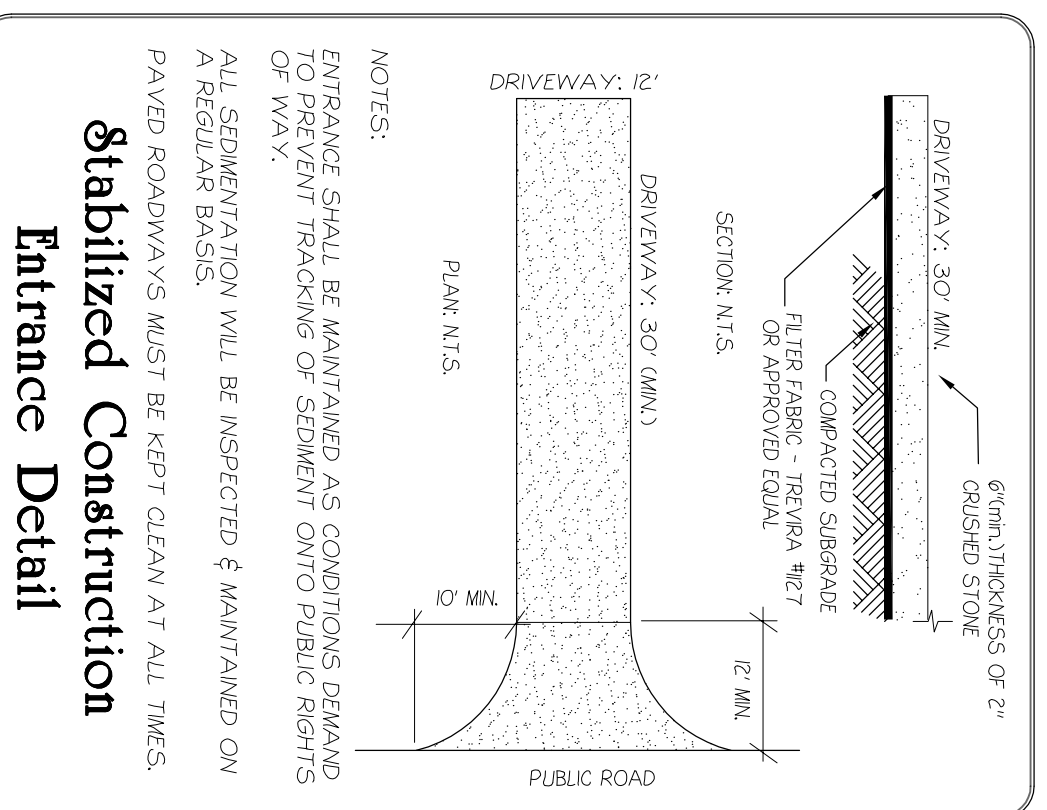


Zoning Legend AD

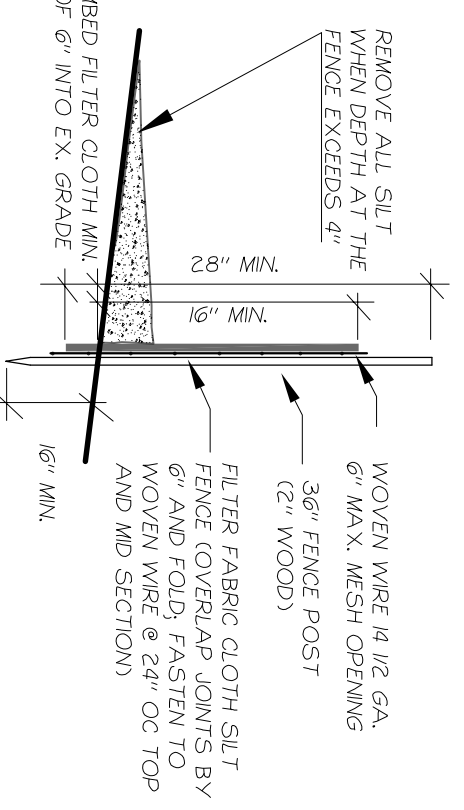
MINIMUM LOT SIZE	REQUIRED	LOT 1B	LOT 2A	LOT 2B
MINIMUM LOT WIDTH	40,000 SF	48,673 SF	52,841 SF	54,378 SF
MINIMUM LOT DEPTH	150 FT	160 FT	164 FT	168 FT
MINIMUM LOT DEPTH	150 FT	300 FT	300 FT	308 FT
MINIMUM YARDS				
FRONT	50 FT	78 FT	80 FT	80 FT
SIDE (ONE)	30 FT	50 FT	49 FT	56 FT
SIDE (BOTH)	80 FT	109 FT	107 FT	116 FT
REAR	50 FT	197 FT	203 FT	210 FT
MAXIMUM LOT BUILDING COVERAGE				
	10%	3.5%	3.3%	3.6%
MAXIMUM LOT SURFACE COVERAGE				
	20%	6.9%	7.5%	7.3%

Notes:

- SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE UP TO DATE, TITLE ABSTRACT REPORT.
- SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF ORCHARD DRIVE FOR USE AS A PUBLIC HIGHWAY.
- SUBJECT TO UTILITY GRANTS OF RECORD.
- THE PROJECT PARTIES ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES FOR THE PROPOSED PROJECTS. THE ORANGE COUNTY CLERK'S OFFICE HAS FILED MAP NO. 2008 AND LOT 2 ON A MAP DATED 12/19/07. THE ORANGE COUNTY CLERK'S OFFICE HAS FILED MAP NO. 18-07.
- THESE ARE NO WELLS OR SEWAGE DISPOSAL SYSTEMS ON ADJACENT PROPERTIES WITHIN 100' OR 200' AS REQUIRED BY STANDARDS) OF THE PROPOSED WELLS AND SEWAGE DISPOSAL SYSTEMS FOR EACH LOT.
- PRIOR TO ISSUANCE OF A GRANT OF OCCUPANCY FOR ANY SEWERAGE SYSTEM SUBJECT TO THE PROVISIONS OF LOCAL LAW 1989, THE TOWN OF NEWBURGH BUILDING INSPECTOR MUST RECEIVE AN "AS BUILT" PLAN OF SUCH SYSTEM BEARING THE FOLLOWING CERTIFICATION OF A PROFESSIONAL ENGINEER OR OTHER AUTHORIZED DESIGN PROFESSIONAL AS SET FORTH ABOVE. "I HEREBY CERTIFY THAT THE NEW SEWERAGE SYSTEM DESCRIBED ON THIS PLAN HAS BEEN CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS THEREUNDER."
- NO EXCAVATED MATERIAL IS ANTICIPATED TO BE REMOVED FROM THE SITE. APPROXIMATELY 165 CY OF FILL IS REQUIRED FOR HOUSE PROPOSED ON THE ORIGINAL LOT WAS 0.65 ACRES.
- LOT OWNERS SHALL BE RESPONSIBLE FOR CLEANING AND MAINTAINING THE EDGE OF ORCHARD DRIVE PAVEMENT TO MAINTAIN RESAURTE SPREAD RESERVES FOR ALL DRIVEWAYS WITHIN SUBDIVISION.
- THE PROJECT INVOLVES THE TRANSFER OF 20.874 SF (0.479 ACRES) OF LAND FROM LOT 1R TO LOT 2A.



