



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

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Principal Emeritus:
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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

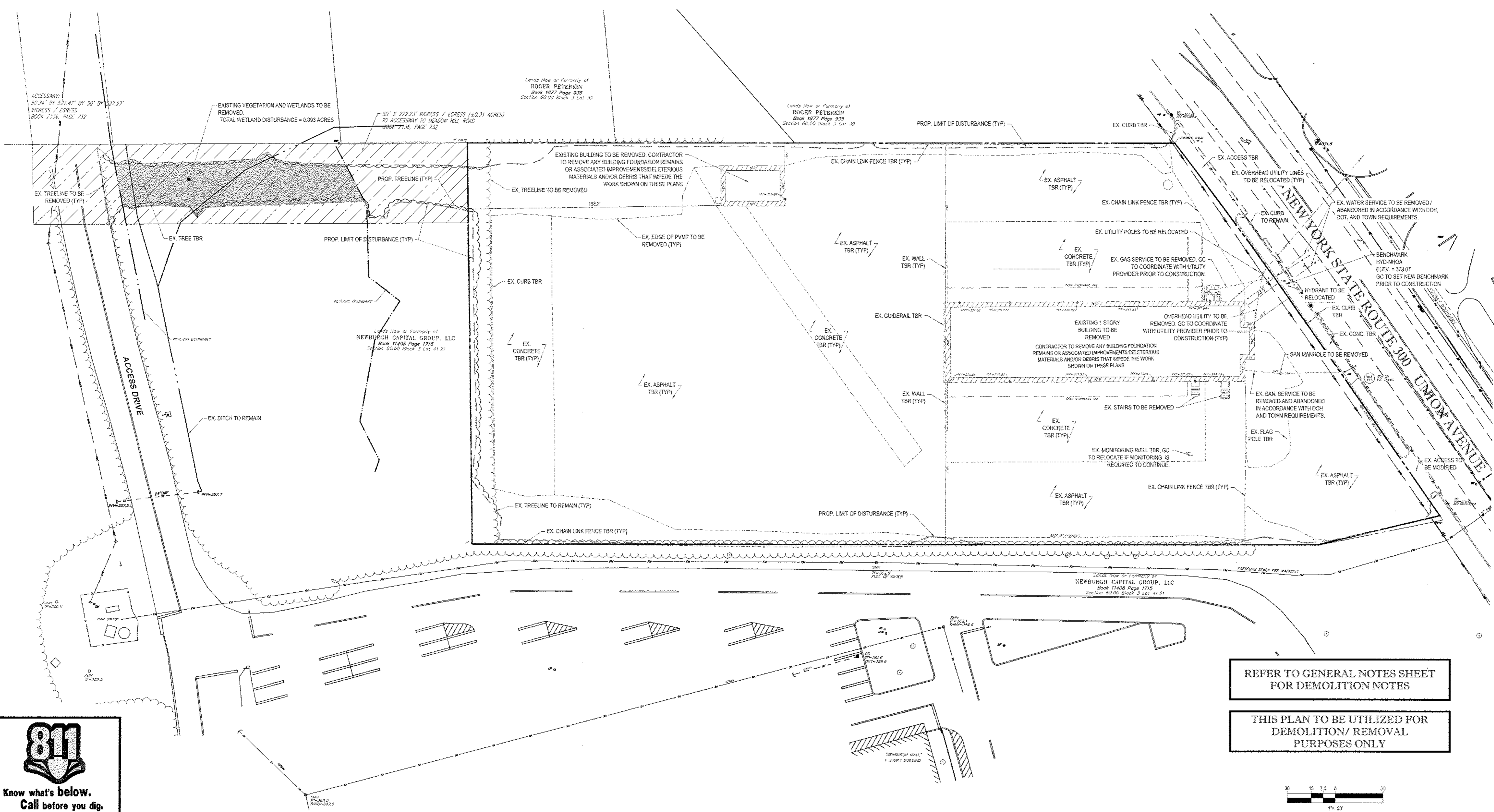
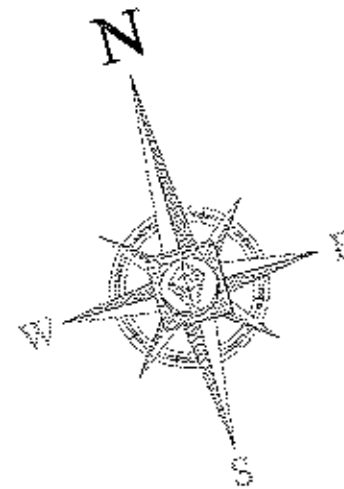
PROJECT NAME: MAVIS TIRE/MIXED USE (RHINEBECK REALTY LLC)
PROJECT NO.: 15-03
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 40.2
REVIEW DATE: 1 SEPTEMBER 2015
MEETING DATE: 3 SEPTEMBER 2015
REPRESENTATIVE: BOHLER ENGINEERING

1. The Applicants have revised the Storm Water Pollution Prevention Plan in response to previous comments provided by this office. Revisions include redefining swale between subject property and adjoining property. The proposed discharge location has been relocated to allow discharge to the wetland area to the west of the site. Storm Water Pollution Prevention Plan and model has been revised in accordance with previous comments.
2. The Applicants have provided a Construction Phasing Plan which will allow for construction of the proposed retail/auto service facility (Mavis) and mass re-grading of the entire site. A second construction phase for the restaurant and office use are identified on the plans. Grading and drainage plans have been appropriately modified to allow for the construction phasing.
3. Storm water and landscaping cost estimates should be provided for approval of securities and inspection fees.

Respectfully submitted,

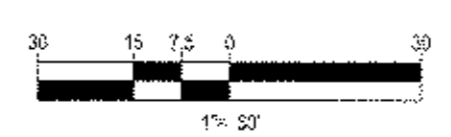
**McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal



REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY



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REVISIONS			
REV.	DATE	COMMENT	BY
1	03/09/15	FRONT YARD SETBACK	TCF
2	05/28/15	PER TOWN COMMENTS	TCF
3	07/8/15	PHASING PLANS	TCF
4	08/27/15	OFFICE FULL DESIGN	TCF
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PRELIMINARY

PROJECT No.: B140197
 DRAWN BY: TCF
 CHECKED BY: RWD
 DATE: 01/27/2015
 SCALE: AS NOTED
 CAD I.D.: B140197SS15

SITE DEVELOPMENT PLANS
 FOR
RHINEBECK REALTY, LLC

LOCATION OF SITE
 1413 UNION AVENUE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

17 COMPUTER DRIVE WEST
 ALBANY, NY 12205
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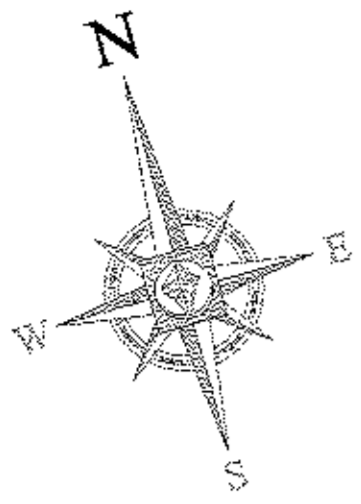
R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 078930

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
3
 OF 15

REV 4



ZONING ANALYSIS TABLE

ZONING DISTRICT	B - INTERCHANGE BUSINESS DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	46,000 SF	3,04 AC (132,422 SF)	NO CHANGE
MINIMUM LOT WIDTH	150'	250.0'	NO CHANGE
MINIMUM LOT DEPTH	150'	442.7'	NO CHANGE
MAX. BUILDING COVERAGE	40% RETAIL RESTAURANT USE 20% SERVICE STATION USE	7.9%	13.3% (TOTAL)
MIN. FRONT SETBACK	60'	23.5'	60.1'
MIN. SIDE SETBACK	30'/0' SERVICE STATION, OFFICE AND RESTAURANT USES	14.2'	30.1'
MIN. REAR SETBACK	60'	158.2'	150.1'
MAX. BUILDING HEIGHT	40' SERVICE STATION, OFFICE AND RESTAURANT USES	1 STORY	+3'
MAX. LOT COVERAGE	80%	± 87%	± 75%
PARKING SPACES	119 SPACES	± 6 SPACES	165 SPACES
PARKING CRITERIA (R16)	GASOLINE STATION, PARKING GARAGE, OR REPAIR STATION REQUIRES SUFFICIENT PARKING FOR ALL VEHICLES STORED OR SERVICED AT 1 TIME PLUS 5 ADDITIONAL SPACES. OFFICE USE REQUIRES: 1 SPACE PER 200 SF FLOOR AREA (3,000 SF RETAIL AREA) 200 SF/SPACE = 15 SPACES REQUIRED. RESTAURANT USE REQUIRES: 1 SPACE PER 4 SEATS OR 1 SPACE PER 40 SF OF SEATING AREA, OR AS REQUIRED BY THE PLANNING BOARD FOR RESTAURANTS DEMONSTRATING GREATER PARKING SPACE NEEDS IN JUDGMENT OF THE PLANNING BOARD. (200 SEATS = 4 SPACES PER SEAT = 80 SPACES REQUIRED) TOTAL SPACES REQUIRED = 13 SPACES (SERVICE STATION) + 16 SPACES (OFFICE) + 90 SPACES (RESTAURANT) = 119 SPACES		

* EXISTING NONCONFORMANCE

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REVISIONS

REV.	DATE	COMMENT	BY
1	03/09/15	FRONT YARD SETBACK	TCF
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3	07/01/15	PHASING PLANS	TCF
4	08/27/15	OFFICE FULL DESIGN	TCF
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PRELIMINARY

PROJECT NO.: 8140157
 DRAWN BY: TCF
 CHECKED BY: RWQ
 DATE: 01/27/2015
 SCALE: AS NOTED
 CAD I.D.: 8140157SS15

SITE DEVELOPMENT PLANS FOR RHINEBECK REALTY, LLC

LOCATION OF SITE
1413 UNION AVENUE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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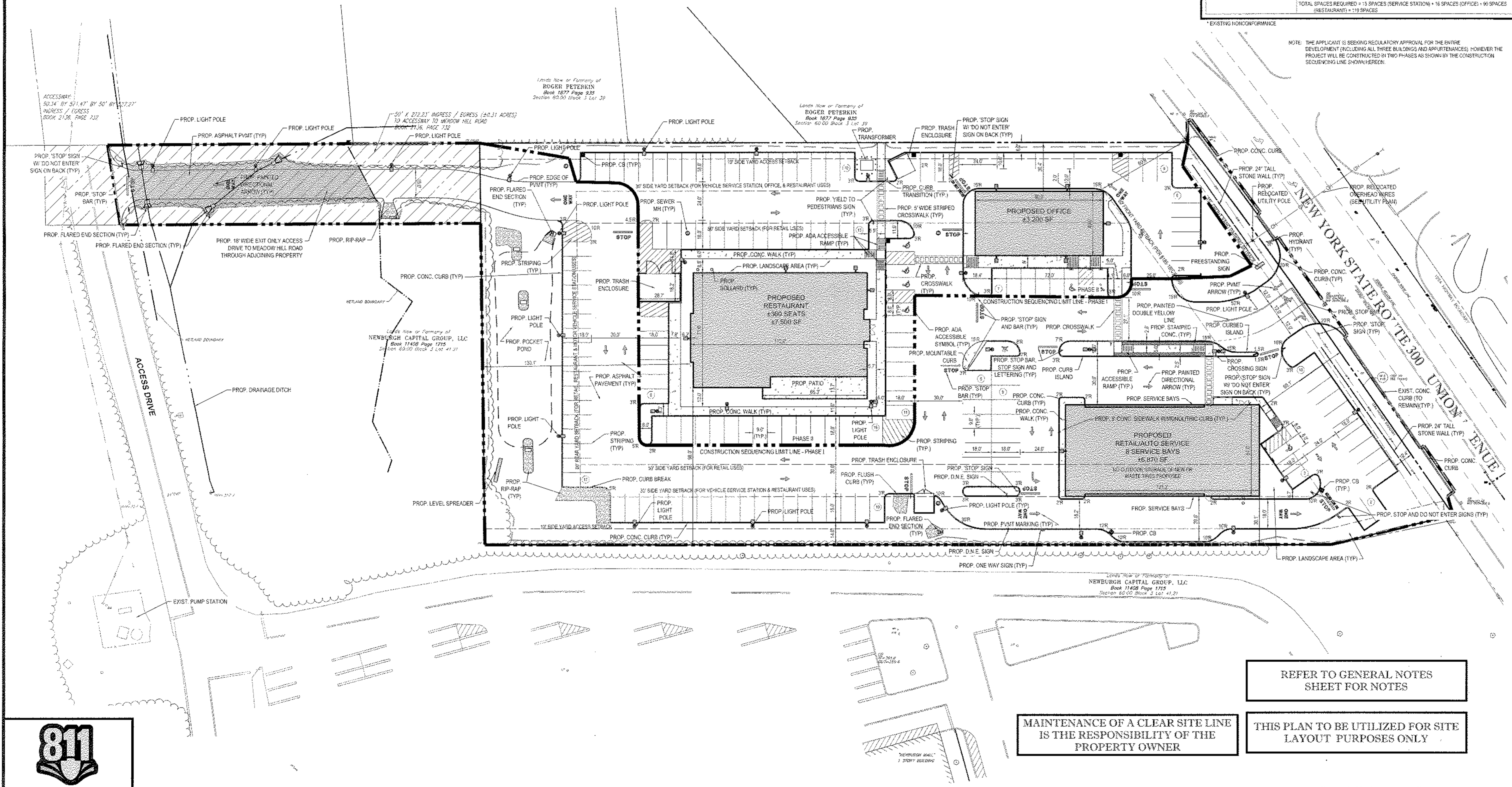
R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 076600

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
4
OF 15

REV 4



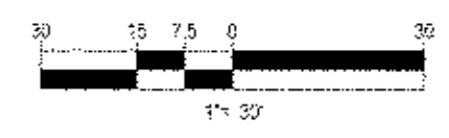
NOTE: THE APPLICANT IS SEEKING REGULATORY APPROVAL FOR THE ENTIRE DEVELOPMENT (INCLUDING ALL THREE BUILDINGS AND APPURTENANCES). HOWEVER THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES AS SHOWN BY THE CONSTRUCTION SEQUENCING LINE SHOWN HEREON.

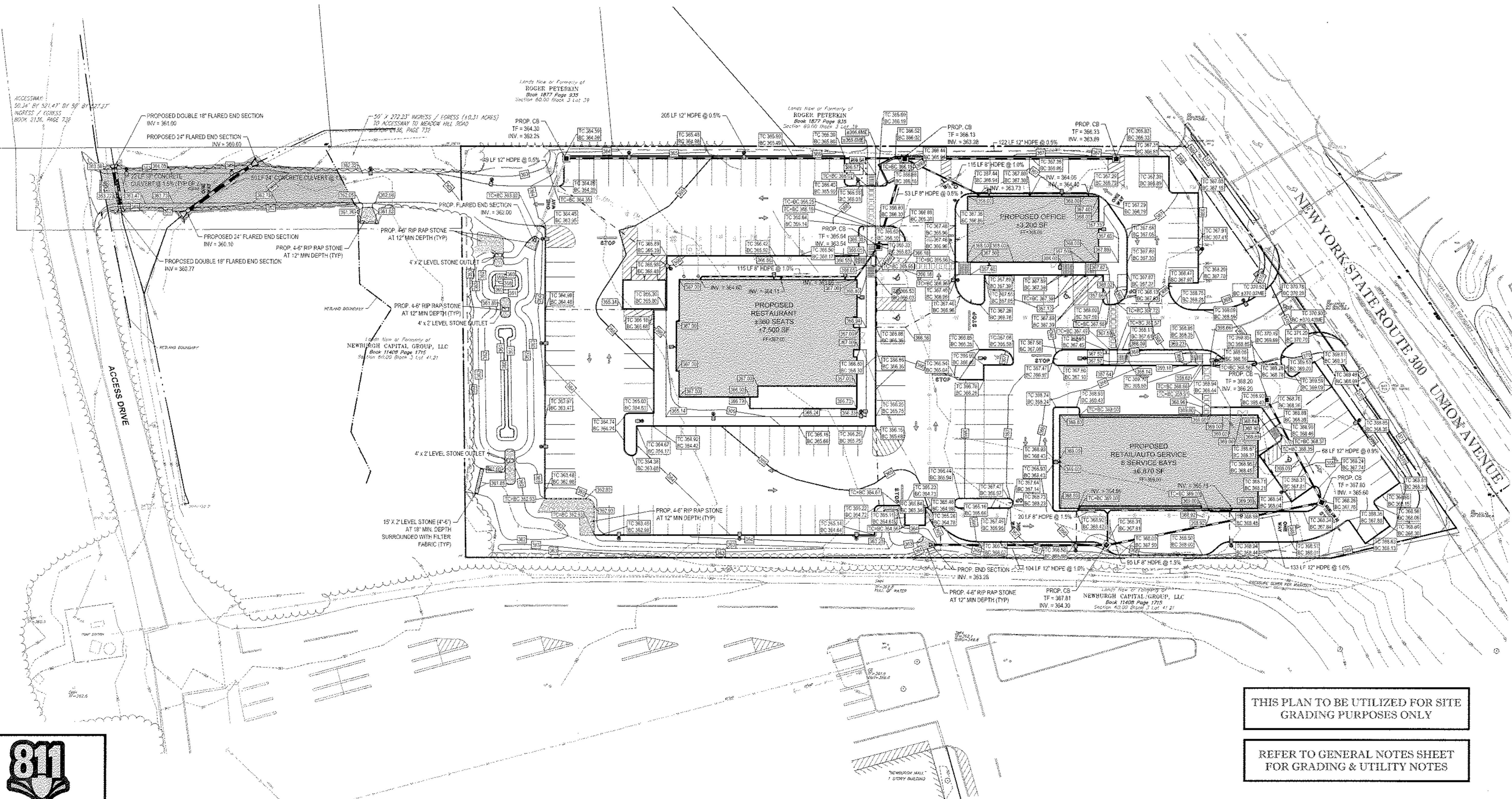
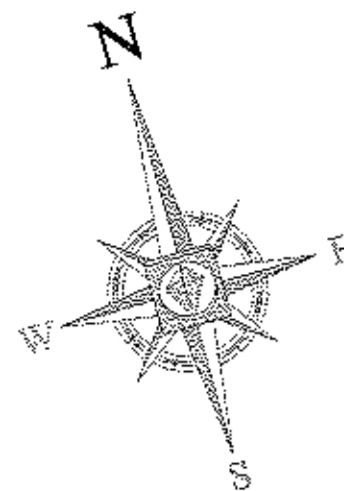
MAINTENANCE OF A CLEAR SITE LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

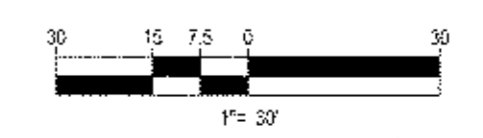
811
Know what's below.
Call before you dig.





THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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REV	DATE	COMMENT	BY
1	03/09/15	FRONT YARD SETBACK	TCF
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4	08/27/15	OFFICE FULL DESIGN	TCF
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PRELIMINARY

PROJECT No.: B140197
DRAWN BY: TCF
CHECKED BY: RWO
DATE: 01/27/2015
SCALE: AS NOTED
CAD I.D.: B140197SS15

SITE DEVELOPMENT PLANS FOR RHINEBECK REALTY, LLC

LOCATION OF SITE
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ORANGE COUNTY, NEW YORK

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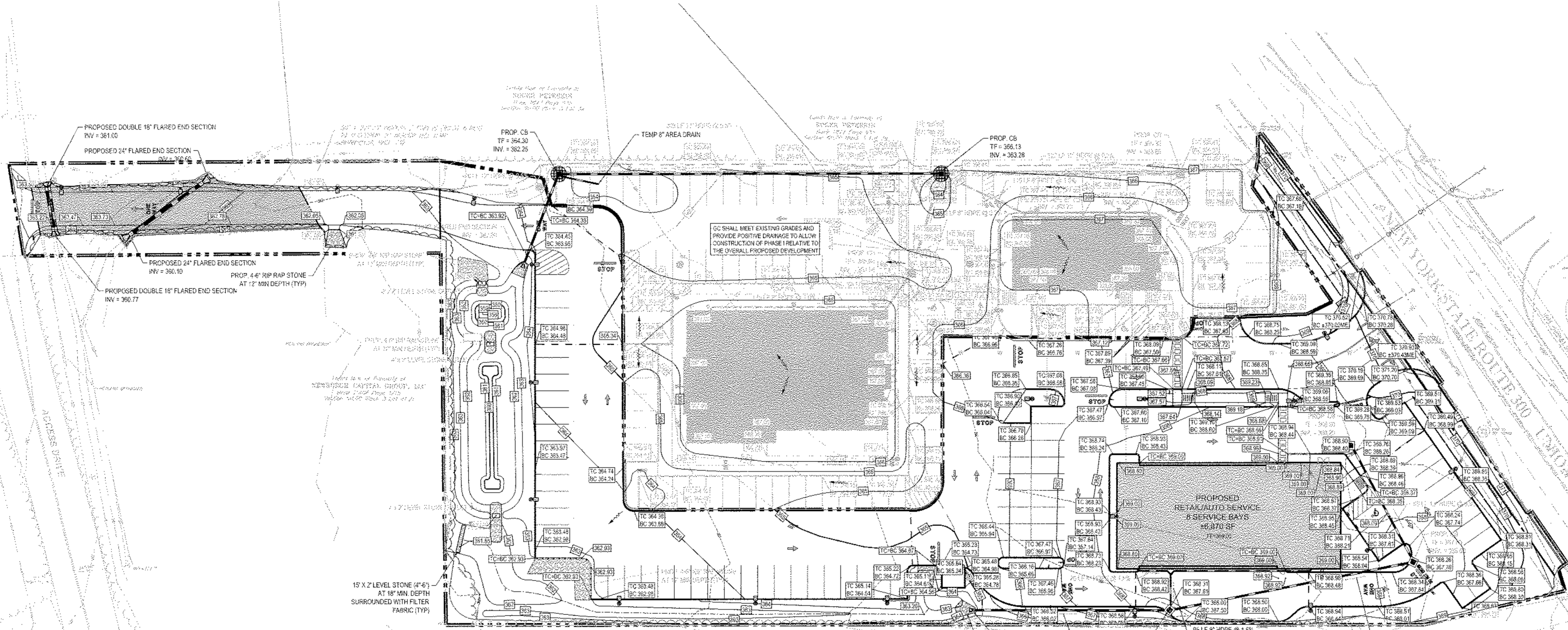
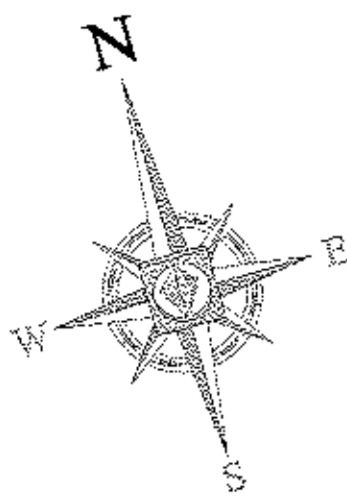
R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 076930

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
5
OF 15

REV 4

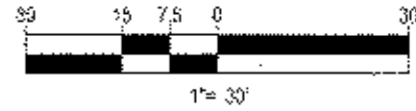


GC SHALL MEET EXISTING GRADES AND PROVIDE POSITIVE DRAINAGE TO ALLOW CONSTRUCTION OF PHASE I RELATIVE TO THE OVERALL PROPOSED DEVELOPMENT

NOTE: THE APPLICANT IS SEEKING REGULATORY APPROVAL FOR THE ENTIRE DEVELOPMENT (INCLUDING ALL THREE BUILDINGS AND APPURTENANCES); HOWEVER, THE PROJECT WILL BE CONSTRUCTED IN TWO PHASES AS SHOWN BY THE CONSTRUCTION SEQUENCING LINE SHOWN HEREON.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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REVISIONS				
REV	DATE	COMMENT	BY	CHK
1	03/08/15	FRONT YARD SETBACK	TCF	
2	05/28/15	PER TOWN COMMENTS	TCF	
3	07/01/15	PHASING PLANS	TCF	
4	08/27/15	OFFICE FULL DESIGN	TCF	
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PRELIMINARY

PROJECT NO.: B140187
 DRAWN BY: TCF
 CHECKED BY: RWO
 DATE: 01/27/2015
 SCALE: AS NOTED
 CAD ID: B140187/3215

SITE DEVELOPMENT PLANS
 FOR
RHINEBECK REALTY, LLC

LOCATION OF SITE
 1413 UNION AVENUE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

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R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 27899

SHEET TITLE:
CONSTRUCTION SEQUENCE GRADING & DRAINAGE PLAN

SHEET NUMBER:
6
 OF 15

REV 4

EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME PERIOD. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 10 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 150 FEET OF A STREAM OR ROAD, THE AREA SHALL BE STABILIZED WITHIN 10 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTIGUOUS DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 5%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #1.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN ANY LOWER SERVICEABLE DUE TO SEEDING ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREA UP-SLOPE ARE STABILIZED BY "PURE".
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH/GUARDIAN SEEDING MAY BE ATTEMPTED AS WELL TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERRUPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TESTING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 50 LB PER ACRE OR 18.4 LB PER 1000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AT A RATE OF 3 TONS PER ACRE (33 LB PER 1000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BANK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FENNEL, 1% HYDROPY, AND 45% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PERMANENT TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 100 LBS PER 1000 SF LAWN QUALITY SOIL MAY BE SUBSTITUTED FOR SEED.
 - HAY MULCH AT THE RATE OF 70-90 LBS PER 1000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON HAY MULCH FOR WIND CONTROL.

- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED. WINDY SALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

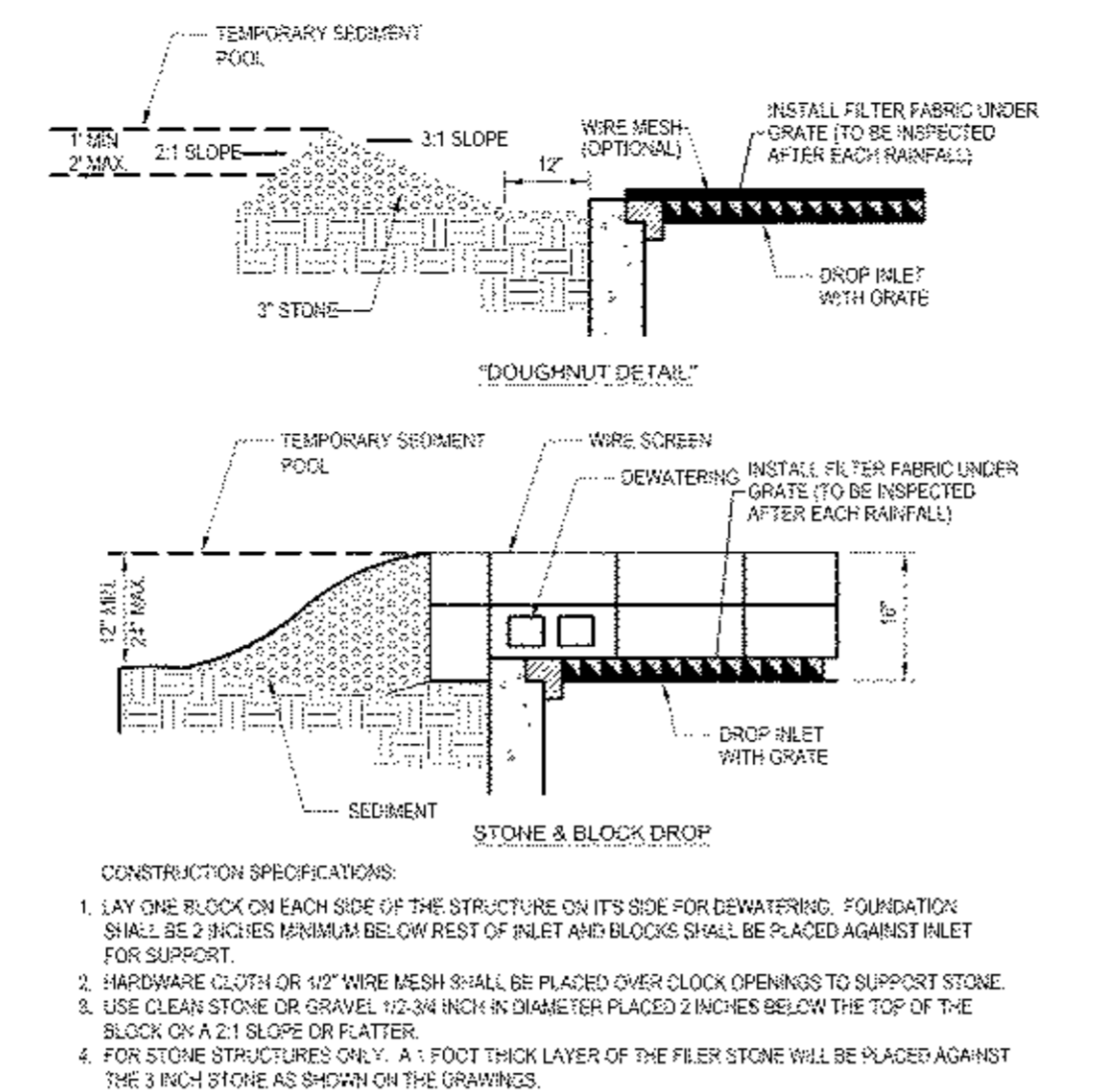
LOCATION PROTECT AREA	MULCH STRAW OR HAY	RATE (1000 SQ)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW OR HAY ANCHOR GREY*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSION MAT	AS REQUIRED

* A HYDRO-APPLICATION OF WIND OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL.

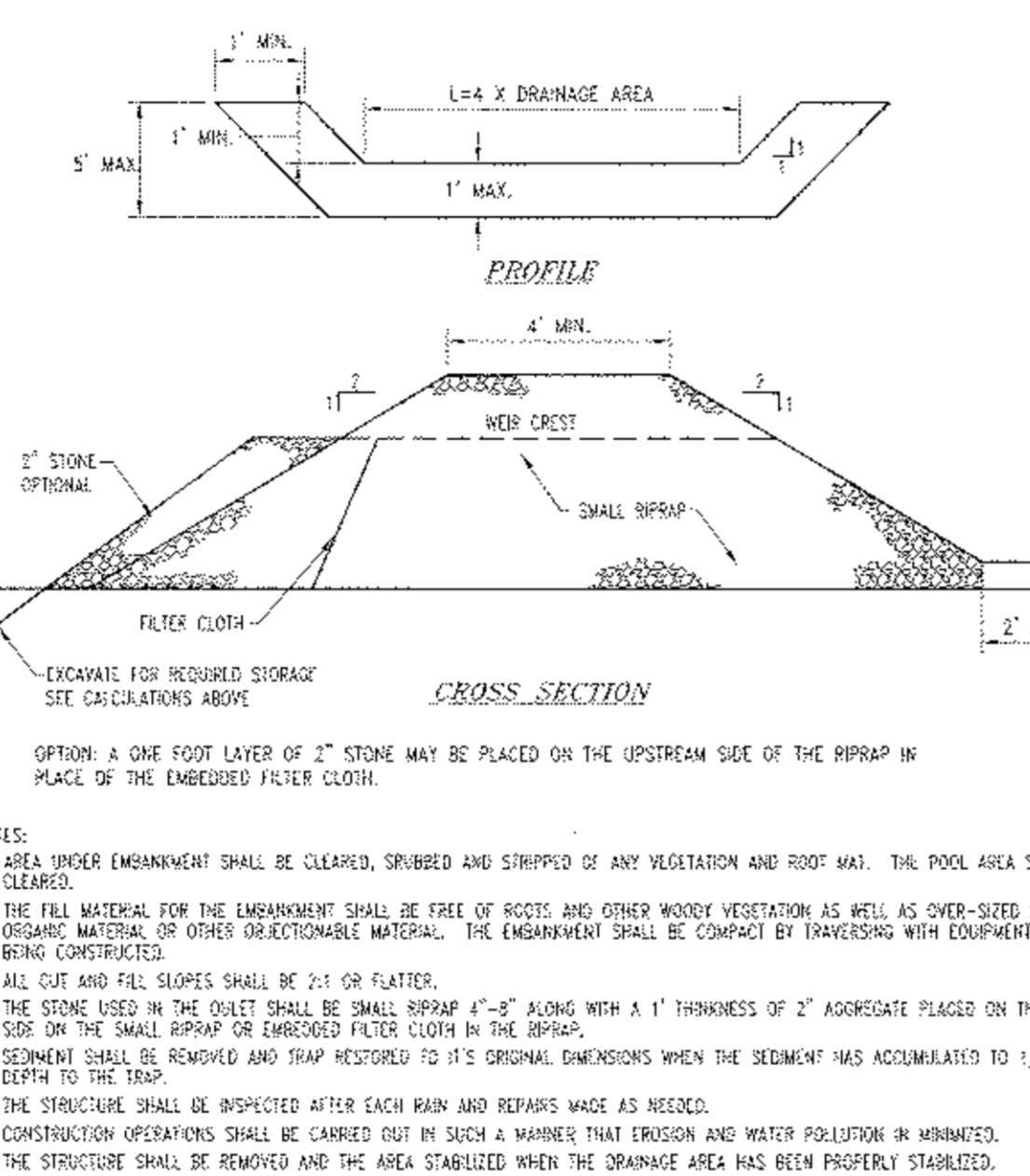
SEDIMENT BARRIERS AND/OR MULCH WITH PEG AND TWINE (1" SQ. DIBLOCK) MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (75 LB/ACRE), CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

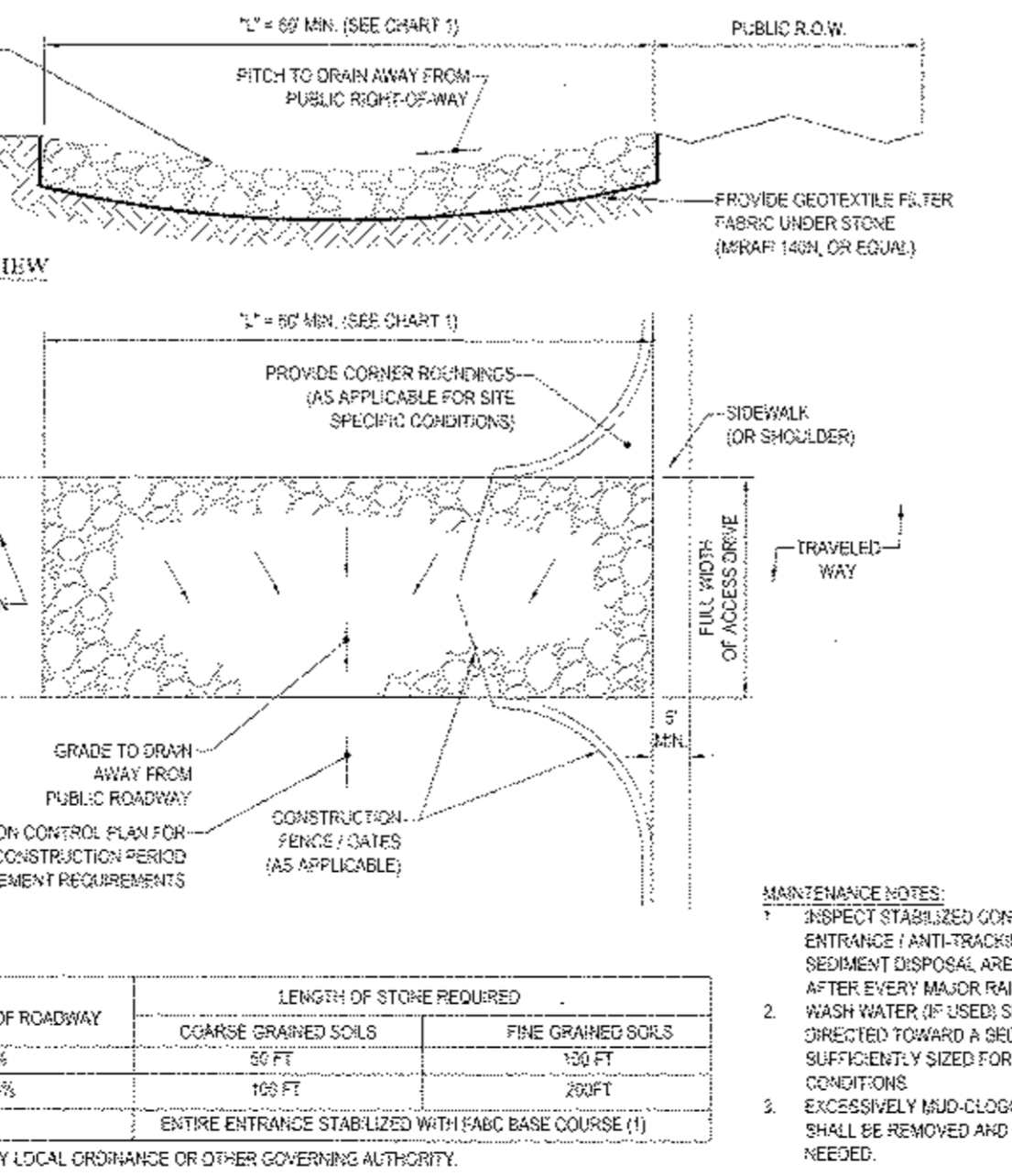
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTRIBUTION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 100 LB PER 1000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAM, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED BY THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SALES OF HAY OR STRAW CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG, LUM, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 5%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 5%.
 - AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
 - STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
 - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



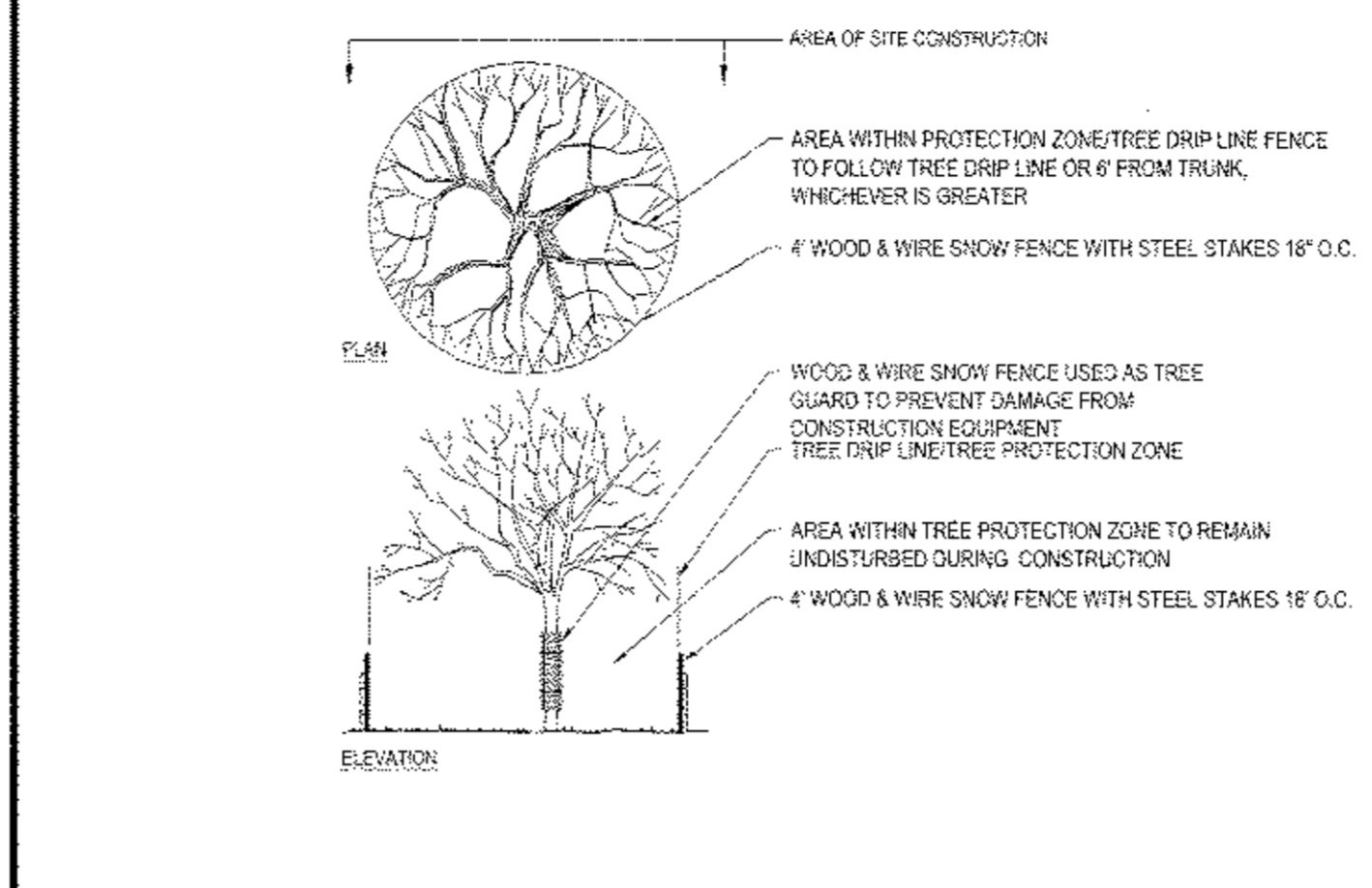
STONE & BLOCK DROP INLET PROTECTION STRUCTURE N.T.S.



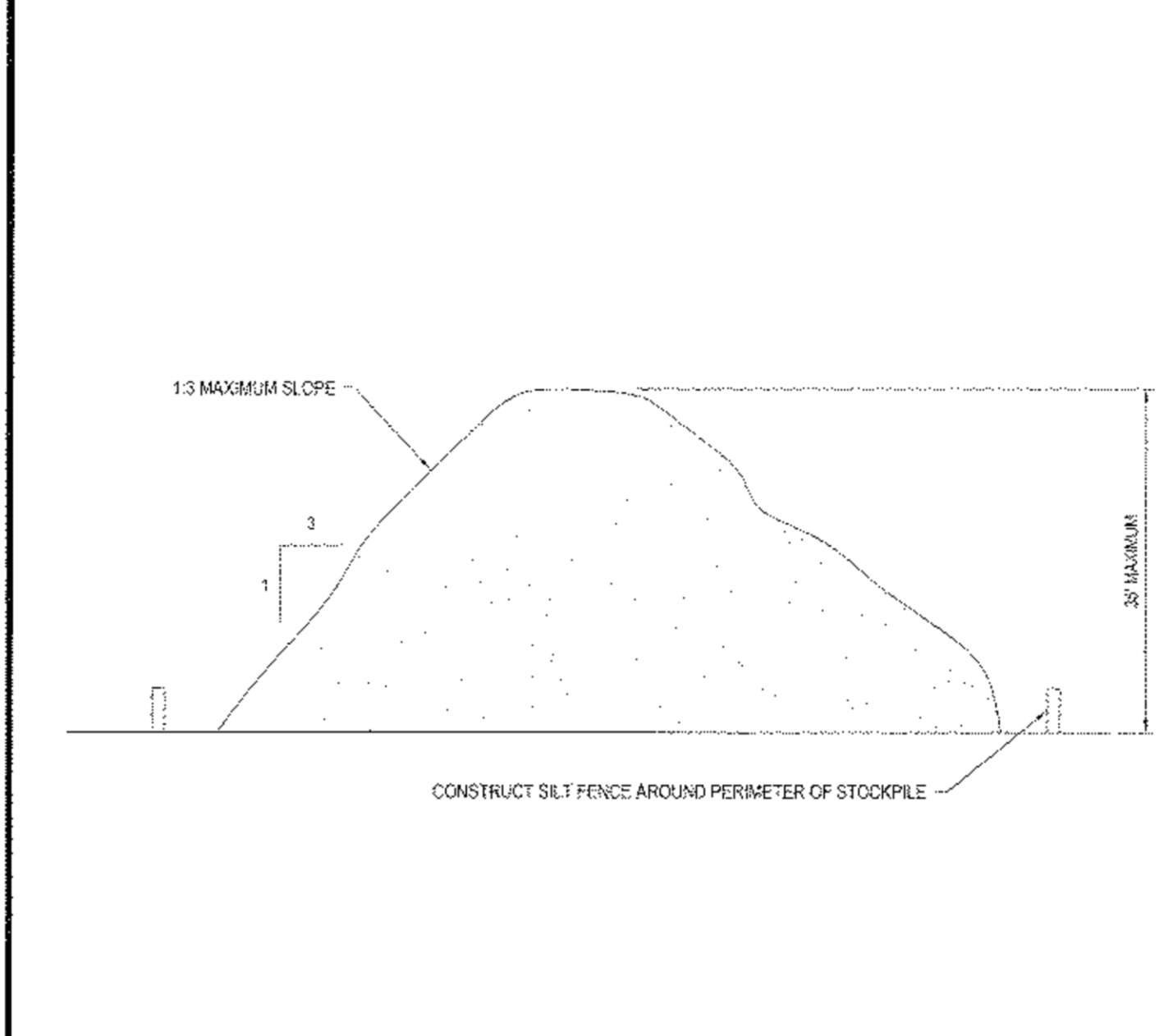
STONE OUTLET SEDIMENT TRAP DETAIL N.T.S.



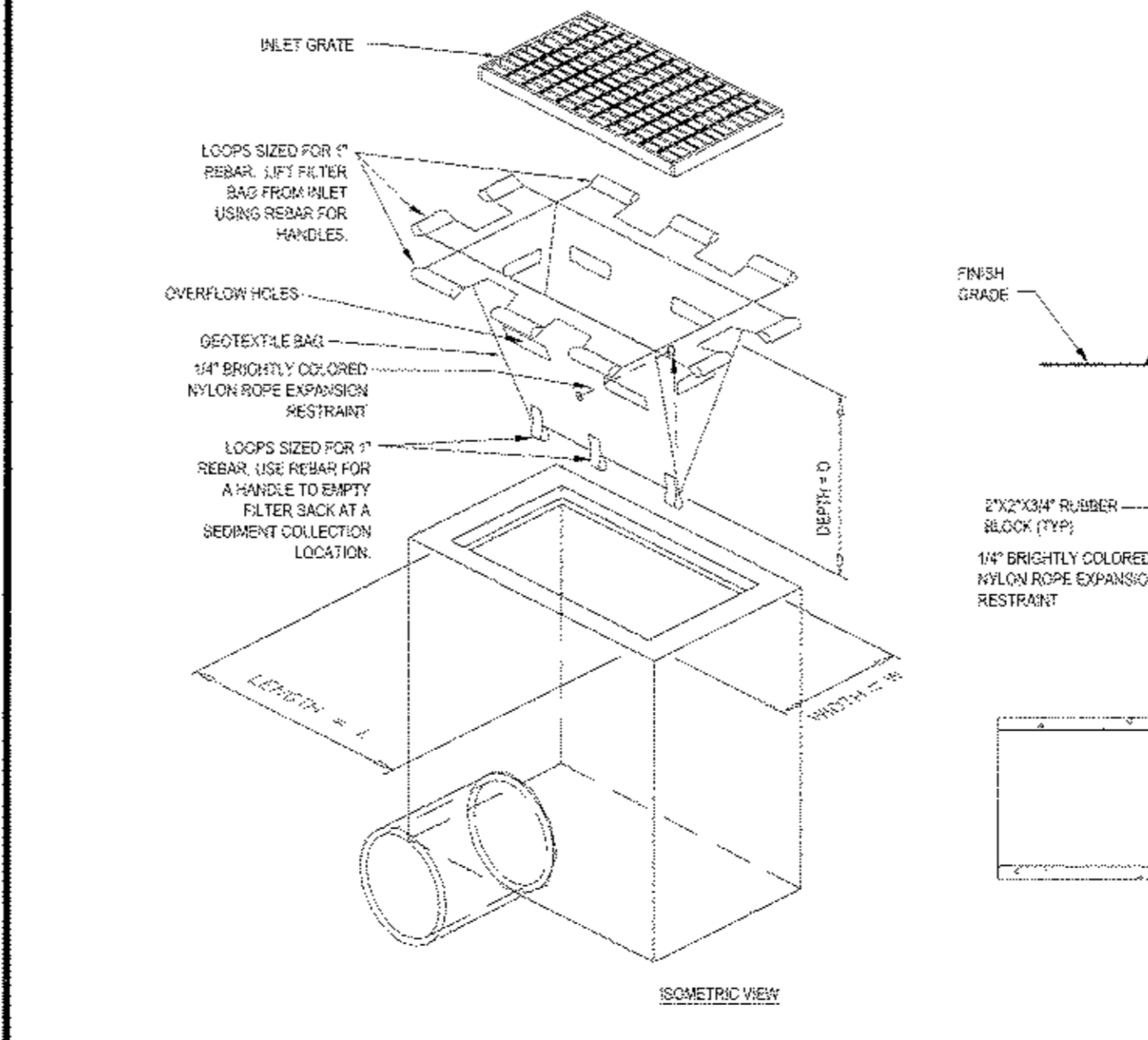
STABILIZED CONSTRUCTION ENTRANCE/EXIT N.T.S.



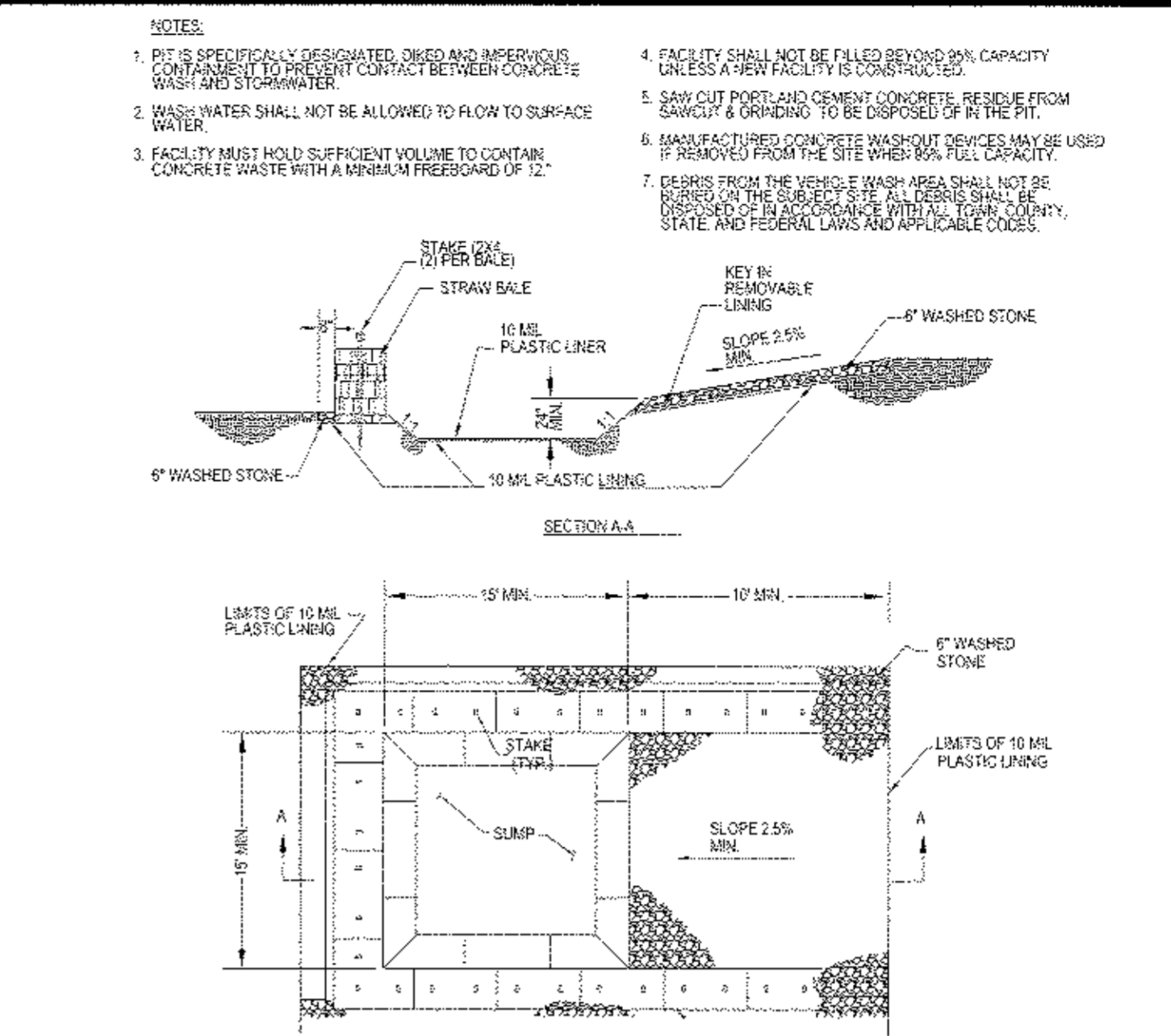
TREE PROTECTION DURING CONSTRUCTION N.T.S.



