

FUSCO ENGINEERING

& LAND SURVEYING, P.C.

Consulting Engineers



Alfred A. Fusco, Jr., P.E., Principal

Alfred A. Fusco, III, General Manager

FILE COPY

233 East Main Street
Middletown, NY 10940
Phone: (845) 344-5863
Fax: (845) 956-5865

19 Waywayup Lane
Port Jervis, NY 12771
Phone: (845) 956-5866

October 10, 2013

Town of Newburgh
Planning Board
308 Gardnertown Road
Newburgh, New York 12550

ATTN: John Ewasutyn, Planning Board Chairman

RE: Town of Newburgh Project #2013-22
Proposed Sports Bar Site Plan Application
Section 64, Block 4, Lot 22
Our File #13-165

Dear Chairman Ewasutyn,

Enclosed please find the following for the above captioned project:

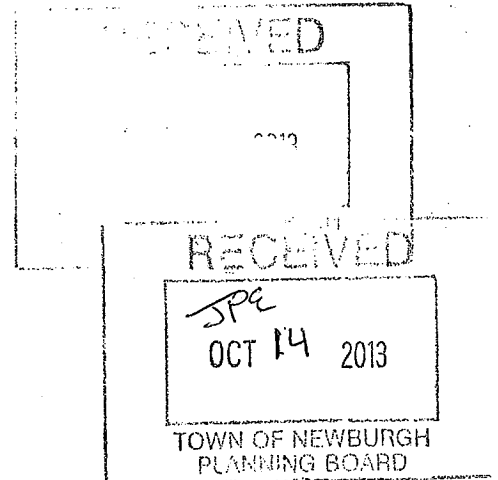
- 1) Planning Board application
- 2) Short Form EAF
- 3) 12 sets of plans
- 4) Application and escrow fees.

Please schedule this for your November 7, 2013 agenda so that we may discuss this with you.

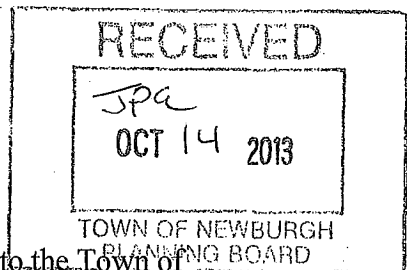
If you have any questions, or need anything further, please do not hesitate to contact this office.

Very truly yours,

Alfred A. Fusco, Jr., P.E.
FUSCO ENGINEERING
& LAND SURVEYING, PC
AAF/cam



**Town of Newburgh Project #2013-22
Overview**



FILE COPY

The attached site plan and architectural floor plan are submitted to the Town of Newburgh Planning Board in support of the *Avatar Sports Bar* application to the Planning Board to renovate an existing vacant commercial space for use as a proposed sports bar. The proposed location of the business is in the vacant commercial space (2,400 SF) to the rear of the existing multi-unit commercial building located at 102 Old Plank Road in the Town of Newburgh, NY. The applicant will be leasing the space from the owner of record, Old Plank, LLC. There are (4) additional commercial spaces in the front of the building and (1) additional commercial space to the rear of the building, all of which are occupied by existing commercial tenants at this time. The following items should be noted as they relate to the proposed development at the above-referenced site:

Proposed Use

The project shall include renovation of the interior of the existing commercial space (formerly a karate studio) for a new sports bar. The three (3) existing ADA accessible bathrooms are to remain and no demolition/reconfiguration of interior partitions is proposed at this time. There are (3) separate exterior exit doors which shall remain. The only new construction work proposed at this time is limited to the new bar to be retrofitted into an existing wall opening, wall patching as required, and re-painting throughout the interior of the space.

Conformance with Existing Zoning for Permitted Use

The parcel resides in the Town of Newburgh's Business District "B". As per the Town of Newburgh "Table of Use and Bulk Requirements" sheet for the "B" District, "Eating and Drinking Places" are listed as "Uses Subject to Site Plan Review by the Planning Board".

Hours of Operation

Monday & Thursday:	5pm – 2:00am
Friday & Saturday:	2pm – 4 am
Sunday:	12:00am – 12:00pm

Site Access

The existing site is accessed via a single site entrance to Old Plank Road. Sight distance at the proposed entrance locations will be available in accordance with the AASHTO site distance guidelines outlined in "A Policy on Geometric Design of Highways and Streets, 6th Edition" (AASHTO "Green Book").

Parking

Parking for the proposed sports bar shall be proposed in accordance with town of Newburgh Code Section 185-13. Per the parking requirements, the applicant is required to provide the greater of the following:

- 1 space per 4 seats: 100 person max. X 1 space/4 seats = **25 spaces max.**
- 1 space per 40 sf: 1472 sf X 1 space/40 sf = **36.8 spaces**

There are a total of 30 existing parking spaces in the rear of the building (one of which is ADA accessible) and an additional 20 spaces in the front of the building for a total of **50 spaces onsite**. Although the front spaces are currently shared parking for the existing commercial tenants, it should be noted that their hours of operation do not conflict with the proposed hours of operation of the new sports bar.

Site lighting is provided to the rear parking area via the existing pole-mounted light fixtures in the rear of the building. It should be noted that some tree-trimming will be required to restore proper light distribution to the rear parking area.

Environmental Impact

Proposed improvements at the site will result in a disturbance area of under 1.0 acres. As per town code requirements, natural topography of the parking area and surrounding site shall be preserved.

