



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)
MARK J. EDSALL, P.E. (NY, NJ & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS

PROJECT: POND VIEW 2 LOT SUBDIVISION
PROJECT NO.: 14-19
PROJECT LOCATION: SECTION 10, BLOCK 1, LOT 50
PROJECT REPRESENTATIVE: HUDSON LAND DESIGN
REVIEW DATE: 18 AUGUST 2014
MEETING DATE: 21 AUGUST 2014

1. Map references provided identify that two foot topo information was taken from an Orange County database. This information is utilized to provide driveway cross sections at the culvert crossing. Detailed survey information in the area of the culvert crossing is required in order to identify required grading as well as wetland impacts. It appears that grading will be required across the proposed property lines and may impact adjacent stone wall along common property line to the north. Sizing information for this proposed culvert should also be provided. Culvert should be at least as large as next up gradient culvert to prevent potential ponding of the water shed above proposed driveway crossing.
2. NYSDOT approval for driveway locations will be required. DOT will most likely require common driveway at proposed location. Driveways are located in close proximity to each other.
3. A driveway section detail is identified requiring geotextile fabric within the driveway section, as well as a four inch pavement section. It is unclear if this is for a certain portion of the driveway or if all driveways will receive this treatment.
4. Dose volume for pump system must be specified for Lot 1.
5. A note identifies that a generator is required to be provided for Lot 1 as storage capacity within pump chamber is not identified.
6. Notes are required on the plans stating that an as built plan and certification from licensed design professional is required to be submitted to Building Department prior to issuance of a c.o.

REGIONAL OFFICE

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •

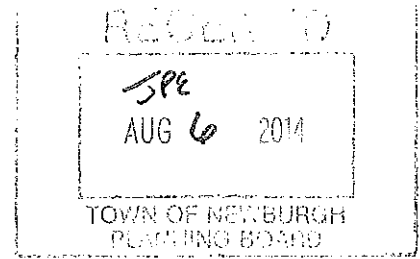
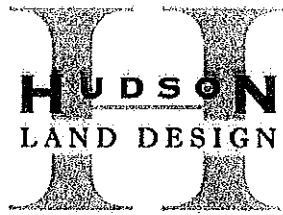
7. Revised note identifying that 30% of the culvert will be buried or four inches of the culvert.
8. Survey locations of deep and percolation tests are required. A note on the plans identifies that test locations are shown as approximate.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Associate

FILE COPY



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

August 1, 2014

Chairman Ewasutyn & Planning Board Members
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: Pond View Minor 2 Lot Subdivision
921-965 State Route 32
Tax ID: 10-1-50 (±10.21 acre)

Dear Chairman Ewasutyn & Planning Board Members:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has prepared a subdivision application package in accordance with Town requirements. The ±10.21-acre vacant parcel is located at 921-965 State Route 32 in the Town of Newburgh, and is identified as Tax ID 10-1-50. The property has frontage on Route 32, and is located within the Town's RR Zoning District. Sewage disposal in the area is by means of individual subsurface sewage disposal systems, and water will be supplied via new drilled wells. The Applicant, Gerald Casesa, who is acting on behalf of the Owner of the parcel, is seeking to subdivide the property into two building lots; both of which would provide for the construction of one new single-family home with driveway access to Route 32 (a State Road). HLD has included the following for your review:

- Four (4) copies of a completed application package, including all required proxy, disclosures and statements;
- Twelve (12) copies of the Subdivision Plan Set (3 sheets per set);
- Twelve (12) copies of the short Environmental Assessment Form (SEAF); and
- Application fee in the amount of \$750

Chairman Ewasutyn & Planning Board Members
August 1, 2014
Page 2 of 2

We respectfully request to be placed on your next available agenda to discuss the details of the project with you and to request that a public hearing be scheduled for the proposed action.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Mr. Bodendorf". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Michael A. Bodendorf, P.E.
Principal

cc: Solo Group, LLC (w/attachments)
HV Realty Services (w/ attachments)
Daniel G. Koehler, P.E. (HLD File)

From: Michael A. Bodendorf, P.E. [<mailto:mbodendorf@hudsonlanddesign.com>]
Sent: Friday, July 18, 2014 5:25 PM
To: planningboard@townofnewburgh.org
Cc: jerry@hvrsinc.com
Subject: FW: Proposed 2 Lot Subdivision - Route 32 , Town of Newburgh (Pre-submission)

Chairman Ewasutyn,

Please find the attached draft plans for a proposed new project in the Town of Newburgh. The proposal is for a two-lot subdivision of a 10.21 – acre parcel located at 921-965 State Route 32. The vacant parcel is located on the west side of Route 32, approximately 1,500 feet north of East Road and is adjacent to Cherry Top Dairy Bar. Sofia Ct. is located on the opposite side of Route 32.

The proposed subdivision will consist of two new single-family homes with wells and septic systems, and we have conducted soil test on the site.

The Applicant's name is Jerry Casesa and he will be acting on behalf of the Owner for the project. With your permission, we respectfully request to make an official submission to the planning board.

We will be submitting a short EAF with the project along with an engineering report and applicable Application documents. They can be provided for your initial review at your request. Please let me know you if you should have any questions and/or comments, or require any additional information.

Thank you for your time in this matter.

Very truly yours,



Michael A. Bodendorf, P.E.

Hudson Land Design
Professional Engineering, P.C.
174 Main Street
Beacon, NY 12508
Phone: 845.440.6926
Fax: 845.440.6637

mbodendorf@HudsonLandDesign.com

www.HudsonLandDesign.com



Please consider the environment before printing this email and attachments

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2013.0.3485 / Virus Database: 3955/7894 - Release Date: 07/21/14

TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE

for

SUBDIVISIONS,

SITE PLANS,

LOT LINE CHANGES

And

SPECIAL EXCEPTION USE PERMITS

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

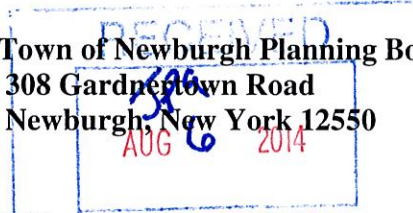
All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardner Town Road
Newburgh, New York 12550



DATE RECEIVED: TOWN OF NEWBURGH PLANNING BOARD TOWN FILE NO: 2014- 19
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Pond View Subdivision

2. Owner of Lands to be reviewed:
Name Solo Group LLC
Address PO Box 1000
Woodbury, NY 11797
Phone _____

3. Applicant Information (If different than owner):
Name HV Realty Services, Inc.
Address 219 Route 32, Suite 201C
Central Valley, NY 10917
Representative Gerald Casesa
Phone 845-928-5770
Fax 845-928-5771
Email jerry@hvrsinc.com

4. Subdivision/Site Plan prepared by:
Name Michael Bodendorf, P.E. c/o Hudson Land Design
Address 174 Main Street, Beacon, NY 12508
Phone/Fax 845-440-6926/845-440-6637

5. Location of lands to be reviewed:
921-965 Route 32, Newburgh, NY

6. Zone RR - Reservoir Fire District Plattekill
Acreage 10.21 ac. School District Walkill

7. Tax Map: Section 2 Block 1 Lot 50

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 2

Lot line change _____

Site plan review _____

Clearing and grading _____

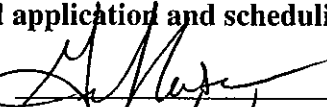
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Applicant

Date: 8/5/2014

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Pond View Subdivision

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)


II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. X Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. N/A Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. X Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. X Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: 
Licensed Professional

Date: 8/6/14

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

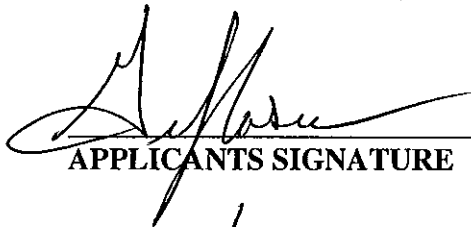
This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Gerald Casesa

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

8/5/2014

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Matthew Solof, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 1 Bayview Drive, Huntington, NY 11743

IN THE COUNTY OF Suffolk

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF 921-965 NYS Route 32
Newburgh, NY

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Gerald Casesa IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8-4-2014

Matthew Solof
OWNERS SIGNATURE

Matthew Solof
OWNERS NAME (printed)

Ruth A. Ronsini
WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

Ruth Ann Ronsini
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS


The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

8/5/2014
DATED

Gerald Casesa
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

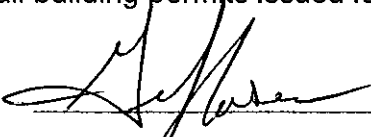
LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

Certificate and Acknowledgement

The undersigned applicant represents, warrants, covenants and agrees that it shall notify all successors, assigns, purchasers and transferees of applicant's interest in the subject property, or rights to develop the subject property, or membership interests in the applicant, of the deferral of the payment of the Recreation Fee in Lieu of Parkland and the delivery of the performance security for landscaping improvements and the conditions thereof and that it shall cause those conditions to be binding upon all such successors, assigns, purchasers and transferees.


