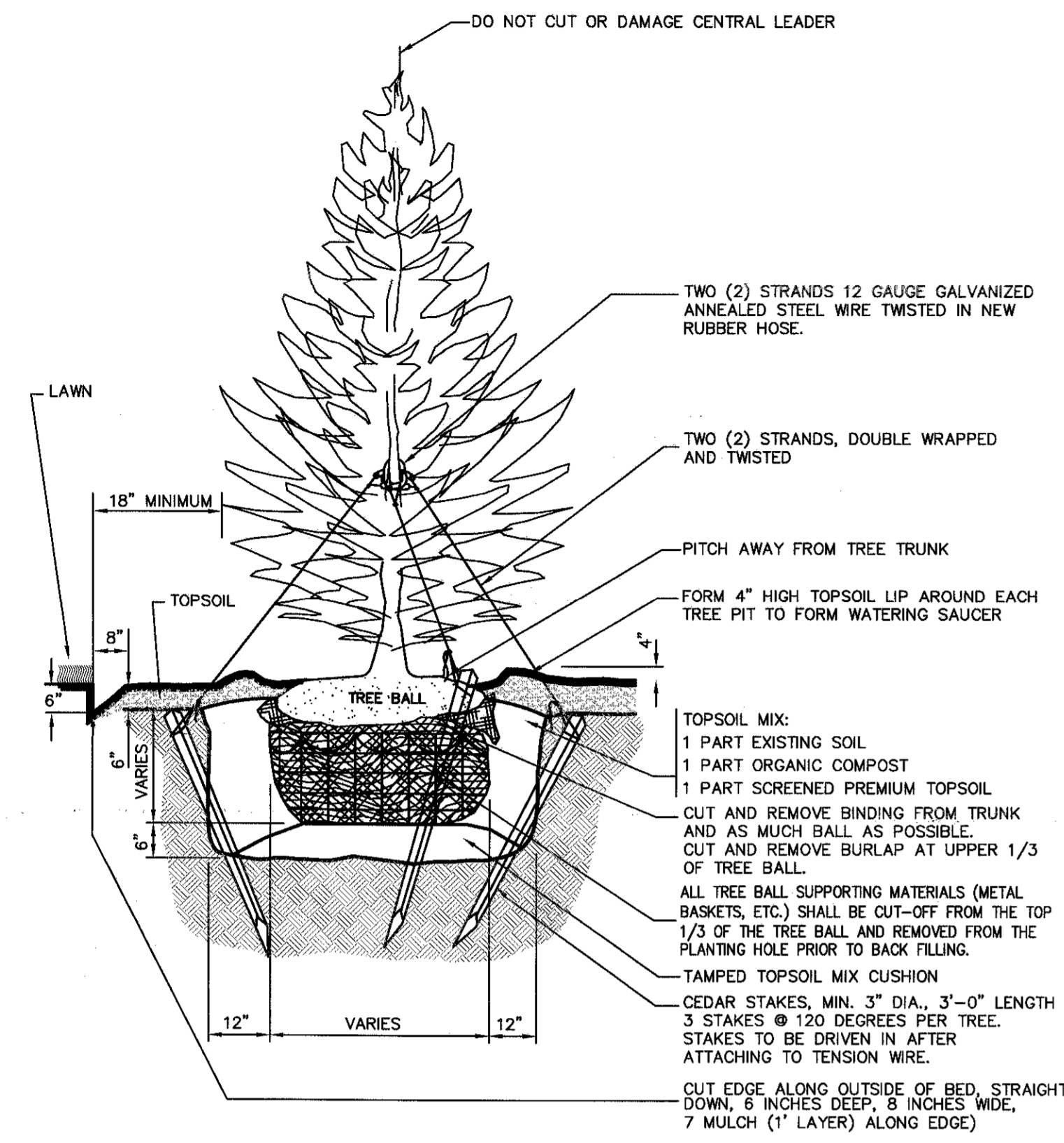
**CONSTRUCTION DETAILS**

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5452 