



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: BIG SHINE-WAREHOUSE EXPANSION
PROJECT NO.: 2022-05
PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 65/ 300 CORPORATE BLVD.
REVIEW DATE: 30 SEPTEMBER 2022
MEETING DATE: 6 OCTOBER 2022
PROJECT REPRESENTATIVE: FELLENER ENGINEERING

1. The applicants have identified stormwater improvements including the installation of bio-retention planters to treat runoff from the roofs.
2. Parking lot striping must be in compliance with Town of Newburgh requirements, (Copy of Standard Detail is attached).
3. The applicants representative stated the copy of the ZBA Approval was attached, no copy of the ZBA Approval was noted in the re-submission packet.
4. County Planning submission is required, as project is located within 500 feet of a State Highway.
5. Impacts to Bat Species have been addressed with tree clearing notes. It is unclear if impacts to the endangered Bird Species have been addressed. Information from the NYSDEC should be provided identifying protection of all Threatened and Endangered Species.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

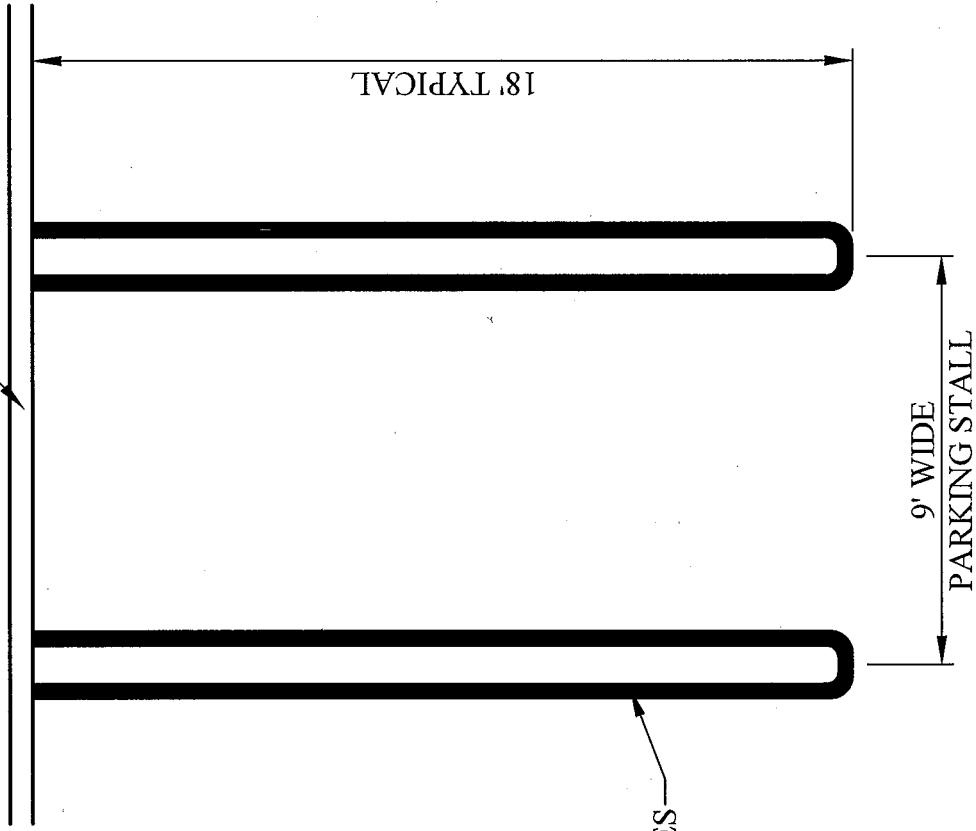
NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

CONCRETE CURB



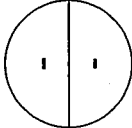
18" TYPICAL

9' WIDE
PARKING STALL

4" WHITE LINES
14" O.C. (TYP.)

TYPICAL PARKING SPACE DETAIL

SCALE: N.T.S.





Principals:

Mark D. Fellenzer, P.E., LEED AP
John D. Fellenzer, P.E., MBA, LEED Green Associate

Founder:

Archie D. Fellenzer, Jr., P.E.
(1924 - 2014)

September 26, 2022

MHE Engineering
33 Airport Center Drive, Suite 202
New Windsor, NY 12553

Attention: Mr. Patrick Hines

Subject: Big Shine Warehouse Expansion, 22-05
300 Corporate Blvd., SBL: 95-1-65
Fellenzer Engineering Project 21-383

Dear Mr. Hines,

Please find attached revised site plan in regards to the above referenced project. This correspondence is being submitted as per the written comments received by your office, dated February 25, 2022. Our responses to your comments are as follows:

1. The project proposes a 9,820 square foot addition to an existing 20,940 square foot structure for a total building size of 30,760 square feet.

FE Response: No Comment

2. The project is located within the City of Newburgh's Washington lake Watershed. The policy of the Town Planning Board is to require additional stormwater quality treatment within the watershed. The original Stormwater Management Facilities design for the Corporate Boulevard subdivision were designed for the complete build out of the project, however water quality control was not required at that time. It is requested the applicant's representative evaluate the inclusion of green infrastructure water quality improvements on the project site.

FE Response: Green infrastructure was evaluated and included for water quality improvements on the site. Runoff generated from the roof of the addition will be collected and sent to bioretention planters along the edge of the building to clean and treat the water before being discharged to existing conveyance structures. Refer to the stormwater plan and details sheets for additional information.

BIG SHINE LED SITE PLAN
FE Project 21-383

3. The EAF identifies potential habitat for two Threatened and Endangered Species. Evaluation of impacts of these species should be provided and submitted to the NYSDEC for review.

FE Response: The project has been submitted to the NYSDEC regarding potential impacts to threatened or endangered species. The Upland Sandpiper and Indiana Bat may occur in the project vicinity, so proposed mitigation will include limiting disturbance to grassed areas of the site and also limiting tree clearing between March 31st and November 1st. See attached letter from the NYSDEC.

4. A City of Newburgh Flow Acceptance letter is required for the increased hydraulic loading from the site. The applicant's representative should identify the increased hydraulic loading in a narrative letter which the Town will forward to the City of Newburgh for flow acceptance.

FE Response: The proposed project does not currently intend to increase the hydraulic loading of the sanitary system with the building addition. The addition will be used for additional storage space with no plans for more employees or domestic water usage.

5. It is noted the survey map submitted as C-001 is a photo copy of a 2016 survey. Copies of the Survey Map should be submitted.

FE Response: The site survey has been submitted as its own sheet.

6. Site Development details including any water, sewer drainage as well as pavement details, parking lot striping, etc. should be submitted with future plans.

FE Response: See sheets C-901 thru C903 for details applicable to the site plan including pavement, parking striping, stormwater and erosion and sediment control details.

7. An Adjoiners Notice in compliance with Town of Newburgh requirements must be sent to all properties within 500 feet.

FE Response: An Adjoiners Notice will be sent out to all property owners within 500 feet once received by the Planning Board.

8. The existing warehouse structure appears to be located within 500 feet of NYS Route 17K in the IB Zone. Use Group D #9 identifies "warehouse storage and transportation facilities including trucking and bus terminals not within 500 feet of Route 17K". The project loses its pre-existing grandfathered zoning protection upon application for an Amended Site Plan. Referral to the Zoning Board of Appeals appears to be required for the Amended Site Plan.

FE Response: The project has been seen before the Zoning Board of Appeals and has been granted a variance to allow, "warehouse storage and transportation facilities including trucking and bus terminals not within 500 feet of Route 17K". A copy of the approved meeting minutes is attached for reference.

BIG SHINE LED SITE PLAN
FE Project 21-383

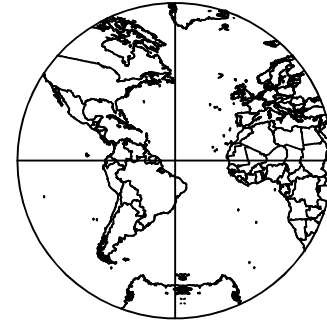
We look forward to discussing the application with you at the next available Planning Board meeting
Sincerely,

A handwritten signature in black ink, appearing to read "R. Fellenzer". The signature is stylized with a large, looped initial "R" and a cursive "Fellenzer" following it.

Ryan D. Fellenzer, PE
Project Engineer

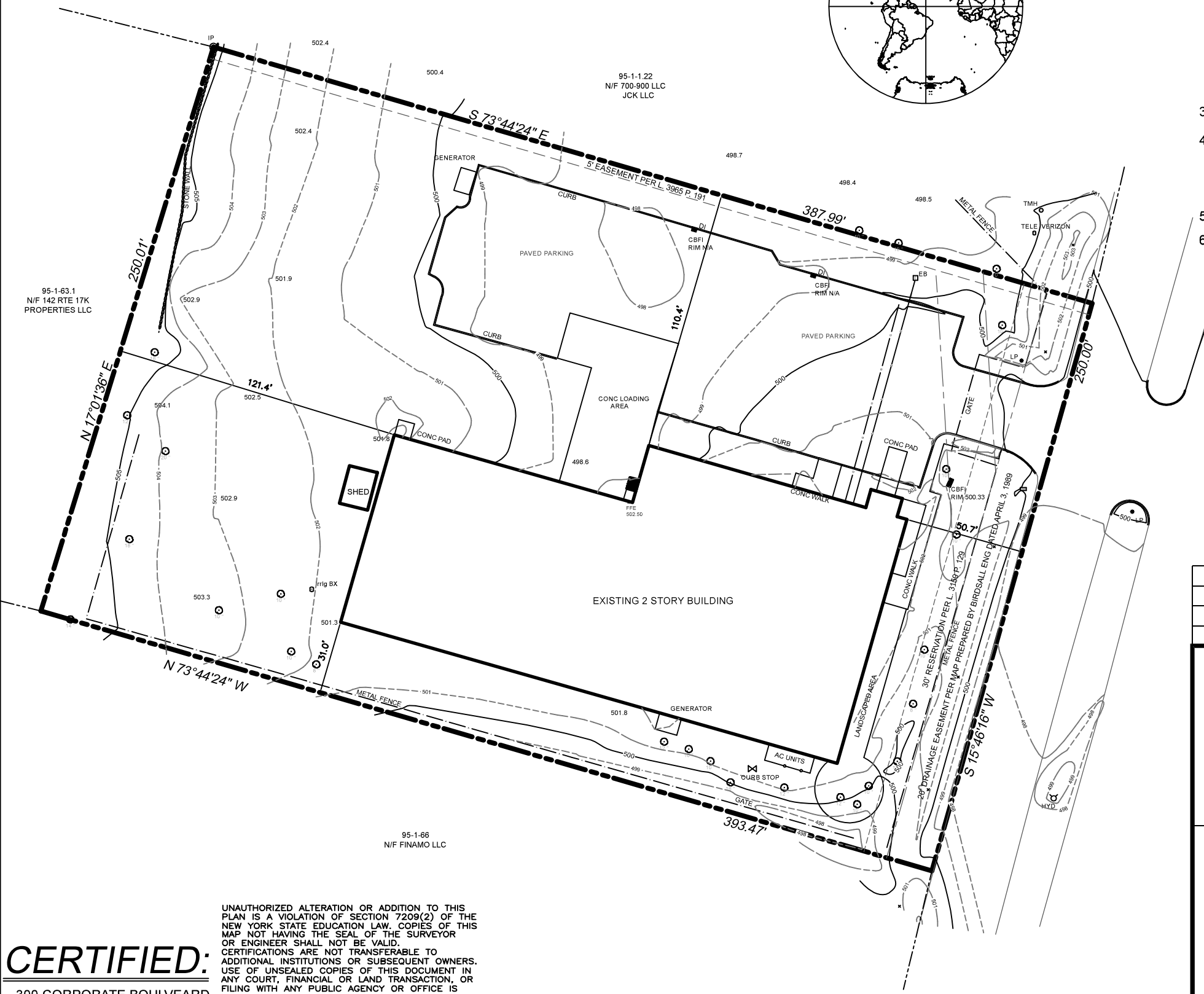
attachment

N



NOTES:

1. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS/HER EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
2. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. REFERENCE: A MAP ENTITLED, "COMMERCIAL SUBDIVISION PLAN LANDS OF NORTHEAST BUSINESS CENTER ASSOCIATES - 52.2" AS FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON FEBRUARY 10, 1994, AS MP No. 14-94.
REFERENCE: DEED LIBER 3965 AT PAGE 191.
5. SUBJECT TO AN ACCURATE AND UP TO DATE TITLE REPORT.
6. SUBJECT TO ANY EASEMENTS OR AGREEMENTS OF RECORD, IF ANY.