The applicant agrees for itself and all successors, assigns, purchasers and transferees, that in the event of any failure to comply with any of terms and conditions of the deferral of payment of the Recreation Fee in Lieu of Parkland and the delivery of the performance security for landscaping improvements pursuant to the Town Board of the Town of Newburgh resolution dated July 15, 2009 by the applicant, its successors, assigns, purchasers or transferees, the Town of Newburgh, in addition to all other remedies, shall be entitled to (a) issue a stop work order for any and all work commenced on the Subject Property and (b) withhold or revoke any and all building permits issued for the Subject Property.



Gerald Casesa, Applicant

STATE OF NEW YORK :
 :ss.:
COUNTY OF ORANGE :

On the 5th day of August in the year
2014 before me personally came Gerald J. Casesa, to me
known, who, being by me duly sworn, did depose and say that he/she/they
reside(s) in Highland Mills (if the place of residence is in a city, include the
street and street number, if any, thereof); that he/she/they (is)(are) the president
or other officer or director or attorney in fact duly appointed) of the
HV Realty
Services, Inc. (name of corporation), the corporation described in and
which executed the above instrument; that he/she/they know(s) the seal of said
corporation; that the seal affixed to said instrument is such corporate seal; that it
was so affixed by authority of the board of directors of said corporation, and that
he/she/they signed his/her/their name(s) thereto by like authority



Notary Public

RUTH ANN RONSINI
Notary Public, State of New York
Qualified in Orange County
4937814
Commission Expires July 25, 2018

617.20
Appendix B
Short Environmental Assessment Form

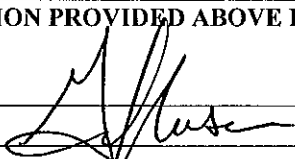


Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Pond View Subdivision			
Project Location (describe, and attach a location map): 921-965 State Route 32, Newburgh, NY			
Brief Description of Proposed Action: Proposed two-lot subdivision of a 10.21 acre parcel located at 921-965 State Route 32. Two new single family residences will be constructed with individual wells and septic systems.			
Name of Applicant or Sponsor: HV Realty Services, LLC (Gerald Casesa)		Telephone: (845) 928-5770	
		E-Mail: jerry@hvrinc.com	
Address: 219 Route 32, Suite 101			
City/PO: Central Valley		State: NY	Zip Code: 10917
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Newburgh Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		10.21 acres	
b. Total acreage to be physically disturbed?		1.59 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		10.21 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE/TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Gerald Casesa</u>	Date: <u>8/5/2014</u>	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

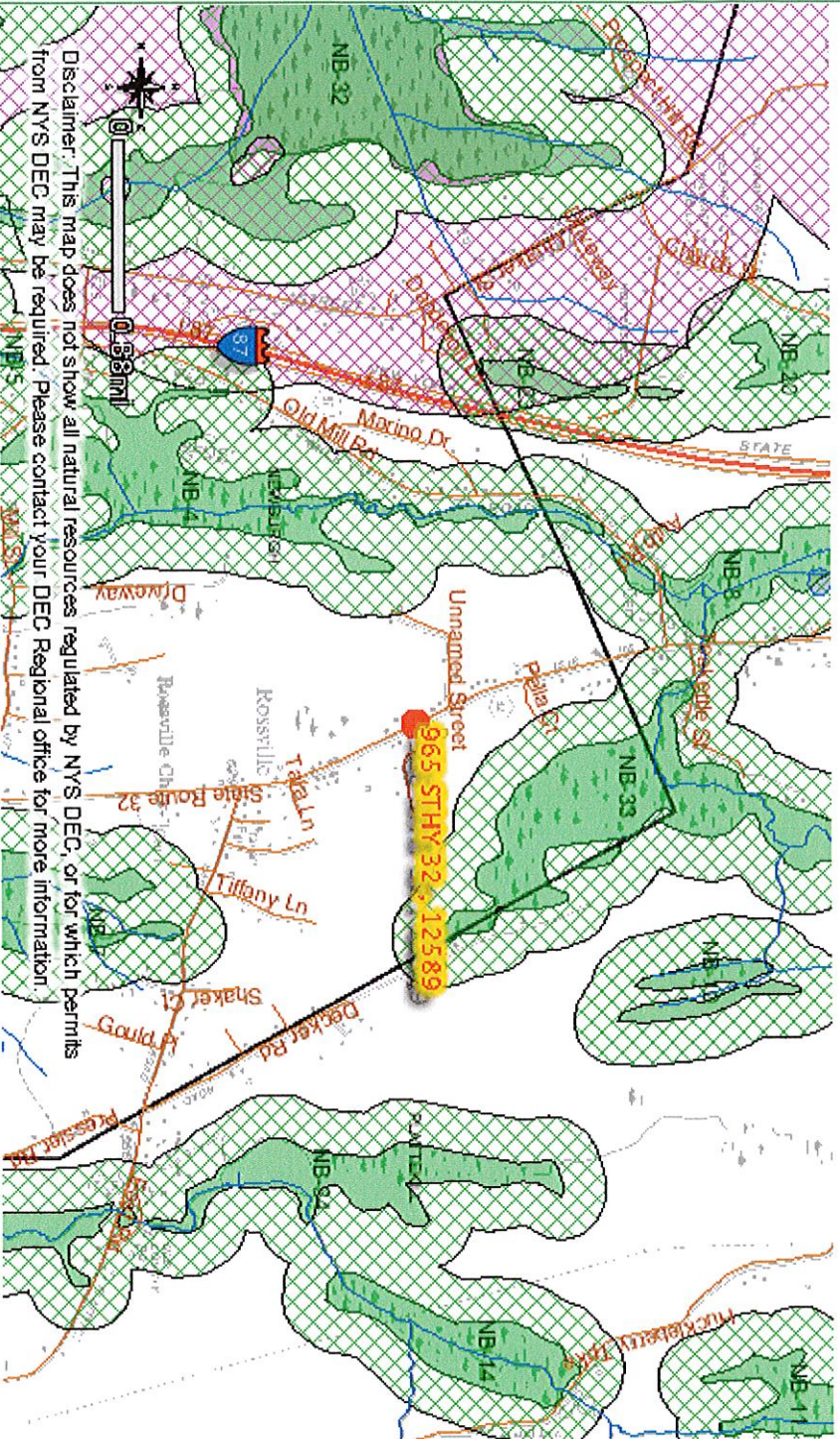
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT













RESET



Disclaimer: This map does not show all natural resources regulated by NYS DEC, or for which permits from NYS DEC may be required. Please contact your DEC Regional office for more information.