FEE SCHEDULE

As per our conversation, our fee schedule is as follows:

Escrow	\$ 2,000.00
Site Plan	\$ 1,500.00

We have enclosed checks from Mr. Lucero (applicant) totaling \$ 3,550.00

FILE COPY

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RECEIVED
JPC
OCT 14 2013
TOWN OF NEWBURGH
PLANNING BOARD

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: 10/14/2013 TOWN FILE NO: 2013-22
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Proposed sports bar

2. Owner of Lands to be reviewed:
Name Old Plank LLC
Address 13 Sylvia Drive
Wappingers Falls NY 12590
Phone _____

3. Applicant Information (If different than owner):
Name Roberto Lucero
Address 26 Williamsburg Drive
Newburgh NY 12550
Representative _____
Phone 845-597-9532
Fax _____
Email rlucero@yahoo.com

4. Subdivision/Site Plan prepared by:
Name Fused Engineering and Land Surveying PC
Address 233 East Main St.
Middletown NY 10940
Phone/Fax (845) 344-5863 / 956-5865 (f)

5. Location of lands to be reviewed:
102 Old South Plank Road

6. Zone B Fire District Orange Lake
Acreage 150X362 School District Newburgh

7. Tax Map: Section 64 Block 4 Lot 22

8. Project Description and Purpose of Review:

Number of existing lots _____ Number of proposed lots _____

Lot line change _____

Site plan review Proposed sports bar

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Handwritten Signature] Title Applicant

Date: 8/26/13

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

FILE COPY JPC
OCT 14 2013

TOWN OF NEWBURGH PLANNING BOARD

TOWN OF NEWBURGH
PLANNING BOARD

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. ___ Environmental Assessment Form As Required
2. ___ Proxy Statement
3. ___ Application Fees
4. ___ Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. ___ Name and address of applicant
2. ___ Name and address of owner (if different from applicant)
3. ___ Subdivision or Site Plan and Location
4. ___ Tax Map Data (Section-Block-Lot)
5. ___ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. ___ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ___ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. ___ Date of plan preparation and/or plan revisions
9. ___ Scale the plan is drawn to (Max 1" = 100')
10. ___ North Arrow pointing generally up

11. ___ Surveyor,s Certification
12. ___ Surveyor's seal and signature
13. ___ Name of adjoining owners
14. ___ Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. ___ Flood plain boundaries
16. ___ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. ___ Metes and bounds of all lots
18. ___ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. ___ Show existing or proposed easements (note restrictions)
20. ___ Right-of-way width and Rights of Access and Utility Placement
21. ___ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. ___ Lot area (in sq. ft. for each lot less than 2 acres)
23. ___ Number of lots including residual lot
24. ___ Show any existing waterways
25. ___ A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. ___ Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. ___ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. ___ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. ___ Show topographical data with 2 or 5 ft. contours on initial submission

- 30.____ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.____ If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32.____ Number of acres to be cleared or timber harvested
- 33.____ Estimated or known cubic yards of material to be excavated and removed from the site
- 34.____ Estimated or known cubic yards of fill required
- 35.____ The amount of grading expected or known to be required to bring the site to readiness
- 36.____ Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
- 37.____ Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
- 38.____ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: _____
Licensed Professional

Date: _____

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

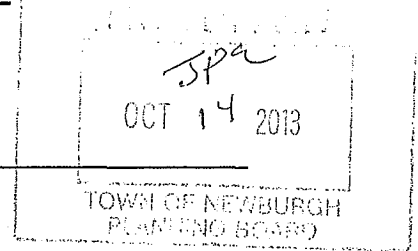
Prepared (insert date):

FILE COPY

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: Proposed sports bar



The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Stucco

COLOR OF THE EXTERIOR OF BUILDING:

Tan

ACCENT TRIM:

Location: Parapet

Color: Green

Type (material): Steel

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): Flat

Material (shingles, metal, tar & sand, etc.): unknown

Color: green parapet

WINDOWS/SHUTTERS:

Color (also trim if different): Black trim
Type: Aluminum Frame

DOORS:

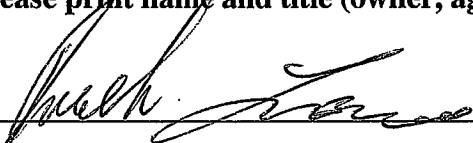
Color: Black
Type (if different than standard door entrée): Aluminum Frame
Full height glass

SIGN:

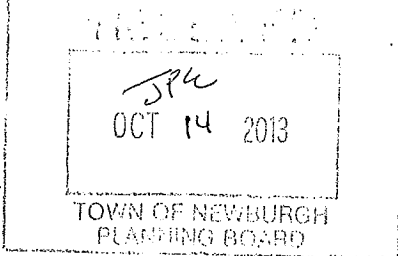
Color: White
Material: Aluminum or wood - non-lighted
Square footage of signage of site: _____

Roberto Lucero

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature



PROXY

(OWNER) Natale Bosaz, DEPOSES AND SAYS THAT HE/SHE
RESIDES AT 13 Sylvia Dr, Whippingers Falls
IN THE COUNTY OF Dutchess
AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF _____
102 Old South Plank Rd

FILE COPY

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Fusco Engineering IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8/26/13

Natale Bosaz
OWNERS SIGNATURE

NATALE BOSAZ
OWNERS NAME (printed)

Roberto Lucozo
WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Roberto Lucozo
WITNESS' NAME (printed)

FEE ACKNOWLEDGEMENT

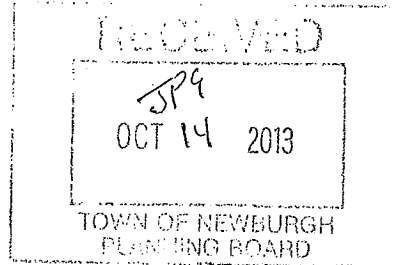
The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

FILE COPY

Roberto Lucero
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

8/26/13
DATE



Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

FILE COPY

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

APPROVED
SPC
OCT 14 2013
TOWN OF NEWBURGH
PLANNING BOARD

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

8/26/13
DATED

Roberto Lucero
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

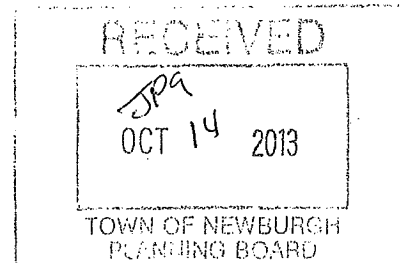
FILE COPY

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

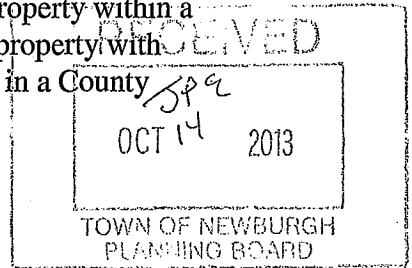
(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.



