



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)  
MARK J. EDSALL, P.E. (NY, NJ & PA)

MAIN OFFICE  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: mheny@mhepc.com

**TOWN OF NEWBURGH  
PLANNING BOARD  
REVIEW COMMENTS**

<b>PROJECT:</b>	<b>CASSARA SUBDIVISION</b>
<b>PROJECT NO.:</b>	<b>14-06</b>
<b>PROJECT LOCATION:</b>	<b>SECTION 17, BLOCK.2, LOT 32.12</b>
<b>PROJECT REPRESENTATIVE:</b>	<b>MERCURIO-NORTON- TAROLLI-MARSHALL</b>
<b>REVIEW DATE:</b>	<b>27 MARCH 2014</b>
<b>MEETING DATE:</b>	<b>3 APRIL 2014</b>

1. The Applicant proposes a 3 Lot Subdivision with Lot 1 proposed for a two-family home.
2. Existing dwelling on proposed Lot 2 does not have adequate front yard setback. Zoning Board of Appeal approval for this is required as the existing non-conformity loses the protection upon subdivision.
3. County DPW approval for driveway locations will be required. Driveway details, as well as additional survey data for county road including striping, must be shown.
4. The Applicant's Representative requested to evaluate the separation distance between the existing Subsurface Sewer Disposal System identified on Lot 2 and proposed well on Lot 1.
5. Percolation test data must be added to future plan submissions.
6. The number of bedrooms in the proposed two-family house should be identified and utilized for sizing of the Subsurface Sanitary Sewer Disposal System.
7. Buildable area box must be added to the plans.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, P.C.***

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Patrick J. Hines, Associate

REGIONAL OFFICES

- 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

Alphonse Mercurio, L.S.  
William G. Norton, L.S. (NY & PA)

John Tarolli, P.E., L.S.

Lawrence J. Marshall, P.E.  
Kenneth W. Vriesema, L.S.

March 18, 2014

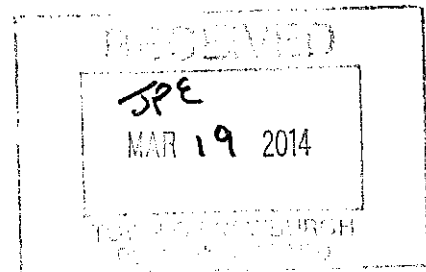
Planning Board  
Town of Newburgh  
PO Box 247  
Walkkill, New York 12589-0247

Re: Job No. 3766  
Lands of Antonino Cassara  
Tax Map Parcel: 17-5-32.12  
Town of Newburgh, Fostertown Road  
3-Lot Residential Subdivision  
**Newburgh Project No. 2014-06**

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

- 1.) Twelve (12) copies of the Subdivision Plan
- 2.) Twelve (12) copies of the Project Narrative
- 3.) Twelve (12) copies of the Short Environmental Assessment Form (EAF)
- 4.) Two (2) copies of the Stormwater Pollution Prevention Plan (SWPPP)
- 5.) Four (4) copies of the Application
- 6.) Four (4) copies of the Checklist
- 7.) One (1) copy of the Proxy Statement
- 8.) One (1) copy of the Disclaimer
- 9.) One (1) copy of the Fee Acknowledgement
- 10.) One (1) copy of the Disclosure Addendum
- 11.) One (1) copy of the Agricultural Data Statement
- 12.) Application Fee Check (\$2,420.00)
- 13.) Escrow Fee Check (\$3,000.00)



Please place this on the April 3, 2014 agenda for discussion.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at [zpeters@mnt-pc.com](mailto:zpeters@mnt-pc.com).

Sincerely,

Zachary Peters, E.I.T.

ZP/zp  
Enc.  
cc: Antonino Cassara

**Mercurio-Norton-Tarolli-Marshall**  
ENGINEERING - LAND SURVEYING

45 Main Street • P.O. Box 166  
Pine Bush, New York 12566  
Tel: (845) 744-3620  
Fax: (845) 744-3805  
Email: mnt-pc@mnt-pc.com

Alphonse Mercurio, L.S.  
William G. Norton, L.S. (NY & PA)

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Lawrence J. Marshall, P.E.  
Kenneth W. Vriesema, L.S.

## Project Narrative

For

## Cassara Subdivision

Fostertown Road  
Town of Newburgh  
Orange County, New York

*Prepared for:*

Antonino Cassara  
442 Fostertown Road  
Newburgh, NY 12550  
(845) 239-6608

*Prepared by:*

Mercurio-Norton-Tarolli-Marshall, P.C.

P. O. Box 166

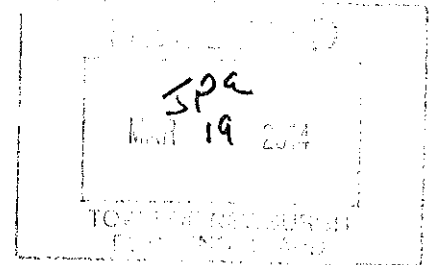
45 Main Street

Pine Bush, NY 12566

(845) 744-3620



*Prepared:*  
**March 11, 2014**



Project Narrative for  
Cassara Subdivision

A. Description of Project Site

The Cassara Subdivision is a proposed three (3) lot residential subdivision. The project involves the creation of one (1) two-family dwelling, one (1) single-family dwelling, and the one (1) existing single-family dwelling. The project is located on the easterly side of Fostertown Road in the Town of Newburgh, County of Orange, State of New York. The site is designated as tax map parcel: Section 17, Block 2, Lot 31.12. The project area is 4.671 acres located in the Rural Agriculture (AR) zoning district. The project parcel is designated as Lot 2 on Filed Map No. 119-93 filed in the Orange County Clerk's Office.

B. Description of the Project

Lot 1, the proposed two-family dwelling, has an area of 100,407 square feet, greater than the 100,000 square foot minimum lot size required for two-family residential lots. Lot 2, the existing single-family dwelling, has an area of 47,201 square feet. Lot 3, the proposed single-family dwelling, has an area of 55,878 square feet. Both lots are larger than the 40,000 square foot minimum lot size required for single-family residential lots. All proposed lots will meet the required zoning setbacks.

The sizes of the buildable area within the setbacks are: Lot 1 – 37,577 s.f., Lot 2 – 16,266 s.f., and Lot 3 – 11,619 s.f.. The buildable floor area for Lot 1 exceeds the 17,500 s.f. minimum area required for two-family dwellings. The buildable area for Lots 2 and 3 exceeds the 10,000 s.f. minimum area required for single-family dwellings.

Lot 2 contains an existing dwelling and barn. There is an additional barn and shed in disrepair that will be removed. The remainder of the project site is currently vacant and consists mostly of woods and brush. There are no wetlands or floodplains located within the project site.

C. Description Proposed Improvements

Lot 2 will access Fostertown Road by the existing shale driveway. Lots 1 and 3 will access Fostertown Road by individual driveways located 172 feet north and 172 feet south of the existing driveway, respectively. The sight distances for the driveways exceed the AASHTO recommended stopping sight distances for the posted speed limit.

The single-family dwelling on Lot 2 is currently served by an existing well and sewage disposal system. The two proposed dwellings will also be served by individual wells and sewage disposal systems. The sewage disposal systems have been designed in accordance with the current Orange County Health Department standards.

Project Narrative for  
Cassara Subdivision

D. Stormwater Management

The total proposed area of disturbance is approximately 1.2 acres. Erosion and sediment control measures will be installed during construction to prevent the transportation of sediment off-site. Silt fencing will be installed below disturbed areas and stabilized construction entrances will be installed at each of the proposed driveway entrances. Erosion and sediment control measures will be maintained at all times during construction.

E. Impact of the Proposed Project

The project will result in the creation of two (2) additional tax parcels. Under current Town of Newburgh zoning regulations, specifically the requirements for minimum lot size and width, no further subdivision of the proposed lots is possible.