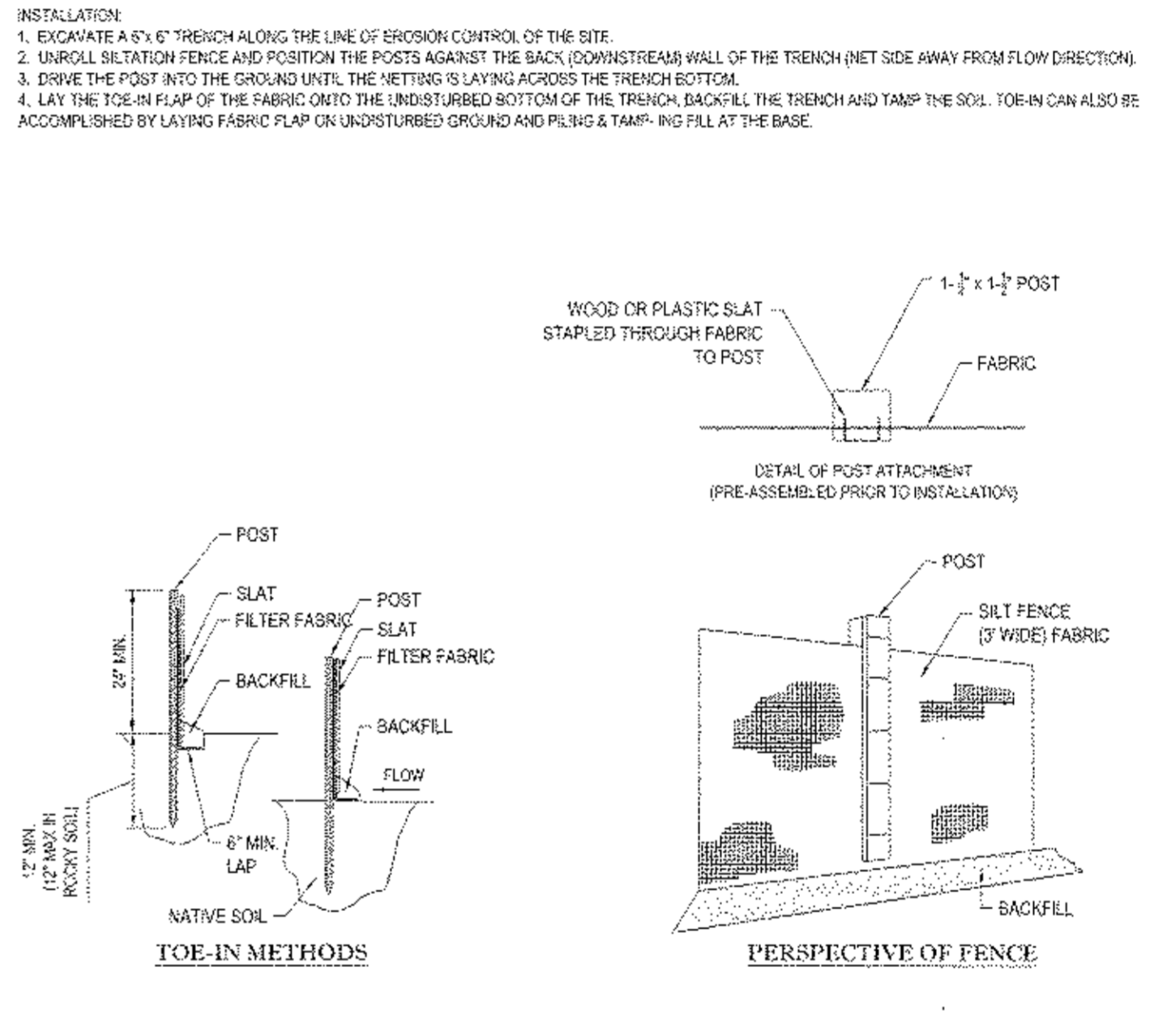
TEMPORARY STOCKPILE DETAIL N.T.S.



FILTER SACKS (NYS DOT INLETS ONLY) N.T.S.



CONCRETE WASHOUT AREA DETAIL N.T.S.



TYP. SILTATION FENCE DETAIL N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3768	600 PSI
TRAPEZOID TEAR	ASTM D-4833	120 LBS
UV RESISTANCE	ASTM D-4356	60 %
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US 9/EVE
FLOW RATE PERMITTIVITY	ASTM D-4497	40 GAL/MIN/SQ-FT

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	260 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	130 LBS
MULLEN BURST	ASTM D-3768	420 PSI
TRAPEZOID TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4356	80 %
APPROXIMATE OPENING SIZE	ASTM D-4751	20 US 9/EVE
FLOW RATE PERMITTIVITY	ASTM D-4491	200 GAL/MIN/SQ-FT 1.5 SEC-1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.

2. GEOTEXTILE SHALL BE A NONWOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.

3. PLACE AN OIL ABSORBENT PAD OR PILLON OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.

4. INSPECT PER REGULATORY REQUIREMENTS.

5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.

6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 30 INCHES.

7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE FLOODING MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY.

FILTER SACKS (NYS DOT INLETS ONLY) N.T.S.

BOHLER ENGINEERING

CORPORATE OFFICE:
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CONCORD, TX
CONCORD, OK

CIVIL & CONSULTING ENGINEERS
SUBSIDIARIES
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	03/09/15	FRONT YARD SETBACK	TCF
2	05/28/15	PER TOWN COMMENTS	TCF
3	07/28/15	PHASING PLANS	TCF
4	08/27/15	OFFICE FULL DESIGN	TCF
5			
6			
7			
8			
9			
10			
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12			
13			
14			
15			

PRELIMINARY

PROJECT NO.: B140197
DRAWN BY: RWD
CHECKED BY: RWD
DATE: 01/27/2015
SCALE: AS NOTED
CAD ID: B140197/5516

PROJECT: SITE DEVELOPMENT PLANS FOR RHINEBECK REALTY, LLC

LOCATION OF SITE
1413 UNION AVENUE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

17 COMPUTER DRIVE WEST
ALBANY, NY 12205
Phone: (518) 438-9900
Fax: (518) 438-9900
www.BohlerEngineering.com

R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 078990

SHEET TITLE:
SOIL EROSION CONTROL NOTES & DETAILS SHEET

SHEET NUMBER:
9
OF 15

REV 4

LANDSCAPE SPECIFICATIONS

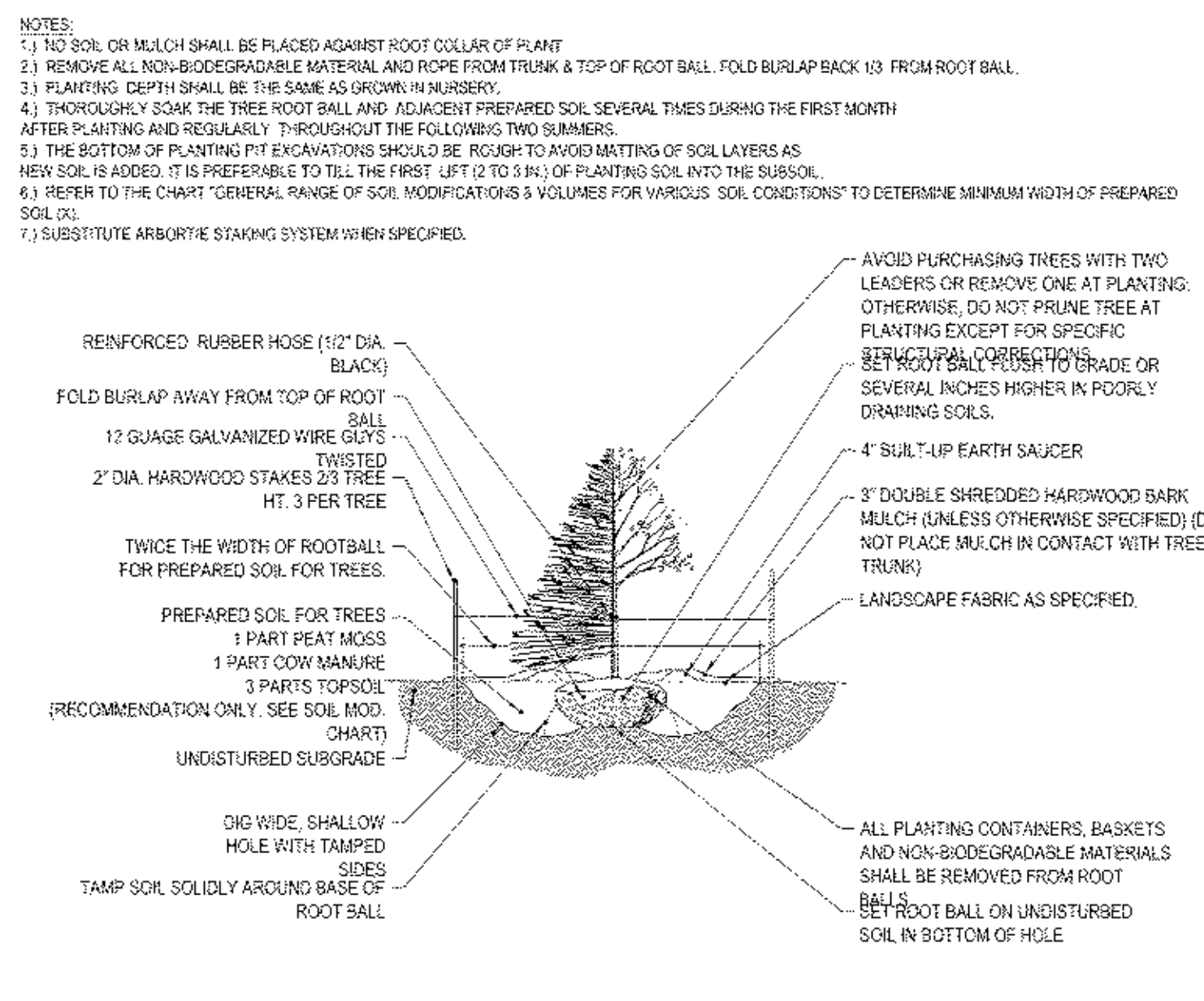
1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDWARE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 3%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VOLCANIC MATTER AND CLAY CLODS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 1/2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODEN IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN, NEW DROP SEED.
II. SOD SHALL BE STRONG, ROOTED, WEED AND DISEASE FREE WITH A LAWNFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.

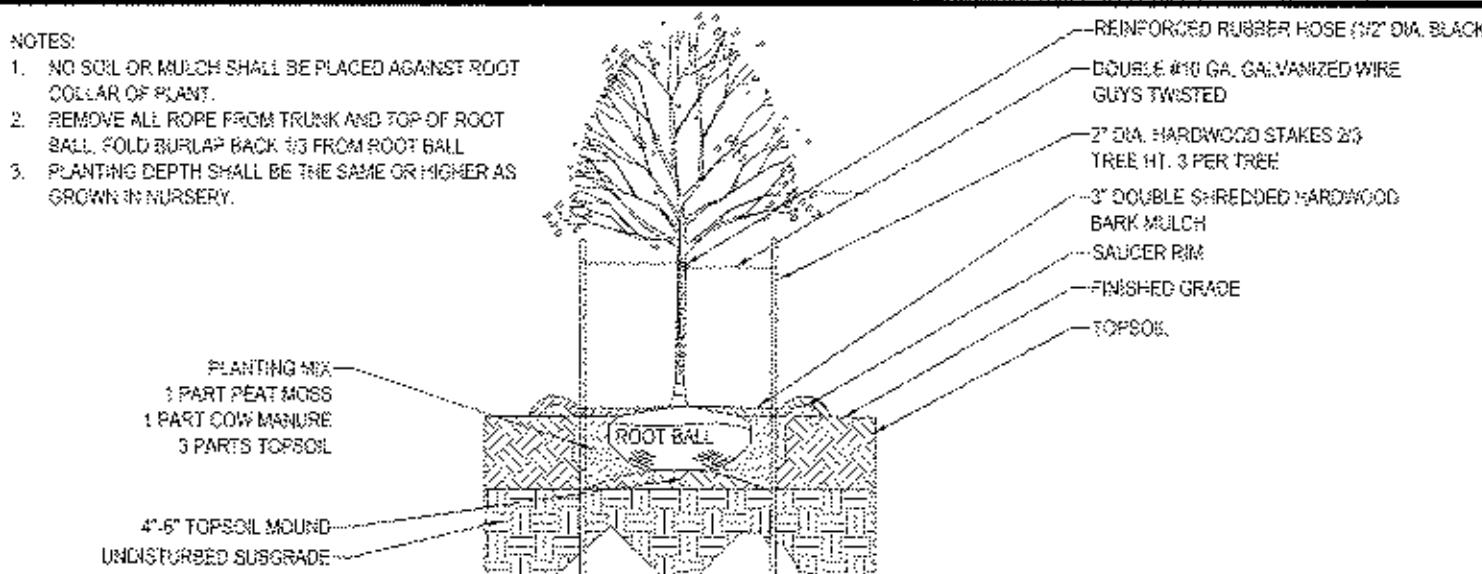
3. FERTILIZER
A. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
B. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
C. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 4% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
D. PLANT MATERIAL
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN).
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING:
THE FINAL INSPECTION.
IV. TREES WITH AGGRAVATION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4" WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED.
V. ALL PLANTS SHALL NOT BE BOUND WITH WIRE OR HOPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
VI. SHRUBS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE BRANCHES AND NOT TO THE LONGEST BRANCH.
IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

4. GENERAL WORK PROCEDURES
A. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
C. SITE PREPARATIONS
I. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE CUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
D. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LINE OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
E. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
F. TREE PROTECTION
I. A CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF OBSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE FOLLOWED.
G. A FOURTY EIGHT (48) INCH (4 FT) HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY POLYESTER OR APPROVED EQUAL MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
H. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
I. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
J. SOIL MODIFICATIONS
I. CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
K. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
L. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIALS WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL SPENT COPPER SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 80%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
M. FINISHED GRADING
I. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF THE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
N. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
O. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
P. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
Q. TOPSOILS
I. CONTRACTOR SHALL PROVIDE A 4" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
II. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REFINISHED, STOCKPILED AND PROTECTED PRIOR TO CONSTRUCTION.
R. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

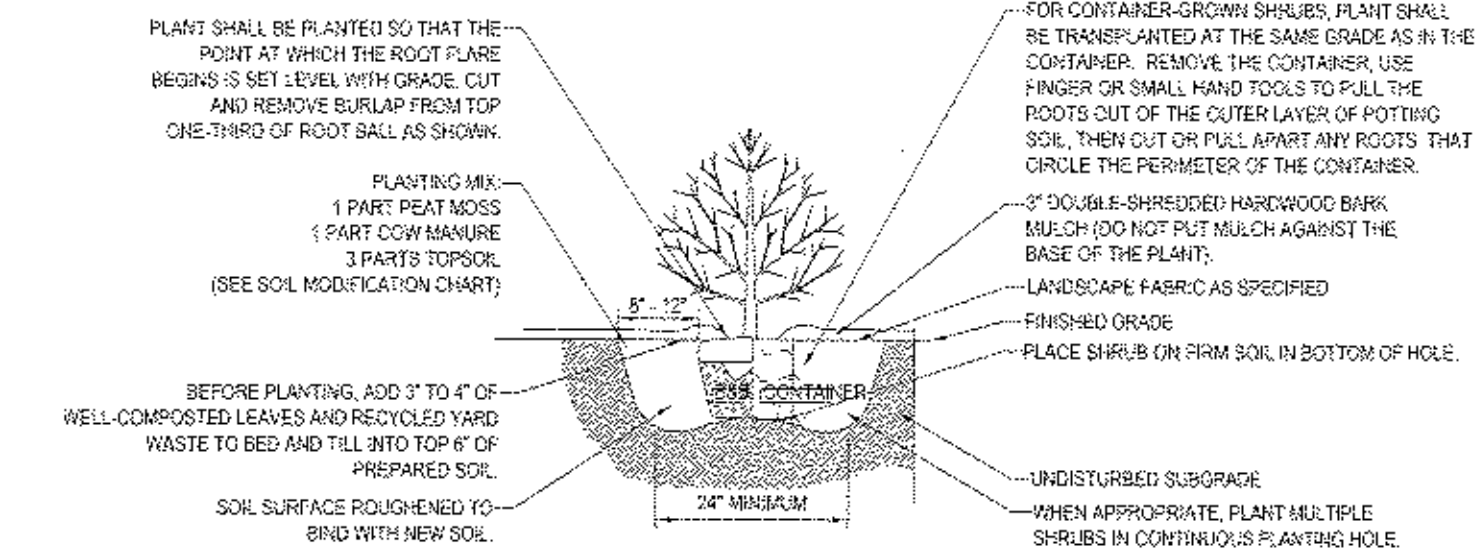
D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY) (SEE SPECIFICATION 6.A.):
I. 30 POUNDS SODIUM OR APPROVED SOIL CONDITIONER PER TON.
II. 20 POUNDS NITRO-FORM (COURSE) 33-0-0 BLUE C/P OR APPROVED NITROGEN FERTILIZER.
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER WET OR FROZEN CONDITIONS.
F. PLANTING
I. INSURE THAT IT IS FEASIBLE PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNPLANTED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED LONGER THAN A THREE DAY PERIOD WITHIN DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
II. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY RUPTURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY RUPTURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUNDS COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO SEPTEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
PLANTING REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE USUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CASPARIUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOEHLERERIA QUERCUS VARIETIES
LIGULICARPA SYRACUSANA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED WITH LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL, BY VOLUME
IV. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 CALON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 10 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2 CALIPER OF TRUNK
I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MAXIMUM BRANCHING HEIGHT OF 2' FROM GRADE.
L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS BAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
P. TRANSPLANTING (WHEN REQUIRED)
I. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
II. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS ONE SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWN SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLAYING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF PESTS OR GRASS WEEDS.
13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
14. MAINTENANCE (ALTERNATIVE BID)
A. 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. UNLESS THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDER SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OPERATOR.



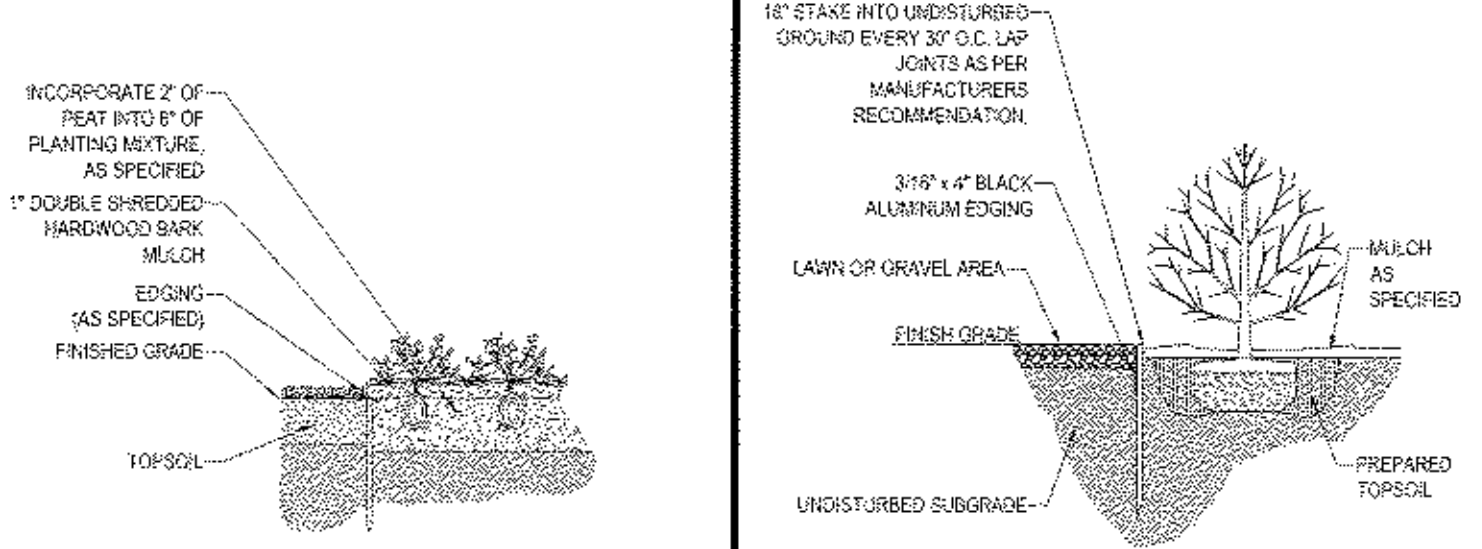
TREE PLANTING DETAIL N.T.S.



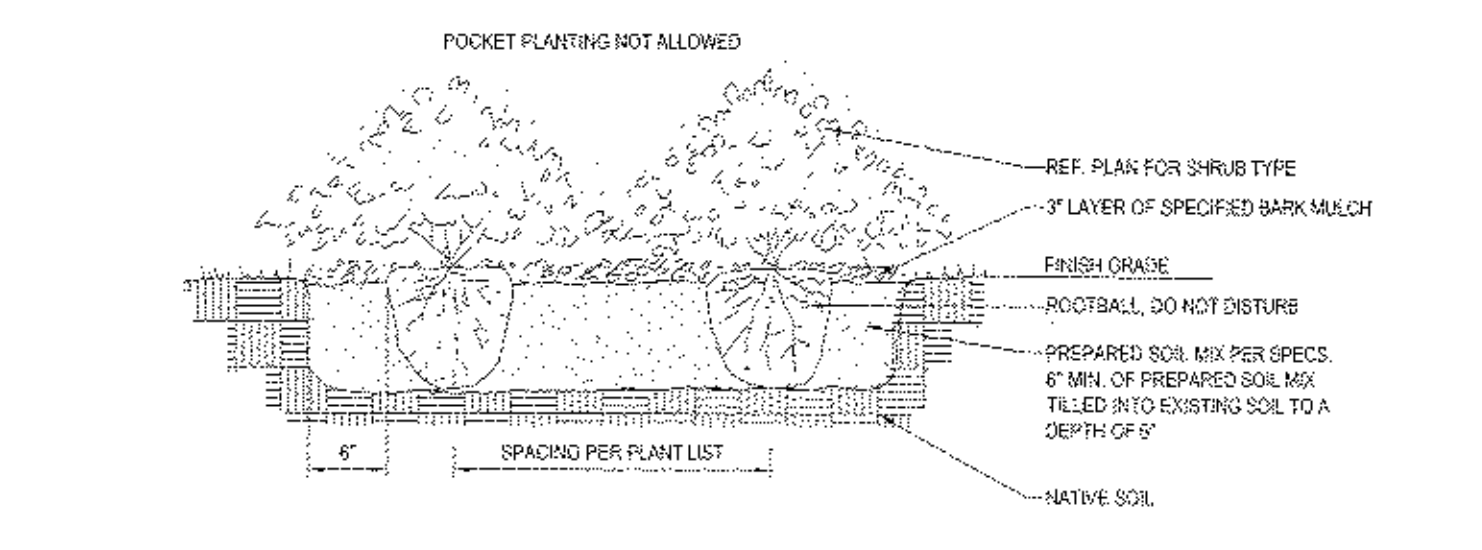
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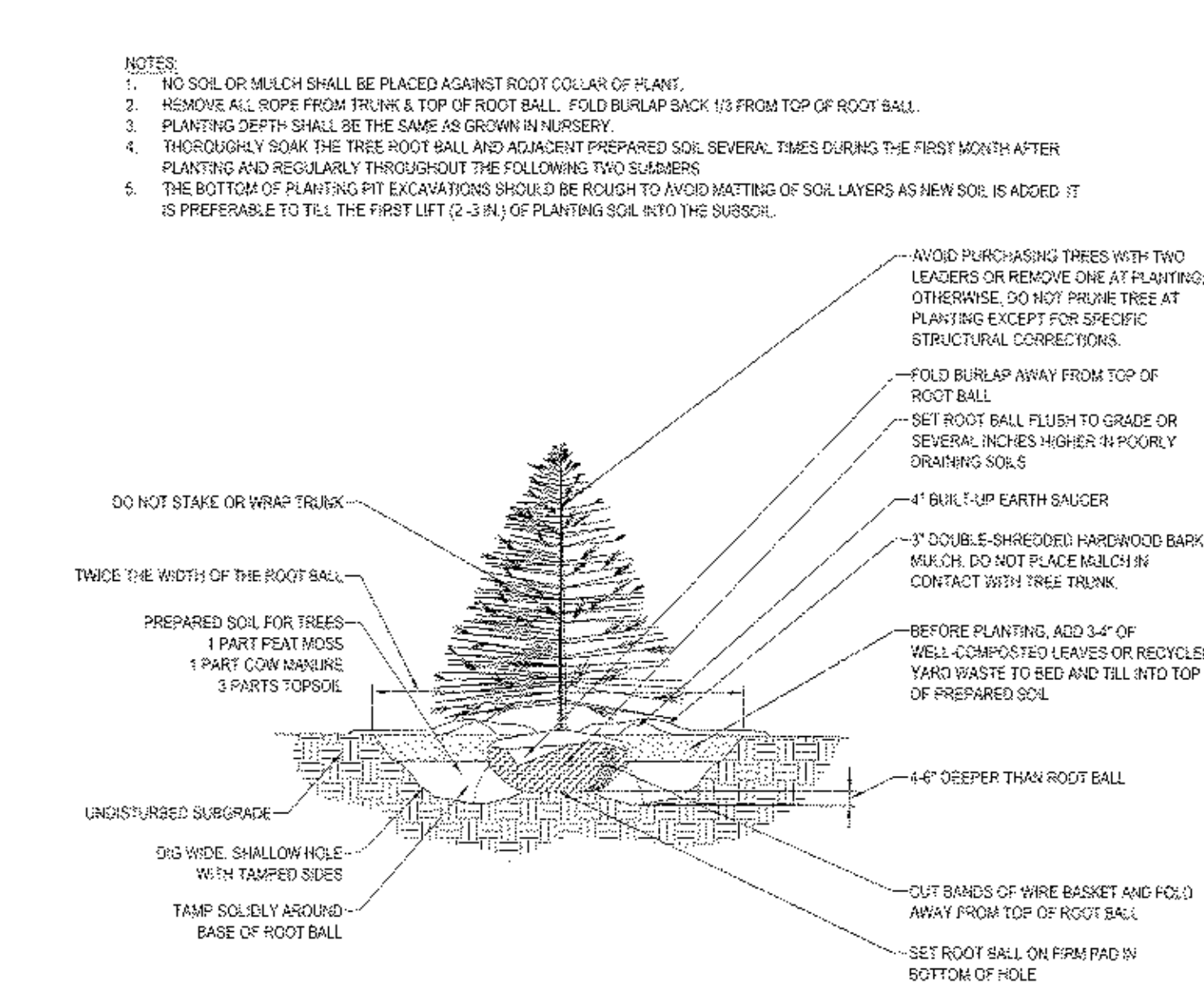
SHRUB PLANTING DETAIL N.T.S.



