

McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)  
PATRICK J. HINES  
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: [mheny@mhepc.com](mailto:mheny@mhepc.com)

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: CBPS REALTY, LLC SELF STORAGE**  
**PROJECT NO.: 18-20**  
**PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 21.2**  
**REVIEW DATE: 29 MARCH 2019**  
**MEETING DATE: 1 APRIL 2019**  
**PROJECT REPRESENTATIVE: FUSCO ENGINEERING**

1. We are awaiting submission of actual field topography on the site.
2. The Long Form EAF submitted identifies the Applicant is proposing three new self storage buildings on an existing vacant parcel. The recently submitted plan contains nine buildings. Long Form submitted should be reviewed and revised for this project.
3. A revised application and fees for the nine buildings should be submitted to the Planning Board.
4. A Stormwater Pollution Prevention Plan (SWPPP) in compliance with Town of Newburgh and NYSDEC regulations is required.
5. Current grading depicted on the site will cause stormwater to flow against each of the structures.
6. NYSDOT approval for the use entering the state highway is required. Lead Agency circulation will include NYSDOT. Any improvements to the driveway requested by DOT must be added to the plans in the future.
7. Design of the retaining walls must be incorporated into the plans. Top of wall, base of wall elevations should be provided along the walls.
8. Landscaping in compliance with town regulations is required. A landscaping plan must be submitted.
9. Future submissions should address site lighting.
10. Existing topography should be provided on the plan sheets. Re-submittal notice identifies that

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •

field surveys are being conducted at this time.

11. Proposed rip rap outlet appears to extend across property lines. This should be corrected.
12. Grading in the area of the detention pond should be reviewed. Two, 426 contours exist for the swale coming from the northern portions of the site.
13. The outlet control structure detail identifies 18 inch outlets with elevations which are inconsistent with the elevations on the plans. Actual outlet control device details should be provided consistent with the SWPPP to be submitted.
14. Pond profile detail depicted similarly does not reflect the pond design on the grading plans.
15. Notes on Sheet #2 of 4 identify definitions from the Town of Newburgh's zoning. Notes identify an accessory dwelling, storage of boats and RV's which are not depicted. These notes must be modified for the proposed use.
16. Comments from the Jurisdictional Fire Department should be received regarding fire access.
17. Plan will require submission to the Orange County Planning Department for a 239 Review. This should be done upon receipt of future detailed plans.
18. The Planning Board should discuss the need for restroom facilities on the site. No provisions for restrooms have been incorporated in the plans.
19. Provisions for fire sprinkler systems within the self storage buildings should be addressed with the Code Enforcement Department. If required, appropriate water line plans should be provided.
20. Zoning Bulk Table identifies the rear yard as 38 feet while 34 feet is labeled on the plans.
21. A side yard of 33 feet is identified on the plans while 38 feet is identified in the Bulk Table. An additional 30 foot side yard is depicted along the western property line.
22. The Applicant is requested to evaluate where front yard setbacks are taken on the lot.
23. The Applicant is requested to review the location of the proposed fencing as designed it will restrict access around each of the structures.
24. It is unclear why Tax Map 3.22 is referenced on the Cover Sheet.

Respectfully submitted,

**McGoey, Hauser and Edsall**  
**Consulting Engineers, D.P.C.**

---

Patrick J. Hines  
Principal  
PJH/kbw

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: CBPS Realty, LLC Self Storage Units		
Project Location (describe, and attach a general location map): Town of Newburgh, Tax Map Section 35, Block 3, Lot 21.2, On the Southerly side of route 32 approximately 750' from the Int. Rte 32 & Rte 300		
Brief Description of Proposed Action (include purpose or need): The applicant is proposing three (3) new self storage buildings on an existing vacant parcel in the Town of Newburgh, Orange County, New York.		
Name of Applicant/Sponsor: CBPS Realty, LLC	Telephone: (845) 566-8010	E-Mail:
Address: 208 South Plank Road		
City/PO: Newburgh	State: NY	Zip Code: 12550
Project Contact (if not same as sponsor; give name and title/role): Alfred A. Fusco, Jr., P.E.	Telephone: (845) 344-5863	E-Mail: aafjr@fuscoengineering.com
Address: 233 East Main St		
City/PO: Middletown	State: NY	Zip Code: 10940
Property Owner (if not same as sponsor): Same as applicant	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Planning Board	November 2018
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
IB Zone

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police

c. Which fire protection and emergency medical services serve the project site?  
Town of Newburgh Fire Department

d. What parks serve the project site?  
Town of Newburgh - City of Newburgh Parks Department

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 4.03 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 2.25 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 5.60 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ 12 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 3  
 ii. Dimensions (in feet) of largest proposed structure: 10 height; 80.5 width; and 150 length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? Excavation will be required for the construction of the buildings, access road and parking  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): N/A  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:  
 N/A

---

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed \_\_\_\_\_
- expected acreage of aquatic vegetation proposed to be removed \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Newburgh Water District
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: Newburgh Water District

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

---

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 2.25 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 4.03 acres (parcel size)
- ii. Describe types of new point sources. \_\_\_\_\_
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 On site stormwater management  
 \_\_\_\_\_  
 \_\_\_\_\_
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	7AM - 6 PM	• Monday - Friday:	7AM - 9 PM
• Saturday:	7AM - 6 PM	• Saturday:	7AM - 9 PM
• Sunday:	7AM - 6 PM	• Sunday:	7AM - 9 PM
• Holidays:	N/A	• Holidays:	7AM - 9 PM

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration: \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
The new buildings will have wall mounted lighting at approximately 9 feet high, the parking area will have approximately 20 foot high pole mounted lights.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products (185 gallons in above ground storage or an amount in underground storage)?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ 1 tons per \_\_\_\_\_ month (unit of time)
- Operation : \_\_\_\_\_ 1/4 tons per \_\_\_\_\_ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Recycling
- Operation: Recycling

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: OCSW
- Operation: OCSW

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	53,810	53,810
• Forested	82,328	80,000	2,328
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	93,218	5,721	87,497
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: N/A			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 6+ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: MdB \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 100 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

**h. Surface water features.**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
Deer _____	Squirrel _____	Rabbit _____
Deer _____	Squirrel _____	Rabbit _____
Deer _____	Squirrel _____	Rabbit _____
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>		
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

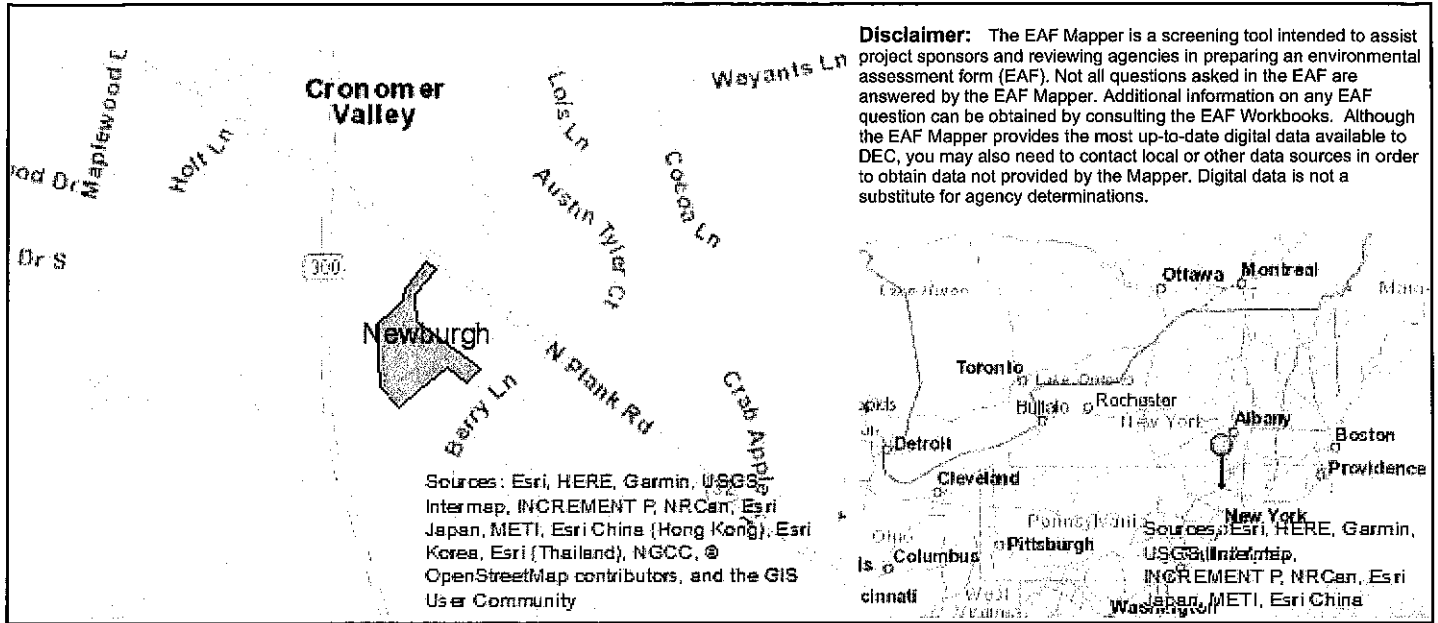
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Alfred A Fusco, Jr., P.E.      Date October 5, 2018

