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CONSULTING ENGINEERS D.P.C.

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TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS

PROJECT: BRITAIN PLAZA
PROJECT NO.: 13-13
PROJECT LOCATION: SECTION 97, BLOCK 3, LOTS 1 & 2
PROJECT REPRESENTATIVE: JACOBOWITZ AND GUBITS
REVIEW DATE: 29 MAY 2014
MEETING DATE: 5 JUNE 2014

1. Project is being reviewed with the understanding that the bank use is not currently permitted in the IB Zone. This use is under review by the Town Board. In addition, filing of a lot line change map previously approved is required as current lot lines are not as depicted on the plans until filing of the map.
2. Compliance with design guidelines should be documented. Any waivers of those should be requested, including parking in the front yards of the corner lot.
3. The Planning Board should review the location of the dumpster enclosure in the front yard setback at the access drive to the Crystal Run Healthcare facility.
4. The sewer connection relies on a utility easement. Status of this easement should be discussed.
5. The drive-up canopy must demonstrate compliance with Section 185-18C(1)(b), overhanging roof that does not project into required yard over 10% of the required setback distance. Canopy appears to project greater than 5 feet which would require a variance.
6. Water service to structure must be installed in compliance with Town of Newburgh requirements, which require valving to terminate fire protection flow to also terminate potable water.
7. A grease trap may be required on the cemetery line due to the proposed fast food use.
8. Access and storm water agreements should be provided for the PB Attorney review.

REGIONAL OFFICES

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

9. Additional review will be undertaken once detailed design plans for the facility are provided.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

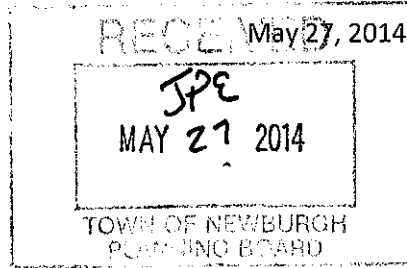
Patrick J. Hines
Associate

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. Lanc, P.E., L.S., P.P.
David E. Higgins, P.E.
Rodney C. Knowlton, L.S.

Arthur R. Tully, P.E.
John J. O'Rourke, P.E.
John D. Russo, P.E.

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550



RE: Britain Plaza – Commercial Site Plan
Tax Parcel: 97 – 3 – 1
Planning Board No.: 2013-13

Dear Chairman Ewasutyn and Members of the Planning Board:

On behalf of The Old Britain Group, LLC, we are pleased to submit the enclosed Planning Board re-application package for Site Plan review for the referenced project. A preliminary concept plan was presented to the Planning Board on August 1, 2013. Included in this package are fourteen (14) copies of the following:

1. Completed Application Package
2. Project Narrative
3. Full Environmental Assessment Form
4. Site Plan entitled "Conceptual Commercial Site Plan – Britain Plaza", Sheet 1 of 1, dated May 21, 2014, prepared by Lanc & Tully Engineering and Surveying, PC
5. Architectural rendering entitled "Ulster Savings – Newburgh Branch – Conceptual Rendering", dated March 27, 2014, prepared by DeGraw & DeHaan Architects

The parcel proposed for development of Britain Plaza is designated as Tax Lot No. 97 – 3 – 1, located on the east side of NYS Route 300 (Union Avenue) at the intersection of Old Little Britain Road. The parcel was part of a recently approved Lot Line Change / Lot Consolidation plan (CRH Realty VIII, LLC); the resultant parcel size is 1.274± acres. The parcel is contained in the IB Zoning District.