AREA = 2.24 +/- ACRES

FILED MAP LOT No. 2
TAX MAP SECTION 95, BLOCK 1 LOT 65

DATE	REVISIONS DESCRIPTION	APPROVED
7/20/22	ORIGINAL PREPARATION	SPD

TITLE: SURVEY MAP OF LANDS OF:
300 CORPORATE BOULEVARD
TOWN of NEWBURGH
ORANGE COUNTY, NEW YORK



DOLSON SURVEYING SERVICES

30 TARA TERRACE
PORT JERVIS, NEW YORK 12771
PHONE: (845) 355-6032 MOBILE: (845) 551-8786

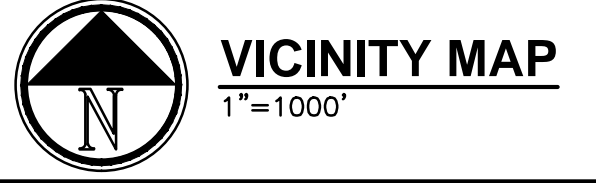
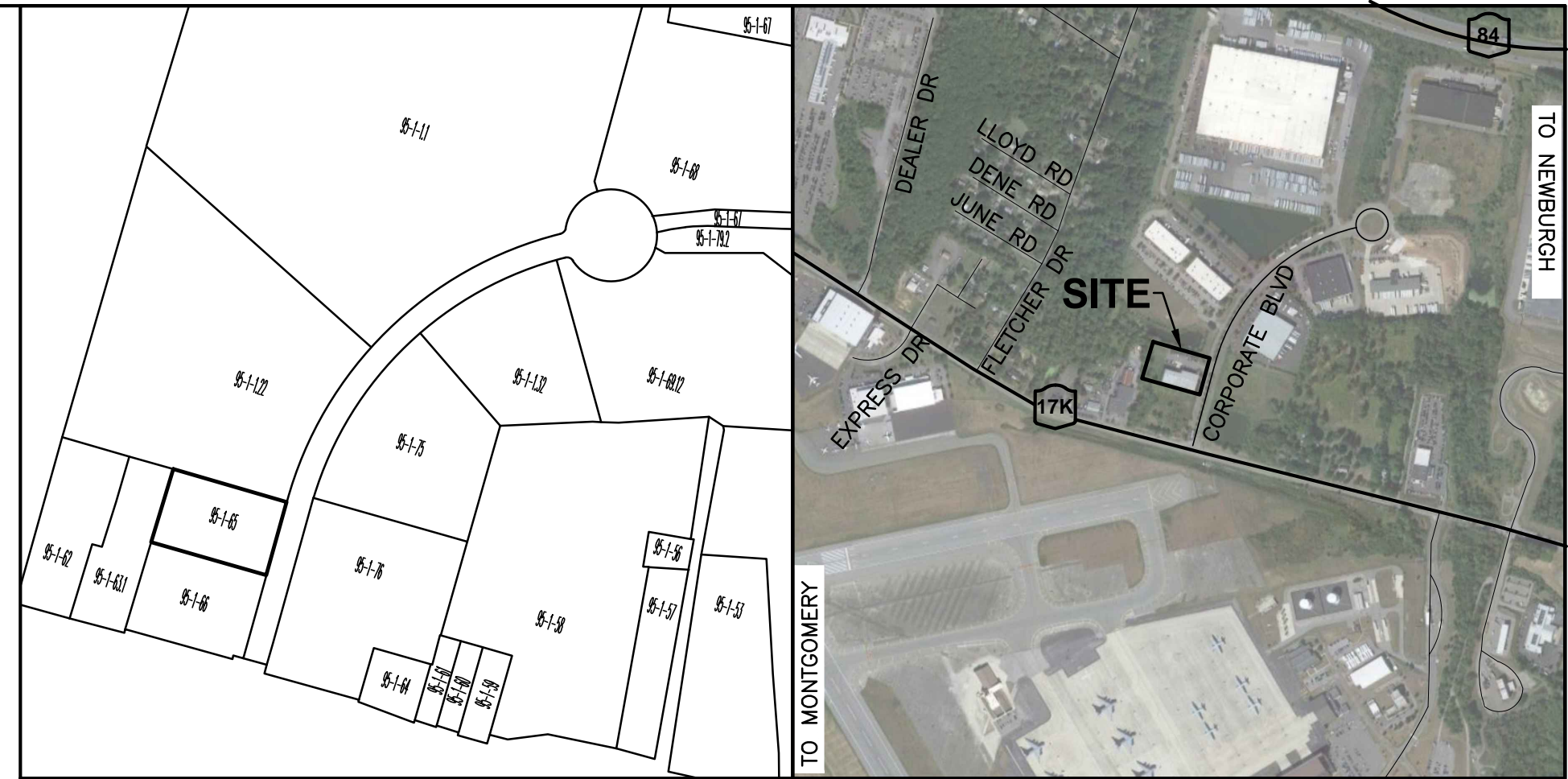
JOB NO. 22-014	DWG NO. 22-014SUR	REV 1
SCALE 1"=50'	E-MAIL DSSDOLSON@LIVE.COM	SHEET 1 OF 1

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND A VIOLATION OF FEDERAL COPYRIGHT LAWS.

CERTIFIED:

- 300 CORPORATE BOULEVARD

SITE PLAN FOR BIG SHINE WAREHOUSE EXPANSION 300 CORPORATE BLVD NEWBURGH, NY



BULK REQUIREMENTS TOWN OF NEWBURGH ZONE: IB (INTERCHANGING BUSINESS)		
BULK TABLE REQUIREMENTS		
MINIMUM REQUIRED		
BULK ITEM	REQUIRED	PROVIDED
LOT AREA (SF)	40,000	97,574
LOT WIDTH (FT)	150	245
FRONT SETBACK (FT)	50	50
REAR SETBACK (FT)	60	60
ONE SIDE YARD (FT)	30	31
BOTH SIDE YARD (FT)	80	125
LOT DEPTH (FT)	150	390
MAXIMUM PERMITTED		
BULK ITEM	PERMITTED	PROVIDED
BUILDING HEIGHT (FT)	40	≤40
LOT BUILDING COVERAGE (%)	40	31.5
LOT SURFACE COVERAGE (%)	80	64.3
PROPERTY ADDRESS 300 CORPORATE BLVD NEWBURGH, NY 12550		
TAX MAP TOWN OF NEWBURGH, NY SECTION 95, BLOCK 1, LOT 65 97,574 ± SQ.FT. / 2.24 ± ACRES		
OWNER/DEVELOPER BIG SHINE WORLDWIDE, INC. 300 CORPORATE BLVD SITE 300 NEWBURGH, NY 12550		
APPLICANT BIG SHINE WORLDWIDE, INC. 300 CORPORATE BLVD SITE 300 NEWBURGH, NY 12550		
EXISTING USE WAREHOUSE		
PROPOSED USE WAREHOUSE		
REFERENCE SURVEY PREPARED FOR 300 CORPORATE BOULEVARD PREPARED BY DOLSON SURVEYING SERVICES AND DATED 7/20/2022 SURVEY PREPARED FOR W.W. GRANGER INC. PREPARED BY VINCENT J. DOCE ASSOCIATES AND DATED 8/23/2016		

DRAWINGS LIST:

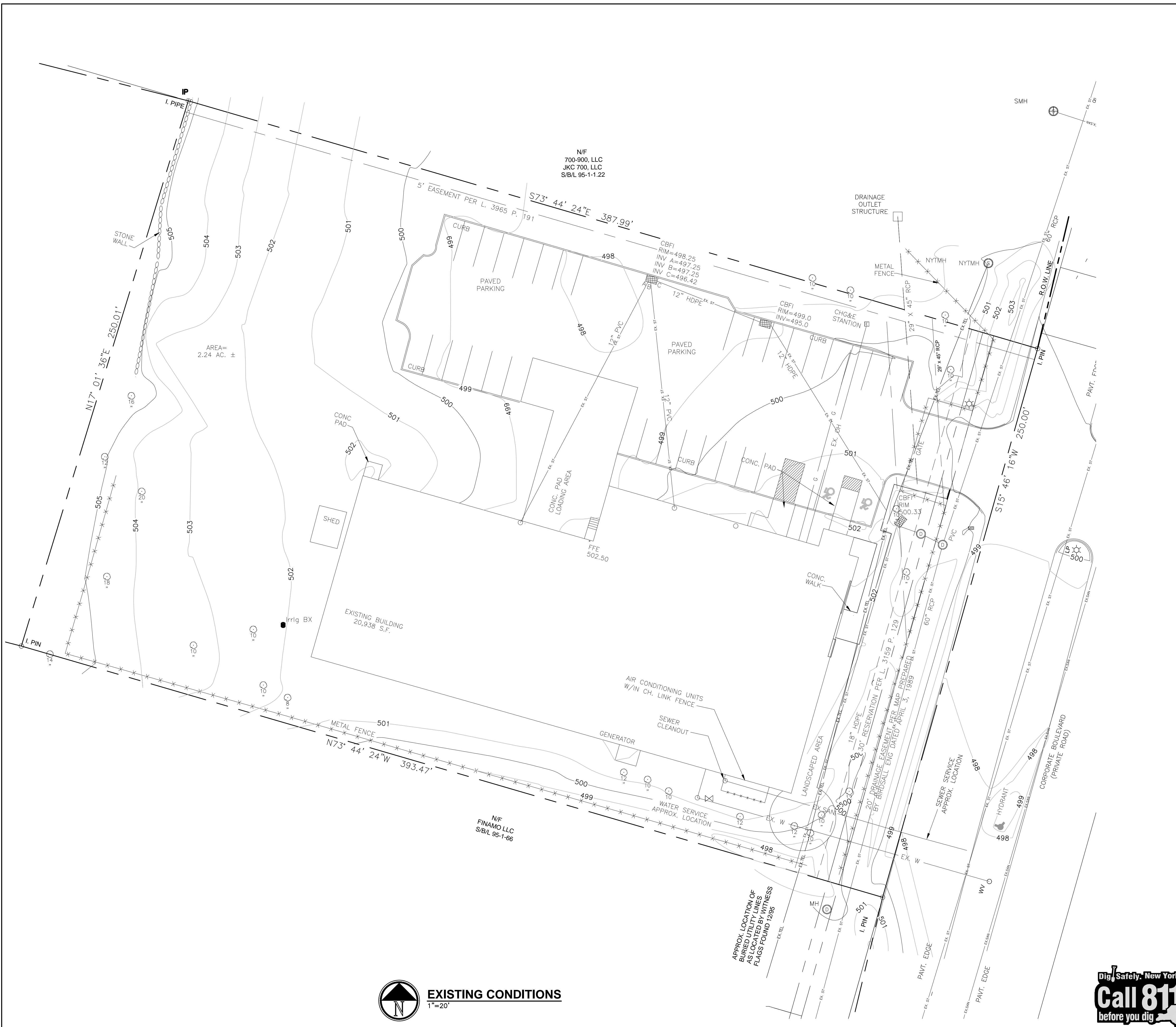
PAGE	SHEET	SHEET TITLE
1.	TS-1	TITLE SHEET
2.	C-001	EXISTING CONDITIONS
3.	C-100	EROSION AND SEDIMENT CONTROL
4.	C-101	SITE PLAN
5.	C-601	LIGHTING
6.	C-701	LANDSCAPING
7.	C-901	DETAILS
8.	C-902	DETAILS
9.	C-903	DETAILS

1	9/27/22	PER TOWN COMMENTS							
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:				
<p>REFERENCE SCALE</p>									
<small>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</small>									
<h2 style="margin: 0;">FELLENZER</h2> <p style="margin: 0;">ENGINEERING LLP www.fellp.com</p> <div style="display: flex; justify-content: space-between; font-size: small;"> <div> <p>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</p> </div> <div> <p>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</p> </div> </div>									
STAMP:		PROJECT TITLE:							
		BIG SHINE WAREHOUSE EXPANSION							
		300 CORPORATE BLVD NEWBURGH, NY 12550							
DRAWING TITLE:									
TITLE SHEET									
<small>DESIGNED BY:</small>	<small>DRAWN BY:</small>	<small>APPROVED BY P.M.:</small>	<small>APPROVED BY P.C.:</small>	<small>DRAWING #:</small>					
JB	VMB	RDF	MDF	TS-1					
<small>DATE:</small>	<small>SCALE:</small>	<small>FE PROJECT #:</small>		<small>PAGE 1 OF 9</small>					
01/18/2022	AS SHOWN	21-383							



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 Date: Tue, Sep 27, 2022 - 8:54 AM (Name: vmb)



LEGEND

- EX. W ——— EXISTING WATER LINE
- EX. TEL ——— EXISTING TELEPHONE LINE
- EX. SAN ——— EXISTING SEWER
- EX. ST ——— EXISTING STORM
- ST ——— NEW STORM
- — — — — PROPERTY LINE / RIGHT OF WAY
- □ — — — — SILT FENCE
- - - - - DEMO LINE
- × × × × × METAL FENCE
- ▭ NEW CONCRETE
- ▨ CATCH BASIN
- ▨ NEW CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE

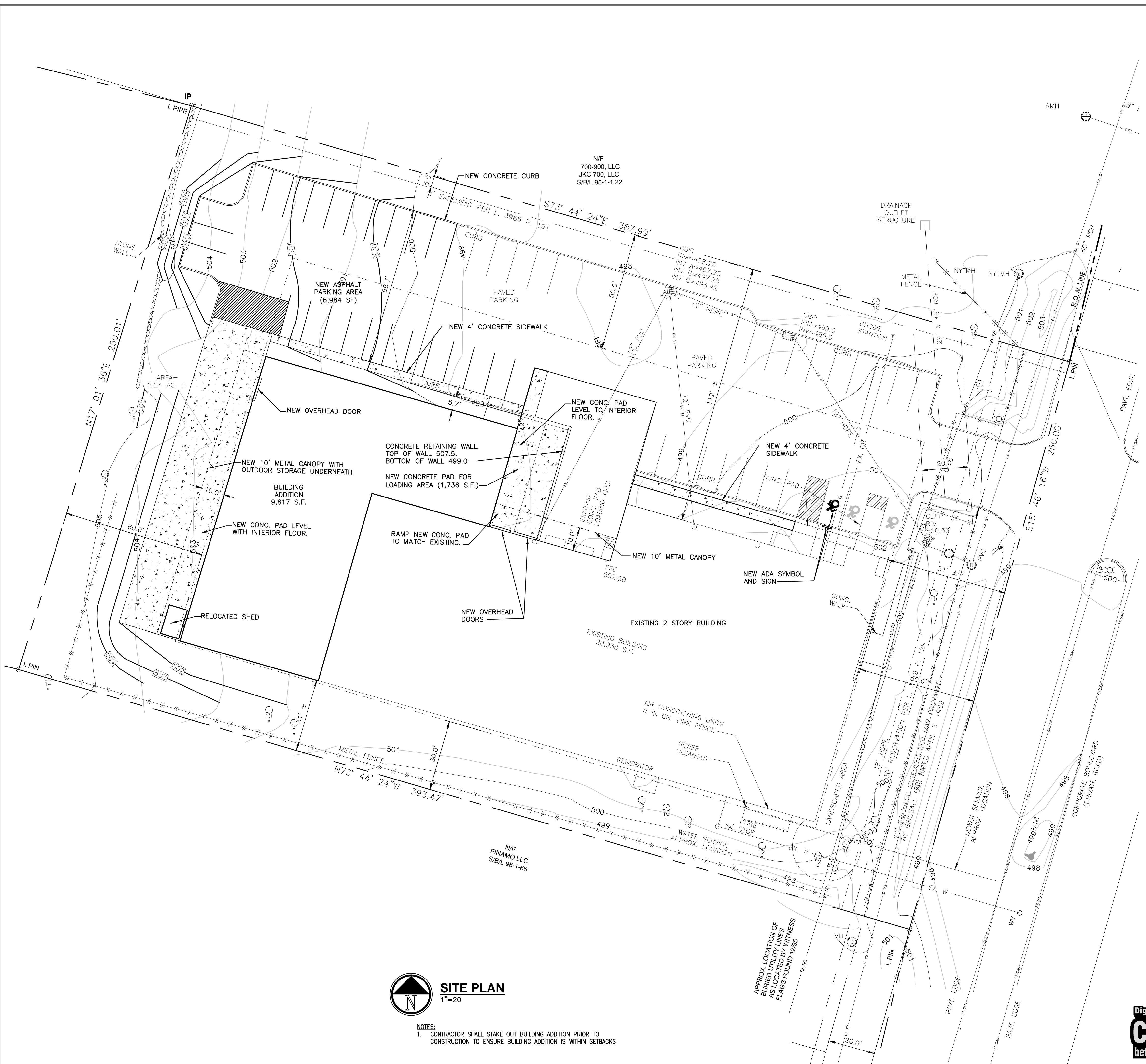


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<p>FELLENZER ENGINEERING LLP www.felip.com</p>					
22 Mulberry St., Suite 2A, Middletown, NY 10940 1 845-343-1481 fx 845-343-4986			181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735		
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DRAWING TITLE: <p style="text-align: center;">EXISTING CONDITIONS</p>					
DESIGNED BY:	DRAWN BY:	APPROVED BY P.M.:	APPROVED BY P.I.C.:	DRAWING #:	
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DATE:	SCALE:	FE PROJECT #:			
01/18/2022	AS SHOWN	21-383			
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LEGEND

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- EX.TEL ————— EXISTING TELEPHONE LINE
- EX.SAN ————— EXISTING SEWER
- EX. ST ————— EXISTING STORM
- ST ————— NEW STORM
- PROPERTY LINE / RIGHT OF WAY
- □ □ □ □ SILT FENCE
- - - - - DEMO LINE
- x x x x x METAL FENCE
- ▨ NEW CONCRETE
- ▨ NEW CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE

EXPANSION NOTES:

THE ORIGINAL SITE PLAN APPROVAL (1994): 14,723 ± S.F. + 17,136 ± S.F. FUTURE EXPANSION = 31,859 ± S.F.
 WAREHOUSE EXPANSION (2007): 6,175 ± S.F. + 14,723 S.F. EXISTING = 20,900 ± S.F.
 PROPOSED WAREHOUSE EXPANSION (2022): 20,938 ± S.F. + 9,817 ± S.F. = 30,755 ± S.F.*
 * WITHIN THE ORIGINALLY APPROVED EXPANSION FOOTPRINT

IMPERVIOUS COVERAGE CALCULATIONS:

EXISTING BUILDING = 20,938 S.F.
 PROPOSED ADDITION = 9,817 S.F.
 EXISTING IMPERVIOUS = 40,008 S.F.
 PROPOSED IMPERVIOUS = 17,599 S.F.
 TOTAL IMPERVIOUS LOT SURFACE= 57,607 S.F.
 LOT SURFACE COVERAGE= 57,607 S.F. / 97,574 S.F. = 59.0%

PARKING CALCULATIONS:

EXISTING PARKING SPACES= 33
 NEW PARKING SPACES= 17
 TOTAL PARKING SPACES= 50
 REQUIRED ADA PARKING SPACES= 3
 REQUIRED PARKING SPACES= 30 EMPLOYEES X 2 PARKING SPACES / 3 EMPLOYEES = 20*
 *OFF-STREET PARKING REQUIREMENTS PER SECTION 185-13.C(B) FOR WAREHOUSE USE



NOTES:
 1. CONTRACTOR SHALL STAKE OUT BUILDING ADDITION PRIOR TO CONSTRUCTION TO ENSURE BUILDING ADDITION IS WITHIN SETBACKS

1	9/27/22	PER TOWN COMMENTS			
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:

REFERENCE SCALE

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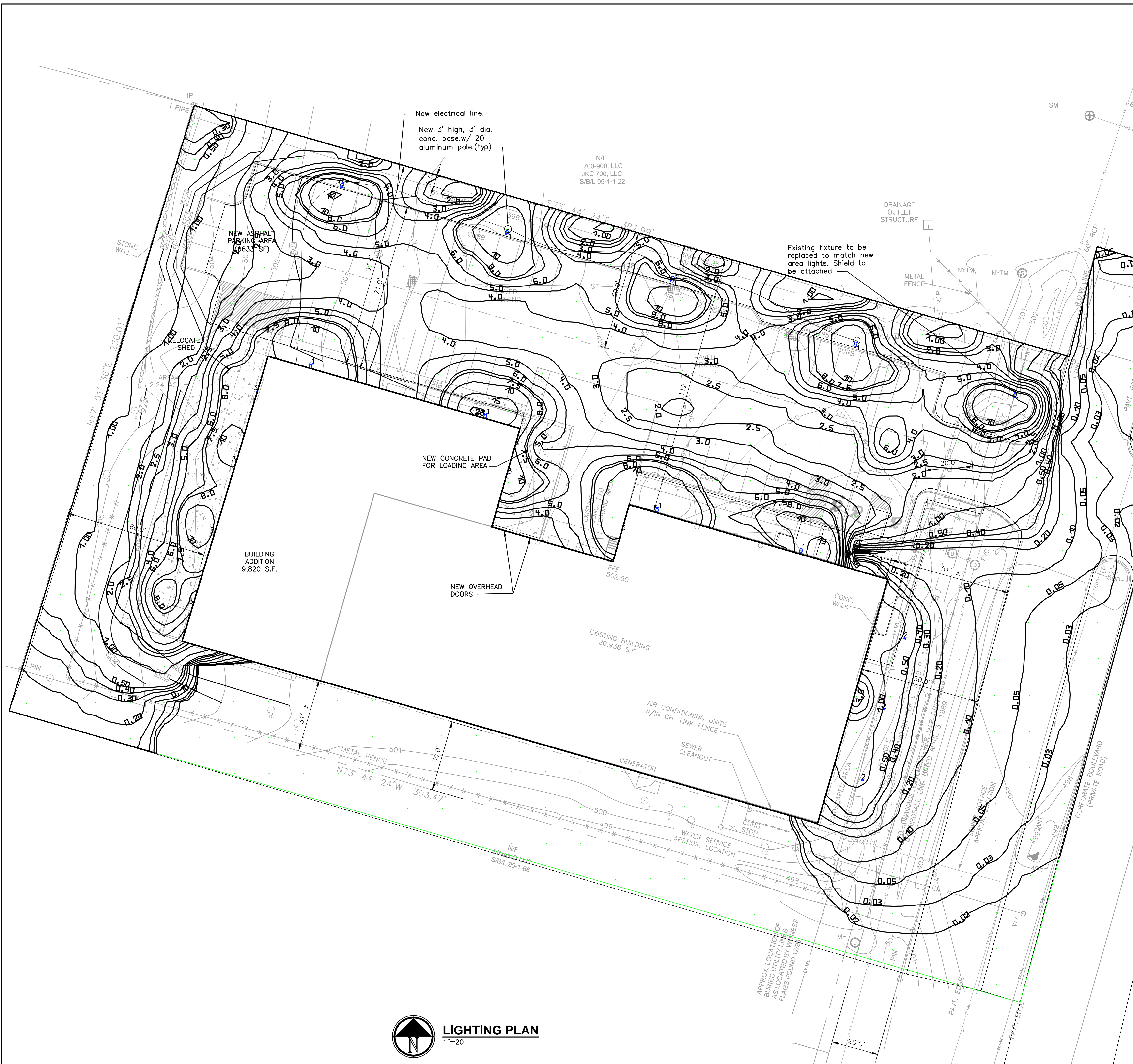
22 Mulberry St., Suite 2A, Middletown, NY 10940 1845-343-1481 fx 845-343-4986 181 Church St., Suite 100, Poughkeepsie, NY 12601 1845-454-9704 fx 855-320-8735

STAMP:		PROJECT TITLE:			
PROGRESS PRINT 9/27/22 NOT FOR CONSTRUCTION		BIG SHINE WAREHOUSE EXPANSION 300 CORPORATE BLVD NEWBURGH, NY 12550			
		DRAWING TITLE: SITE PLAN			
DESIGNED BY:	DRAWN BY:	APPROVED BY P.M.:	APPROVED BY P.C.:	DRAWING #:	
DATE:	SCALE:	FE PROJECT #:			
JB	VMB	RDF	MDF		
01/18/2022	AS SHOWN	21-383			

C-101
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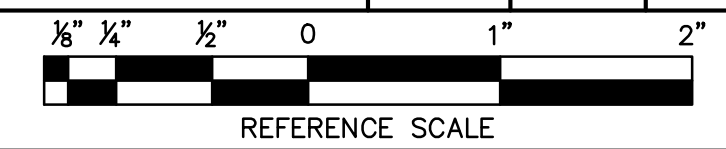
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	EX. TEL	EXISTING TELEPHONE LINE
	EX. SAN	EXISTING SEWER
	EX. ST	EXISTING STORM
	ST	NEW STORM
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		DEMO LINE
		METAL FENCE
		NEW CONCRETE
		CATCH BASIN
		NEW CATCH BASIN
	S	SEWER MANHOLE
	D	DRAINAGE MANHOLE

LEGEND AND SCHEDULE OF LIGHTING EQUIPMENT

Luminaire List						
Index	Manufacturer	Model Number	Luminous flux	Light loss factor	Connected load	Quantity
1	BIG SHINE LED	BSL-AL145G-SAX-XXLL-500 OK-TYPE IV	23367 lm	1.00	144.2 W	9
2	BIG SHINE LED	BSL-FL80-PDA-GNSL-4000 K-70	9367 lm	1.00	80.4 W	3
3	BIG SHINE LED	BSL-WP120-AJ-MWOS-500 OK-105	14275 lm	1.00	120.2 W	6

#	Name	Parameter	Min	Max	Average	Min/average	Min/max
1	Calculation surface	Perpendicular Illuminance	0.00 fc	20.7 fc	2.60 fc	0.00	0.00

1	9/27/22	PER TOWN COMMENTS			
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



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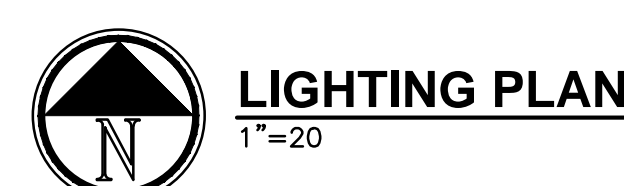
22 Mulberry St., Suite 2A, Middletown, NY 10940
 1845-343-1481 fx 845-343-4986

