



CONSULTING ENGINEERS, D.P.C.

MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
LYLE R. SHUTE, P.E., LEED-AP (NY, NJ, PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

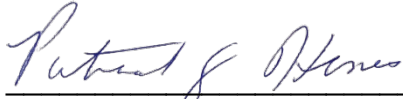
PROJECT NAME: CBPS REALTY INC
PROJECT NO.: 21-13
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 29.1
REVIEW DATE: 30 JULY 021
MEETING DATE: 5 AUGUST 2021
PROJECT REPRESENTATIVE: LANC & TULLY ENGINEERS

1. The application should be reviewed by the Town’s Code Office with regard to the proposed use. The applicants have identified that the use will be a contractor yard for the processing and storing of landscaping material and equipment storage associated with current business of the applicant. The applicant goes on to state that the site is being proposed under the IB Zone, Use Group 8 – Manufacturing. It is noted that the contractor yard use is not a permitted use in the IB Zone, and is not defined in the Definitions Section 185-3.
2. A proposed landscaping and privacy fence is identified on the plans. The fence appears to not enclose the eastern boundary of the proposed facility. If the project moves forward, we would recommend that the limits of disturbance be incorporated into the fenced area in order to control the use on the site.
3. The narrative identifies the potential to receive concrete, brick and rock, etc. Processing of the C&D waste requires a permit/registration with the NYSDEC.
4. The subject property is located in the Consolidated Water District. The project proposes a well. The project does require approval from the Town Board for installation of a well within the water district.
5. The project would require review and approval by the NYSDOT for access to the County highway.
6. The project would require submission to County Planning due to proximity to State highway.
7. Future submissions must address landscaping, stormwater management, erosion and sediment control, site development details, water/sewer, paving, and parking.

8. The applicant's representative is requested to evaluate the grading of the storage/processing area. 10-feet of elevation difference exists across that area.
9. The applicants are requested to address the parking of vehicles not associated with the manufacturing use identified on the plans.
10. The Long Form EAF submitted identifies the site being within New York State Parks, Recreation and Historic Preservation's archeologically sensitive area. An archeological study should be provided.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**



Patrick J. Hines
Principal

PJH/dns

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lanc, P.E., L.S.
Arthur R. Tully, P.E.

July 28, 2021

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

RE: Application for Site Plan
CBPS Realty, LLC
NYS Route 32 – SBL: 34-2-29.1
Town Application # 2021-13

Dear Chairman Ewasutyn,

On behalf of the applicant, CBPS Realty, LLC, enclosed please find Fourteen (14) copies of the following materials for review at the next available Planning Board agenda:

- Conceptual Site Plan entitled "CBPS Realty, LLC" last revised July 28, 2021 as prepared by Lanc and Tully, P.C.

The application was last before the Planning Board for conceptual site plan discussion at the May 2021 agenda meeting. There were numerous questions raised by the Planning Board which this letter will serve to address.

The subject property is located along NYS Route 32 about a ½ mile southeast from the intersection of NYS Route 32 and NYS Route 300. The property is currently vacant and is 15.14 acres in size located within the IB zoning district. The project proposes to utilize the property for a contractor yard for the processing and storage of landscaping materials and equipment storage associated with the current business of the applicant. This is an allowable use within the IB zone as use #8 with the outdoor storage of materials as an accessory use.

The site plan proposes a one story 1,500 sf an office building for the property to be serviced by onsite well and septic system. It is proposed to have 8 parking spaces as required by code for the office area. It is anticipated that two employees will staff the office during working hours between 7am and 4pm Monday through Saturday. The applicant proposes to utilize the property for the storage and processing of materials for the applicant's current landscape business. This location will be used for the applicant's use and it is not proposed to be open to public use for the dumping of materials by others. The storage and processing of materials at this location will include the following:

1. Soil material stockpile area that will be screened with an onsite screener to make Topsoil. The topsoil will be stockpiled within a containment area.
2. Tree stumps, limbs and wooded debris stockpile for processing into mulch. The mulch will then be stockpiled into individual containment areas.