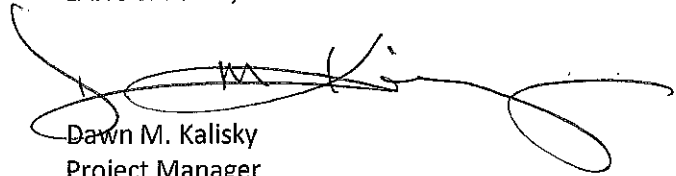
Britain Plaza is a proposed mixed-use commercial site with 4,000 square feet of retail space, a 2,500 square foot fast food establishment and a 2,500 square foot bank contained in a single story 9,000 square foot building. The proposed bank is currently not a permitted/accessory use in the IB Zoning District. A petition to the Town Board for a Zoning Amendment permitting banks in the IB district was re-instituted on May 13, 2014. The Old Britain Group, LLC, respectfully requests the Planning Board review the proposed site plan concurrently with the Town Board actions for the proposed zoning amendment. This request is with the full understanding that the Planning Board cannot take any action on the Site Plan until such time, if and when, the Zoning Amendment is in place establishing banks as a permitted use in the IB Zoning District and that the Planning Board review is solely at the risk of The Old Britain Group, LLC.

The conceptual site plan has been developed indicating all proposed site features including access, parking, water, sanitary sewer and drainage facilities. A comprehensive description of the proposed project is included in the enclosed Project Narrative.

By submission of the enclosed, we respectfully request placement on the next available Planning Board agenda to discuss the proposed project. We trust the enclosed satisfies the submission requirements; however, if you have any questions or require any further information, please do not hesitate to contact our office.

Very truly yours,

LANC & TULLY, P.C.

A handwritten signature in black ink, appearing to read "Dawn M. Kalisky", with a large, sweeping flourish extending to the right.

Dawn M. Kalisky
Project Manager

Enc.

cc: Angelo Danza, The Old Britain Group, LLC
Robert DiNardo, Esq.

DMK/jvq

pb-submit-original.doc

**PROJECT NARRATIVE
BRITAIN PLAZA**

The subject parcel, known as Tax Lot 97-3-1, is a 1.274± acre (55,495.4± square feet) parcel located on the east side of NYS Route 300 (Union Avenue) at the south intersection of Old Little Britain Road and is contained within the IB – Interchange Business Zoning District. This parcel was part of the recently approved Lot Line Change / Lot Consolidation Map prepared for CRH Realty VIII, LLC, to be filed with the Orange County Clerk's office. As a requirement for filing of the Lot Line Change / Lot Consolidation Map, all existing structures were removed; the site is currently vacant.

Britain Plaza is a proposed mixed-use commercial site with 4,000 square feet of retail space, a 2,500 square foot fast food establishment and a 2,500 square foot bank contained in a single story, 9,000 square foot building.

Ingress/egress for Britain Plaza will be via a driveway connecting to the access drive from Old Little Britain Road to be constructed as part of the CRH Realty VIII, LLC, site for Crystal Run Medical Offices. The Plaza will not have direct access to Union Avenue or to Old Little Britain Road. An Access Easement Agreement between the parties is in place and filed with the Orange County Clerk. The easement area is depicted on the conceptual commercial site plan for Britain Plaza.

In accordance with Town of Newburgh Code requirements, a total of 50 parking spaces are required for the proposed uses. The site has been developed to provide a total of 58 parking spaces which include 4 handicap accessible spaces. The site provides two-way road access to the majority of the parking spaces; a one-way road is proposed to access the bank drive thru and five (5) parking spaces to be designated as "employee parking".

The site will be served by municipal water and sanitary sewer services. A 6" ductile iron water service will extend from a stub (which includes a valve and cap) from the 6" water service main contained within the access drive to the CRH Realty VIII, LLC, site for Crystal Run Medical Offices. The 6" waterline will provide overall fire suppression for the 9,000 square foot building; individual potable services (1" copper) will connect each proposed tenant to the 6" waterline. A 6" SDR35 sanitary sewer lateral will extend from the building to a capped 6" SDR35 stub which extends from the sewer manhole designated as CRH SMH-2, located at the properties' southwesterly corner. Utility Easement agreements between the parties are in place and filed with the Orange County Clerk.