NOTES:
 ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
 ALL SEDIMENTATION WILL BE INSPECTED & MAINTAINED ON A REGULAR BASIS.
 PAVED DRIVEWAYS MUST BE KEPT CLEAN AT ALL TIMES.



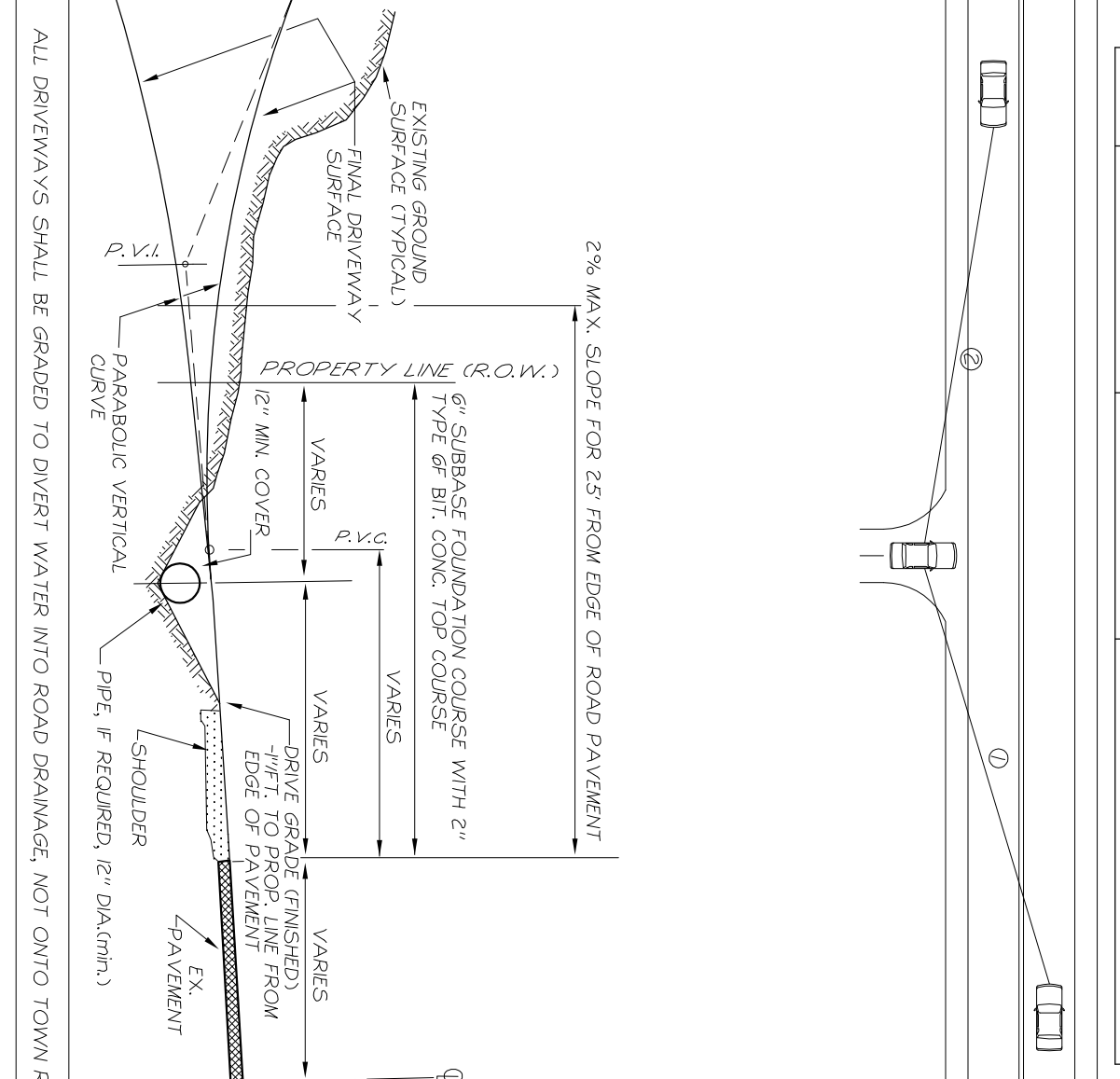
REMOVE ALL SILT WHEN DEPTH AT THE FENCE EXCEEDS 2".
 HORIZONTAL WIRE 1/8" DIA. FENCE POSTS (2" WOOD).
 FILTER FABRIC CLOTH SET BY 6" AND FOLD FASTEN TO WOVEN WIRE & 24" OC TOP AND BOTTOM SECTIONS.
 BARBED WIRE CLOTH MIN. 2" DIA. 18" GAUGE.

