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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: GARDNER RIDGE**  
**PROJECT NO.: 12-29**  
**PROJECT LOCATION: SECTION 75, BLOCK 1, LOT 4.12**  
**PROJECT REPRESENTATIVE: DOCE ASSOCIATES**  
**REVIEW DATE: 11 SEPTEMBER 2015**  
**MEETING DATE: 17 SEPTEMBER 2015**

1. Bulk table should be checked for side yard setbacks proposed. It appears the proposed side yard is 60 feet minimum.
2. Senior units have a maximum unit size which should be added to the plans and considered during design of the senior citizen apartment structure. (Section 155-48B(4)).
3. The Planning Board should discuss the need for sidewalks from the site to North Plank Road shopping areas.
4. Currently valid jurisdictional determination of federal jurisdiction wetlands on the site should be provided for review. Federal wetlands are proposed to be impacted by the project.
5. Mechanism to control access at emergency access roads should be evaluated. Buffer requirements exist along emergency access road which must be addressed based on the amount of grading.
6. If buildings are proposed to have decks on the rear, rear decks should be depicted based on proximity to setbacks and buffers.
7. Building height should be identified in the bulk tables and addressed based on fire access requirements.
8. City of Newburgh Flow Acceptance letter is required.
9. Confirmation that project is within sewer district or outside users status should be received.

10. Several of the structures are located on extensive fill areas. Specialized construction techniques may be required to address placement of structures on such fill.
11. Future submissions should address compliance with Town and NYSDEC Storm Water Management Regulations.
12. Handicap accessible spaces in the area of the Senior Living should be provided in compliance with ADA regulations. This may reduce number of parking spaces based on ADA layout.
13. The Planning Board should discuss the parking requirements, 72 of the spaces are identified as garage spaces with 72 of the spaces also being identified as the vehicle parked in front of the garage. Use of the garage for other than parking may result in significant issues regarding parking on the project site.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal

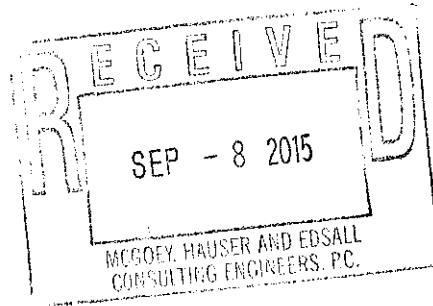
# VINCENT J. DOCE ASSOCIATES

ENGINEERS ~ SURVEYORS ~ PLANNERS  
PROJECT CONSULTANTS - LAND CONSULTANTS  
242 SOUTH PLANK ROAD, NEWBURGH, NEW YORK 12550  
TEL. 845-561-1170 ~ FAX 845-561-7738

September 9, 2015

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

RE: Conceptual Site Plan - Gardner Ridge  
Gardnertown Road  
Tax Parcel: Section 75 Block 1 Lot 4.12  
Town Project No. 2002-29



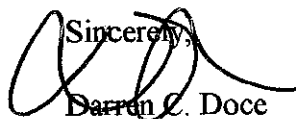
Dear Mr. Ewasutyn:

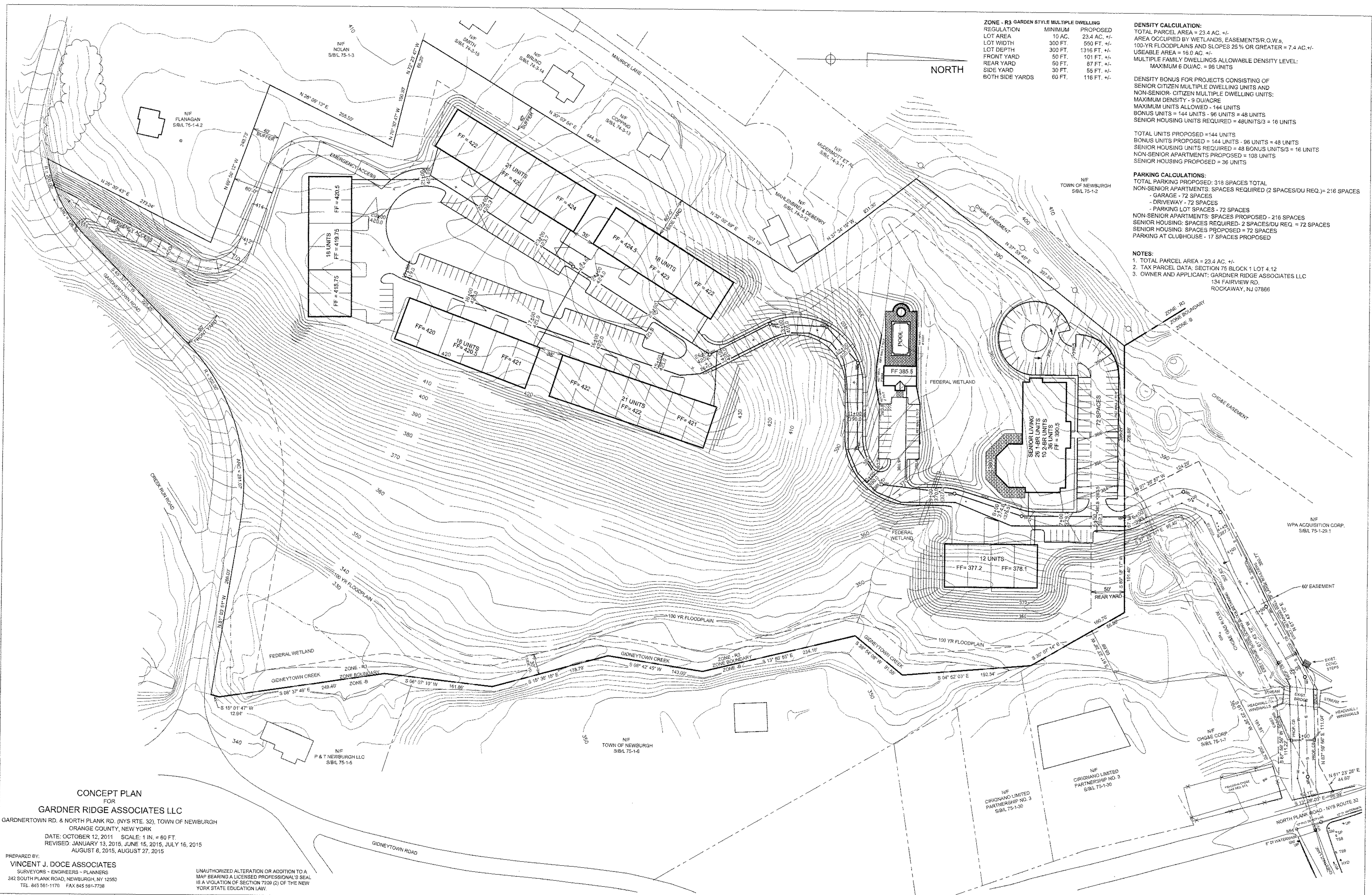
Enclosed are 13 revised plans for the above referenced and a check to replenish the escrow account in the amount of \$2500.00. At your direction, I have delivered copies to Michael Donnelly and Patrick Hines.

In January 2014, a conceptual site plan was presented that proposed 122 units consisting of 90 non-senior single-family attached units (townhomes) and 32 senior citizen units located in a single multiple dwelling building. The Planning Board granted this proposal conceptual approval. For projects of this type, the Town of Newburgh Zoning Law allows for a bonus density of 9 dwelling units per useable acre. The revised project will remain a combination of non-senior citizen town home dwelling units and senior citizen multiple dwelling units, and is in conformance with the present zoning regulations. At the January 2014 meeting the Planning Board recognized that after deducting the lands impacted by environmental constraints, the project's useable area was 16.0 acres and the maximum dwelling units permitted by zoning utilizing the bonus was 144 units.

My clients marketing consultants have advised them that the project will be marketable by changing the townhouse units into single level apartment units. Through resituating the buildings and revising their footprints, 108 non-senior apartment units are proposed along with 36 senior citizen units. The total unit count is now 144 units. The zoning code requires that one third of the additional units through application of the bonus density be dedicated to senior citizen dwelling units. For the proposed project, 16 senior citizen dwelling units would be required. The senior unit count will be 36 units.