ROUTE 9W  
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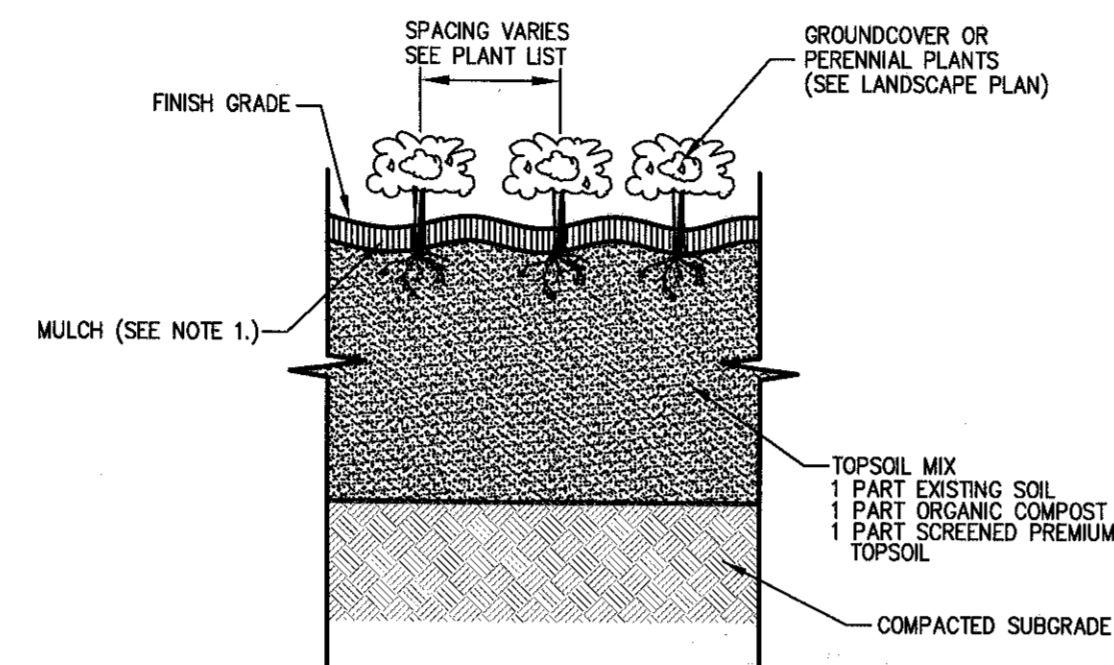