FILE COPY

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)



Name and address of the applicant: Roberto Lucero
26 Williamsburg Dr, Newburgh, NY 12550

Description of the proposed project: 102 Old South Plank Rd -
proposed sports bar

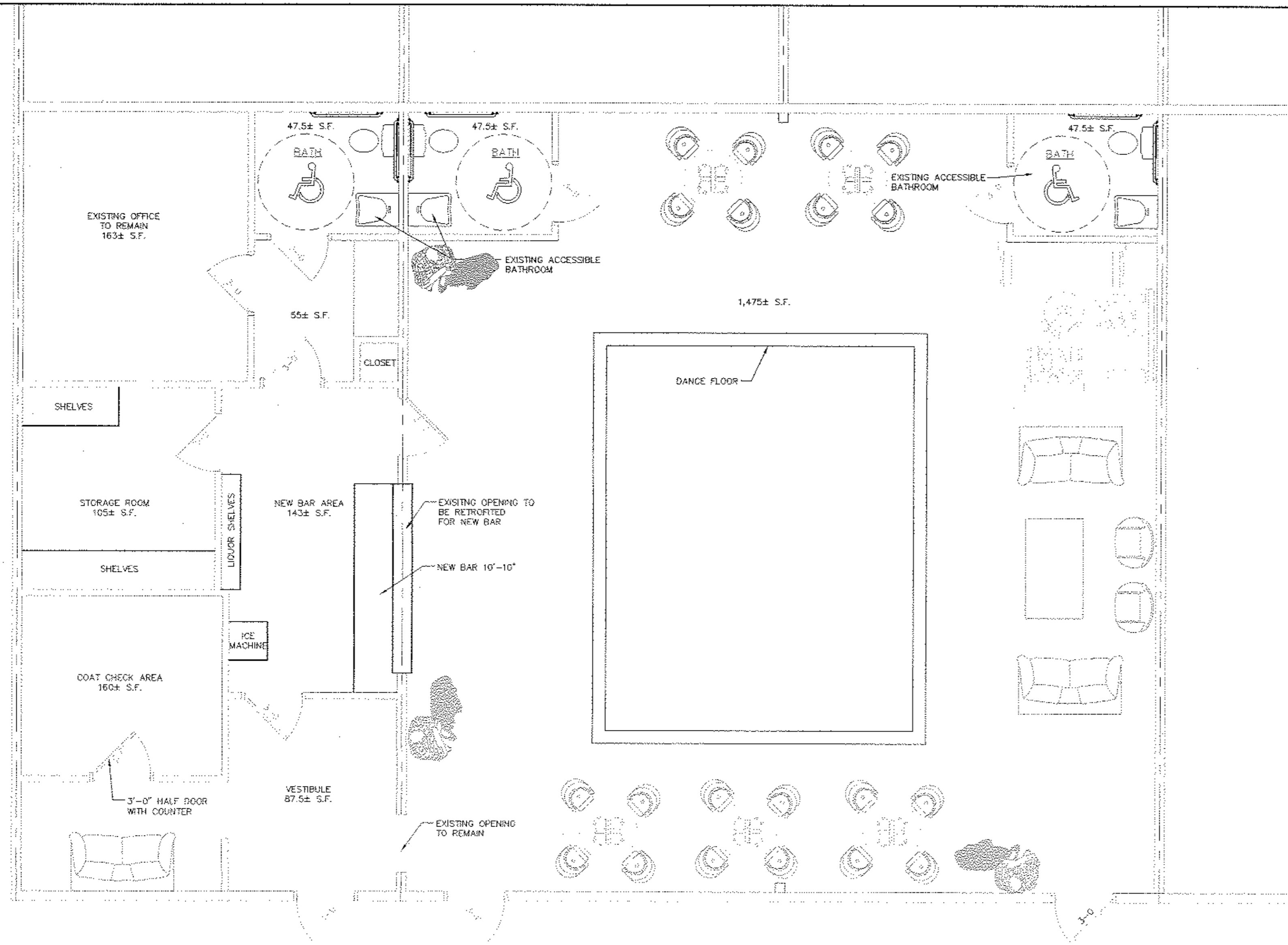
Location of the proposed project: 102 Old South Plank Rd

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.