Silt Fence Detail

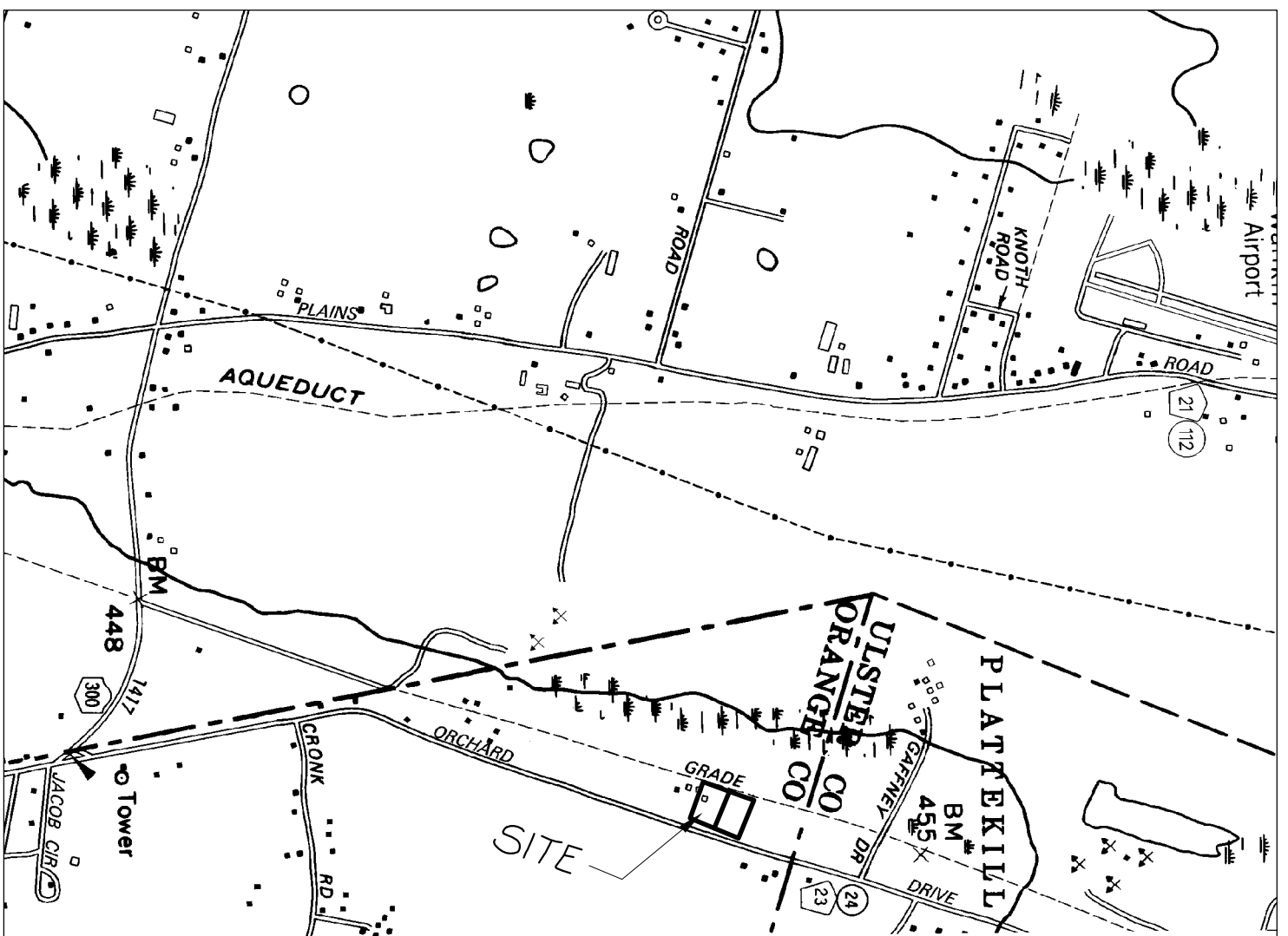
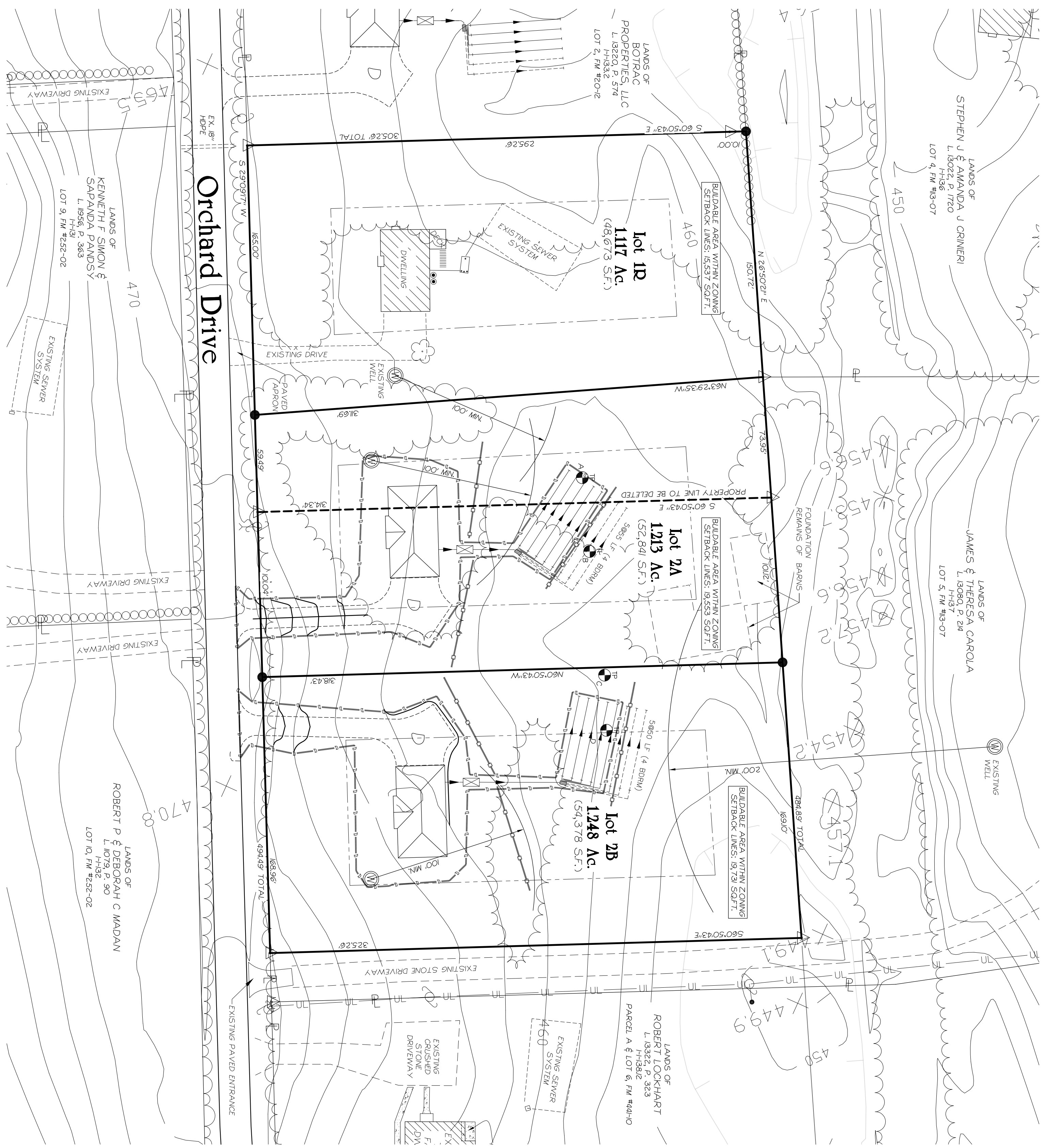
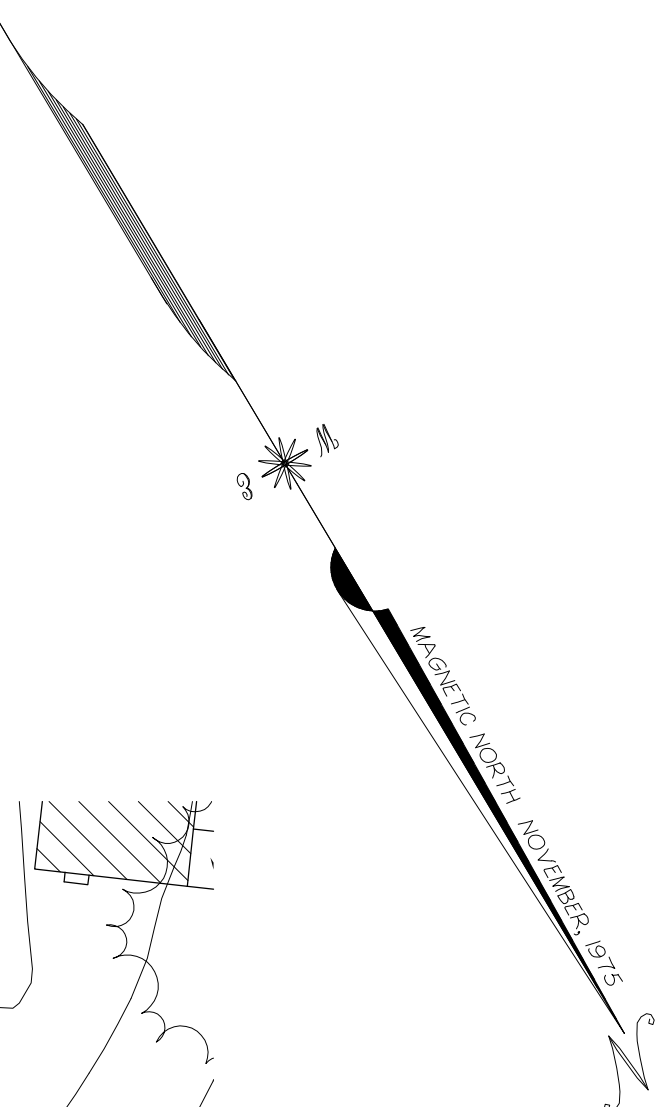
Driveway Sight Distance Table