3. Clean fill materials (concrete, brick, rock, etc.) will be stockpiled and then processed through an onsite crusher to make stone. The stone will then be stockpiled within a containment area.

4.

The application proposes to store equipment on the site. The equipment shall consist of tandem trucks, backhoe, bobcat, loader and smaller dump trucks as is currently used for the applicant's business. These vehicles will also be used at the site for the above material processing.

The property has a 50 ft right of way from NYS Route 32 into the property. This ROW is proposed to be developed into the driveway access into the property and will require a NYSDOT Highway work permit and access approval. This access driveway will be a private driveway. It is proposed to disturb approximately 6.9 acres of the property for the proposed operations.

The following comments were received from the Planning Board's Engineer and our responses are below in the order they were presented:

1. The applicant is proposing a contractor yard under use #8 within the IB zone. The conceptual site plan has been revised to include an office that will be the principal use on the site and the outdoor storage of equipment and materials will be accessory to this use.
2. Please refer to response to #1.
3. Notes have been added to Sheet 1 of the plans indicating the outdoor storage requirements.
4. The application will require OPRHP coordination will be required.
5. The applicant has met with the NYSDOT and reviewed the driveway location. The NYSDOT did not object to the location during the field meeting and indicated that a Highway Work Permit application is required and a formal review is necessary. This can commence with the commencement of SEQRA.
6. The site plan has been revised to include that the access drive be paved along with the equipment storage area. The remainder of the material storage area would be a gravel base.
7. The processing equipment proposed for the application are the following: Rock Crusher, Topsoil Screener, Wood Chipper. This equipment shall be located at the respective stockpile locations as labeled on the site plan. Further refinement of the exact make and model of the equipment will be presented within future submissions.
8. The site plan has been revised to include containment areas for the finished materials adjacent to the stockpile of that material.
9. The equipment storage would be the equipment necessary to process the materials received at the site. Based upon this office's review of the NYSDEC stormwater regulations it does not appear that this use would fall under a 'hotspot' classification.
10. The site plan now indicates a fence line along the perimeter of the property. This will be refined within future submissions with landscaping and details to provide for the required buffer.
11. Future submissions will address site lighting. The lighting will be concentrated at the driveway and office areas.
12. The plans now depict a well and septic system area. It is anticipated that 2 employees will be on site. The septic system will be designed for 400 gpd as there will be one bathroom within the office building.
13. Future plan submissions will address the scale or other site improvements necessary.
14. The site plan has included a grading plan.
15. Construction details will be provided within future submissions
16. The stockpiles will vary in size but will be no larger than the following:
 - a. Topsoil – 3,400 yds

- b. Stone – 3,400 yds
 - c. Mulch – 4,500 yds.
 - d. Each containment area can contain a maximum of 1,100 yds
17. See response #1.
 18. Our office is reviewing the requirements of the Multi-Sector Stormwater permit.
 19. The proposed processing does not appear to exceed NYSDEC Air Discharge requirements.
 20. The applicant will provide the make and model of the equipment to determine the sound levels expected to be generated from the site.

The following comments were received from the Planning Board's Traffic Engineer and our responses are below in the order they were presented:

1. The driveway will be paved along with the equipment storage yard.
2. The applicant will discuss the current access arrangement with the property owners and is currently researching if easements or access rights are granted to these owners.
3. The utility pole is noted to be relocated.
4. The turning radii have been adjusted to meet NYSDOT requirements of 35 ft radii.

If you require any additional information or have any questions, please do not hesitate to contact our office. Our office looks forward to presenting this application at the next available Planning Board agenda.

Sincerely,

LANG & TULLY, P.C.



John Queenan, P.E.

Enc.