Signature \_\_\_\_\_ Title Engineer

**PRINT FORM**

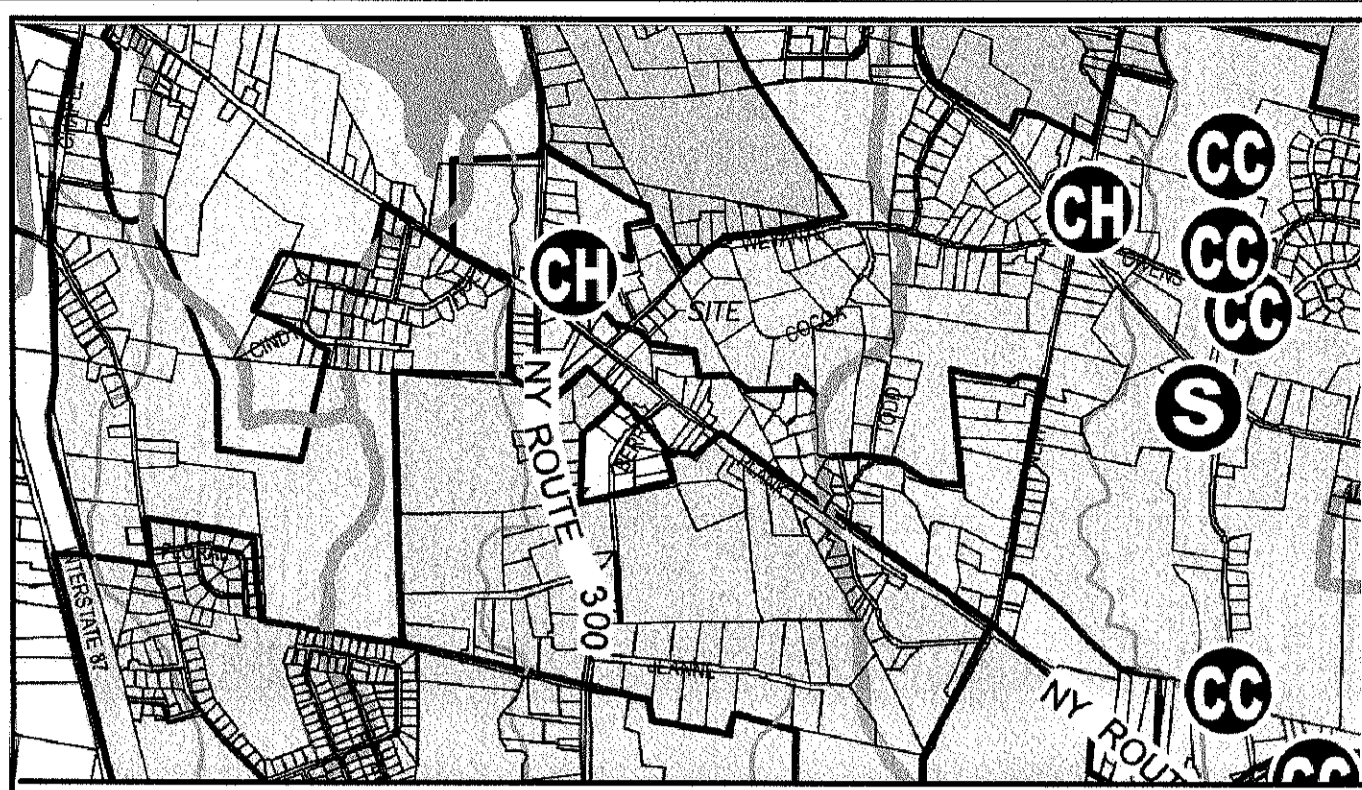
**RESET FORM**



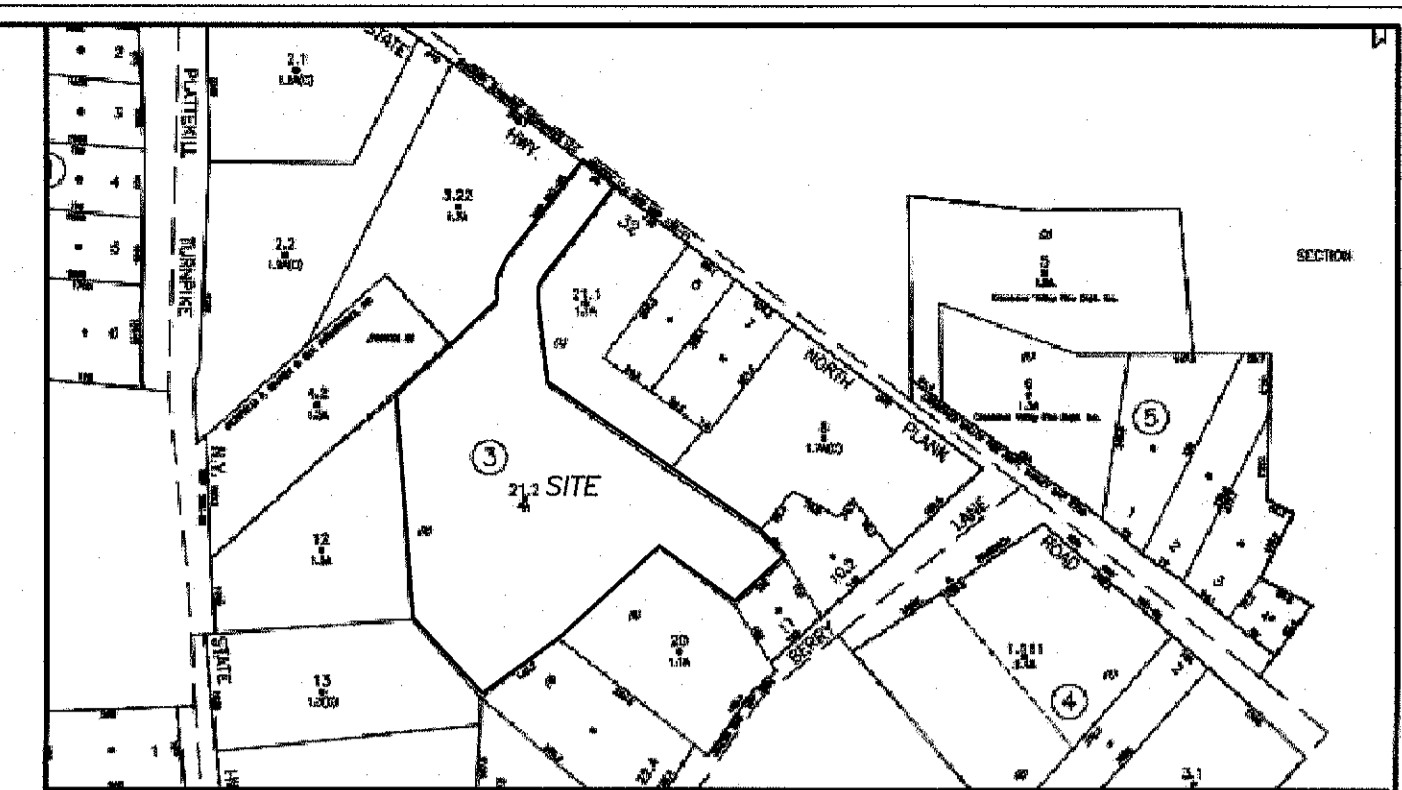
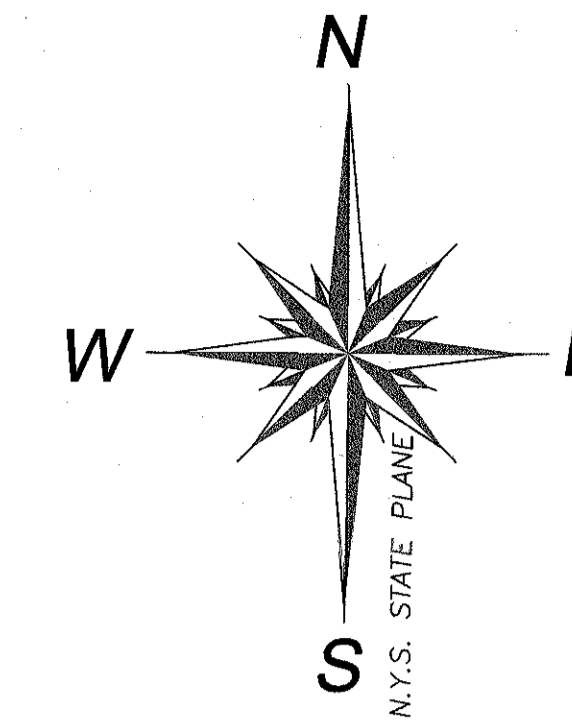
B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No



<b>E.3.a. [Agricultural District]</b>	<b>No</b>
<b>E.3.c. [National Natural Landmark]</b>	<b>No</b>
<b>E.3.d [Critical Environmental Area]</b>	<b>No</b>
<b>E.3.e. [National or State Register of Historic Places or State Eligible Sites]</b>	<b>Digital mapping data are not available or are incomplete. Refer to EAF Workbook.</b>
<b>E.3.f. [Archeological Sites]</b>	<b>No</b>
<b>E.3.i. [Designated River Corridor]</b>	<b>No</b>



ZONING MAP  
N.T.S.



TAX MAP  
SECTION 35, BLOCK 3, LOT 3.22  
SECTION 35, BLOCK 3, LOT 21.2

REFERENCE

DEED LIBER 14291, PAGE 1838  
A MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC LOT LINE CHANGE" AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NUMBER 983-05.  
A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC" AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NUMBER 136-11  
THE TOPOGRAPHY SHOWN HEREON WAS COMPILED ON FEBRUARY 2, 2018, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2014 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS.GIS.GOV. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

GENERAL NOTES:

SUB-SURFACE STRUCTURES WHERE NOT VISIBLE OR READILY APPARENT, WILL NOT BE SHOWN AND THEIR EXTENT WILL NOT BE CERTIFIED.  
SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS.

OWNER OF RECORD

CBPS REALTY CORP.  
208 SOUTH PLANK RD.  
NEWBURGH, N.Y. 12550

LEGEND

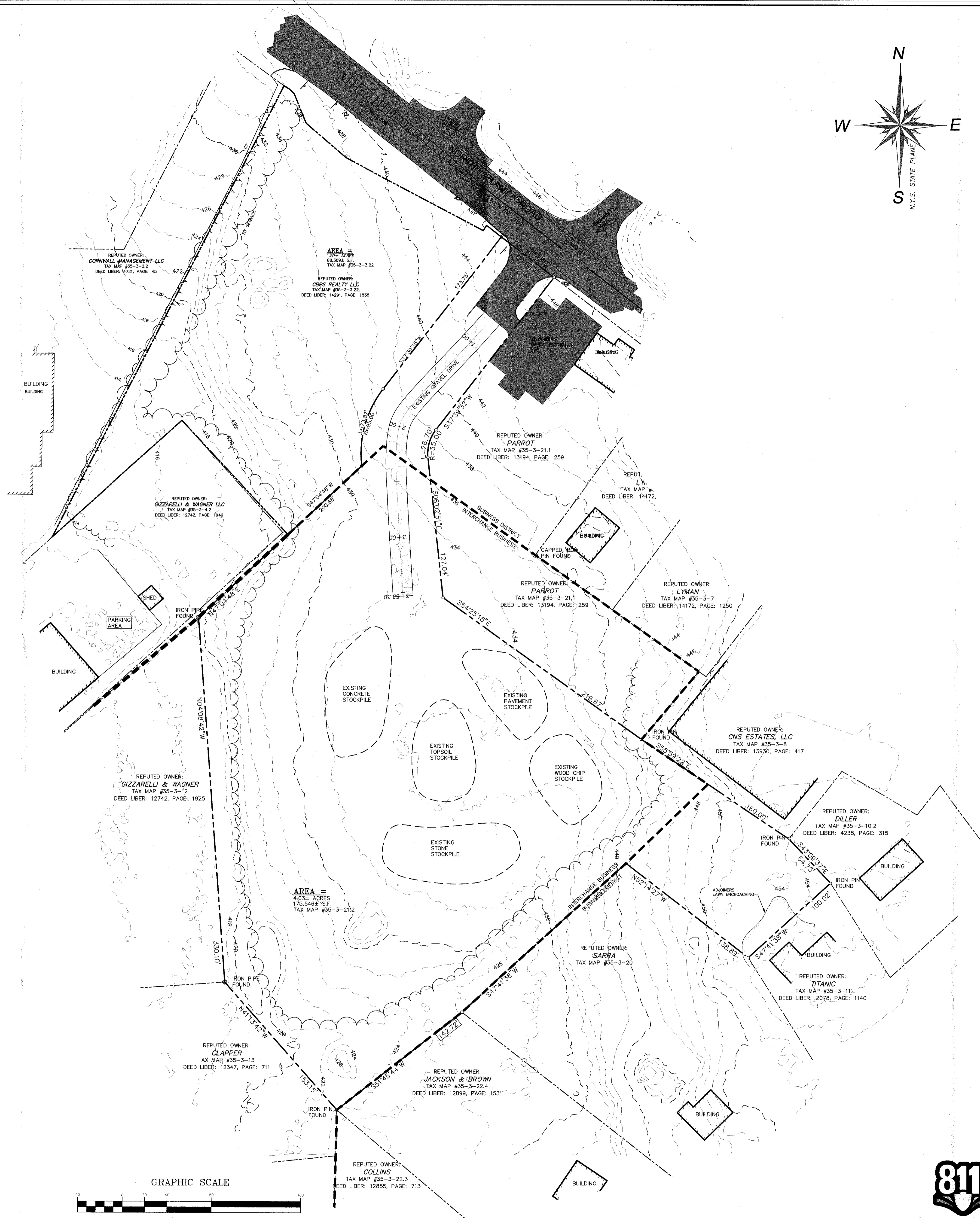
- UTILITY POLE
- UNDERGROUND UTILITIES
- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EXISTING TREELINE
- EXISTING CONTOUR LINE MAJOR
- EXISTING CONTOUR LINE MINOR
- EXISTING STOCKPILES
- EXISTING PAVED ROAD/DRIVE
- EXISTING GRAVEL DRIVE

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 3 OF 3

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

RESERVED FOR TOWN OF NEWBURGH  
PLANNING BOARD APPROVAL STAMP

SYMB	DATE	ISSUED FOR
		UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.
<b>FUSCO ENGINEERING &amp; LAND SURVEYING, P.C.</b> CONSULTING ENGINEERS 238 EAST MAIN ST. MIDDLETOWN, NY 10940 PHONE: (845) 344-5863 FAX: (845) 956-5865		
PROJECT TITLE: CBPS REALTY, LLC.		
DRAWING TITLE: EXISTING CONDITIONS AND PROPOSED EROSION CONTROL		
TOWN OF NEWBURGH PROPOSED EROSION CONTROL STATE OF NEW YORK COUNTY OF ORANGE		
PREPARED FOR:	APPROVED BY:	SCALE: AS SHOWN
CONSORTI BROS.	SAF	REFERENCE NUMBER: 17-448
DESIGNED BY:	REVISION DATE:	SHEET NUMBER:
SAF	3/14/19	1
DRAWN BY:	DATE:	PAGE 1 OF 4
SDB	01/31/18	

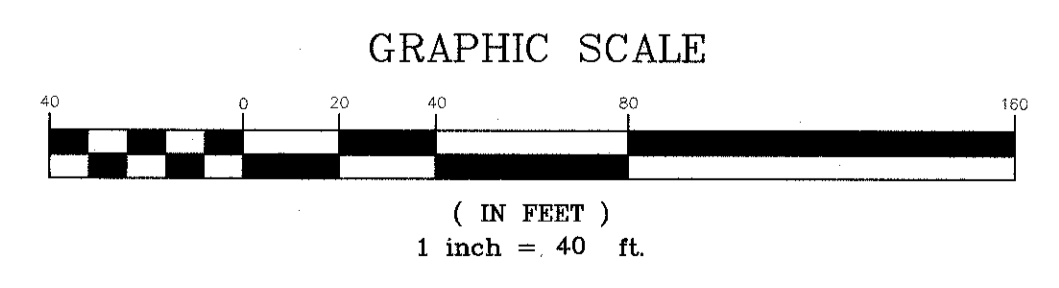


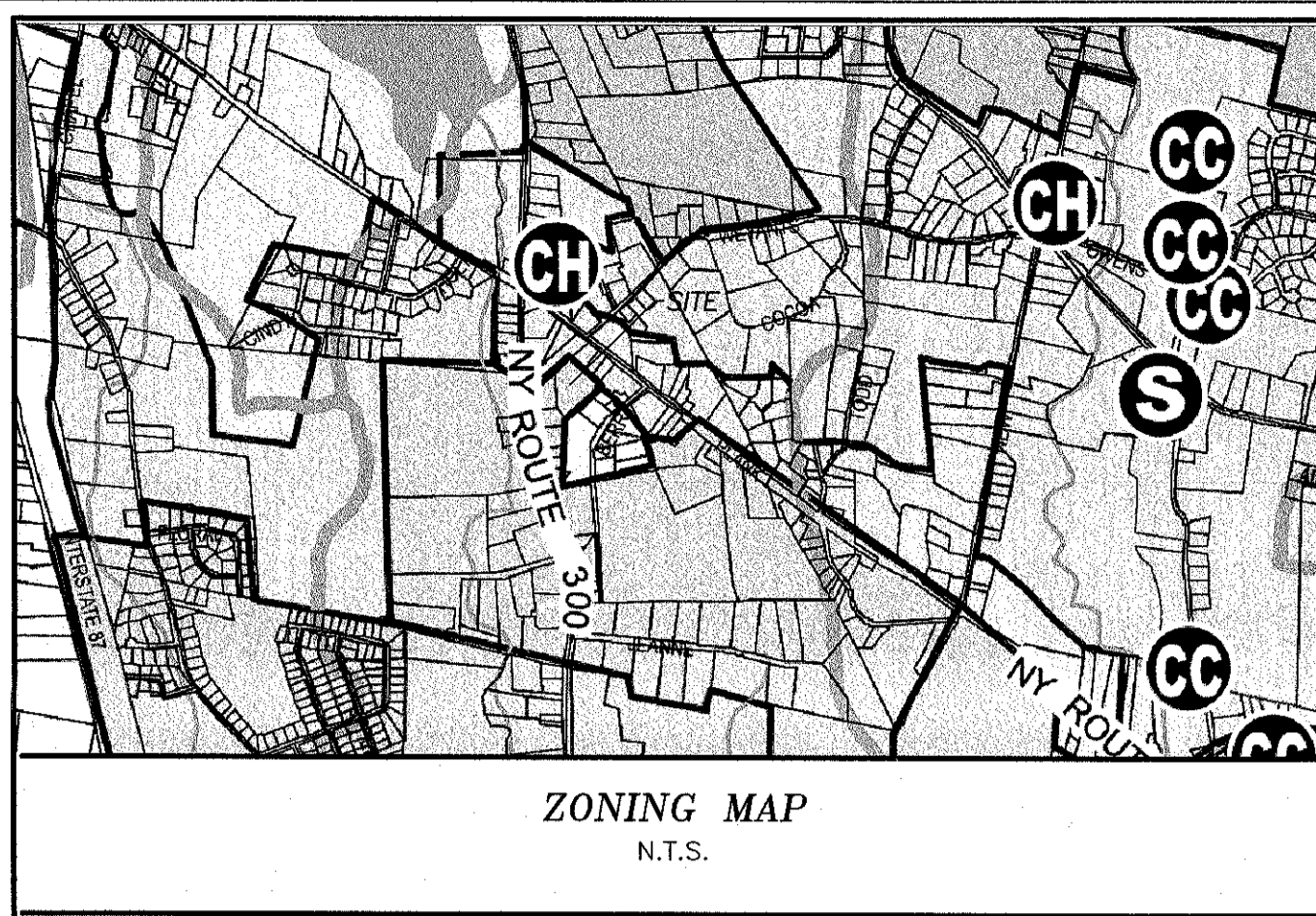
THE OFFSETS FROM PROPERTY LINES SHOWN HEREON ARE NOT INTENDED TO GUIDE IN THE ERECTION OF POLES, FENCES, RETAINING WALLS, BUILDING ADDITIONS, OR ANY OTHER STRUCTURES OR PLANTINGS AND SHOULD NOT BE USED FOR SUCH PURPOSES.