MinX: 574825, MaxX: 579873, MinY: 4606831, MaxY: 4604193

Visible Layers

-  Classified Streams
-  Classified Ponds
-  State-Regulated Freshwater Wetlands
-  Wetland Checkzone
-  State-Regulated Freshwater Wetlands
-  Rare Plants and Rare Animals
-  Significant Natural Communities Buffered
-  Natural Communities Nearby
-  Significant Natural Communities
-  Interstate Highways
-  Adirondack Park Boundary
-  Counties



U.S. Fish and Wildlife Service National Wetlands Inventory

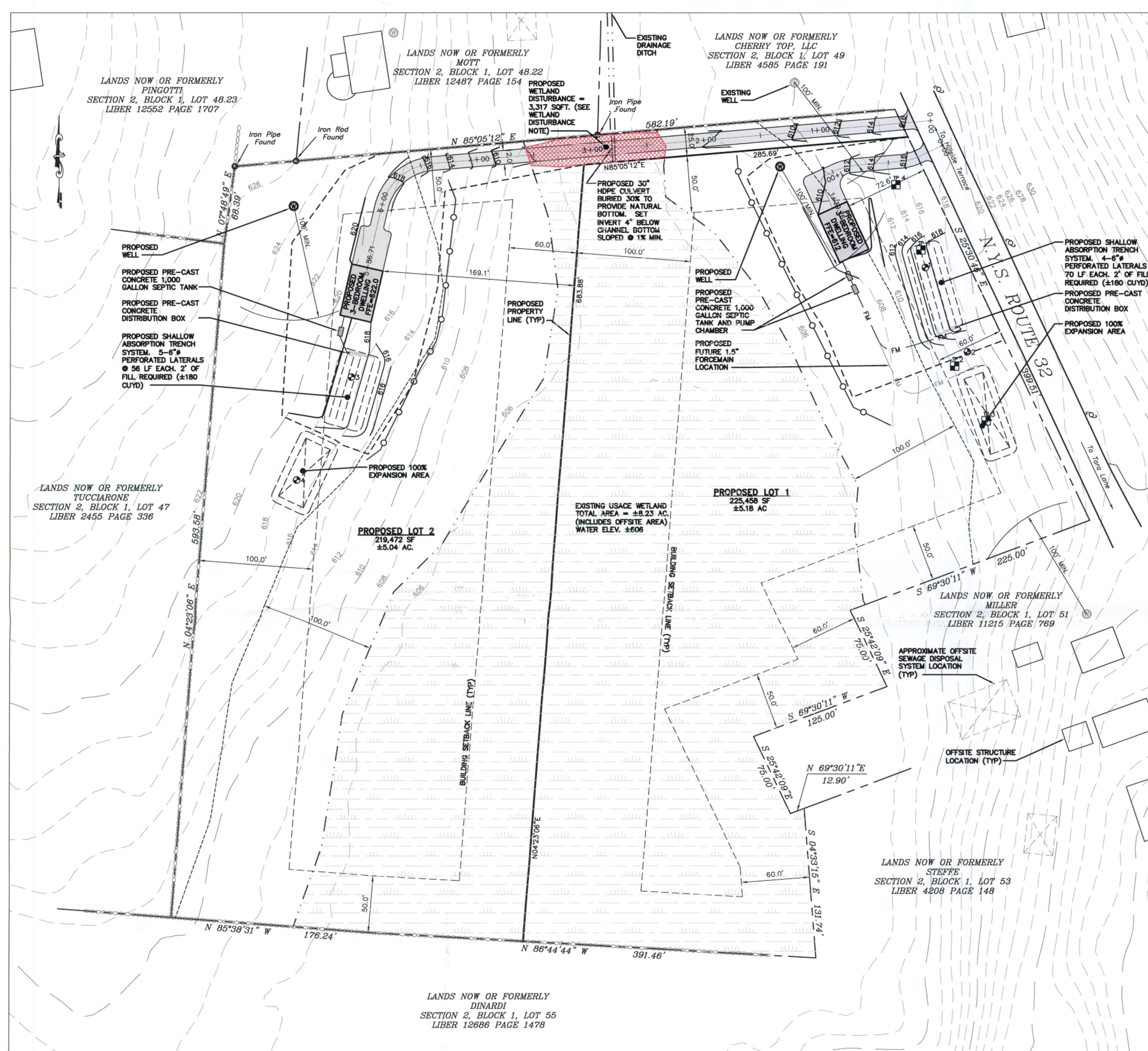
Jul 21, 2014



- Wetlands**
- Freshwater Emergent
 - Freshwater Forested/Shrub
 - Estuarine and Marine Deepwater
 - Estuarine and Marine
 - Freshwater Pond
 - Lake
 - Riverine
 - Other

User Remarks:

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



PROJECT INFORMATION:

PARCEL OWNER:	SOLO GROUP, LLC, PO BOX 1000, WOODBURY, NY 11797
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON, NY 12508
PARCEL LOCATION:	921-965 NYS ROUTE 32, NEWBURGH, NY
TAX PARCEL ID:	2-1-50
PARCEL AREA:	±10.20-ACRE
WATER SUPPLY:	INDIVIDUAL WELL
SEWAGE DISPOSAL:	SEWAGE DISPOSAL SYSTEM

- SITE SPECIFIC NOTES:**
- THE PROPOSED SEWAGE DISPOSAL SYSTEM COMPONENTS SHALL BE SET SUCH THAT GRAVITY FLOW IS ACHIEVED TO ALL COMPONENTS UP TO AND INCLUDING PUMP STATIONS.
 - THE PROJECT DOES NOT LIE WITHIN A PUBLIC WATER SUPPLY SOURCE WATERSHED.
 - ALL PROPOSED SIGHT DISTANCE MEASUREMENTS FOR 35 M.P.H MEET OR EXCEED TOWN OF NEWBURGH AND THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS", 2001, WHICH ARE THE FOLLOWING:
 SLSL LEFT = 610'
 SLSL RIGHT = 610'
 SSD = 495'
 - THE MEASURED SLSL RIGHT AND SLSL LEFT ARE TAKEN FROM THE CENTERLINE OF THE OUTBOUND LANE OF THE DRIVEWAY, 14.4' IN FROM THE EDGE OF PAVEMENT. SLSL EYE HEIGHT IS 42". TSD EYE HEIGHT 42", SSD EYE HEIGHT IS 42", AND OBJECT/BRAKE LIGHT HEIGHT IS 24".

SEWAGE DISPOSAL SYSTEM DESIGN NOTES:

SEWAGE DISPOSAL SYSTEM DESIGNS BASED ON 3 BEDROOM RESIDENTIAL DWELLING MAX.. DESIGN FLOW IS BASED UPON NEW STANDARD FIXTURES. THESE INCLUDE: 1.5 GPF MAX. TOILET, 3.0 GPM MAX. FAUCETS/SHOWERHEADS. DESIGN FLOW = 390 GPD (3 BEDROOMS @ 130 GPD/BEDROOM).

NO FOOTING OR ROOF DRAINS, WATER SOFTENER BACKWASHES, SHALL BE ALLOWED TO ENTER THE SYSTEM. NO KITCHEN SINK GARBAGE DISPOSAL SYSTEMS ARE PLANNED OR INCLUDED IN THE DESIGN.

THE PROPOSED SEPTIC TANK SIZE IS 1,000 GALLONS, WHICH MEETS THE REQUIREMENTS AS SET FORTH BY THE ORANGE COUNTY DEPARTMENT OF HEALTH (OCDOH) FOR THE DESIGN FLOW.

ALL UTILITY LINES IN THE VICINITY OF THE PROPOSED CONSTRUCTION SHALL BE CLEARLY MARKED OUT PRIOR TO ANY GROUND-BREAKING.

SEWAGE DISPOSAL SYSTEM SHALL NOT BE INSTALLED IN FROZEN OR WET SOILS.

LOT 1 SDS DESIGN:
 SDS DESIGN BASED UPON AN APPLICATION RATE OF 0.7 GPD/SF FOR A PERCOLATION RATE OF 20 MIN/INCH. THIS RESULTS IN 279 LF OF 2' WIDE TRENCH REQUIRED. THE DESIGN CALLS FOR 4 LATERALS @ 70 LF EACH FOR A TOTAL OF 280 LF OF TRENCH PROVIDED.

LOT 2 SDS DESIGN:
 SDS DESIGN BASED UPON AN APPLICATION RATE OF 0.7 GPD/SF FOR A PERCOLATION RATE OF 20 MIN/INCH. THIS RESULTS IN 279 LF OF 2' WIDE TRENCH REQUIRED. THE DESIGN CALLS FOR 5 LATERALS @ 56 LF EACH FOR A TOTAL OF 280 LF OF TRENCH PROVIDED. SEE ENGINEER'S REPORT FOR ADDITIONAL CALCULATIONS.

- MAP REFERENCES:**
- REFERENCE IS HEREBY MADE TO A BOUNDARY SURVEY ENTITLED "SURVEY FOR SCHOONMAKER HOMES" AS PREPARED BY DANIEL YANOSH, L.S., DATED JULY 14, 2014.
 - 2' CONTOUR TOPOGRAPHIC INFORMATION TAKEN FROM ORANGE COUNTY AERIAL TOPOGRAPHIC MAPS.
 - ADJACENT DWELLING, WELL AND SEPTIC LOCATIONS ARE SHOWN PER GIS INFORMATION AND FIELD OBSERVATIONS.
 - WETLAND AREA SHOWN PER GIS INFORMATION AND FIELD OBSERVATIONS.