ORCHARD DRIVE POSTED SPEED LIMIT: 40 MPH

LOT	SIGHT LINE	DISTANCE	NOTES
2A	1	> 1000'	CLEAR BRUSH FROM LOT TO 3'
	2	1,645'	CLEAR OFF EGP (SEE NOTE 8) TO 3'
	1	> 1000'	CLEAR OFF EGP (SEE NOTE 8) TO 3'
2B	2	1,575'	CLEAR BRUSH FROM LOT TO 3'
			CLEAR OFF EGP (SEE NOTE 8) TO 3'



Driveway Entrance Detail



Legend

- PROPERTY LINE & CORNER
- SET 5.8' FROM ROAD AT PROPERTY CORNER
- ADJACENT PROPERTY LINE
- LIBER OF DEEDS, PAGE
- TAX MAP DESIGNATION (SECTION - BLOCK - LOT)
- EX. UTILITY POLE & LINE
- EXISTING GUTTER & SIZE
- STONE WALL
- WIRE FENCE
- WATERCOURSE
- EXISTING CONTOUR LINE
- ZONING MAP SETBACK LINE
- PROPOSED SILT FENCE (SEE DETAIL)
- PROPOSED 4" DIA. PERFORATED PVC SEWER DISTRIBUTOR PER PROPOSED 4" DIA. PERFORATED PVC DISTRIBUTOR PER FOR SEWER EXHUMATION AREA
- PROPOSED SEPTIC TANK & 4" DIA. SOLID WALL PVC SBR35 PIPE
- PROPOSED DISTRIBUTION BOX & 4" DIA. SOLID WALL PVC SBR35 PIPE
- SOIL TEST LOCATION & NUMBER
- PROPOSED DRIVE
- PROPOSED HOUSE LOCATION
- PROPOSED WELL LOCATION
- APPROXIMATE NEIGHBORING HOUSE - BUILDING LOCATION
- PROPOSED LIMITS OF DISTURBANCE

Lot 1D = 1.117 Acres
 Lot 2A = 1.213 Acres
 Lot 2B = 1.248 Acres
 Total Area = 3.578 Acres

Survey Map, Lot Line Change, & Subdivision Plan of Lands of Botrac Properties, LLC

Situate in the Town of Newburgh Orange County, New York State
 Scale 1"=40' February 2013

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO Box 166, 45 Main Street, Pine Bush, NY 12566
 P: (945) 744-3500 F: (945) 744-3505 Email: tmn-pe@tmn-pe.com

NO.	DATE	REVISION	BY	DATE
1	2/27/13	REVISED LOT 2B SEWER DESIGN	ZAP	
2	2/27/13	REVISIONS	TMN	

I HEREBY CERTIFY TO BOTRAC PROPERTIES, LLC THAT THE RESULT OF THIS ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-LAND SURVEYING, INC. ON JULY 23, 2012, IS AS SHOWN.

