

McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)  
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)  
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)  
PATRICK J. HINES  
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: [mheny@mhepc.com](mailto:mheny@mhepc.com)

Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: BALDWIN FAMILY TRUST-2 LOT SUBDIVISION**  
**PROJECT NO.: 20-12**  
**PROJECT LOCATION: SECTION 9, BLOCK 3, LOT 40.22**  
**REVIEW DATE: 28 AUGUST 2020**  
**MEETING DATE: 3 SEPTEMBER 2020**  
**PROJECT REPRESENTATIVE: DAY/STOKOSA ENGINEERING**

1. Highway Superintendents comments regarding the two driveways located on Highland Terrace should be received.
2. Existing garage to be removed requires a permit from the Building Department. Notes should be added to the plans stating "Permit is required prior to removal".
3. Standard Town of Newburgh Water System Connection notes and details must be added to the plans. Copies for standard notes are attached to this comment letter.
4. The Town of Newburgh Planning Board block on sheet #1 does not conform to Town requirements. Block should be left blank with an area for the Chairman's stamp, site plan notes are not required.
5. A bold line is depicted at the common access drive. It is unclear if this is proposed to be an easement. Sheet PP1 contains the referenced line.
6. The EAF submitted identifies potential habitat for protected Bat species. Tree clearing notes should be added to the plans restricting tree clearing to permitted time frames.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

---

Patrick J. Hines  
Principal

PJH/kbw

# DAY | STOKOSA

ENGINEERING P.C.

---

3 Van Wyck Lane  
Suite 2  
Wappingers Falls, New York 12590  
Phone: 845-223-3202

August 7, 2020

Mr. Patrick Hines  
McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.  
33 Airport Center Drive #202  
New Windsor, NY 12553

**Re: Baldwin Family Trust – Two-lot subdivision  
Highland Terrace  
Town of Newburgh**

Dear Mr. Hines:

The project site is an 8.23-acre parcel located on Highland Terrace, identified as tax grid number Section 9, Block 3, Lot 40.22. The project site is located in the R-3 zoning district of the Town of Newburgh. The applicant is proposing to subdivide the existing lot into two separate lots ranging from 3.4 to 4.8 acres. The two lots will tie into town water and will both have their own private septic systems.

Should you have any questions, please do not hesitate to call me.

Very truly yours,



Derek J. Day

**TOWN OF NEWBURGH PLANNING BOARD**

Baldwin Family Trust - Two-lot subdivision

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. N/A Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission



30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: M. L. O. R.  
Licensed Professional

Date: 08-11-20

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**  
Baldwin Family Trust - Two-lot subdivision

**2. Owner of Lands to be reviewed:**  
**Name** Baldwin Family Trust - Charles Baldwin  
**Address** 75 Highland Terrace  
Newburgh, NY 12550  
**Phone** \_\_\_\_\_

**3. Applicant Information (If different than owner):**  
**Name** Michael Garrita  
**Address** 73 Reservoir Road  
Marlboro, NY 12542  
**Representative** \_\_\_\_\_  
**Phone** \_\_\_\_\_  
**Fax** \_\_\_\_\_  
**Email** \_\_\_\_\_

**4. Subdivision/Site Plan prepared by:**  
**Name** Day and Stokosa Engineering, PC  
**Address** 3 Van Wyck Lane  
Wappingers Falls, NY 12590  
**Phone/Fax** \_\_\_\_\_

**5. Location of lands to be reviewed:**  
Highland Terrace Newburgh, NY 12550

**6. Zone** R-3 **Fire District** Cronomer Valley Fire District  
**Acreage** 8.23 acres **School District** Marlboro Central School District

**7. Tax Map: Section** 9 **Block** 3 **Lot** 40.22

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 2

Lot line change \_\_\_\_\_

Site plan review Two-lot subdivision

Clearing and grading \_\_\_\_\_

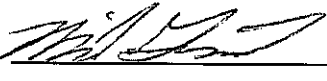
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

9. Easements or other restrictions on property:

(Describe generally) N/A

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Applicant

Date: 8-11-20

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

8-11-20

\_\_\_\_\_  
DATED

Michael Garitta

\_\_\_\_\_  
APPLICANT'S NAME (printed)



\_\_\_\_\_  
APPLICANT'S SIGNATURE



## FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

*Michael Garitta*

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

*Michael Garitta*

\_\_\_\_\_  
**APPLICANTS SIGNATURE**

*8-11-20*

\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

(OWNER) Charles Baldwin, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 75 Highland Terrace

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF Section 9, Block 3

Lot 40.22

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND Michael Guritta IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8-11-20

Charles Baldwin

OWNERS SIGNATURE

\_\_\_\_\_

Charles Baldwin

OWNERS NAME (printed)

\_\_\_\_\_

\_\_\_\_\_

WITNESS' SIGNATURE

NAMES OF ADDITIONAL  
REPRESENTATIVES

WITNESS' NAME (printed)

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Baldwin Family Trust - Two-lot subdivision		
Project Location (describe, and attach a general location map): Highland Terrace, Section 9, Block 3, Lot 40.22, Town of Newburgh		
Brief Description of Proposed Action (include purpose or need): Applicant wishes to subdivide existing 8.2 acre lot into two separate lots.		
Name of Applicant/Sponsor: Michael Garrita		Telephone:
		E-Mail:
Address: 73 Reservoir Road		
City/PO: Marlboro	State: NY	Zip Code: 12542
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Baldwin Family Trust (Charles Baldwin)		Telephone:
		E-Mail:
Address: 75 Highland Terrace		
City/PO: Newburgh	State: NY	Zip Code: 12550



**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Newburgh Planning Board	
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R-3 Residential

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Marlboro Central School District

b. What police or other public protection forces serve the project site?

Town of Newburgh Police

c. Which fire protection and emergency medical services serve the project site?

Cronomer Valley Fire District

d. What parks serve the project site?

Chadwick Lake Park, Algonquin Park, Cronomer Hill Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 8.22 acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ 1.00 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 8.22 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Residential, 2-lot split.

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? 2

iv. Minimum and maximum proposed lot sizes? Minimum 3.42 Maximum 4.81

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ 6 months

ii. If Yes:

• Total number of phases anticipated \_\_\_\_\_

• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	2	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

- If Yes,
- i. Total number of structures \_\_\_\_\_
  - ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length
  - iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

- If Yes,
- i. Purpose of the impoundment: \_\_\_\_\_
  - ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_
  - iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_
  - iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
  - v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
  - vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

- If Yes:
- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
  - ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
    - Volume (specify tons or cubic yards): \_\_\_\_\_
    - Over what duration of time? \_\_\_\_\_
  - iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_
  - iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_
  - v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres
  - vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
  - vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet
  - viii. Will the excavation require blasting?  Yes  No
  - ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

- If Yes:
- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 440 gal./day/lot gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh Water
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 440 gal/day/lot gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary wastewater. \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
  - Will a line extension within an existing district be necessary to serve the project?  Yes  No
- If Yes:
- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

- If Yes:
- Applicant/sponsor for new district: \_\_\_\_\_
  - Date application submitted or anticipated: \_\_\_\_\_
  - What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

\_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

\_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

- If Yes:
- i. How much impervious surface will the project create in relation to total size of project parcel?
- \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)
- \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- ii. Describe types of new point sources. \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

\_\_\_\_\_

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

- If Yes, identify:
- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
- \_\_\_\_\_
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- \_\_\_\_\_
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
- \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

- ii. In addition to emissions as calculated in the application, the project will generate:
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 9 AM - 5 PM \_\_\_\_\_
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

ii. During Operations:

- Monday - Friday: \_\_\_\_\_
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration: \_\_\_\_\_

---

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: \_\_\_\_\_

---

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

---

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)
- Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0.33	+ 0.33
• Forested	0	0	
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	8.23	7.90	- 0.33
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			



c. Is the project site presently used by members of the community for public recreation?  Yes  No

i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No

If Yes,

i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_

iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No

If Yes:

i. Has the facility been formally closed?  Yes  No

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No

Yes - Spills Incidents database

Provide DEC ID number(s): \_\_\_\_\_

Yes - Environmental Site Remediation database

Provide DEC ID number(s): \_\_\_\_\_

Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No

If yes, provide DEC ID number(s): 336059, 546031

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

Status of 336059 (McCall Place Plume): The groundwater contamination in the site area exists as three separate plumes. However, the investigation did not reveal source of the ground water contamination discovered in private wells. Hence, it is recommended that the site not be listed on "Registry of Inactive Hazardous Waste Disposal Sites."

Status of 546031 (Hudson River PCB Sediments): The Lower Hudson portion of the NPL site has not be fully investigated to date. Significant threat: PCB contamination in the Hudson River sediments continue to pose a significant threat to human health and/or the environment. Concentrations in PCBs in biota directly attributable to the waste disposal at the site have led the Department of Health to recommend that human consumption of biota be limited over a substantial portion of the Hudson River between Hudson Falls and the Battery in New York City. In the upper Hudson, the fishery is catch and release only, and the NYSDOH advisory is to eat none. To see the fish consumption advisories, go to: <https://www.health.ny.gov/publications/2794.pdf> and [https://www.health.ny.gov/environmental/outdoors/fish/hudsonriveradvisory\\_outreach\\_project/](https://www.health.ny.gov/environmental/outdoors/fish/hudsonriveradvisory_outreach_project/) The disposal of PCB into the Hudson River has also led to significant environmental damage as defined in 6 NYCRR Part 375. This site has been included in the Federal National Priorities List (NPL).