WETLAND DISTURBANCE NOTES:

- INSTALLATION OF LOT 2 DRIVEWAY WILL RESULT IN 3,317± SQFT. (0.08 AC.) OF DISTURBANCE/FILL TO THE WETLAND. THE DISTURBANCE IS LESS THAN 0.10 AC.; THEREFORE, NO PERMIT FROM THE USACE IS REQUIRED.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED ON JULY 8, 2014, AND CERTIFIED TO THE APPLICANT ON JULY 14, 2014.

DANIEL P. YANOSH, NYSLLS #: 49561

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

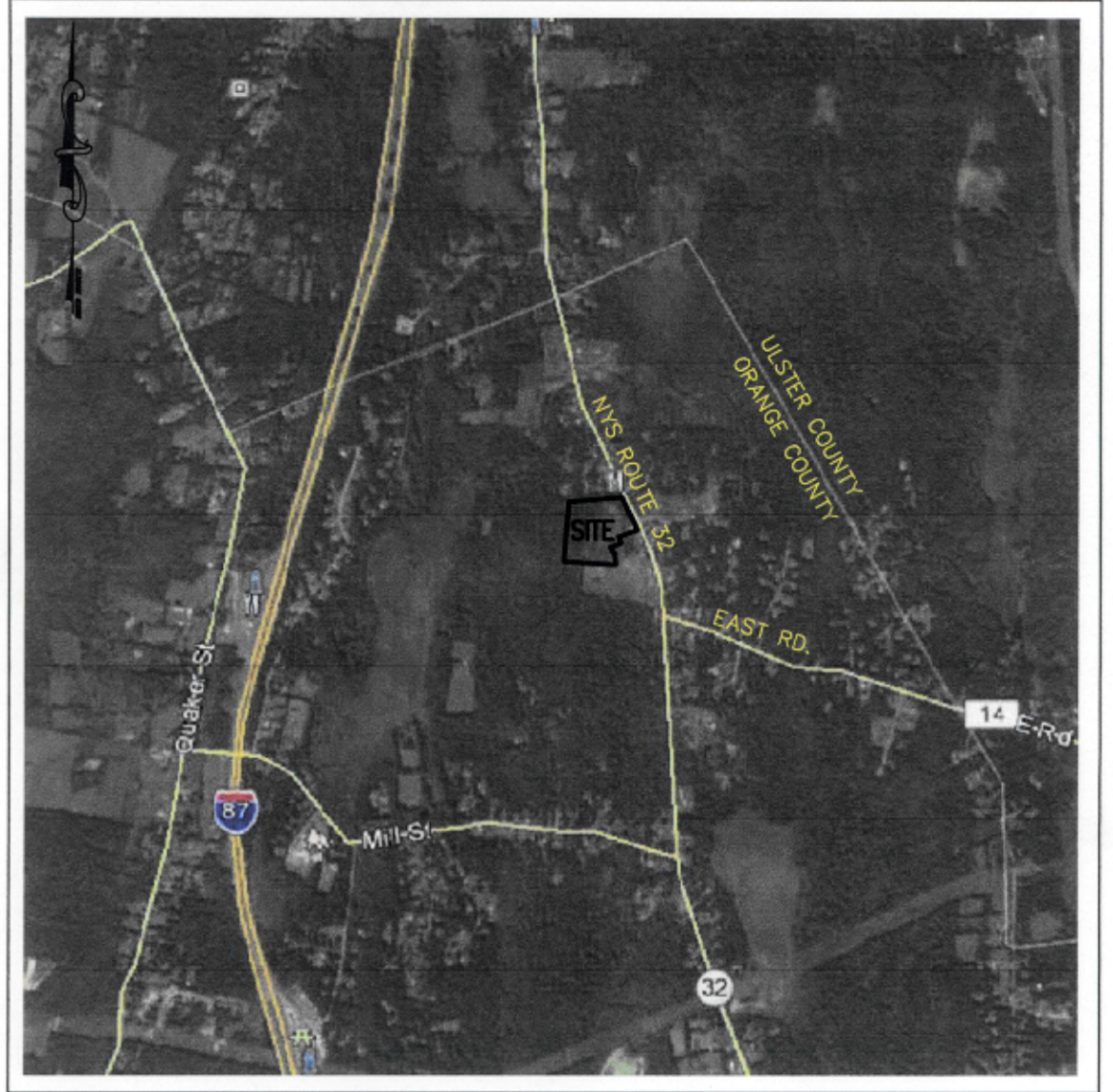
Matthew Solof 8-9-2014
 MATTHEW SOLOF DATE

OWNER:
 SOLO GROUP, LLC
 PO BOX 1000
 WOODBURY, NY 11797

APPLICANT:
 HV REALTY SERVICES (GERALD CASESA)
 219 ROUTE 32
 SUITE 101
 CENTRAL VALLEY, NEW YORK 10917

DRAWN BY: MAB CHECKED BY: JDB JOB NO.: 2014:005

REVISIONS:			
NO.	DATE	DESCRIPTION	BY



SITE LOCATION MAP SCALE: 1" = 2,000'

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	SETBACK LINE
---	EXISTING STONE WALL
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING WATER EDGE
---	100' WATER SETBACK LINE
FM	PROPOSED SEWER FORCEMAIN
---	LIMIT OF DISTURBANCE
⊙	PROPOSED WELL
---	EXISTING WETLAND
---	PROPOSED WETLAND DISTURBANCE AREA

SCHEDULE OF REGULATIONS (RR RESERVOIR ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	2 ACRES MIN	±5.18 AC.	5.04 AC.
LOT WIDTH:	200 FEET MINIMUM	424 FEET	694 FEET
LOT DEPTH:	300 FEET MINIMUM	±385 FEET	±310 FEET
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	60 FEET MINIMUM	72.6 FEET	169.1 FEET
SIDE YARD:	50 FEET MINIMUM	52.1 FEET	94.1 FEET
BOTH SIDE YARDS:	100 FEET MINIMUM	341.1 FEET	628.8 FEET
REAR YARD:	100 FEET MINIMUM	208.6 FEET	106.4 FEET
BUILDING COVERAGE:	MAX 10%	<1%	1%
MAXIMUM BUILDING HEIGHT:	35 FEET	<35 FEET	<35 FEET
LOT SURFACE COVERAGE:	10%	4%	2%
HABITABLE FLOOR AREA:	1,500 SQUARE FEET	>1,500 S.F.	>1,500 S.F.

SKETCH SUBDIVISION PLAT
POND VIEW

921-965 NYS ROUTE 32
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

TAX ID: 2-1-50
 SCALE: 1" = 50'
 JULY 31, 2014

HUDSON LAND DESIGN

HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637

STATE OF NEW YORK
 DANIEL G. KOEHLER
 LICENSED PROFESSIONAL ENGINEER
 082718

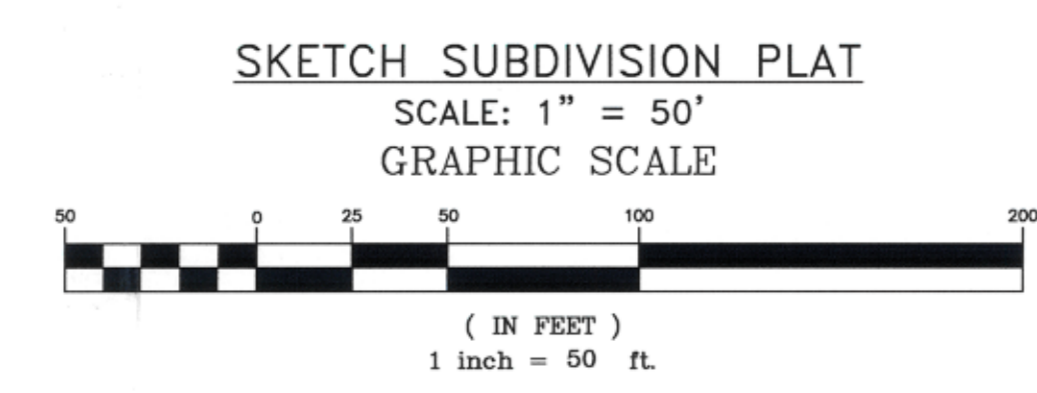
SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOEHLER, P.E.
 NYS LICENSE NO. 082718

SHEET: 1 OF 3

DEEP TEST HOLE TABLE:
 DEEP TEST HOLE RESULTS ESTABLISHED ON 5/2/14

DT1: 3" TOPSOIL, 3"-33" SILTY CLAY LOAM, 33"-36" SHALE AND SEEPAGE
DT2: 3" TOPSOIL, 3"-30" SILTY CLAY LOAM, SHALE AND SEEPAGE AT 30"
DT3: 3" TOPSOIL, 3"-40" SILTY CLAY LOAM, 40" SHALE AND SEEPAGE
DT4: (IN SPOILS PILE) 3" TOPSOIL, 3"-72" SILTY CLAY LOAM, (NO BEDROCK, NO WATER, NO MOTTILING)

SUBSURFACE INVESTIGATION:
 THE SUBSURFACE CONDITIONS IN THE VICINITY OF THE PROPOSED SEWAGE DISPOSAL SYSTEM WERE INVESTIGATED BY HUDSON LAND DESIGN. TEST LOCATIONS SHOWN APPROXIMATE.