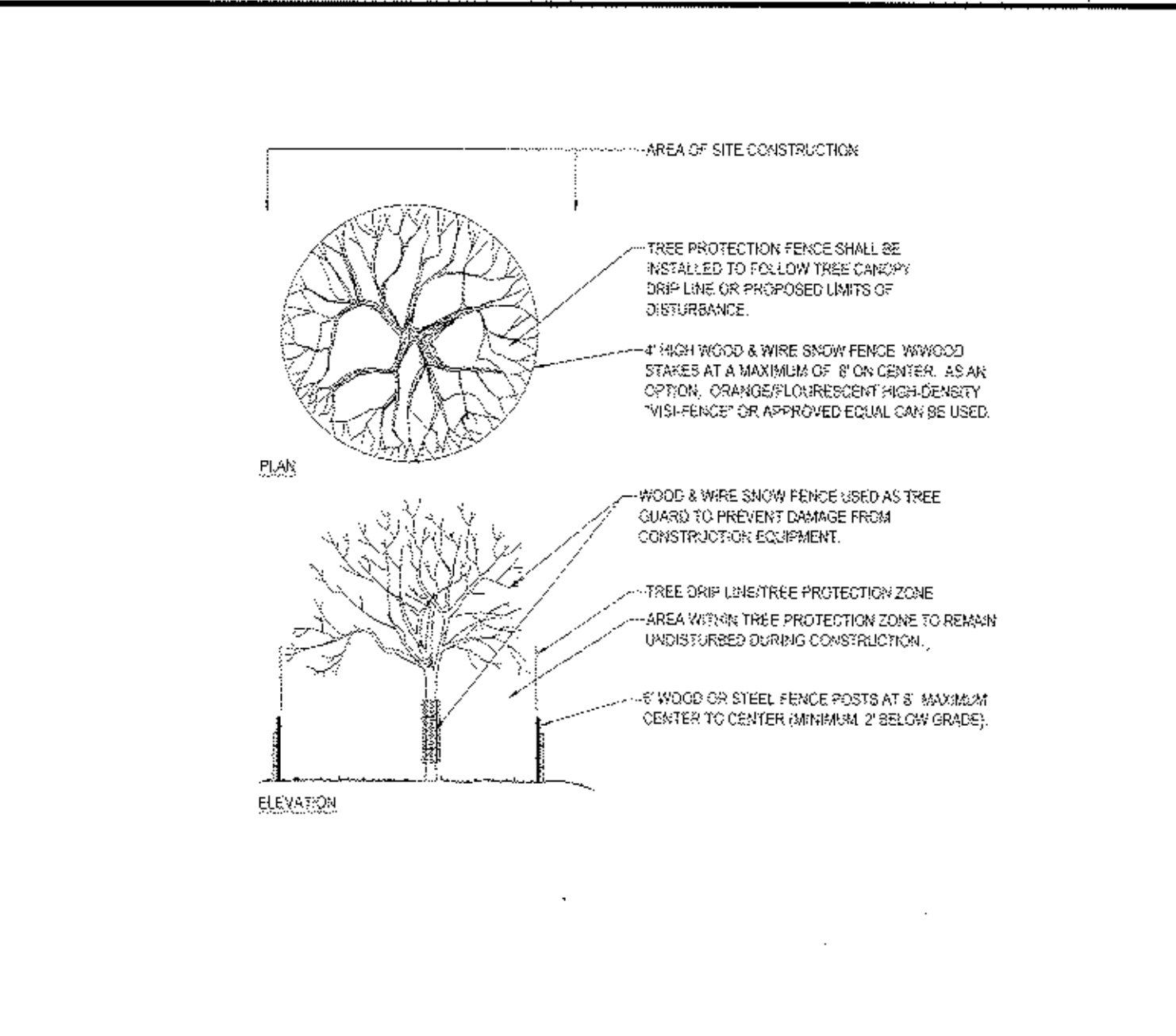
GROUNDCOVER PLANTING N.T.S.



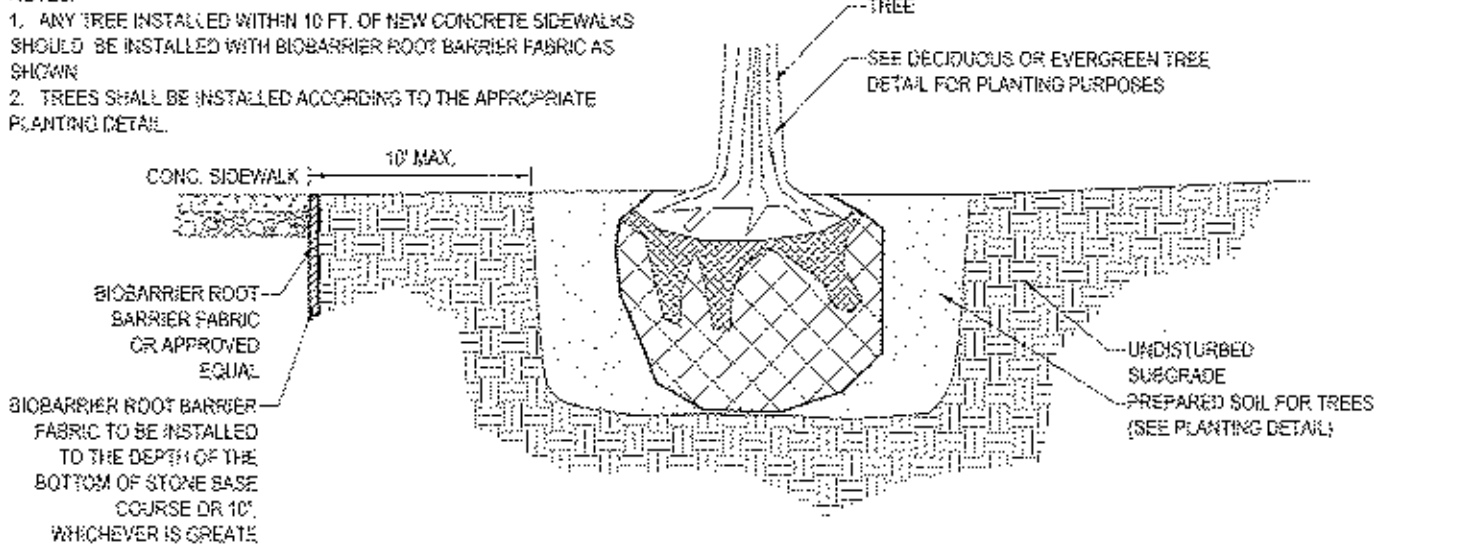
BLACK ALUMINUM EDGING N.T.S.



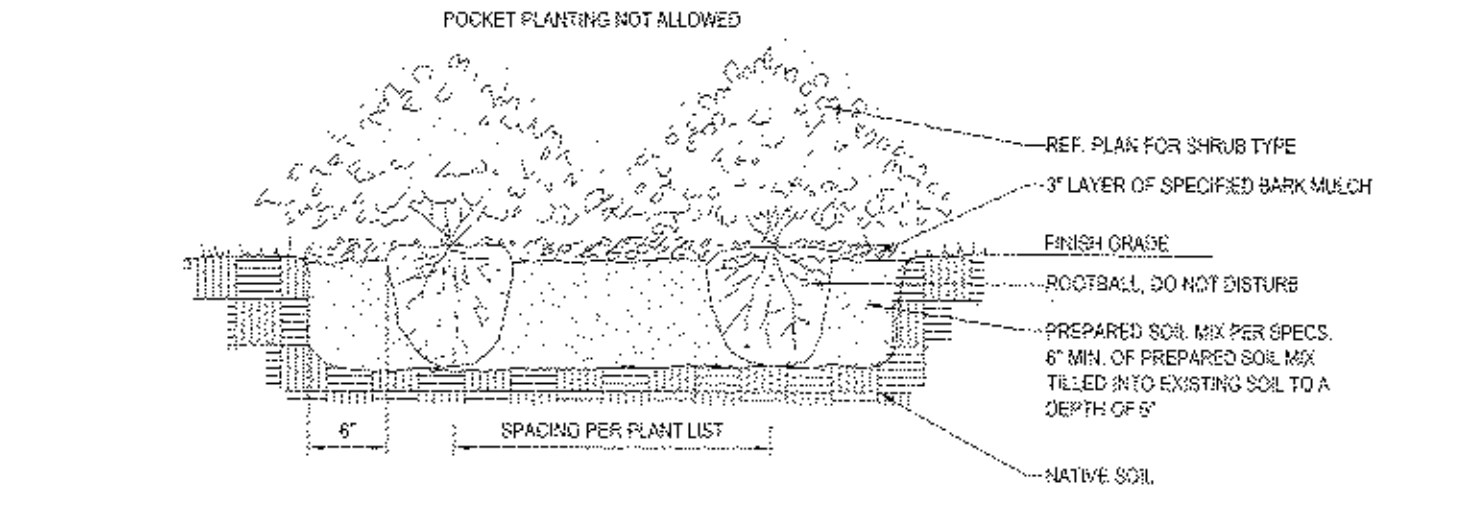
EVERGREEN TREE PLANTING DETAIL N.T.S.



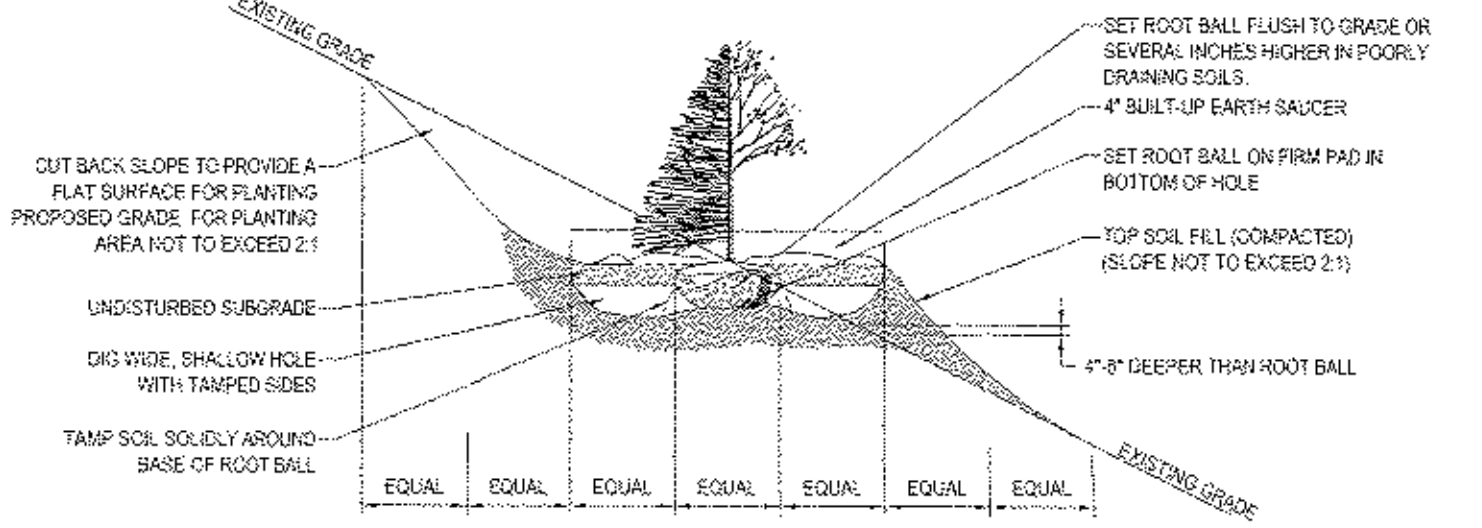
TREE PROTECTION DURING SITE CONSTRUCTION N.T.S.



BIOBARRIER ROOT BARRIER DETAIL N.T.S.



SHRUB/GROUNDCOVER DETAIL N.T.S.



TREE PLANTING DETAIL ON SLOPE N.T.S.

BOHLER ENGINEERING

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CHARLOTTE, NC
DENVER, CO
HOUSTON, TX
LOS ANGELES, CA
MIAMI, FL
NEW YORK, NY
PHILADELPHIA, PA
SAN ANTONIO, TX
WASHINGTON, DC

PROJECT MANAGERS:
ENVIRONMENTAL CONSULTANTS:
LANDSCAPE ARCHITECTS:

BOHLER ENGINEERING IS AN EQUAL OPPORTUNITY EMPLOYER. WE ENCOURAGE ALL QUALIFIED INDIVIDUALS TO APPLY.

REVISIONS

REV.	DATE	COMMENT	BY
1	03/09/19	FRONT YARD BACKLOG	TCF
2	05/29/15	PER TOWN COMMENTS	TCF
3	07/9/16	PHASING PLANS	TCF
4	08/27/15	OFFICE FULL DESIGN	TCF
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PRELIMINARY

PROJECT NO.: B140197
DRAWN BY: TCF
CHECKED BY: TCF
DATE: 01/27/2019
SCALE: AS NOTED
CAD I.D.: B140197SS16

SITE DEVELOPMENT PLANS FOR RHINEBECK REALTY, LLC

LOCATION OF SITE:
1413 UNION AVENUE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

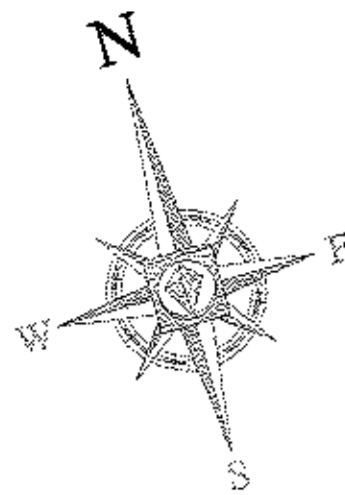
17 COMPUTER DRIVE WEST
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R.W. OSTERHOUDT

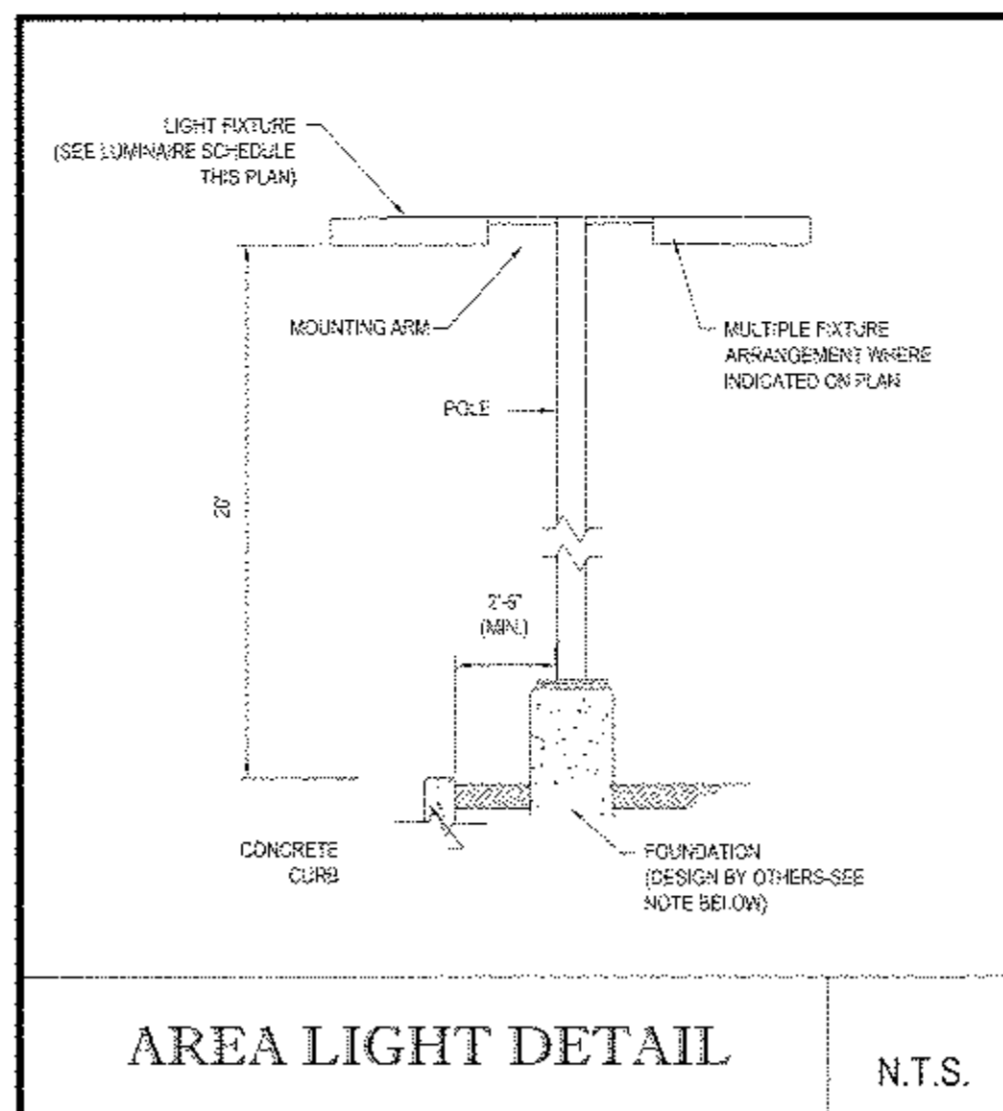
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 076030

LANDSCAPE NOTES & DETAILS SHEET

SHEET NUMBER: **11**
OF 15
REV 4



LUMINAIRE SCHEDULE			
SYMBOL	QTY	ARRANGEMENT	DESCRIPTION
A	21	SINGLE	175 WATT LED AREA LIGHTS - AEROMAX MEDIUM XAMJ-3-LED-128-HO-NW-LUE (LSI INDUSTRIES)
B	1	SINGLE	175 WATT LED AREA LIGHTS - AEROMAX MEDIUM XAMJ-3-LED-128-HO-NW-LUE (LSI INDUSTRIES)
C	2	DOUBLE @ 180	175 WATT LED AREA LIGHTS - AEROMAX MEDIUM XAMJ-3-LED-128-HO-NW-LUE (LSI INDUSTRIES)
D	1	DOUBLE @ 90	175 WATT LED AREA LIGHTS - AEROMAX MEDIUM XAMJ-3-LED-128-HO-NW-LUE (LSI INDUSTRIES)
E	3	SINGLE	175 WATT LED AREA LIGHTS - AEROMAX MEDIUM XAMJ-3-LED-128-HO-NW-LUE (LSI INDUSTRIES)
F	16	SINGLE	89 WATT LED WALL LIGHTS - AEROMAX XAWSU-3-LED-84-1C-NW-LUE (LSI INDUSTRIES)

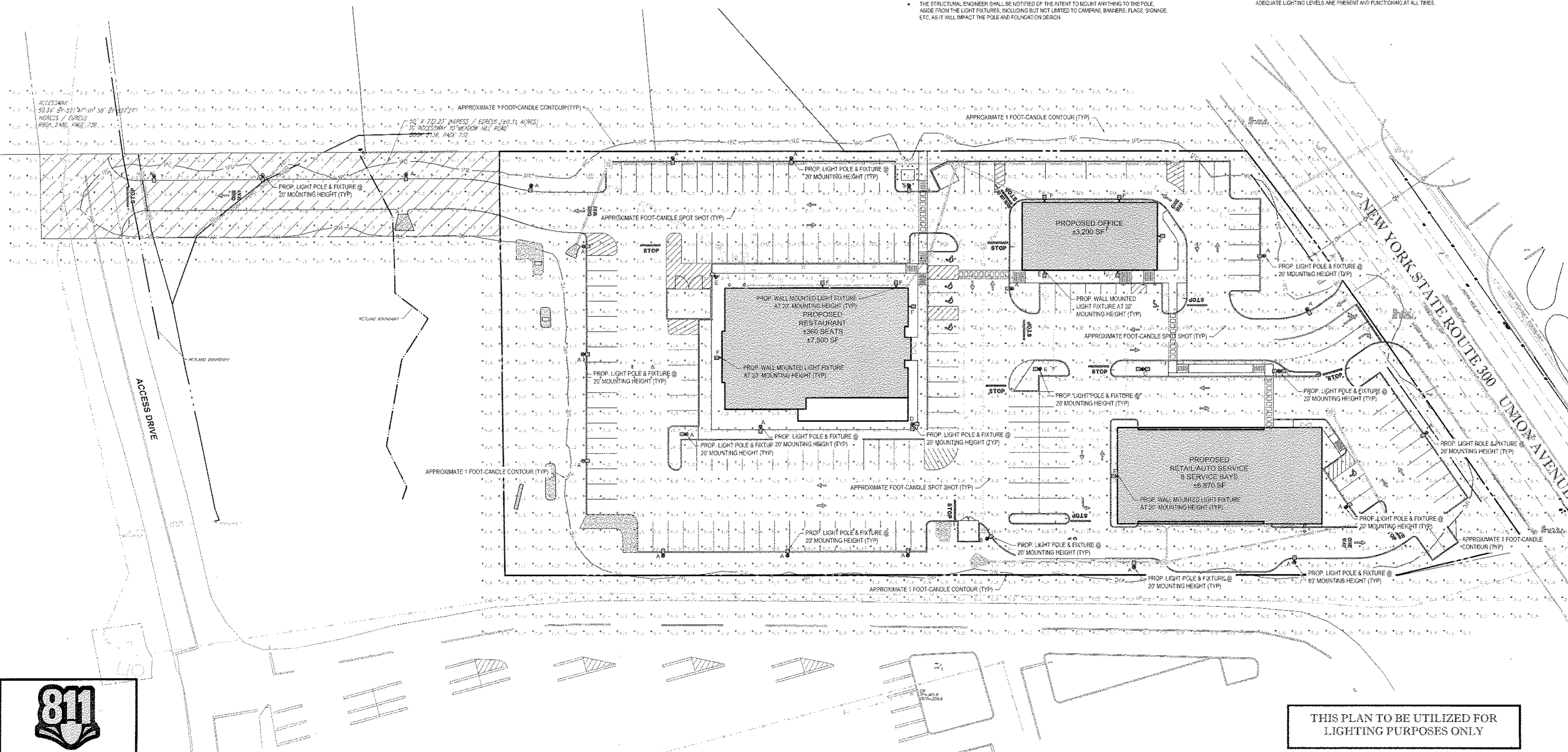


NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAG SIGNAGE, ETC., AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.80 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR T2 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND REPLACING IF NECESSARY, AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DEFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED BY THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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 WICHITA, KS

PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS
 SURVEYORS

REVISIONS				
REV	DATE	COMMENT	BY	
1	03/09/15	FRONT YARD SETBACK	TCF	
2	05/28/15	PER TOWN COMMENTS	TCF	
3	07/9/15	PHASING PLANS	TCF	
4	08/27/15	OFFICE FULL DESIGN	TCF	
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PRELIMINARY

PROJECT No. B140197
 DRAWN BY: RFW
 CHECKED BY: RFW
 DATE: 01/27/2015
 SCALE: AS NOTED
 CAD ID: B140197SS15

SITE DEVELOPMENT PLANS FOR RHINEBECK REALTY, LLC

LOCATION OF SITE
 1413 UNION AVENUE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

