



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH  
PLANNING BOARD  
REVIEW COMMENTS**

**PROJECT: DEPEW ENERGY COMPANY AMENDED SITE PLAN**  
**PROJECT NO.: 14-09**  
**PROJECT LOCATION: SECTION 43, BLOCK 5, LOTS 41.2 & 42**  
**PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES**  
**REVIEW DATE: 29 AUGUST 2014**  
**MEETING DATE: 4 SEPTEMBER 2014**

1. The application received the variances from the ZBA on 24 July 2014.
2. Lead Agency circulation was sent out on 6 June 2014. Our records show that a 239 referral was sent on the same day. Lead Agency response was received, no copy of a 239 review has been provided.
3. We believe the change in intensity of use/amended site plan will require NYSDOT review of the four access drives serving the unified site plan.
4. Planning Board should discuss gravel parking surface with regard to ability to stripe parking areas, loading zone, and provisions for a dust free surface, consistent with other sites in the town.
5. Handicap parking spaces do not appear to comply with details depicted on detail sheet and ADA requirements. Striping for the handicap parking must be in compliance with detail provided.
6. Striping details should be revised to Town of Newburgh standard. Double striping is required.
7. Mike Donnelly's review of the deed restriction regarding the creation of the unified site plan across two lots should be provided.
8. Jerry Canfield's comments regarding the 18.7 foot wide drive lane created by parking space 5 & 7 should be received.

REGIONAL OFFICES

- 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

9. Compliance with Section 185.30A(3) requiring outdoor storage be appropriately screened with landscaping so as to provide an opaque sight barrier at least 8 feet in height. In no case shall materials be stored as to exceed the height of the sight barrier.
10. A grading plan has identified significant regrading of the rear slope. We would recommend additional details be provided including seed specification, topsoil requirements, etc.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Associate

**FILE COPY**

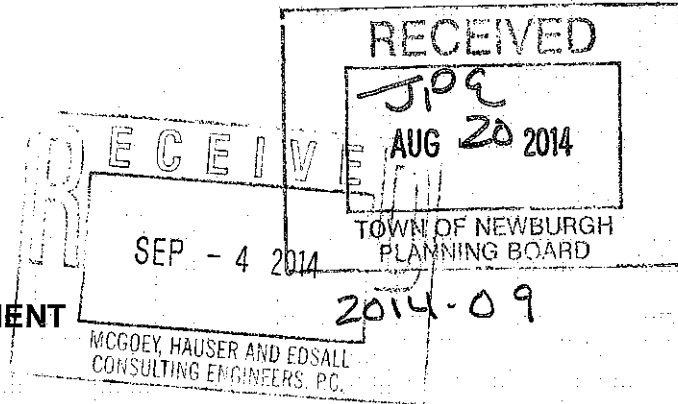
*PATRICK*

August 20, 2014

Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

**ATTN: John Ewasutyn, Chairman**

**RE: DEPEW ENERGY CO.  
RTE 9W SITE PLAN AMENDMENT  
TAX LOT # 43-5-41.2 & 42**



Dear Mr. Ewasutyn:

Please find attached 12 copies of the plan set for the above referenced project. The plans were prepared in response to the comments stated in a letter from the Town of Newburgh Planning Board Engineer dated May 29, 2014. Below is a comment by comment response:

- 1) A variance for front yard setback was granted by the Town of Newburgh ZBA at the July 24, 2014 Zoning Board Meeting.
- 2) This is a pre-existing non-conforming condition.
- 3) A variance for the existing sign was granted on December 27, 2007.
- 4) A grading plan has been added to the plan set.
- 5) The limits of proposed paving are shown on the plan; a thick shaded line has been added to the limits of paving to clearly define the limits.
- 6) Additional copies of the plans have been sent directly to the Town Engineer for referral to the Orange County Planning Department. Regarding the NYSDOT; as all entrances are existing therefore, we don't not believe that NYSDOT review and/or approval is required for this project.
- 7) Limits of storage areas are shown on the site plan.
- 8) As requested by the building inspector, the fire safety analysis has been completed and is attached. This analysis includes a calculation for the total water volume required to cool containers exposed to a fire.
- 9) There is no record of an existing easement(s) on the adjacent properties to the East. We are however, proposing a 20' wide water easement on the subject parcels.

10)The full plan set is being submitted which includes all necessary design details and plans.

11)This is a pre-existing non-conforming condition on the site.

12)A note has been added to the general notes stating that the sale of either of these lots will nullify any site plan approvals.

If you have any additional questions and/or comments please don't hesitate to contact this office.

Sincerely,  
Engineering & Surveying Properties, PC



Ross Winglovitz, P.E.  
Principal

CC: Depew Energy Co.  
file



### PARKING CALCULATIONS

BUILDING AREA: 300 SQ.FT. RETAIL OFFICE	1,300 SQ.FT. OFFICE	1,920 SQ.FT. SERVICE SHOP
TOTAL SPACES REQUIRED:	300 / 150 = 2 SPACES	1,300 / 200 = 6 SPACES
RETAIL: 1 SPACE PER 150 SQ.FT.		
OFFICE: 1 SPACE PER 200 SQ.FT.		
SHOP: 1 SPACE PER 250 SQ.FT.		
TRUCKING: 1 SPACE PER TRUCK	12 TRUCKS = 12 SPACES	29 SPACES