CC: Pat Hines, MH&E
Dominic Cordisco, Esq.
Ken Wersted.CME – Via Email



LOCATION PLAN
1 INCH = 1,000 FEET

OUTDOOR STORAGE NOTES:

- NO STORAGE OF MATERIALS OR PRODUCTS SHALL BE ALLOWED WITHIN THE FRONT YARD AND SHALL NOT BE CLOSER THAN 10 FEET TO ANY SIDE OR REAR LOT LINE OR 50 FEET FROM A SIDE OR REAR LOT LINE ADJACENT TO A RESIDENCE DISTRICT OR LOT IN RESIDENTIAL USE.
- ALL OUTDOOR STORAGE AREAS SHALL BE APPROPRIATELY SCREENED WITH LANDSCAPING SO AS TO PROVIDE AN OPAQUE SIGHT BARRIER AT LEAST 8 FT IN HEIGHT. THE MATERIALS STORED CANNOT EXCEED THE HEIGHT OF THE BARRIER.
- NO STORAGE AREA SHALL OCCUPY MORE THAN 30% OF THE SIDE OR REAR YARD.

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CROWDER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 2" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF MONROE AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF MONROE.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
- PARKING SPACES: 1 SPACE PER 200 SQUARE FEET. 1,500 SF = 8 SPACES REQUIRED

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.
 MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & v REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.
 MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.
 MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.

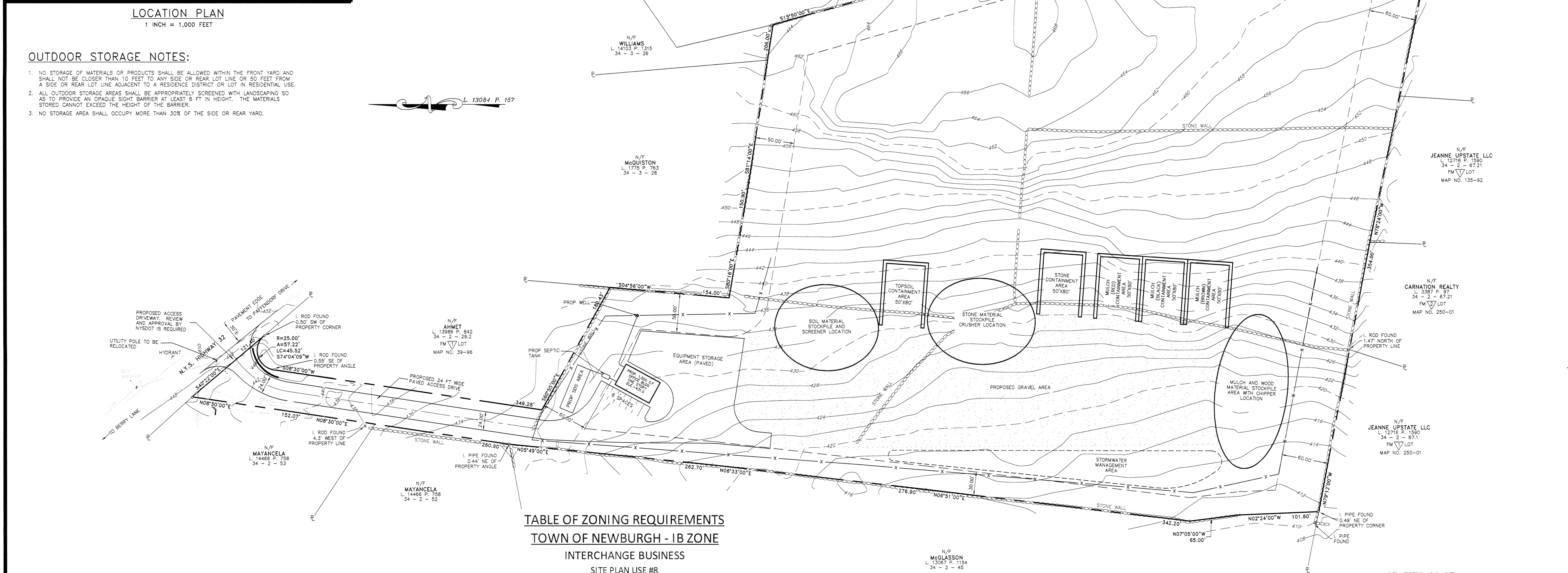


TABLE OF ZONING REQUIREMENTS
TOWN OF NEWBURGH - IB ZONE
INTERCHANGE BUSINESS
SITE PLAN USE #8

MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	>150 FT.
LOT DEPTH	150 FT.	>150 FT.
FRONT YARD	50 FT.	50 FT.
REAR YARD	60 FT.	60 FT.
SIDE YARD (ONE)	30 FT.	30 FT.
SIDE YARD (BOTH)	80 FT.	80 FT.
MAXIMUM		
BUILDING HEIGHT	MAX. HGT. 40 FT.	N/A
LOT BUILDING COVERAGE	40%	N/A
SURFACE COVERAGE	80%	35±%

AREA:
15.141± AC.