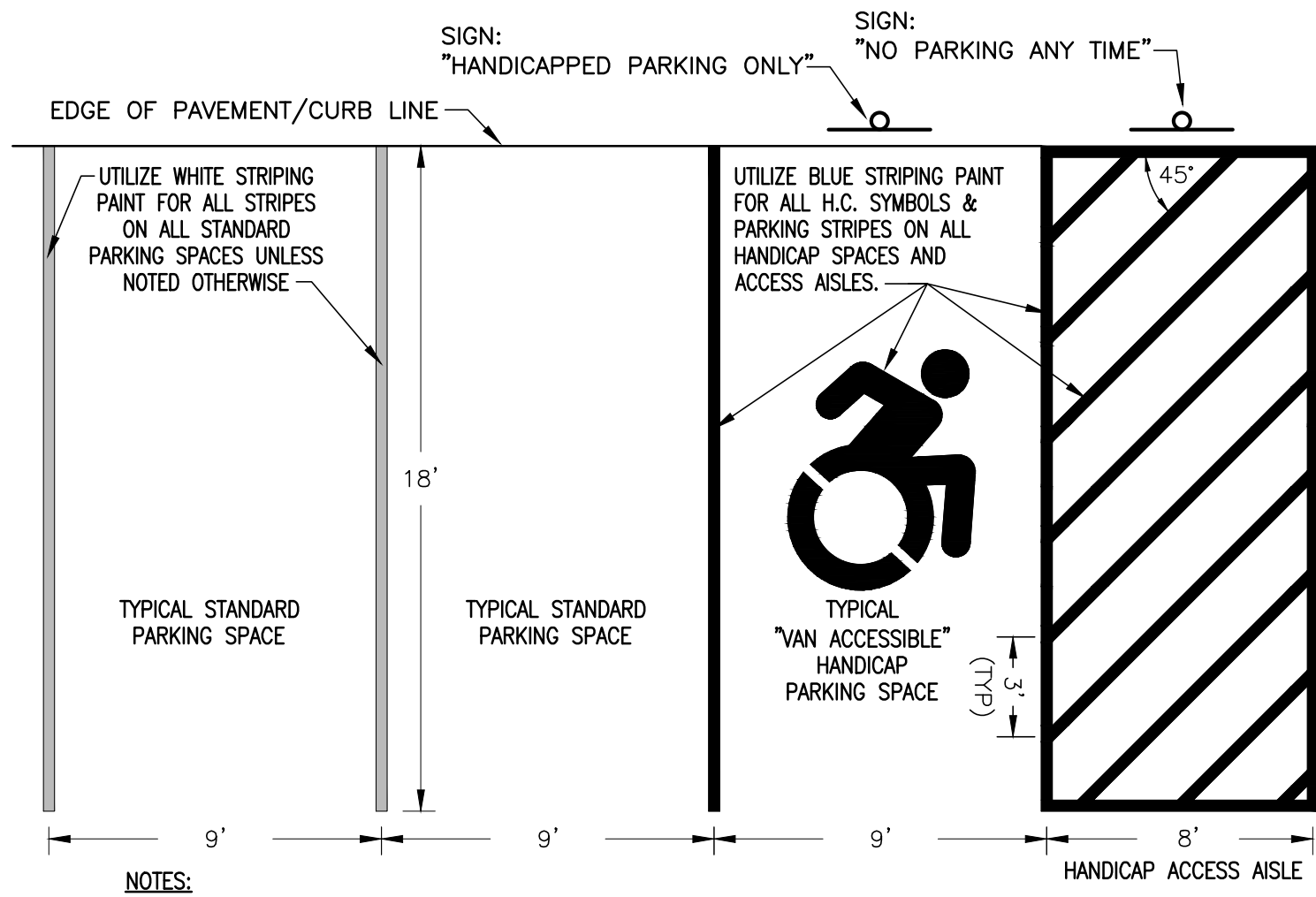
181 Church St., Suite 100, Poughkeepsie, NY 12601
 t 845-454-9704 fx 855-320-8735

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		300 CORPORATE BLVD NEWBURGH, NY 12550			
	DRAWING TITLE:	LIGHTING PLAN			
DESIGNED BY:	DRAWN BY:	APPROVED BY PIC:	APPROVED BY PIC:	DRAWING #:	
JB	VMB	RDF	MDF	C-601	
DATE:	SCALE:	FE PROJECT #:		PAGE	OF
01/18/2022	AS SHOWN	21-383		5	9



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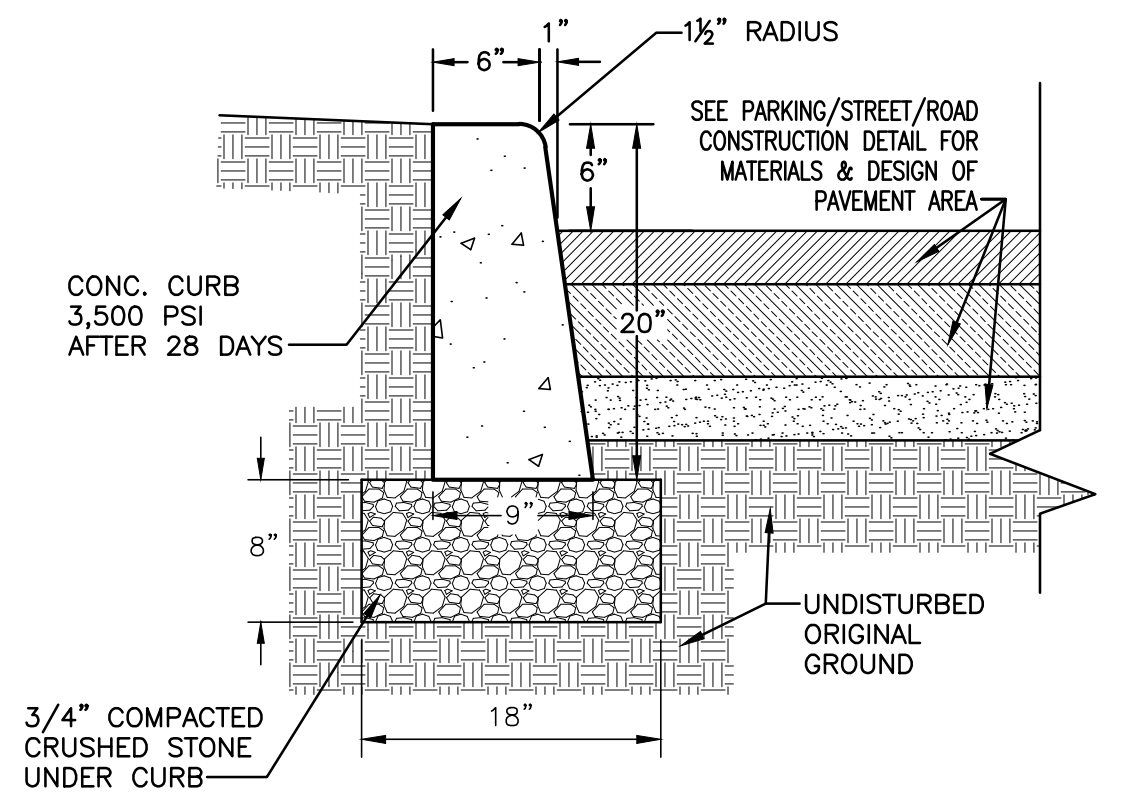
1 VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL
N.T.S.



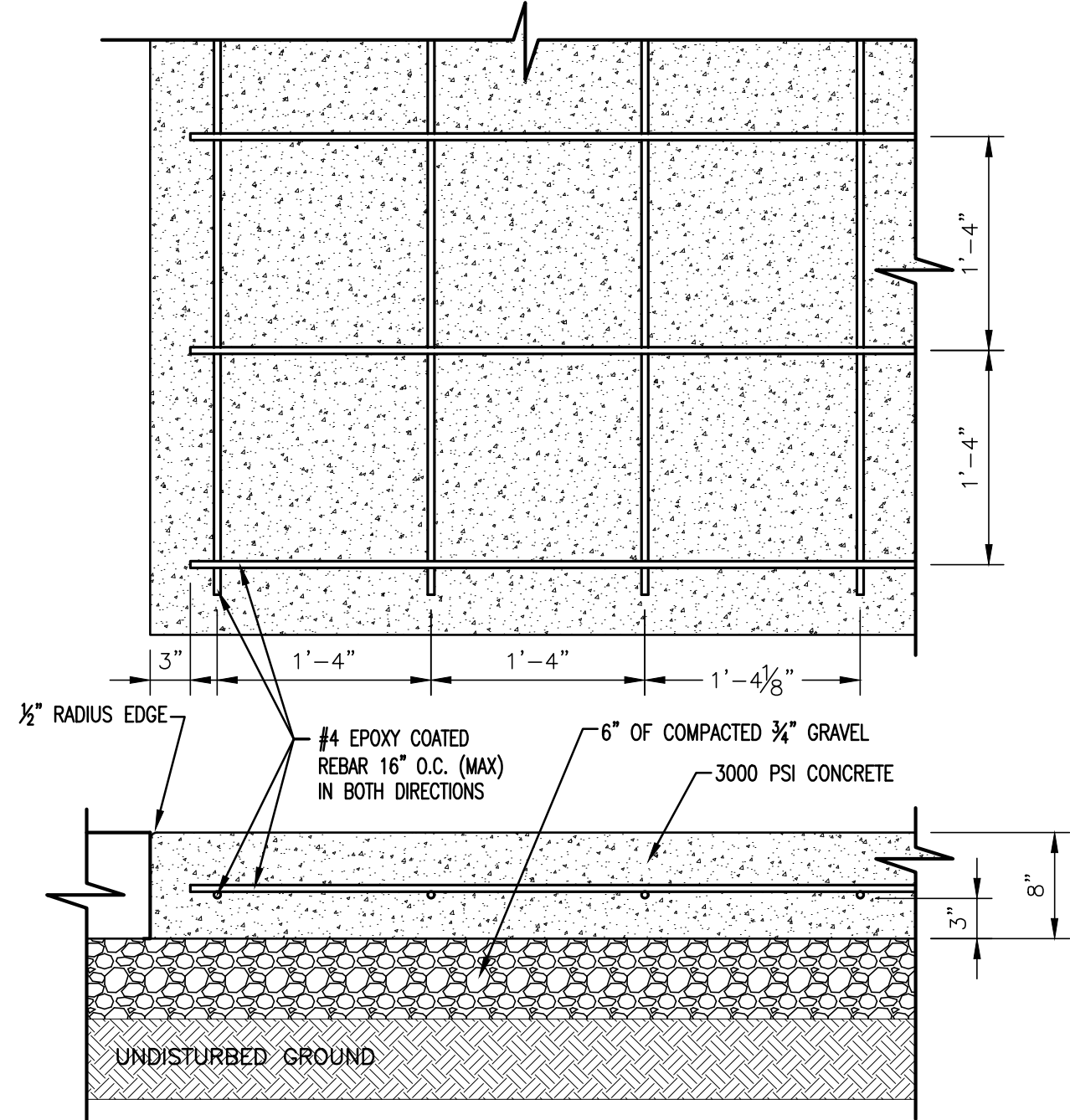
2 HANDICAP RESERVED PARKING SIGN
N.T.S.