17 COMPUTER DRIVE WEST
 ALBANY, NY 12205
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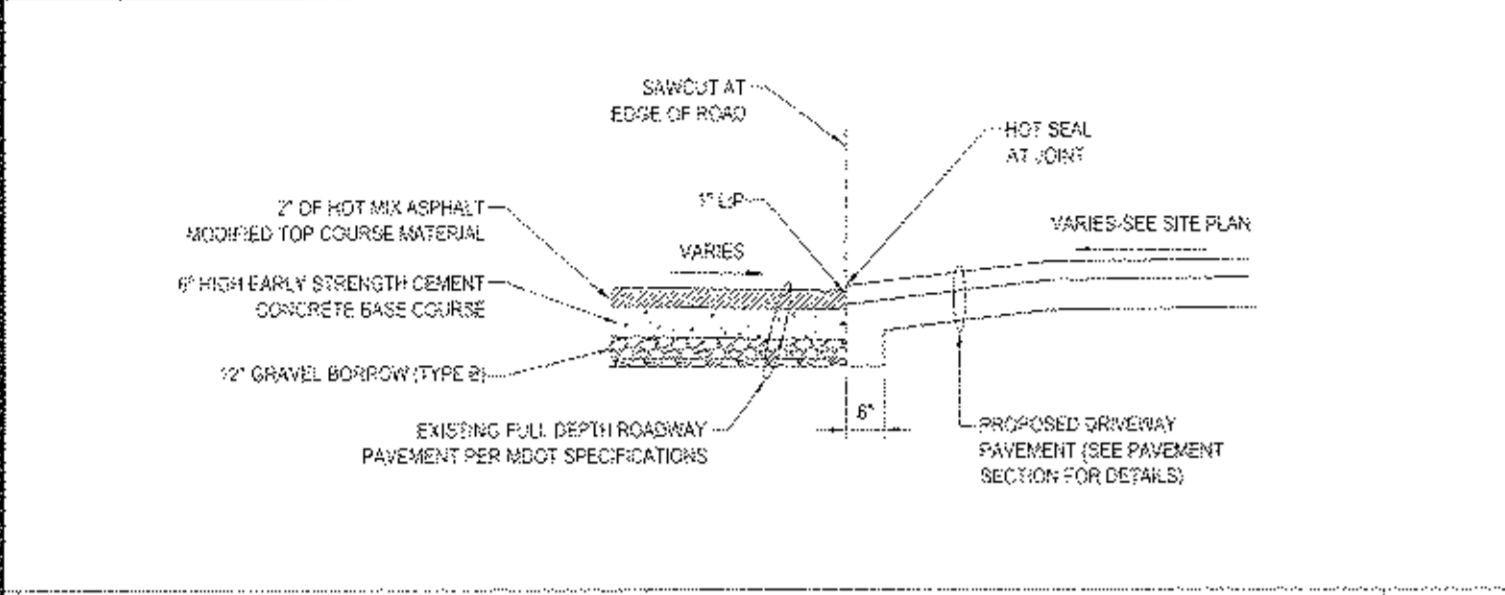
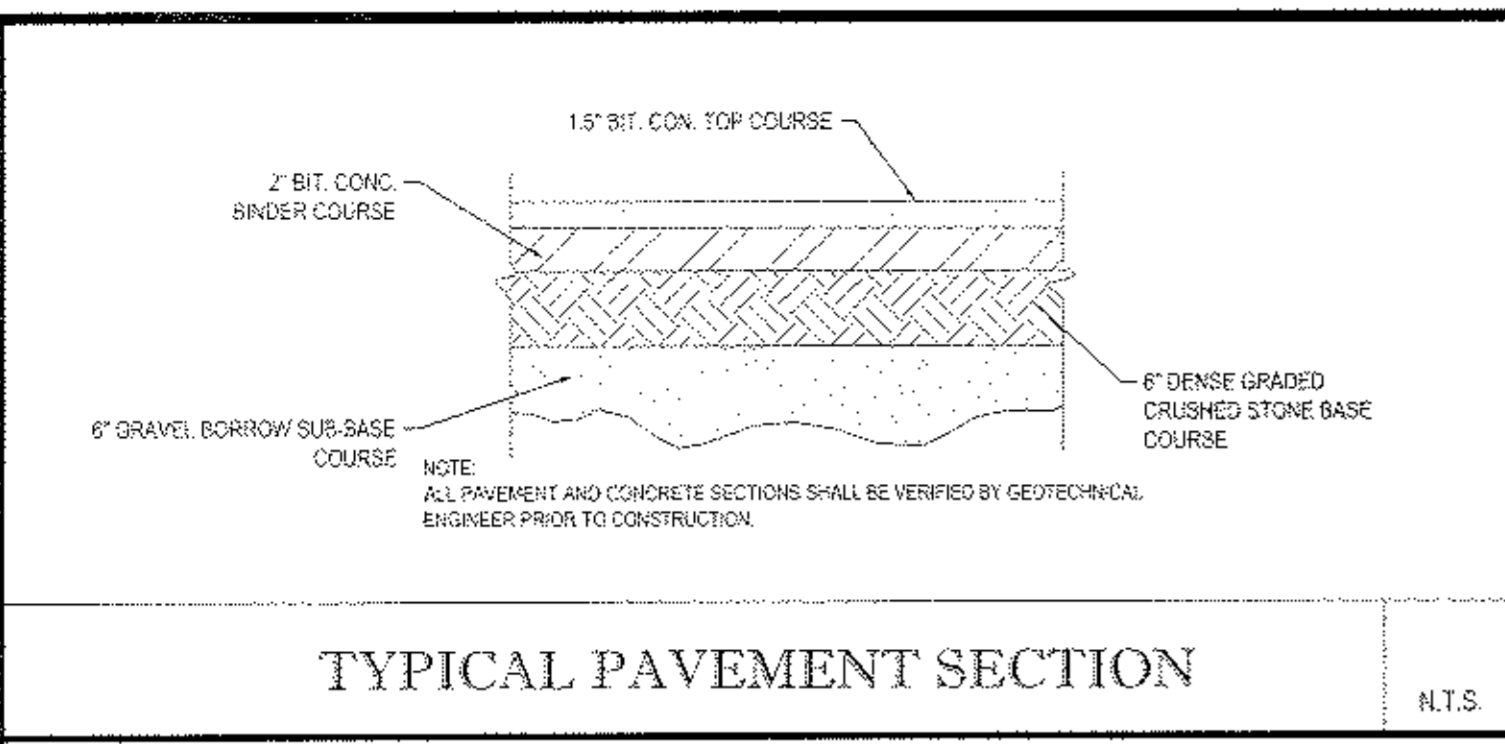
R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 079909

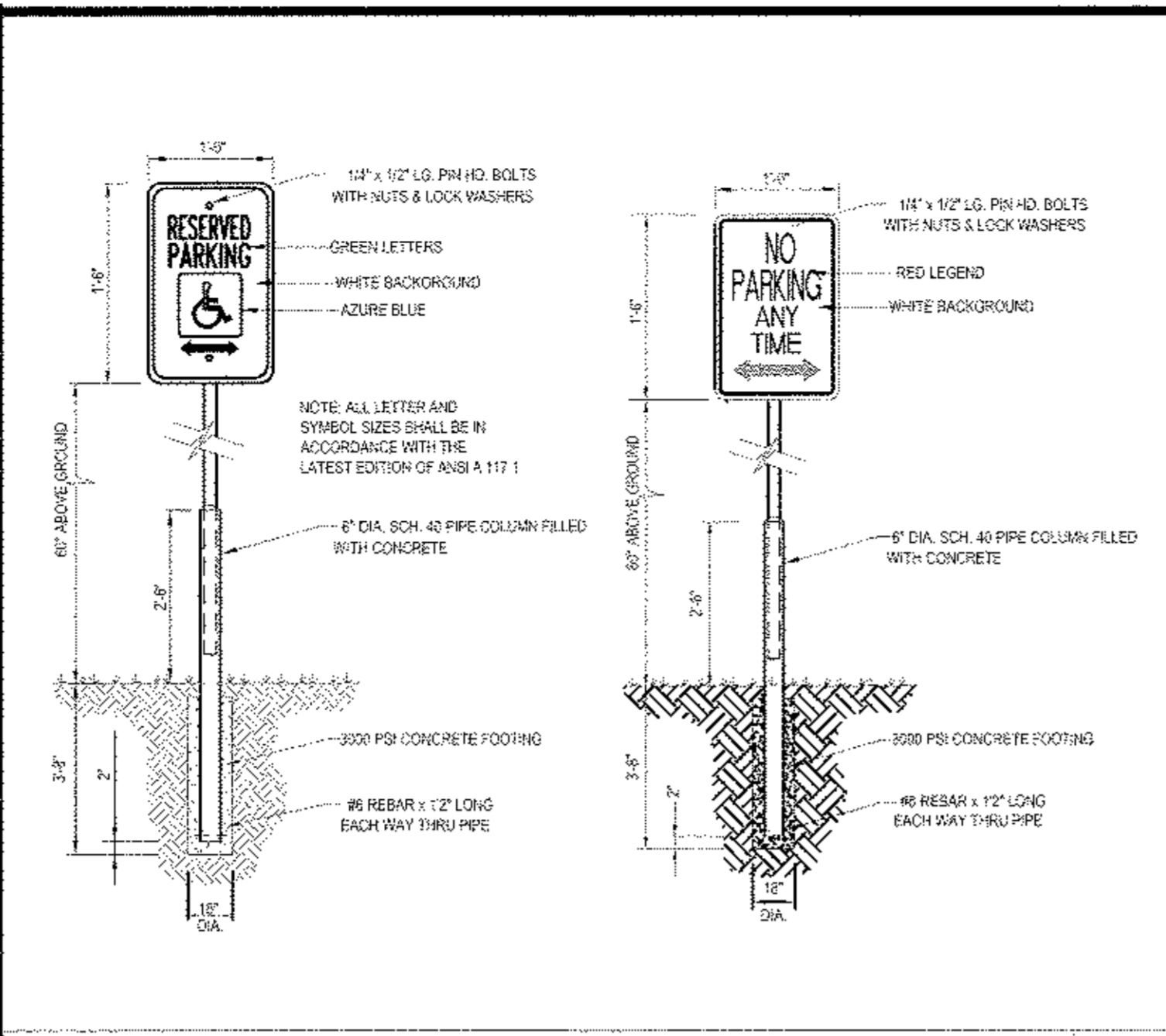
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LIGHTING PLAN

SHEET NUMBER:
12
 OF 15

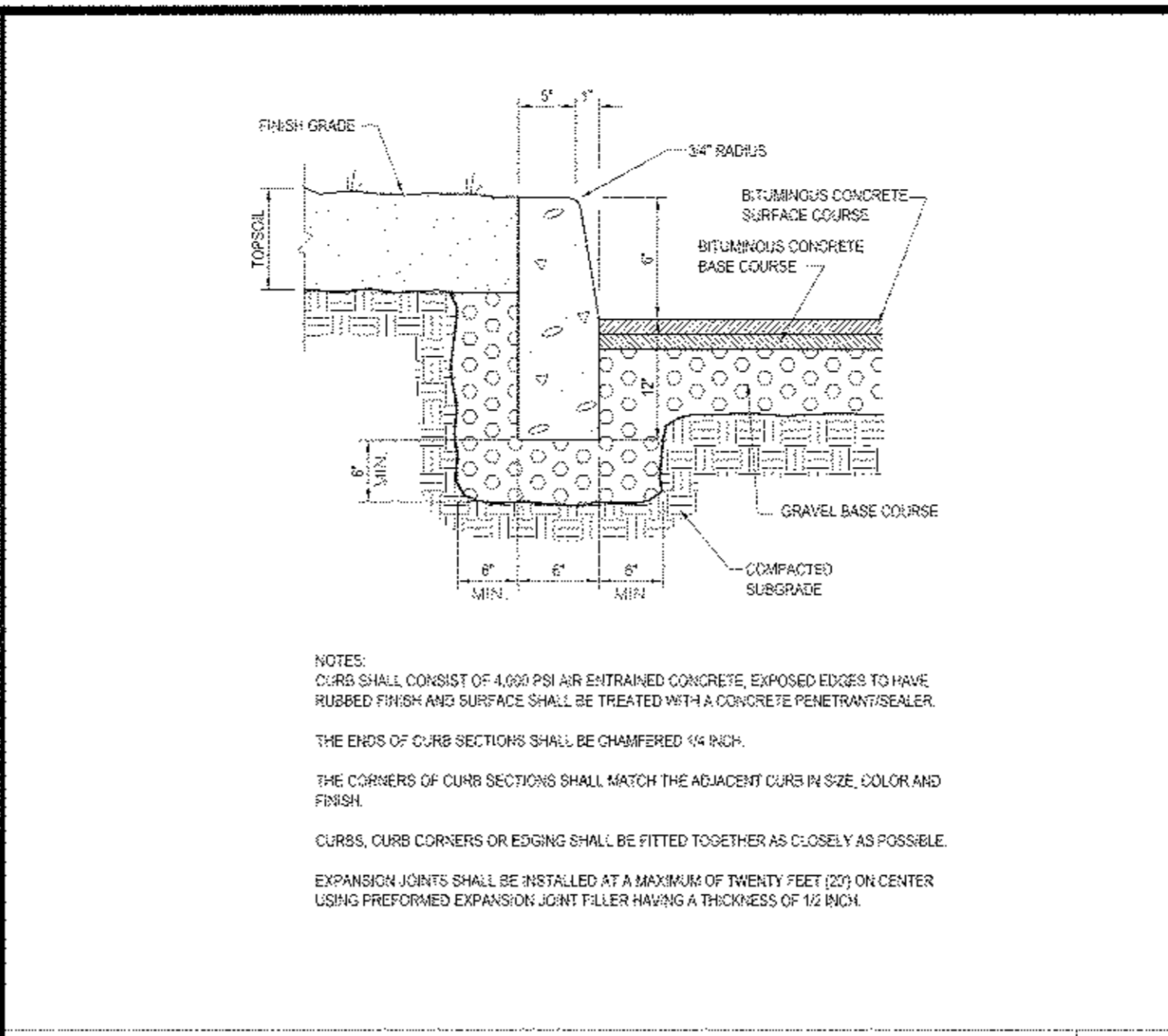
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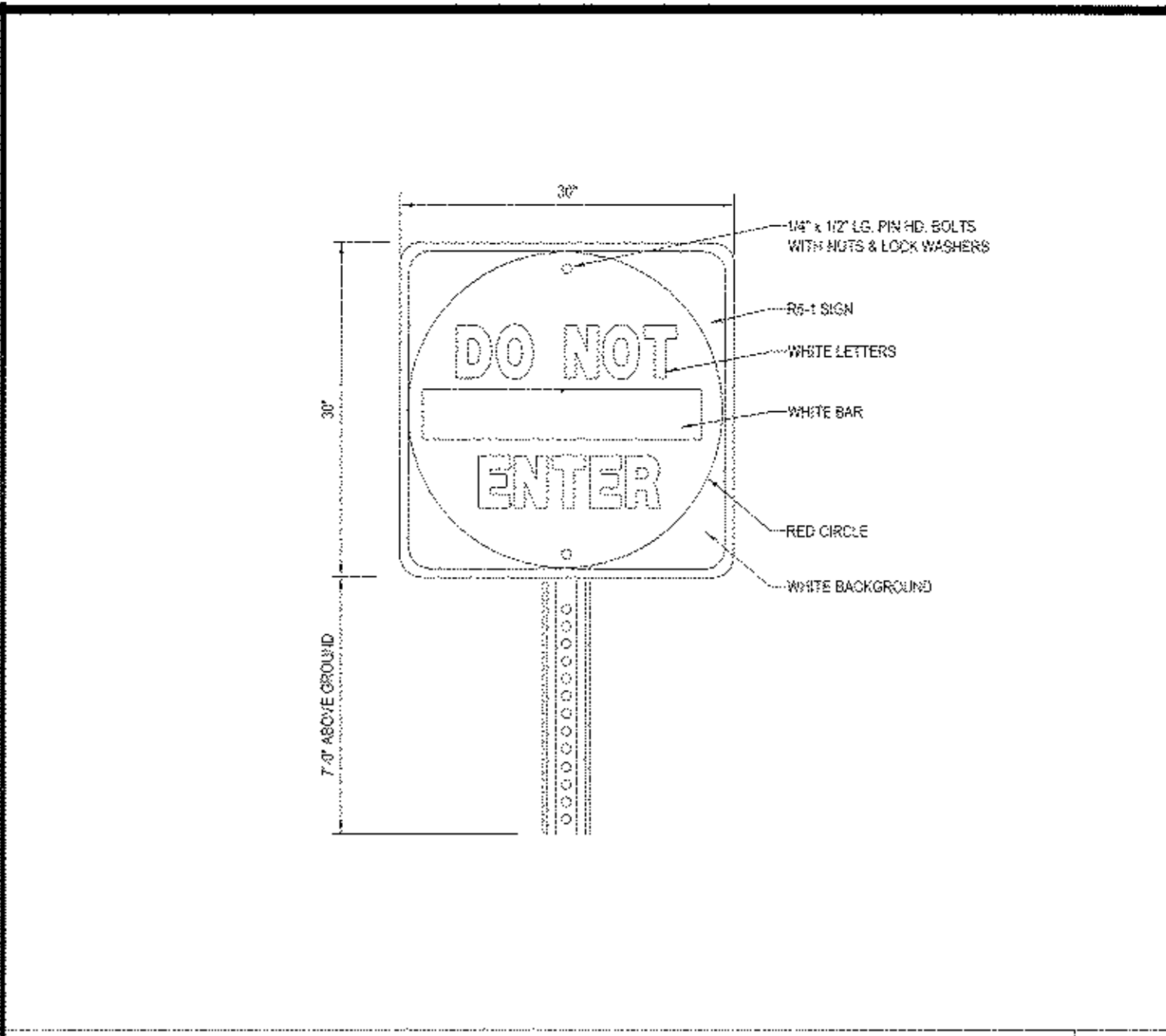
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DRIVEWAY CONSTRUCTION DETAIL N.T.S.



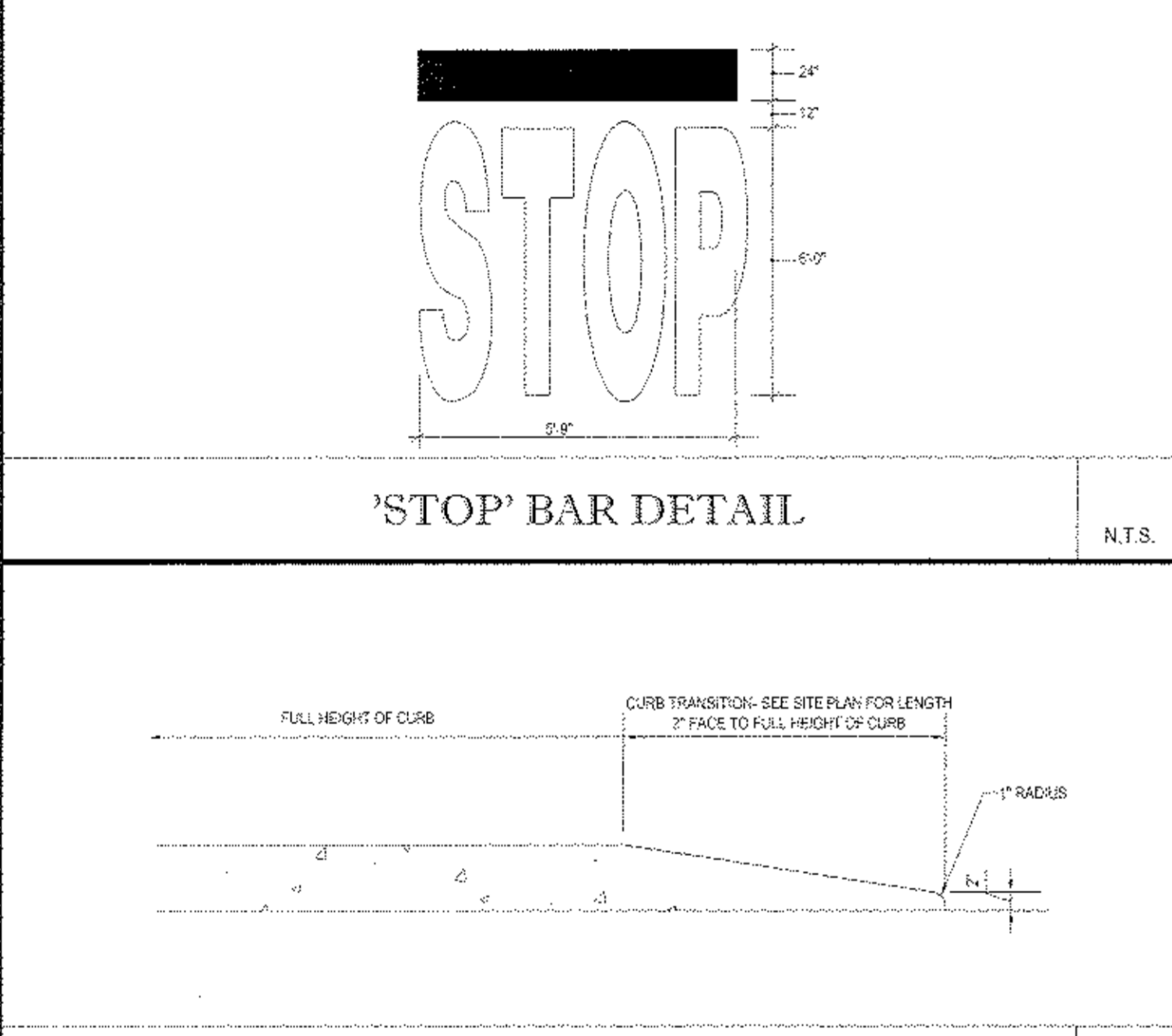
ACCESSIBLE / NO PARKING SIGN DETAILS N.T.S.



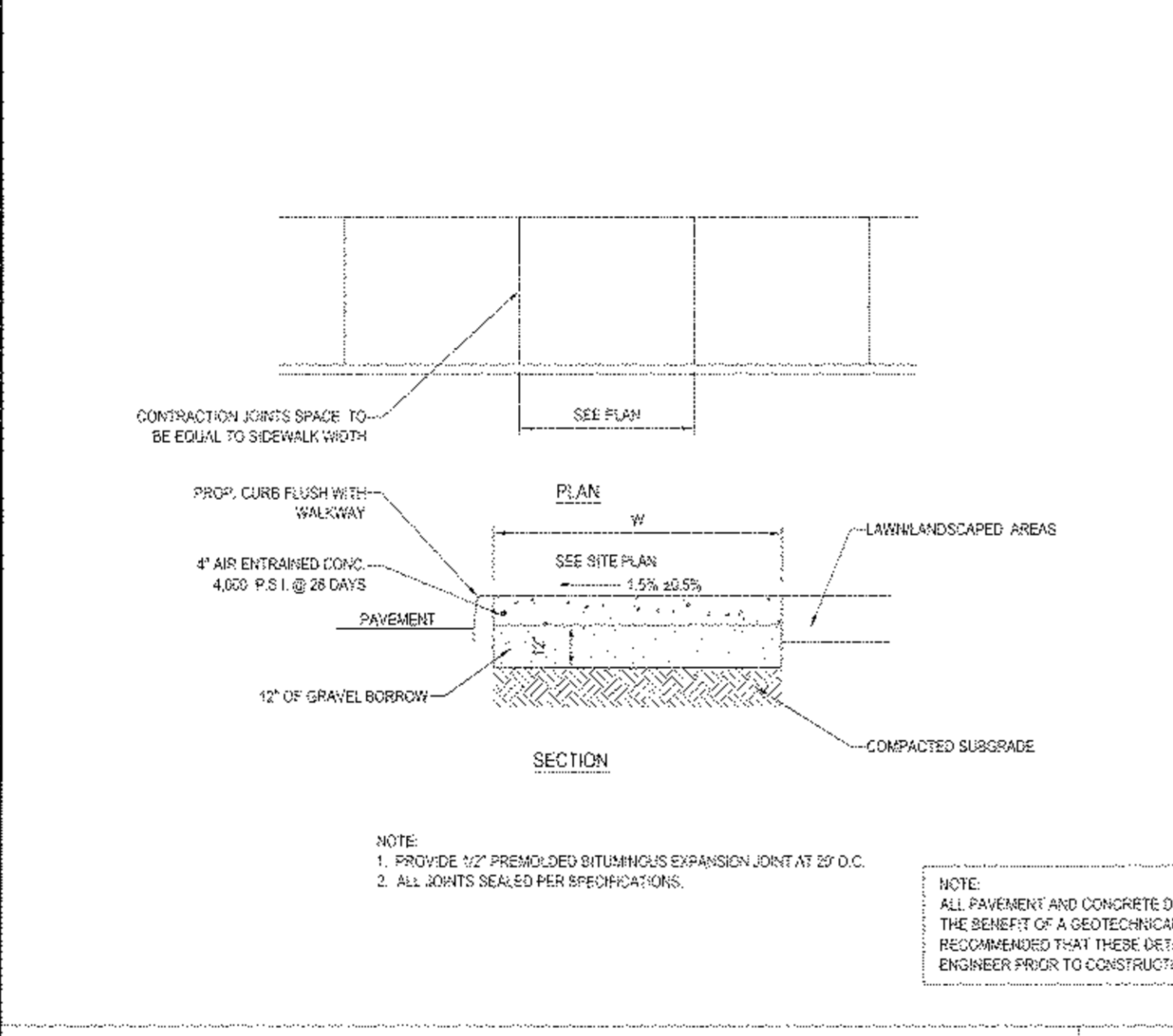
CONCRETE CURB DETAIL N.T.S.