ISSUING OF A NEW TITLE POLICY OR REDATING OF AN EXISTING POLICY REFERENCING THIS SURVEY WITHOUT THE BENEFIT OF AN UPDATE OF THIS SURVEY BY FUSCO ENGINEERING AND LAND SURVEYING, P.C. SHALL TERMINATE ANY LIABILITY EXPRESSED OR IMPLIED HEREON.

TO: CONSORTI BROS.  
I HEREBY CERTIFY THAT THIS IS AN ACTUAL SURVEY COMPLETED IN THE FIELD ON JANUARY 31, 2018.

ERNEST JOHNSON, P.L.S.  
NEW YORK LICENSE, NO. 50041

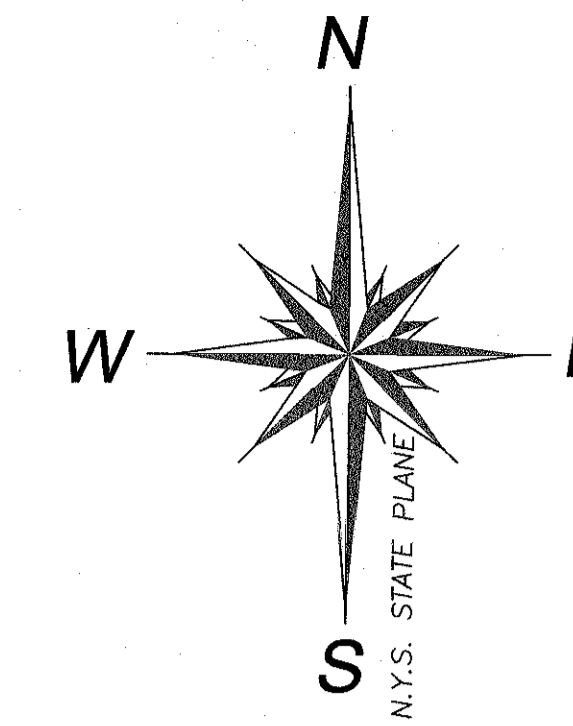




IB ZONING DISTRICT (D-15)

TABLE OF ZONING REQUIREMENTS									
MINIMUM REQUIREMENTS	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	SURFACE COVERAGE	BUILDING COVERAGE
EACH LOT	3 AC	100'	125'	80'	30'	60'	40'	60%	30%

LOT & BUILDING AS SHOWN									
MINIMUM REQUIREMENTS	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	SURFACE COVERAGE	BUILDING COVERAGE
SUBJECT LOT	4.03 AC	573'	684'	343'	38'	71'	127'	53%	22%



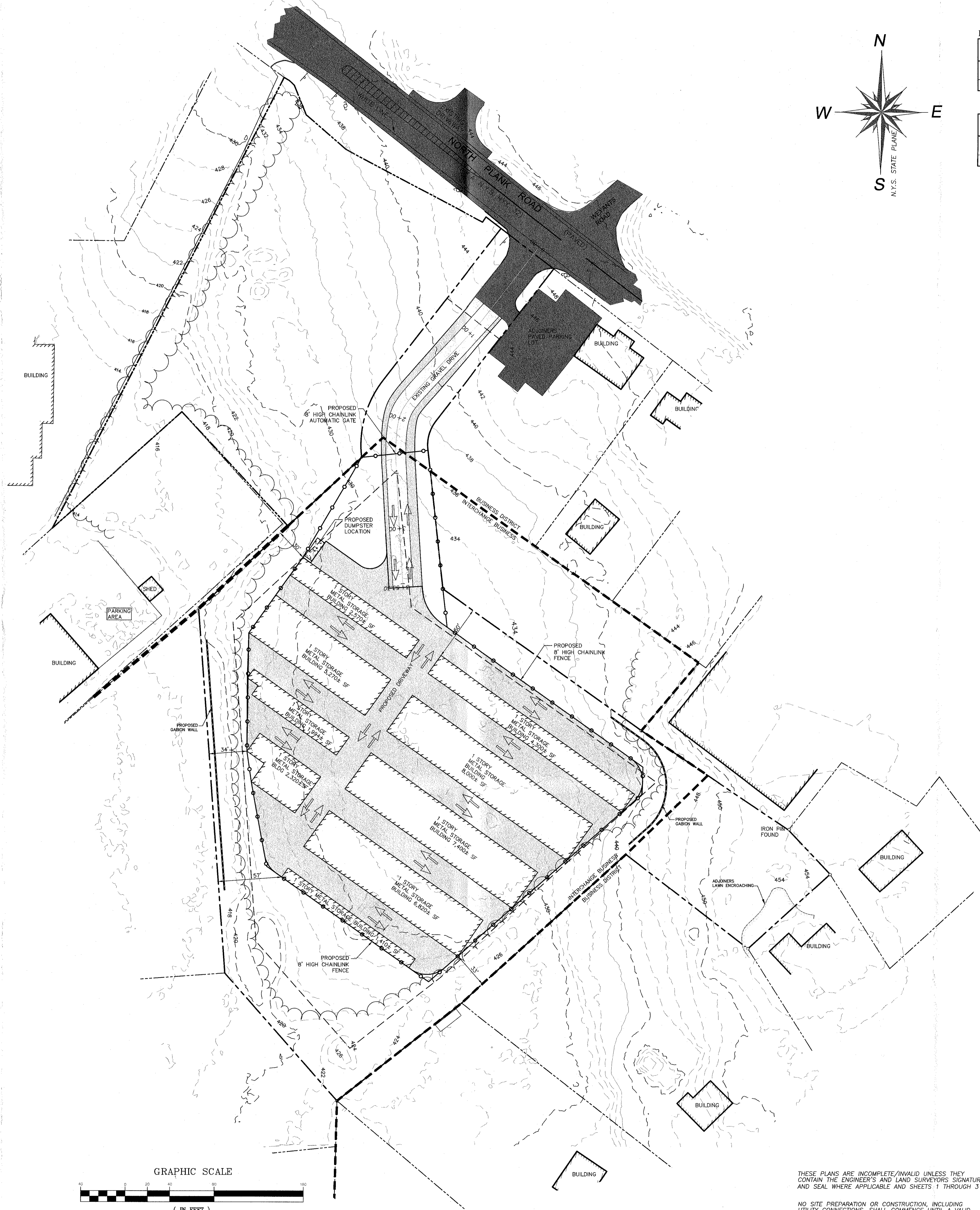
NOTES:  
 PERMITTED ACTIVITIES. ONLY DEAD STORAGE ACTIVITIES SHALL BE PERMITTED. FOR THE PURPOSES OF THIS SECTION, "DEAD STORAGE" SHALL MEAN THE KEEPING OF GOODS NOT IN USE AND NOT ASSOCIATED WITH ANY OFFICE, RETAIL OR OTHER BUSINESS ACTIVITY CONDUCTED ON THE PREMISES. CONDUCTING AN OFFICE, RETAIL OR OTHER BUSINESS USE OR SALES FROM A STORAGE UNIT SHALL BE PROHIBITED. ONE OFFICE FACILITY AND ONE ACCESSORY DWELLING UNIT FOR A RESIDENT MANAGER SHALL BE PERMITTED WITHIN THE SITE IN APPROPRIATELY DESIGNED STRUCTURES. IF INCLUDED, ANY DWELLING UNIT MUST BE AN INTEGRAL PART OF A PRINCIPAL BUILDING AND SHALL NOT BE A MOBILE HOME OR OTHER FREESTANDING STRUCTURE.

INSIDE STORAGE REQUIRED. OUTSIDE STORAGE SHALL BE PROHIBITED EXCEPT FOR BOATS AND CAMPERS, WHICH MAY BE STORED IN A SPECIAL PARKING AREA NOT IN A REQUIRED FRONT YARD. STORAGE OF ALL OTHER PROPERTY SHALL BE INSIDE A BUILDING. VEHICLE PARKING SHALL BE PROVIDED FOR TENANTS AND EMPLOYEES ONLY WHILE THEY ARE ON THE PREMISES. EXCEPT FOR STORAGE OF BOATS AND CAMPERS, MOTOR VEHICLES SHALL NOT BE PARKED OVERNIGHT OR OTHERWISE STORED OUTDOORS ON THE SITE.

HAZARDOUS MATERIALS PROHIBITED. STORAGE OF GASOLINE OR OTHER VOLATILE PETROLEUM PRODUCTS, RADIOACTIVE MATERIALS, EXPLOSIVES AND FLAMMABLE OR HAZARDOUS CHEMICALS SHALL BE PROHIBITED, AND THE OPERATOR OF THE SELF-STORAGE CENTER SHALL INCLUDE A PROVISION TO THAT EFFECT IN ANY LEASE USED TO RENT THE STORAGE UNITS.

**LEGEND**

- UTILITY POLE
- UNDERGROUND UTILITIES
- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EXISTING TREELINE
- EXISTING CONTOUR LINE MAJOR
- EXISTING CONTOUR LINE MINOR
- EXISTING STOCKPILES
- EXISTING PAVED ROAD/DRIVE
- EXISTING GRAVEL DRIVE
- PROPOSED CULVERT PIPE
- PROPOSED PAVED DRIVEWAY
- PROPOSED SILT FENCE
- MAJOR CONTOUR LINE PROPOSED
- MINOR CONTOUR LINE PROPOSED