RECORD OWNERS:
SALVATOR D. COLANDREA, LISA J. COLANDREA,
GARY M. COLANDREA AND VICKI A. MACKEY
560 LAKESIDE ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L. 13084 P. 157
FM LOT
MAP NO. 39-96

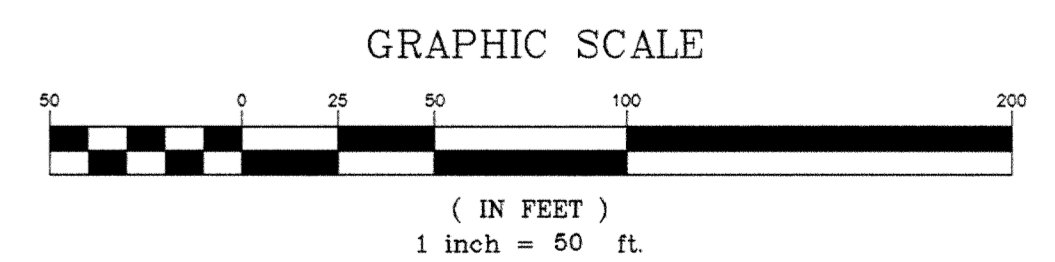
APPLICANT:
CBPS REALTY LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON MARCH 19, 2021.

CBPS REALTY, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY
WALDEN SAVINGS BANK, ISACA, ATIMA
SALVATORE D. COLANDREA
GARY M. COLANDREA,
VICKI A. MACKEY
LISA J. COLANDREA

By: RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50278



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONCEPTUAL SITE PLAN
PREPARED FOR
CBPS REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: MAY 5, 2021
Revision: JULY 28, 2021