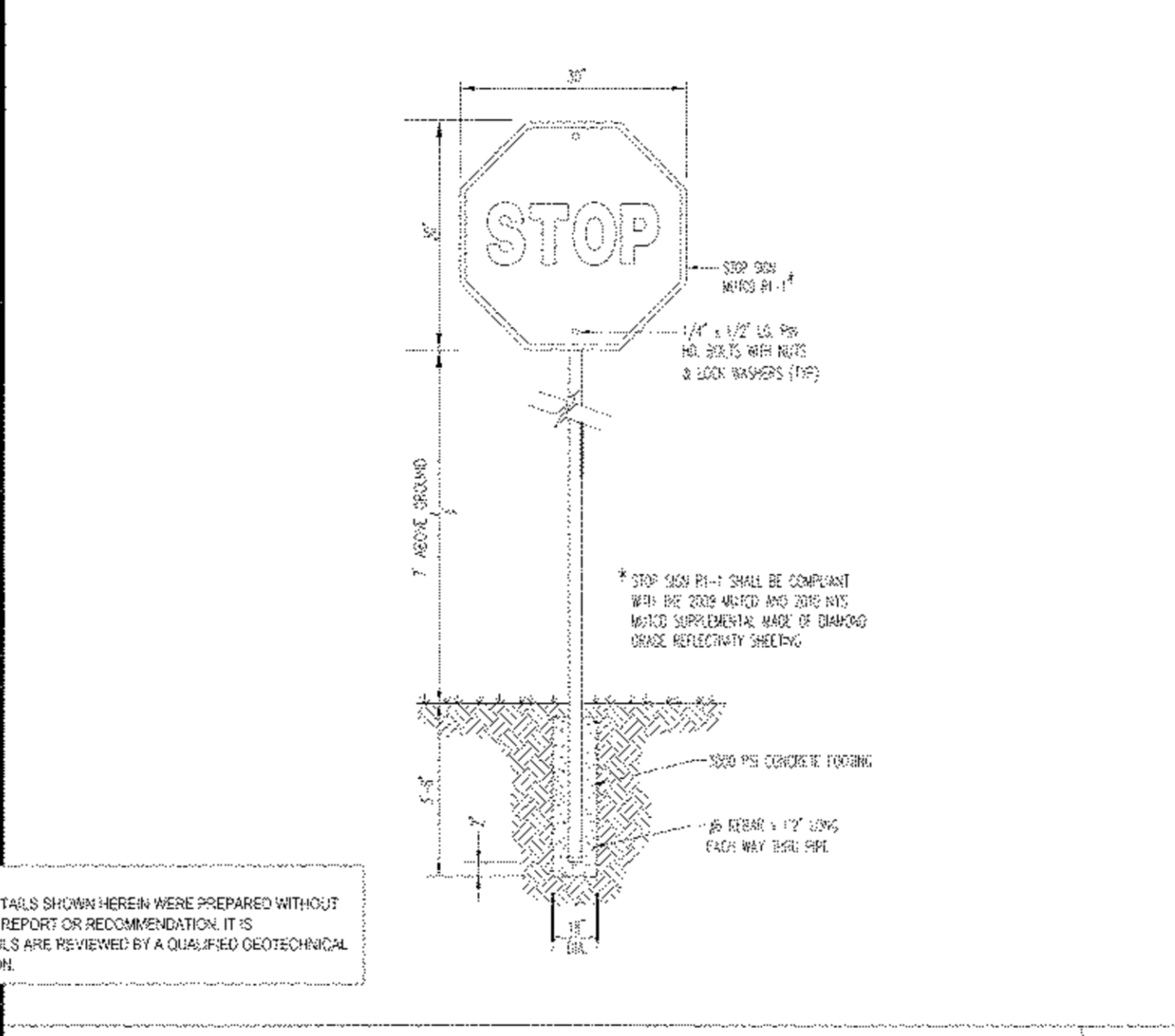
"DO NOT ENTER" SIGN N.T.S.



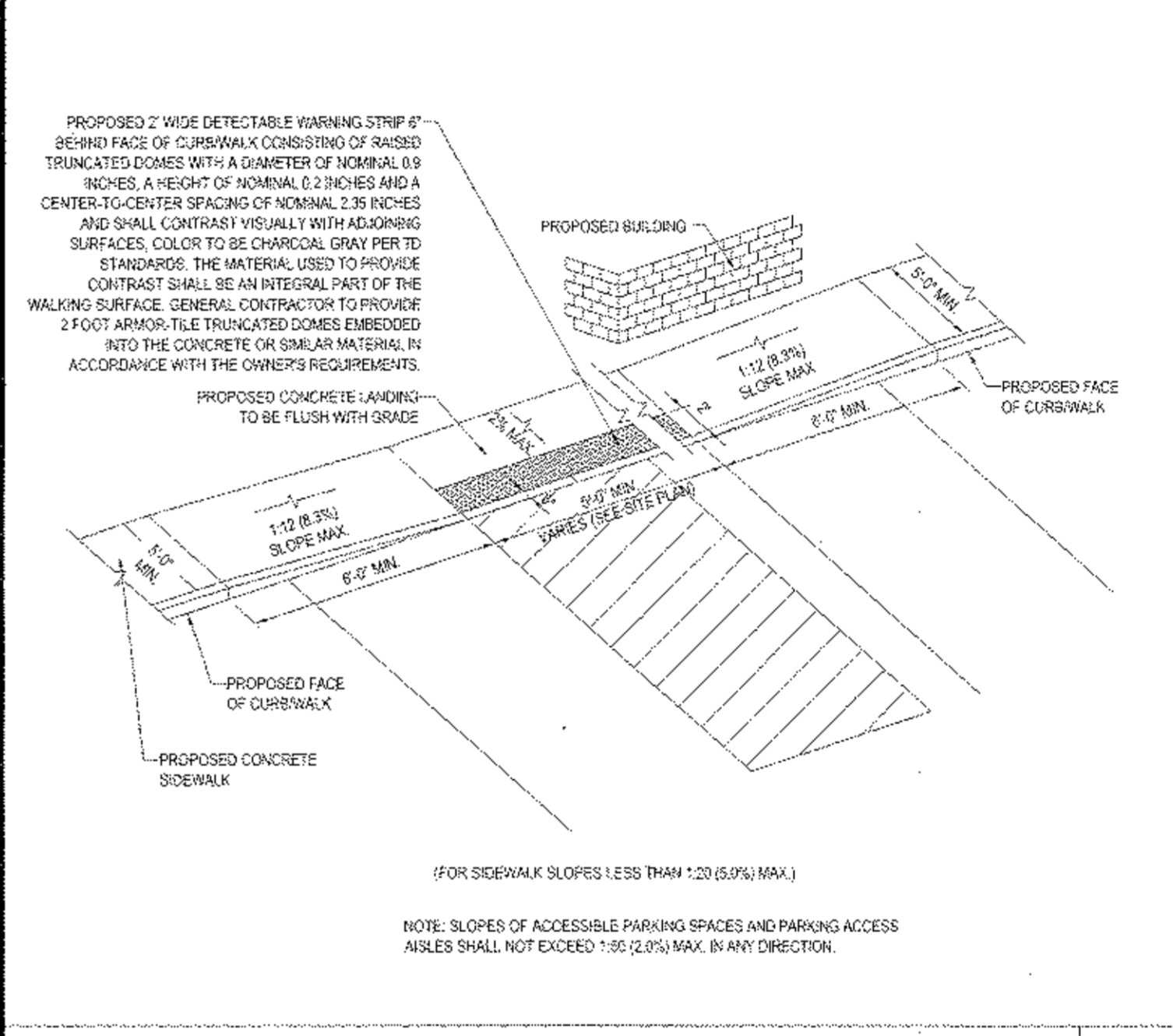
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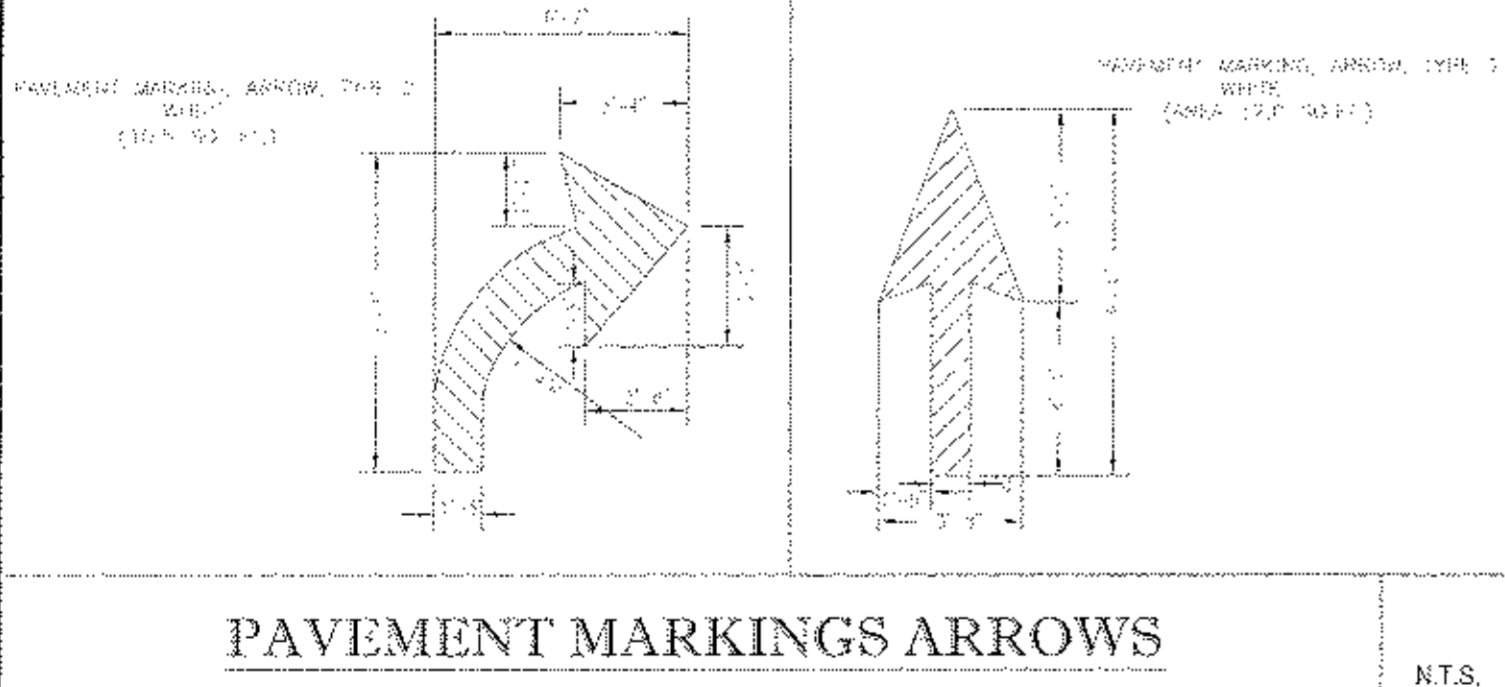
SIDEWALK DETAIL N.T.S.



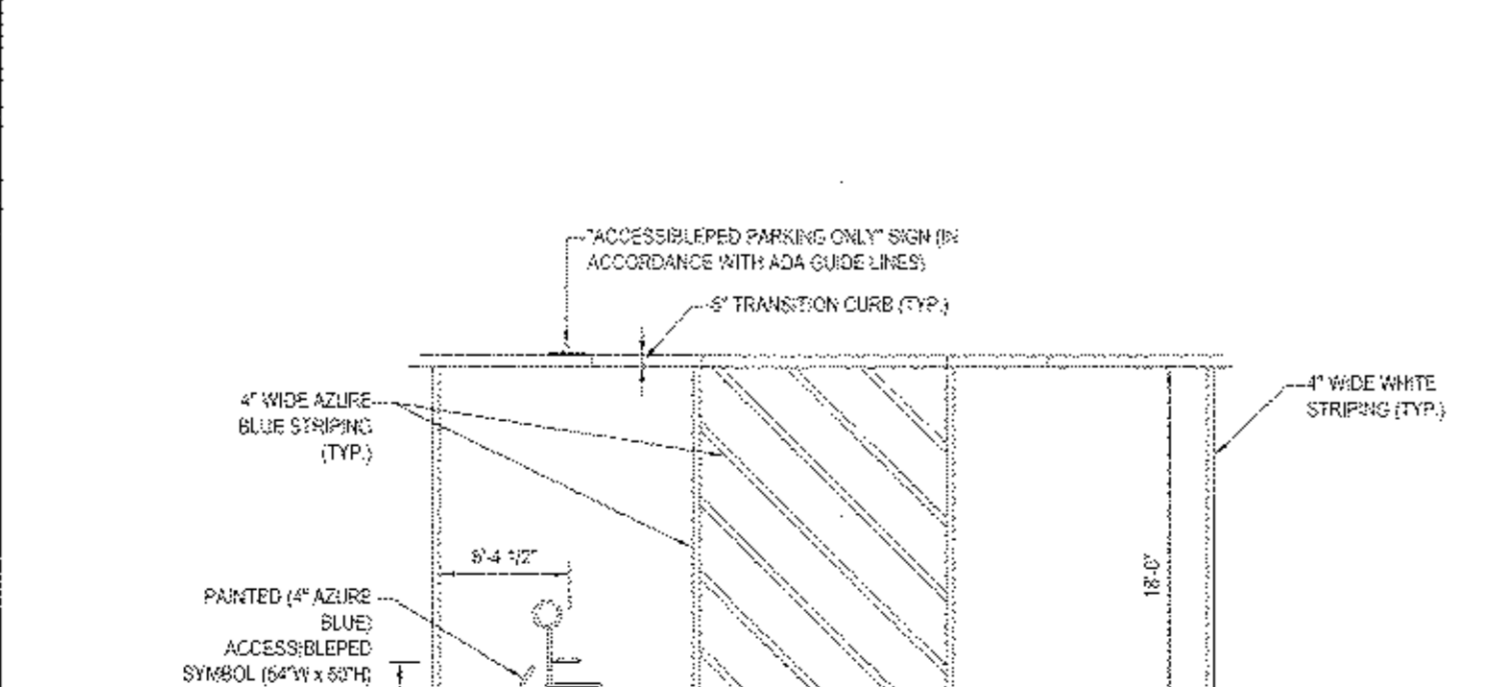
'STOP' SIGN N.T.S.



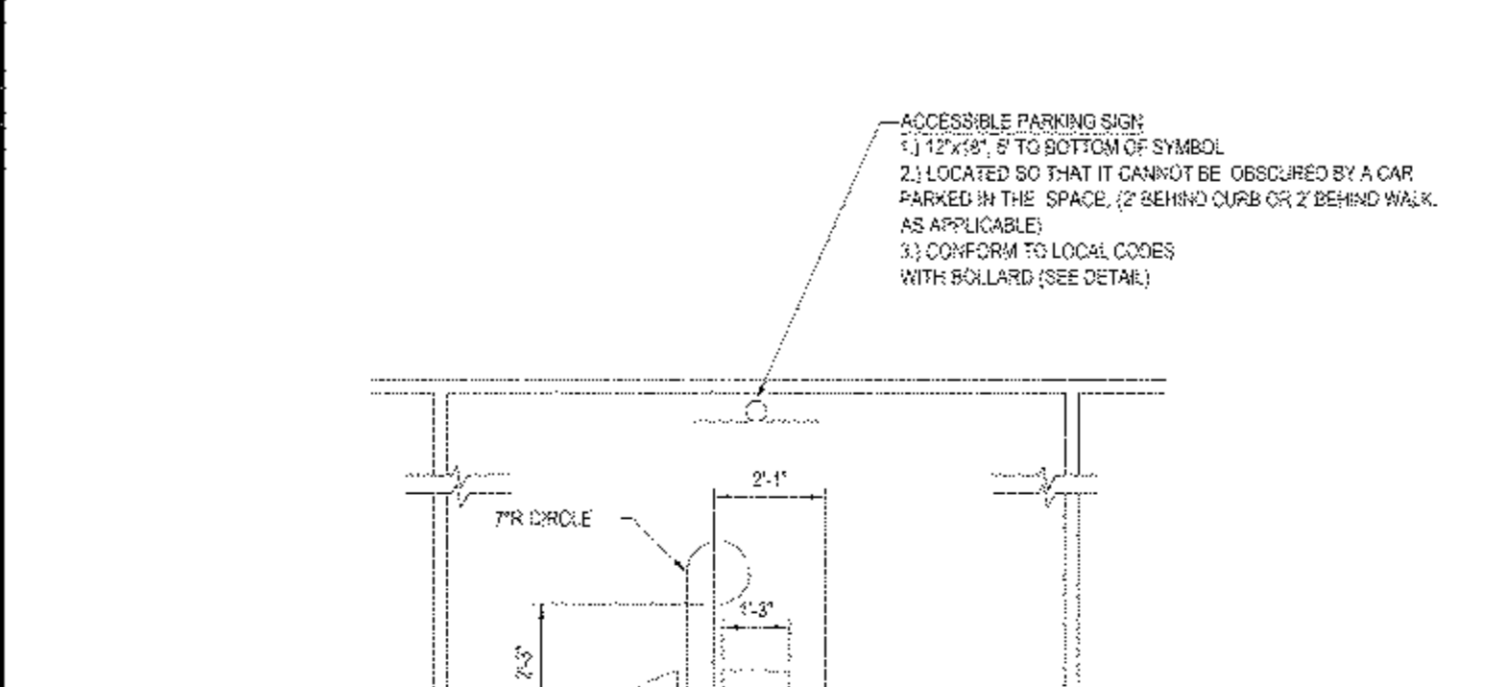
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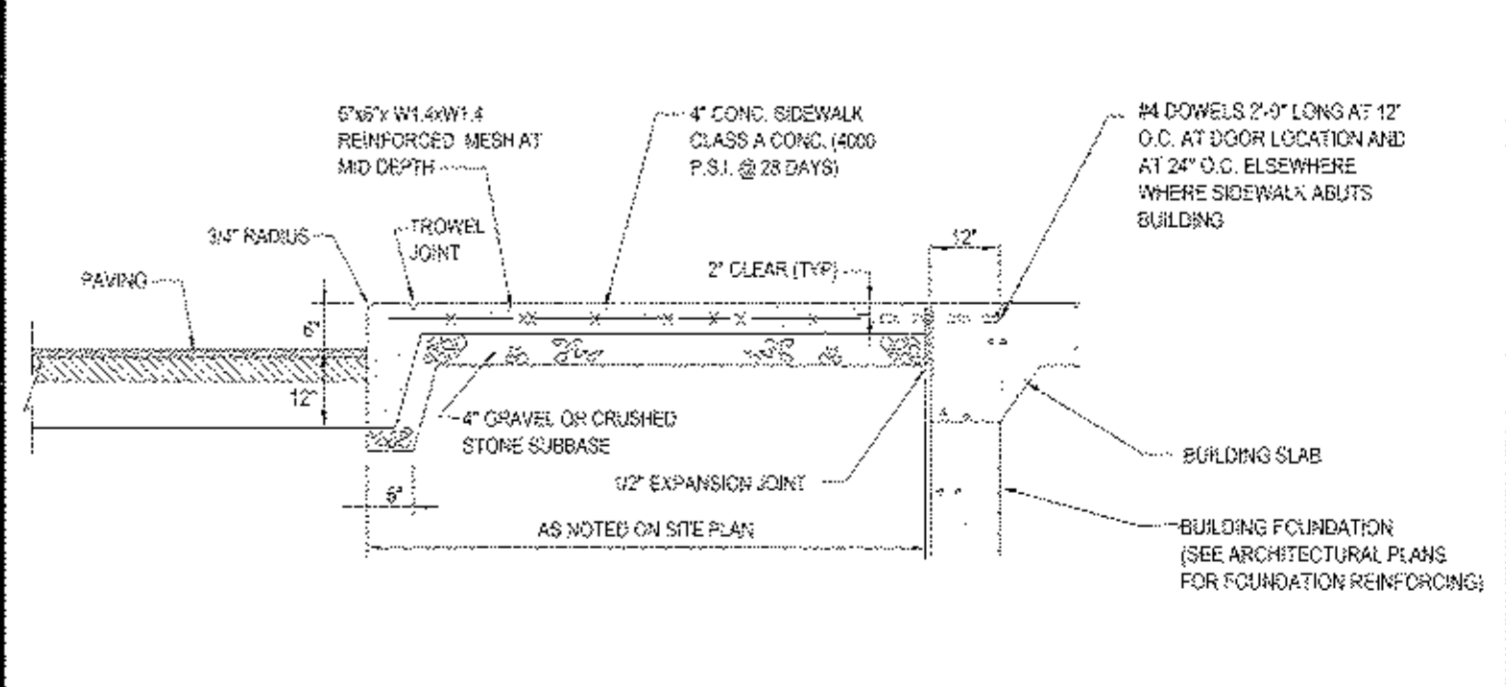
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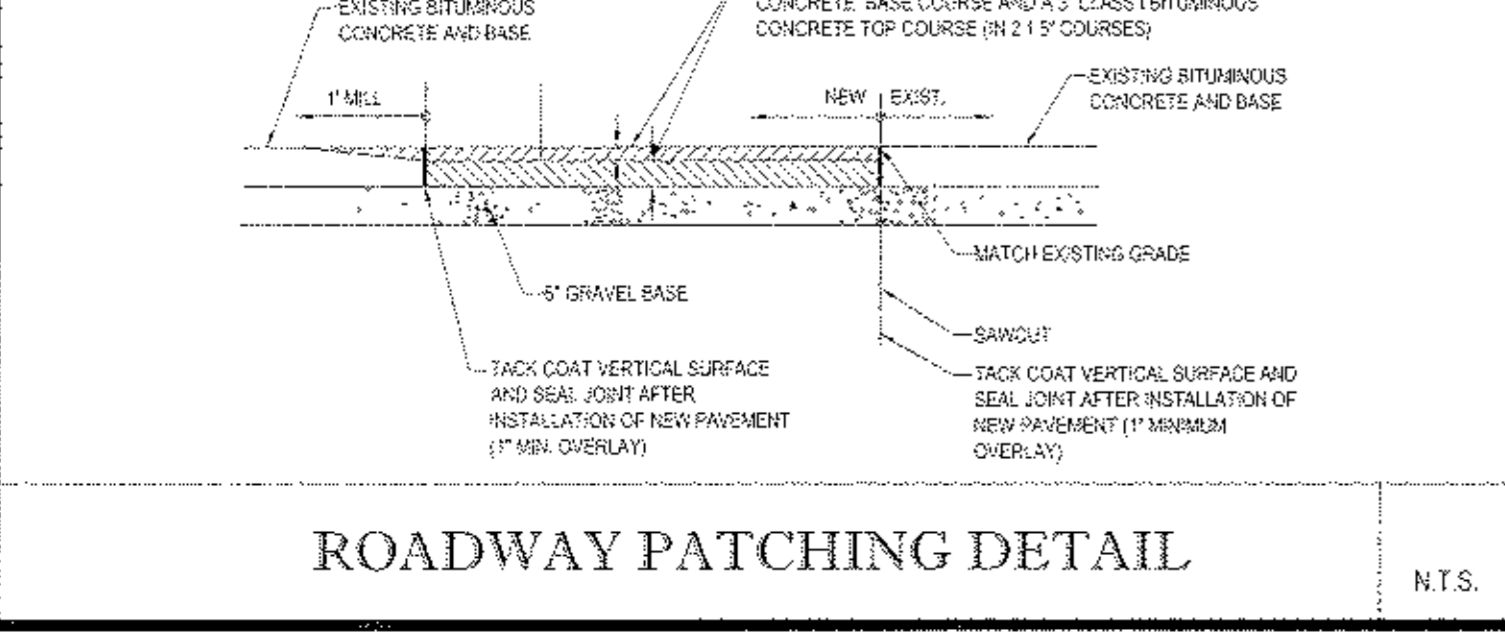
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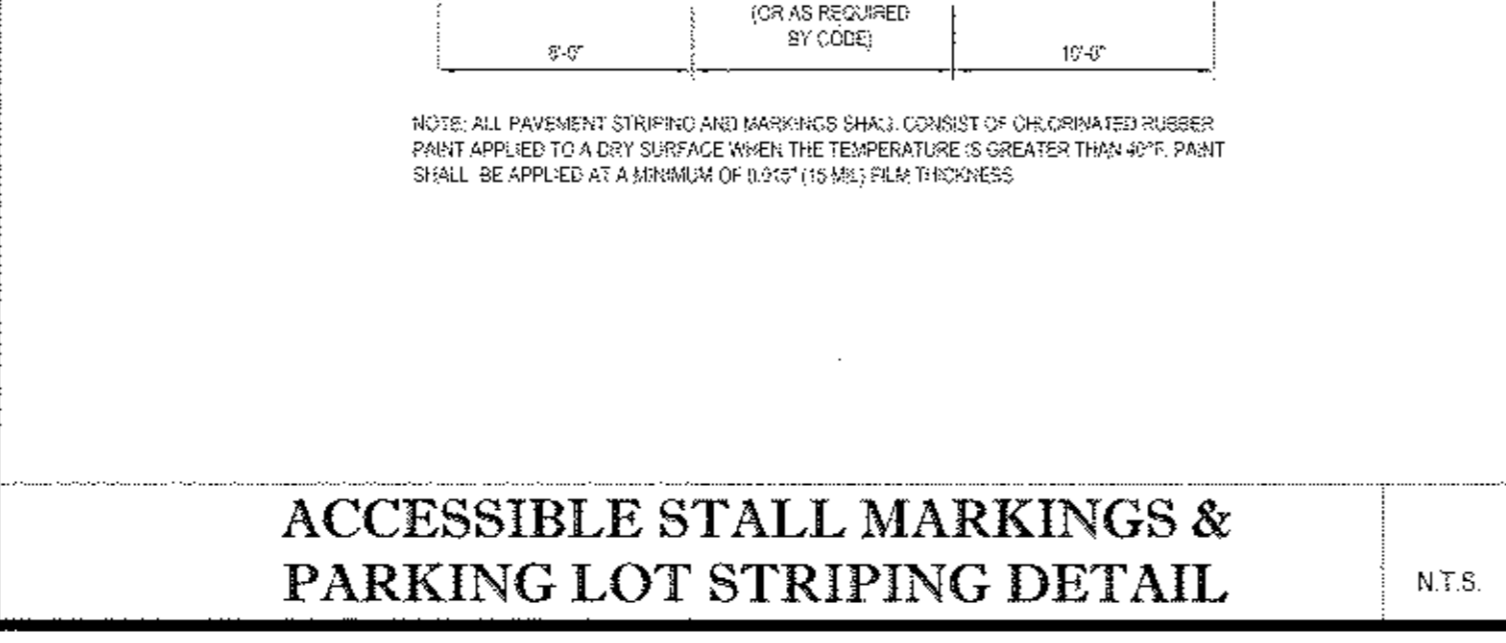
ACCESSIBLE PARKING STALL PAINTING DETAIL N.T.S.