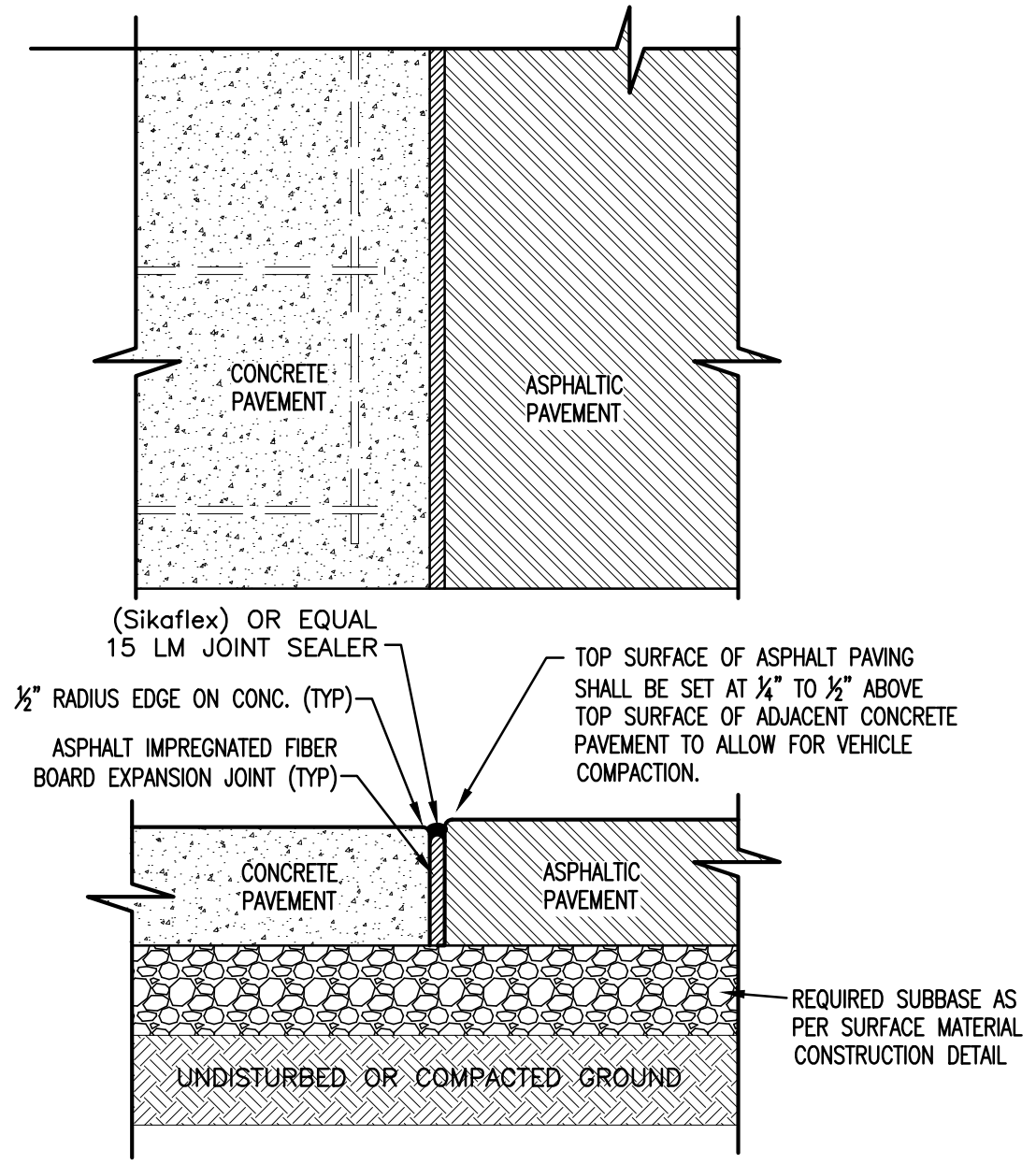
3 NO PARKING ANYTIME SIGN
N.T.S.



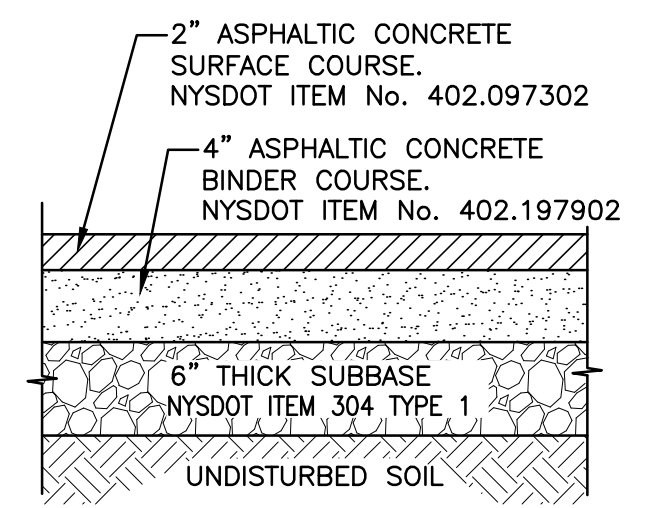
4 CONCRETE CURB DETAIL
N.T.S.



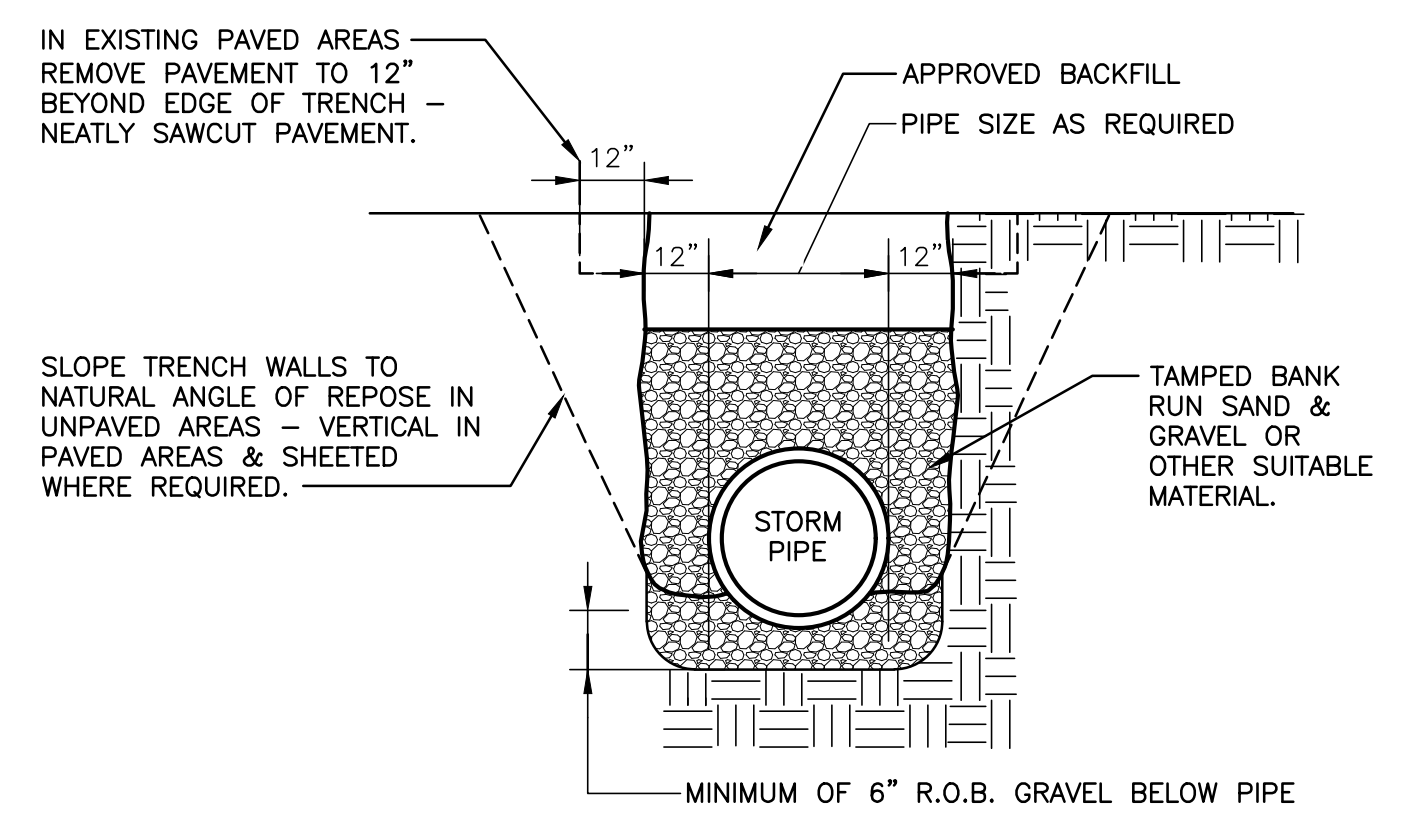
5 CONCRETE PAVEMENT DETAIL
N.T.S.



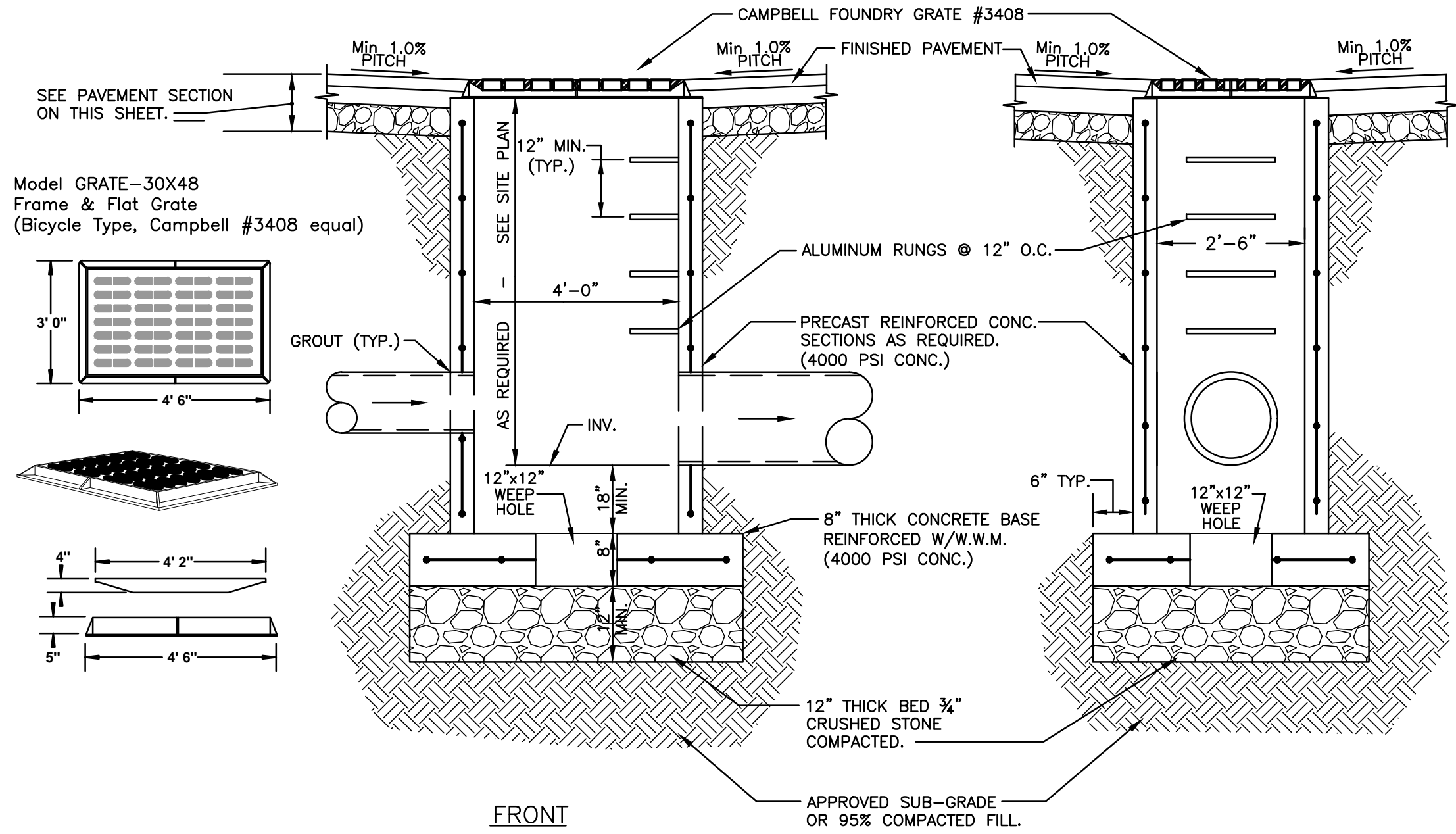
6 JOINT DETAIL CONCRETE PAVEMENT TO ASPHALT PAVEMENT
N.T.S.