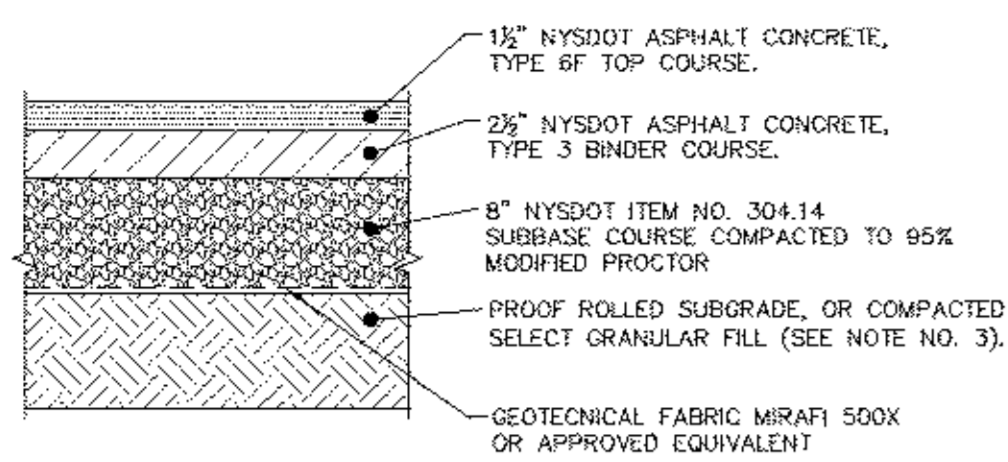


PERC TEST TABLE:
 PERC TESTS ESTABLISHED ON 5/2/14 & 5/3/14

PT1: 16" DEEP: 10 min/in; 15 min/in; 16 min/in; 17 min/in; 18 min/in; 20 min/in; 20 min/in
PT2: 16" DEEP: 7 min/in; 13 min/in; 16 min/in; 17 min/in; 18 min/in; 20 min/in; 20 min/in
PT3: 30" DEEP: 16 min/in; 17 min/in; 18 min/in; 19 min/in; 20 min/in; 20 min/in; 20 min/in
PT2: 30" DEEP: 14 min/in; 17 min/in; 19 min/in; 20 min/in; 20 min/in; 20 min/in

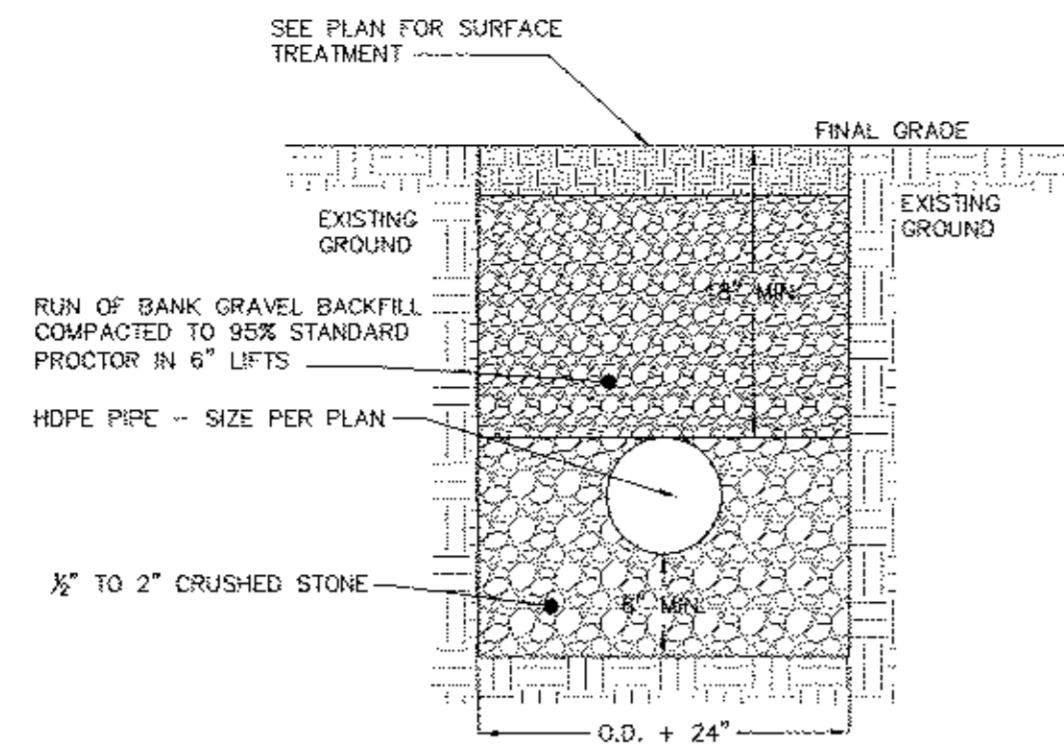
Dig Safely. New York
 800-962-7962
 www.digsafelynewyork.org

Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect The Marks
 Dig With Care



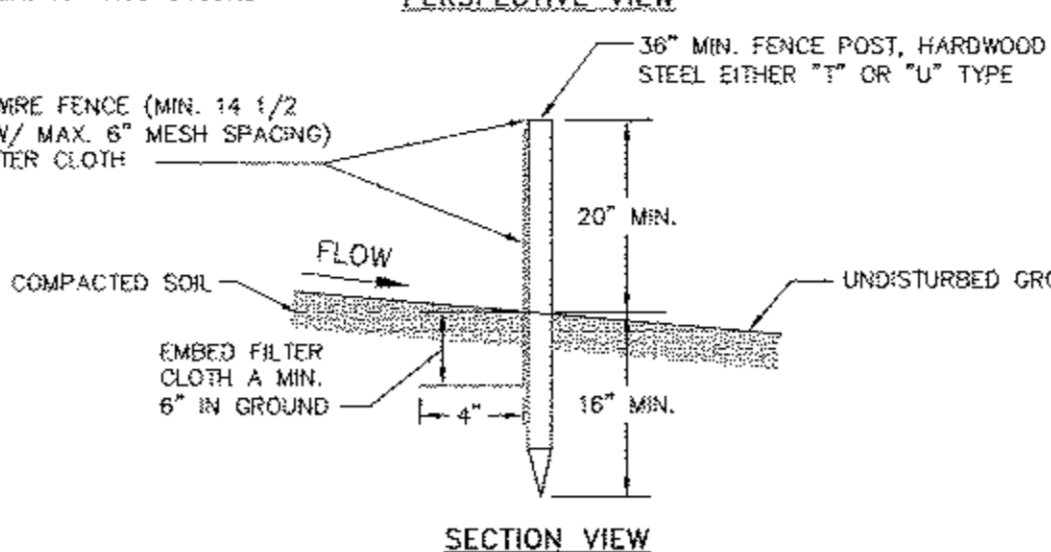
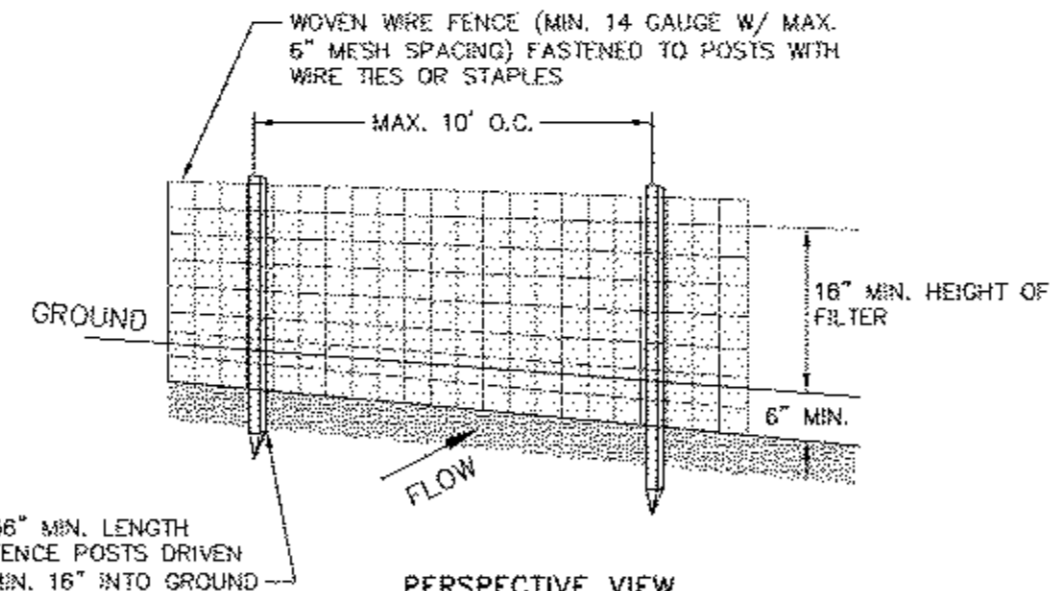
- NOTES:**
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002.
 2. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
 3. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