If any further explanation is required, please feel free to contact our office.

Sincerely,  
  
Darren C. Doce



**ZONE - R3 GARDEN STYLE MULTIPLE DWELLING**

REGULATION	MINIMUM	PROPOSED
LOT AREA	10 AC.	23.4 AC. +/-
LOT WIDTH	300 FT.	550 FT. +/-
LOT DEPTH	300 FT.	1316 FT. +/-
FRONT YARD	50 FT.	101 FT. +/-
REAR YARD	50 FT.	87 FT. +/-
SIDE YARD	30 FT.	55 FT. +/-
BOTH SIDE YARDS	60 FT.	116 FT. +/-

**DENSITY CALCULATION:**  
 TOTAL PARCEL AREA = 23.4 AC. +/-  
 AREA OCCUPIED BY WETLANDS, EASEMENTS/R.O.W.s,  
 100-YR FLOODPLAINS AND SLOPES 25% OR GREATER = 7.4 AC. +/-  
 USEABLE AREA = 16.0 AC. +/-  
 MULTIPLE FAMILY DWELLINGS ALLOWABLE DENSITY LEVEL:  
 MAXIMUM 6 DU/AC. = 96 UNITS

**DENSITY BONUS FOR PROJECTS CONSISTING OF SENIOR CITIZEN MULTIPLE DWELLING UNITS AND NON-SENIOR CITIZEN MULTIPLE DWELLING UNITS:**  
 MAXIMUM DENSITY = 9 DU/ACRE  
 MAXIMUM UNITS ALLOWED = 144 UNITS  
 BONUS UNITS = 144 UNITS - 96 UNITS = 48 UNITS  
 SENIOR HOUSING UNITS REQUIRED = 48 UNITS/3 = 16 UNITS

**TOTAL UNITS PROPOSED = 144 UNITS**  
 BONUS UNITS PROPOSED = 144 UNITS - 96 UNITS = 48 UNITS  
 SENIOR HOUSING UNITS REQUIRED = 48 BONUS UNITS/3 = 16 UNITS  
 NON-SENIOR APARTMENTS PROPOSED = 108 UNITS  
 SENIOR HOUSING PROPOSED = 36 UNITS

**PARKING CALCULATIONS:**  
 TOTAL PARKING PROPOSED: 318 SPACES TOTAL  
 NON-SENIOR APARTMENTS: SPACES REQUIRED (2 SPACES/DU REQ.) = 216 SPACES  
 - GARAGE - 72 SPACES  
 - DRIVEWAY - 72 SPACES  
 - PARKING LOT SPACES - 72 SPACES  
 NON-SENIOR APARTMENTS: SPACES PROPOSED - 216 SPACES  
 SENIOR HOUSING: SPACES REQUIRED - 2 SPACES/DU REQ. = 72 SPACES  
 SENIOR HOUSING: SPACES PROPOSED = 72 SPACES  
 PARKING AT CLUBHOUSE - 17 SPACES PROPOSED

**NOTES:**  
 1. TOTAL PARCEL AREA = 23.4 AC. +/-  
 2. TAX PARCEL DATA: SECTION 75 BLOCK 1 LOT 4.12  
 3. OWNER AND APPLICANT: GARDNER RIDGE ASSOCIATES LLC  
 134 FAIRVIEW RD.  
 ROCKAWAY, NJ 07866

**CONCEPT PLAN**  
 FOR  
**GARDNER RIDGE ASSOCIATES LLC**

GARDNERTOWN RD. & NORTH PLANK RD. (NYS RTE. 32), TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 DATE: OCTOBER 12, 2011 SCALE: 1 IN. = 60 FT.  
 REVISED: JANUARY 13, 2015, JUNE 15, 2015, JULY 16, 2015  
 AUGUST 8, 2015, AUGUST 27, 2015

PREPARED BY:  
**VINCENT J. DOCE ASSOCIATES**  
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UNAUTHORIZED ALTERATION OR ADDITION TO A  
 MAP BEARING A LICENSED PROFESSIONAL'S SEAL  
 IS A VIOLATION OF SECTION 7209 (2) OF THE NEW  
 YORK STATE EDUCATION LAW.