PARKING SPACES PROVIDED:  
24 STANDARD SPACES  
15 TRUCK SPACES  
99 TOTAL SPACES

### GENERAL NOTES

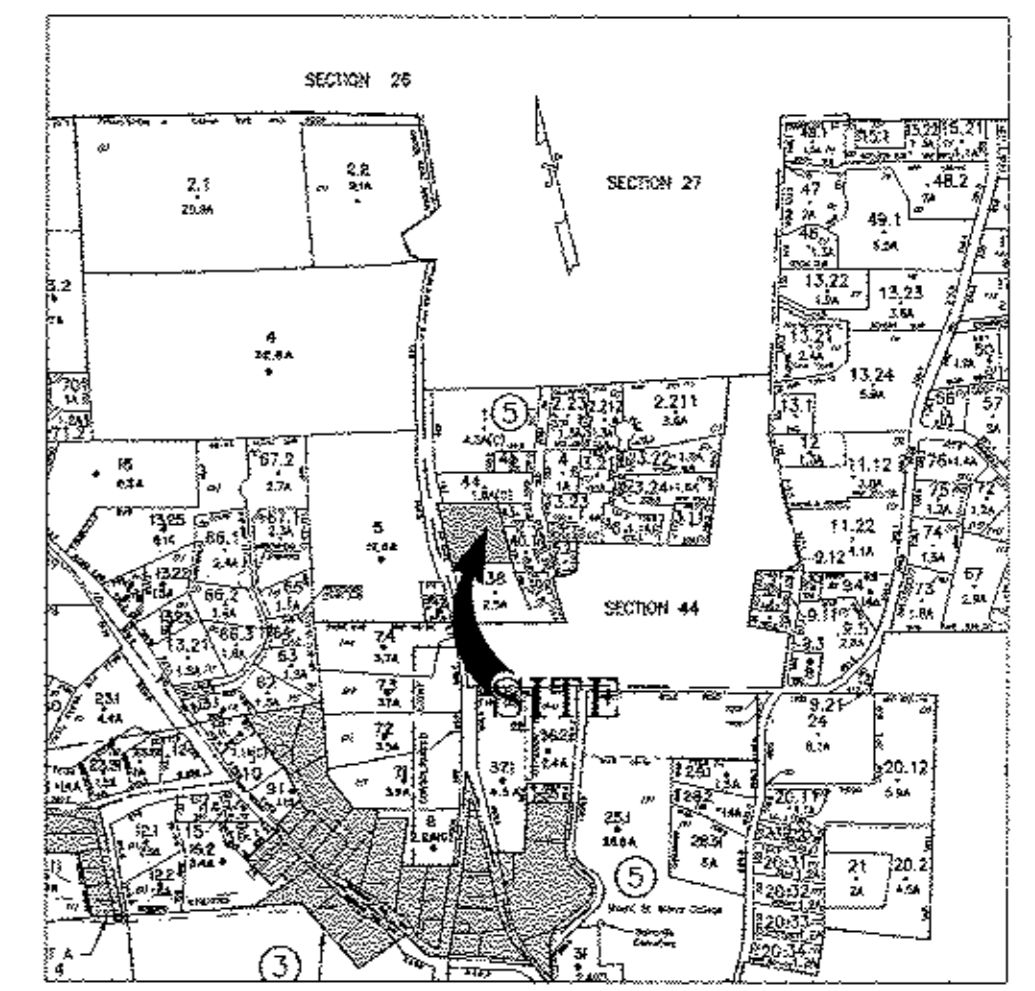
- TAX MAP IDENTIFICATION NUMBERS: SECTION 43, BLOCK 5, LOTS 41.2 & 42
- LOT AREA: 43-5-41.2: 56,074 SQ.FT. (1.29 ACRES)  
43-5-42: 32,580 SQ.FT. (0.75 ACRES)
- BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A SURVEY PREPARED BY ENGINEERING & SURVEYING PROPERTIES, PC ON MAY 1, 2014.
- OWNER/APPLICANT: 5182 ROUTE 9W, LLC  
5182 US ROUTE 9W  
NEWBURGH, NY 12550
- THE PROPOSED BUILDING ADDITION IS TO BE A 980 SQ.FT. EXPANSION OF THE EXISTING SERVICE REPAIR FACILITY.
- THE PROPOSED HOURS OF OPERATION SHALL BE 7AM - 5PM.
- A VARIANCE FOR THE SIGN WAS GRANTED ON DECEMBER 27, 2007.
- A VARIANCE FOR THE FRONT SETBACK OF THE EXISTING BUILDING ON LOT 42 WAS GRANTED ON JULY 24, 2014.
- A DEED RESTRICTION WILL BE FILED INDICATING THAT SITE PLAN APPROVAL FOR BOTH LOTS WILL ONLY BE VALID IF BOTH LOTS REMAIN UNDER THE SAME OWNERSHIP. SALE OF EITHER LOT WILL NEGATE ALL SITE PLAN APPROVALS.

REPUTED OWNER:  
**CAMACHO**  
TAX MAP ID: 43-5-44  
DEED BOOK: 6293, PAGE: 12

### BULK REQUIREMENTS

MINIMUM BUILDING REQUIREMENTS	REQUIRED	43 - 5 - 42
LOT AREA	20,000 SQ.FT.	32,580 SQ.FT.
LOT WIDTH	100 FEET	> 100 FEET
LOT DEPTH	125 FEET	> 125 FEET
FRONT YARD SETBACK	50 FEET <sup>1</sup>	38.3 FEET <sup>1</sup>
REAR YARD SETBACK	30 FEET	> 30 FEET
SIDE YARD SETBACK (ONE / BOTH)	15 / 30 FEET	> 15 / 30 FEET
MAXIMUM ALLOWABLE		
LOT BUILDING COVERAGE	40 / 50% <sup>1</sup>	< 40%
BUILDING HEIGHT	35 FEET	< 35 FEET
LOT SURFACE COVERAGE	80 / 85% <sup>2</sup>	< 80%

- NOTES:  
 1: 40 WITHOUT PUBLIC WATER AND SEWER, 50 WITH PUBLIC WATER AND SEWER  
 2: 80 WITHOUT PUBLIC WATER AND SEWER, 85 WITH PUBLIC WATER AND SEWER  
 3: PRE-EXISTING NONCONFORMING  
 4: IN ACCORDANCE WITH SECTION 185-18 C (4) (b) ALL ADJACENT STRUCTURES WITHIN 300 FEET OF THE EXISTING BUILDINGS HAVE A SETBACK OF LESS THAN 50 FEET



LOCATION MAP

No.	DATE	DESCRIPTION
1	07/01/14	REVISED PER TOWN COMMENTS
2	08/20/14	REVISED PER ENGINEER COMMENTS 05/29/14

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	08/20/14
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1 OF 4
<input type="checkbox"/> OCCOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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ROSS WINKOWITZ, P.E.  
NEW YORK LICENSE # 071701