I HEREBY CERTIFY THAT EACH PROPOSED OWNER STATE & WATER FACILITY SHOWN ON THIS PLAN IS IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AND FURTHER THAT EACH DESIGN IS BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON EACH INSTALLATION OF EACH PROPOSED SEWER SYSTEM & WATER FACILITY SHALL BE IN ACCORDANCE WITH THE DESIGN SHOWN & AT THE LOCATION SHOWN.

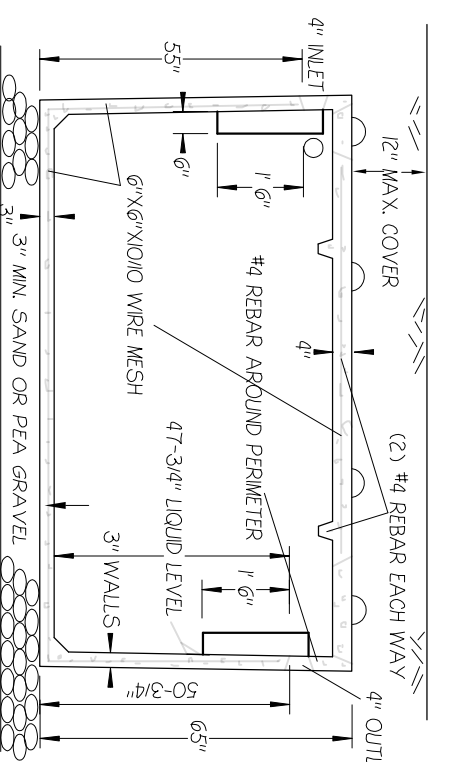
RECORD OWNER: BOTRAC PROPERTIES, LLC, P.O. BOX 770, NEWBURGH, NY 12550
 TAX MAP REFERENCE: SECTION 1, BLOCK 1, LOT 133
 LOT 4, FIELD MAP NO. 20-04
 LOT 4, FIELD MAP NO. 18-07
 ORIGINAL SURVEY: JULY 2002 | LOT 10: KNY 2-513 | PROJECT: 2682-W-6 | SHEET 1 OF 2

LOT NUMBER	2A	2A	2B	2B	2B
TEST HOLE #	A	B	C	D	E
TESTING DATE:	04-8-13	04-8-13	06-08-06	06-08-06	06-08-06
TESTER:	ZAP	ZAP	LM	LM	LM
DEEP SOIL TEST (NO WATER OR ROCK UNLESS SO NOTED)	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL
	1' BROWN SLT LOAM	1' BROWN SLT LOAM	2' SLT LOAM	1' SLT LOAM	1' SLT LOAM
	2' BROWN SLT LOAM	2' BROWN SLT LOAM	2' SLT LOAM	2' SLT LOAM	2' SLT LOAM
	3' SANDY SLT LOAM	3' SANDY SLT LOAM	3' SAND & GRAVEL	3' SAND & GRAVEL	3' SAND & GRAVEL
	4' SANDY SLT LOAM	4' SANDY SLT LOAM	4' SAND & GRAVEL	4' SAND & GRAVEL	4' SAND & GRAVEL
	5' SANDY SLT LOAM	5' SANDY SLT LOAM	5' SAND & GRAVEL	5' SAND & GRAVEL	5' SAND & GRAVEL
	6' SANDY SLT LOAM	6' SANDY SLT LOAM	6' SAND & GRAVEL	6' SAND & GRAVEL	6' SAND & GRAVEL
NOTES:	K=KEEP @ 65% MOTTLING @ 60%				

DEEP SOILS TESTING RESULTS

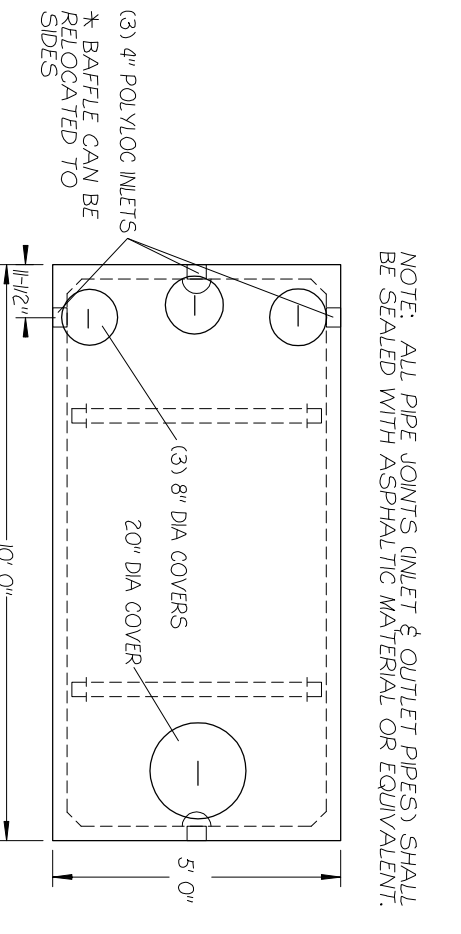
LOT NUMBER	2A	2A	2B	2B
TEST HOLE #	A	B	C	D
TESTING DATE:	04-8-13	04-8-13	06-08-06	06-08-06
DEPTH / TESTER:	24" - RZ	24" - RZ	24" - SL	24" - SL
PERCOLATION TEST RESULTS (ALL TESTING COMPLETED WITH A STOPWATCH & ELAPSED TIMES ARE IN MINUTES)	RUN 1	2:44	5:51	1:40
	ELAPSED TIME:	3:37	8:01	2:20
	RUN 2	3:56	9:35	3:10
	ELAPSED TIME:	4:04	1:43	3:10
	RUN 3	4:04	12:19	8:10
	ELAPSED TIME:	4:04	12:19	8:10
	STABILIZED RATE:	4:04	12:19	3:10