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO:** Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

**DATE RECEIVED:** 3/19/2014      **TOWN FILE NO:** 2014-06  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

CASSARA SUBDIVISION

**2. Owner of Lands to be reviewed:**

**Name** ANTONINO CASSARA  
**Address** 442 FOSTERTOWN ROAD  
NEWBURGH, NY 12550  
**Phone** 845-239-6608

**3. Applicant Information (If different than owner):**

**Name** SAME AS ABOVE  
**Address** \_\_\_\_\_

**Representative** \_\_\_\_\_  
**Phone** \_\_\_\_\_  
**Fax** \_\_\_\_\_  
**Email** \_\_\_\_\_

**4. Subdivision/Site Plan prepared by:**

**Name** MERCURIO-NORTON-TAROLLI-MARSHALL  
**Address** PO BOX 166  
PINE BUSH, NY 12566  
**Phone/Fax** 845-744-3620

**5. Location of lands to be reviewed:**

FOSTERTOWN ROAD

**6. Zone** AR      **Fire District** CRONOMER VALLEY  
**Acreage** 4.671      **School District** NEWBURGH

**7. Tax Map: Section** 17      **Block** 2      **Lot** 32.12

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 3  
Lot line change \_\_\_\_\_  
Site plan review YES  
Clearing and grading YES - MINOR  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

9. Easements or other restrictions on property:

(Describe generally) NONE

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Handwritten Signature] Title OWNER

Date: 3/14/14

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

CASSARA SUBDIVISION  
PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  ~~N/A~~ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up



11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
38. \_\_\_\_\_ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:   
Licensed Professional

Date: 3/18/14

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

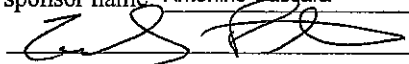
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Cassara Subdivision			
Project Location (describe, and attach a location map): Fostertown Road			
Brief Description of Proposed Action: Proposed 3-lot residential subdivision, two single-family (including existing dwelling), one two-family			
Name of Applicant or Sponsor: Antonino Cassara		Telephone: 845-239-6608	
		E-Mail:	
Address: 442 Fostertown Road			
City/PO: Newburgh		State: NY	Zip Code: 12550
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		4.671 acres	
b. Total acreage to be physically disturbed?		1.2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.671 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ On-site wells _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ On-site sewage disposal systems _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Antonino Cassara Date: 3/18/14  
 Signature:  PROJECT ENGINEER

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

**Notes:**

- 1) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 2) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ANY ADJOINING ROADS FOR USE AS A PUBLIC HIGHWAY.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) THERE WAS 45" OF SNOW COVER AT THE TIME OF THE FIELD SURVEY.
- 5) THERE ARE NO WELLS OR SEWAGE DISPOSAL SYSTEMS ON ADJACENT PROPERTIES WITHIN 100' OF EACH AS REQUIRED BY STANDARDS OF THE PROPOSED WELLS AND SEWAGE DISPOSAL SYSTEMS FOR EACH LOT.
- 6) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SEWERAGE SYSTEM SUBJECT TO THE PROVISIONS OF LOCAL LAW 1, 1989, THE TOWN OF NEWBURGH BUILDING INSPECTOR MUST RECEIVE AN "AS BUILT" PLAN OF SUCH SYSTEM BEARING THE FOLLOWING CERTIFICATION OF A PROFESSIONAL ENGINEER OR OTHER AUTHORIZED DESIGN PROFESSIONAL AS SET FORTH ABOVE: "I HEREBY CERTIFY THAT THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."
- 7) NO EXCAVATED MATERIAL IS ANTICIPATED TO BE REMOVED FROM THE SITE. APPROXIMATELY 100 CY. OF FILL IS REQUIRED FOR HOUSE AND DRIVEWAY CONSTRUCTION. THE APPROXIMATE AREA OF DISTURBANCE IS 12 ACRES.
- 8) LOT OWNERS SHALL BE RESPONSIBLE FOR CLEARING AND MAINTAINING 10' FROM THE EDGE OF FOSTERTOWN ROAD PAVEMENT TO MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAYS IN THIS SURVEY.