Stormwater runoff from the site will be collected in a series of catch basins which will discharge to a bio-retention facility for initial water quality treatment. The outlet structure of the bio-retention facility will connect to a catch basin on the access drive, designated at CRH CB#19, where it enters the stormwater facilities of the CRH Realty VIII, LLC, site. A Stormwater Pollution Prevention Plan (SWPPP) entitled "CRH Realty VIII, LLC / Britain Plaza" dated December 10, 2013 and last revised March 21, 2014, was prepared to address the stormwater management facilities for both the Crystal Run Medical Offices site and the Britain Plaza site. The total impervious surfaces and water quality treatment facility contained on the Britain Plaza site plan are in accordance with the specifics of the approved SWPPP.

Upon receipt of any Planning Board comments, a fully developed site plan will be prepared including all grading, lighting, landscaping and construction details and will be presented to the Planning Board for further consideration.

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Britain Plaza

2. Owner of Lands to be reviewed:

Name Angelo Danza - The Old Britain Group, LLC
Address 104 Garden Court
Franklin Lakes, NJ 07417
Phone (201)891-3776

3. Applicant Information (If different than owner):

Name Same
Address _____

Representative _____
Phone _____
Fax _____
Email _____

4. Subdivision/Site Plan prepared by:

Name Lanc & Tully, PC
Address P.O. Box 687
Goshen, NY 10924
email: dmkt@lanctully.com
Phone/Fax (845)294-3700/(845)294-8609

5. Location of lands to be reviewed:

169 Old Little Britain Road

6. Zone 1B **Fire District** Goodwill Fire
Acreage 1.274± **School District** Newburgh Enlarged

7. Tax Map: Section 97 **Block** 3 **Lot** 1

8. Project Description and Purpose of Review:

Number of existing lots _____ Number of proposed lots _____

Lot line change _____

Site plan review Site Plan for retail store with accessory uses

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) Temporary Construction easement for CRH Realty VIII, LLC

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title MANAGING MEMBER

Date: 5-27-14

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Britain Plaza

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. N/A Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. X Surveyor,s Certification
12. Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. Number of acres to be cleared or timber harvested
33. _____ Estimated or known cubic yards of material to be excavated and removed from the site
34. _____ Estimated or known cubic yards of fill required
35. The amount of grading expected or known to be required to bring the site to readiness
36. Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
Licensed Professional

Date: 5-27-14

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: The Old Britain Group, LLC.

Name of owner on premises: The Old Britain Group, LLC.

Address of owner: 104 Garden Court, Franklin Lakes, NJ 07417

Telephone number of owner: (201)891-3776

Telephone number of applicant: (201)891-3776

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Owner

Location of land on which proposed work will be done: _____

169 Old Little Britain Road

Section: 97 Block: 3 Lot: 1 Sub. Div.: _____

Zoning District of Property: 1B Size of Lot: 1.274Acres

Area of lot to be cleared or graded: _____

Proposed completion of date: _____

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  Date: 5-27-14

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Angelo Danza, The Old Britain Group, LLC.
APPLICANT'S NAME (printed)


APPLICANTS SIGNATURE

5-27-14
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Angelo Danza
The Old Britain Group, , DEPOSES AND SAYS THAT HE/SHE
LLC.

RESIDES AT 104 Garden Court, Franklin Lakes, NJ 07417

IN THE COUNTY OF _____

AND STATE OF _____

AND THAT HE/SHE IS THE OWNER IN FEE OF 169 Old Little Britain Rd.

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND Lanc & Tully, P.C. IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 5-27-14


OWNERS SIGNATURE

Robert DiNardo, Esq.