PERCOLATION TESTING RESULTS

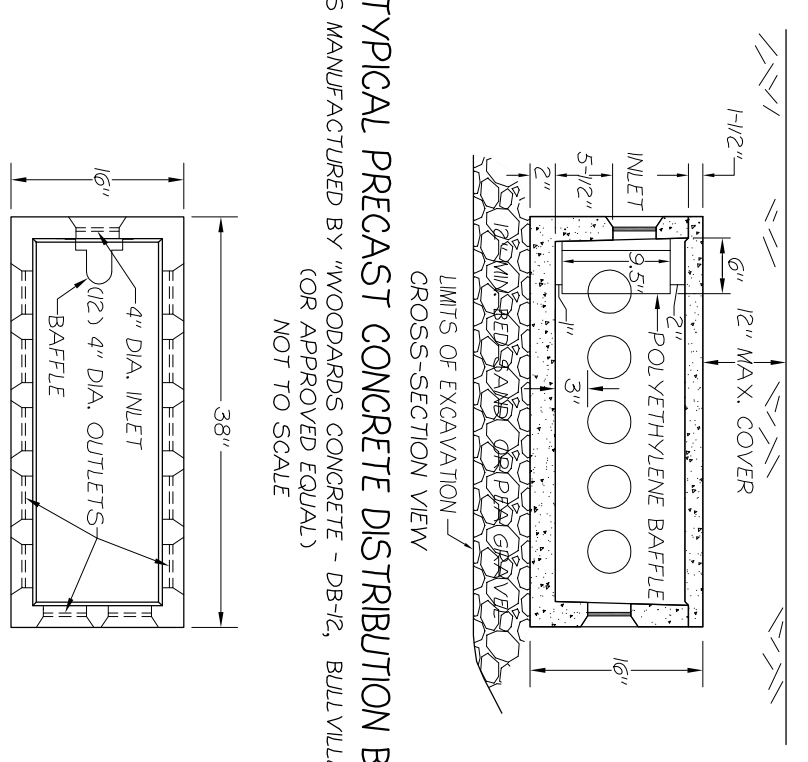


TYPICAL PRECAST CONCRETE SEPTIC TANK
AS MANUFACTURED BY WOODWARDS CONCRETE PRODUCTS, INC., BILLYVILLE, NY.
MODEL ST-4250
(OR APPROVED EQUAL)

CONCRETE MANUFACTURED BY WOODWARDS CONCRETE PRODUCTS, INC., BILLYVILLE, NY. MODEL ST-4250 (OR APPROVED EQUAL).
TYPICAL PRECAST CONCRETE SEPTIC TANK
AS MANUFACTURED BY WOODWARDS CONCRETE PRODUCTS, INC., BILLYVILLE, NY.
MODEL ST-4250 (OR APPROVED EQUAL)

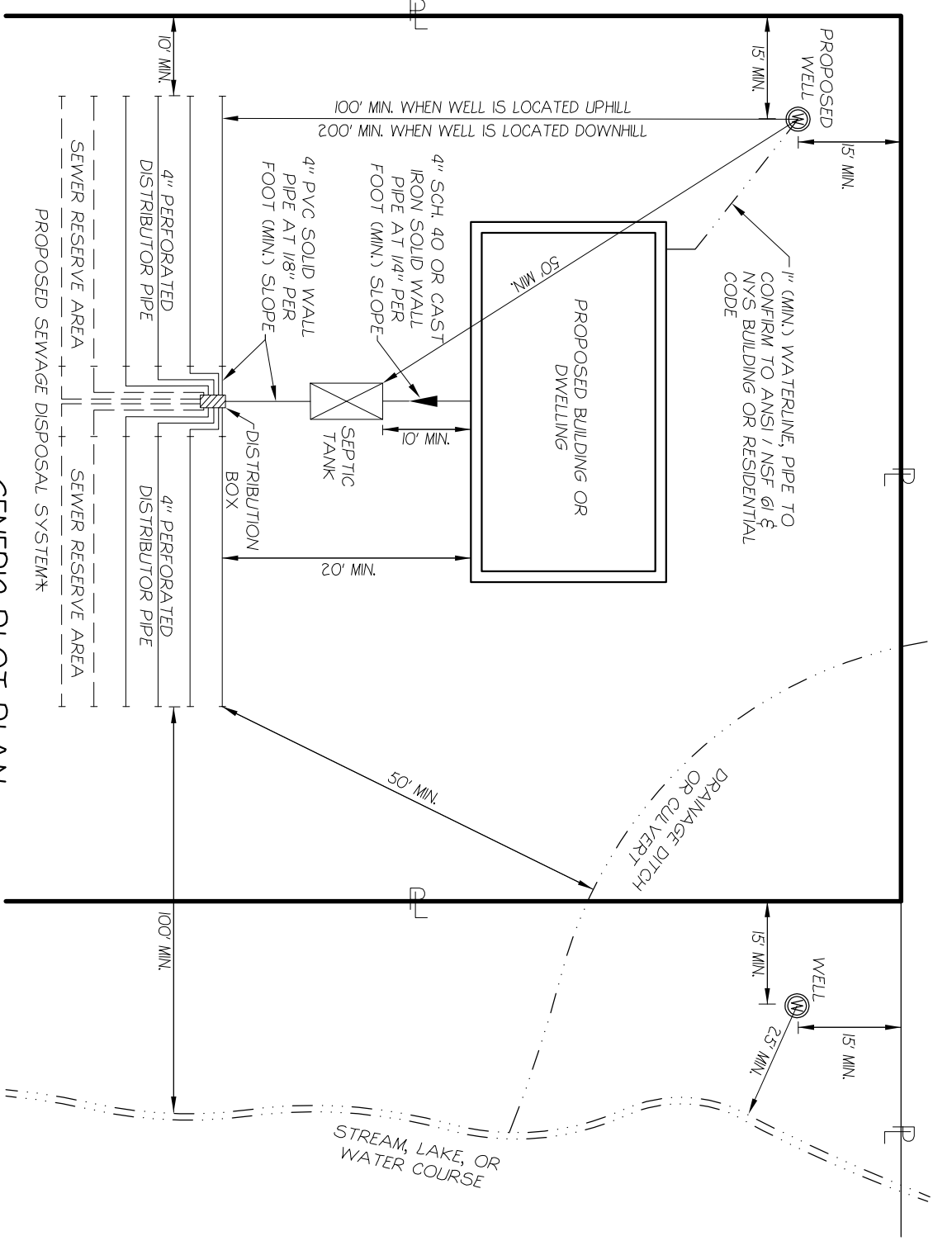


TYPICAL PRECAST CONCRETE SEPTIC TANK
AS MANUFACTURED BY WOODWARDS CONCRETE PRODUCTS, INC., BILLYVILLE, NY.
MODEL ST-4250 (OR APPROVED EQUAL)