- v. Is the project site subject to an institutional control limiting property uses?  Yes  No
- If yes, DEC site ID number: \_\_\_\_\_
  - Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
  - Describe any use limitations: \_\_\_\_\_
  - Describe any engineering controls: \_\_\_\_\_
  - Will the project affect the institutional or engineering controls in place?  Yes  No
  - Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ > 7 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Gravelly, silty loam \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ > 7 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

**h. Surface water features.**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Freshwater Forested/Shrub Wetland Approximate Size 0.3 acres
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Atlantic Sturgeon, Shortnose Sturgeon and Indiana Bat

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

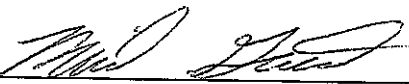
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Michael Gasitta Date 8-11-20

Signature  Title Applicant

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]

Project : \_\_\_\_\_  
 Date : \_\_\_\_\_

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

**4. Impact on groundwater**  
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer.  NO  YES  
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
 If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**  
 The proposed action may result in development on lands subject to flooding.  NO  YES  
 (See Part 1. E.2)  
 If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

**6. Impacts on Air**  
 The proposed action may include a state regulated air emission source.  NO  YES  
 (See Part 1. D.2.f., D.2.h, D.2.g)  
*If "Yes", answer questions a - f. If "No", move on to Section 7.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflouorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**7. Impact on Plants and Animals**  
 The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.)  NO  YES  
*If "Yes", answer questions a - j. If "No", move on to Section 8.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>



e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**8. Impact on Agricultural Resources**

The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)

NO

YES

*If "Yes", answer questions a - h. If "No", move on to Section 9.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**9. Impact on Aesthetic Resources**

The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)

NO

YES

If "Yes", answer questions a - g. If "No", go to Section 10.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**10. Impact on Historic and Archeological Resources**

The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)

NO

YES

If "Yes", answer questions a - e. If "No", go to Section 11.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**11. Impact on Open Space and Recreation**  
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.  
(See Part 1. C.2.c, E.1.c., E.2.q.)  
If "Yes", answer questions a - e. If "No", go to Section 12.

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**  
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)  
If "Yes", answer questions a - c. If "No", go to Section 13.

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems.

 NO YES

(See Part 1. D.2.j)

*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy.

 NO YES

(See Part 1. D.2.k)

*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____			

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting.

 NO YES

(See Part 1. D.2.m., n., and o.)

*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  
 If "Yes", answer questions a - m. If "No", go to Section 17.

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**17. Consistency with Community Plans**

The proposed action is not consistent with adopted land use plans.  
(See Part 1. C.1, C.2. and C.3.)

NO

YES

If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**

The proposed project is inconsistent with the existing community character.  
(See Part 1. C.2, C.3, D.2, E.3)

NO

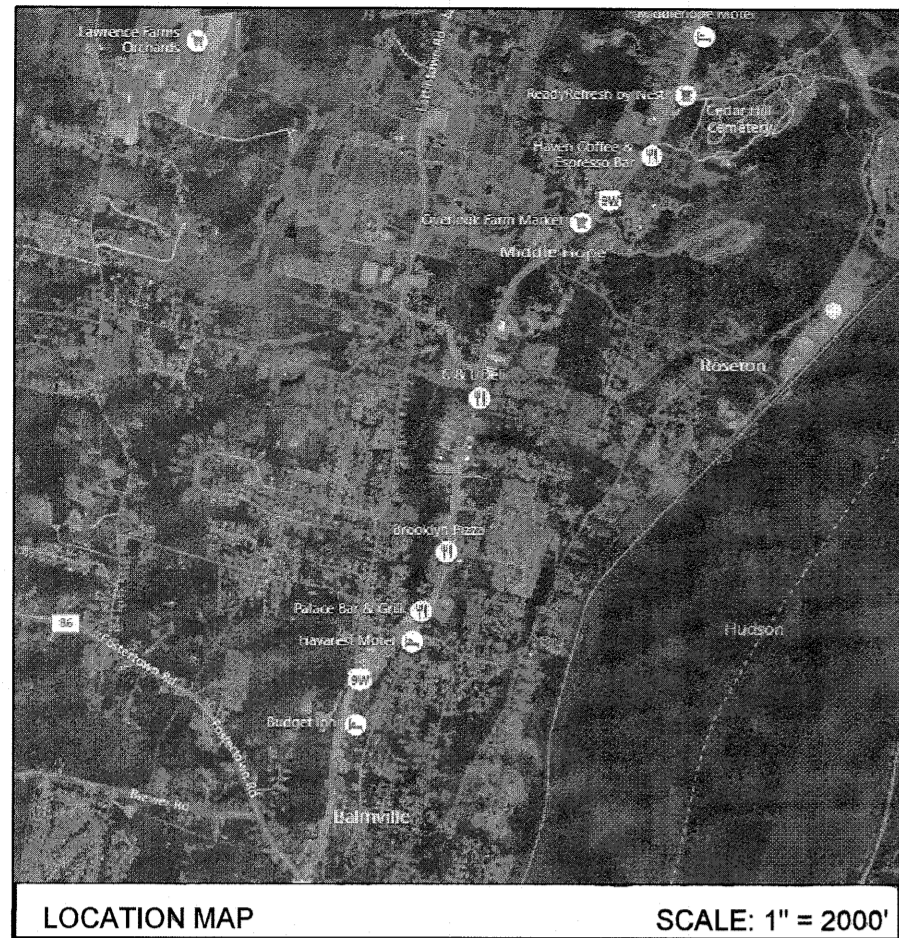
YES

If "Yes", answer questions a - g. If "No", proceed to Part 3.

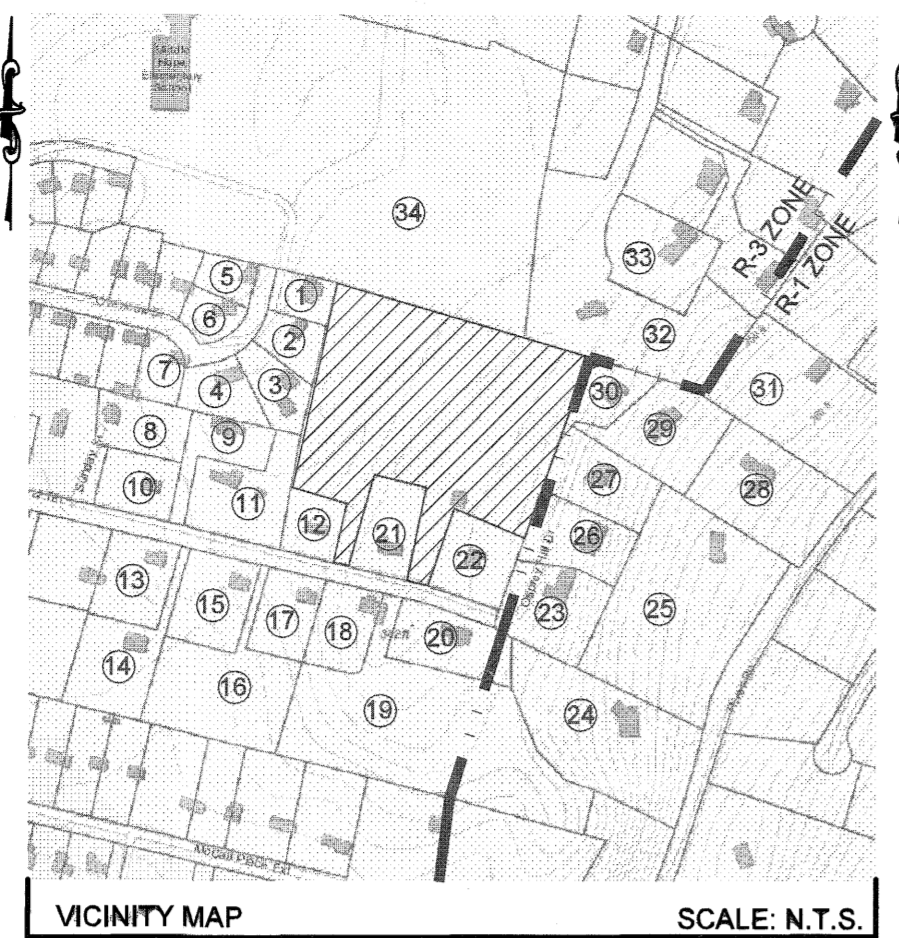
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**PRINT FULL FORM**





LOCATION MAP SCALE: 1" = 2000'



VICINITY MAP SCALE: N.T.S.

# LANDS OF BALDWIN FAMILY TRUST

## TWO-LOT SUBDIVISION

### HIGHLAND TERRACE

### TOWN OF NEWBURGH

### ORANGE COUNTY, NEW YORK

#### ADJOINING OWNERS WITHIN 500 FEET OF PROJECT SITE:

- |  |   |   |   |
|--|---|---|---|
| 1. Arnold and Rosemary Babcock<br>40 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-2     | 2. Meghan McGuinness<br>71 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-40.21                       | 23. Eight Osprey Hill Drive, LLC<br>14 Bramshill Drive<br>Mahwah, NJ 07430<br>S-B-L: 9-3-43.1       | 34. Middlehope School<br>21 Milton Turnpike Ste. 100<br>Marlboro, NY 12547<br>S-B-L: 9-3-30 |
| 2. Justin R. Joyce<br>38 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-3                 | 13. Maurizio Lauria<br>54 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-81                          | 24. Joseph Bonici<br>701 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-41                          |   |
| 3. Ronald and Frances Weller<br>36 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-4       | 14. Maurizio Lauria<br>54 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-83                          | 25. William Comley<br>709 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-43.4                       |   |
| 4. Randy A. Seligmann<br>34 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-5              | 15. Ryan and Sabrina Tompkins<br>60 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-82                | 26. John T. Westerman Living Trust<br>14 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-43.2 |   |
| 5. John and Cynthia Palmer<br>31 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-6         | 16. Joseph Rhoda<br>424 Carpenter Ave #7<br>Newburgh, NY 12550<br>S-B-L: 20-2-84                            | 27. Barbara B. Mills<br>18 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-80                 |   |
| 6. Christian and Heather Cavanaugh<br>29 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-7 | 17. Brian K Holliday<br>PO Box D4<br>325 Sherman Ave Apt<br>Peekskill, NY 10566<br>S-B-L: 20-2-5.13         | 28. Barry S. Hyman<br>717 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-44.2                       |   |
| 7. Jill Baron<br>30 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-6-10                     | 18. John and Joan Martens<br>78 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-5.12                  | 29. Shoib Aziz<br>22 Osprey Hill<br>Newburgh, NY 12550<br>S-B-L: 9-3-44.12                          |   |
| 8. Richard L. Calley, Jr.<br>6 Sunday Street<br>Newburgh, NY 12550<br>S-B-L: 9-3-36.22         | 19. David Dudley<br>41 Park Ave Apt. 3F<br>New York, NY 10016<br>S-B-L: 20-2-85                             | 30. Jae Joon Lee<br>24 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-81                     |   |
| 9. Bernice H. Earley<br>59 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-37             | 20. Alexander and Virginia Milar<br>80 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-5.11           | 31. Michael R. McGarvey<br>215 E 68th Street Apt. 11E<br>New York, NY 10065<br>S-B-L: 9-3-45.1      |   |
| 10. Joseph P. Lezoli<br>2266 Route 300<br>Walkill, NY 12589<br>S-B-L: 9-3-36.31                | 21. Family Trust - Charles and Noreen Baldwin<br>75 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-39 | 32. Elapus Ltd.<br>PO Box 211<br>Marlboro, NY 12542<br>S-B-L: 9-3-70.5                              |   |
| 11. Verma M. Belcastro<br>61 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-38           | 22. Patricia Bewick<br>81 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-40.1                         | 33. Steven and Susan Pearl<br>31 Brooker Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-48.22            |   |