ANGELO DANZA
OWNERS NAME (printed)


WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Dawn M. Kalisef
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

5-27-14

DATED

Angelo Danza, The Old Britain Group LLC
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Britain Plaza		
Project Location (describe, and attach a general location map): Old Little Britain Road at intersection with NYS Route 300 (aka Union Avenue)		
Brief Description of Proposed Action (include purpose or need): Site plan for the development of a 9,000 square foot mixed use commercial building including a 2,500 square foot bank, 2,500 square foot fast food establishment, and 4,000 square foot retail, and related parking, water, sewer, and stormwater facilities.		
Name of Applicant/Sponsor: The Old Britain Group, LLC	Telephone: (201) 891-3776	E-Mail:
Address: 104 Garden Court		
City/PO: Franklin Lakes	State: New Jersey	Zip Code: 07417
Project Contact (if not same as sponsor; give name and title/role): same	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): same	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board Site Plan approval	
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	OC Planning - 239 Review OC DOH - water service extension with hydrant	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
IB - Interchange Business Zoning District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Enlarged School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?
Goodwill Fire Department

d. What parks serve the project site?
Chadwick Lake

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? mixed use commercial building for bank, restaurant and retail spaces

b. a. Total acreage of the site of the proposed action? _____ 1.274 acres
 b. Total acreage to be physically disturbed? _____ 1.0± acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.274 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ 8 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1
 ii. Dimensions (in feet) of largest proposed structure: 24±' height; 112.5' width; and 80' length
 iii. Approximate extent of building space to be heated or cooled: 9,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 900 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Consolidated Water District
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 900 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh WWTP
- Name of district: Crossroads Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 0.93 acres (impervious surface)
 _____ Square feet or 1.27 acres (parcel size)
 ii. Describe types of new point sources. _____

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On-site bio-retention facility to discharge to adjoining site stormwater piping network and ultimate discharge to stormwater retention pond. Parcel development included in SWPPP prepared for CRH Realty VIII, LLC / Britain Plaza
 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 office/retail store/restaurant usage _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 local utility company, onsite solar power _____
 iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____ 7:00 am - 5:00 pm _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____ 5:00 am - 11:00 pm _____
 • Saturday: _____ 5:00 am - 11:00 pm _____
 • Sunday: _____ 5:00 am - 11:00 pm _____
 • Holidays: _____ 5:00 am - 11:00 pm _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Increased noise levels during construction only, i.e., heavy equipment, building construction

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking lot lighting fixtures meeting Town regulations

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation: _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.25±	0.93±	0.68± +
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: lawn / landscaping area _____	1.02±	0.34±	0.68± -

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 336019
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

Town of New Windsor landfill. The leachate collection and gas venting systems are in place in addition to an operation and maintenance plan which consists of quarterly sampling of on-site monitoring wells to determine possible off-site migration of contaminants. The site is capped; therefore, exposure to contaminated soil is not expected. The remedial activities at the landfill are expected to prevent human exposure to site-related contaminants.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____ _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>None - existing vacant commercial site</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