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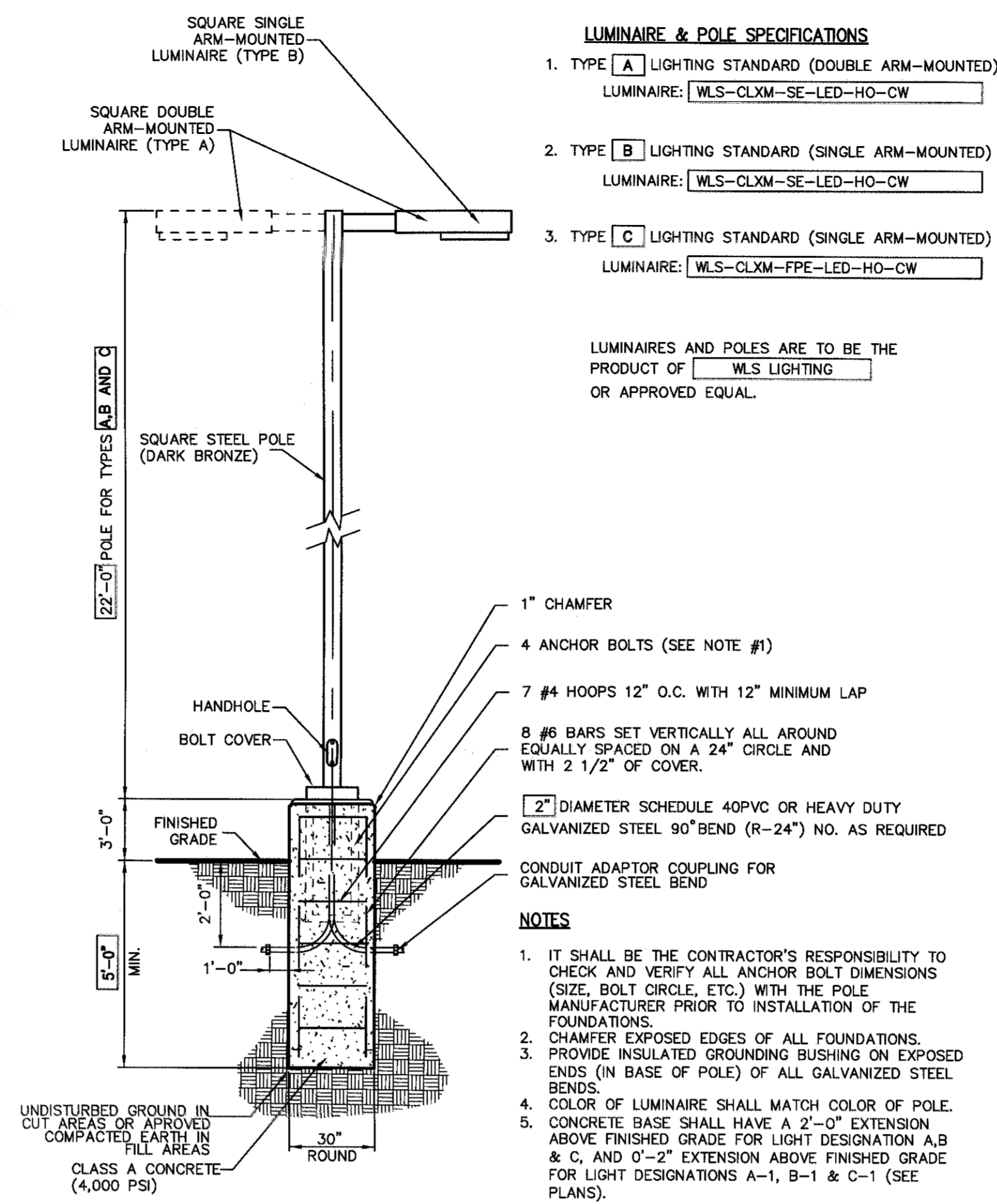