PARCEL INFORMATION	
Address:	Highland Terrace
TAX MAP No.	Section 9, Block 3, Lot 40.22
LOT AREA:	8.23 Acres +/-
ZONING:	R-3 (RESIDENTIAL)
PROPOSED USE:	RESIDENTIAL
WATER:	PUBLIC
SEWER:	PRIVATE
SCHOOL DISTRICT:	MARLBORO CENTRAL SCHOOL DISTRICT

	Lot 1		Lot 2 (Proposed)	
	Minimum Required	Existing	Proposed	Existing
Lot Area (square feet)	15,000	358,421	209,537	148,884
Lot Width (feet)	100	652.7	379.6	271.3
Lot Depth (feet)	125	464.4	464.4	500
Front Yard (feet)	40	-	61	88
Rear Yard (feet)	40	-	289.3	152.8
1 Side Yard (feet)	15	-	54.2	91.5
Both Side Yards (feet)	30	-	54.2	91.5
Habitable Floor Area Per Dwelling Unit (square feet)	900	-	2,500	2,500

	Lot 1		Lot 2 (Proposed)	
	Maximum Permitted	Existing	Proposed	Existing
Dwelling Units Per Acre	-	-	-	-
Lot Building Coverage (percent)	15%	-	1.20	1.70
Building Height (feet)	35	-	35	35
Lot Surface Coverage (percent)	30%	-	2.34	4.84

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE

Project No. 2020.274 License No. 069646

**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

**Baldwin Family Trust - Two-lot  
Subdivision**

Town of Newburgh Orange County, New York

Title Sheet

SCALE	DATE	DRAWN BY	CHECKED BY
As Noted	07-13-20	DJD	MAD

**TS.1**  
1 of 7

**Applicant**

**Michael Garrita**  
73 Reservoir Road  
Marlboro, NY 12542

**Owner**

**Baldwin Family Trust**  
Charles Baldwin  
75 Highland Terrace  
Newburgh, NY 12550

**Owner's Consent Note**

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREOF STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

Baldwin Family Trust

DATE \_\_\_\_\_

**TOWN PLANNING BOARD**  
TOWN OF NEWBURGH, NEW YORK

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF NEWBURGH, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS SITE PLAN, AS APPROVED, SHALL VOID THIS APPROVAL. SITE PLAN IS VOID IF CONSTRUCTION IS NOT STARTED WITHIN ONE YEAR AND COMPLETED IN TWO YEARS OR THE DATE OF THE SIGNING OF THIS PLAN.

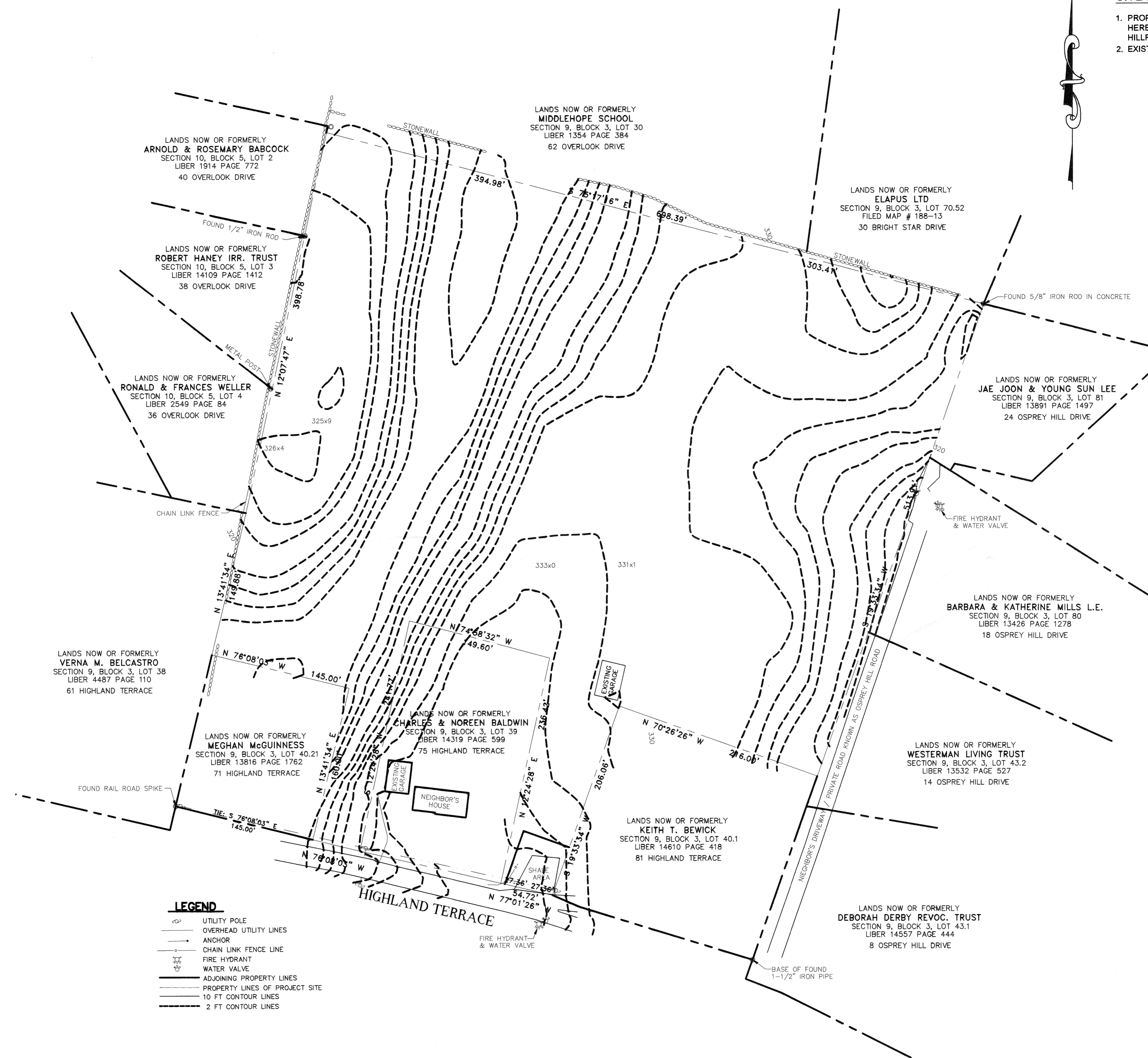
TOWN OF NEWBURGH PLANNING BOARD  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BY \_\_\_\_\_

Chairman, Planning Board



**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLRIGEL L.S., DATED MAY 26, 2020.
2. EXISTING GARAGE ON LOT 2 TO BE REMOVED.



**LEGEND**

- UTILITY POLE
- OVERHEAD UTILITY LINES
- ANCHOR
- CHAIN LINK FENCE LINE
- FIRE HYDRANT
- WATER VALVE
- ADJOINING PROPERTY LINES
- PROPERTY LINES OF PROJECT SITE
- 10 FT CONTOUR LINES
- 2 FT CONTOUR LINES

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY IS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y. STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFIED TO:  
BALDWIN FAMILY TRUST,  
THE TOWN OF NEWBURGH,  
TO BE A TRUE SURVEY PERFORMED IN THE FIELD  
ON MAY 12, 2020.

*Margaret M. Hillrigel*  
MARGARET M. HILLRIGEL L.S.  
N.Y.S. LIC. No. 50253

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
Project No.	2020.274
License No.	069646