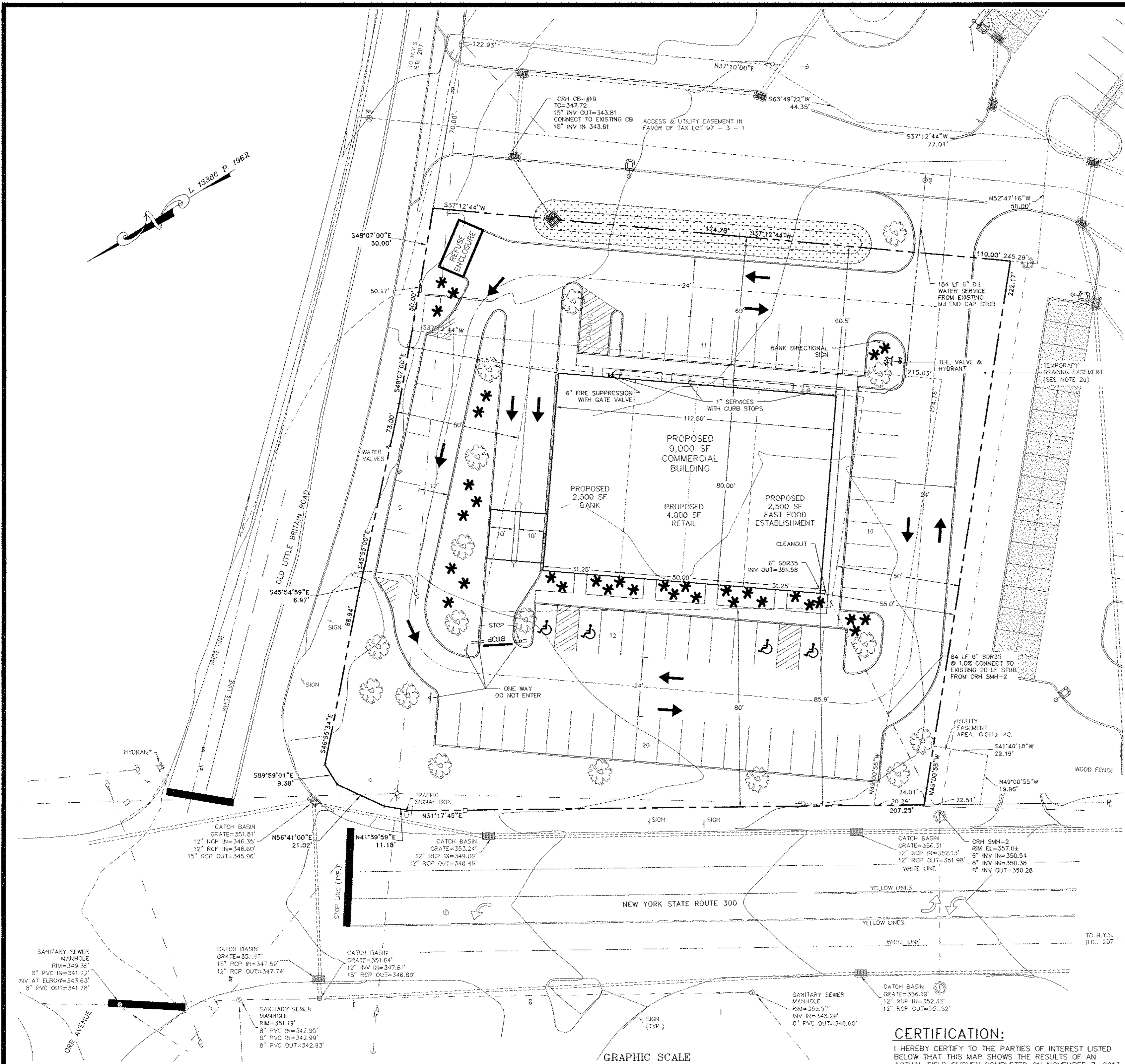
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Angelo Danza Date 5-27-14