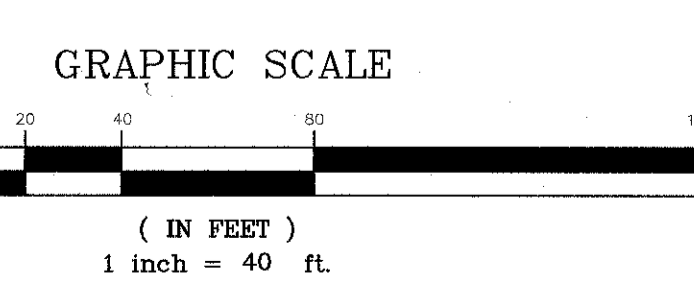


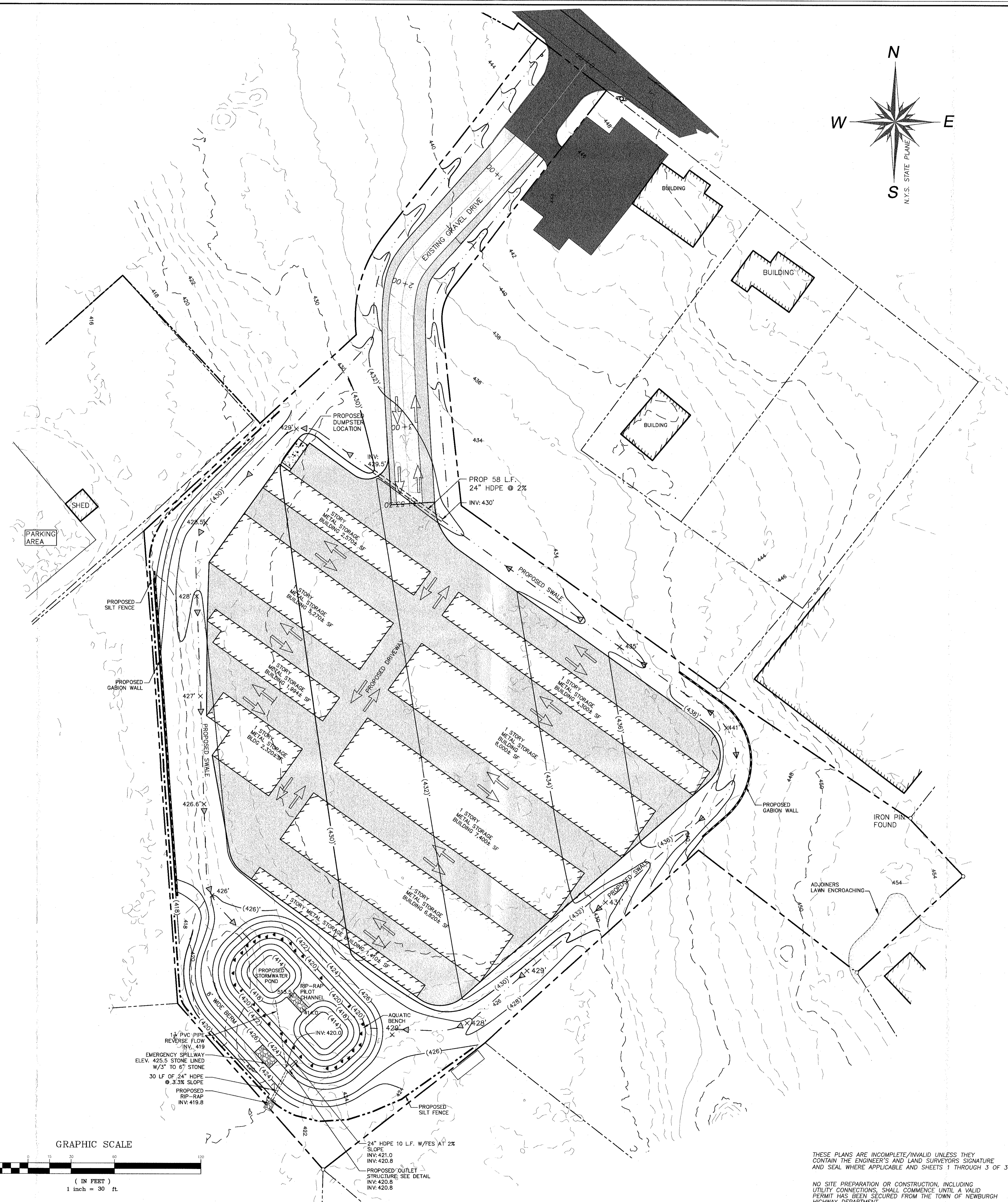
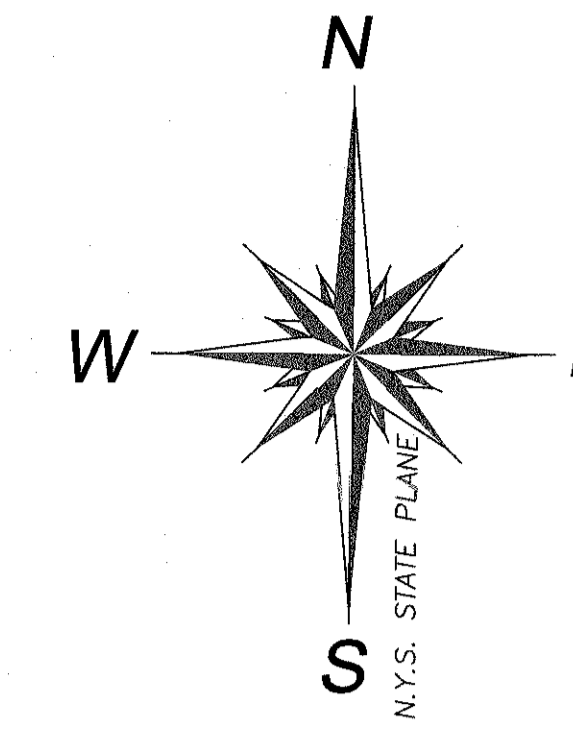
RESERVED FOR TOWN OF NEWBURGH  
 PLANNING BOARD APPROVAL STAMP

SYMB	DATE	ISSUED FOR
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
<b>FUSCO ENGINEERING &amp; LAND SURVEYING, P.C.</b> CONSULTING ENGINEERS		
233 EAST MAIN ST MIDDLETOWN, NY 10940		
PHONE: (845) 344-8863 FAX: (845) 956-8865		
PROJECT TITLE: CBPS REALTY, LLC.		
DRAWING TITLE: EXISTING CONDITIONS AND PROPOSED EROSION CONTROL		
TOWN OF NEWBURGH PROPOSED EROSION CONTROL STATE OF NEW YORK COUNTY OF ORANGE		
PREPARED FOR:	APPROVED BY:	SCALE: AS SHOWN
CONSORITI BROS. 208 SOUTH PLANK ROAD NEWBURGH, NY 12550	AF	17-448
DESIGNED BY:	REVISION DATE:	SHEET NUMBER:
AF	3/14/19	2
DRAWN BY:	DATE:	PAGE 2 OF 4
SDB	01/31/18	

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 3 OF 3

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.



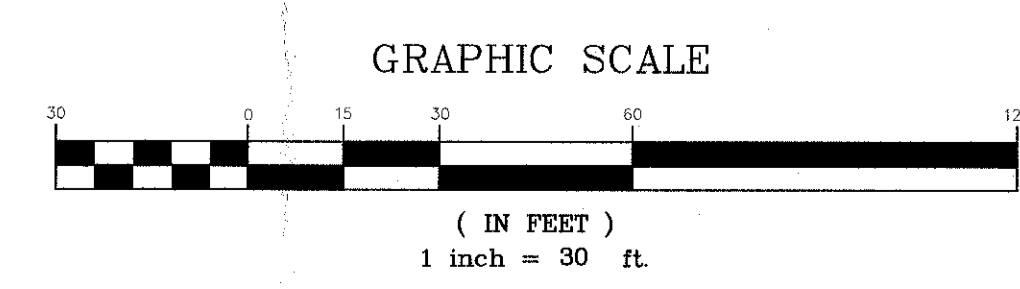


**LEGEND**

⊕	UTILITY POLE
UB □	UNDERGROUND UTILITIES
---	PROPERTY LINE
---	ADJOINER PROPERTY LINE
~	EXISTING TREELINE
---	EXISTING CONTOUR LINE MAJOR
---	EXISTING CONTOUR LINE MINOR
---	EXISTING STOCKPILES
█	EXISTING PAVED ROAD/DRIVE
□	EXISTING GRAVEL DRIVE
---	PROPOSED CULVERT PIPE
█	PROPOSED PAVED DRIVEWAY
---	PROPOSED SILT FENCE
---	MAJOR CONTOUR LINE PROPOSED
---	MINOR CONTOUR LINE PROPOSED

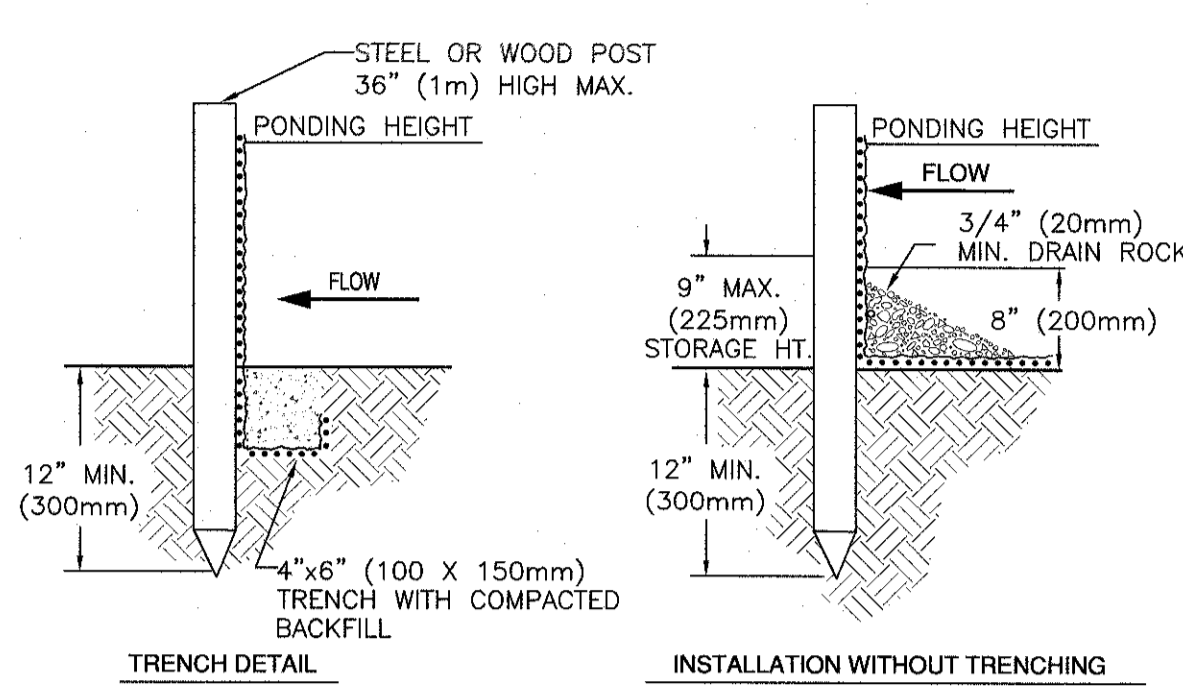
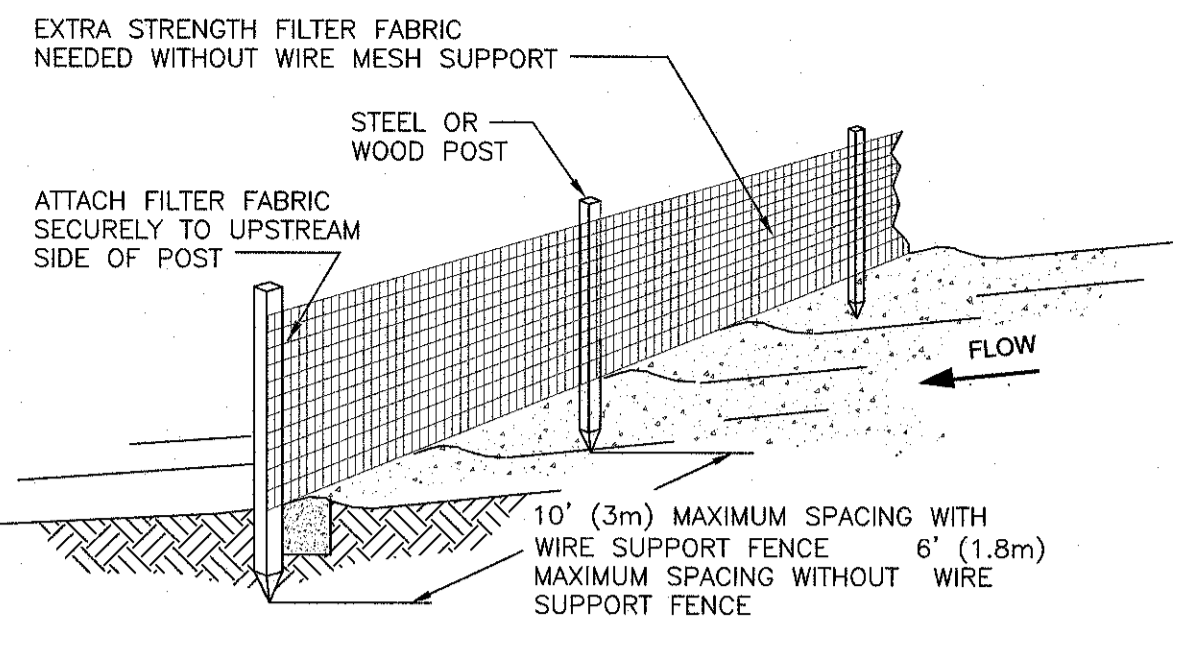
RESERVED FOR TOWN OF NEWBURGH  
PLANNING BOARD APPROVAL STAMP

SYMB	DATE	ISSUED FOR
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
233 EAST MAIN ST. MIDDLETOWN, NY 10940 PHONE: (845) 344-5863 FAX: (845) 966-8865		
PROJECT TITLE: CBPS REALTY, LLC.		
DRAWING TITLE: PROPOSED DRAINAGE & EROSION CONTROL PLAN	STATE OF NEW YORK COUNTY OF ORANGE	
TOWN OF NEWBURGH	PREPARED FOR: CONSORTI BROS. 208 SOUTH PLANK ROAD NEWBURGH, NY 12550	REFERENCE NUMBER: 17-448
APPROVED BY: AAF	DESIGNED BY: AAF	REVISION DATE: 3/14/19
SCALE: AS SHOWN	DATE: 01/31/18	SHEET NUMBER: 3
		PAGE 3 OF 4



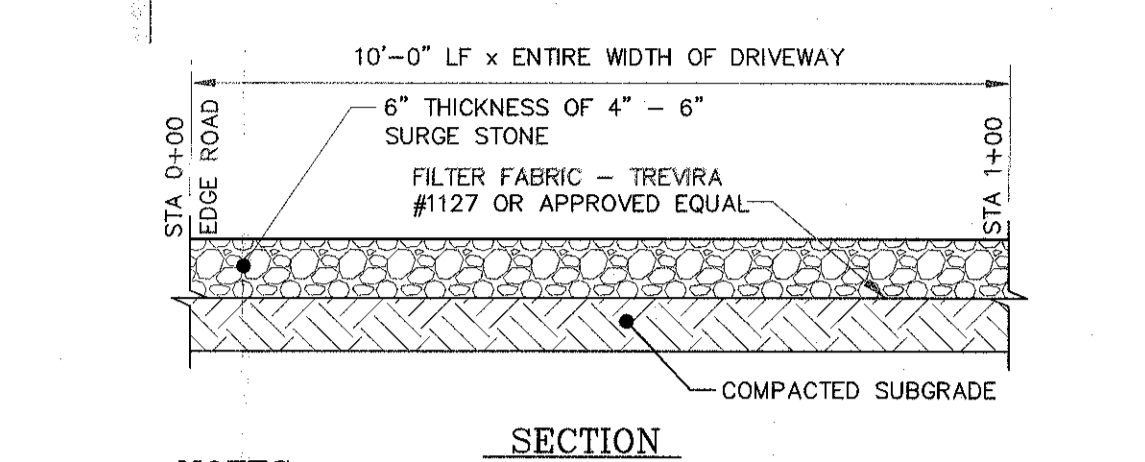
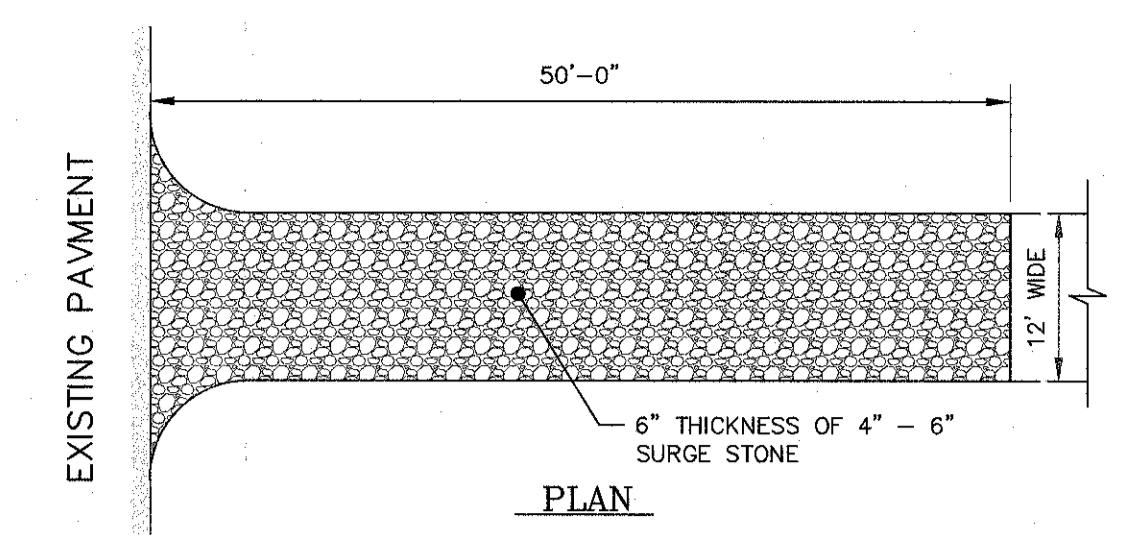
**811**  
Know what's below.  
Call before you dig.