TYPICAL CURB AND SIDEWALK DETAIL N.T.S.



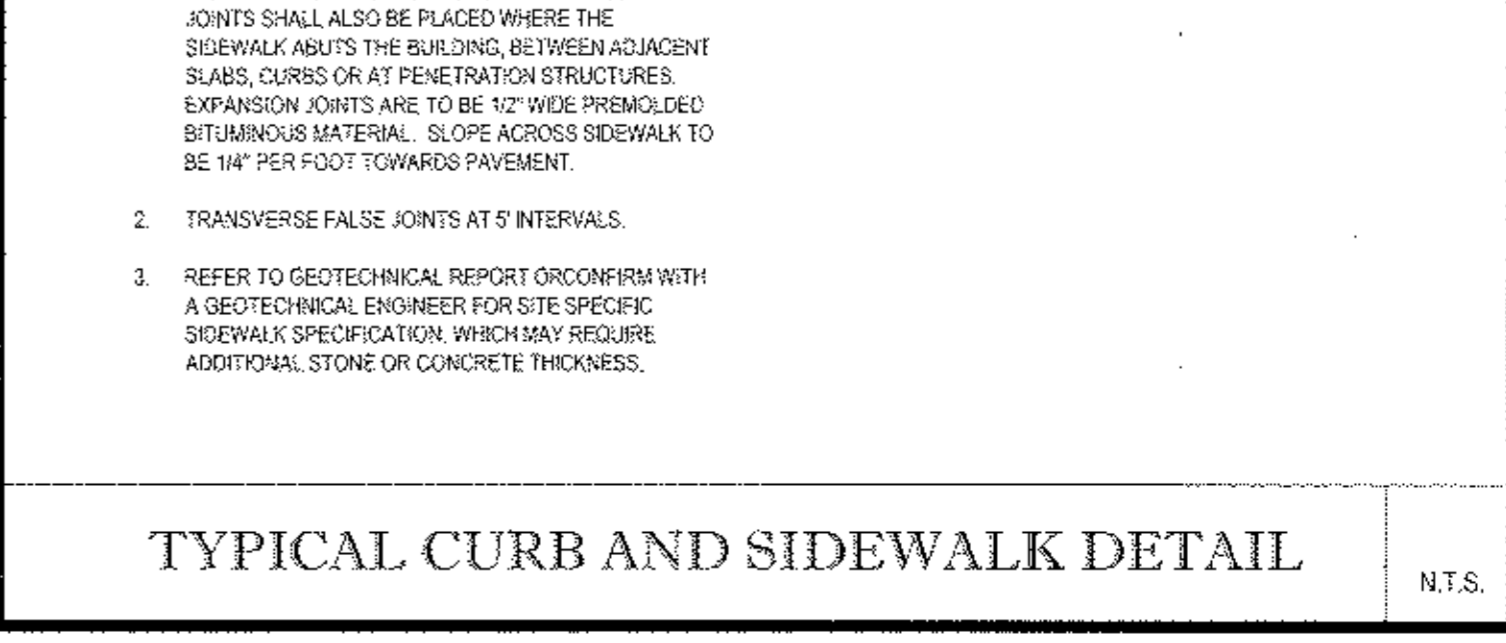
ROADWAY PATCHING DETAIL N.T.S.



ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL N.T.S.



ACCESSIBLE PARKING STALL PAINTING DETAIL N.T.S.



TYPICAL CURB AND SIDEWALK DETAIL N.T.S.

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REVISIONS				
REV	DATE	COMMENT	BY	
1	03/09/15	FRONT YARD SETBACK	TCF	
2	05/28/15	PER TOWN COMMENTS	TCF	
3	07/09/15	PHASING PLANS	TCF	
4	08/27/15	OFFICE FINAL DESIGN	TCF	
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PRELIMINARY

PROJECT No.: B140167
 DRAWN BY: TCF
 CHECKED BY: RWC
 DATE: 01/27/2015
 SCALE: AS NOTED
 CAD LID: B140167SS15

PROJECT: **SITE DEVELOPMENT PLANS**
 -FOR-
RHINEBECK REALTY, LLC
 LOCATION OF SITE
 1413 UNION AVENUE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING
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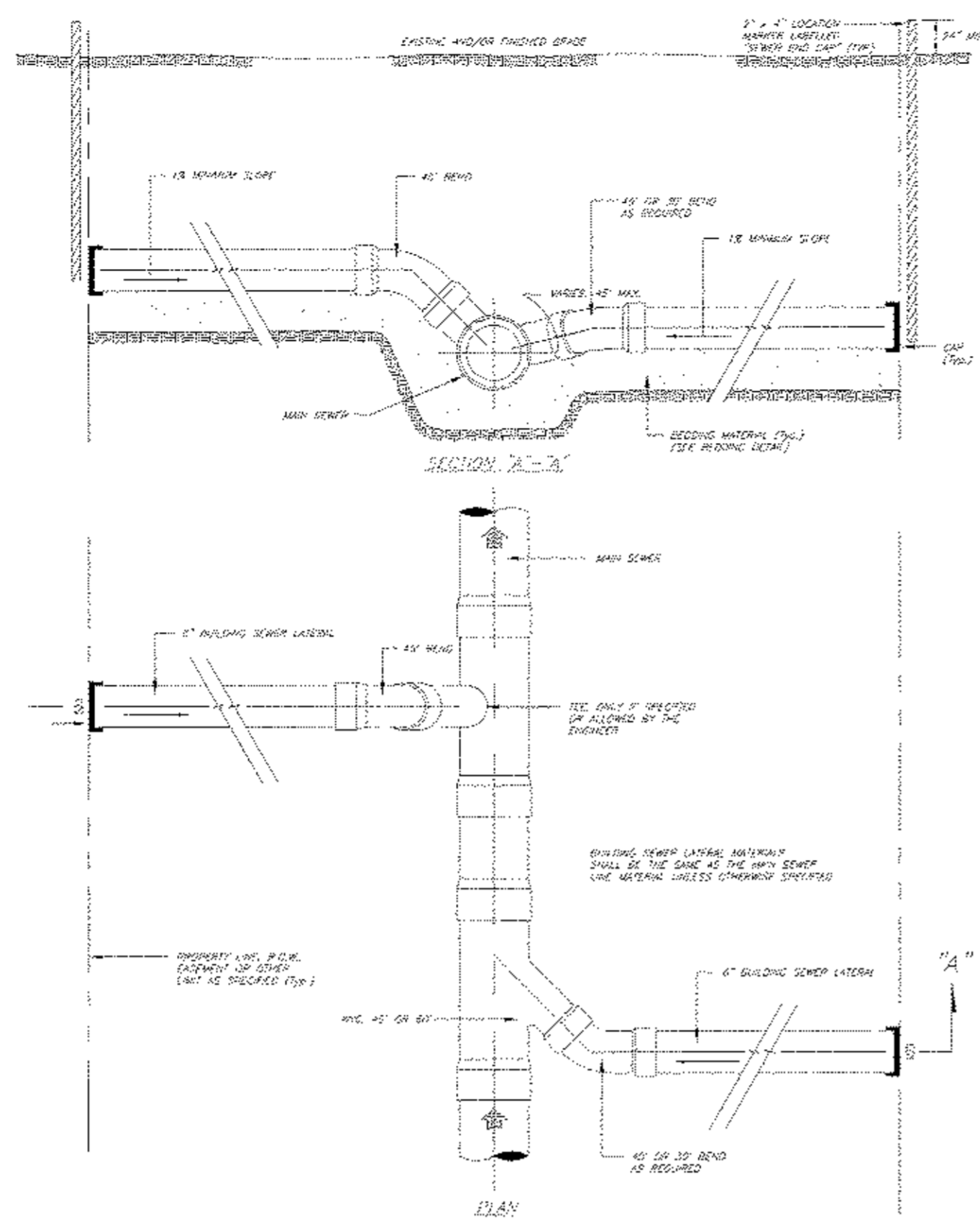
SHEET TITLE:
CONSTRUCTION DETAIL SHEET
 SHEET NUMBER:
13
 OF 15
 REV 4

SANITARY SEWER SYSTEM NOTES

- DESIGN, CONSTRUCTION, MATERIAL STANDARDS, MINIMUM SEPARATION DISTANCES, AND PROTECTION REQUIREMENTS SHALL COMPLY WITH:
 - TOWN OF NEWBURGH SEWER DEPARTMENT
 - NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REQUIREMENTS
 - APPROVED PLANS
 - APPROVED ENGINEERING REQUIREMENTS
 - TOWN OF NEWBURGH
- A LICENSED PROFESSIONAL ENGINEER SHALL SUPERVISE CONSTRUCTION IN ACCORDANCE WITH THE APPROVED PLAN.
- ALL PROPOSED SANITARY SEWER SYSTEM COMPONENTS SHALL CONFORM TO THE TOWN OF NEWBURGH SEWER DEPARTMENT SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WORK. THE LAYOUT SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR ALL PROPOSED IMPROVEMENTS TO THE ENGINEER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE PROPOSED WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
- SEWER MAIN AND WATER MAIN SEPARATION, WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY DISTANT FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PREVENT 18" BETWEEN TOP OF SEWER AND INVERT OF WATER MAIN AT UTILITY CROSSINGS.
- MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE TOWN OF NEWBURGH REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION.
- ALL EXCAVATIONS SHALL BE KEPT DRY AND DEWATERED AT ALL TIMES DURING CONSTRUCTION.
- ALL EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR UNLESS OTHERWISE NOTED ON THE PLANS AND/OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL FERTILIZE, SEED AND MULCH ALL DISTURBED VEGETATED AREAS UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- SEWER SERVICE TO BE PROVIDED BY TOWN OF NEWBURGH SEWER DEPARTMENT. ALL INSTALLATION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER MAINS AND SERVICES CONNECTIONS SHALL CONFORM TO TOWN OF NEWBURGH SEWER DEPARTMENT STANDARD DETAILS AND REQUIREMENTS.
- TOWN OF NEWBURGH SEWER DEPARTMENT SUPERINTENDENT SHALL BE NOTIFIED OF COMMENCEMENT OF CONSTRUCTION FOR THE PURPOSES OF INSPECTION. CONTINUOUS LOCAL OR DISTANT NON PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT PRIOR TO CONSTRUCTION OF ANY PROPOSED SANITARY SEWERS.

TOWN SEWER SYSTEM NOTES

- Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.
- All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.
- All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D3034-B9. Joints shall be push-on with elastomeric ring gaskets conforming to ASTM D3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and gasket configuration compatible with the pipe.
- The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.
- The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.



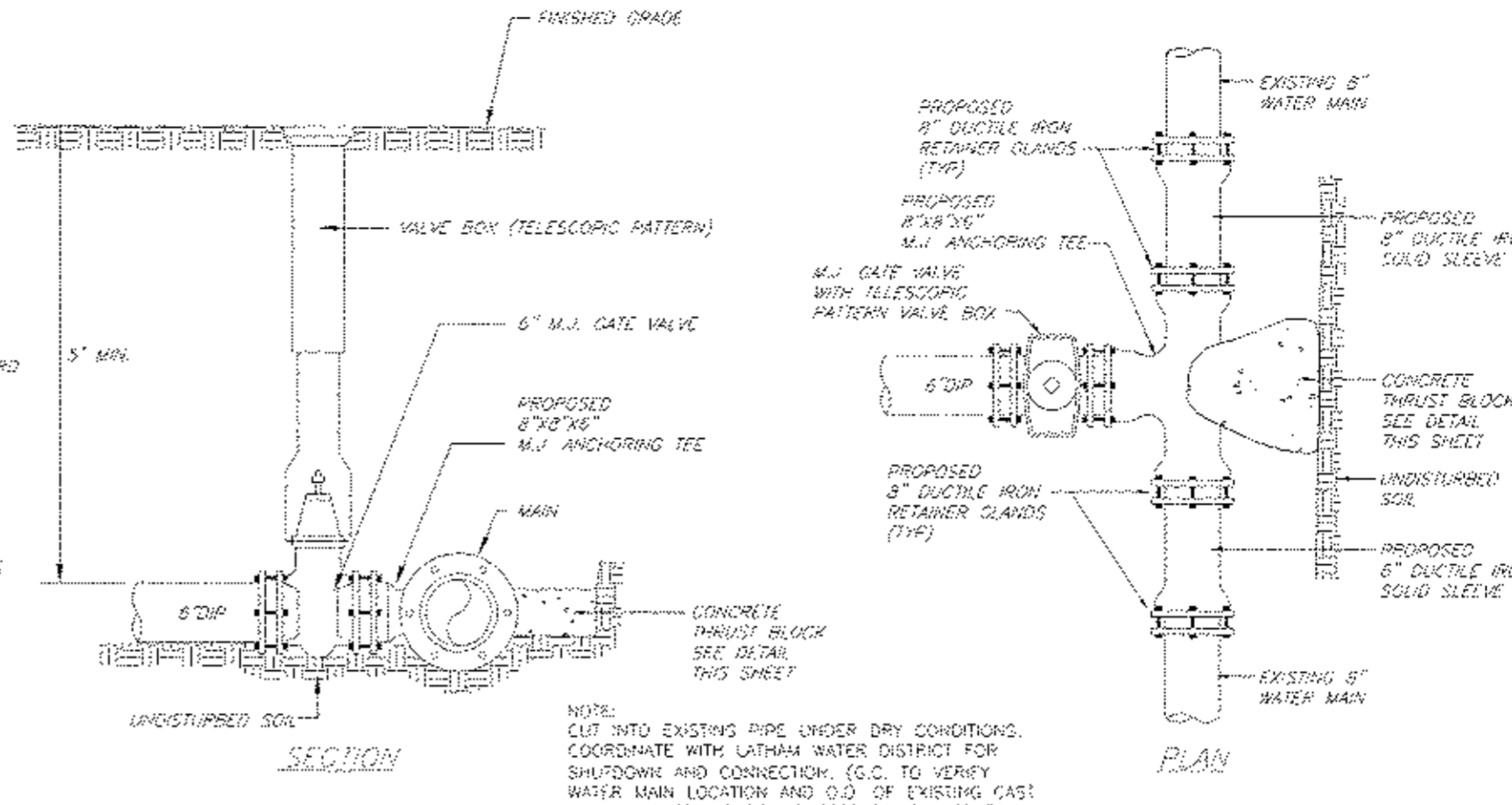
STANDARD SEWER SERVICE CONNECTIONS
N.T.S.

WATER SUPPLY SYSTEM NOTES

- WATER SUPPLY SYSTEM COMPONENTS SHALL NOT BE PLACED IN OPERATION UNTIL AN "APPROVAL TO OPERATE" HAS BEEN ISSUED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THERE SHALL BE NO CHANGES ON THESE PLANS IN ADVANCE OF OR DURING CONSTRUCTION WITHOUT PROPER APPROVAL OF THE DESIGN ENGINEER AND THE NEW YORK STATE DEPARTMENT OF HEALTH.
- WATER SUPPLY SYSTEM SHALL CONFORM TO THE FOLLOWING:
 - RECOMMENDED STANDARDS FOR WATER WORKS ADOPTED BY THE GREAT LAKES-UPPER MISSISSIPPI RIVER BOARD OF STATE SANITARY ENGINEERS (NEW YORK STATE DEPARTMENT OF HEALTH BULLETIN NO. 42).
 - RECOMMENDED WATER SYSTEM DESIGN STANDARDS OF THE INSURANCE SERVICES OFFICE OF NEW YORK.
 - NEW YORK STATE DEPARTMENT OF HEALTH REGULATIONS.
 - LOCAL WATER SUPPLY.
 - RESTANDARD STANDARDS FOR WATER WORKS.
- A LICENSED PROFESSIONAL ENGINEER SHALL SUPERVISE CONSTRUCTION IN ACCORDANCE WITH THE APPROVED PLAN AND SUPPLEMENTAL DATA. HE SHALL THEN CERTIFY THE CONSTRUCTION, IN WRITING, AND FURNISH "AS BUILT" PLANS.
- WATER LINES, HYDRANTS AND SERVICES SHALL BE INSTALLED, TESTED AND ACCEPTED IN ACCORDANCE WITH "LATHAM WATER DISTRICT'S STANDARD SPECIFICATIONS FOR WATER DISTRIBUTION SYSTEMS."
- ALL PROPOSED WATER MAINS AND SERVICES CONSTRUCTION SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF HEALTH REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WORK. THE LAYOUT SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR ALL PROPOSED IMPROVEMENTS TO THE ENGINEER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE PROPOSED WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL RESTORE PAVEMENT, LAWNS, DRIVEWAYS, CURBS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE TOWN OF NEWBURGH REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION.
- ALL EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR UNLESS OTHERWISE NOTED ON THE PLANS AND/OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL FERTILIZE, SEED AND MULCH ALL DISTURBED VEGETATED AREAS UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- SEWER MAIN AND WATER MAIN SEPARATION, WHERE POSSIBLE, WATER MAINS SHALL BE INSTALLED AT LEAST 10' HORIZONTALLY DISTANT FROM ANY EXISTING OR PROPOSED SANITARY SEWER. WATER MAINS CROSSING SANITARY SEWERS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18". THIS SHALL APPLY WHETHER THE WATER MAIN CROSSING ABOVE OR BELOW THE SANITARY SEWER. FOR ALL CROSSINGS OVER THE LENGTH OF WATER MAIN PIPE SHALL BE LOCATED SO THAT EACH JOINT IS AS FAR AWAY AS POSSIBLE FROM THE SANITARY SEWER WHERE NOT POSSIBLE, SEE SEWER MAIN AND WATER MAIN SEPARATION DETAILS. THIS SHEET.
- UNLESS ALL PROPOSED WATER MAINS AND SERVICE LATERALS HAVE BEEN PROPERLY INSTALLED TO THE SATISFACTION OF THE TOWN OF NEWBURGH AND THE ENGINEER, THEY SHALL BE CLEARED HYDROSTATICALLY TESTED AND DISCONNECTED BY THE CONTRACTOR TO THE TOWN OF NEWBURGH AND THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER THE LOCATION OF ALL INSTALLED IMPROVEMENTS THAT HE HAS COMPLETED, SO THAT THE ENGINEER MAY FURNISH RECORD MAPS TO THE TOWN OF NEWBURGH.

TOWN OF NEWBURGH WATER SYSTEM NOTES FOR SITE PLANS

- Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDEC and the Town of Newburgh.
- All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI/AWWA C151/A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
- Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be FEMA from Megatec Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
- All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI/AWWA C110/A21.10 for Ductile and Gray Iron Fittings or ANSI/AWWA C153/A21.53 for Ductile Iron Compact Fittings, latest revision.
- All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
- Tapping sleeves shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI/AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.
- All hydrants shall be Clew-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5/8 inch main valve opening, two 2 1/2 inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 1/2 inch porting operating nut. All hydrants shall open left (counterclockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
- All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for 1/2 and 3/4 inch, Mueller H-15030N for 1 inch and 1 1/2 inch sizes. Curb valves shall be Mueller H-15014N for 1/2 and 3/4 inch and Mueller H-15010N for 1 inch and 1 1/2 inch sizes.
- All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
- The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service, satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
- The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.



WATER SERVICE CONNECTION DETAIL
N.T.S.

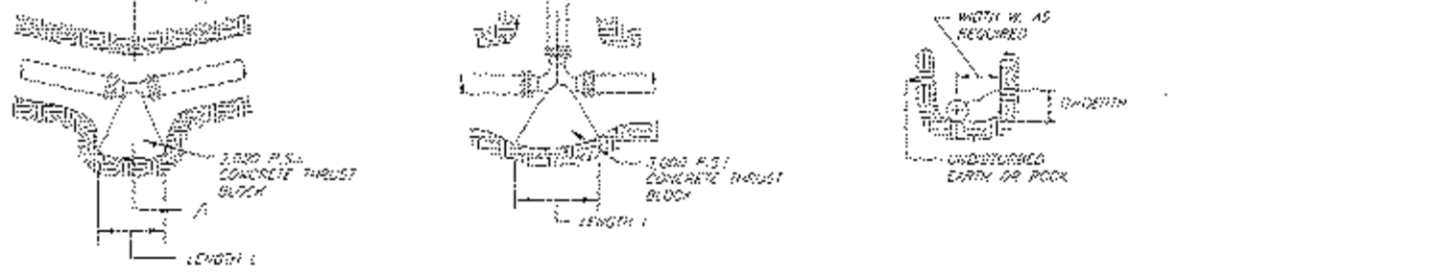
TABLE 1
LIVE SERVICE LINES OF 2" & 4" DIAMETER FACTORS FOR VERTICAL THRUST BLOCK AREA

PIPE SIZE	PIPE WEIGHT (LBS/FT)	DEPTH
2" DUCTILE IRON	2.00	2.00
4" DUCTILE IRON	4.00	4.00
6" DUCTILE IRON	6.00	6.00
8" DUCTILE IRON	8.00	8.00

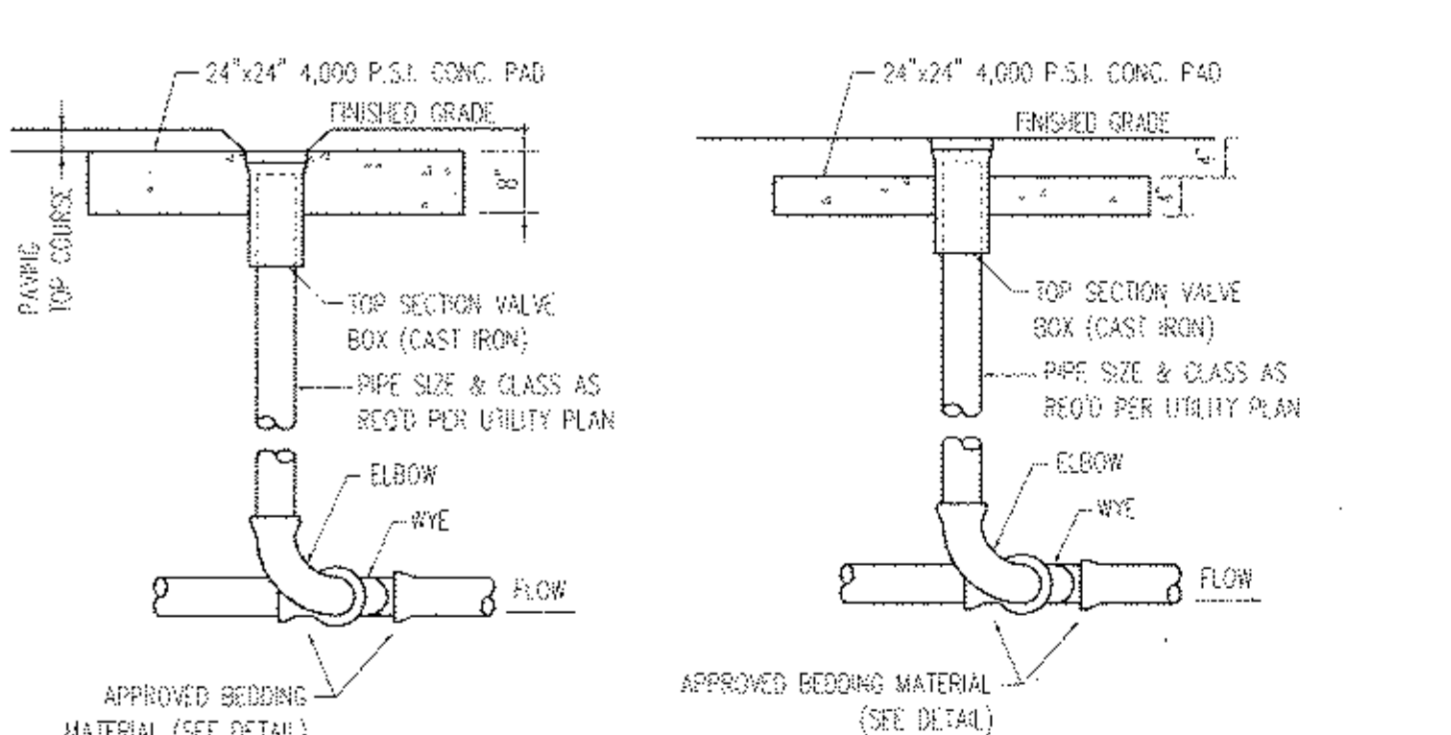
- NOTES:
- FOR REQUIRED BEDDING AREA AND DIMENSIONS SEE TABLE 2. VALUES OF DALL OTHER THAN THOSE SHOWN IN THE TABLE MAY BE USED PROVIDED THEY YIELD A BEDDING AREA EQUAL TO OR GREATER THAN THAT REQUIRED.
 - CONCRETE NOT TO OVERLAP ANY JOINT.
 - CONCRETE TO BE PLACED 20' AS NOT TO INTERFERE WITH BEDDING OF INSTALLED PIPE OF THE JOINTING HOUSING.
 - VALUES FOR LIVE AREA APPLY TO THE PIPES, CAPS, AND TAPPING SLEEVES.
 - BEDDING BEARING AREA SHALL BE DUE TO IMPACTS CAUSED BY 50 P.S.I. AIRING PRESSURE TEST (SEE TABLE 2) SHALL ALLOWANCE REDUCING IN 25 P.S.I. TOTAL INTERNAL PRESSURE, REGARDING THE DIMENSION USED.
 - REQUIRED BEDDING AREA SHALL BE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2,000 LB/SQ FT. BEDDING SHALL BE PLACED TO THE FULL DEPTH OF THE BEDDING HOUSING. BEDDING SHALL BE TESTED BY THE ENGINEER BY MAINTAINING THE AREA SHOWN IN TABLE 1 FOR THE APPROVED PERIOD AND USE AND BY THE TESTS DESCRIBED HEREIN.
 - IN ALL CASES, BEDDING SHALL BE PLACED TO FULL DEPTH AND SHALL BE TESTED BY THE ENGINEER BY MAINTAINING THE AREA SHOWN IN TABLE 1 FOR THE APPROVED PERIOD AND USE AND BY THE TESTS DESCRIBED HEREIN.