**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

**PROJECT**  
Baldwin Family Trust - Two-lot  
Subdivision  
Town of Newburgh Orange County, New York

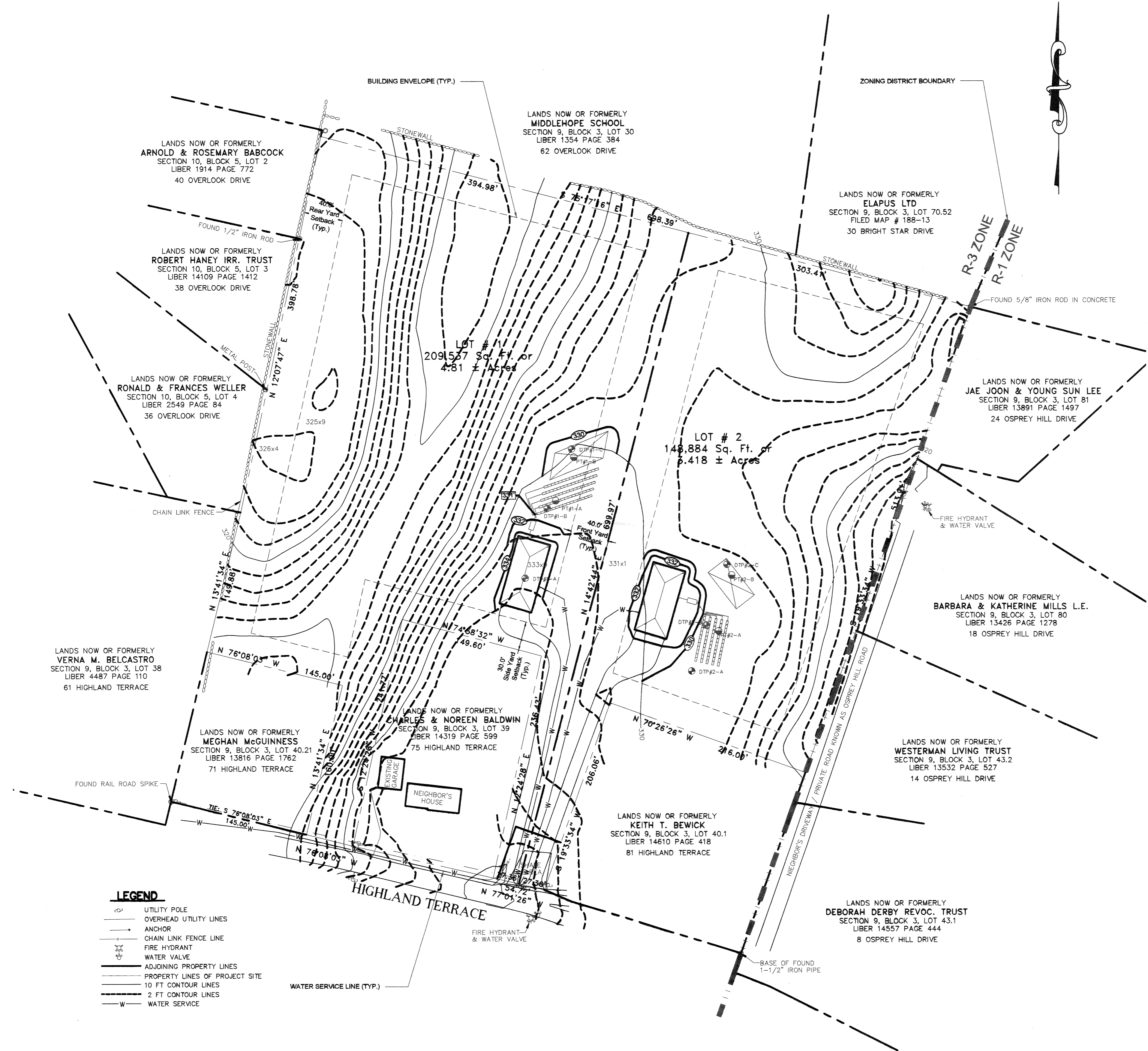
**Overall Site Plan - Existing Conditions**

SCALE	1" = 60'	DRAWN BY	DJD	DATE	07-13-20
DATE	07-13-20	CHECKED BY	MAD	<b>EC.1</b> 2 of 7	



**SITE NOTES**


1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLREIGEL L.S., DATED MAY 26, 2020.
2. PLEASE REFER TO SHEET SDS.1 FOR DETAILED DESIGN AND LAYOUT OF PROPOSED ONSITE WASTEWATER TREATMENT SYSTEMS.



Estimated Fill (Cubic Yards)	
Lot 1	Lot 2 (Proposed)
304 yd <sup>3</sup>	615 yd <sup>3</sup>

- LEGEND**
- UTILITY POLE
  - OVERHEAD UTILITY LINES
  - ANCHOR
  - CHAIN LINK FENCE LINE
  - FIRE HYDRANT
  - WATER VALVE
  - ADJOINING PROPERTY LINES
  - PROPERTY LINES OF PROJECT SITE
  - 10 FT CONTOUR LINES
  - 2 FT CONTOUR LINES
  - WATER SERVICE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

<p>Mark A. Day, PE</p> 
<p>2020.274 License No. 069646</p>

**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

**Baldwin Family Trust - Two-lot**  
Subdivision  
Town of Newburgh Orange County, New York

Overall Site Plan - Proposed Conditions

SCALE	DRAWN BY	CHECKED BY
1" = 60'	DJD	
DATE	DESIGNED BY	
07-13-20	MAD	

**PC.1**

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY IS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

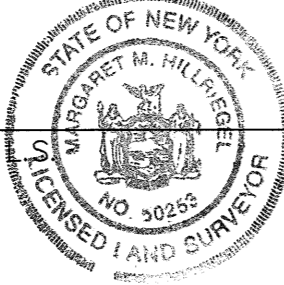
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y. STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SUBJECT TO AN UP TO DATE ABSTRACT OF TITLE.  
SUBJECT TO UNDERGROUND UTILITIES AND EASEMENTS NOT RECORDED AND/OR NOT VISIBLE AT THE TIME OF FIELD SURVEY.

CERTIFIED TO:  
BALDWIN FAMILY TRUST,  
THE TOWN OF NEWBURGH,

TO BE A TRUE SURVEY PERFORMED IN THE FIELD  
ON MAY 12, 2020.

*Margaret M. Hillreigel*  
MARGARET M. HILLREIGEL  
N.Y.S. LIC. No. 50253



**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLREIGEL L.S., DATED MAY 26, 2020.

**LEGEND**

- UTILITY POLE
- OVERHEAD UTILITY LINES
- ANCHOR
- CHAIN LINK FENCE LINE
- FIRE HYDRANT
- WATER VALVE
- ADJOINING PROPERTY LINES
- PROPERTY LINES OF PROJECT SITE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
Project No.	2020.274
License No.	069646
<h2 style="margin: 0;">DAY STOKOSA</h2> <p style="margin: 0;">ENGINEERING P.C.</p>	
<p style="margin: 0;">3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202</p>	
<p style="margin: 0;"><b>Baldwin Family Trust - Two-lot Subdivision</b></p> <p style="margin: 0;">Town of Newburgh      Orange County, New York</p>	
<h3 style="margin: 0;">Plat Plan</h3>	
SCALE	DRAWN BY
1" = 60'	DJD
DATE	CHECKED BY
07-13-20	MAD
<h1 style="margin: 0;">PP.1</h1> <p style="text-align: right; font-size: small;">4 of 7</p>	

**1 PLAT PLAN - EXISTING CONDITIONS**  
SCALE: 1" = 60'

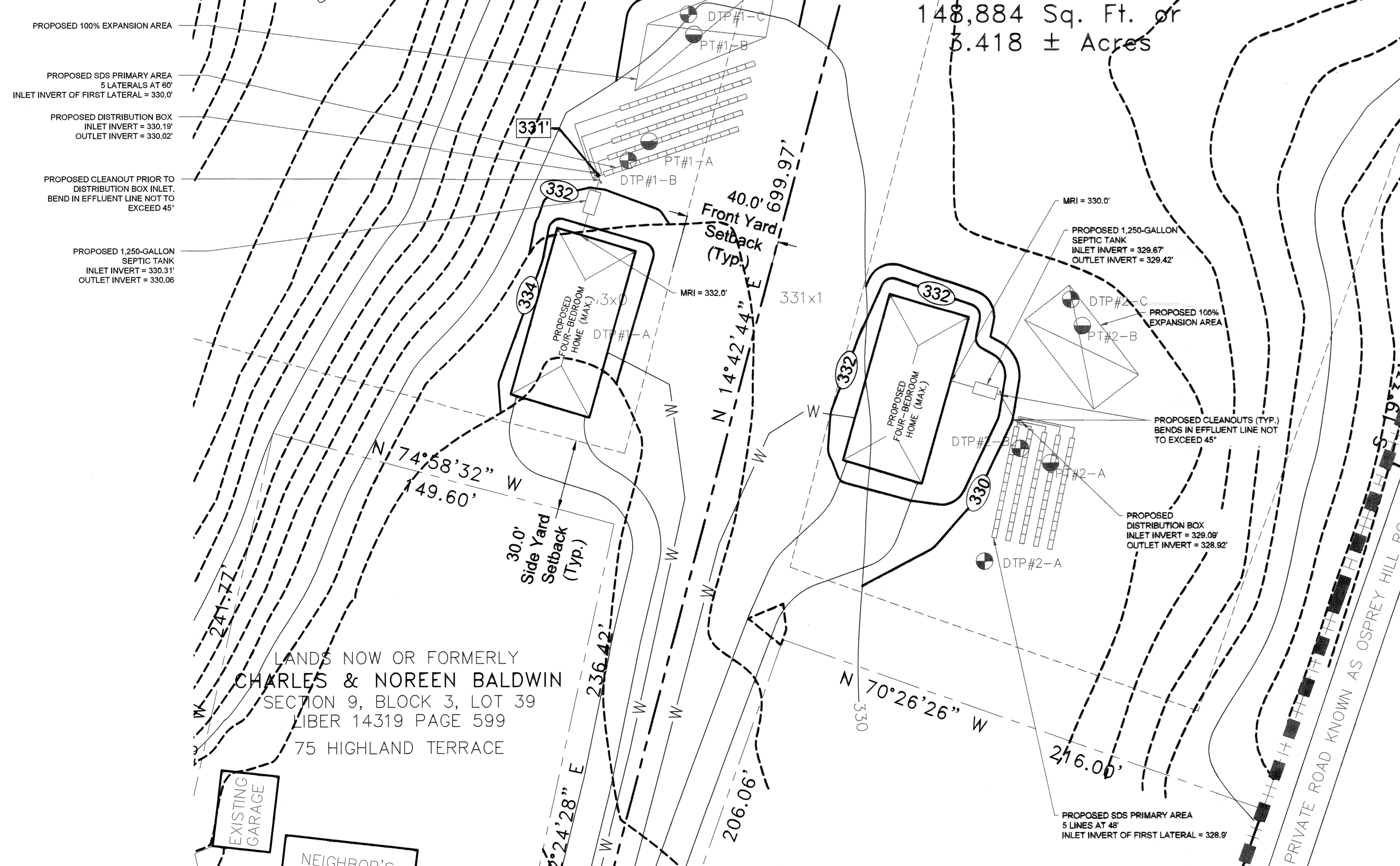
**2 PLAT PLAN - PROPOSED CONDITIONS**  
SCALE: 1" = 60'