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYOR'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 3 OF 3  
NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.



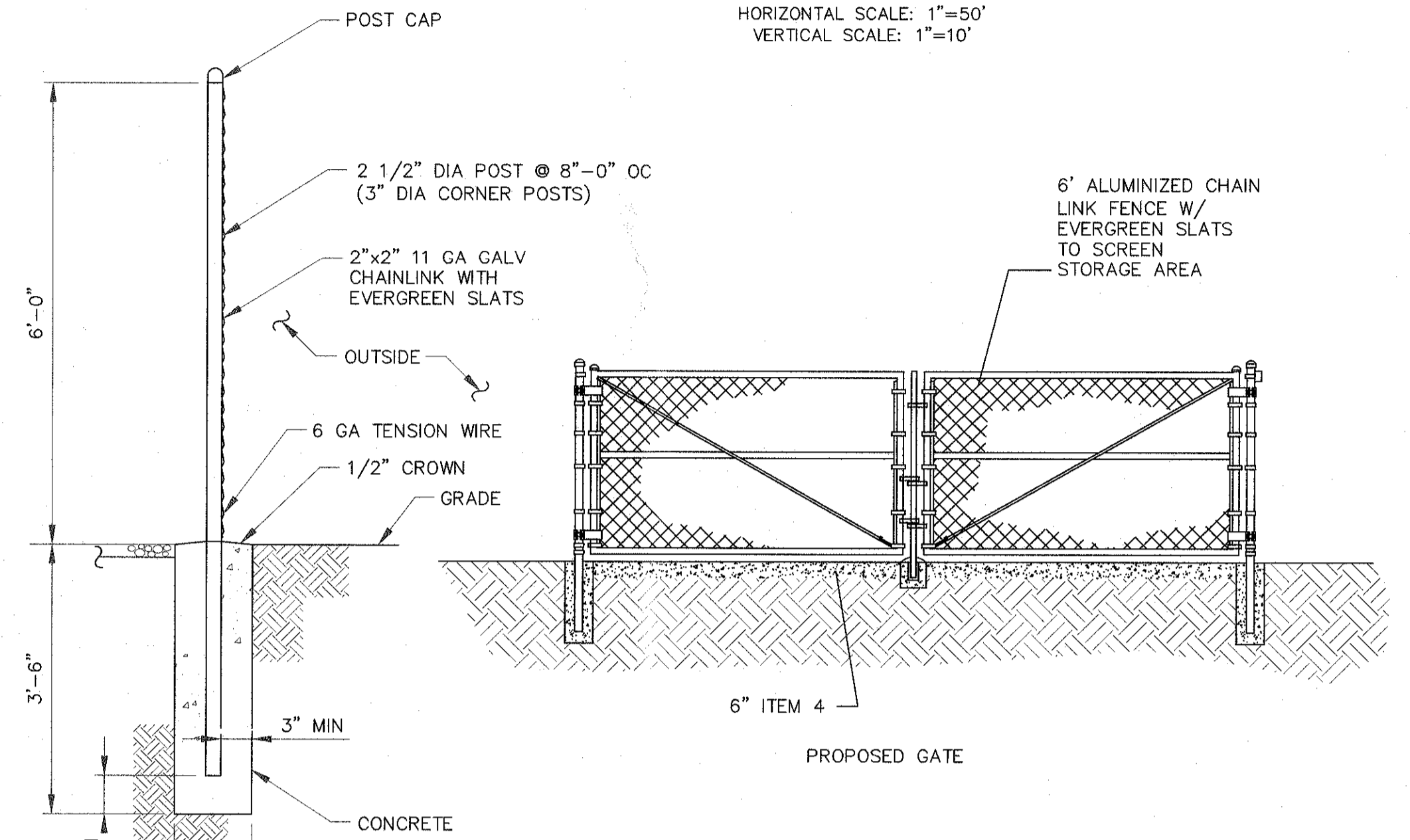
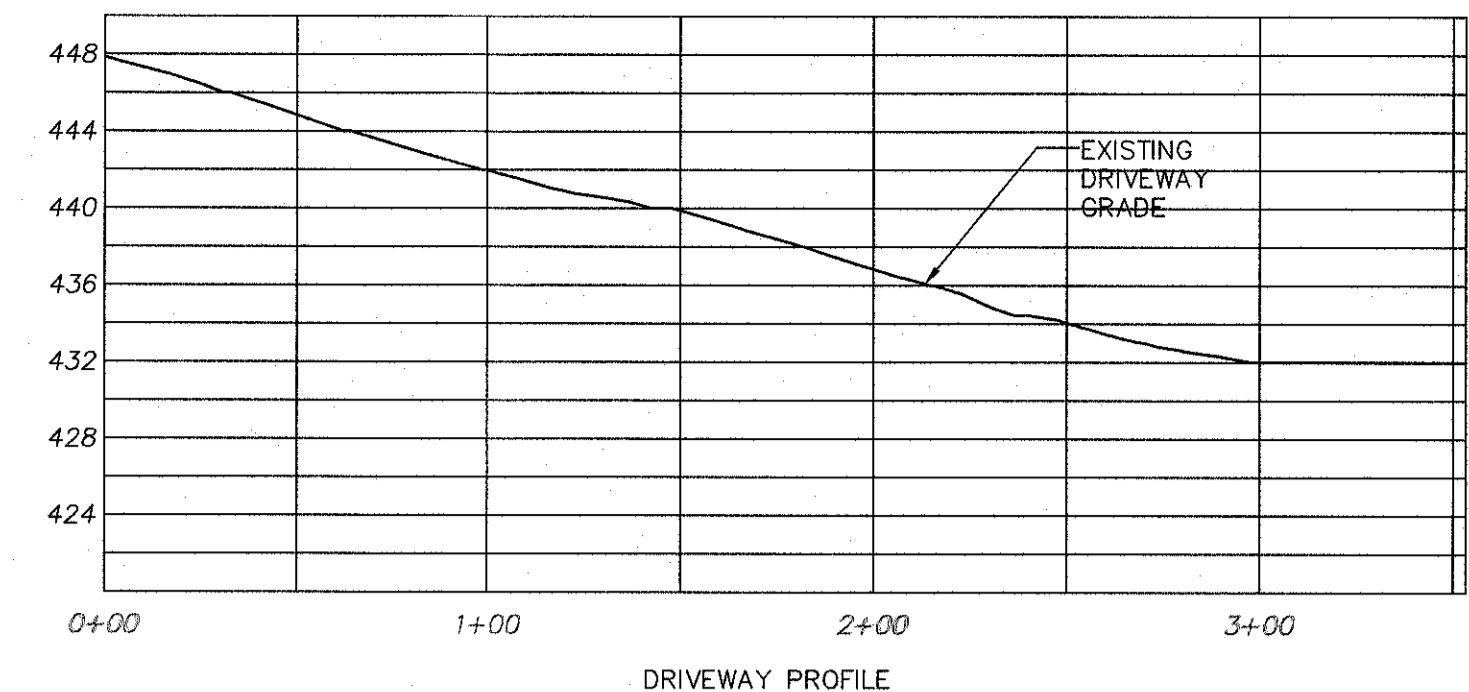
- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

**SILT FENCE DETAILS**  
NOT TO SCALE

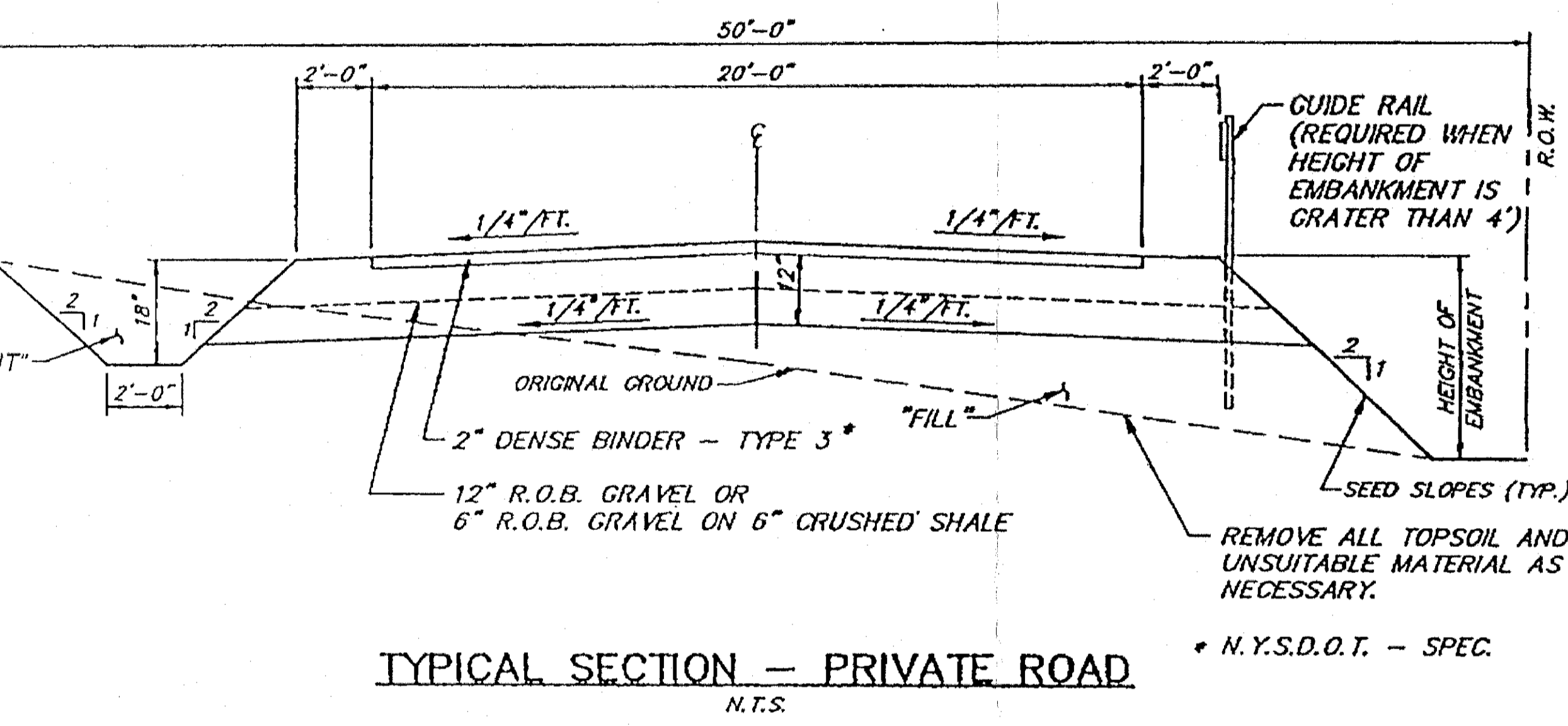


- NOTES:**
1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.
  2. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
  3. A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6\"/>
  - 4. ALL DRIVEWAYS MUST BE STABILIZED WITH 1-1/2\"/>
  - 5. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
  - 6. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH CRUSHED STONE OR HYABLAE FILTER.
  - 7. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