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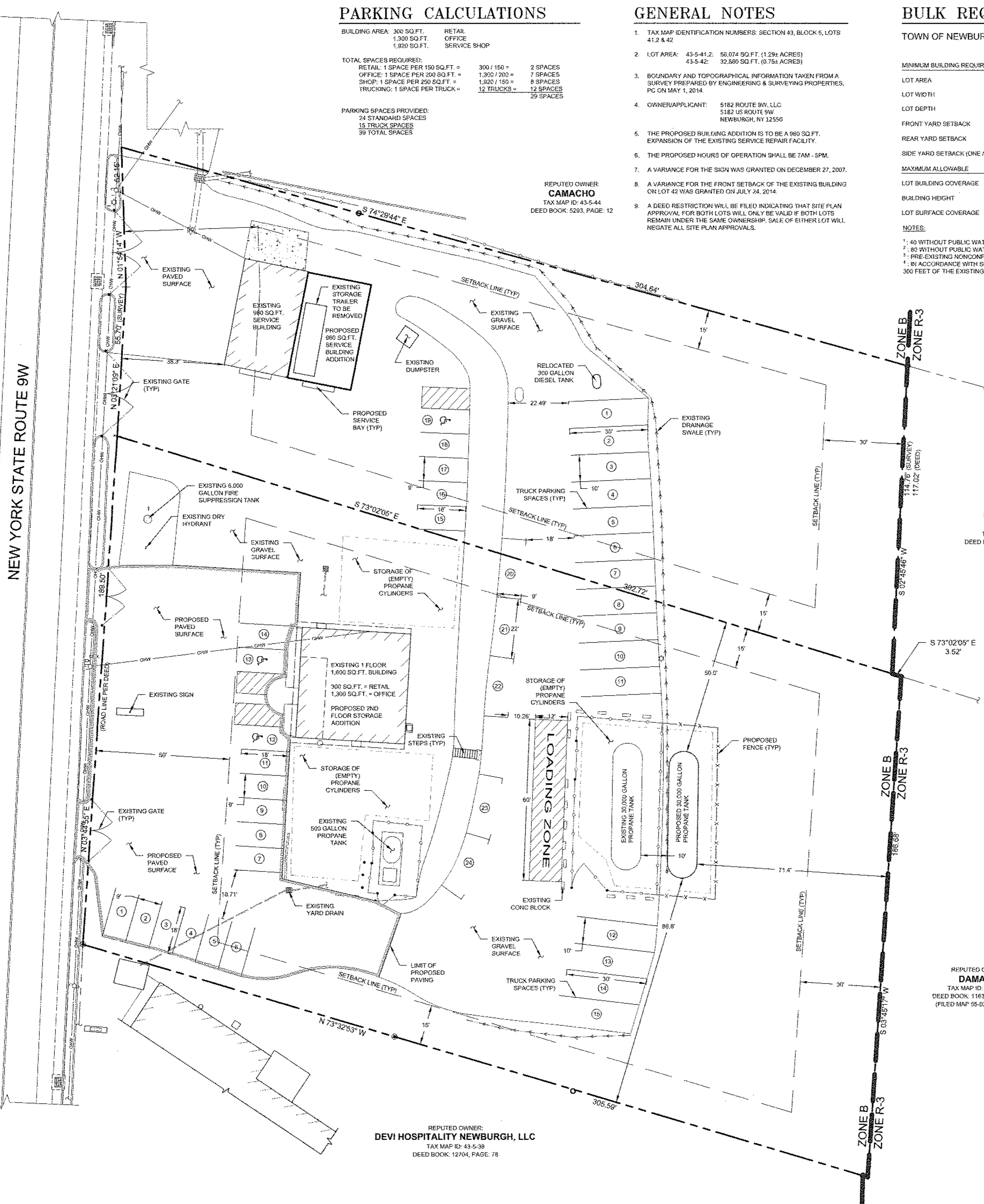
71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
Fx: (845) 457-1899

**SITE PLAN**

DEPEW ENERGY CO.  
5182 NYS ROUTE 9W  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1083.01	DRAWN BY:	KW
DATE:	05/08/14	SCALE:	1" = 20'
REVISION:	2 - 08/20/14	TAX LOT:	43-5-41.2 & 42

C-1



### BULK REQUIREMENTS

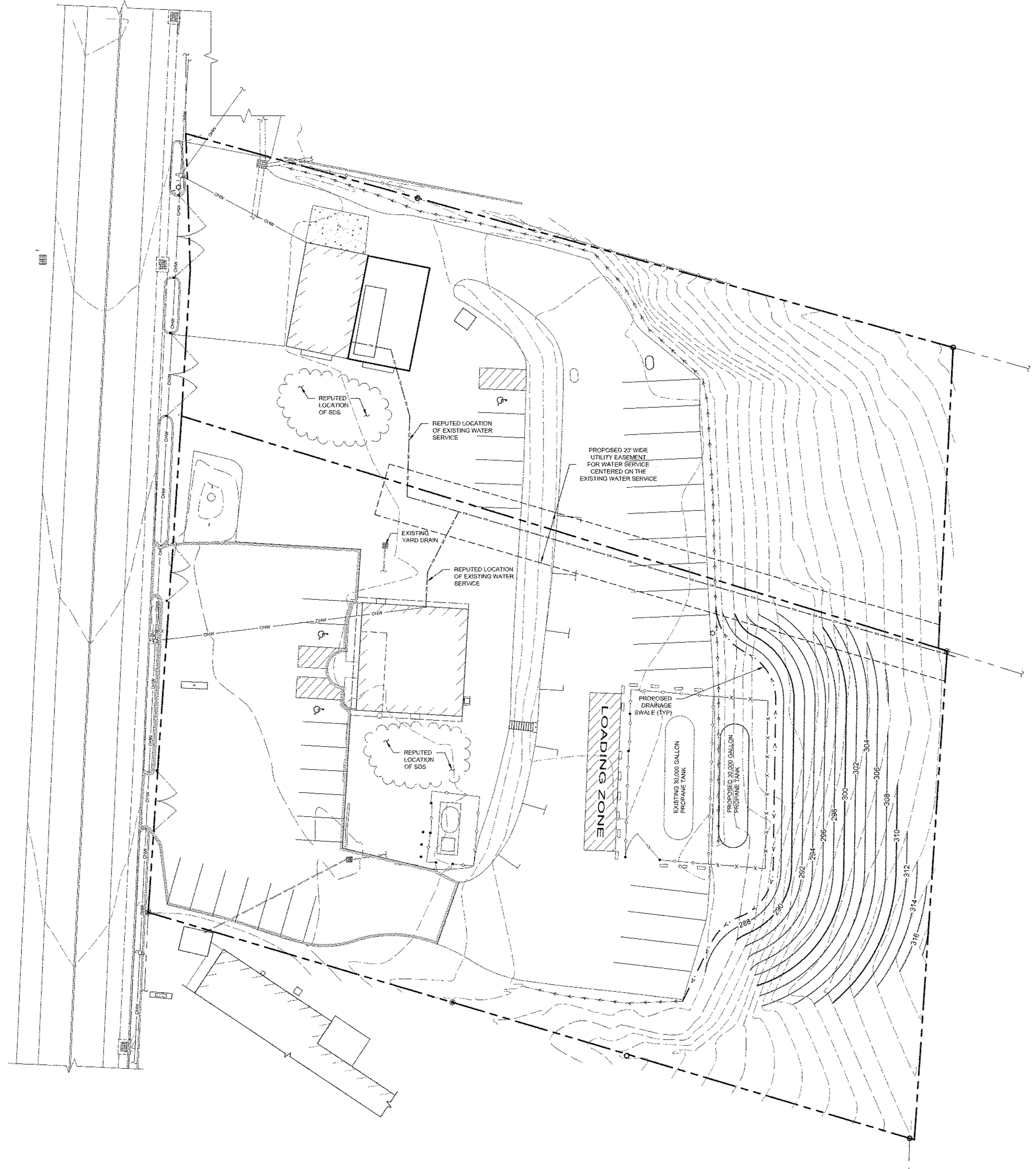
MINIMUM BUILDING REQUIREMENTS	REQUIRED	43 - 5 - 41.2
LOT AREA	15,000 SQ.FT.	56,074 SQ.FT.
LOT WIDTH	100 FEET	> 100 FEET
LOT DEPTH	125 FEET	> 125 FEET
FRONT YARD SETBACK	40 FEET	> 40 FEET
REAR YARD SETBACK	30 FEET	> 30 FEET
SIDE YARD SETBACK (ONE / BOTH)	15 / 30 FEET	> 15 / 30 FEET
MAXIMUM ALLOWABLE		
LOT BUILDING COVERAGE	40 / 60% <sup>1</sup>	< 40%
BUILDING HEIGHT	35 FEET	< 35 FEET
LOT SURFACE COVERAGE	80 / 85% <sup>2</sup>	< 80%