DRIVEWAY SECTION DETAIL
NOT TO SCALE



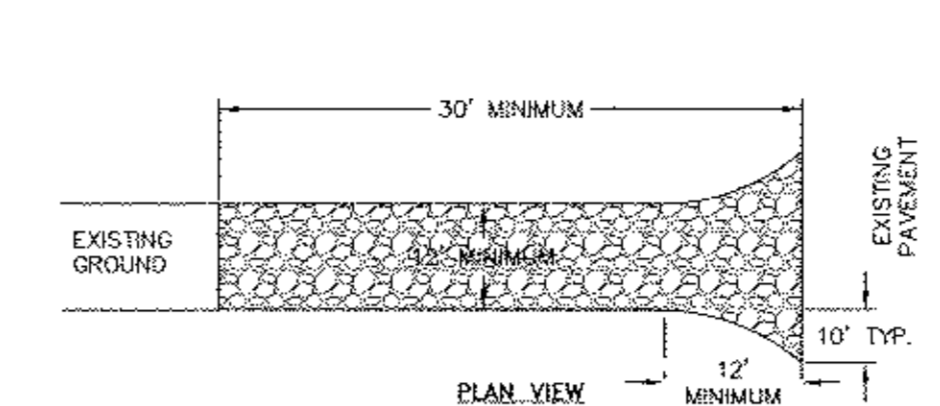
- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

STORMWATER PIPE IN TRENCH DETAIL
NOT TO SCALE



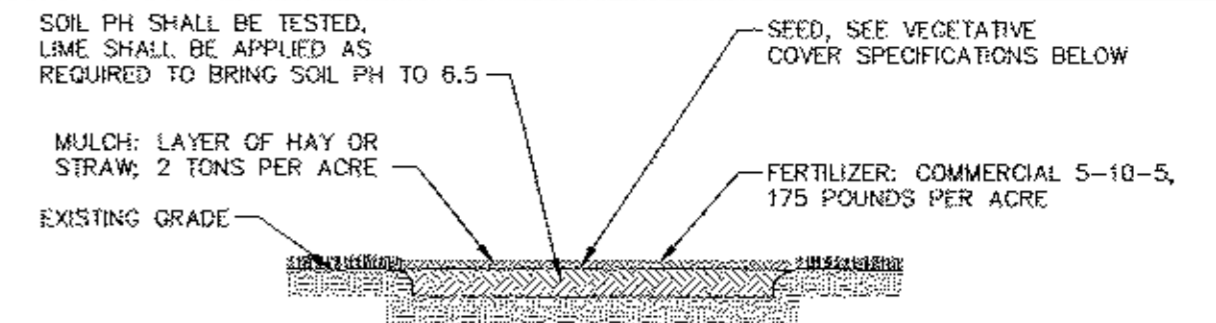
- NOTES:**
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N OR APPROVED EQUAL.
 3. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE OR APPROVED EQUAL.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



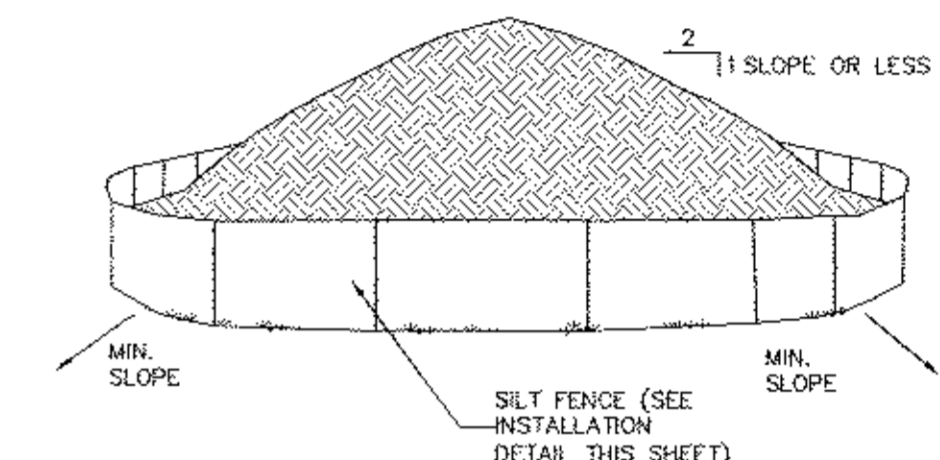
- NOTES:**
- 1) STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - 2) LENGTH - NOT LESS THAN 30 FEET FOR A SINGLE RESIDENCE LOT.
 - 3) THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - 4) WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - 5) GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - 6) SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - 7) MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - 8) WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - 9) PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