**Zoning Legend AR**

**SINGLE FAMILY**

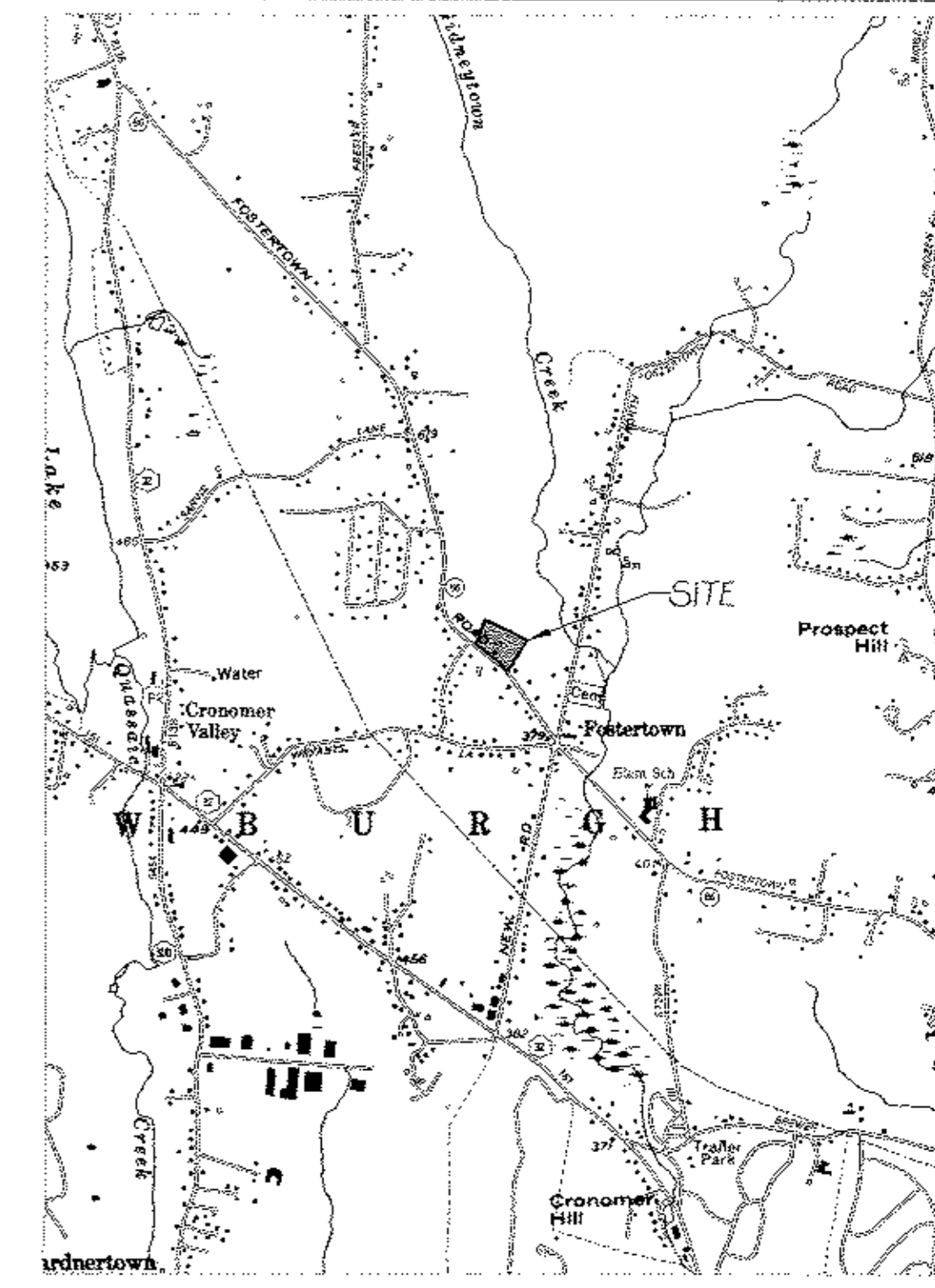
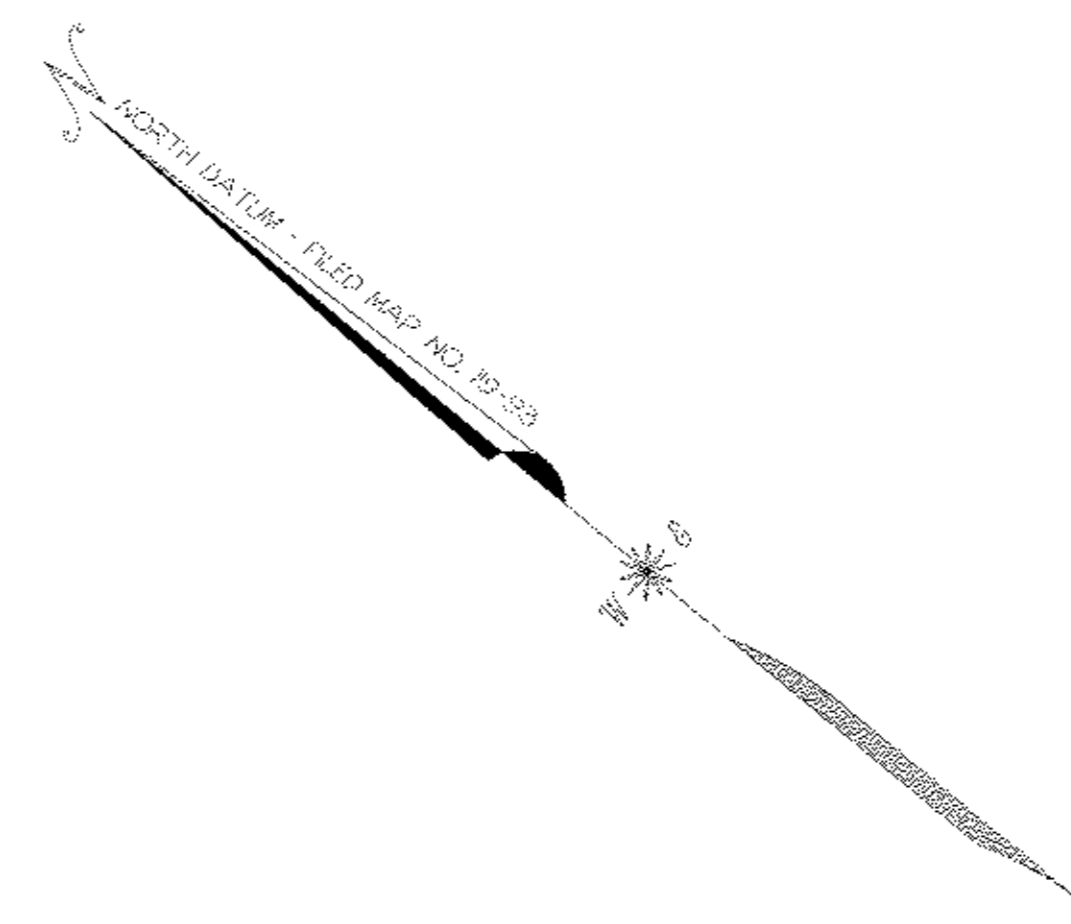
	REQUIRED	LOT 1 47,201 SQ. FT.	LOT 2 47,201 SQ. FT.	LOT 3 55,678 SQ. FT.
MINIMUM LOT AREA	40,000 SQ. FT.			
MINIMUM LOT WIDTH	150'	188'	188'	188'
MINIMUM LOT DEPTH	150'	266'	42.5'	42.5'
MINIMUM YARDS				
FRONT	50'	25.6'	53'	53'
SIDE - ANY ONE	50'	30'	30'	53'
SIDE - TOTAL FOR BOTH	80'	79'	50'	85'
REAR	50'	50'	197'	95'
HABITABLE FLOOR AREA PER DWELLING UNIT	900 SQ. FT.	2,900 SQ. FT.	2,900 SQ. FT.	2,900 SQ. FT.
MAXIMUM LOT BUILDING COVERAGE	10%	8.6%	3.0%	3.0%
MAXIMUM BUILDING HEIGHT	35'	5.35'	5.35'	5.35'
MAXIMUM LOT SURFACE COVERAGE	20%	19.0%	9.7%	9.7%
MINIMUM SUBDIVISABLE AREA (WITHIN ZONING SETBACK)	10,000 SQ. FT.	8,266 SQ. FT.	1,693 SQ. FT.	1,693 SQ. FT.