- NOTES:  
 1: 40 WITHOUT PUBLIC WATER AND SEWER, 60 WITH PUBLIC WATER AND SEWER  
 2: 80 WITHOUT PUBLIC WATER AND SEWER, 85 WITH PUBLIC WATER AND SEWER

REPUTED OWNER:  
**DAMATO**  
TAX MAP ID: 43-5-40.1  
DEED BOOK: 11638, PAGE: 1102  
(FILED MAP 55-02, PARCEL B)

REPUTED OWNER:  
**DEVI HOSPITALITY NEWBURGH, LLC**  
TAX MAP ID: 43-5-39  
DEED BOOK: 12704, PAGE: 78

11083.01 - Depew Energy Co. Plans.dwg  
Date Plotted: Aug 20, 2014, 8:35am



No.	DATE	DESCRIPTION
1	07/01/14	REVISED PER TOWN COMMENTS
2	05/20/14	REVISED PER ENGINEER COMMENTS 03/29/14

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THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	08/20/14
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1 inch = 20 ft.

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**GRADING, DRAINAGE & UTILITY PLAN**

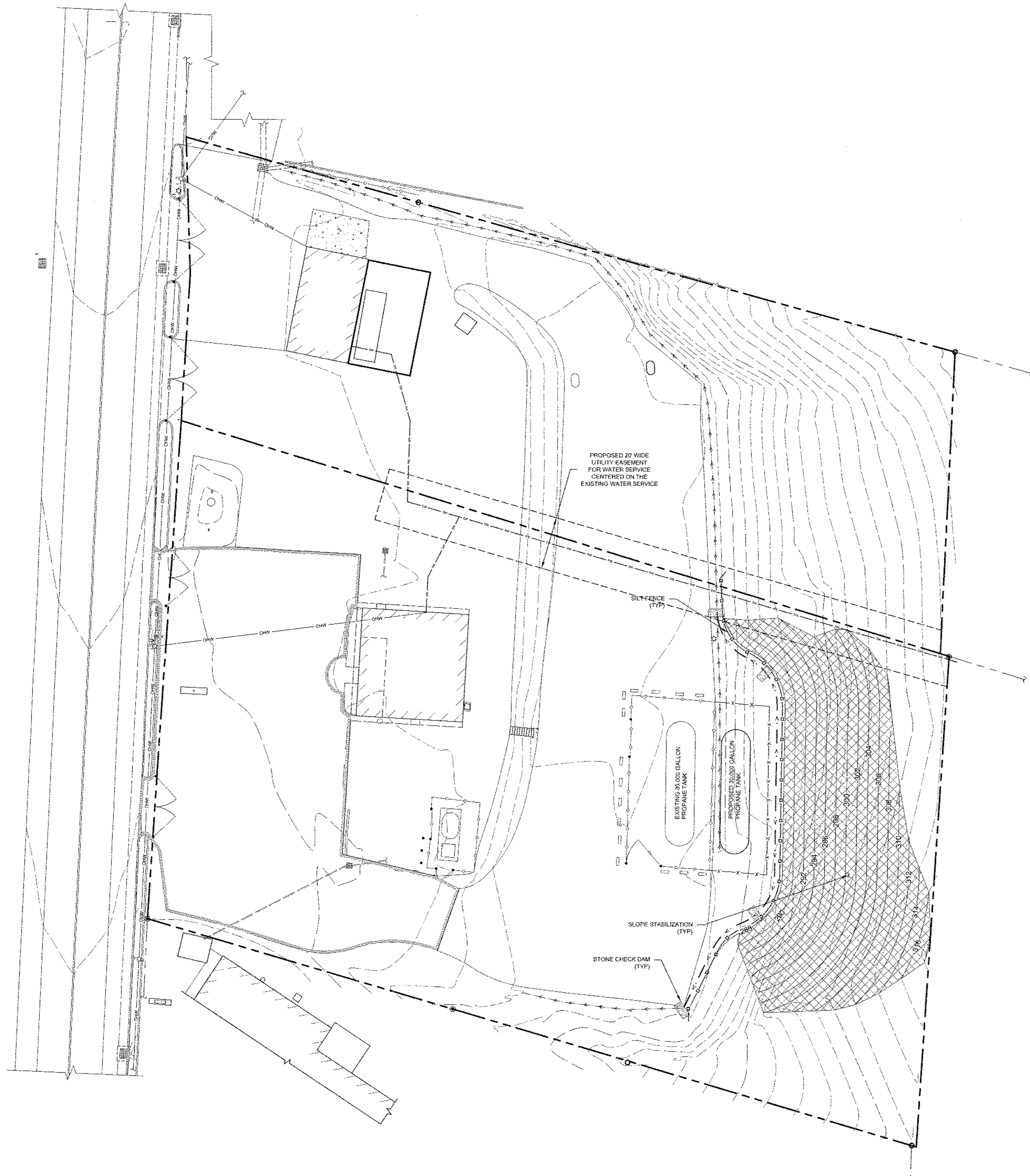
**DEPEW ENERGY CO.**  
5182 NYS ROUTE 9W  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1083.01	DRAWN BY:	KW
DATE:	08/13/14	SCALE:	1" = 20'
REVISION:	2 - 08/20/14	TAX LOT:	43-5-41.2 & 42