- NOTES:
1. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS POTBOUND ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
  2. AFTER THE TREE HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE PLANT ONE-THIRD OF THE WAY UP. A SLOW RELEASE SUPER PHOSPHATE FERTILIZER WILL BE ADDED TO THE SOIL AROUND THE TREE, AND THEN FILL THE REMAINDER OF HOLE WITH TOPSOIL MIX. THE TOPSOIL MIX SHOULD THEN BE GENTLY COMPACTED.
  3. PROVIDE 3\"/>



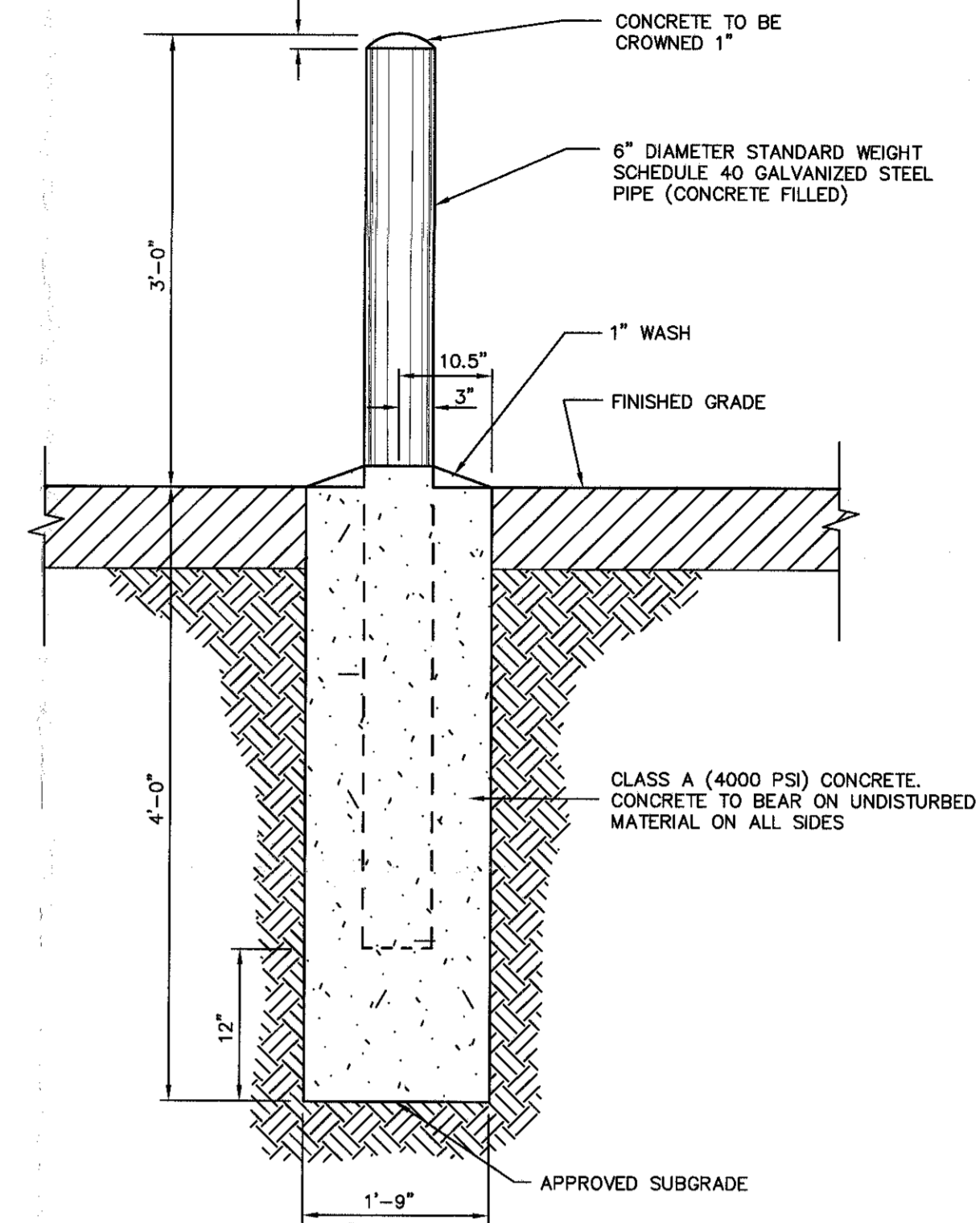
- NOTES:
1. PROVIDE 3\"/>



- LUMINAIRE & POLE SPECIFICATIONS
1. TYPE [A] LIGHTING STANDARD (DOUBLE ARM-MOUNTED)  
LUMINAIRE: WLS-CLXM-SE-LED-HO-CW
  2. TYPE [B] LIGHTING STANDARD (SINGLE ARM-MOUNTED)  
LUMINAIRE: WLS-CLXM-SE-LED-HO-CW
  3. TYPE [C] LIGHTING STANDARD (SINGLE ARM-MOUNTED)  
LUMINAIRE: WLS-CLXM-FPE-LED-HO-CW

LUMINAIRES AND POLES ARE TO BE THE PRODUCT OF [ ] WLS LIGHTING OR APPROVED EQUAL.

- NOTES:
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE POLE MANUFACTURER PRIOR TO INSTALLATION OF THE FOUNDATIONS.
  2. CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
  3. PROVIDE INSULATED GROUNDING RUSHING ON EXPOSED ENDS (N BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.
  4. COLOR OF LUMINAIRE SHALL MATCH COLOR OF POLE.
  5. CONCRETE BASE SHALL HAVE A 2\"/>



- NOTES:
1. WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POSTS SHALL BE IMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.
  2. POST FOR HANDICAP PARKING STALLS SHALL BE PAINTED BLUE AS FOLLOWS:  
A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.  
B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.  
C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.