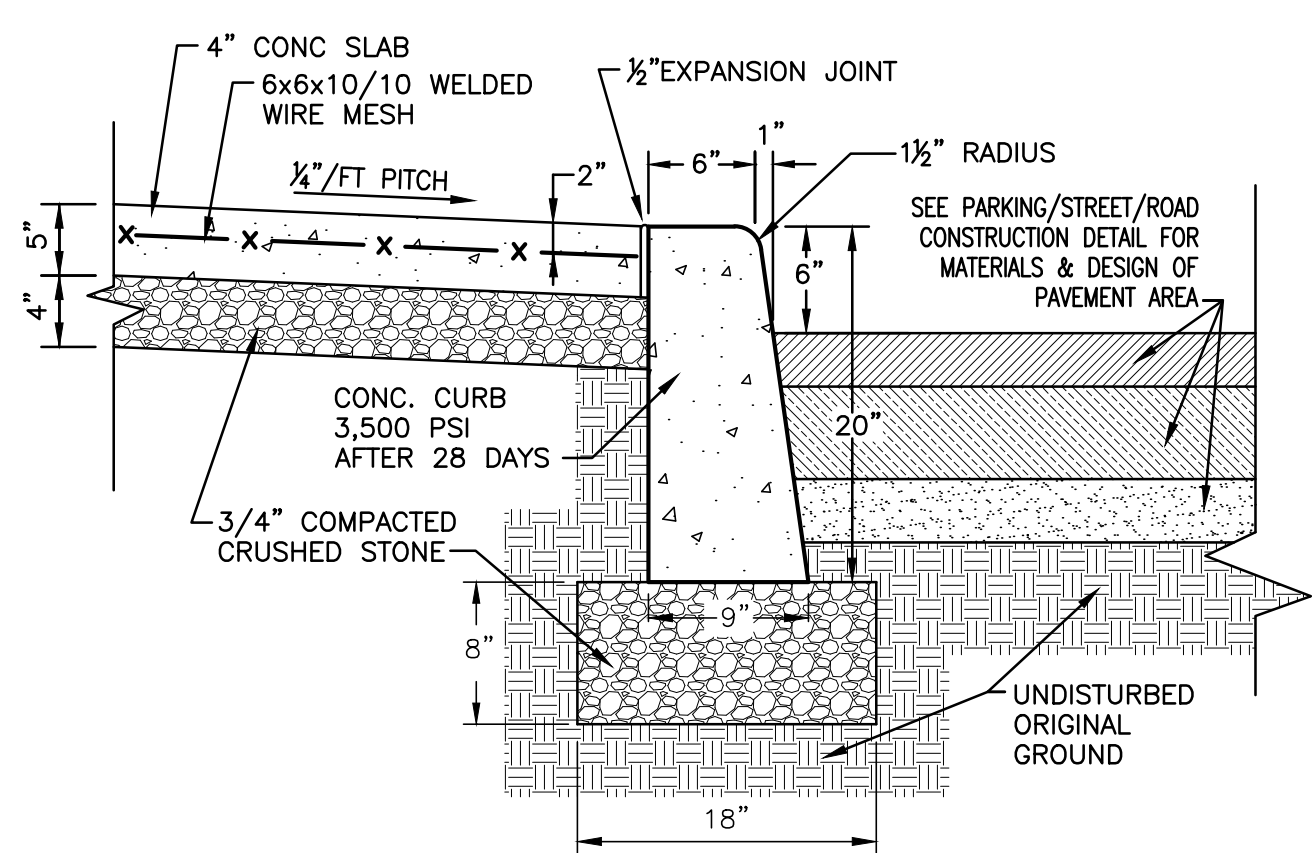
7 STANDARD DUTY ASPHALTIC PAVEMENT DETAIL
N.T.S.



8 TYPICAL TRENCH - STORM DRAINAGE
N.T.S.



9 TYPICAL YARD TYPE CATCH BASIN
N.T.S.



10 CONCRETE SIDEWALK & CURB DETAIL
N.T.S.

File Name: F:\2021\21-383_300 CORPORATE BLVD. WAREHOUSE EXPANSION\C-901 - C-903.dwg (Layout: C-901)
Date: Tue, Sep 27, 2022 - 8:54 AM (Name: vmb)

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
1	9/27/22	PER TOWN COMMENTS			

REFERENCE SCALE

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FELLENZER
 ENGINEERING LLP www.felpp.com

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 1845-343-1481 fx 845-343-4986 181 Church St., Suite 100, Poughkeepsie, NY 12601
1845-454-9704 fx 855-320-8735

STAMP: **PROGRESS PRINT 9/27/22 NOT FOR CONSTRUCTION** PROJECT TITLE: **BIG SHINE WAREHOUSE EXPANSION**
 300 CORPORATE BLVD NEWBURGH, NY 12550

DETAILS

DESIGNED BY: JB	DRAWN BY: ZR	APPROVED BY PM: RDF	APPROVED BY PIC: MDF	DRAWING #: C-901
DATE: 01/18/2022	SCALE: AS SHOWN	FE PROJECT #: 21-383	PAGE 7 OF 9	



SEED MIXTURES FOR TEMPORARY STABILIZATION
SLOPES AND BANKS (UNMOWED)

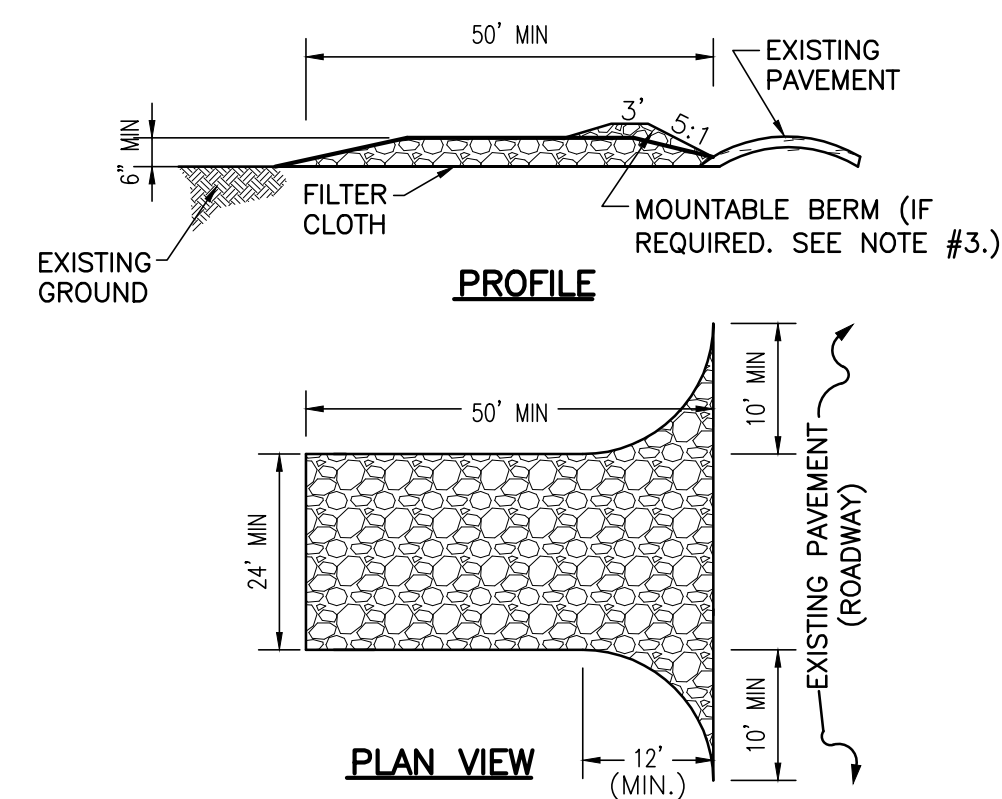
	SPECIES	LBS / ACRE
NURSE CROP	SPRING OATS(SPRING), OR	64
	ANNUAL RYEGRASS (SPRING OR FALL), OR	10
	WINTER WHEAT(FALL), OR	90
SEED MIXTURE	WINTER RYE (FALL)	56
	TALL FESCUE, OR	60
	FINE FESCUE, OR	35
	KENTUCKY BLUEGRASS, OR	25
	PLUS REDTOP 4, OR	3
	PERENNIAL RYEGRASS	15

PERMANENT STABILIZATION SEED MIXTURE

	SPECIES	LBS / ACRE
PERMANENT SEED MIXTURE	TALL FESCUE	44
	KENTUCKY BLUEGRASS	130
	PERENNIAL RYEGRASS	44

PERMANENT SEEDING SCHEDULE:

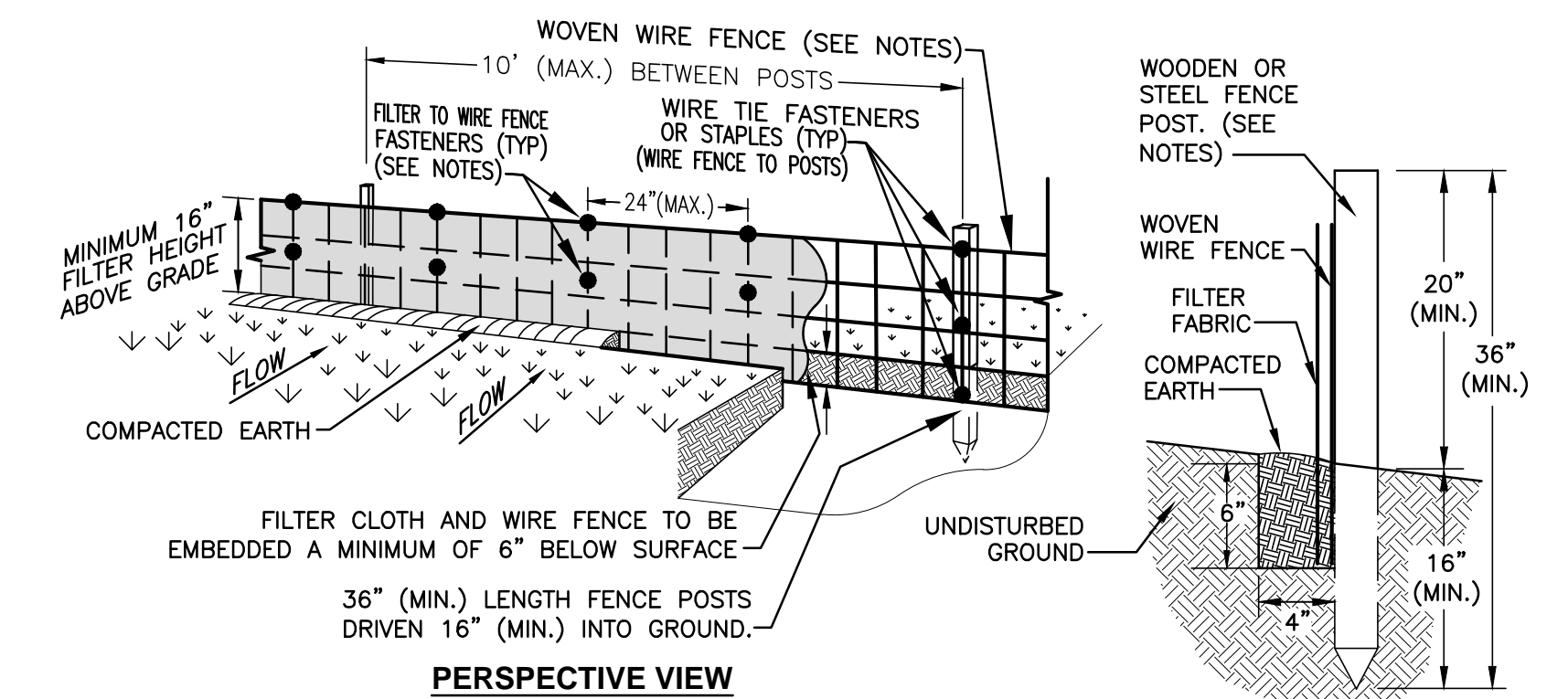
- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 10-0-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 lbs. (APPROX. 2 BALES) PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
- LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
- NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2"-2½".
- PRACTICE REGULAR MAINTENANCE & WATER REGULARLY AS CONDITIONS REQUIRE.



NOTES:

- SUBGRADE OF ENTRANCE AREA TO BE COMPACTED, AND FILTER CLOTH INSTALLED OVER THE ENTIRE STABILIZED ENTRANCE AREA PRIOR TO PLACING OF STONE. FILTER FABRIC SHALL BE TREVIRA #1127 OR APPROVED EQUAL.
- STONE SHALL BE MIN OF 6" OF 2" CRUSHED GRAVEL. USE OF A RECLAIMED OR RECYCLED CONCRETE EQUIVALENT IS ALSO ACCEPTABLE.
- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED UNDER AND ACROSS THE ENTRANCE. IF PIPING IS NOT POSSIBLE OR IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- WHEN WASHING OF VEHICLE TIRES IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- ALL INGRESS AND EGRESS POINTS TO JOB SITE SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE

1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S. FOR MULTI-RESIDENTIAL OR COMMERCIAL SITES

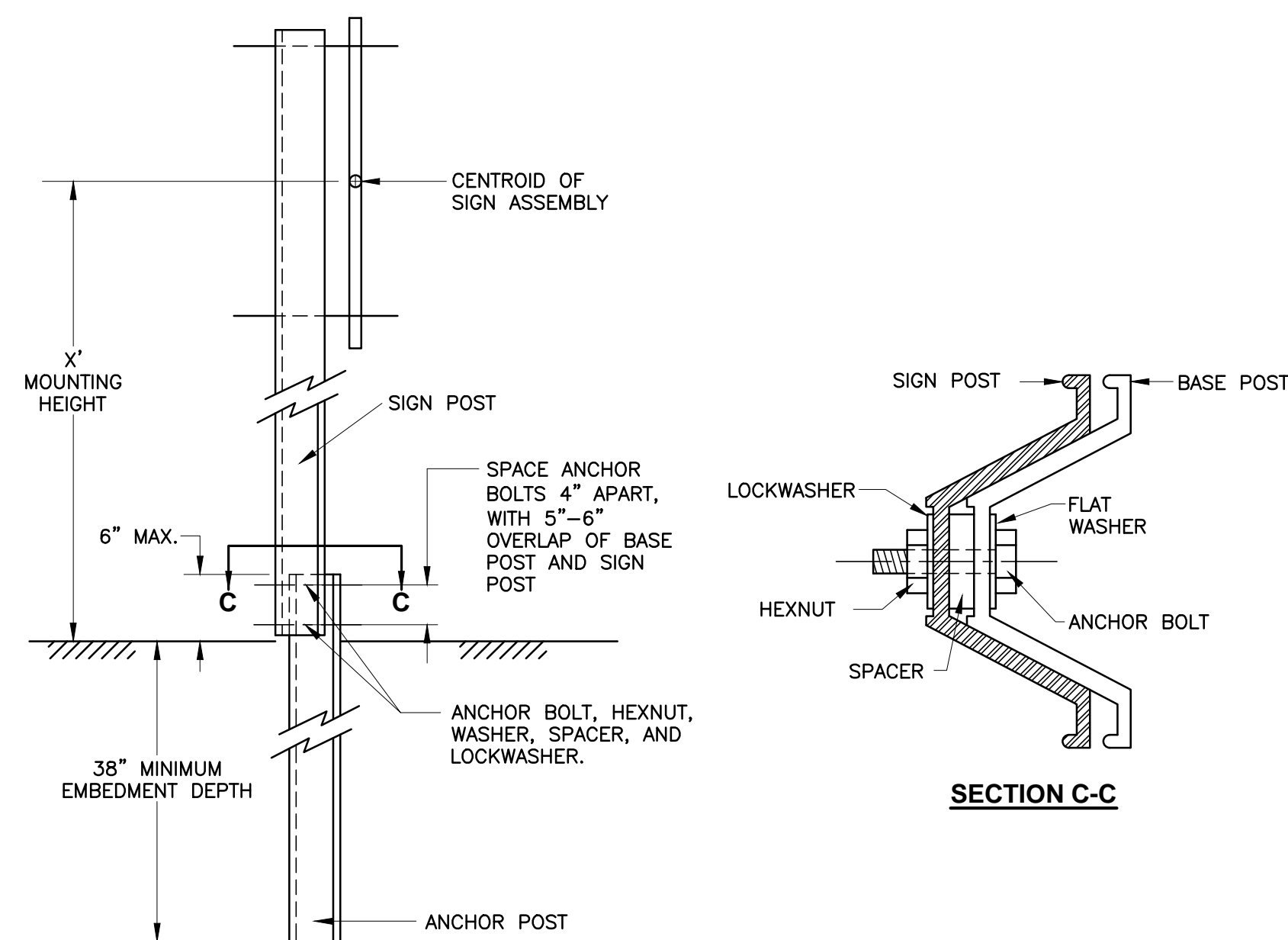


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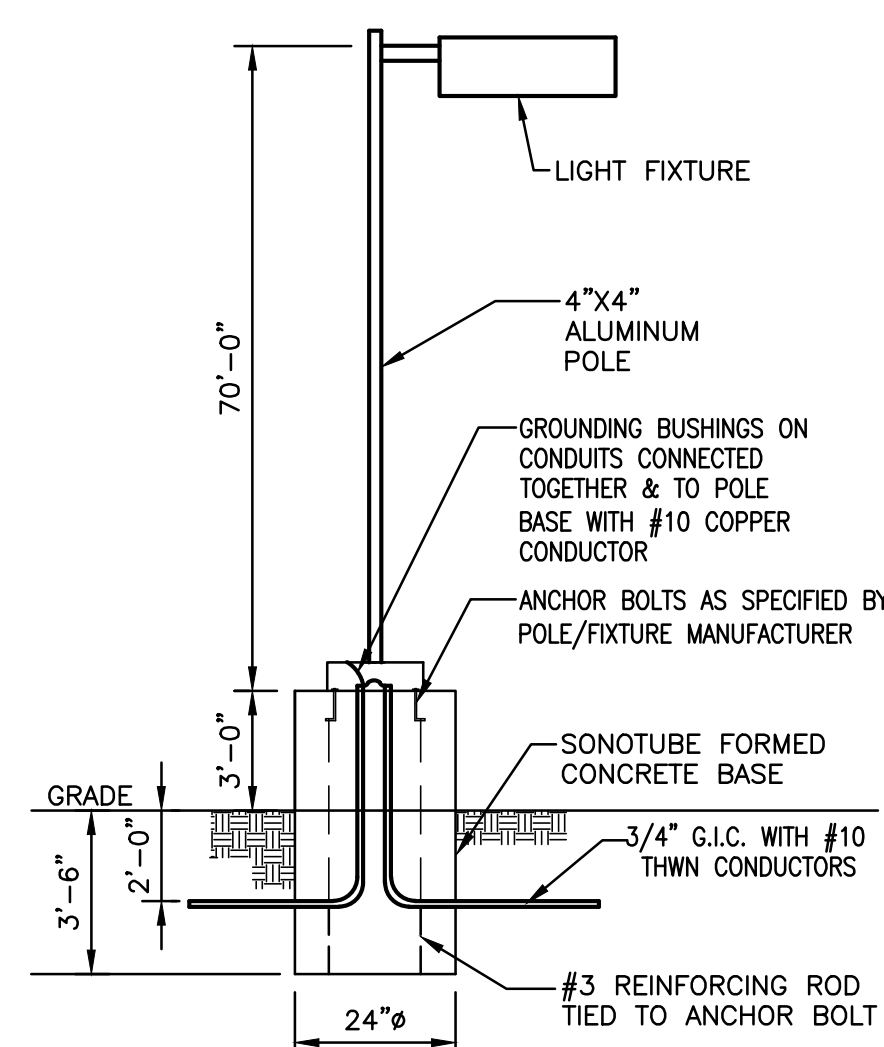
CONSTRUCTION SPECIFICATIONS:

- WOVEN WIRE FENCE SHALL BE 12 GAUGE WITH A MAXIMUM MESH OPENING OF 6", AND SHALL BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES, WIRE TIES OR NYLON "ZIP" TIES.
- FENCE POSTS SHALL BE EITHER STEEL ("I" OR "U" TYPE) OR HARDWOOD (2"x2"). POSTS SHALL BE MINIMUM 36" IN LENGTH AND INSTALLED WITH A MINIMUM 16" OF EMBEDMENT, WITH A MAXIMUM OF 10' O.C. BETWEEN POSTS.
- FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILUNKA T140N, OR AN APPROVED EQUAL, AND SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH WIRE TIES OR NYLON "ZIP" TIES SPACED EVERY 24" AT TOP AND MID SECTION OF FILTER FABRIC.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED, WITH THE OVER-LAP BEING SECURELY FASTENED TO THE WOVEN WIRE FENCE AS PER NOTE #3 ABOVE.
- AT END POSTS OF SILT FENCE, THE FILTER FABRIC SHALL BE WRAPPED AROUND THE POST AND APPROPRIATELY FASTENED AS PER NOTE #3 ABOVE.
- PREFABRICATED SILT FENCE UNITS SHALL BE GEOTAF, ENVIROFENCE, OR AN APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL (SEDIMENT) REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

2 SILT FENCE W/ WIRE REINFORCEMENT DETAIL
N.T.S.



3 BREAKAWAY STYLE SIGN POST DETAIL
N.T.S.



4 SHOE BOX LIGHT POLE DETAIL
N.T.S.

NOTE:

- LIGHT POLE AND BASE TO BE PROVIDED BY OWNER.

File Name: F:\2021\121-383_300 CORPORATE BLVD. WAREHOUSE EXPANSION\C-902.dwg (Layout: C-902)
Date: Tue, Sep 27, 2022 - 8:54 AM (Name: vmb)

1	9/27/22	PER TOWN COMMENTS			
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:

REFERENCE SCALE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER
 ENGINEERING LLP www.felip.com

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 1 845-343-1481 fx 845-343-4986 181 Church St., Suite 100, Poughkeepsie, NY 12601
t 845-454-9704 fx 855-320-8735

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 300 CORPORATE BLVD NEWBURGH, NY 12550

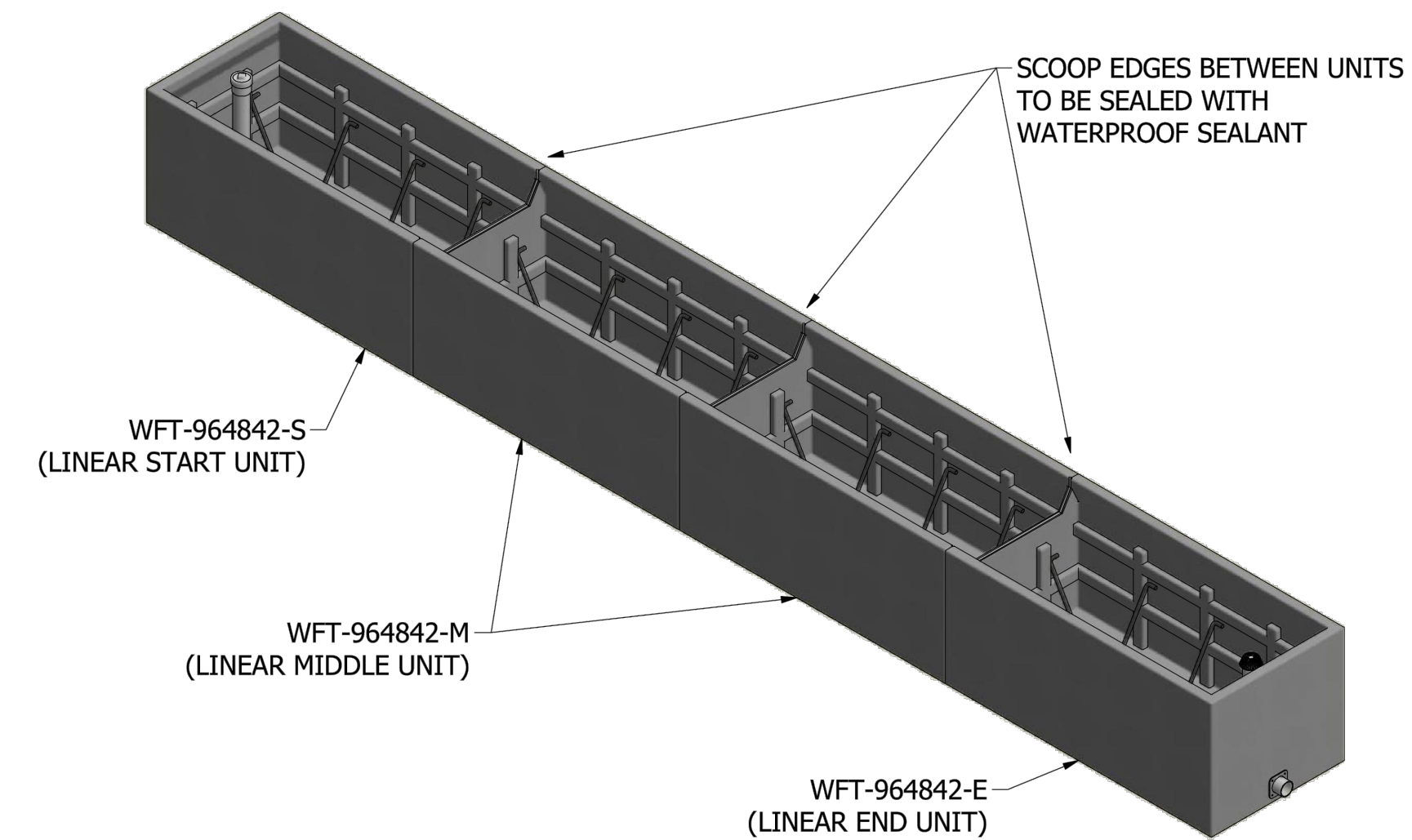
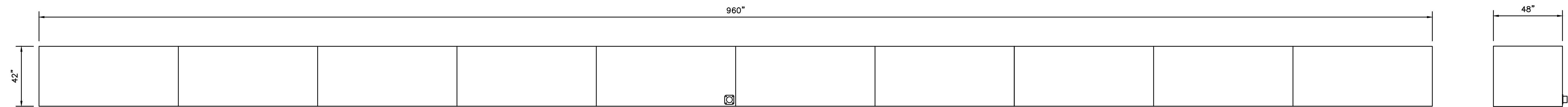
DETAILS