TYPICAL PRECAST CONCRETE DISTRIBUTION BOX
AS MANUFACTURED BY WOODWARDS CONCRETE - DB-42, BILLYVILLE, NY.
(OR APPROVED EQUAL)

DISTRIBUTION BOX NOTES:
1) LEAVING THE DISTRIBUTION BOX SHALL BE LAD AT IDENTICAL SLOPE. FLOW EQUALIZERS SHALL BE USED TO ASSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENTS IS RECOMMENDED.
2) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
3) FLOW EQUALIZERS MUST BE USED (SEE GENERAL NOTE 1).
4) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
5) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

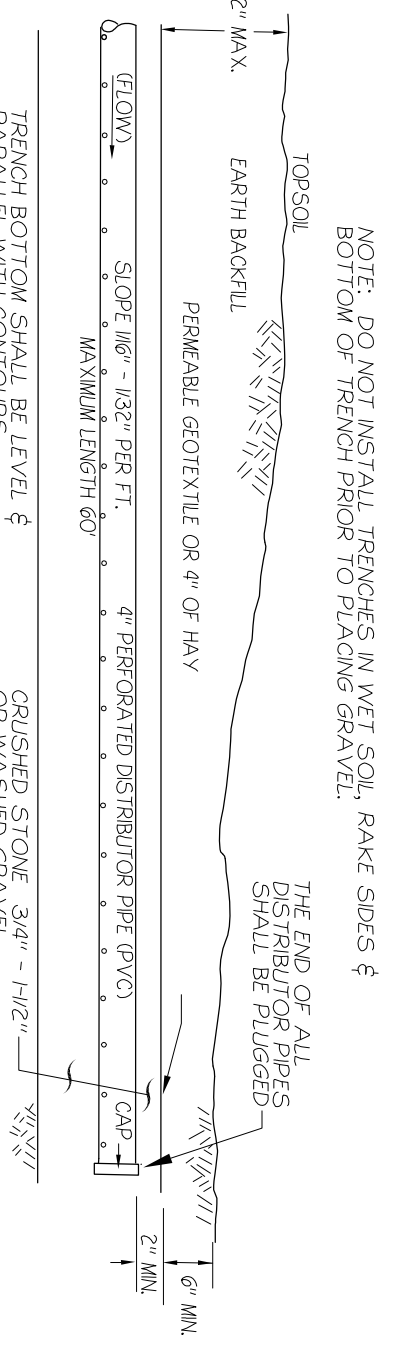


GENERIC PLOT PLAN

* THE GENERIC PLOT PLAN IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEMS SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS AND NOTES ON THIS SHEET.

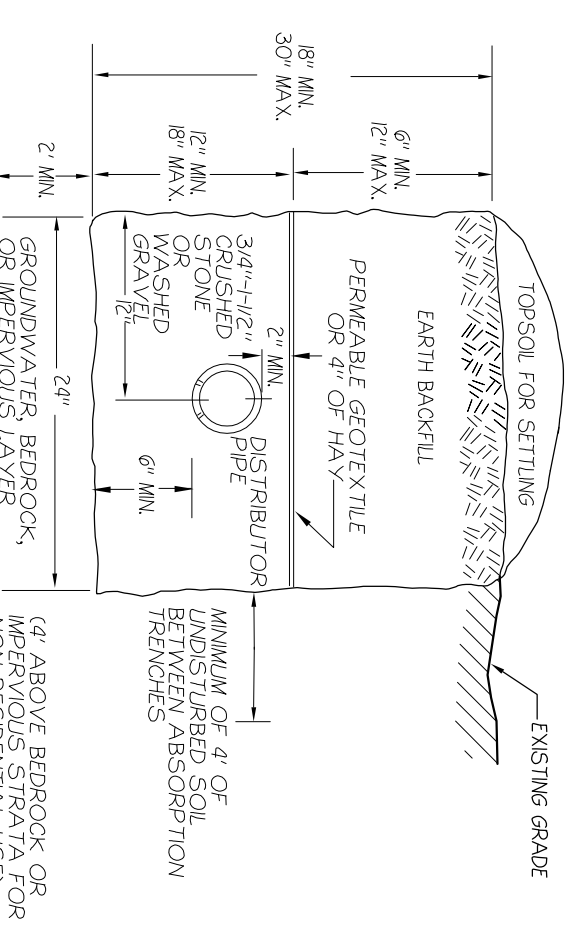
- NOTES:**
- 1) PRE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 - 2) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LANTHORN.
 - 3) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
 - 4) NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
 - 5) ALL DISTRIBUTOR LINES (PERICOATED) SHALL BE OF EQUAL LENGTH (60' MAX.).
 - 6) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VEGEN SOIL LAYER.
 - 7) MAXIMUM GROUND SLOPE OF THE FIELD AREA SHALL NOT EXCEED 15%.
 - 8) NO BASEMENT FINISHES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
 - 9) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SEWER RESERVE OR BROOK, WASH OR ANY OTHER BODY OF WATER.
 - 10) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
 - 11) SPEED LEVATORS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 0.5% AND ARE RECOMMENDED FOR ALL SYSTEMS.
 - 12) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED. AS TO ALLOW SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
 - 13) HOUSE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE Laid ON SUITABLY COMPACTED EARTH OR VEGEN SOIL WITH THE FIRST WATER TIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE.