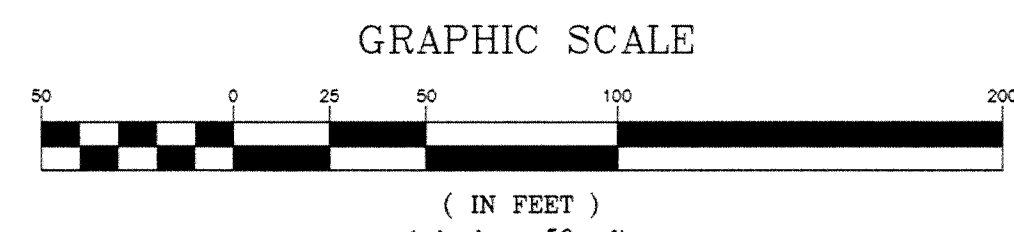
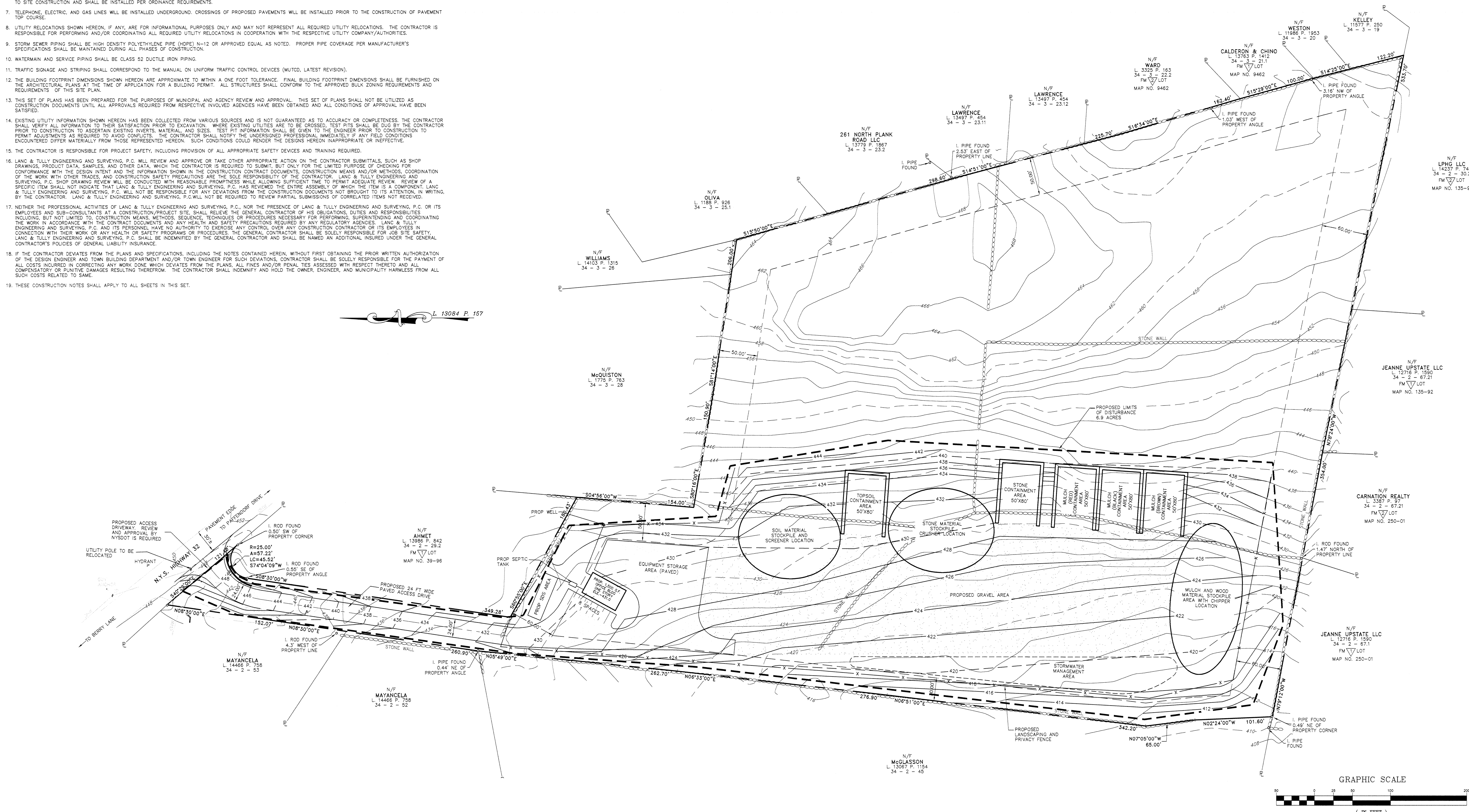
Drawn By: JW
Checked By:
Scale: 1" = 50'
Tax Map No.: 34 - 2 - 29.1
Drawing No.: C30
A= 21 - 0047 - 01

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF NEWBURGH BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED, CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS, CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS, CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



RECORD OWNERS:

SALVATOR D. COLANDREA, LISA J. COLANDREA,
GARY M. COLANDREA AND WICKI A. MACKAY
560 LAKESIDE ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L. 13084 P. 157
FM ∇ LOT
MAP NO. 39-96

APPLICANT:

CBPS REALTY LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

AREA:
15.141± AC.

COPYRIGHT 2021, LANC & TULLY, P.C.

<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	Date: MAY 5, 2021
		<p>Revisions: JULY 28, 2021</p>
<p>GRADING AND UTILITY PLAN PREPARED FOR</p>		<p>CD File: L13084-1-SVY.DWG Layout: GRADING Sheet No.: 2 OF 2 Drawing No.: C3D A-21 - 0047 - 01</p>
<p>CBPS REALTY, LLC</p> <p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		
Drawn By: SW	Checked By:	Scale: 1" = 50'
		Map No.: 34 - 2 - 29.1

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.