C-2

11/08/14 - Green Properties Plan Set  
Date Plotted: Aug 20, 2014, 8:28am

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PROPOSED 20' WIDE UTILITY EASEMENT FOR WATER SERVICE CENTERED ON THE EXISTING WATER SERVICE

SILT-FENCE (TYP)

EXISTING 30,000 GALLON PROPANE TANK

PROPOSED 30,000 GALLON PROPANE TANK

SLOPE STABILIZATION (TYP)

STONE CHECK DAM (TYP)

No.	DATE	DESCRIPTION
1	07/01/14	REVISED PER TOWN COMMENTS
2	08/20/14	REVISED PER ENGINEER COMMENTS 05/29/14

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	08/20/14
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3 OF 4
<input type="checkbox"/> OCCDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701

1 inch = 20 ft.

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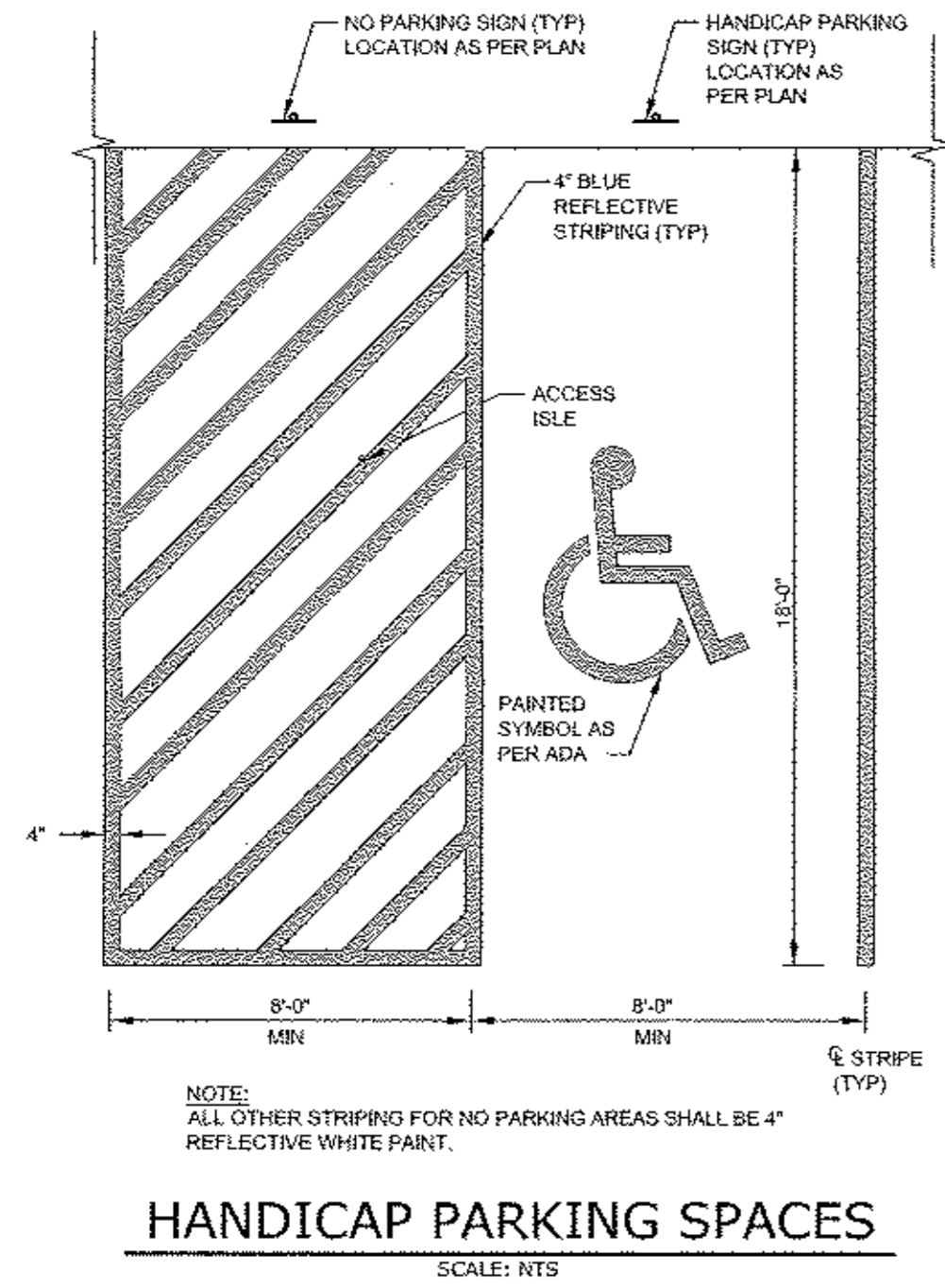
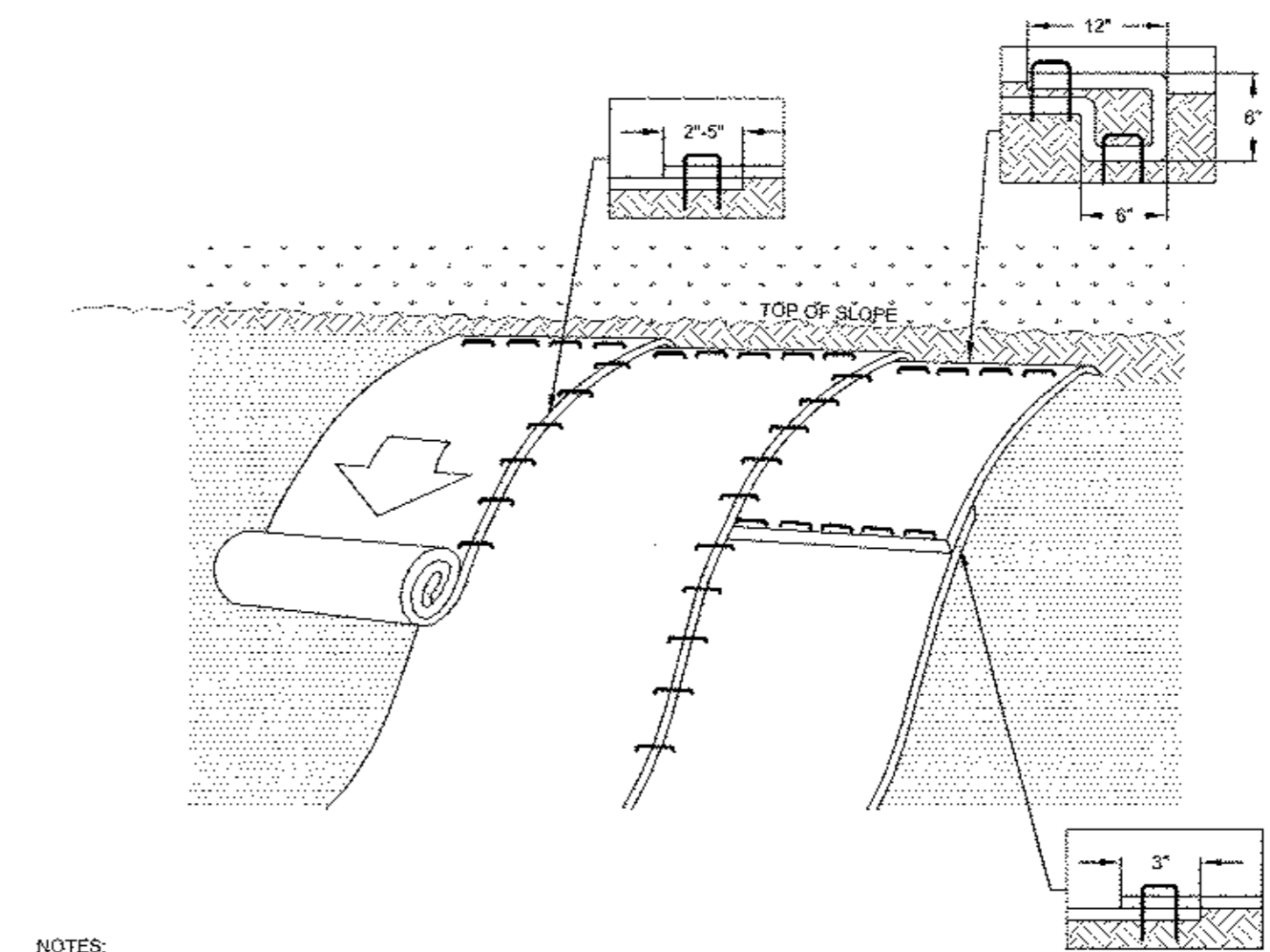
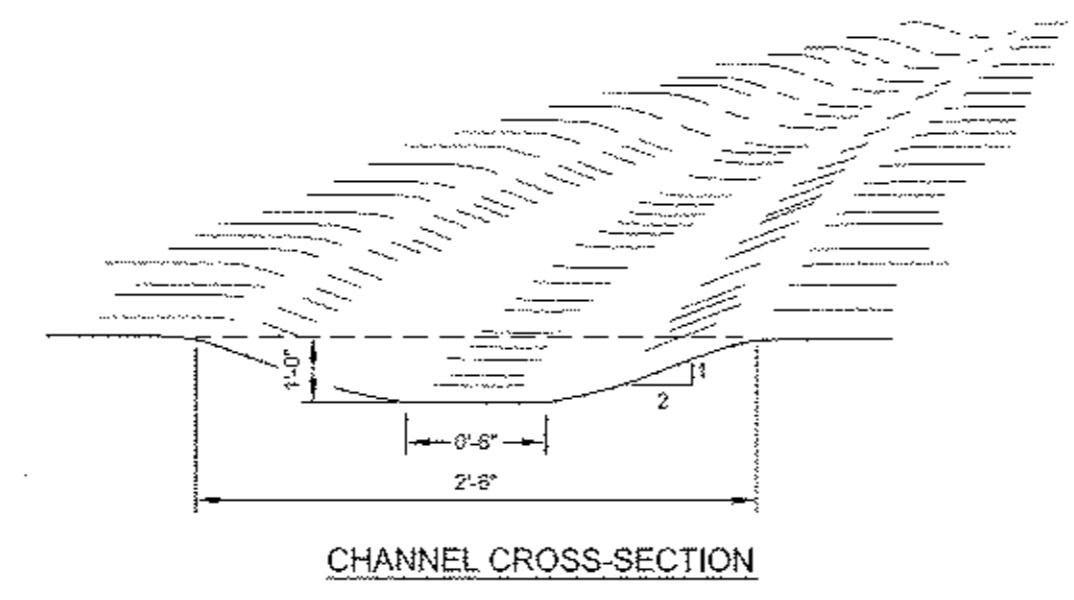
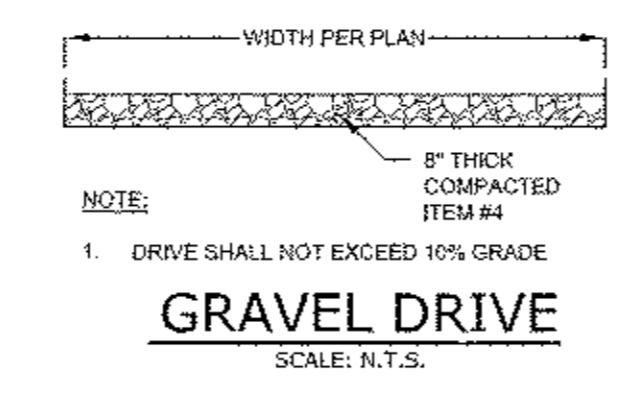
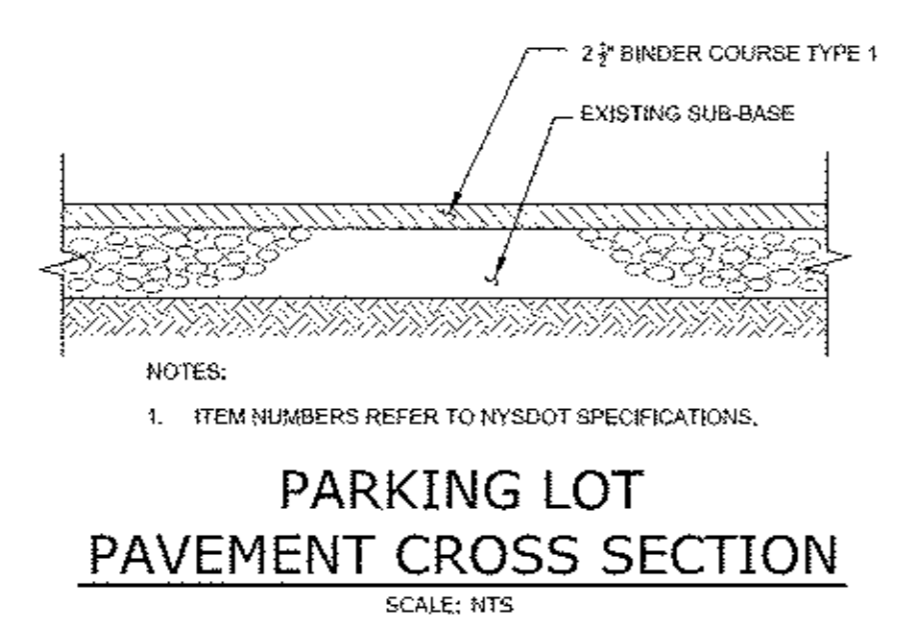
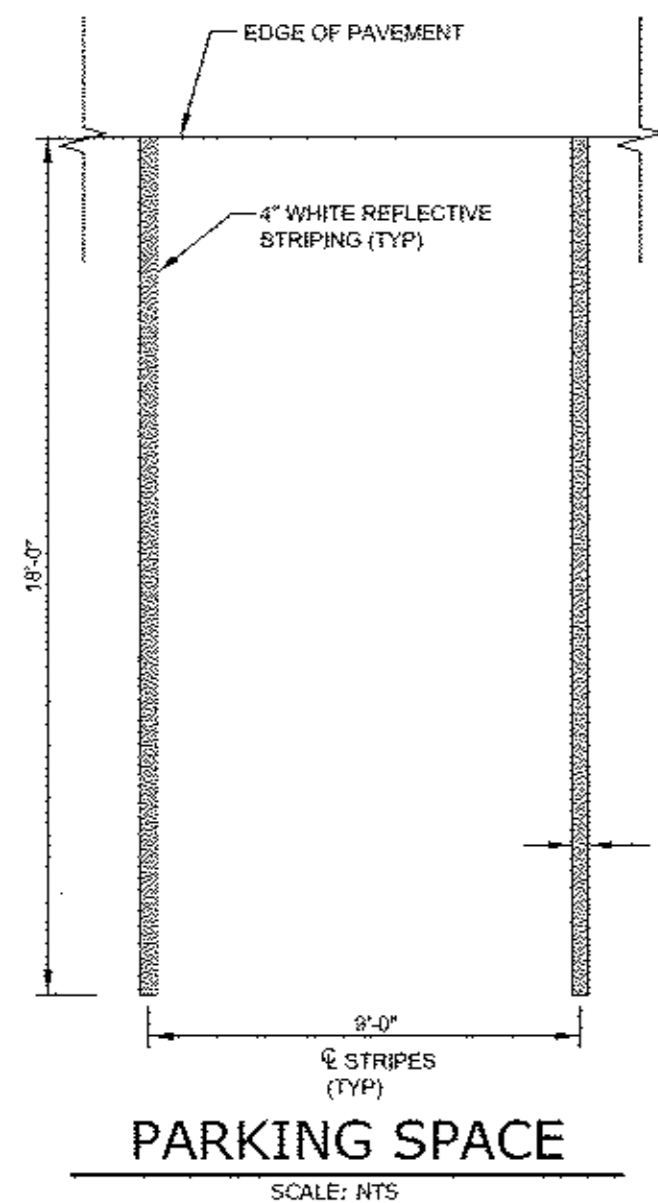
**EROSION & SEDIMENT CONTROL PLAN**