\* LOT 2 HAS A 2.5' FRONT SETBACK TO THE EXISTING DWELLING

**Zoning Legend AR**

**TWO FAMILY**

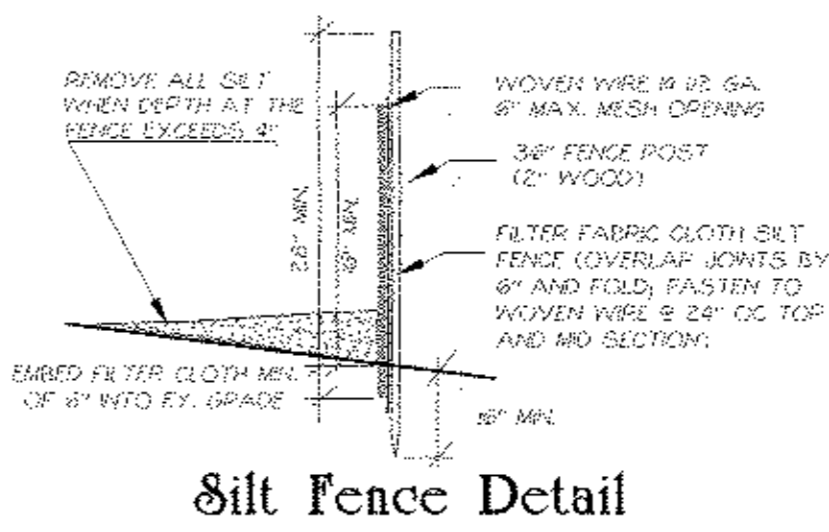
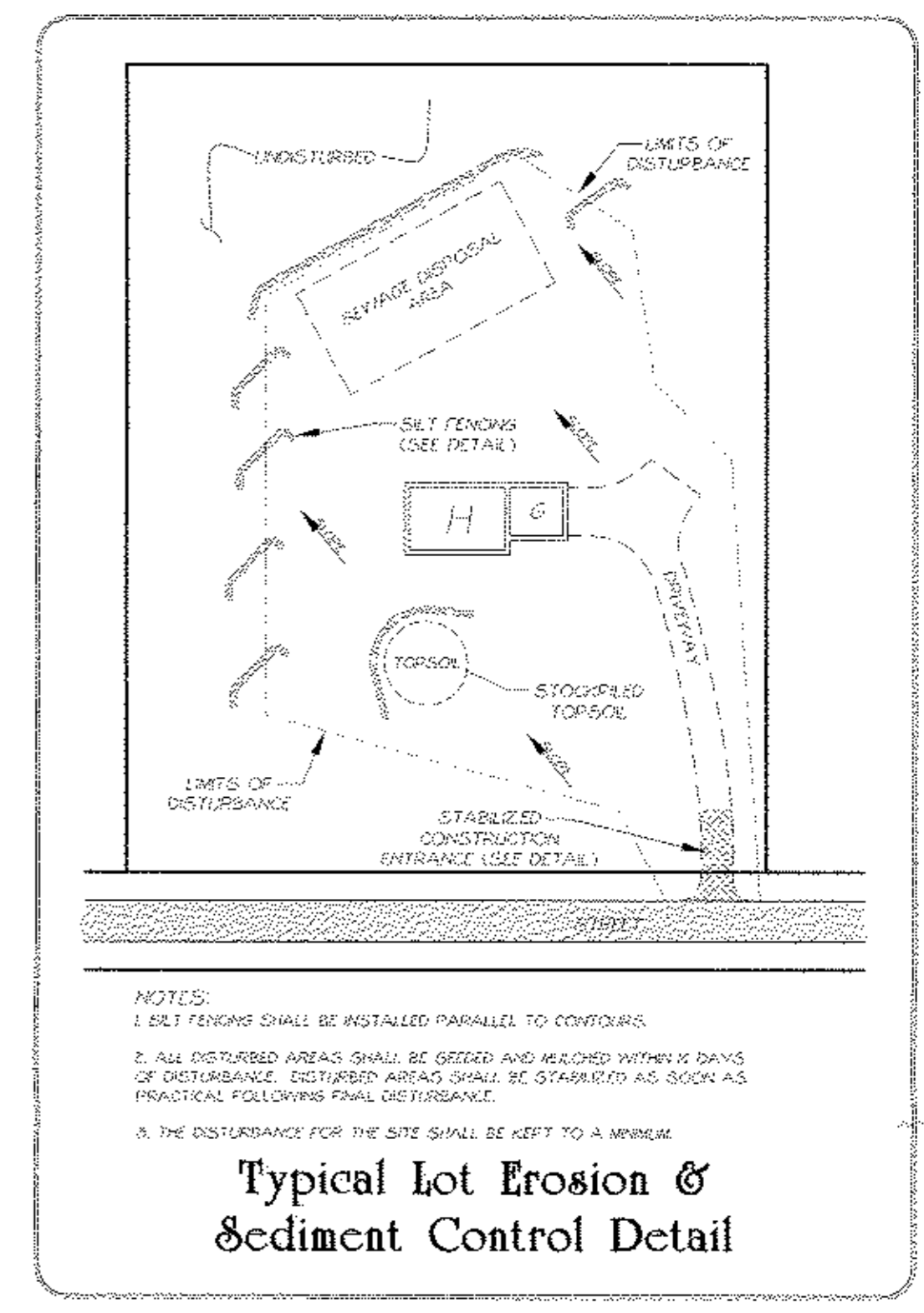
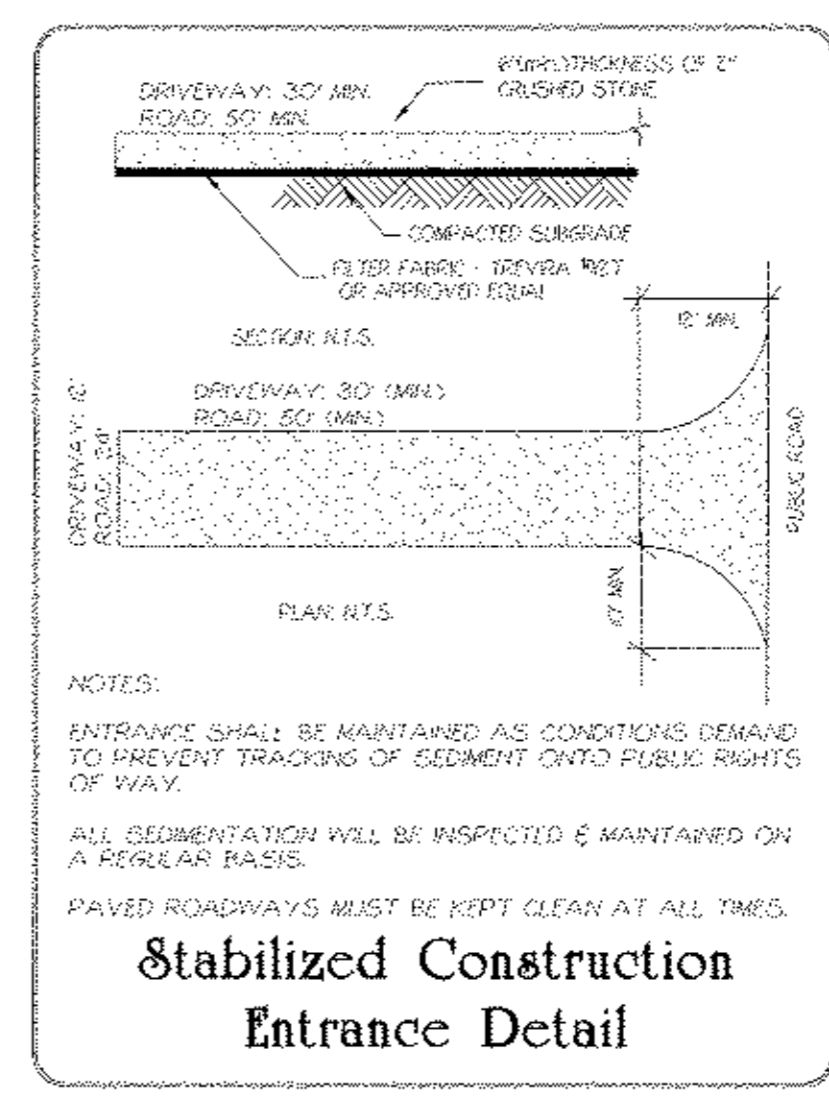
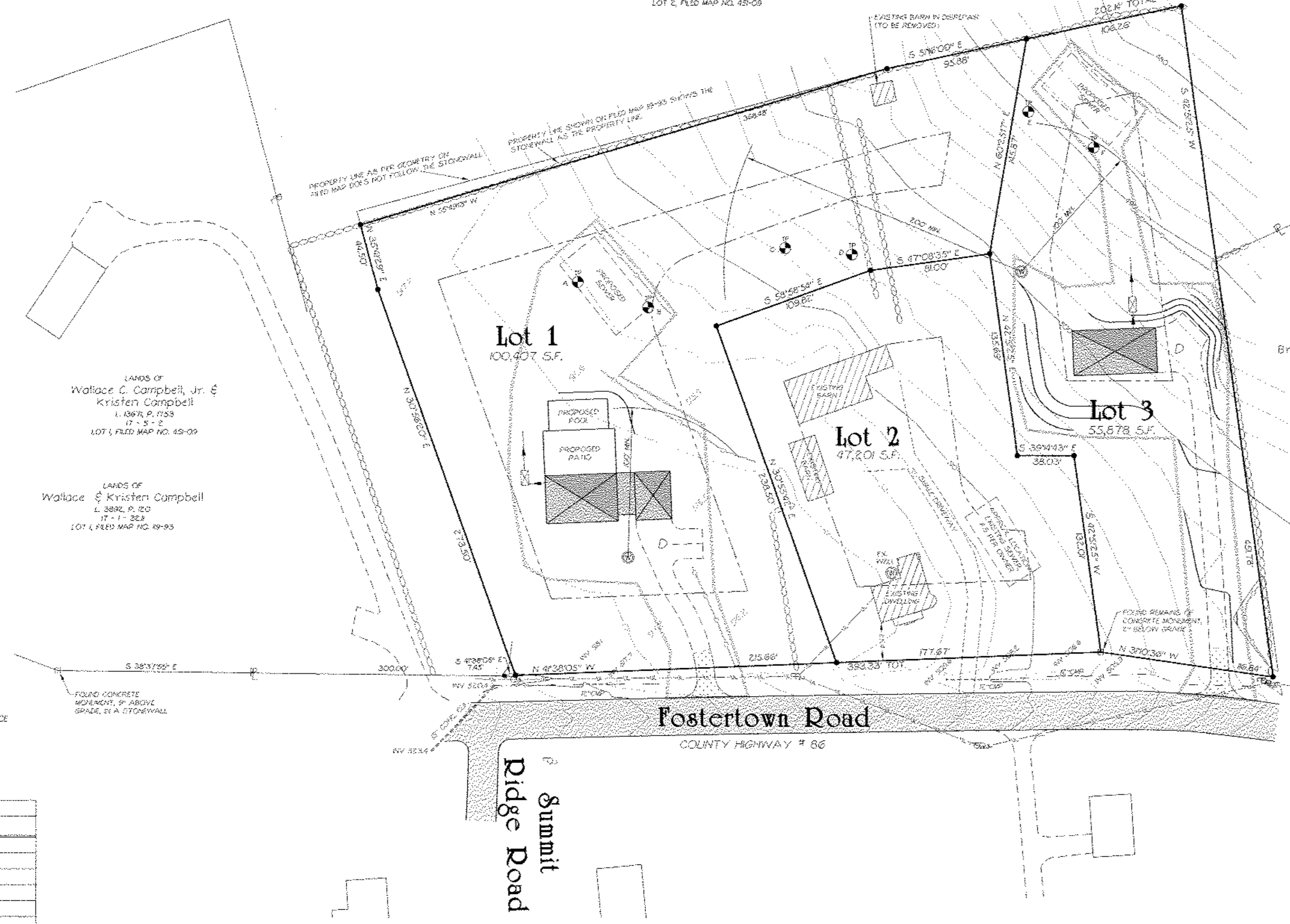
	REQUIRED	LOT 1 47,201 SQ. FT.	LOT 2 47,201 SQ. FT.	LOT 3 55,678 SQ. FT.
MINIMUM LOT AREA	40,000 SQ. FT.			
MINIMUM LOT WIDTH	150'	188'	188'	188'
MINIMUM LOT DEPTH	150'	266'	42.5'	42.5'
MINIMUM YARDS				
FRONT	50'	25.6'	53'	53'
SIDE - ANY ONE	50'	30'	30'	53'
SIDE - TOTAL FOR BOTH	80'	79'	50'	85'
REAR	50'	50'	197'	95'
HABITABLE FLOOR AREA PER DWELLING UNIT	900 SQ. FT.	2,900 SQ. FT.	2,900 SQ. FT.	2,900 SQ. FT.
MAXIMUM LOT BUILDING COVERAGE	20%	19.0%	9.7%	9.7%
MAXIMUM BUILDING HEIGHT	35'	5.35'	5.35'	5.35'
MAXIMUM LOT SURFACE COVERAGE	40%	38.0%	19.4%	19.4%
MINIMUM SUBDIVISABLE AREA (WITHIN ZONING SETBACK)	17,500 SQ. FT.	17,500 SQ. FT.	3,737 SQ. FT.	3,737 SQ. FT.