EVERGREEN TREE PLANTING

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GROUNDCOVER PLANTING

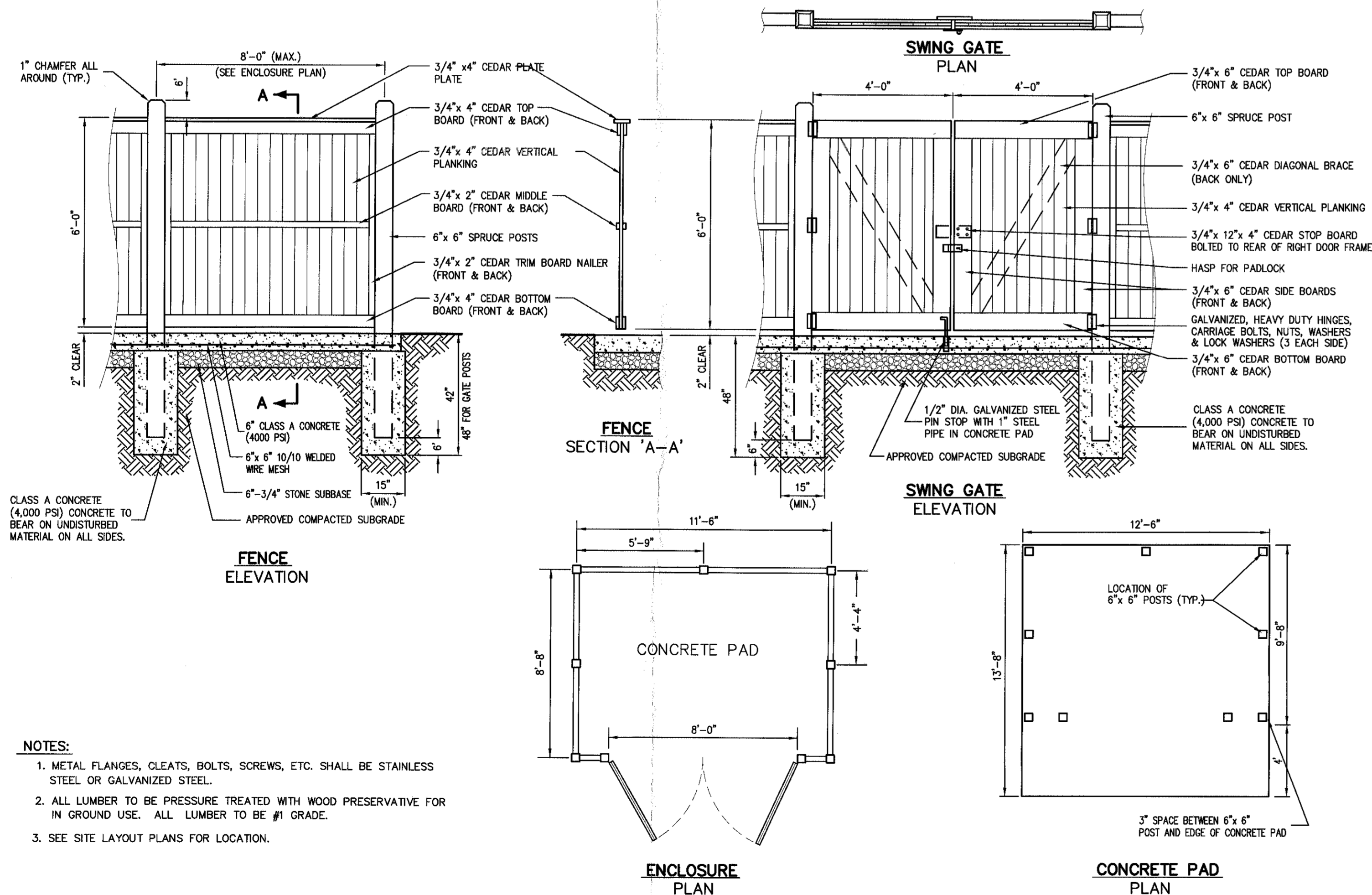
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LIGHTING STANDARD  
(Arm Mounted)

38

STEEL PIPE PROTECTION POST

39



- NOTES:
1. METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
  2. ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
  3. SEE SITE LAYOUT PLANS FOR LOCATION.

TRASH ENCLOSURE WITH CONCRETE PAD  
(WOOD)

40

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APPLICANT/OWNER:  
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