DESIGNED BY: JB	DRAWN BY: ZR	APPROVED BY P.M.: RDF	APPROVED BY P.I.C.: MDF	DRAWING #:
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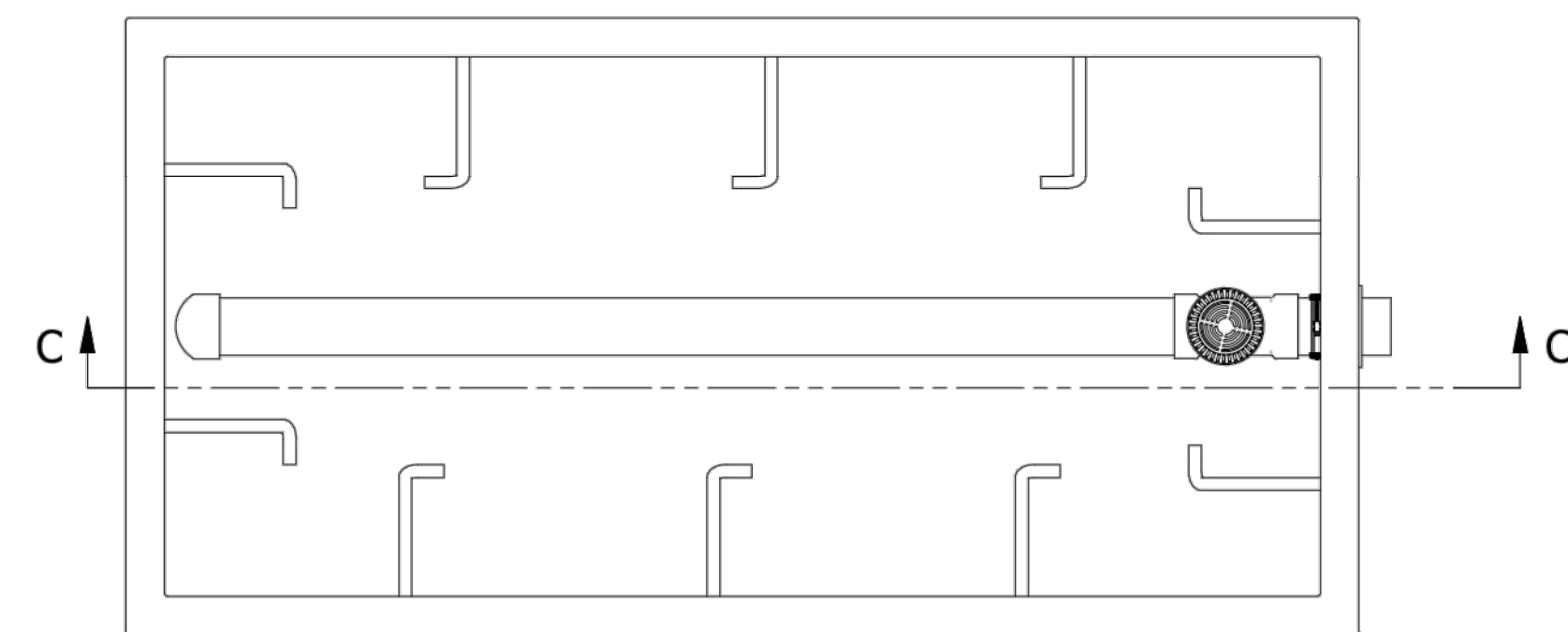


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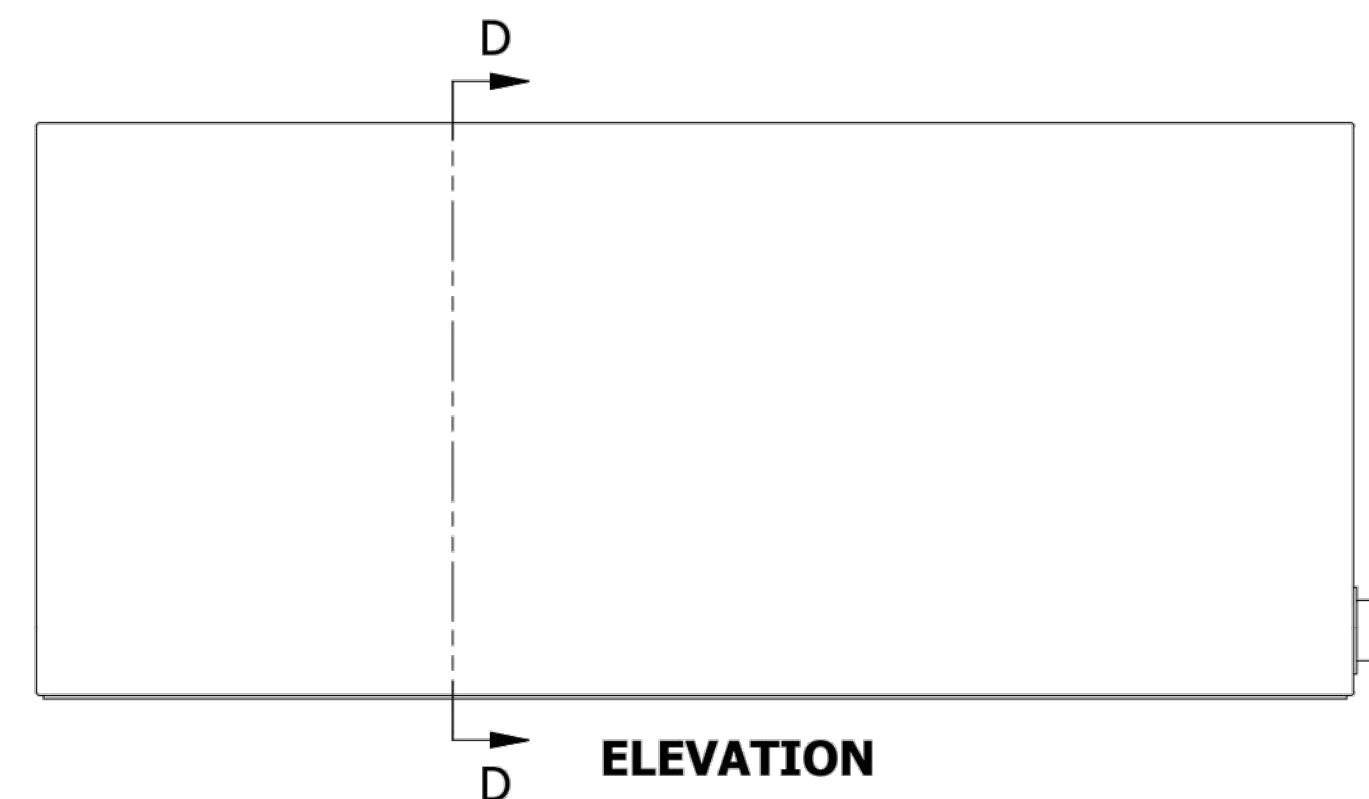


4 MODULE LINEAR RUN

1 MODULAR SYSTEM DETAIL
N.T.S.

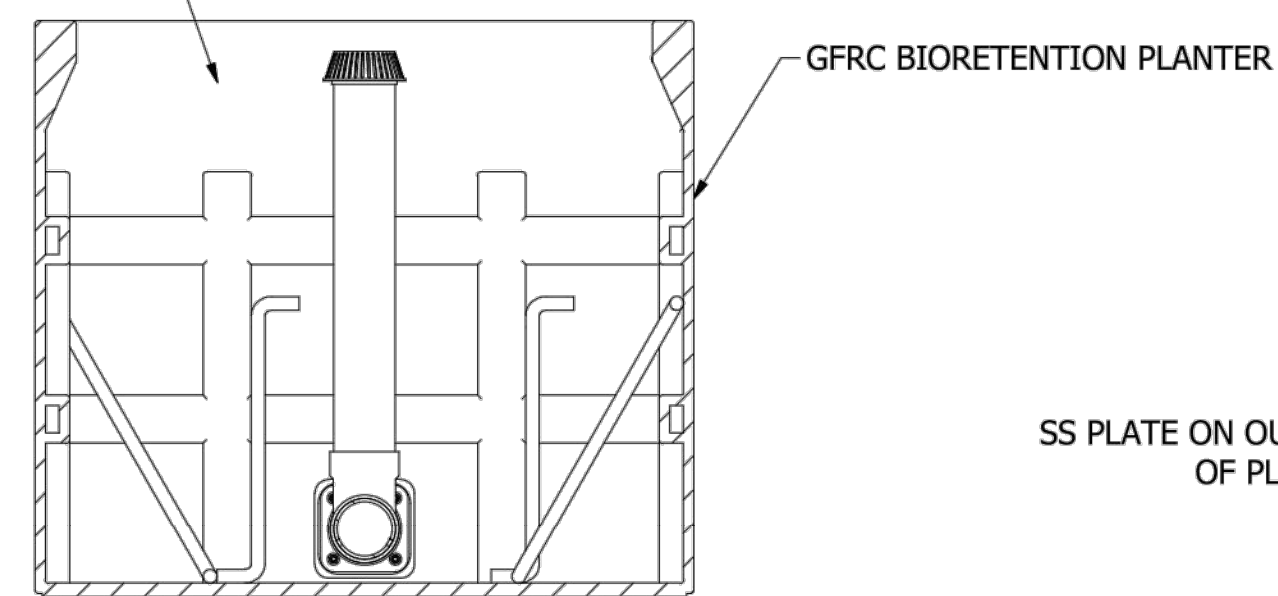


PLAN



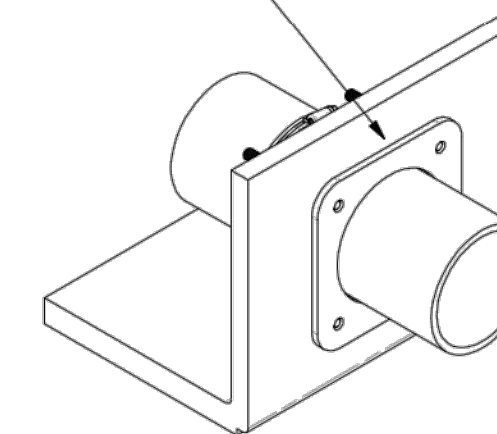
ELEVATION

TOURNESEAL WATERPROOFING APPLIED ON INTERIOR OF PLANTER

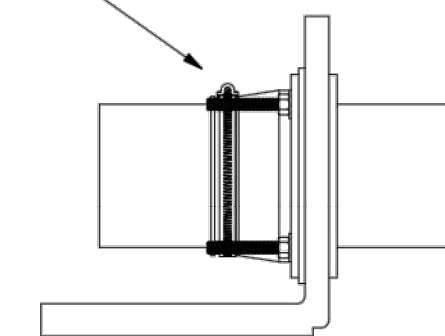


SECTION D-D

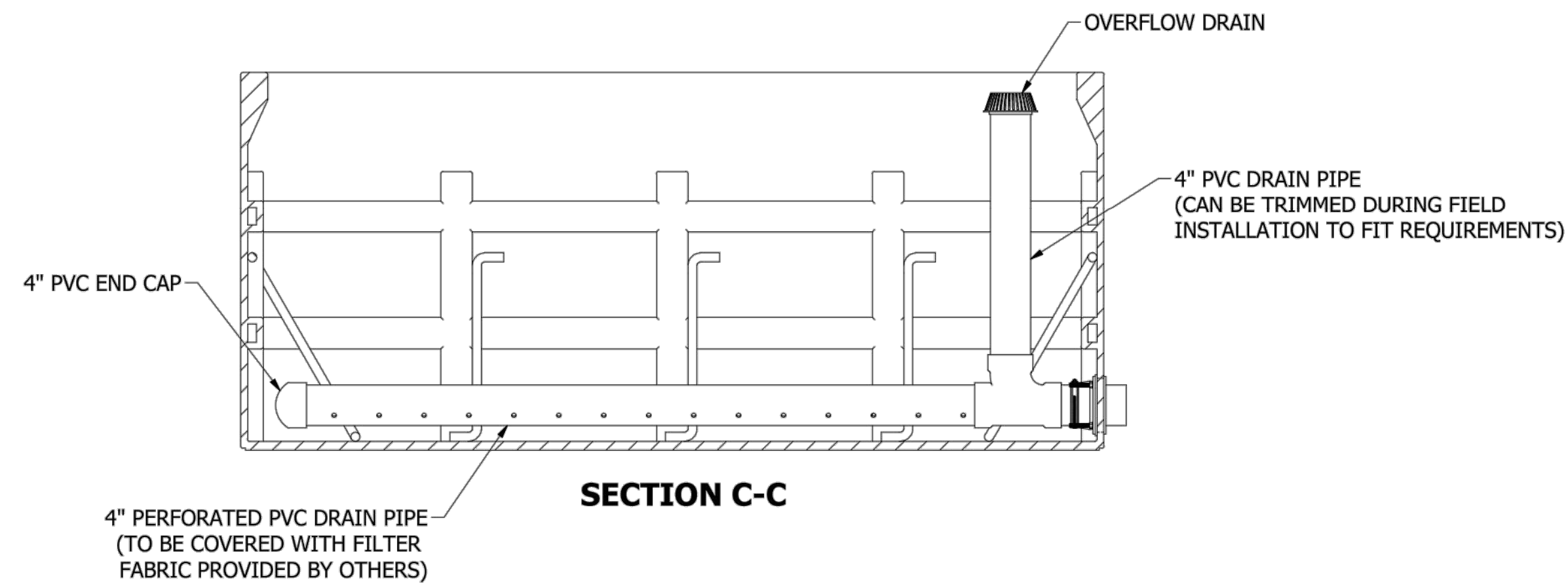
SS PLATE ON OUTSIDE OF PLANTER



FLEXIBLE GASKET, SS PLATES, SEALANT, AND SS HARDWARE FOR HOLDING AND SEALING AROUND PIPE (ALL PARTS INCLUDED)



SIDE EXIT



SECTION C-C

2 FLOW-THROUGH PLANTER DETAIL
N.T.S.

1	9/27/22	PER TOWN COMMENTS			
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<p>FELLENZER ENGINEERING LLP <small>www.felip.com</small></p> <p>22 Mulberry St., Suite 2A, Middletown, NY 10940 181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-343-1481 fx 845-343-4986 t 845-454-9704 fx 855-320-8735</p>					
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