LOT # 1  
209,537 Sq. Ft. or  
4.81 ± Acres

LOT # 2  
148,884 Sq. Ft. or  
3.418 ± Acres



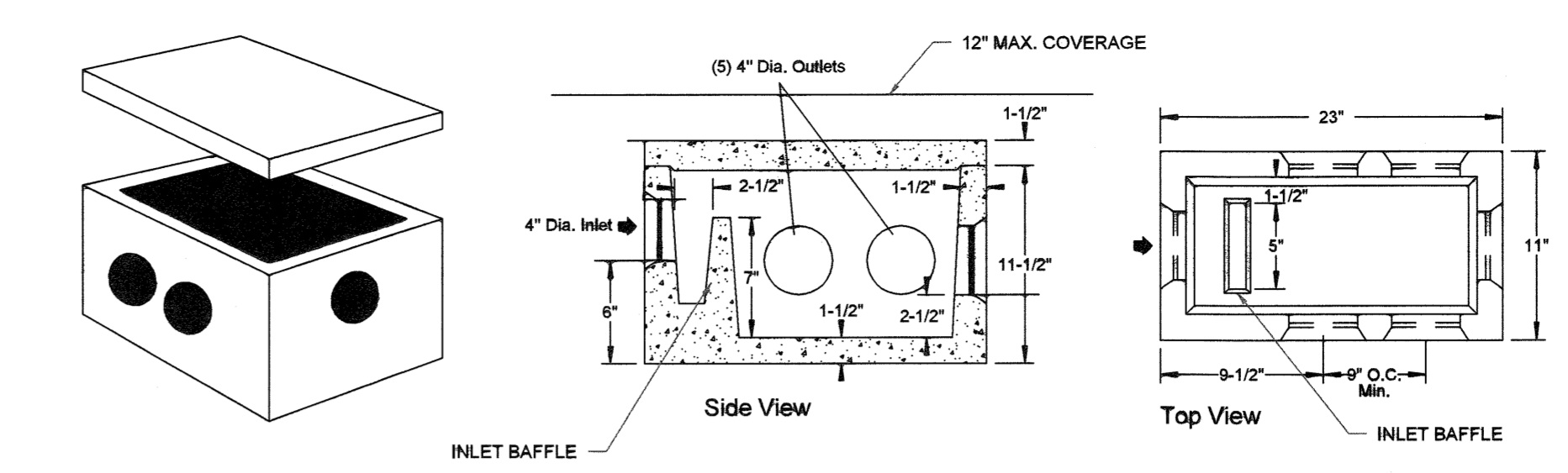
LANDS NOW OR FORMERLY  
CHARLES & NOREEN BALDWIN  
SECTION 9, BLOCK 3, LOT 39  
LIBER 14319 PAGE 599  
75 HIGHLAND TERRACE

- LEGEND**
- UTILITY POLE
  - OVERHEAD UTILITY LINES
  - ANCHOR
  - CHAIN LINK FENCE LINE
  - FIRE HYDRANT
  - WATER VALVE
  - ADJOINING PROPERTY LINES
  - PROPERTY LINES OF PROJECT SITE
  - 10 FT CONTOUR LINES
  - 2 FT CONTOUR LINES
  - DTP DEEP TEST PIT LOCATION
  - PT PERCOLATION TEST HOLE LOCATION
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATIONS
  - TEMPORARY SILT FENCE
  - WATER SERVICE

**1 PARTIAL SITE PLAN (PROPOSED SEPTIC SYSTEM LAYOUT)**  
SCALE: 1" = 30'

**SITE NOTES**

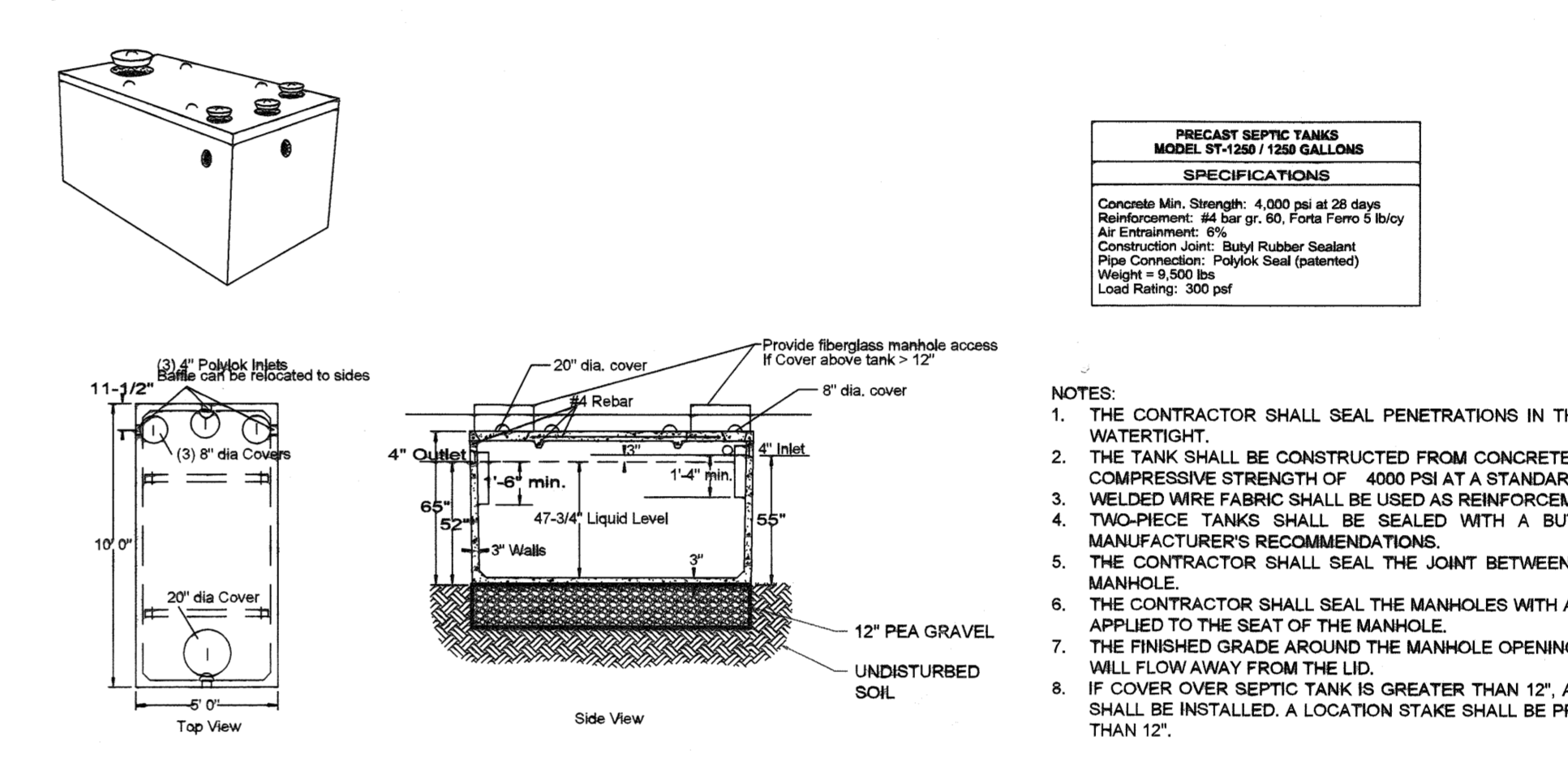
1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLREIGEL L.S., DATED MAY 26, 2020.
2. FILL FOR LOT #1 SDS EXPANSION AREA TO NOT BE INSTALLED DURING INITIAL CONSTRUCTION. IT IS ONLY TO BE INSTALLED IN THE EVENT THAT THE INSTALLATION OF THE EXPANSION AREA IS NECESSARY.



- NOTES:**
1. A MINIMUM OF 2' OF 4" Ø SOLID PIPE SHALL BE PROVIDED PRIOR TO THE START OF THE INFILTRATORS.
  2. ALL OUTLETS SHALL BE AT THE SAME ELEVATION. ALL UNUSED OUTLETS MUST BE PLUGGED.
  3. A BRICK BAFFLE SHALL BE PLACED AT THE INLET OPENING OF THE D-BOX.
  4. A BED OF 12" OF PEA GRAVEL SHALL BE PROVIDED UNDER THE D-BOX.
  5. THE INVERT ON THE INLET PIPE SHALL BE A MINIMUM OF 2" HIGHER THAN THE INVERT OF ANY OF THE OUTLETS.
  6. SPEED LEVELERS SHALL BE PROVIDED IN DISTRIBUTION BOX.