TABLE 2
MINIMUM REQUIRED BEDDING AREA & DIMENSIONS FOR CONCRETE THRUST BLOCKS

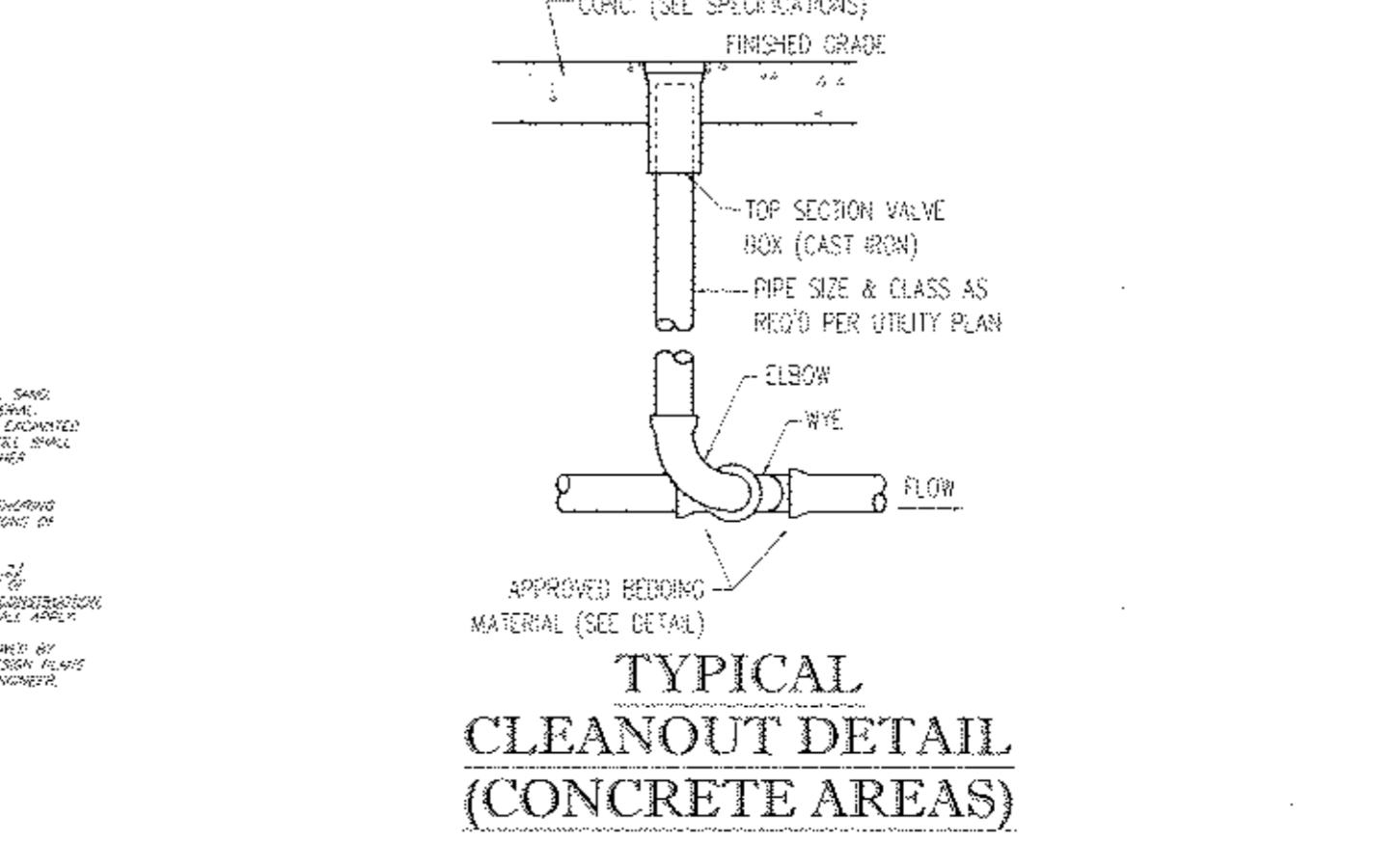
PIPE SIZE	MINIMUM BEDDING AREA (SQ FT)	MINIMUM BEDDING DEPTH (IN)	MINIMUM BEDDING WIDTH (IN)	MINIMUM BEDDING LENGTH (IN)	MINIMUM BEDDING THICKNESS (IN)
2"	1.00	2.00	12.00	12.00	4.00
4"	4.00	4.00	12.00	12.00	4.00
6"	6.00	6.00	12.00	12.00	4.00
8"	8.00	8.00	12.00	12.00	4.00



TYPICAL CONCRETE THRUST BLOCK DETAILS
N.T.S.

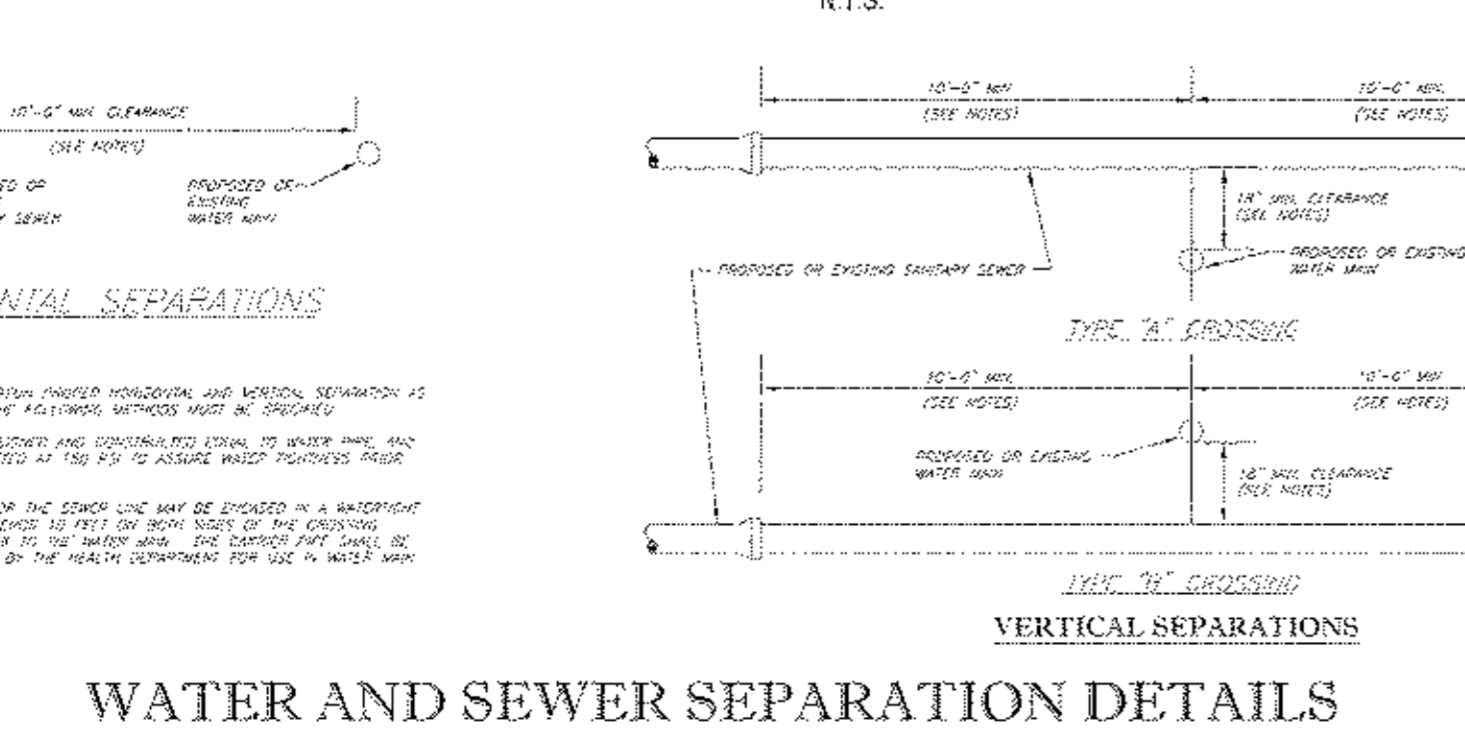


TYPICAL CLEANOUT DETAIL (PAVED AREAS)
N.T.S.

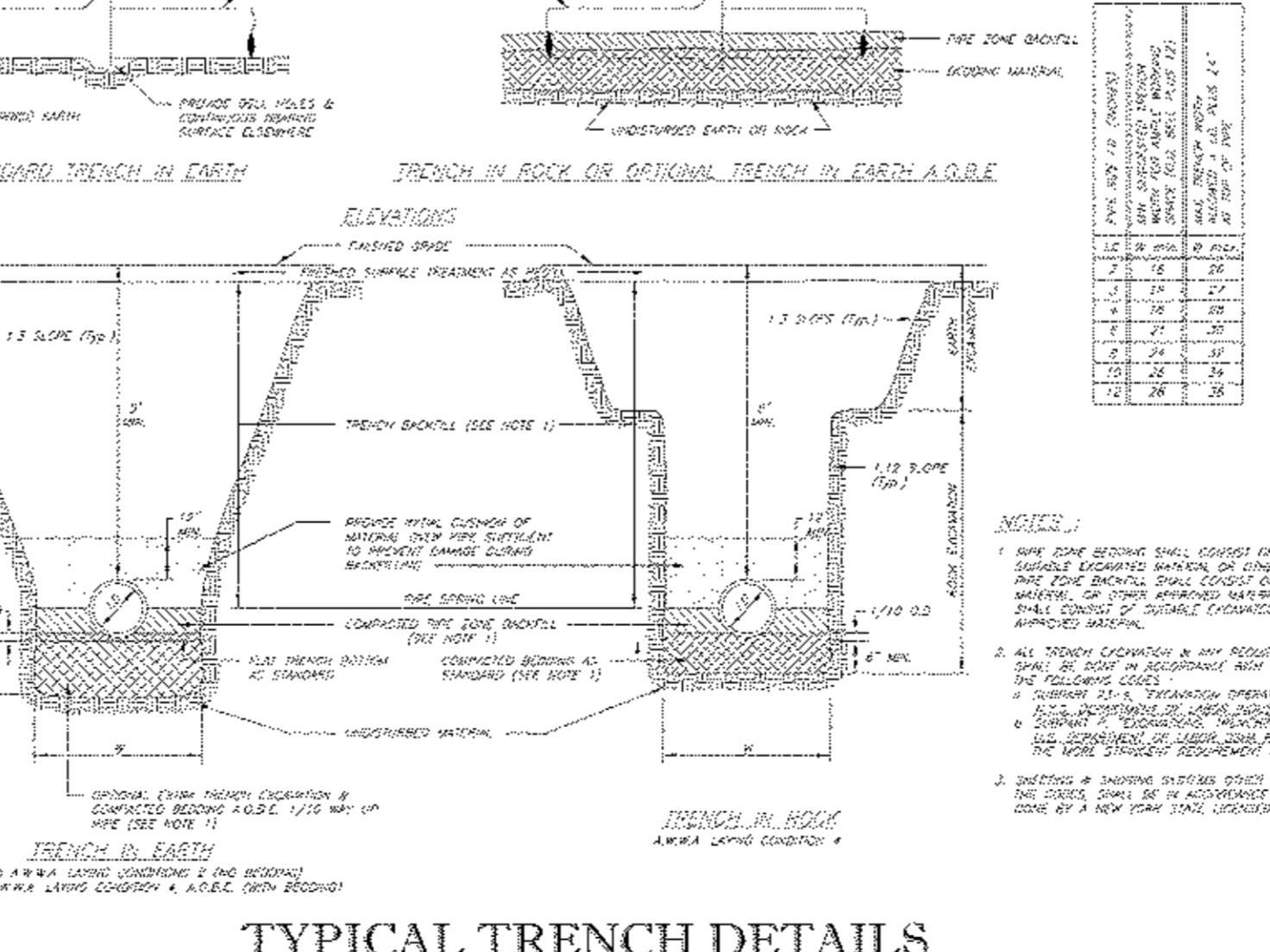


TYPICAL CLEANOUT DETAIL (CONCRETE AREAS)
N.T.S.

CONCRETE GREASE TRAP (2,000 GAL.)



CONCRETE GREASE TRAP (2,000 GAL.)
N.T.S.



TYPICAL TRENCH DETAILS
N.T.S.

BOHLER ENGINEERING

CONSULTING ENGINEERS
CORPORATE OFFICE:
• WARREN, NJ
• NEWBURGH, NY
• BOULDER, CO
• CHARLOTTE, NC
• CHICAGO, IL
• HOUSTON, TX
• LOS ANGELES, CA
• MEMPHIS, TN
• MIAMI, FL
• MINNEAPOLIS, MN
• PHOENIX, AZ
• PORTLAND, OR
• RICHMOND, VA
• TAMPA, FL
• WASHINGTON, DC

PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV.	DATE	COMMENT	BY
1	03/08/15	FRONT YARD SETBACK	TCF
2	06/26/15	PER TOWN COMMENTS	TCF
3	07/28/15	PHASING PLANS	TCF
4	08/27/15	OFFICE HILL DESIGN	TCF
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

PRELIMINARY

PROJECT NO: B140197
DRAWN BY: TCF
CHECKED BY: RWO
DATE: 01/27/2015
SCALE: AS NOTED
CAD ID: B140197S15

SITE DEVELOPMENT PLANS
FOR
RHINEBECK REALTY, LLC

LOCATION OF SITE
1413 UNION AVENUE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

BOHLER ENGINEERING

17 COMPUTER DRIVE WEST
ALBANY, NY 12205
Phone: (518) 438-5900
(518) 438-0900
www.BohlerEngineering.com

R.W. OSTERHOUDT

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 37650

SHEET TITLE:
CONSTRUCTION DETAIL SHEET

SHEET NUMBER:
15
OF 15

REV 4

LEGEND:

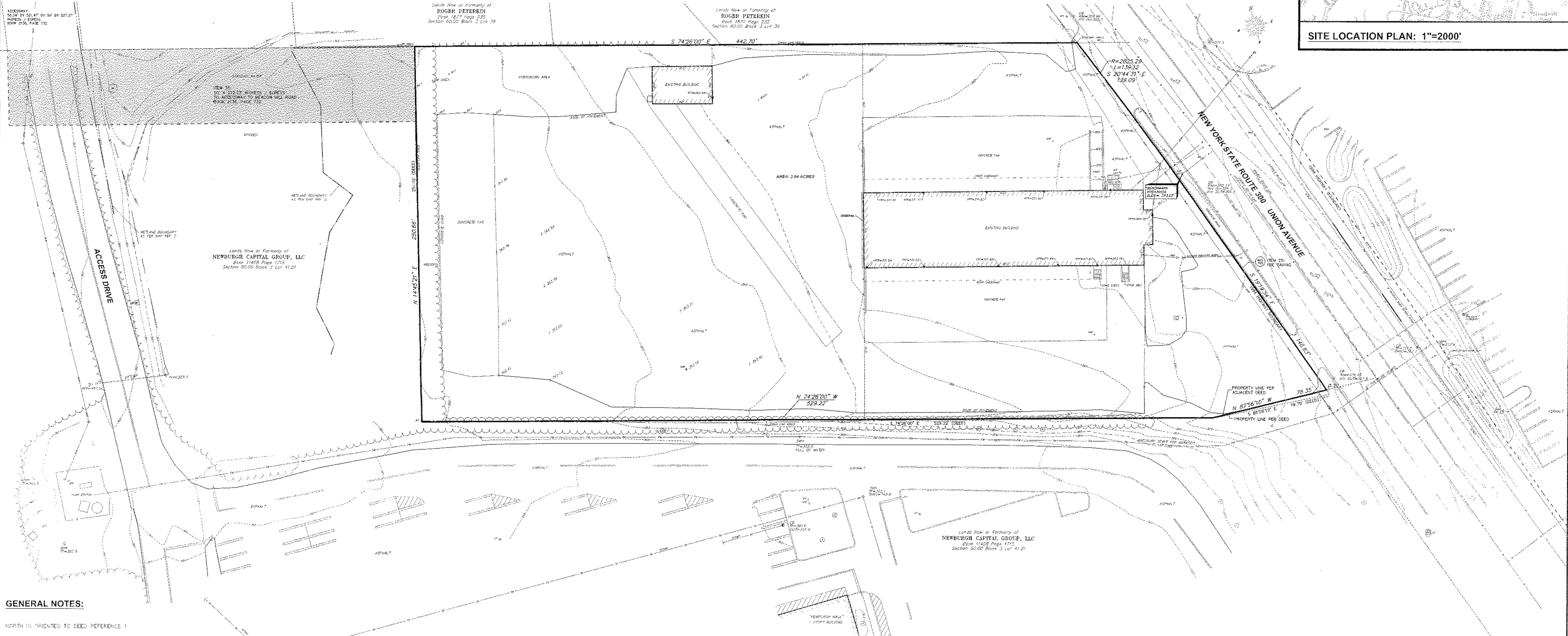
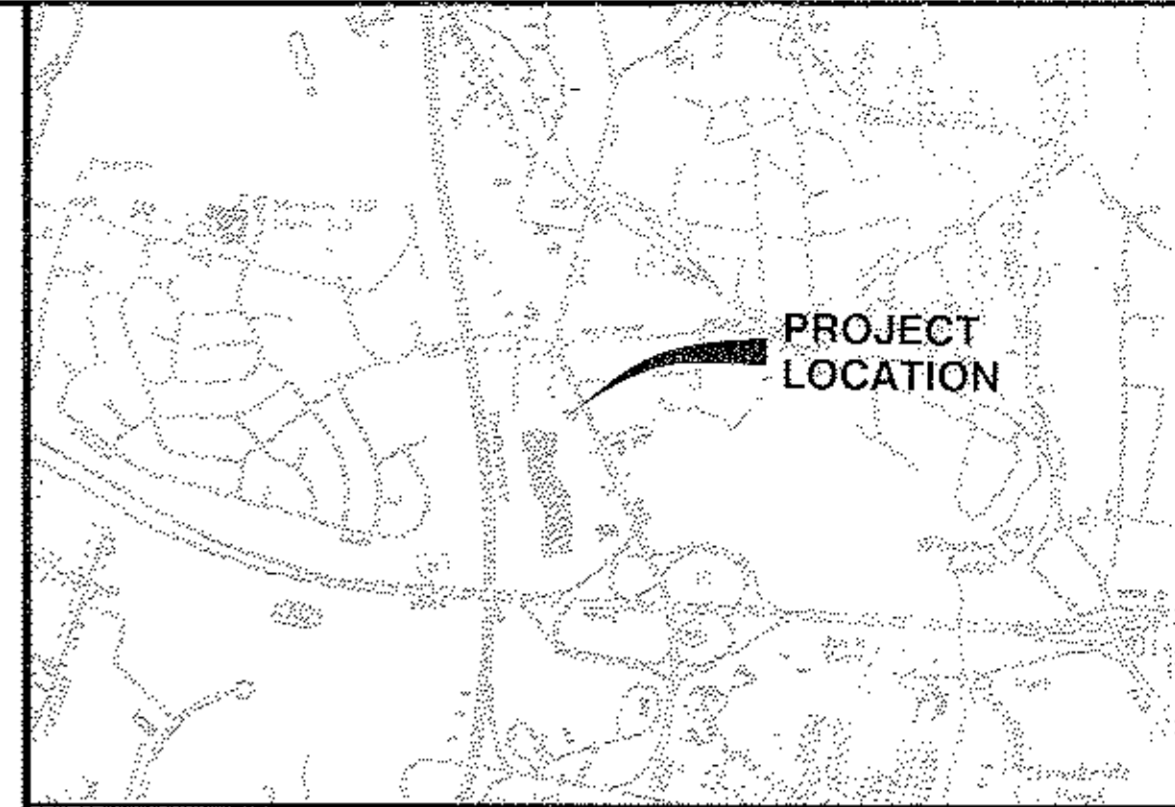
- CATCH BASIN
- HYDRANT
- LIGHT POLE
- SANITARY MANHOLE
- STORM MANHOLE
- ELECTRIC MANHOLE
- WATER VALVE
- TELEPHONE FEDESTAL UTILITY POLE
- GAS LINE
- WATER LINE
- TELEPHONE LINE

LEGAL DESCRIPTION:

ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED ALONG THE WESTERLY LINE OF NEW YORK STATE ROUTE 300, ALSO KNOWN AS UNION AVENUE, SAID POINT BEING THE INTERSECTION FORMED BY THE AFORESAID WESTERLY LINE OF UNION AVENUE WITH THE DIVISION LINE BETWEEN THE LANDS NOW OR FORMERLY OF NEWBURGH CAPITAL GROUP, LLC (BOOK 11408, PAGE 1715) ON THE SOUTH AND THE LANDS NOW OR FORMERLY OF JR & RAY LLC (BOOK 13067, PAGE 507) ON THE NORTH, THENCE IN A WESTERLY AND NORTHERLY DIRECTION AND ALONG THE AFORESAID DIVISION LINE, THE FOLLOWING THREE COURSES: 1) NORTH 87°56'10" WEST, 78.35 FEET TO A POINT, 2) NORTH 74°26'00" WEST, 529.22 FEET TO A POINT AND 3) NORTH 14°45'21" EAST, 250.00 FEET TO A POINT, THENCE IN AN EASTERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ROGER PETERKIN (BOOK 1877, PAGE 935) SOUTH 74°26'00" EAST, 442.70 FEET TO A POINT, THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORESAID WESTERLY LINE OF UNION AVENUE, THE FOLLOWING TWO COURSES: 1) ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,859.25 FEET, AN ARC LENGTH OF 139.12 FEET AND BEARING A CHORD OF SOUTH 20°44'31" EAST, 139.00 FEET TO A POINT AND 2) SOUTH 10°19'54" EAST, 146.63 FEET TO THE POINT OR PLACE OF BEGINNING.

CONTAINING IN ALL 3.04 ACRES OF LAND BEING MORE OR LESS



GENERAL NOTES:

NORTH IS ORIENTED TO DEED REFERENCE 1

VERTICAL DATUM IS NAVD83, ESTABLISHED FROM GPS OBSERVATIONS AT THE TIME OF SURVEY

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS, ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SITE AND LOCATION OF ALL UNDERGROUNDS UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

TAX PARCEL NUMBER:

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK
 SEC. 60.00 - BLK. J - PARCEL 40.2

MAP REFERENCES:

- "BOUNDARY & TOPOGRAPHIC SURVEY SECTION 60, BLOCK J, LOTS 40 & 41.72," PREPARED BY LANGAN, DATED FEBRUARY 1, 2012 PROVIDED BY THE CLIENT.
- ROUTE 300 CENTER ACCESS ROAD CONCEPTUAL LAYOUT, 1413 ROUTE 300, DATED 7-19-2012 PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES.

DEED REFERENCES:

- JR & RAY LLC TO JR & RAY LLC, DATED SEPTEMBER 25, 2010 AND RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE IN DEED BOOK 13067 AT PAGE 507.
- JOHN J. LEASE JR., ELIZABETH L. LEASE, RICHARD F. LEASE AND RAPHAEL J. LEASE TO THE FAIRFIELD MALL LIMITED PARTNERSHIP, DATED JULY 6, 1979 AND RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE IN DEED BOOK 2136 AT PAGE 732.

FLOOD ZONE NOTE:

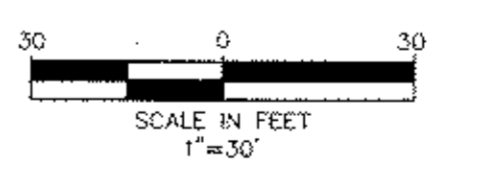
PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X", APPEARS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO.3007100139E, PANEL 139 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

EASEMENT NOTES:

BASED UPON REVIEW OF STEWART TITLE INSURANCE COMPANY, TITLE POLICY NO. SA-113315-ORS, EFFECTIVE DATE OF JUNE 20, 2014 SCHEDULE B:

ITEM NO. 25: NOTICE OF APPROPRIATION LIBER 2395, PAGE 3, DOES NOT AFFECT THE PROPERTY. THE APPROPRIATION LIES SOUTH OF THE PROPERTY. NOTICE OF APPROPRIATION LIBER 2460, PAGE 15 IS SHOWN HEREON. THE TEMPORARY EASEMENT ATTACHED TO THIS IS ASSUMED TERMINATED.

ITEM 36: 80 FOOT RIGHT OF WAY IN LIBER 2116, PAGE 732 IS SHOWN HEREON AND IS IN BENEFIT OF THIS PROPERTY.



CERTIFICATION:

THIS IS TO CERTIFY TO MAVIS TIRE SUPPLY, LLC AND STEWART TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED ON JUNE 14, 2014.

DRAWN: *V. P. Ausfeld* DATE: JUNE 12, 2014
 N.Y.S. REGISTRATION NO. 049087

1413 UNION AVENUE		
ALTA/ACSM LAND TITLE SURVEY OF THE LANDS TO BE CONVEYED TO MAVIS TIRE SUPPLY, LLC		
TOWN OF NEWBURGH	ORANGE COUNTY, N.Y.	
SCALE: 1"=30'	JUNE 20, 2014	
DRAWN BY: KDW	PROJECT NO: 14-1242	
Ausfeld & Waldruff Land Surveyors LLP 514 State Street, Schenectady, N.Y. 12305 Phone: (518) 346-1595 Fax: 518-770-1655		VINCENT P. AUSFELD, P.L.S. LICENSE #49582 www.awlslp.com