**Location Map**  
SCALE: 1" = 1000'

**Legend**

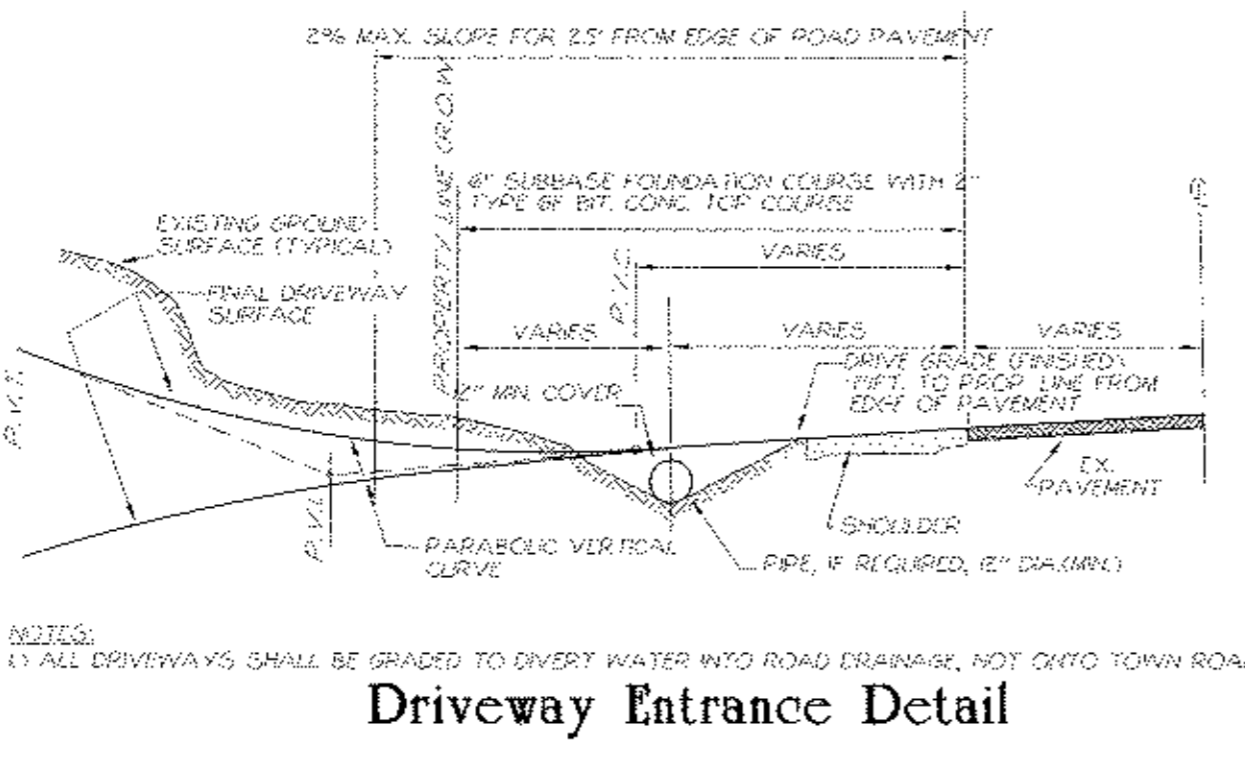
- PROPERTY LINE & CORNER
- ▲ SET 3/8" IRON ROD AT PROPERTY CORNER
- ADJOINERS PROPERTY LINE
- L XXXX, P. XXX LIBER OF DEEDS, PAGE
- XX-XX TAX MAP DESIGNATION (SECTION - BLOCK - LOT)
- EX. UTILITY POLE & LINE
- EXISTING CULVERT & SIZE
- PROPOSED CULVERT & SIZE
- STONE WALL
- WIRE FENCE
- WATERCOURSE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- ZONING MIN. SETBACK LINE
- EXISTING BUILDING
- PROPOSED 4" DIA. PERFORATED PVC SEWER DISTRIBUTOR PIPE
- PROPOSED 4" DIA. PERFORATED PVC DISTRIBUTOR PIPE FOR SEWER EXPANSION AREA
- PROPOSED SEPTIC TANK & 4" DIA. SOLID WALL PVC SD385 PIPE
- PROPOSED DISTRIBUTION BOX & 4" DIA. SOLID WALL PVC SD385 PIPE
- SOL TEST LOCATION & NUMBER
- PROPOSED DRIVE
- PROPOSED HOUSE LOCATION
- PROPOSED WELL LOCATION
- PROPOSED SILT FENCE (SEE DETAIL)
- PROPOSED CONSTRUCTION ENTRANCE (SEE DETAIL)



**FOSTERTOWN ROAD POSTED SPEED LIMIT: XXXXXX**

LOT	SIGHT LINE	DISTANCE	NOTES
1	1	> 1000'	
	2	1 845'	
2	1	> 1000'	
	2	1 576'	
3	1	> 1000'	
	2	1 576'	

**Driveway Sight Distance Table**



I HAVE REVIEWED THE PLAN AND AGREE TO ITS FILING IN THE COUNTY CLERK'S OFFICE.

ANTONIO CASSARA (OWNER)

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F:(845)744.3805 Email: mnt-pe@mnt-pe.com

**COURTESY ROAD NOTES**

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

I HEREBY CERTIFY TO TOWN CASSARA THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL, LAND SURVEYING - ENGINEERING, P.C. ON FEBRUARY 12, 2014.