Signature  Title MANAGING MEMBER

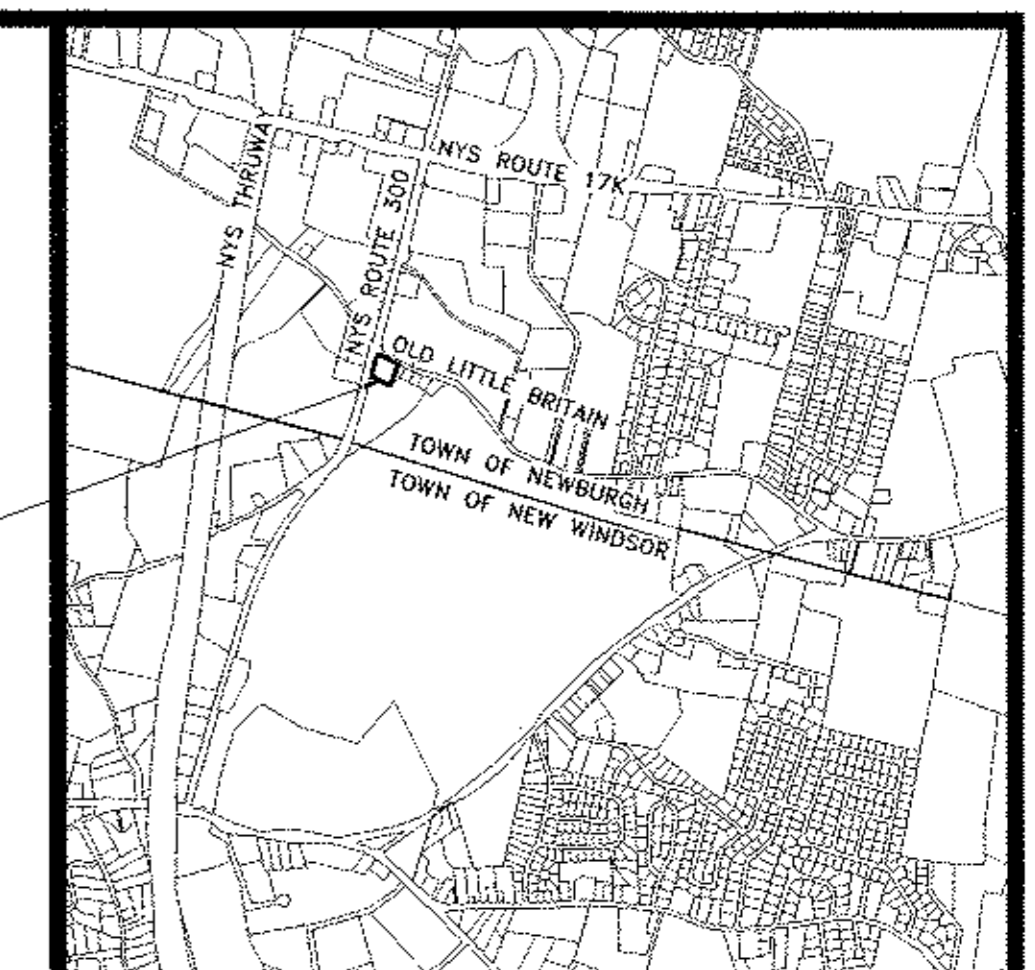


Ulster Savings - Newburgh Branch - Conceptual Rendering



SURVEY NOTES:

- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "LOT LINE CHANGE AND CONSOLIDATION MAP PREPARED FOR CRH REALTY VIII, LLC., TOWN OF NEWBURGH, TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 17, 2013, LAST REVISED FEBRUARY 12, 2014, AS PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.
 - MAP ENTITLED "COMPOSITE SITE PLAN, SOUTH UNION PLAZA, TOWN OF NEWBURGH, NEW YORK, DATED OCTOBER 16, 2007, LAST REVISED OCTOBER 29, 2008 AS PREPARED BY SHAW ENGINEERING, CONSULTING ENGINEERS.
 - TITLE REPORT NUMBER 730-0-2497, PREPARED BY HARDENBURGH TITLE AGENCY, DATED AUGUST 30, 2013.
- THIS MAP DEPICTS A PARCEL OF LAND BEING TAX LOT 97 - 3 - 1, A PORTION OF TAX LOT 97 - 3 - 2 TO BE CONSOLIDATED WITH TAX LOT 97 - 3 - 1, AND PART OF TAX LOT 97 - 3 - 6 TO BECOME PART OF TAX LOT 97 - 3 - 1 AS SHOWN ON A MAP ENTITLED, "LOT LINE CHANGE AND CONSOLIDATION MAP PREPARED FOR CRH REALTY VIII, LLC., TOWN OF NEWBURGH, TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 17, 2013, LAST REVISED FEBRUARY 12, 2014, AS PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.