ABSORPTION TRENCH DETAIL
TRENCH PROFILE



ABSORPTION TRENCH DETAIL
TRENCH PROFILE

ABSORPTION TRENCH DETAIL
CROSS-SECTIONAL VIEW

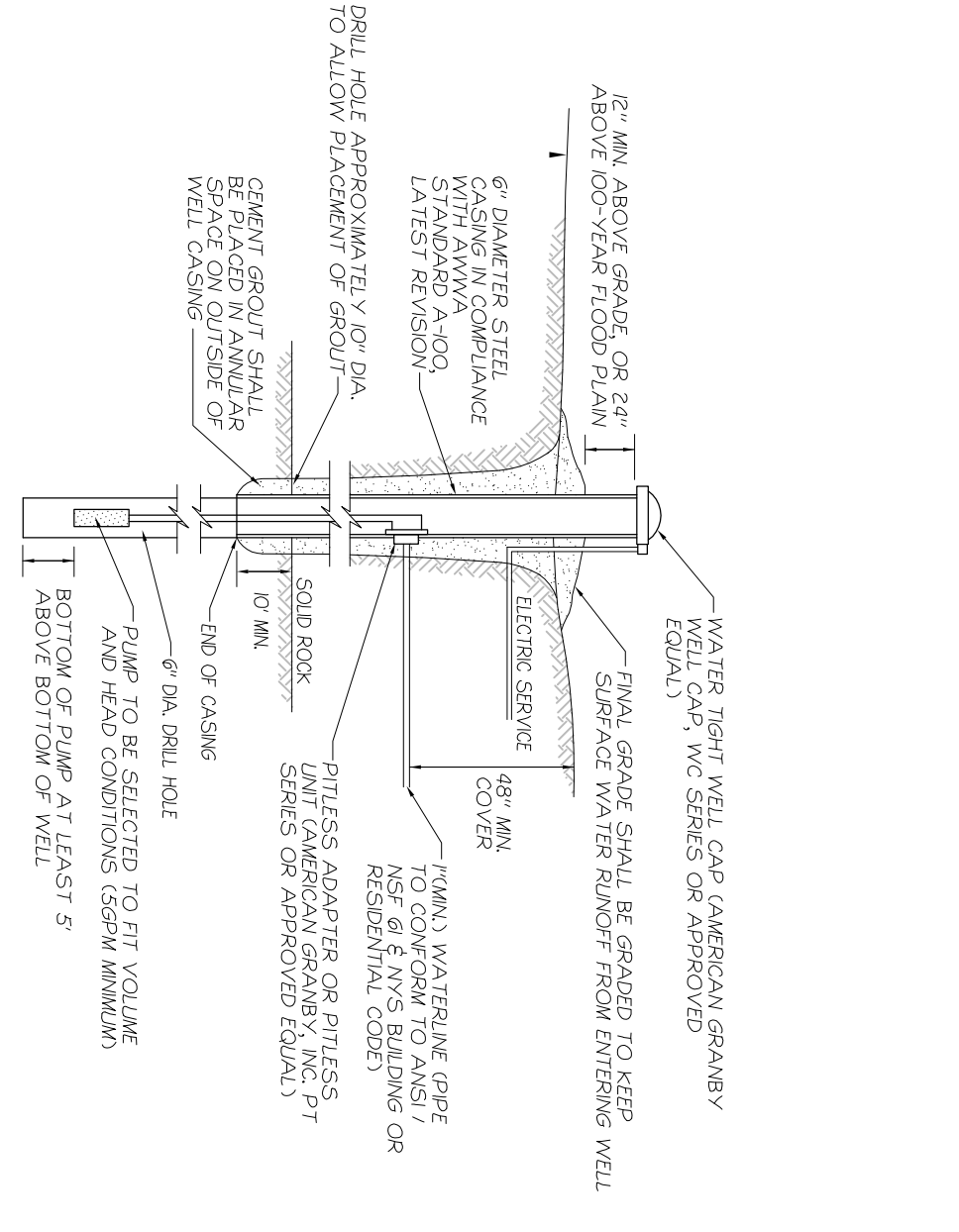


ABSORPTION TRENCH DETAIL
CROSS-SECTIONAL VIEW

LOT NUMBER	DESIGN STABILIZED PERCOLATION RATE (MLD)	RANGES	TYPE OF SYSTEM	DESIGN FLOW RATE (GPD)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN (ROWS & S.F.)	SEPTIC TANK SIZE (GALLONS)
2A	9000	4	A.1	440	275	275	5 ROWS @ 50 L.F.	1250
2B	9000	4	A.1	440	275	275	5 ROWS @ 50 L.F.	1250

* A.1 - ABSORPTION TRENCH SYSTEM

SEWAGE DISPOSAL SYSTEM REQUIREMENTS



WELL DETAIL

WELL NOTES:
1) ALL PIPES (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
2) THE WELL CAP MUST BE A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FLOOD ELEVATION.

FEATURES	WELL OR SUCTION LINE WATERCOURSE (B)	STREAM LAKE, OR DWELLING	PROPERTY LINE	DRAINAGE DITCH (G)
HOUSE SEWER WATER TIGHT JOINTS	50' (E)	25'	3'	0'
SEPTIC TANK	50'	50'	0'	0'
EFFLUENT LINE TO DISTRIBUTION BOX	100'	100'	0'	0'
DISTRIBUTION BOX	100' (A)	100'	0'	0'
ABSORPTION FIELD	150' (A)	100'	0'	0'
SEPPAGE PIT	50'	25'	0'	0'
DRY WELL (ROOF & FOOTING)	100' (A)	100'	0'	0'
RAISED OR MOULD SYSTEM (C)	100' (A)	100'	0'	0'

MINIMUM SEPARATION DISTANCES FROM EXISTING OR PROPOSED FEATURES

- (A) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COARSE GRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL TOE OF THE SLOPE OF THE FILL.
- (B) MEAN HIGH WATER MARK.
- (C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.
- (D) RECOMMENDED SEPARATION DISTANCES.
- (E) UNLESS CAST IRON OR PVC WITH O-RING JOINTS IS UTILIZED, THEN 25'.

Mercurio-Norton-Tarulli-Marshall
ENGINEERING - LAND SURVEYING
100 Park 166, 45 Main Street, Pine Bush, NY 12566
P: (845) 744-3620 F: (845) 744-3805 Email: nm@mercurio-norton.com

Well & Sewage Disposal System Details for Lands of Botrac Properties, LLC
situate in the Town of Newburgh Orange County, New York State
February 2013

RECORD OWNER: BOTRAC PROPERTIES, LLC, P.O. BOX 7170, NEWBURGH, NY 12550
TAX MAP REFERENCE: SECTION 1, BLOCK 1, LOT 133
DEED REFERENCE LIBER: 14250, PAGE 574
LOT #1, FILED MAP NO. 13-07

LAWRENCE MARSHALL PE 108707
MAP BY: ZAP
PROJECT: 2822-N-6 SHEET 2 OF 2