DEPEW ENERGY CO.  
5182 NYS ROUTE 9W  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1083.01	DRAWN BY:	KW
DATE:	08/13/14	SCALE:	1" = 20'
REVISION:	2 - 08/20/14	TAX LOT:	43-5-41.2 & 42

**C-3**

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**CONSTRUCTION SPECIFICATIONS:**

ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.

THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.

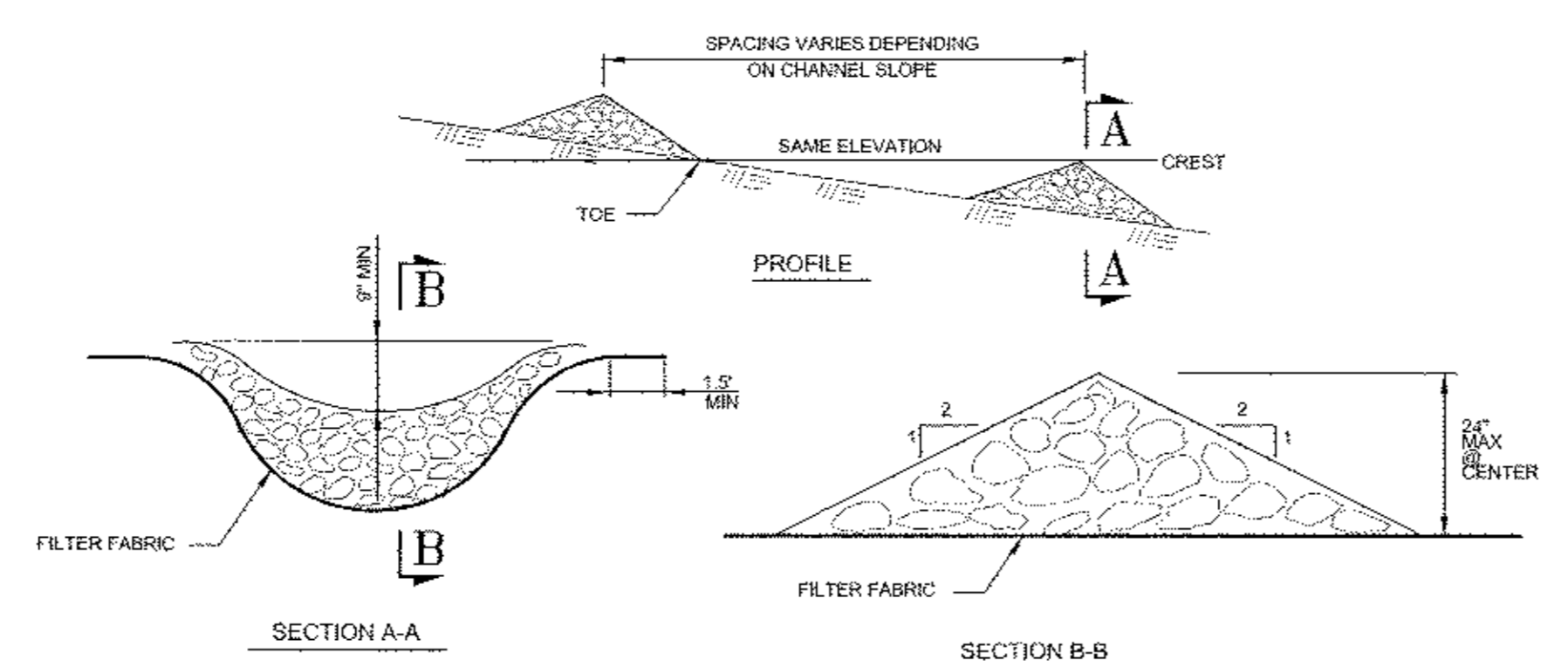
ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF OUTSIDE THE WETLAND SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.

STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE PRACTICES. SEEDING AND MULCHING SHALL BE USED FOR ESTABLISHMENT OF THE VEGETATION. VEGETATION PROVIDED SHALL BE REED CANARYGRASS, TALL FESCUE, KENTUCKY BLUEGRASS OR AN APPROVED EQUAL.

**GRASSED SWALE**  
SCALE: NTS

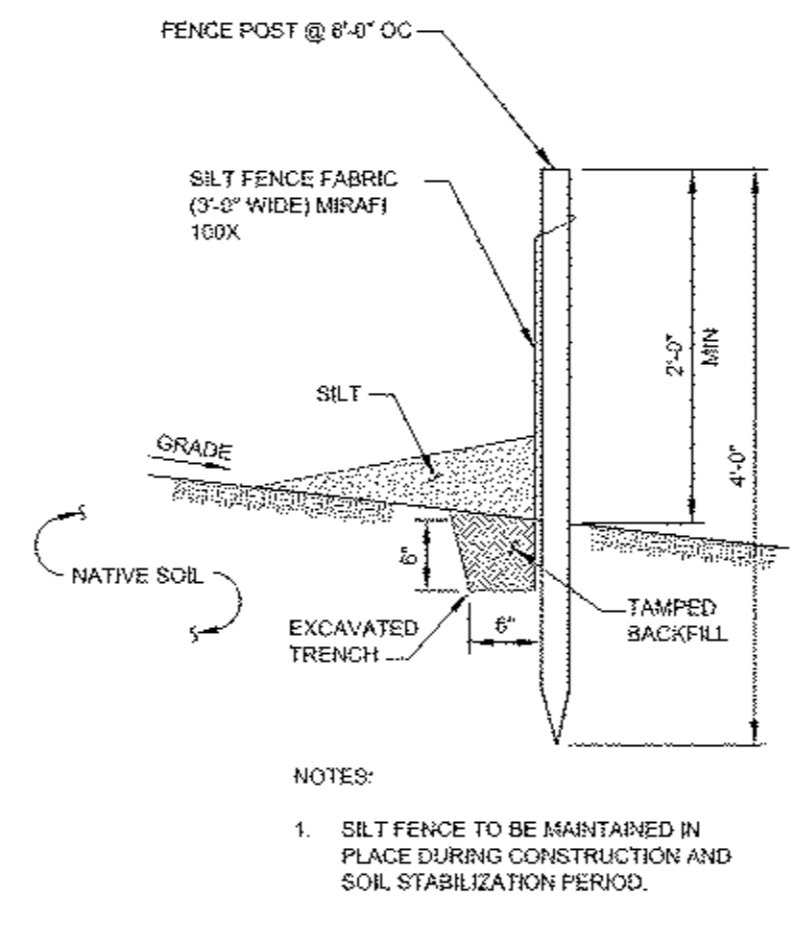
- NOTES:**
- ROLLED EROSION CONTROL PRODUCT (RECPS) SHALL BE USED ON ALL CONSTRUCTED SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL WITH A LENGTH OF OVER 12' HORIZONTALLY.
  - PREPARATION OF THE SOIL INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY RECPS.
  - INSTALL RECPS - NORTH AMERICAN GREEN BIONET S100BN OR APPROVED EQUAL. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECPS BACK OVER SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACE APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECPS.
  - ROLL THE RECPS DOWN THE SLOPE OR HORIZONTALLY ACROSS THE SLOPE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE PRODUCT'S STAPLE PATTERN GUIDE.
  - THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" TO 5" OVERLAP DEPENDING ON RECPS TYPE.
  - CONSECUTIVE RECPS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECPS WIDTH.

**SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)**  
SCALE: NTS



- CONSTRUCTION SPECIFICATIONS:**
- STONE SHALL BE MAXIMUM SIZE OF 12" WITH 90 TO 100 PERCENT BY WEIGHT LARGER THAN 6" AND 0 TO 10 PERCENT SMALLER THAN 1/2".
  - FILTER FABRIC SHALL BE POLY-FILTER X CLOTH AS MANUFACTURED BY CARTHAGE MILLS.
  - STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION AT LOCATIONS SHOWN ON THE PLAN.
  - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

**STONE CHECK DAM**  
SCALE: NTS



**SILT FENCE**  
SCALE: N.T.S.

No.	DATE	DESCRIPTION
1	07/03/14	REVISED PER TOWN COMMENTS
2	08/20/14	REVISED PER ENGINEER COMMENTS 05/29/14

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		08/20/14
		SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	4	OF 4
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

**ENGINEERING & SURVEYING PROPERTIES**  
Achieving Successful Results with Innovative Designs

71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
Fax: (845) 457-1899

**DETAILS**

DEPEW ENERGY CO.  
5182 NYS ROUTE 9W  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #:	1083.01	DRAWN BY:	ML
DATE:	08/14/14	SCALE:	AS NOTED
REVISION:	2 - 08/20/14	TAX LOT:	43-5-41.2 & 42

**C-4**