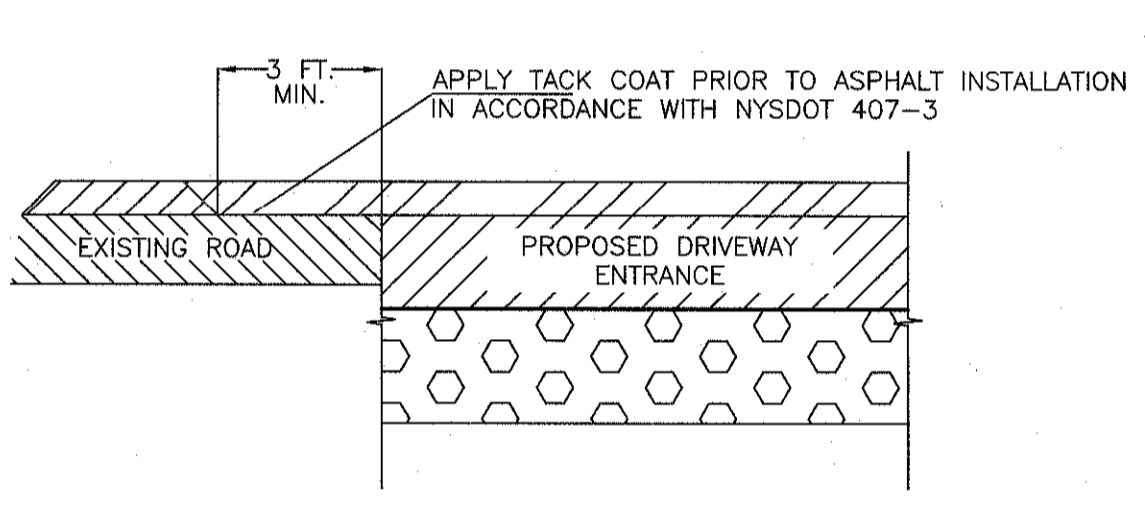
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
(NOT TO SCALE)



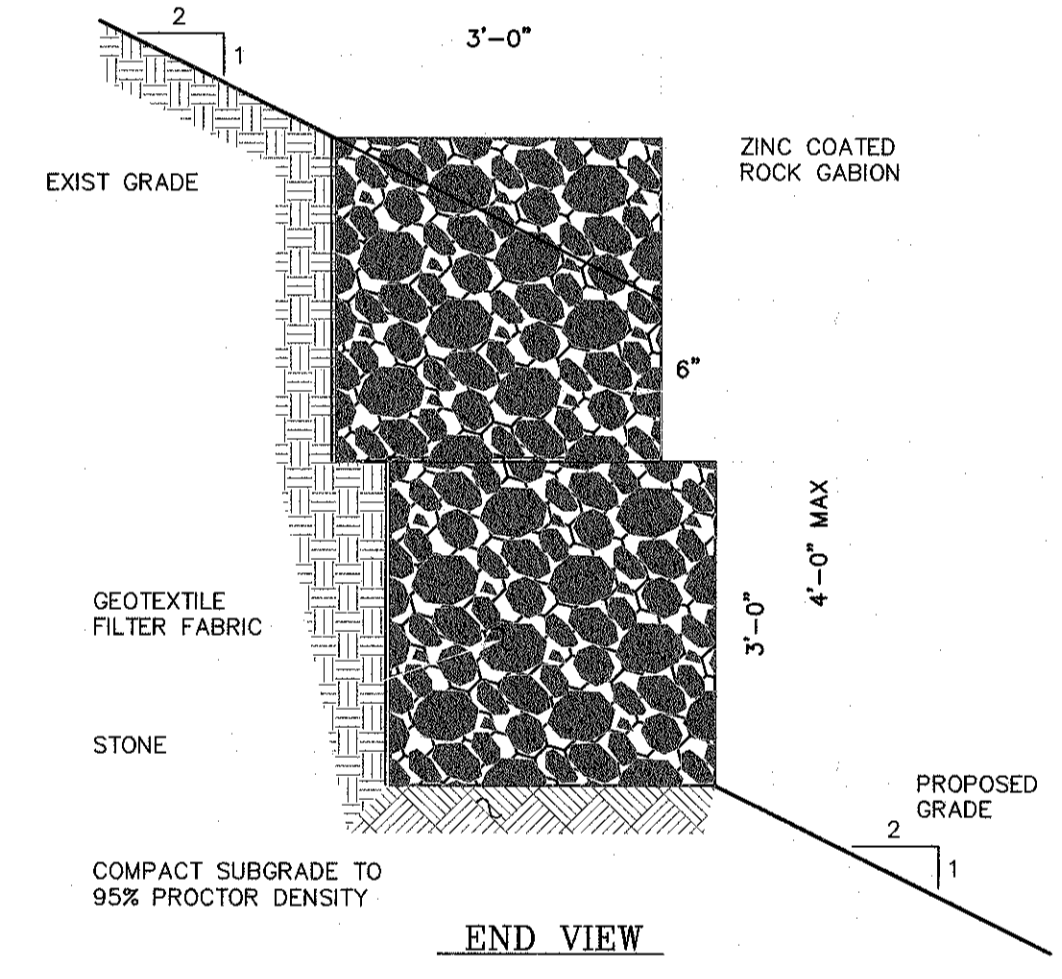
**CHAIN LINK FENCE FOR STORAGE AREA DETAIL**  
(NOT TO SCALE)



**TYPICAL SECTION - PRIVATE ROAD**  
N.T.S.

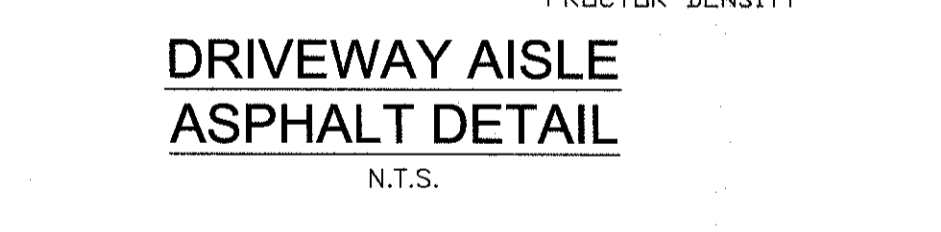


**PAVEMENT CONNECTION DETAIL**  
N.T.S.

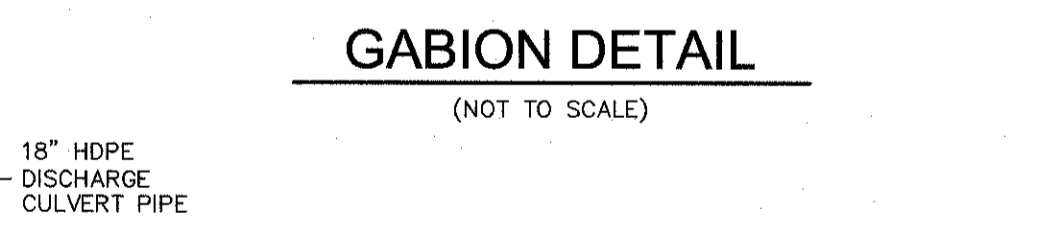


- GABION NOTES:**
1. GABIONS COME IN 3'-0\"/>
  - 2. GABION SHALL BE FILLED WITH 5# CLEAN WASHED STONE.

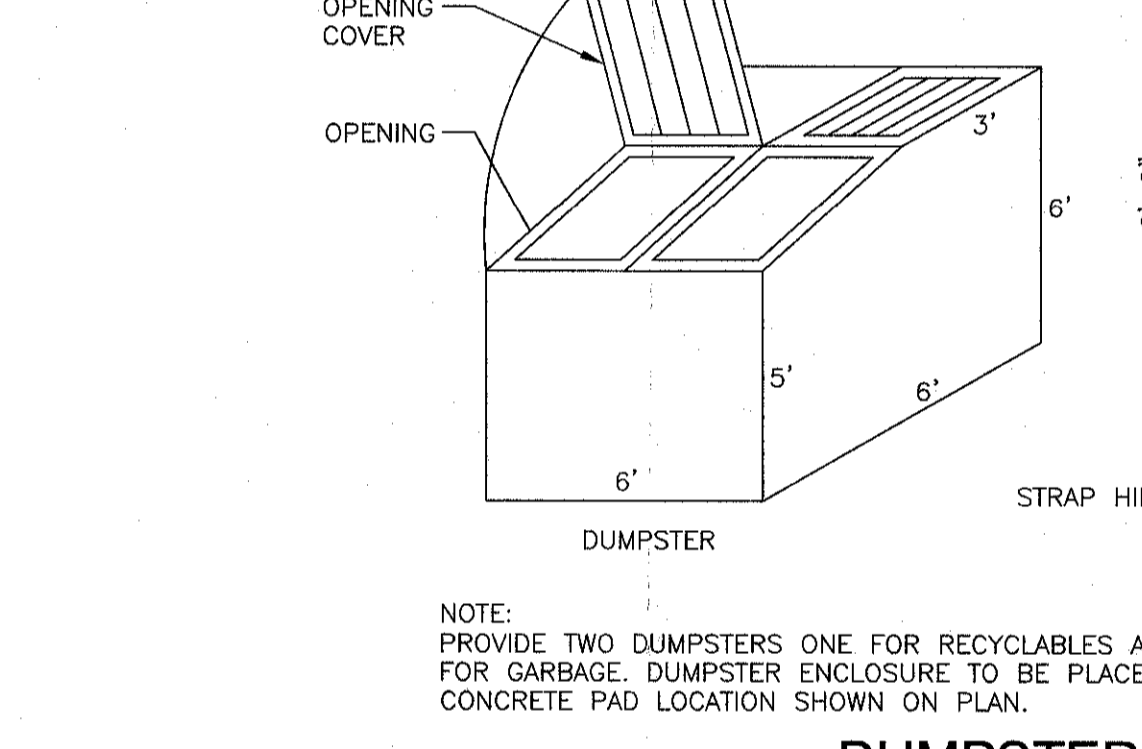
- SPECIFICATIONS:**
- GABION SHALL BE A MACCAFERRI ZINC COATED BOX CAGE OR APPROVED EQUAL.
  - WIRE MESH THICKNESS TO BE 0.12\"/>
  - 3 1/4\"/>



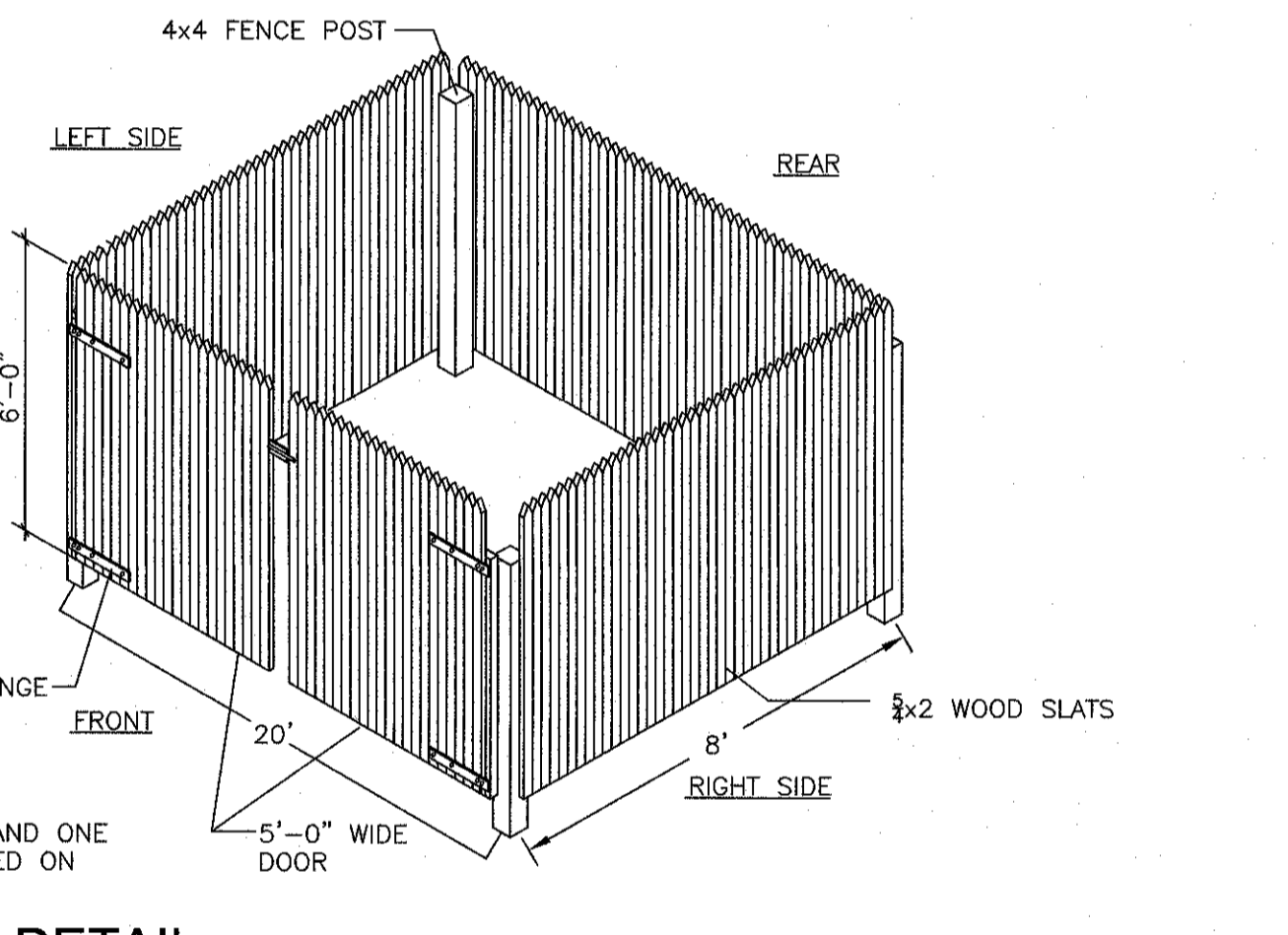
**DRIVEWAY AISLE ASPHALT DETAIL**  
N.T.S.