PRECAST DISTRIBUTION BOXES MODEL DB-5WB / 5 OUTLETS W/BAFFLE	
SPECIFICATIONS	
Concrete Min. Strength:	4,000 psi at 28 days
Reinforcement:	Fiber
Air Entrainment:	5%
Pipe Connection:	Polylok Seal (patented)
Load Rating:	300 psf
Weight:	110 lbs

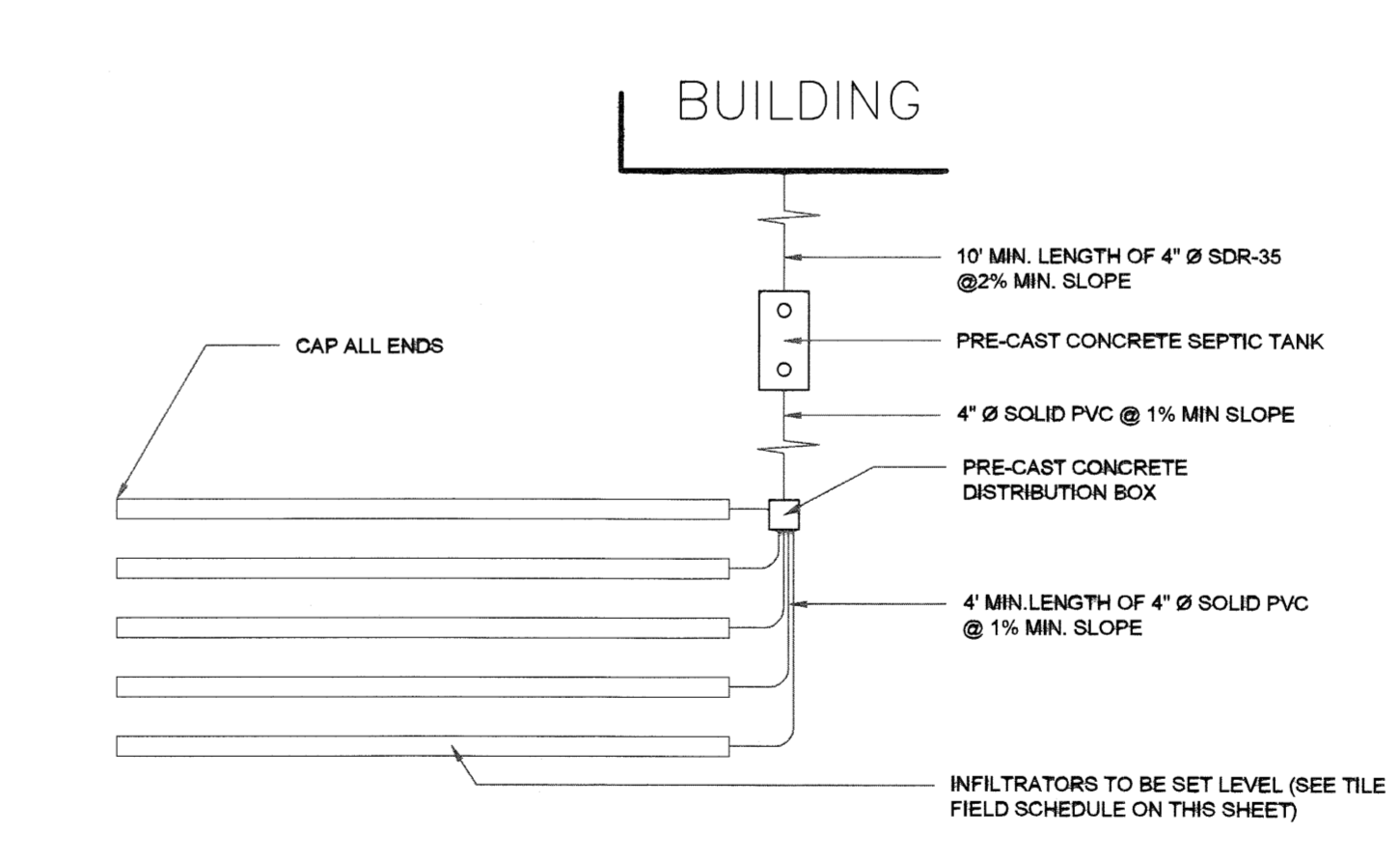
**2 TYPICAL FIVE-OUTLET DISTRIBUTION BOX DETAIL**  
NOT TO SCALE



PRECAST SEPTIC TANK MODEL ST-1250 / 1250 GALLONS	
SPECIFICATIONS	
Concrete Min. Strength:	4,000 psi at 28 days
Reinforcement:	#4 bar @ 8" (5' Forti-Flex 5-Bury)
Air Entrainment:	6%
Construction Joint:	Butyl Rubber Sealant
Pipe Connection:	Polylok Seal (patented)
Weight:	4,500 lbs
Load Rating:	300 psf

- NOTES:**
1. THE CONTRACTOR SHALL SEAL PENETRATIONS IN THE TANK SO THAT THE TANK IS WATERTIGHT.
  2. THE TANK SHALL BE CONSTRUCTED FROM CONCRETE WHICH SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT A STANDARD 28 DAY COMPRESSIVE TEST.
  3. WELDED WIRE FABRIC SHALL BE USED AS REINFORCEMENT FOR THE TANK.
  4. TWO-PIECE TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURER'S RECOMMENDATIONS.
  5. THE CONTRACTOR SHALL SEAL THE JOINT BETWEEN THE TOP OF THE TANK & THE MANHOLE.
  6. THE CONTRACTOR SHALL SEAL THE MANHOLES WITH A COAT OF BITUMASTIC SEALANT APPLIED TO THE SEAT OF THE MANHOLE.
  7. THE FINISHED GRADE AROUND THE MANHOLE OPENINGS SHALL ENSURE THAT WATER WILL FLOW AWAY FROM THE LID.
  8. IF COVER OVER SEPTIC TANK IS GREATER THAN 12", AN ACCESS-TO-GRADE MANHOLE SHALL BE INSTALLED. A LOCATION STAKE SHALL BE PROVIDED WHERE COVER IS LESS THAN 12".

**3 TYPICAL 1,250-GALLON SEPTIC TANK DETAIL**  
NOT TO SCALE



**4 TYPICAL TILE FIELD DETAIL**  
NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
PROJECT NO. 2020.274	

**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

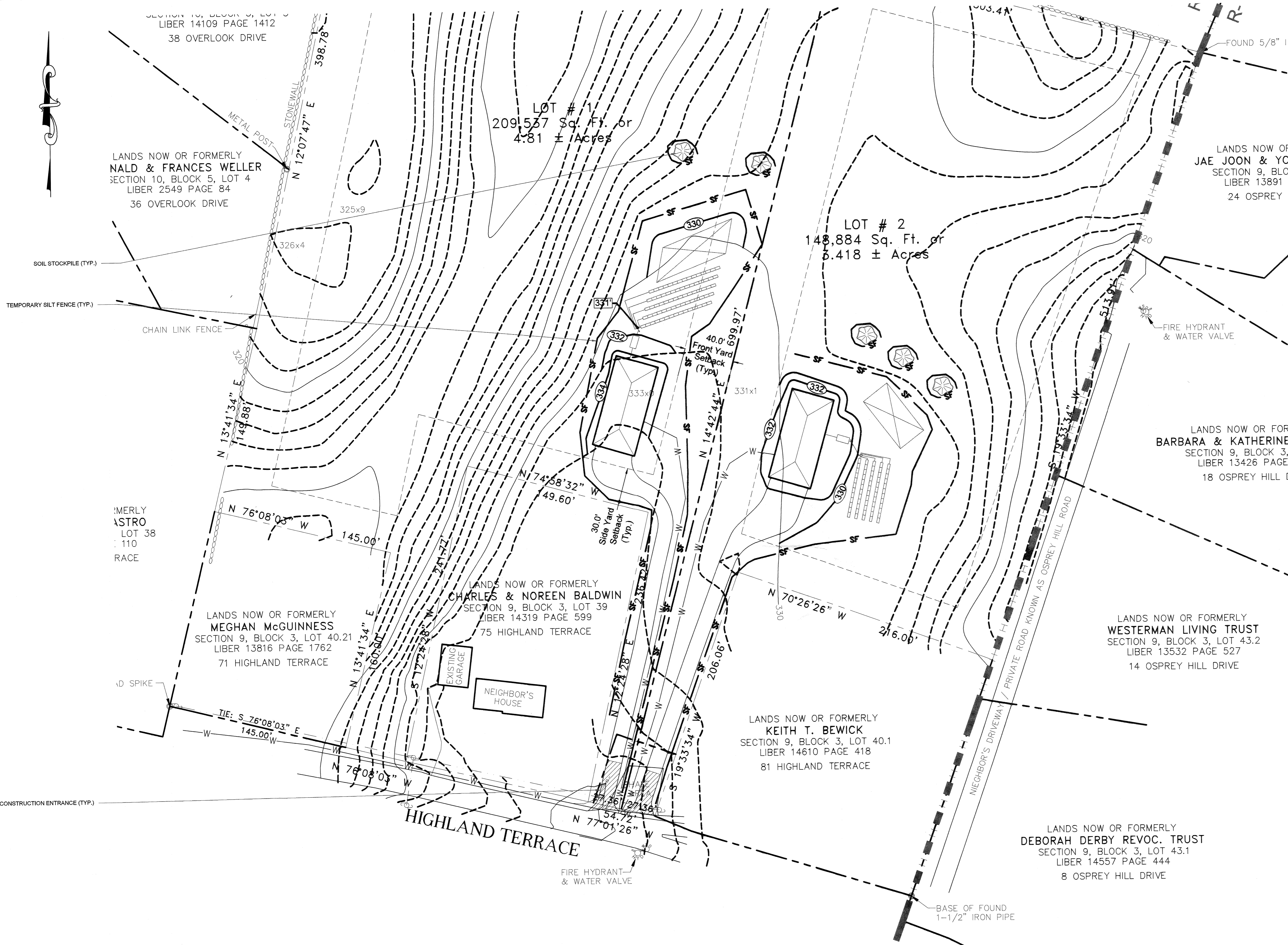
PROJECT: **Baldwin Family Trust - Two-lot Subdivision**

Town of Newburgh Orange County, New York

Partial Site Plan - Proposed SDS Design and Layout

SCALE: As Noted	DRAWN BY: DJD	CHECKED BY: MAD	DATE: 07-13-20	<p><b>SDS.1</b> 5 of 7</p>
DATE: 07-13-20	DRAWN BY: DJD	CHECKED BY: MAD	DATE: 07-13-20	





**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLREIGEL L.S., DATED MAY 26, 2020.
2. FILL FOR LOT #1 SDS EXPANSION AREA TO NOT BE INSTALLED DURING INITIAL CONSTRUCTION. IT IS ONLY TO BE INSTALLED IN THE EVENT THAT THE INSTALLATION OF THE EXPANSION AREA IS NECESSARY.