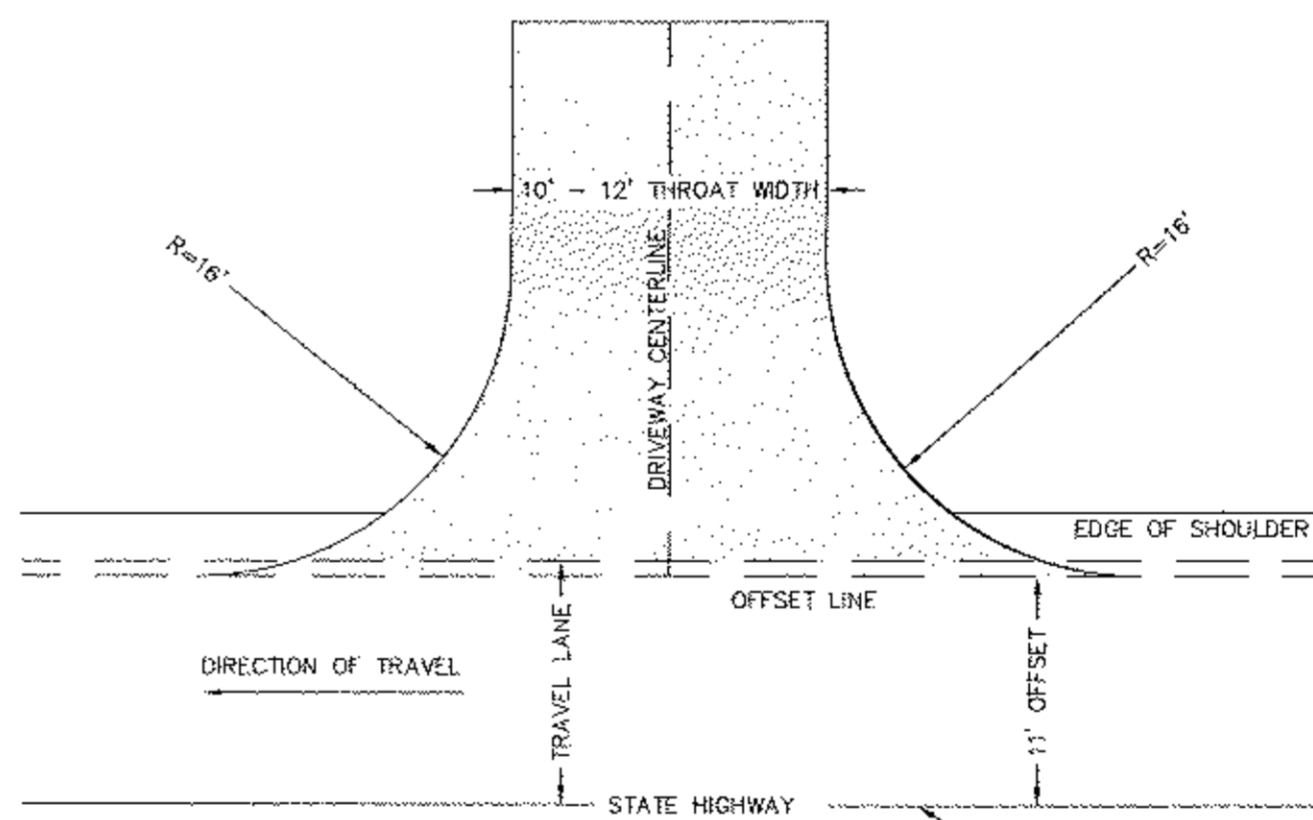
- NOTES:**
1. THIS DETAIL IS NOT FOR OGDH REVIEW OR APPROVAL.
 2. TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
 3. SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
 - 65% KENTUCKY BLUE GRASS BLEND
 - 20% PERENNIAL RYEGRASS
 - 15% FINE FESCUE
 114 POUNDS PER ACRE
35 POUNDS PER ACRE
28 POUNDS PER ACRE
175 POUNDS PER ACRE
 4. SEED MIXTURE FOR USE IN SHADY AREAS:
 - 80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS
 - 20% FINE FESCUE
 138 POUNDS PER ACRE
37 POUNDS PER ACRE
175 POUNDS PER ACRE
 5. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
 6. TOPSOIL SHALL HAVE AT LEAST 8% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE



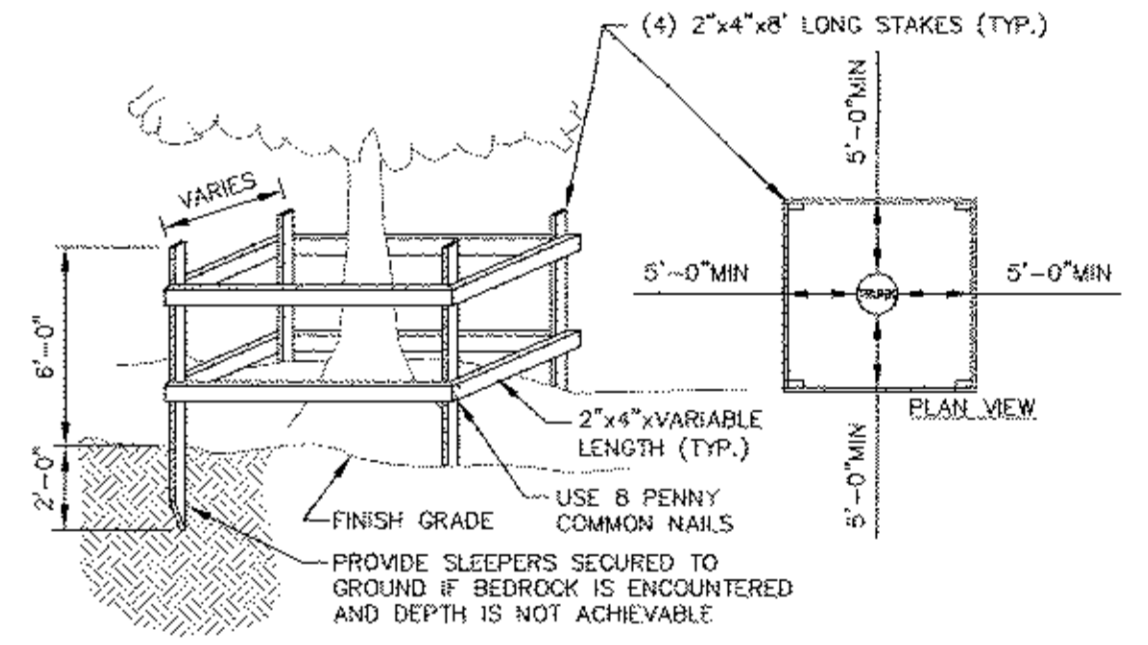
- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



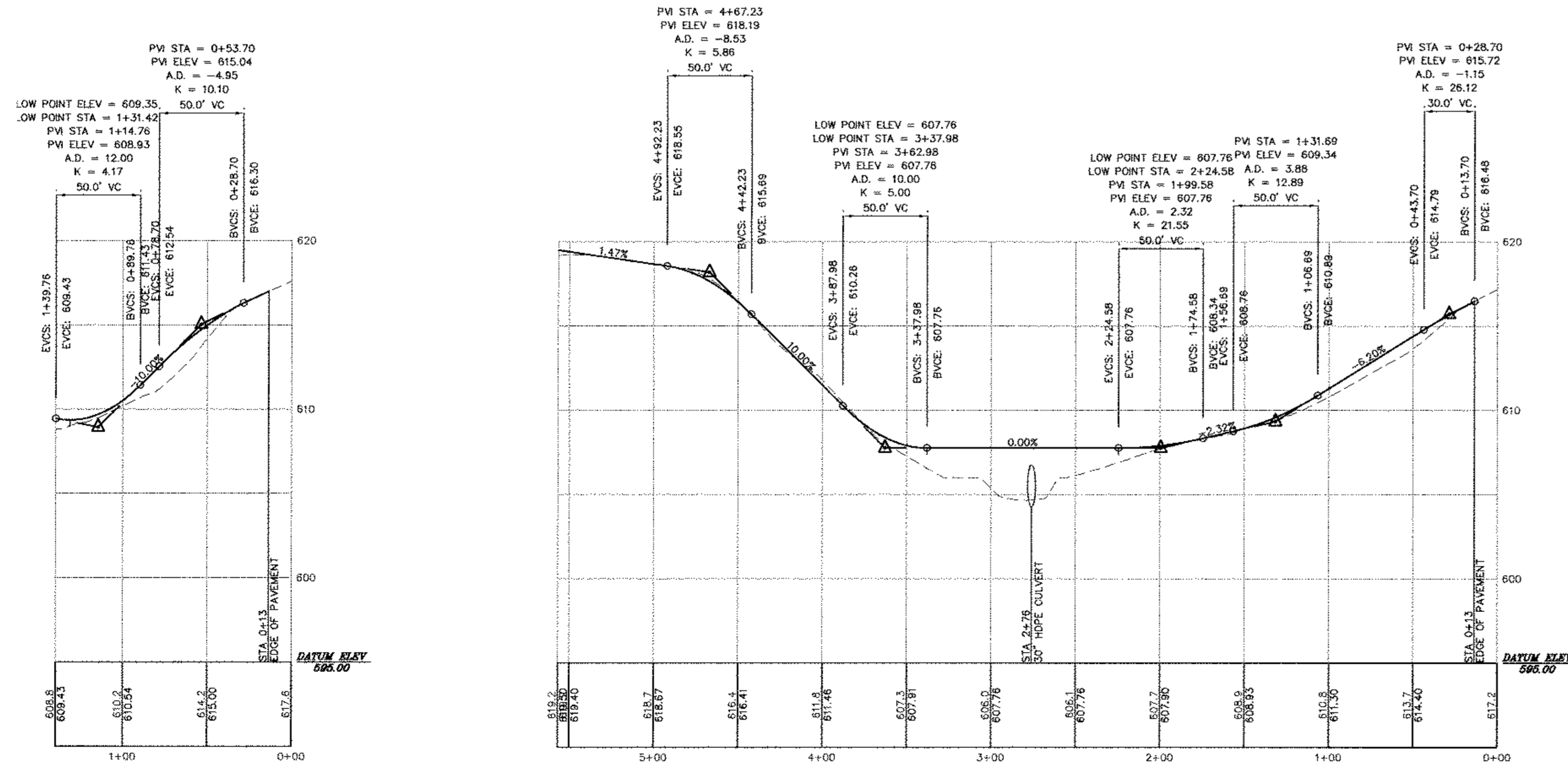
- NOTES:**
1. USE 6" GRAVEL SUBBASE OVERLAIN BY 3" ASPHALT CONCRETE OR 6" PORTLAND CEMENT CONCRETE.
 2. GRADE DRIVEWAY AWAY FROM HIGHWAY AT SAME PITCH AS EXISTING PAVED SHOULDER FOR A MINIMUM DISTANCE OF 10'.
 3. DRIVEWAY CULVERT AS REQUIRED BY NYS DOT. MIN. DIAMETER IS 12", END SECTIONS ARE REQUIRED.
 4. CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). NYS DOT SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.