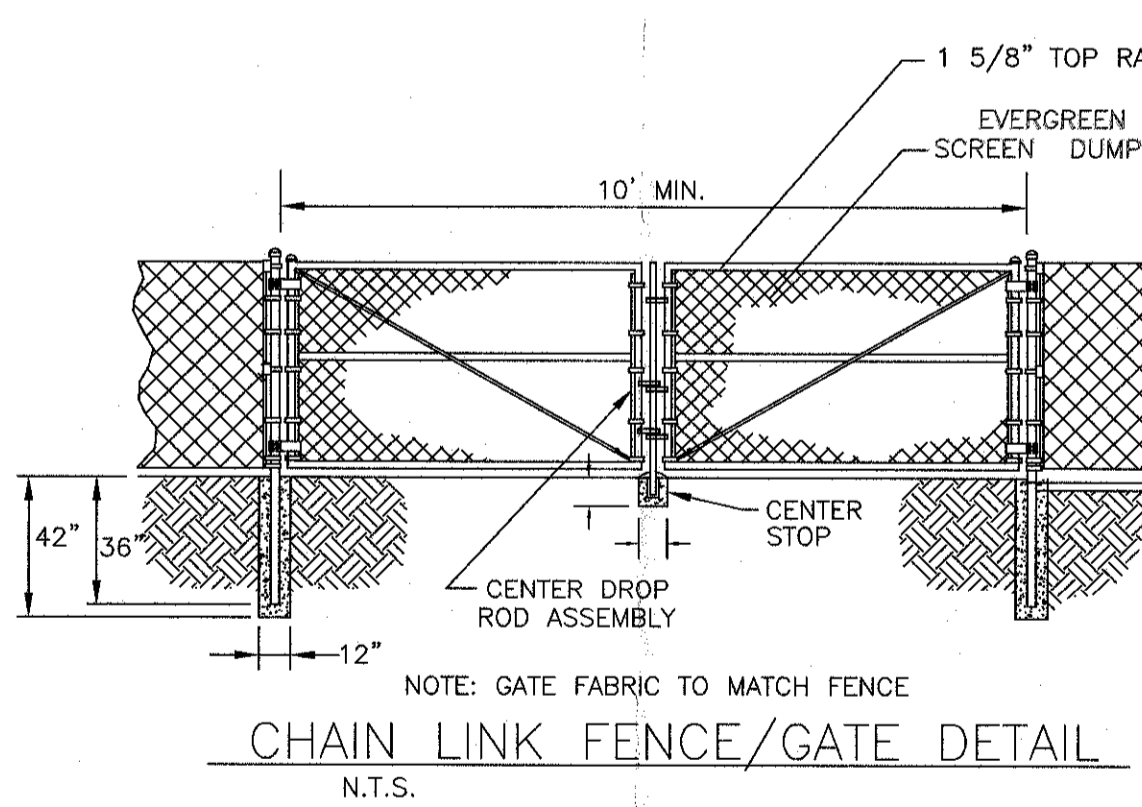
**GABION DETAIL**  
(NOT TO SCALE)



**DUMPSTER DETAIL**  
N.T.S.



**DUMPSTER DETAIL**  
N.T.S.

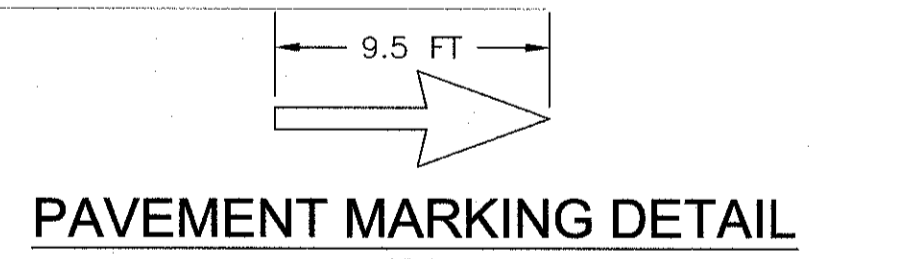


**CHAIN LINK FENCE/GATE DETAIL**  
N.T.S.

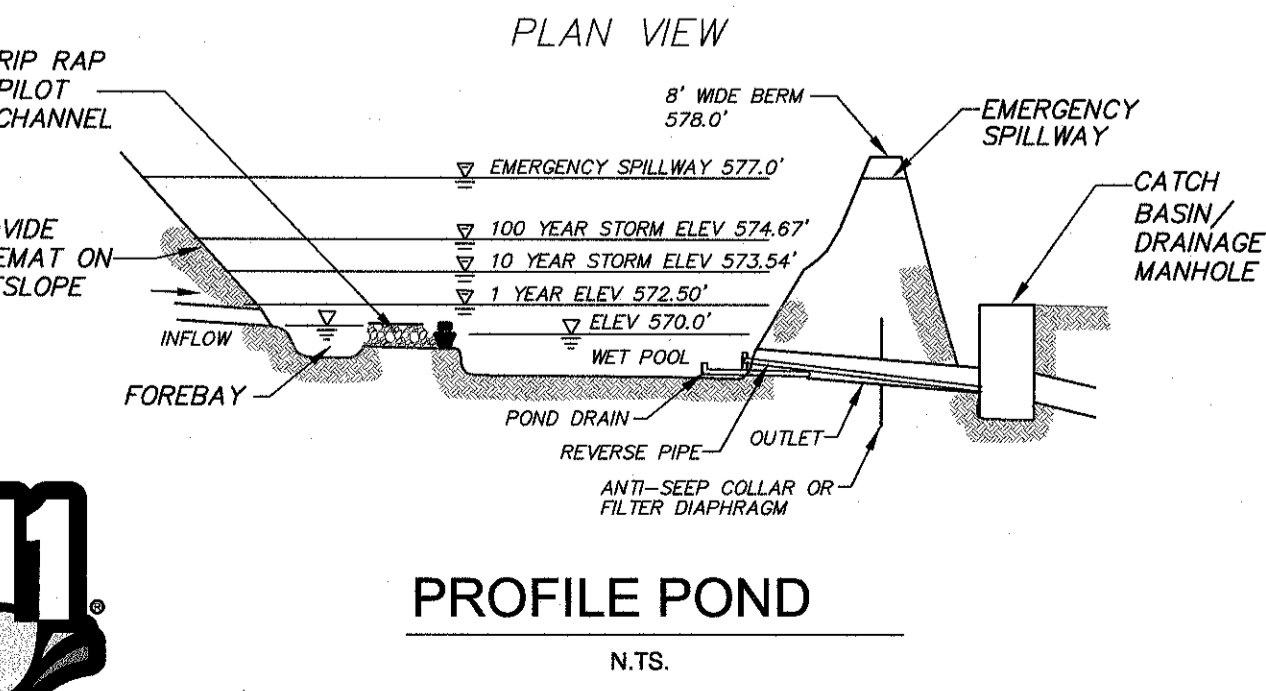
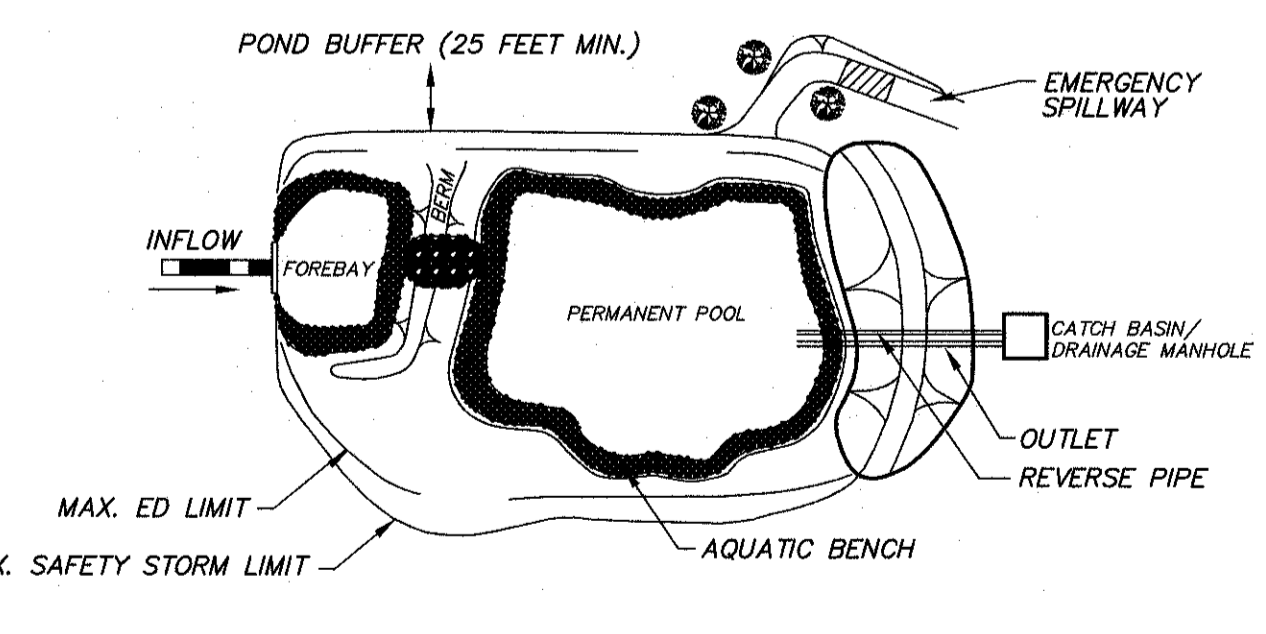
**FIGURE 1**  
TOWN OF NEWBURGH - ORANGE COUNTY - NEW YORK

PROVIDE PAINTED ARROWS AS SHOWN ON PLAN SHEET 2 USING PAINT AS PER SPECIFICATIONS.

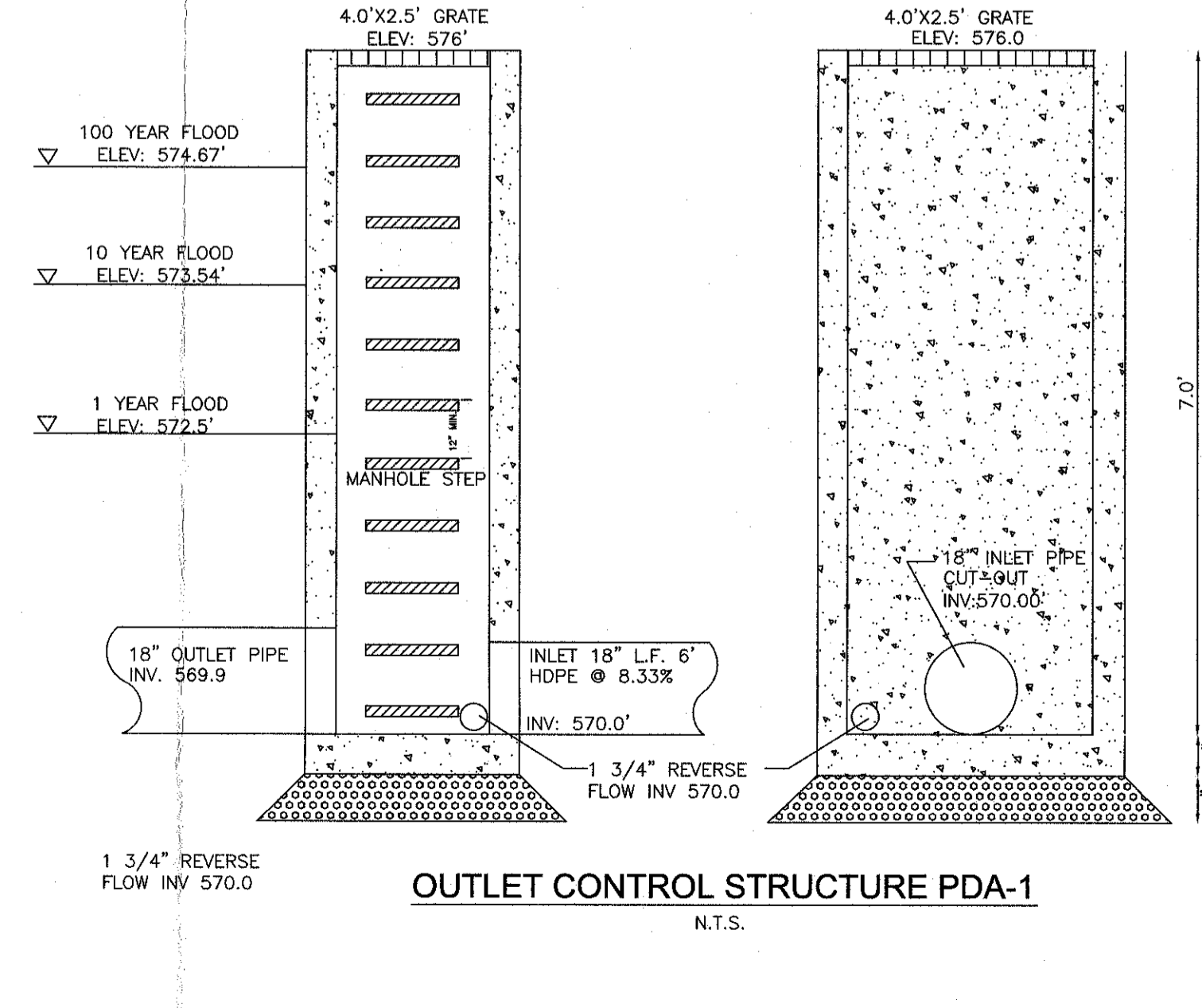
REFLECTORIZED PAVEMENT MARKING PAINTS SHALL BE SELECTED FROM THE NYS DOT APPROVED LIST OF WHITE AND YELLOW REFLECTORIZED PAINT. THE APPLIED PAINT SHALL HAVE CLEAN-OUT EDGES AND TRUE SMOOTH ALIGNMENT. SEE SECTION 640 REFLECTORIZED PAINT OF NYS DOT STANDARD SPECIFICATIONS FOR ALL REQUIREMENTS.