I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND FURTHER THAT SUCH DESIGN IS BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON EACH LOT AT THE LOCATION SHOWN. THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

ALFONSE MERCURIO 15 0495009  
LAWRENCE MARSHALL PE 102707  
DRAFTED BY: KVV | MAP ON: AM 2-18-N | PROJECT: 3766 | SHEET 1 OF 2

**Total Area = 4.671 Acres**

**Survey & Subdivision Map**  
for lands of  
**Antonino Cassara**

OWNER: ANTONINO CASSARA 412 FOSTERTOWN ROAD NEWBURGH, NY 12550  
DEED REFERENCE: LIBER 3308, PAGE 647  
TAX MAP REFERENCE: SECTION 17, BLOCK 2, LOT 32.12  
LOT 3, FIELD MAP NO. 10-93

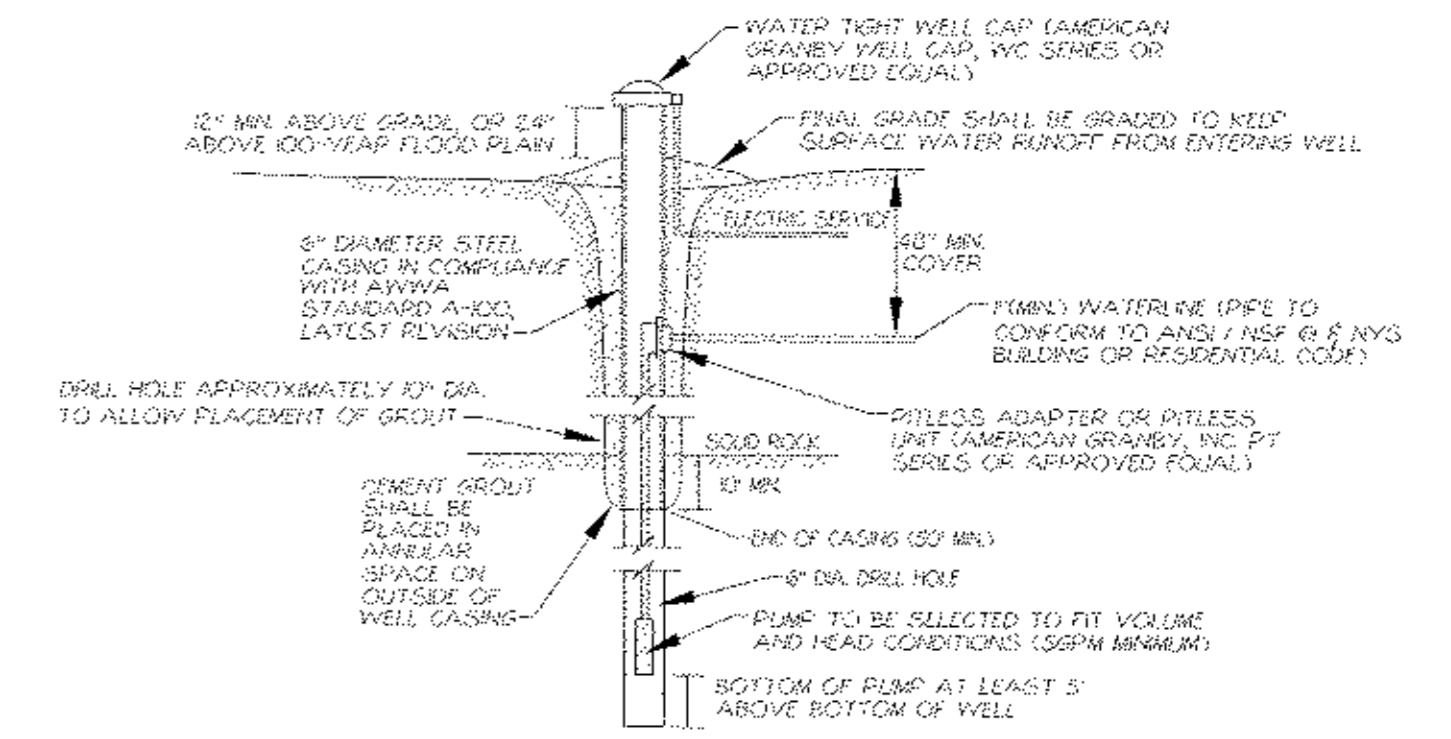
Situate in the Town of Newburgh  
Orange County, New York State  
Scale 1" = 50' February 2014

### Deep Soils Testing Results

TEST HOLE #	A	B	C	D	E	F
TESTING DATE:	1-2-14	1-2-14	1-2-14	1-2-14	1-2-14	1-2-14
TESTER:	ZAP	ZAP	ZAP	ZAP	ZAP	ZAP
DEEP TEST SOIL LOG	0' TOPSOIL 2' GRANULAR SILT LOAM WITH SOME RIPPLED SHALE 7'-2"	0' TOPSOIL 2' GRANULAR SILT LOAM WITH SOME RIPPLED SHALE 7'-0"	0' TOPSOIL 2' GRANULAR SILT LOAM WITH SOME RIPPLED SHALE 7'-1"	0' TOPSOIL 2' GRANULAR SILT LOAM WITH SOME RIPPLED SHALE 7'-2"	0' TOPSOIL 2' GRANULAR SILT LOAM WITH SOME RIPPLED SHALE 7'-2"	0' TOPSOIL 2' SILT LOAM & RIPPLED SHALE 5'-0" ROCK 5'-0" SLTAE
NOTES:						

### Percolation Testing Results

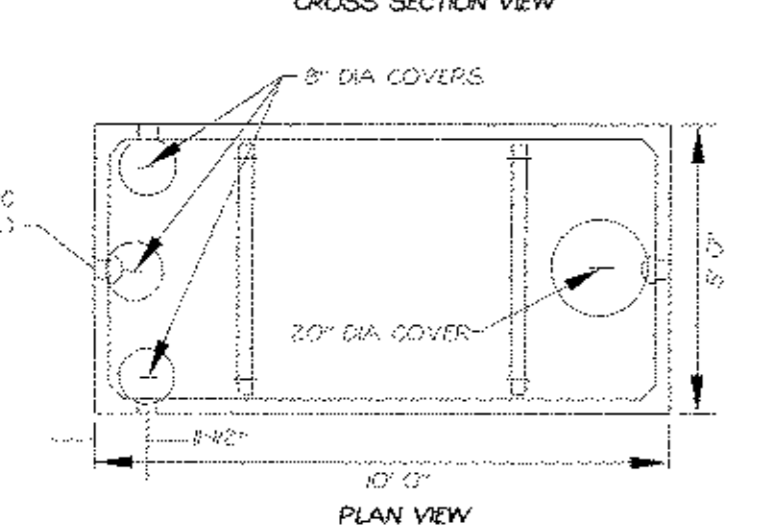
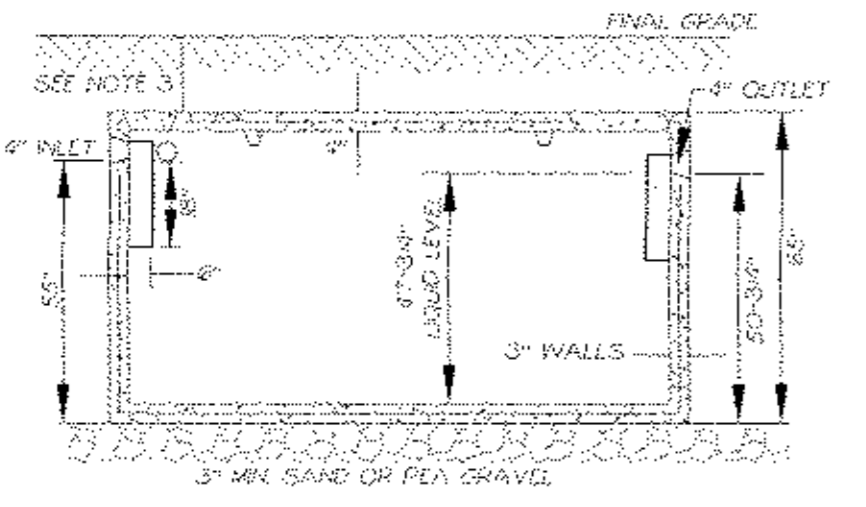
TEST HOLE #	TESTING DATE:	DEPTH / TESTER:	RUN 1 ELAPSED TIME:	RUN 2 ELAPSED TIME:	RUN 3 ELAPSED TIME:	RUN 4 ELAPSED TIME:	RUN 5 ELAPSED TIME:	RUN 6 ELAPSED TIME:	RUN 7 ELAPSED TIME:	STABILIZED RATE:



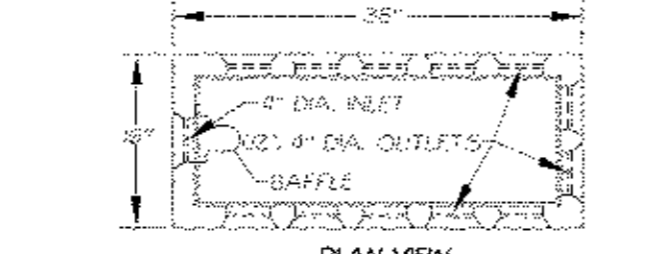
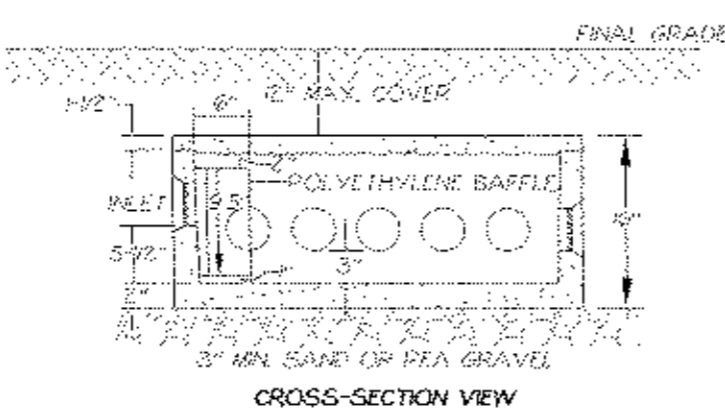
- WELL NOTES:  
1) WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE N.Y.S. DEPARTMENT OF HEALTH APPENDIX D OR STANDARDS FOR WATER WELLS.  
2) THE WELL CAP MUST BE A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FLOOD ELEVATION.

### Well Detail

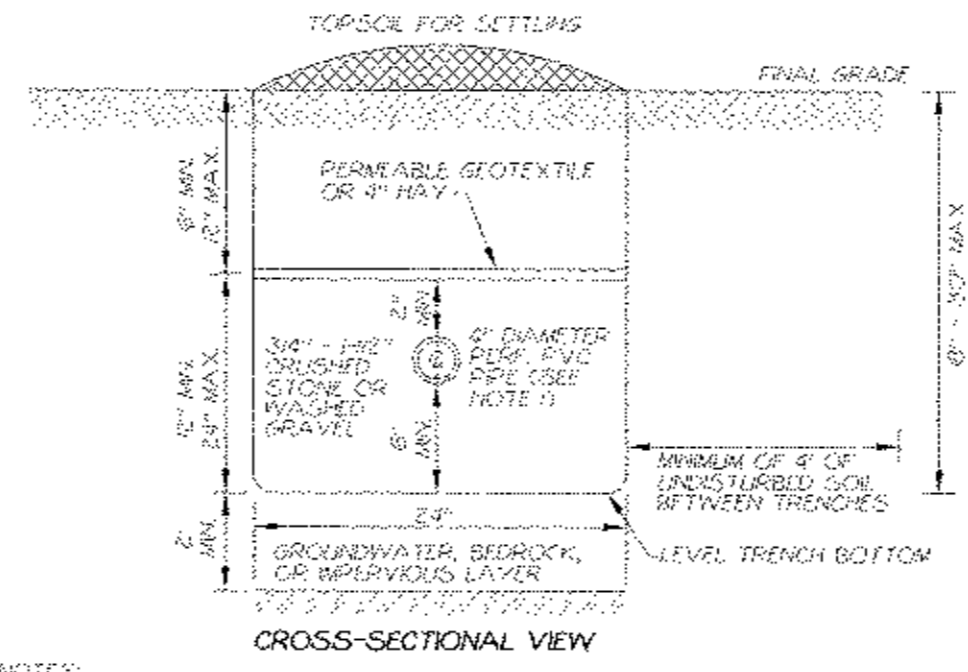
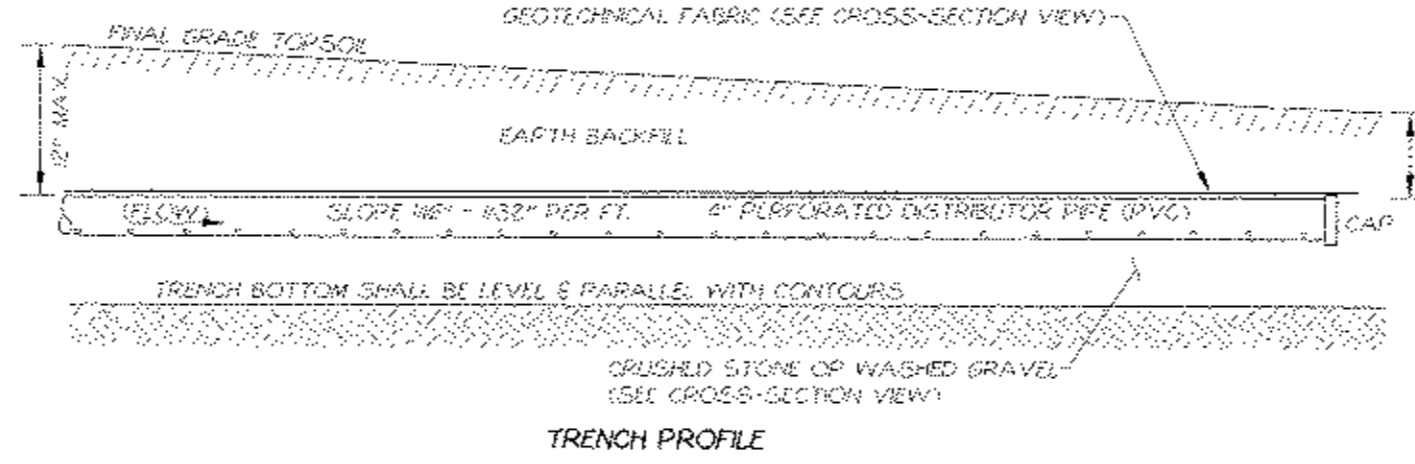
- NOTES:  
1) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.  
2) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.  
3) SEWAGE DISPOSAL SYSTEMS LOCATED BY NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.  
4) NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.  
5) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH (60' MAX.).  
6) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.  
7) MAXIMUM GROUND SLOPE OF THE FIELD AREA SHALL NOT EXCEED 15%.  
8) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.  
9) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.  
10) ALL STEEL TANKS SHALL BE LL-70 APPROVED.  
11) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.  
12) SPEED LEVELERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.  
13) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.  
14) HOUSE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE.



- NOTES:  
1) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.  
2) INLET BAFFLE CAN BE RELOCATED TO THE SIDE.  
3) IF COVER EXCEEDS 48", A RISER MUST BE USED TO ALLOW ACCESS.  
CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS  
STEEL REINFORCEMENT: 6" x 6" X40 GA. STEEL WIRE MESH  
#4 REBAR AROUND PERIMETER  
CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT



- DISTRIBUTION BOX NOTES:  
1) THE FIRST 10' OF ALL LINES LEAVING THE DISTRIBUTION BOX SHALL BE LAID AT IDENTICAL SLOPE. FLOW EQUALIZERS SHALL BE USED TO ASSURE EQUAL FLOW TO EACH OFFSET PIPE. YEARLY CHECKS AND ADJUSTMENT IS RECOMMENDED.  
2) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.  
3) FLOW EQUALIZERS MUST BE USED.  
4) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.  
5) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.



- NOTES:  
1) DISTRIBUTOR PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.  
2) DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE RANDED PROOF TO PREVENTATION OF SAND.  
3) THE END OF EACH LATERAL SHALL BE CAPPED.