LOCATION PLAN
1 INCH = 2000 FEET

GENERAL NOTES:

- PROPOSED 9,000± MIXED USE COMMERCIAL BUILDING.
- PROPOSED USES:
 - BANK - 2,500 SF
 - RETAIL - 4,000 SF
 - RESTAURANT - 2,500 SF (400 SF SEATING AREA)
- INGRESS / EGRESS FOR BRITAIN PLAZA TO BE VIA CRH REALTY VIII, LLC., ACCESS DRIVE FROM OLD LITTLE BRITAIN ROAD. WATER SERVICE AND SANITARY SEWER SERVICE TO BE CONNECTED TO RESPECTIVE INFRASTRUCTURE CONSTRUCTED BY CRH REALTY VIII, LLC., SITE AGREEMENTS BETWEEN CRH REALTY VIII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.
- STORMWATER FACILITIES TO BE CONSTRUCTED AND DISCHARGED TO CRH REALTY VIII, LLC, STORMWATER FACILITIES IN ACCORDANCE WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CRH REALTY VIII, LLC / BRITAIN PLAZA, DATED DECEMBER 10, 2013 AND LAST REVISED MARCH 14, 2014. AGREEMENT BETWEEN CRH REALTY VIII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.

TABLE OF PARKING REQUIREMENTS:

PROPOSED USE	PARKING REQUIRED	PARKING PROVIDED
BANK/OFFICE (2,500 SF)	12.5	
1/200 SF GFA		
RETAIL (4,000 SF)	26.6	
1/150 SF GLFA		
FAST FOOD ESTABLISHMENT (2,500 SF)	10.0	
1/40 SF SEATING AREA (400 SF)		
TOTAL PARKING PROVIDED	49.1 = 50	58*
* INCLUDES 4 HC SPACES		

TABLE OF ZONING REQUIREMENTS
IB DISTRICT (INTERCHANGE BUSINESS)

	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 S.F.	55,495± S.F.
LOT DEPTH	150 FT.	222.2 FT.
LOT WIDTH	150 FT.	237.9 FT.
FRONT YARD (UNION AVE)*	80 FT.	85.9 FT.
FRONT YARD	50 FT.	81.5 FT.
SIDE YARD (ONE)	50 FT.	55.0 FT.
SIDE YARD (BOTH)	100 FT.	N/A
REAR YARD	60 FT.	60.5 FT.
MAXIMUM LOT BUILDING COVERAGE	40%	16.24%
LOT SURFACE COVERAGE	80%	75.42%
BUILDING HEIGHT	35 FT.	<35 FT.

LEGEND:

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED SIDEWALK
- PROPOSED 6" D.I. WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED 1" TYPE K WATER SERVICE
- PROPOSED 6" SDR35 SEWER SERVICE
- PROPOSED HDPE DRAINAGE PIPE

RECORD OWNER:

THE OLD BRITAIN GROUP, LLC
104 GARDEN COURT
FRANKLIN LAKES, NJ 07417
97 - 3 - 1
L. 13482 P. 370

LOT AREA:

1,274± AC.

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONCEPTUAL COMMERCIAL SITE PLAN

BRITAIN PLAZA

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: MAY 21, 2014

Drawn By: dmk
Checked By:
Scale: 1" = 20'
Tax Map No.: 97 - 3 - 1
Drawing No.: C30
B - 13 - 0062 - 01

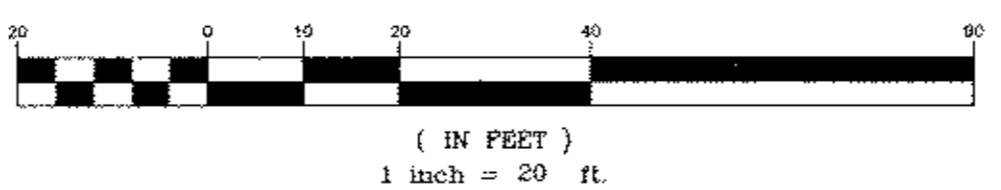
CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON NOVEMBER 7, 2013.

THE OLD BRITAIN GROUP, LLC.

BY:
RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

GRAPHIC SCALE



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