- LEGEND**
- UTILITY POLE
  - OVERHEAD UTILITY LINES
  - ANCHOR
  - CHAIN LINK FENCE LINE
  - FIRE HYDRANT
  - WATER VALVE
  - ADJOINING PROPERTY LINES
  - PROPERTY LINES OF PROJECT SITE
  - 10 FT CONTOUR LINES
  - 2 FT CONTOUR LINES
  - DTP DEEP TEST PIT LOCATION
  - PT PERCOLATION TEST HOLE LOCATION
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATIONS
  - TEMPORARY SILT FENCE
  - WATER SERVICE

**1 PARTIAL SITE PLAN - EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 40'

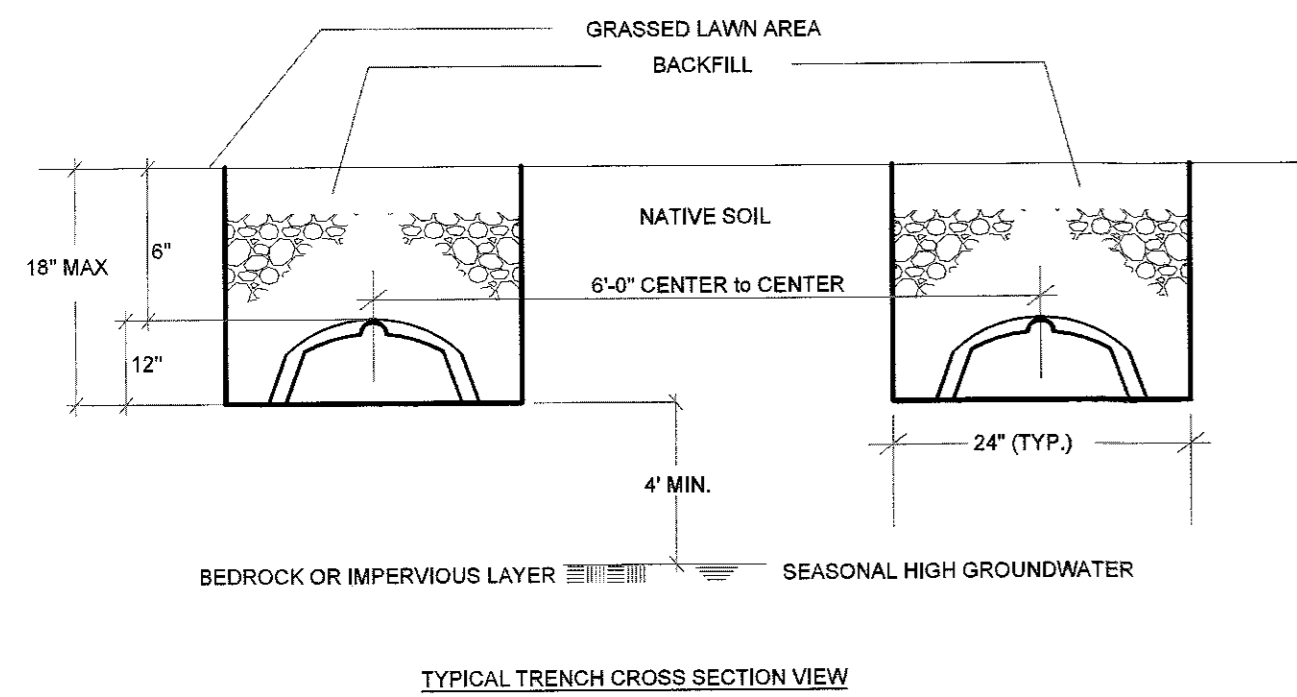
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
Project:	2020.274
License No.:	069646

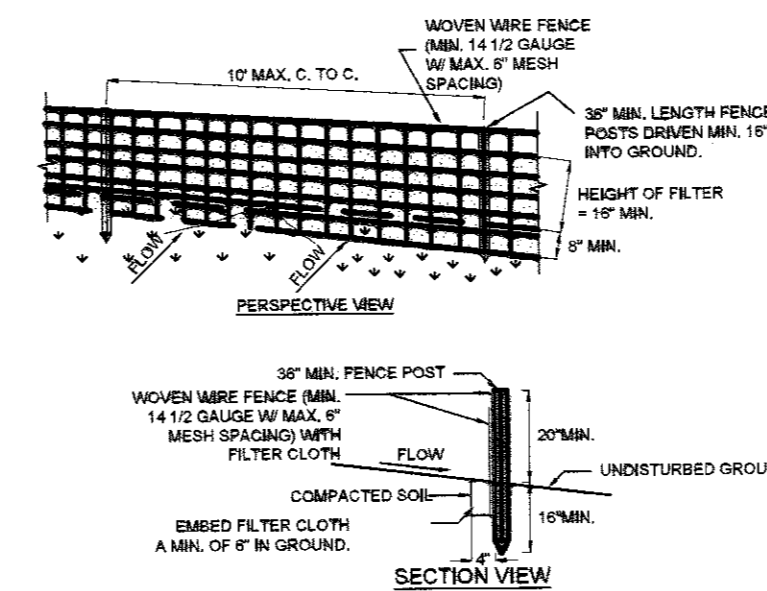
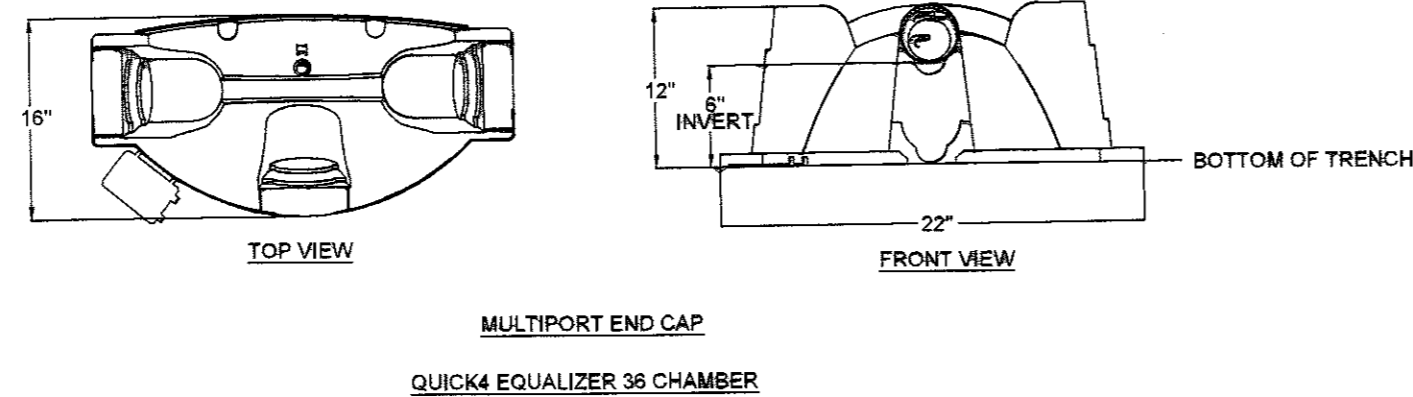
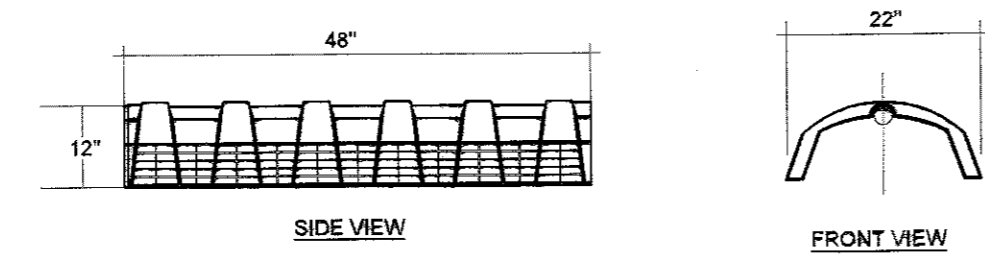
**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

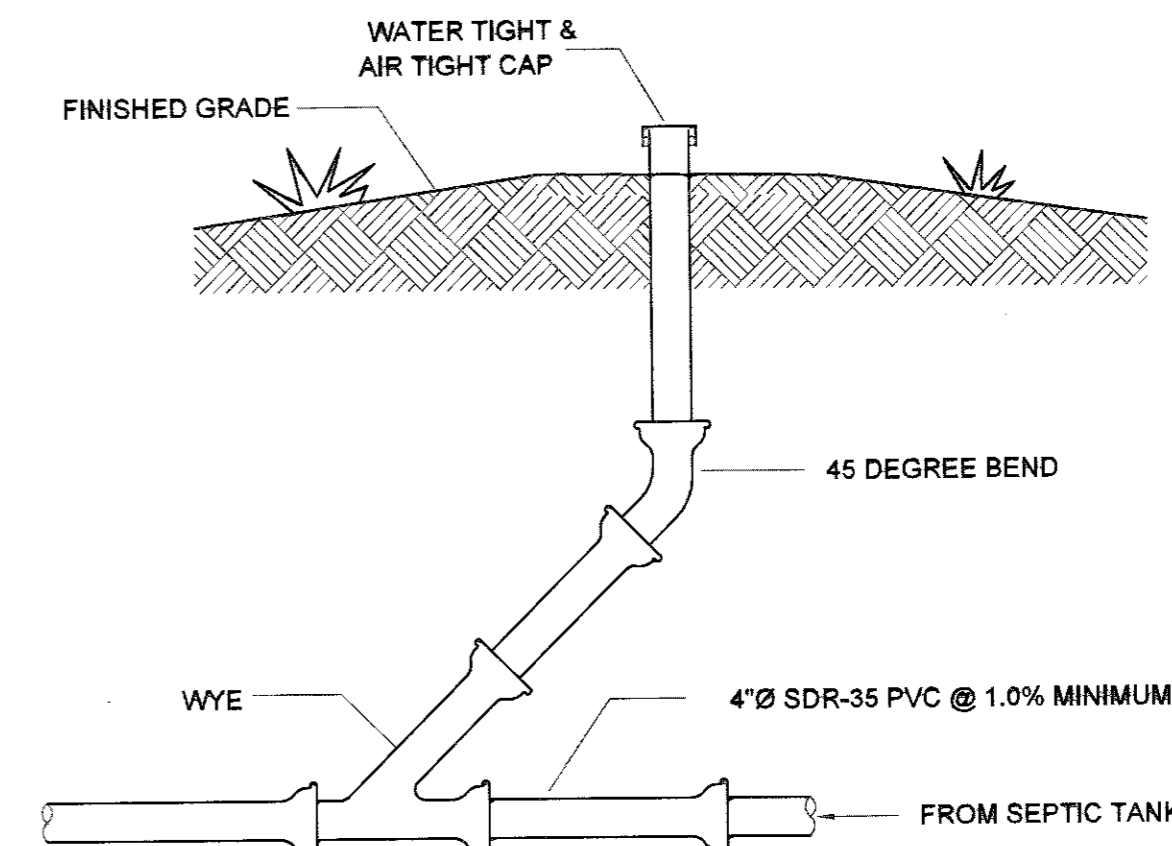
PROJECT: Baldwin Family Trust - Two-lot Subdivision	
Town of Newburgh Orange County, New York	
DRAWING: Partial Site Plan - Erosion and Sediment Control Plan	
SCALE: As Noted	DRAWN BY: DJD
DATE: 07-13-20	CHECKED BY: MAD
<b>ESC.1</b>	
6 of 7	