### Absorption Trench Detail

### Typical Precast Concrete Distribution Box

AS MANUFACTURED BY WOODWARD CONCRETE PRODUCTS, INC., BULLVILLE, VA.  
MODEL DB-100 (OR APPROVED EQUAL)  
NOT TO SCALE

### Typical Precast 1,250 Gallon Concrete Septic Tank

AS MANUFACTURED BY WOODWARD CONCRETE PRODUCTS, INC., BULLVILLE, NY.  
MODEL ST-1250 (OR APPROVED EQUAL)  
NOT TO SCALE

FEATURES	SEPTIC TANK	ABSORPTION FIELDS	SEWAGE PITS	SEWER LINE
DRILLED WELL (PUBLIC)	100'	200'	200'	50' (A)
DRILLED WELL (PRIVATE)	50'	100'	100'	50' (A)
CNS WELL	75'	150'	150'	50' (A)
WATERLINE (PRESSURE)	10'	10'	10'	10' (B)
WATERLINE (SUCTION)	50'	100'	100'	50' (A)
FOUNDATION	10'	20'	10'	10' (B)
SURFACE WATER	50'	100'	100'	25'
OPEN DRAINAGE	25'	35' (C)	35' (C)	25'
CONVERT (TIGHT PIPE)	25'	35'	35'	20'
CONVERT OPENING	25'	50'	50'	25'
CATCH BASIN	25'	50'	50'	25'
INTERCEPTOR DRAIN	25'	35' (C)	35' (C)	25'
SWIMMING POOL (ENCLOSED)	20'	30'	30'	20'
RESERVOIR	50' (D)	100' (D)	100' (D)	50' (A)
PROPERTY LINE	10'	10'	10'	10'
TOP OF EMBANKMENT / STEEP SLOPE	25'	25'	25'	25'

- (A) IF CAST OR DUCTILE IRON PIPE, LOCATED BELOW THE FROST ZONE, WITH TIGHT JOINTS AND NOT SUBJECT TO SETTLEMENT, THEN USE 'E'.  
(B) WATER (PRESSURE) AND SEWER LINES MAY BE IN THE SAME TRENCH IF WATER LINE IS PLACED ON AN UNDISTURBED BENCH OR SHELF SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" HIGHER THAN THE TOP OF THE SEWER MAIN, AND THE SEWER MAIN IS NOT SUBJECT TO SETTLEMENT, VIBRATION, SUPERIMPOSED LOADS, OR FROST ACTION.  
(C) IF BOTTOM OF DRAIN IS ABOVE FINISHED GRADE AT LEACHING FACILITY, OTHERWISE 'D'.  
(D) FOR A PUBLIC WATER SUPPLY RESERVOIR, 50' TO SEPTIC TANK AND 200' TO ABSORPTION FIELD OR SEWAGE PIT.  
(E) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN CONCRETE GRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL.  
(F) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.

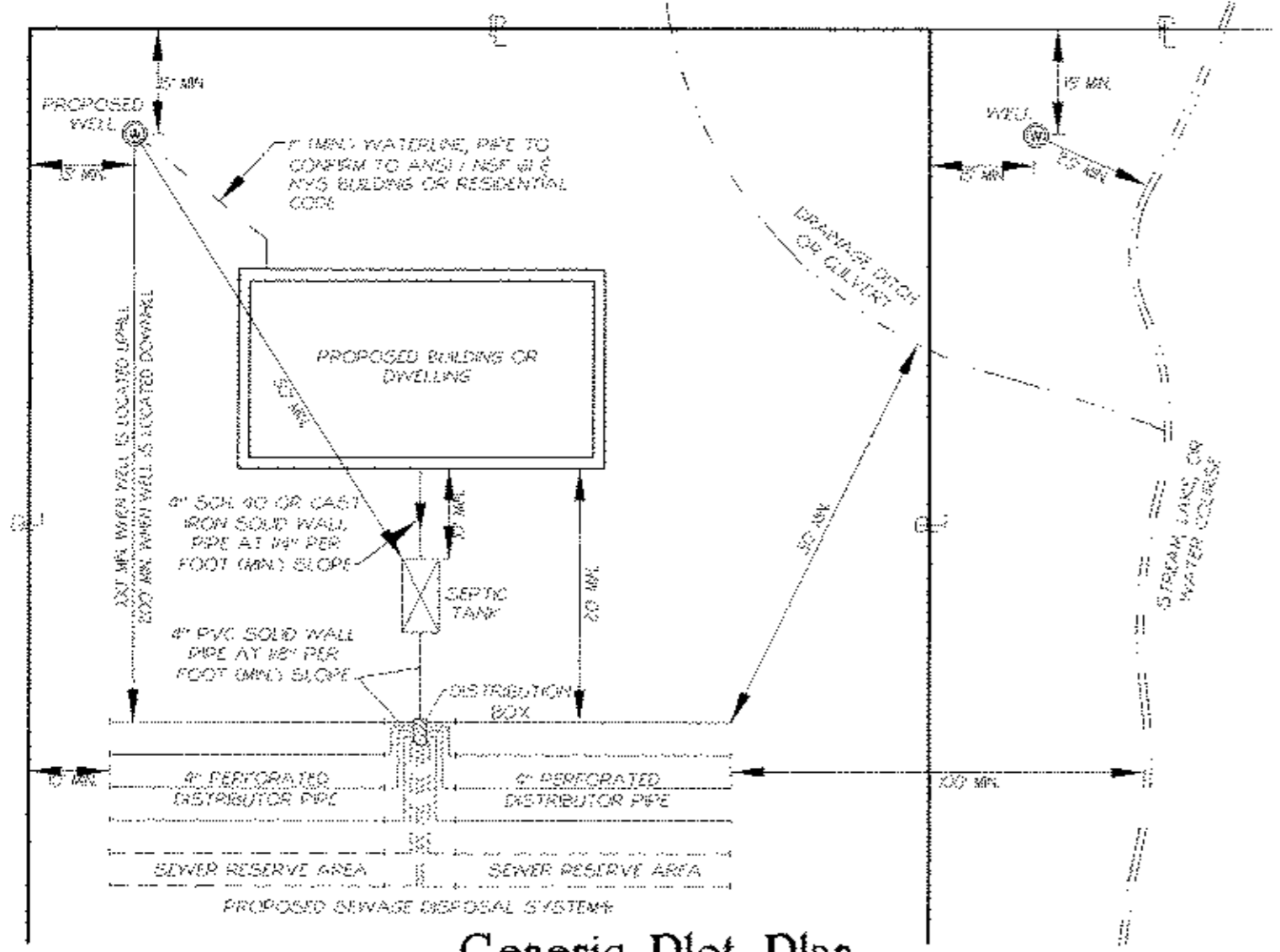
### Minimum Separation Distances From Existing Or Proposed Features

AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION DESIGN STANDARDS FOR WASTEWATER TREATMENT WORKS - INTERMEDIATE SIZED SEWERAGE FACILITIES, 1992 EDITION

### Sewage Disposal System Requirements

LOT	DESIGN STABILIZED PERCOLATION RATE (DPR)	TYPE OF SYSTEM	DESIGN FLOW RATE (GPD)	MIN. LENGTH OF ABSORPTION TRENCH (FEET)	PROPOSED LENGTH OF ABSORPTION TRENCH (FEET)	SEWAGE DISPOSAL SYSTEM DESIGN	SEPTIC TANK SIZE (GALLONS)
1							
3							

N. A.T. = ABSORPTION TRENCH SYSTEM



### Generic Plot Plan

\* THE GENERIC PLOT PLAN IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO Box 166, 45 Main Street, Pine Bush, NY 12566  
P: (845)744.3620 F:(845)744.3805 Email: mnt-pe@mnt-pe.com

AWARD OF CONTRACT  
NO. DATE DESCRIPTION BY  
I HEREBY CERTIFY THAT EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHOWN ON THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND FURTHER THAT SUCH DESIGN IS BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON EACH LOT AT THE LOCATION SHOWN. THE INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.  
LAWRENCE MARSHALL PE #067907

**Well & Sewage Disposal System Details**  
for lands of  
**Antonino Cassara**  
OWNER: ANTONINO CASSARA 442 FOSTERTOWN ROAD NEWBURGH, NY 12550  
OLD REFERENCE: LIBR 13358, PAGE 447  
TAX MAP REFERENCE: SECTION 17, BLOCK 2, LOT 30/2  
LOT 2, FILED MAP NO. 89-83  
Situate in the Town of Newburgh  
Orange County, New York State  
February 2014  
PROJECT: 3166 | SHEET 2 OF 2