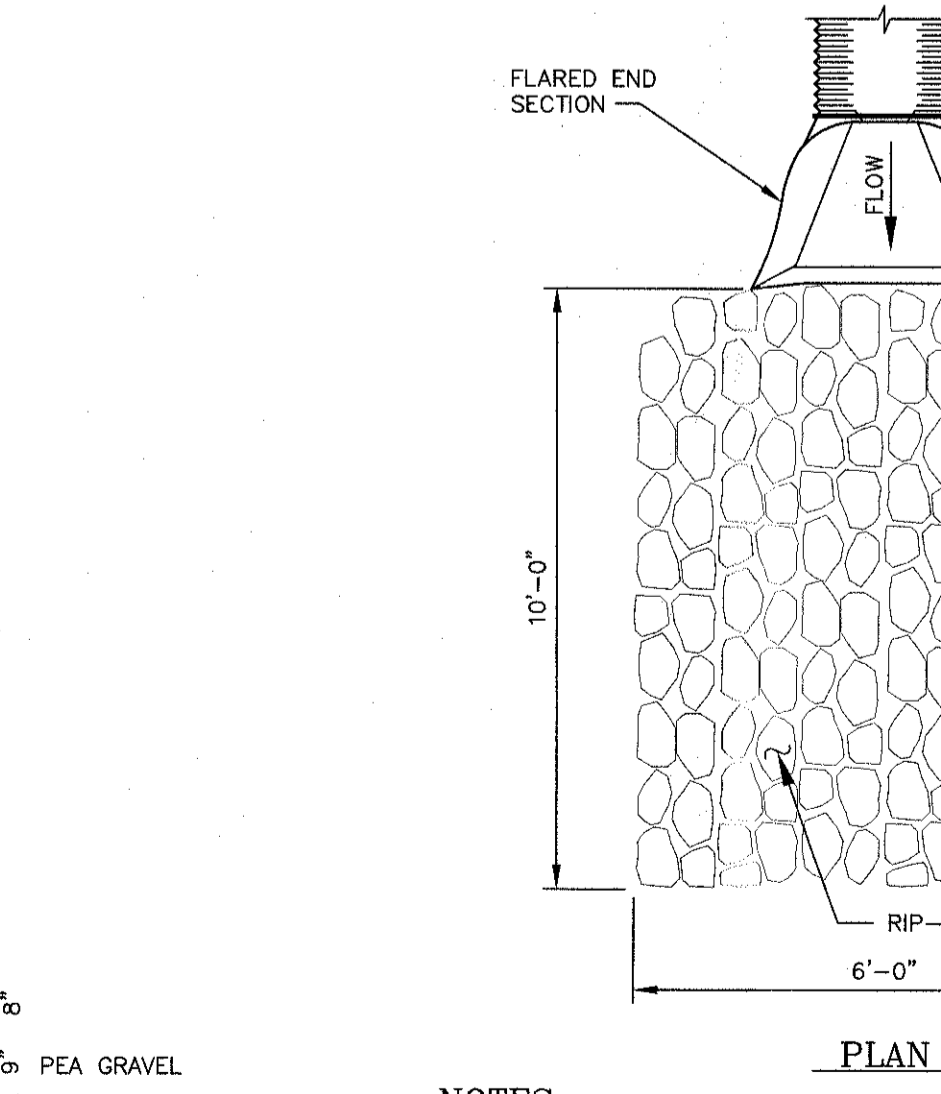
**PAVEMENT MARKING DETAIL**  
N.T.S.



**PROFILE POND**  
N.T.S.



**OUTLET CONTROL STRUCTURE PDA-1**  
N.T.S.



**RIP-RAP OUTLET PROTECTION DETAIL**  
N.T.S.

- NOTES:**
1. A RIP-RAP DISSIPATOR APRON SHALL BE PLACED AT PIPE DISCHARGE AREAS TO PROTECT AGAINST EROSION.
  2. ROCK RIP-RAP SHALL BE A MINIMUM OF 9\"/>

- 1. THE SWALES ARE TO BE MAINTAINED WITH STONE CHECK DAMS AS SITE IS BUILT AND NEARING COMPLETION THE SWALES SHALL BE SEED WITH GRASS SEED AND MAINTAINED AS A GRASSY SWALE.**

**DIVERSION SWALE DETAIL**  
(NOT TO SCALE)

**EROSION CONTROL NOTES**

**SITE DISTURBANCE TO BE LIMITED ONLY TO NECESSARY GRADING ON ROADS, BUILDING LOCATIONS, PARKING AREAS, DRIVEWAYS AND AREAS CALLED FOR ON THE PLAN.**

**TEMPORARY SEEDING WITH ANNUAL RYE GRASS AT 1/2 LBS PER 1,000 S.F. AND MULCHING 100-140 LBS. HAY OR STRAW PER 1,000 S.F. TO BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH.**

**AFTER GRADING, BERMS AND SWALES WILL BE CREATED TO DIVERT RUNOFF FROM NEWLY GRADED AREAS TO PREVENT EROSION UNTIL GROUND COVER HAS DEVELOPED.**

**HAY BALES SHALL BE PLACED AS SHOWN BELOW, AT BOTTOM EDGE OF CUT AND FILL SLOPES TO PREVENT SILTATION ON LANDS OF OTHERS, AND IN DRAINAGEWAYS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.**

**EROSION CONTROL SEQUENCE:**

1. A PRE-CONSTRUCTION MEETING WITH TOWN REPRESENTATIVES, OWNER, ARCHITECT, ENGINEER (IF CONSTRUCTION OBSERVATION AND/OR AS-BUILTS ARE TO BE PREPARED BY ENGINEER) AND CONTRACTOR PRESENT WILL BE HELD A MINIMUM OF ONE WEEK PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL SECURE ALL APPROVALS AND PERMITS.
3. DELINEATE THE LIMITS OF DISTURBANCE. TREES TO BE SAVED SHALL BE PROTECTED WITH PERIMETER SNOW FENCE. THE SUBDIVISION PLAN.
4. INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE.
5. CONSTRUCT TEMPORARY SEDIMENT BASIN 1. STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND CHANNEL PROTECTION MEASURES PER EROSION CONTROL PLAN. INSTALL TEMPORARY DIVERSION SWALES AND STONE CHECK DAMS PER EROSION CONTROL PLAN. STABILIZE DIVERSION SWALES AS SPECIFIED.
6. PERFORM CLEARING AND GRUBBING ACTIVITIES AS REQUIRED FOR CONSTRUCTION OF ROADWAY IMPROVEMENTS. SITE DISTURBANCE SHALL NOT EXCEED BEYOND THE DISTURBANCE LIMIT LINE DERIVED ON THE SUBDIVISION PLAN.
7. STRIP AND STOCKPILE TOPSOIL. STABILIZE WITH RYEGRASS SEED AND ADD PERIMETER SILT FENCING.
8. COMPLETE ROUGH GRADING OF ROAD. PLACE CRUSHED STONE TO STABILIZE ROAD SURFACE. INSTALL ROLLED EROSION CONTROL PRODUCTS ON CUT AND/OR FILL SLOPES.
9. CONSTRUCT TEMPORARY SEDIMENT BASINS 2 AND 3 AS WORK PROGRESSES. INSTALL RIPRAP AND CHANNEL PROTECTION AS APPROPRIATE.
10. COMPLETE PROPOSED STORMWATER CONVEYANCE SYSTEMS, CONSISTING OF CATCH BASINS, STORM SEWER PIPING, OPEN CHANNEL AND CULVERT CROSSINGS.
11. INSTALL RIPRAP AND CHANNEL PROTECTION AS APPROPRIATE. STABILIZE DISTURBED AREAS. PROVIDE INLET SEDIMENT TRAPS AT ALL CATCH BASINS OR OTHER STRUCTURES WITH GRATE-INLETS.
12. COMPLETE FINE GRADING OF DISTURBED AREAS AND RIGHT-OF-WAY EMBANKMENTS. AMEND SOILS AS REQUIRED AND SEED. STABILIZE WITH MULCH, JUTE NETTING OR HYDROSEED.
13. FINE GRADE AND STABILIZE ROADWAYS.
14. REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASINS BEFORE FILLING. ALLOW SEDIMENT BASIN SUBGRADE TO DRY BEFORE PLACING FILL.
15. COMPLETE SURFACING OF ROADWAY.
16. UPON FINAL GRADING AND PLACEMENT OF RIPRAP LINE CHANNEL AND ESTABLISHMENT OF VEGETATIVE SLOPE STABILIZATION, REMOVE EROSION CONTROL MEASURES BEGINNING AT THE MOST UPSTREAM POINTS THEN WORKING DOWNSTREAM.
17. PERFORM ANY FINE GRADING AND SEEDING AS REQUIRED, MAINTAIN AND REPAIR WASHOUTS AS REQUIRED AND AFTER EACH STORM EVENT UNTIL ALL EROSION CONTROL AND WATER QUALITY MEASURES ARE FULLY ESTABLISHED.
18. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE FLUSHED CLEAN OF ALL SILT AND SEDIMENT AFTER THE SITE IS COMPLETE AND ALL CONSTRUCTION DISTURBANCE HAS BEEN STABILIZED. REMOVE ALL SILT FROM PERMANENT STORMWATER CONTROL STRUCTURES.
19. CONVERT TEMPORARY SEDIMENT BASIN 1 TO THE PERMANENT DRY BASIN. REMOVE ALL ACCUMULATED SEDIMENT AND DISPOSE OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS AND REGULATIONS.
20. AFTER ALL DISTURBED AREAS ARE STABILIZED, SILT FENCE MAY BE REMOVED. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
21. ALL NON-ACTIVE DISTURBED AREAS SHALL RECEIVE TEMPORARY OR PERMANENT STABILIZATION. NON-ACTIVE DISTURBED AREAS SHALL NOT REMAIN FALLOW FOR LONGER THAN 14 DAYS WITHOUT BEING STABILIZED.
22. ANY BORROW OR WASTE PITS LOCATED ON SITE OR OFF-SITE MUST BE STABILIZED AND MAINTAINED PER THE REQUIREMENT OF THE GENERAL CONSTRUCTION PERMIT AND THE SWPPP FOR THIS PROJECT.

**EROSION CONTROL NOTES:**

1. ALL AREAS DISTURBED BY SITE GRADING THAT WILL NOT BE CONSTRUCTED UPON FOR 30 DAYS SHALL BE ESTABLISHED WITH TEMPORARY VEGETATION.
2. ALL UNVEGETATED OR DISTURBED AREAS, ON SLOPES 5% OR GREATER, SHALL BE PROTECTED FROM EROSION BY PLACING TEMPORARY SEEDING OF FAST GERMINATING RYE AT A RATE OF 10 TO 15 POUNDS PER 1,000 S.F.
3. PRIOR TO COMMENCEMENT OF GRADING FOR BUILDING CONSTRUCTION, THE "LIMIT OF DISTURBANCE" SHALL BE DELINEATED IN ACCORDANCE WITH THE APPROVED PLAN UTILIZING TEMPORARY SILT FENCING. FENCING SHALL BE MAINTAINED IN GOOD ORDER UNTIL ALL EXPOSED SOILS ARE STABILIZED THROUGH ESTABLISHMENT OF HEAVY VEGETATIVE COVER.
4. GRADED AREAS ARE TO BE PROTECTED BY PROVIDING TEMPORARY INTERCEPTING DRAINAGE SWALES AT 1% MINIMUM SLOPE AND AS REQUIRED TO DIRECT RUNOFF AWAY FROM DOWNSTREAM CONSTRUCTION. DISCHARGE AREA SHALL BE PROTECTED WITH SEDIMENTATION CONTROL BARRIERS.
5. ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT SHALL BE SEED WITH AN APPROPRIATE PERENNIAL GRASS SEED AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL GRADING. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
6. IF SEEDING IS IMPRACTICABLE DUE TO THE TIME OF YEAR, A TEMPORARY MULCH SHALL BE APPLIED AND FINAL SEEDING SHALL BE PERFORMED AT THE EARLIEST OPPORTUNITY WHEN WEATHER CONDITIONS, GERMINATION AND GROWTH ALLOW BUT NOT MORE THAN SIX MONTHS AFTER PROJECT COMPLETION.
7. ALL SILT FENCES WILL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REQUIRED REPAIRS WILL BE PERFORMED IMMEDIATELY. SHOULD THE SILT FENCE BECOME INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED USABLE LIFE, IT WILL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT BUT UNDER NO CIRCUMSTANCES SHOULD THE SEDIMENT DEPOSITS EXCEED ONE HALF THE HEIGHT OF THE BARRIERS. ALL SILT FENCES WILL BE MAINTAINED UNTIL ALL UPSLOPE SOILS ARE PERMANENTLY STABILIZED BY VEGETATION.
8. PERMANENT SEEDING REQUIREMENTS: MIXTURE OF PERENNIAL RYE, KENTUCKY BLUE AND
  - \* RED FESCUE GRASSES (EQUAL PORTIONS) AT 20 TO 25 POUNDS PER 1,000 SQUARE FEET. STRAW MULCH AT 5 POUNDS PER 1,000 SQ. FT.
  - \* FERTILIZER (5-10-5) AT 5 POUNDS PER 1,000 SQ. FT.
9. \* PROVIDE PERIODIC WATERING OF THE NEWLY SEEDED AREAS UNTIL GRASS IS MOWABLE.
10. \* RESEED ANY WASHED OUT AREAS AS REQUIRED AND UNTIL ALL DISTURBED AREAS HAVE A SATISFACTORY STAND OF GRASS.

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYOR'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 3 OF 3

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

**RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP**

SYMB	DATE	ISSUED FOR
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
<b>FUSCO ENGINEERING &amp; LAND SURVEYING, P.C.</b> CONSULTING ENGINEERS		
PHONE: (845) 344-6863 FAX: (845) 956-6865		
PROJECT TITLE: <b>CBPS REALTY, LLC.</b>		
DRAWING TITLE: <b>TOWN OF NEWBURGH</b>		
PREPARED FOR:	APPROVED BY:	SCALE: AS SHOWN
DESIGNED BY:	AF	REVISION DATE: 17-448
DRAWN BY:	AF	SHEET NUMBER: 4
DATE: 01/31/18		
STATE OF NEW YORK COUNTY OF ORANGE		