- CONSTRUCTION NOTES:**
- UNITS ARE TO BE QUICK4 EQUALIZER 36 INFILTRATOR.
  - TOPSOIL COVER IS TO BE PLACED OVER UNITS AS SHOWN. BACKFILL SHALL BE A MINIMUM OF 6" - 12" INCLUDING 4" OF TOPSOIL.
  - THE TOPSOIL LAYER SHALL BE SEED TO PROMOTE GRASS GROWTH.
  - UNITS TO BE SUPPLIED BY INFILTRATOR SYSTEMS INC., 6 OLD BUSINESS PARK ROAD, OLD SAYBROOK C.T. 06475.
  - UNITS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  - MANUFACTURE WEB SITE - [HTTP://WWW.INFILTRATORSYSTEMS.COM](http://WWW.INFILTRATORSYSTEMS.COM)
  - CHANGES IN INFILTRATOR MODEL, MANUFACTURE/INSTALLATION REQUIREMENTS WILL REQUIRE RE-APPROVAL FROM THE OCHD.
  - TRENCHES ARE TO BE GRADED LEVEL.
  - INFILTRATORS ARE TO BE SET LEVEL.
  - A SPLASH PAD TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

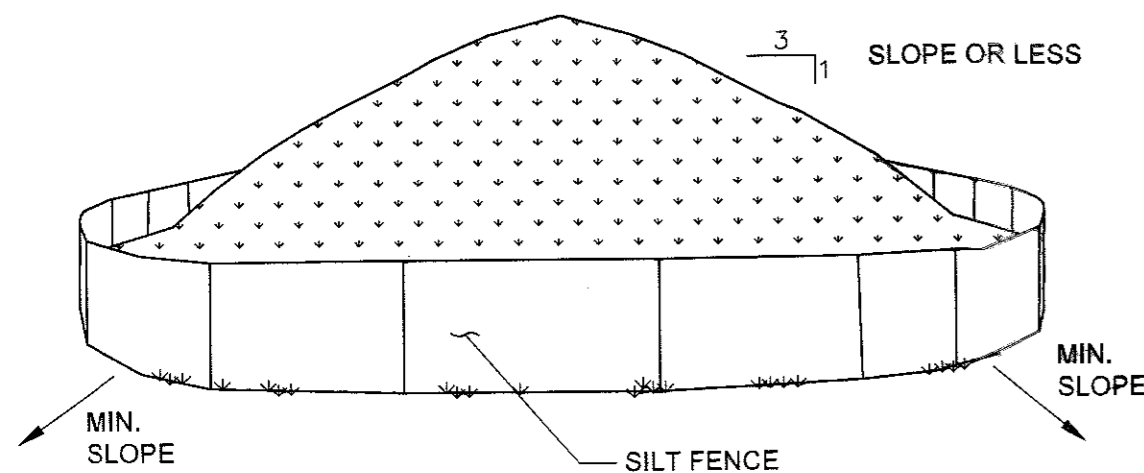


- NOTES:**
- CLEANOUT SHALL BE SPACED AT NO MORE THAN 75' INTERVALS.
  - CLEANOUTS SHALL BE PLACED AT ANY BENDS IN THE EFFLUENT LINE FROM THE SEPTIC TANK TO THE DISTRIBUTION BOX. BENDS SHALL NOT EXCEED 45'.

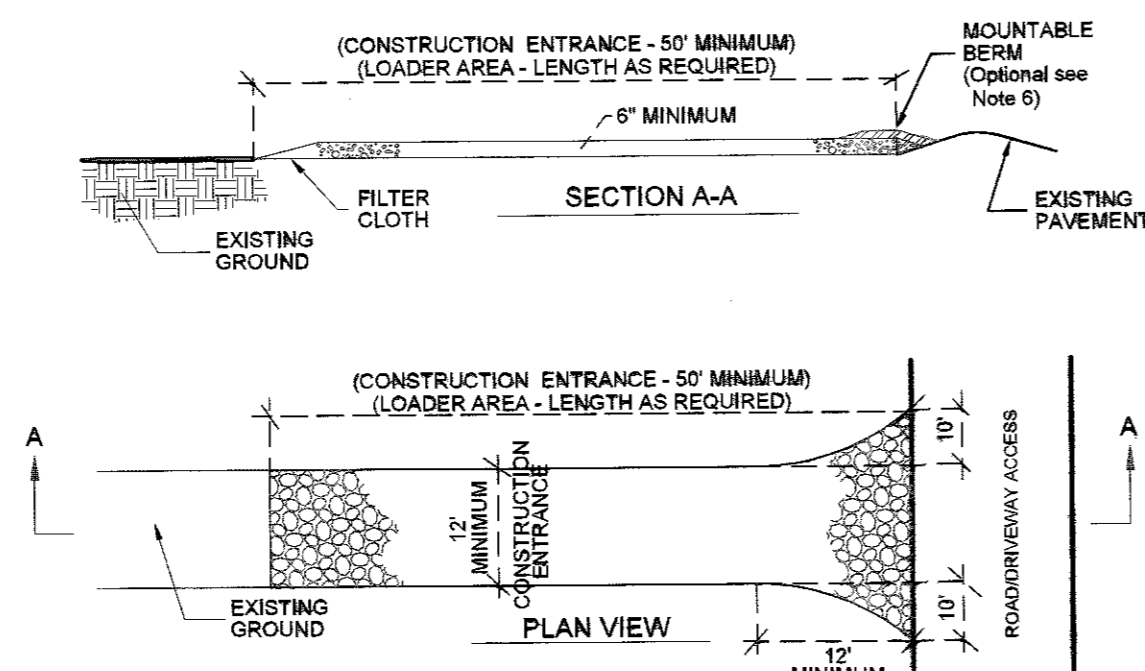
**1 TYPICAL INFILTRATOR DETAIL**  
NOT TO SCALE

**2 SILT FENCE DETAIL**  
NOT TO SCALE

**3 TYPICAL CLEAN OUT DETAIL**  
NOT TO SCALE



- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
  - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
  - HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.



- NOTES:**
- STONE SIZE - USE 2" MIN. STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - 25 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**4 TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE

**5 CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

Soil Test Schedule		Deep Test Pits (Performed on July 8th, 2020)		Perc Test (Performed on July 14th, 2020)							
DTP No.	Lot	Soil Description	PT No.	Run Number (Min/In.)					Pre-Soaked	Depth	Application Rate
				1	2	3	4	5			
A	1	0'-6" Topsoil, 0'-6" - 6'-6" Silty gravelly loam w/traces of sand. No Rock or Groundwater	1-A	11	18.5	24	27	27	YES	30"	0.6
B		0'-6" Topsoil, 0'-6" - 2'-0" Silty gravelly loam, 2'-0" - 6'-8" Silty clay loam w/strands of gravel. No Rock or Groundwater	1-B	8.5	15	22	24	24	YES	30"	0.6
C		0'-6" Topsoil, 0'-6" - 3'-0" Silty gravelly loam, 3'-0" - 6'-6" Silty loam (compact). No Rock or Groundwater	2-A	7	12.5	16.5	16.5		YES	30"	0.7
A	2	0'-6" Topsoil, 0'-6" - 6'-6" Silty loam w/gravel and cobbles. No Rock or Groundwater	2-B	4.5	7	9	12	12	YES	30"	0.8
B		0'-6" Topsoil, 0'-6" - 2'-6" Silty gravelly loam, 2'-6" - 6'-6" Silty loam. No Rock or Groundwater									
C		0'-6" Topsoil, 0'-6" - 6'-8" Silty gravelly loam w/traces of sand. No Rock or Groundwater									

Field Schedule		Required Tile Field Length For Use (4-Bedroom House 440 Gal/Day)	Cut-out System	Fill Required	Trench Width	Lateral Spacing	Drop Box	Curtain Drain	Min. raw Invert	Septic Tank Size (Gal.)	No. & Length of Laterals
Lot 1	Proposed Primary	300 Lineal Feet	No	None	2'-0"	6'-0"	No	None	332.00'	1,250	5 Lines @ 60 Feet
	Proposed Expansion	300 Lineal Feet	No	None	2'-0"	6'-0"	No	None	332.00'	1,250	5 Lines @ 60 Feet
Lot 2	Proposed Primary	240 Lineal Feet	No	None	2'-0"	6'-0"	No	None	330.00'	1,250	6 Lines @ 48 Feet
	Proposed Expansion	240 Lineal Feet	No	None	2'-0"	6'-0"	No	None	330.00'	1,250	6 Lines @ 48 Feet

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE  
  
 PROJECT: 2020.274 License No. 069646

**DAY | STOKOSA**  
 ENGINEERING P.C.  
 3 Van Wyck Lane Suite 2  
 Wappingers Falls, New York  
 (845)-223-3202  
 PROJECT: Baldwin Family Trust - Two-lot Subdivision  
 Town of Newburgh Orange County, New York  
 Construction Details  
 SCALE: As Noted  
 DATE: 07-13-20  
 DRAWN BY: DJD  
 CHECKED BY: MAD  
**DET.1**  
 7 of 7