APPLICANT'S SIGNATURE

8/26/13
DATE

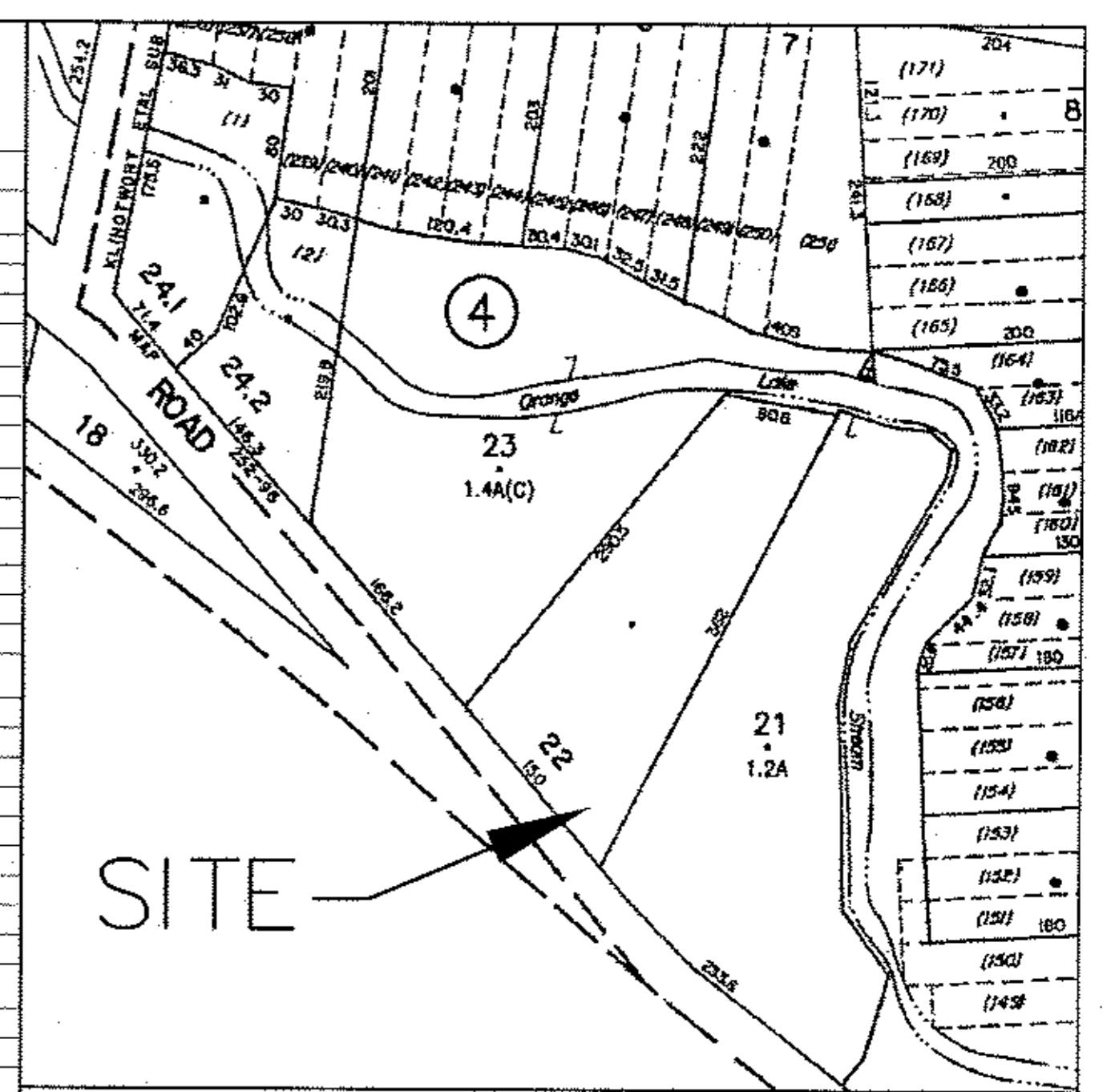


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

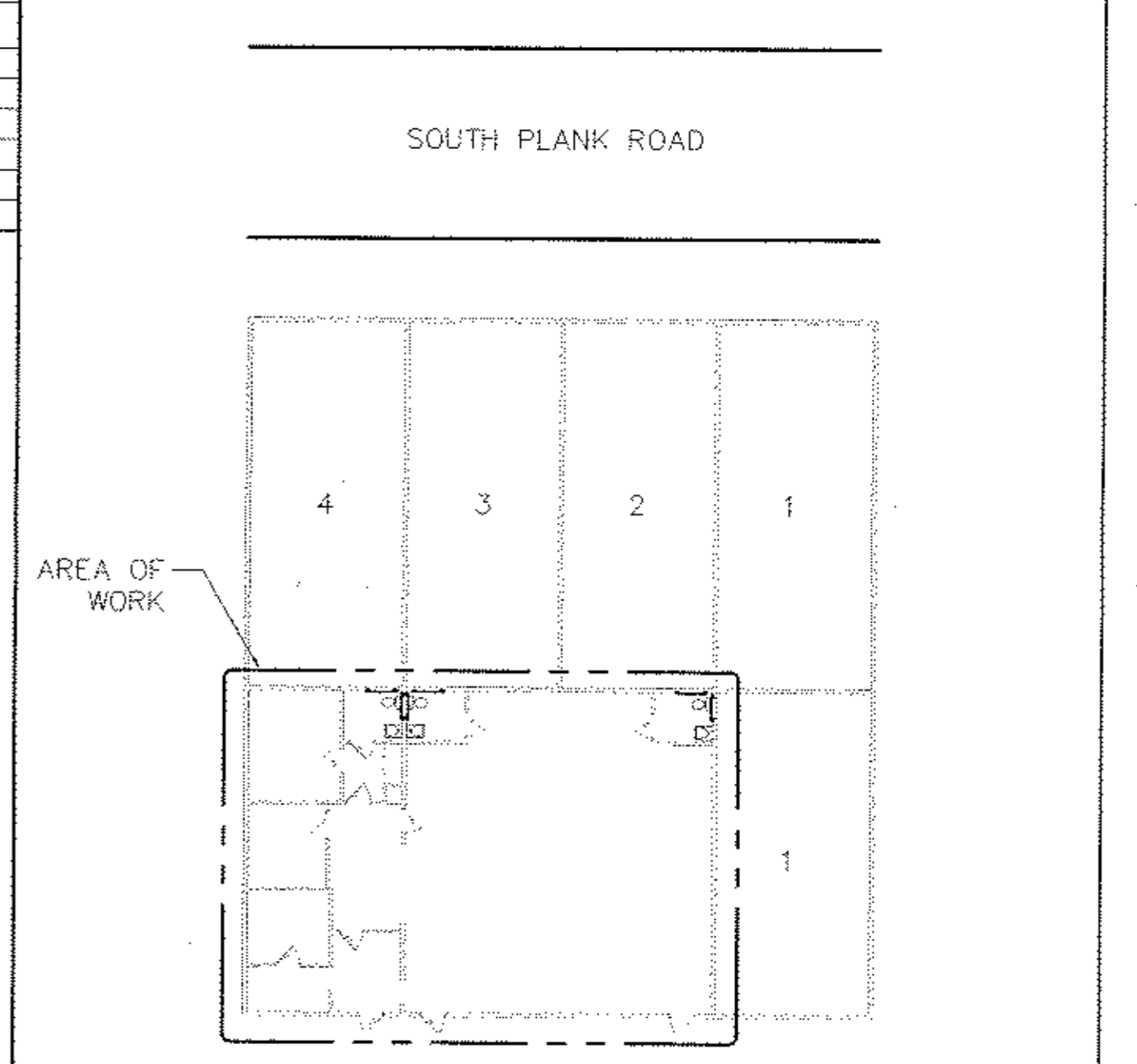
EXISTING BUILDING CODE DATA

CODE DESCRIPTION	SECTION	GROUP	SO. FT.
USE & OCCUPANCY CLASSIFICATION:			
EXISTING BUSINESS GROUP B	304	B	2331
PROPOSED A-2 - ASSEMBLY	303	A-2	1570
ACCESSORY BUSINESS	304	B	761
REQUIRED SEPARATION OF OCCUPANCIES (HOUR)	SECTION	REQUIRED:	
BUSINESS (B) FROM ASSEMBLY A-2	508.3.3	NO SEPARATION REQUIRED	
OCCUPANT LOAD	SECTION	REQUIRED:	
	1004.1.1	15 NET S.F./OCCUPANT 1,475/15 = 98 PERSONS	
CONSTRUCTION CLASSIFICATION:	SECTION	REQUIRED:	
MINIMUM CONSTRUCTION CLASSIFICATION - ALL USES	602	TYPE III	
BUILDING ELEMENTS - ALL USES	602	SEE BELOW	
BUILDING SEPARATION DISTANCE	602	<10 FT (ACTUAL PROJECT > 20 FT)	
REQUIRED FIRE RESISTANCE RATING OF BUILDING ELEMENTS:	SECTION	REQUIRED:	
STRUCTURAL FRAME (INC. COLUMNS, GIRDERS, TRUSSES)	TABLE 601	0	N/A
BEARING WALLS			
EXTERIOR	TABLE 601	2	N/A
INTERIOR	TABLE 601	0	0
NON-BEARING WALLS & PARTITIONS:			
EXTERIOR	TABLE 601	0	N/A
INTERIOR	TABLE 601	0	0
FLOOR CONSTRUCTION	TABLE 601	0	N/A
ROOF CONSTRUCTION (INC. SUPPORTING BEAMS & JOISTS)	TABLE 601	0	N/A
BUILDING HEIGHTS & AREAS:	SECTION	MAX. ALLOWED:	HEIGHT MOD: AREA MOD:
A-2 / B			
STORIES	TABLE 503	3 (3A)	N/A
AREA (S.F.)	TABLE 503	14,000 (3A)	N/A
FLOOR LOADS	SECTION	FLOOR LOAD B	FLOOR LOAD S-1
	TABLE 1607.1	40 LB SQFT	125 LB SQFT
FIRE PROTECTION SYSTEMS:	SECTION	REQUIRED:	
A-2 / B			
AUTOMATIC SPRINKLER SYSTEMS	903.2.12	NOT REQUIRED < 5,000 SQ. FT. / <100 PERSONS	
FIRE ALARM AND DETECTION SYSTEMS	907.2.2	NOT REQUIRED < 3,000 PEOPLE / <A-2	
		NOT REQUIRED < 500 PEOPLE IN B	

NOTE:
ALL FINISHES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE FOR FLAME SPREAD CLASSIFICATION AND SMOKE DEVELOPMENT. SEE NOTE 19, A-2



LOCATION PLAN
SCALE: N.T.S.



KEY PLAN
SCALE: N.T.S.

"THESE PLANS AND SPECIFICATIONS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE STATE BUILDING CODES IN FORCE AT THE DATE NOTED IN THE TITLE BLOCK. IF THE CODES ARE AMENDED OR CHANGED BETWEEN THIS DATE AND THE BUILDING PERMIT DATE, THESE PLANS MUST BE REVIEWED AND REVISED AS APPLICABLE BY FUSCO ENGINEERING TO CONFORM TO THESE NEW CODES. IN ADDITION, IN NO CASE SHOULD THESE PLANS AND SPECIFICATIONS BE USED TO OBTAIN A BUILDING PERMIT MORE THAN ONE YEAR AFTER THE DATE NOTED IN THE TITLE BLOCK WITHOUT A FULL REVIEW BY FUSCO ENGINEERING AND REVISION OF THE DESIGN AS NECESSARY TO CONFORM TO NEW CODES AND STANDARDS."

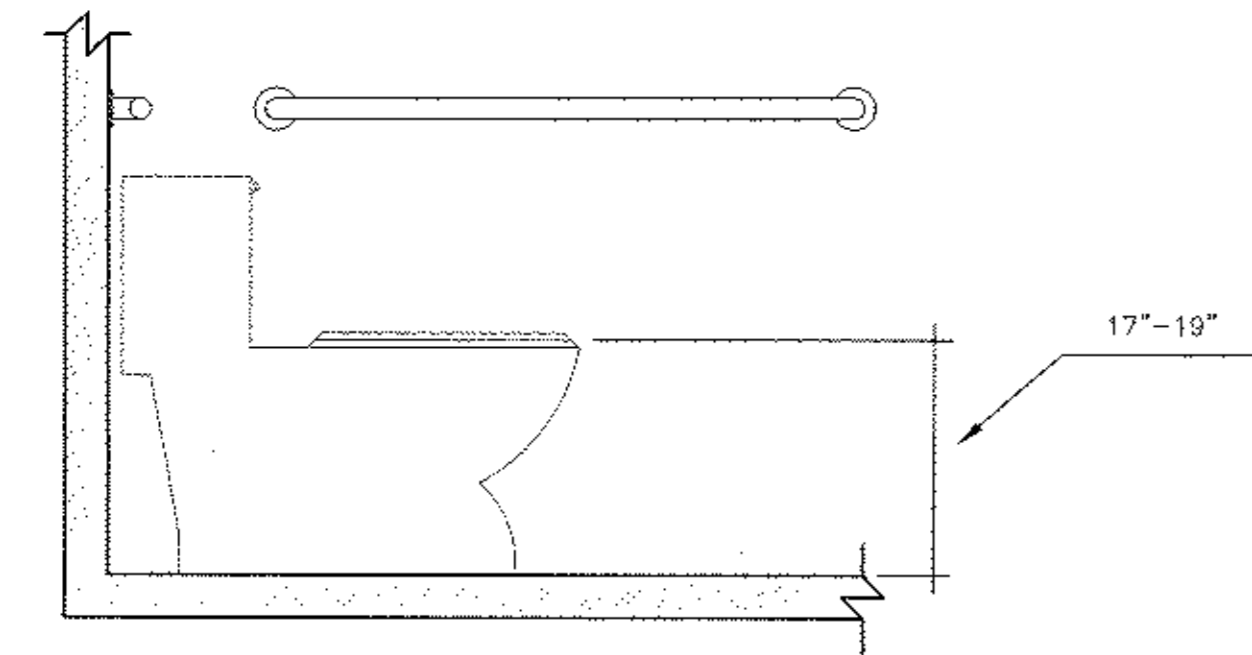
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



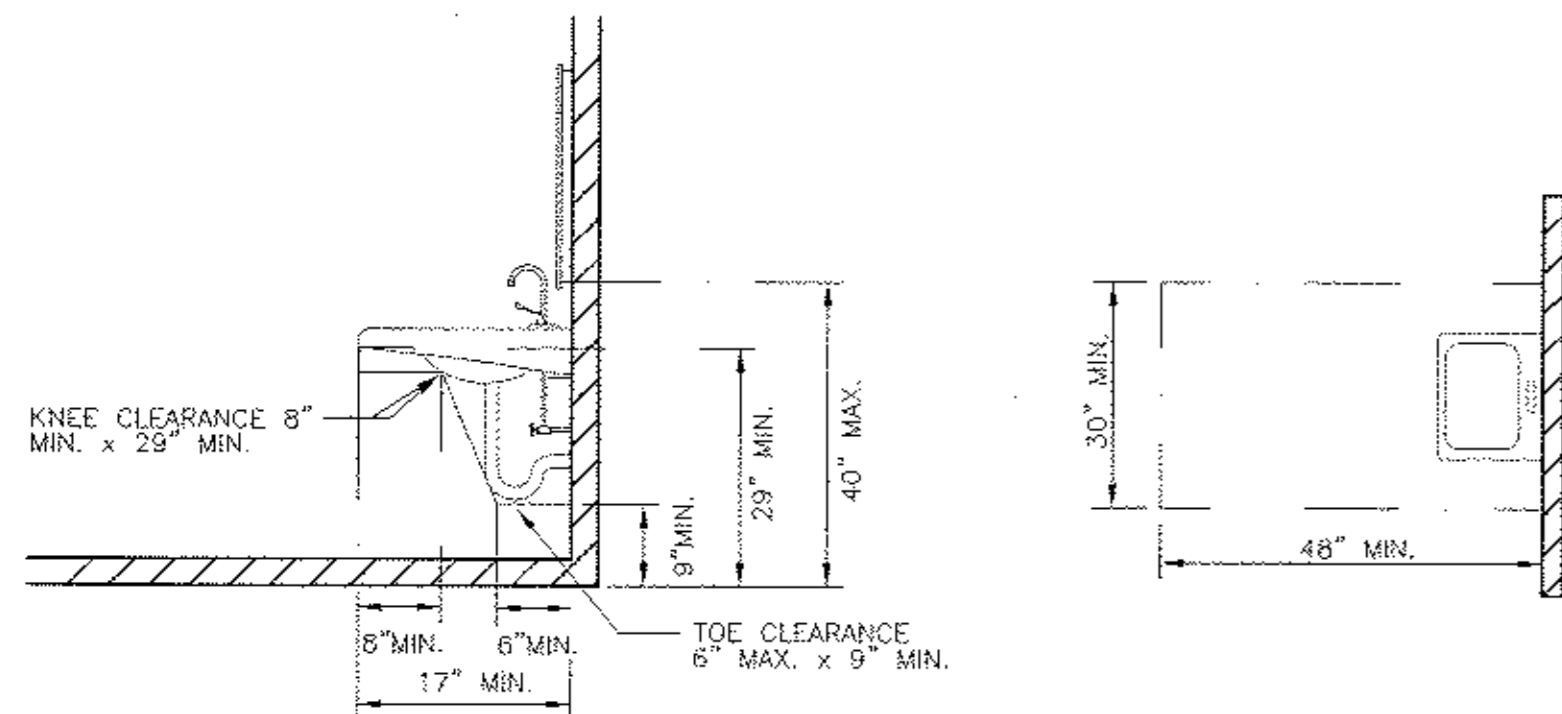
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS
288 EAST MAIN ST.
MIDDLETOWN, NY 10940
PHONE: (845) 344-5863
FAX: (845) 966-5865

PROGRESS PRINT	PROJECT TITLE: PROPOSED SPORTS BAR 102 OLD SOUTH PLANK ROAD SECTION 54, BLOCK 4, LOT 22 TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK
10-14-13	DRAWING TITLE: FLOOR PLANS & ELEVATIONS
NOT FOR CONSTRUCTION	DESIGNED BY: AFF DRAWN BY: JH APPROVED BY: AFF DATE: 10/14/13 SCALE: AS SHOWN PROJECT #: 13-165
	DRAWING #: A-1 PAGE 1 OF 2



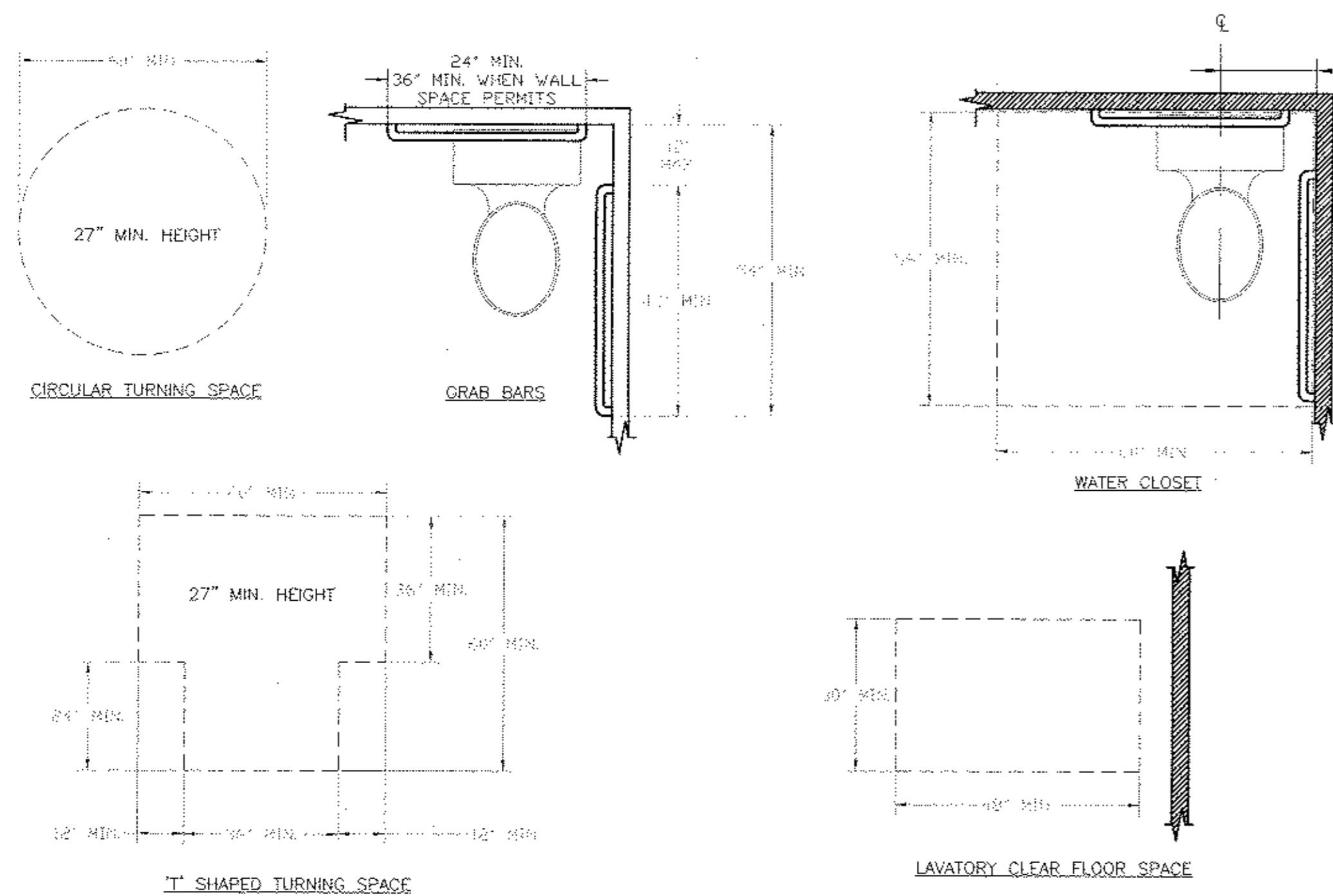
1 HEIGHT OF WATER CLOSET
N.T.S.



LAVATORY CLEARANCES

CLEAR FLOOR SPACE

2 HANDICAPPED LAVATORY INSTALLATION DETAILS
N.T.S.



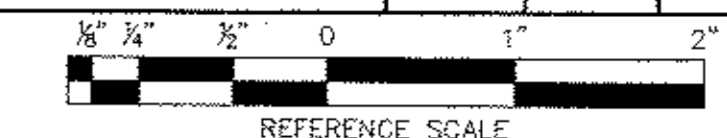
3 TYPICAL ADA BATHROOM CLEARANCES
N.T.S.

GENERAL SPECIFICATIONS

1. ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCE OF THE LOCAL AUTHORITY HAVING JURISDICTION, AND THE NYS BUILDING AND ENERGY CODES.
2. ALL ELECTRICAL WORK SHALL BE APPROVED BY AN ELECTRICAL UNDERWRITER/INSPECTOR AS DIRECTED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
3. ALL FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL HAVE A COMBINATION TYPE ARCH FAULT CIRCUIT INTERRUPTERS (AFI) AS PER SECTION E3802.11
4. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATES OF INSURANCE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITION PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
6. ALL EXCAVATIONS SHALL BE DRY PRIOR TO PLACING CONCRETE.
7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI STANDARD 308-77. CONCRETE SHALL BE CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI @ 28 DAYS. 4" SLUMP. DO NOT ADD WATER AT SITE. FORMS TO REMAIN A MINIMUM OF 36 HOURS AFTER THE POUR. ADMIXTURES ARE NOT AUTHORIZED.
8. ALL POURED CONCRETE FOOTINGS TO BE FORMED, PLACED IN UNDISTURBED, VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 2000 PSF. MINIMUM FOOTING DEPTH SHALL BE 4'-0" BELOW FINISHED GRADE (UNLESS OTHERWISE SPECIFIED ON THESE PLANS).
9. FOOTING DRAINS SHALL BE PROVIDED AS REQUIRED. DRAINS SHALL BE LAID IN AN APPROVED MANNER AND BE CONSTRUCTED OF 4" RIGID PERFORATED PIPE SET IN A BED OF AT LEAST #2 SIZE STONE WITH A FABRIC COVER. 3" ALL AROUND PIPE. SEE WALL SECTION FOR FURTHER DETAIL.
10. FOUNDATION WALL REINFORCING, SEE WALL SECTION FOR SPACING. A KEY WAY SHALL BE FORMED IN THE FOOTING AND IN VERTICAL JOINTS BETWEEN POURS. STONE, OR WALLS TO BE FILLED MORE THAN 6" VERTICALLY.
11. COAT ALL FOUNDATION WALLS WITH DAMP-PROOFING ON ALL AREAS BELOW FINISHED GRADE.
12. FILL UNDER SLAB SHALL BE R.O.B. GRAVEL, MECHANICALLY COMPACTED.
13. FINISHED GRADE SHALL BE NO LESS THAN 6" BELOW THE TOP OF THE MASONRY FOUNDATION WALL.
14. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
15. BACKFILL SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE.
16. BACKFILL SHALL BE OF THE SAME TYPE OF SOIL WHICH WAS REMOVED DURING EXCAVATION. FILL SHALL BE CLEAN, WITH A MAX. SIZE 2" STONE.
17. EXTERIOR JOISTS AROUND WINDOWS AND DOOR FRAME, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BUILDING ENVELOPED SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED.
18. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND DRY MATERIALS FREE FROM ROT, LARGE & LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILLS, POSTS, LINTELS AND RAFTERS SHALL HEM-FIR (19% MAX. MOISTURE CONTENT) ALLOWING 75% NO. 1 GRADE AND 25% NO. 2 GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPEC OR ON THE DRAWINGS.
 - A. THE MINIMUM UNIT STRESS OF SPRUCE-PINE-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 875 PSI
HORIZONTAL SHEAR (FV) 70 PSI
MODULE OF ELASTICITY (E) 1.4 PSI
 - B. THE MINIMUM UNIT STRESS OF DOUGLAS-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 825 PSI
HORIZONTAL SHEAR (FV) 70 PSI
MODULE OF ELASTICITY (E) 1.4 PSI
 - C. THE MINIMUM UNIT STRESS OF HEM-FIR SHALL BE:
GRADE: No. 1/ No. 2
FIBER STRESS (FB) 1000 PSI
HORIZONTAL SHEAR (FV) 75 PSI
MODULE OF ELASTICITY (E) 1.6 PSI
19. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200.
20. ALL GYPSUM BOARD SHALL BE SCREENED ON CEILING AND/OR NAILED TO WALLS. ATTACHMENT SHALL BE IN ACCORDANCE WITH TABLE R702.3.5 OF THE NEW YORK RESIDENTIAL CODE. RECEIVE THREE COATS OF SPACKLE. FINISHED TO RECEIVE TWO COATS OF PAINT. THE GARAGE SHALL RECEIVE 5/8" TYPE "X"/F.C. GYP. BOARD SHEETROCK UNLESS OTHERWISE NOTED ON PLANS.
21. FLOORING, TRIM, CLOSETS SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE, ETC. SHALL BE SELECTED BY OWNER OR BUILDER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
22. ALL DOORS SHALL BE 5'-8" HIGH UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP ON SADDLE ON ALL EXTERIOR DOORS.
23. WINDOW SIZE & TYPE SHALL BE AS SHOWN ON PLANS, WITH SCREENS PROVIDED. GLAZING SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
24. ANY AND ALL GLAZING WITHIN 18" OF THE FINISHED FLOOR SHALL BE TEMPERED.
25. OWNER/ CONTRACTOR MAY SUBSTITUTE WITH EQUAL WINDOWS PROVIDED THEY MAINTAIN THIS DESIGN CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE CODES INCLUDING BUT NOT LIMITED TO NET CLEAR AREA AND DIMENSIONS REQUIRED FOR EMERGENCY ESCAPE (WHERE REQUIRED), GLAZING U-FACTOR AS SHOWN ON THIS DESIGN'S RESCHECK ENERGY COMPLIANCE CERTIFICATE (OR BETTER) AND APPROPRIATE GLAZING AREAS REQUIRED FOR NATURAL LIGHT AND VENTILATION.
26. NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES (102 MM) OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES (51 MM) TO THE NOTCH. THE SAME SHALL BE TRUE PERTAINING TO FLOOR CONSTRUCTION.

"THESE PLANS AND SPECIFICATIONS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE STATE BUILDING CODES IN FORCE AT THE DATE NOTED IN THE TITLE BLOCK. IF THE CODES ARE AMENDED OR CHANGED BETWEEN THIS DATE AND THE BUILDING PERMIT DATE, THESE PLANS MUST BE REVIEWED AND REVISED AS APPLICABLE BY FUSCO ENGINEERING TO CONFORM TO THESE NEW CODES. IN ADDITION, IN NO CASE SHOULD THESE PLANS AND SPECIFICATIONS BE USED TO OBTAIN A BUILDING PERMIT MORE THAN ONE YEAR AFTER THE DATE NOTED IN THE TITLE BLOCK WITHOUT A FULL REVIEW BY FUSCO ENGINEERING AND REVISION OF THE DESIGN AS NECESSARY TO CONFORM TO NEW CODES AND STANDARDS."

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

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PROGRESS PRINT	PROPOSED SPORTS BAR			
	102 OLD SOUTH PLANK ROAD SECTION 64, BLOCK 4, LOT 22			
NOT FOR CONSTRUCTION	TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			
	DETAILS & NOTES			
DESIGNED BY: AFF	DRAWN BY: JH	APPROVED BY: AFF	DRAWING #: A-2	
DATE: 10/14/13	SCALE: AS SHOWN	PROJECT #: 13-165	PAGE 2 OF 2	