NYS DOT RESIDENTIAL DRIVEWAY DETAIL
NOT TO SCALE



- NOTES:**
1. TREES TO REMAIN NOTED ON EXISTING CONDITIONS PLAN.
 2. NOT ALL TREES TO REMAIN REQUIRE PROTECTION. TREE PROTECTION TO BE UTILIZED ON TREES WHERE CONSTRUCTION TRAFFIC WOULD COMPACT THE ROOT ZONE OF THE TREE.

TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE



LOT 1 DRIVEWAY PROFILE
SCALE: 1"=5'V
1"=50'H

LOT 2 DRIVEWAY PROFILE
SCALE: 1"=5'V
1"=50'H

DRAWN BY: MAB		CHECKED BY: JDB		JOB NO.: 2014-005	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		

SITE AND EROSION & SEDIMENT CONTROL DETAILS

POND VIEW

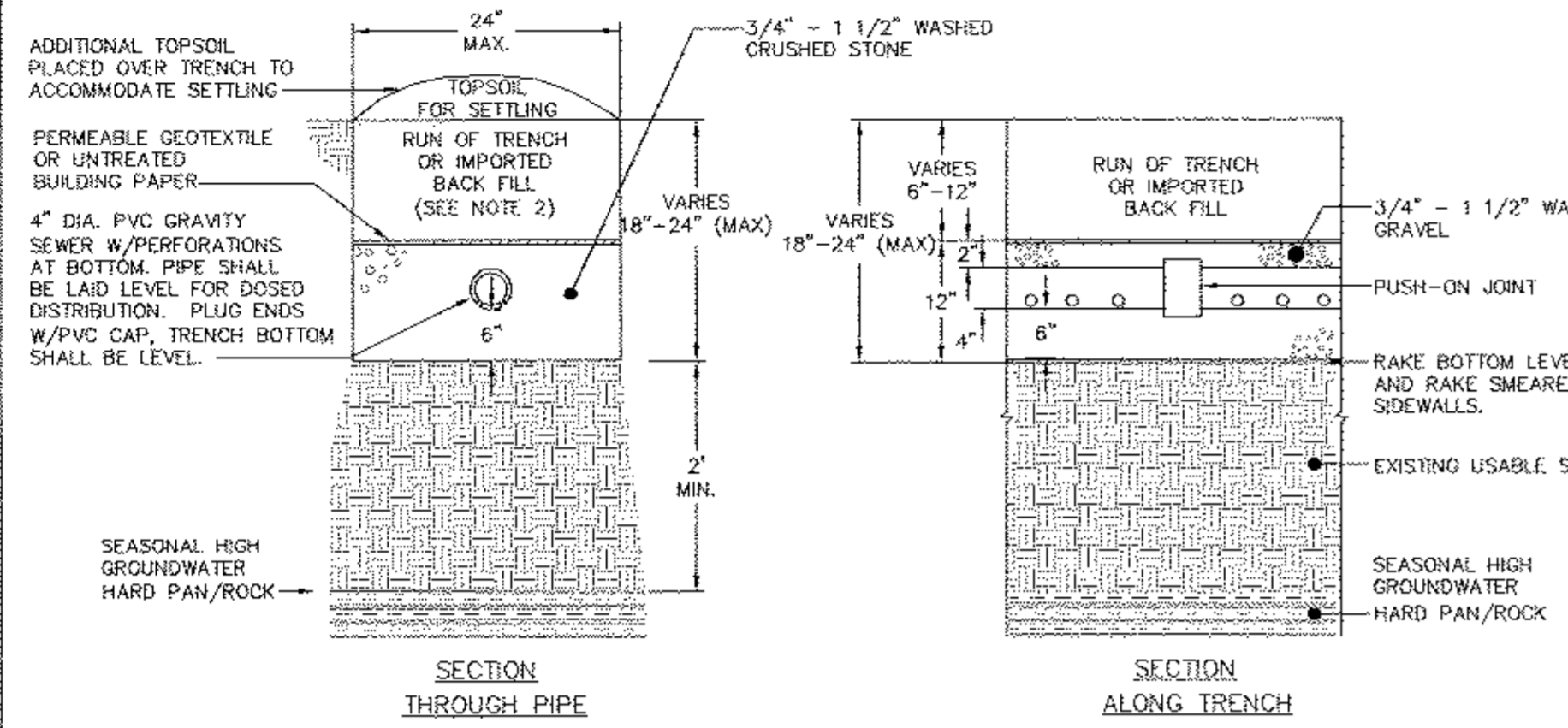
921-965 NYS ROUTE 32
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 10-1-50
SCALE: 1" = 50'
JULY 31, 2014



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

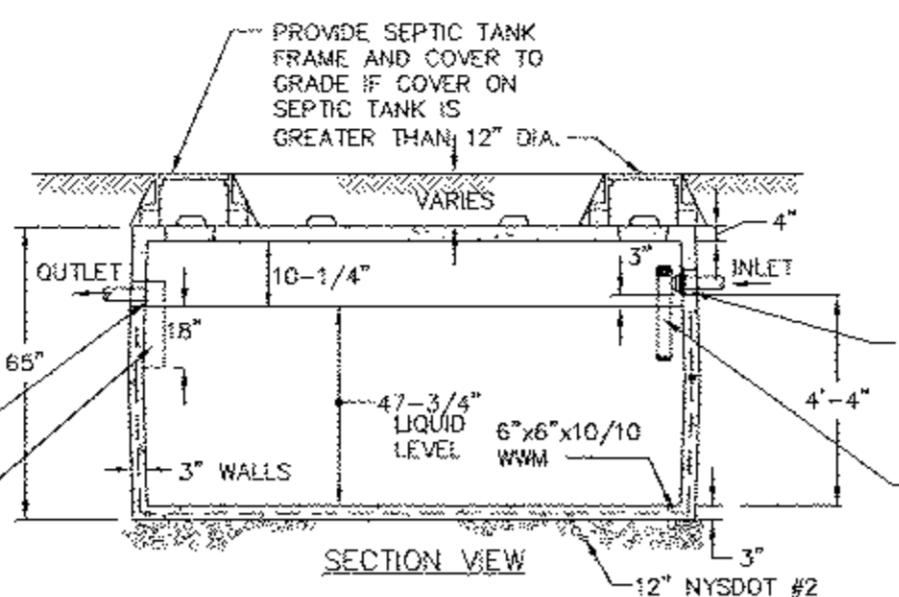
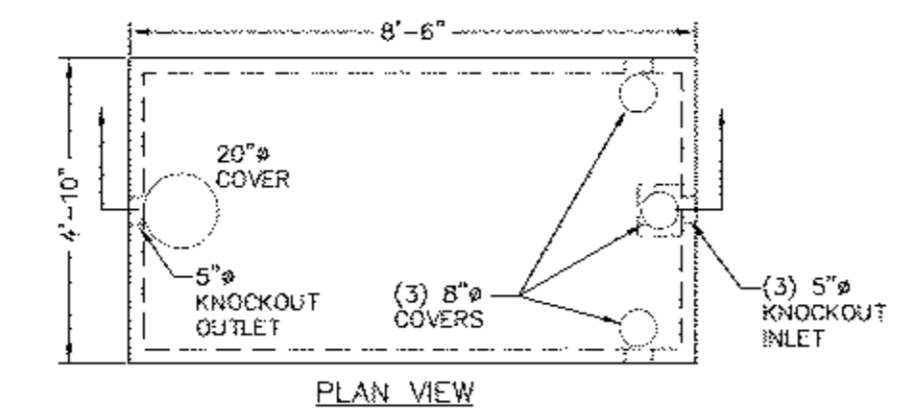


SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716



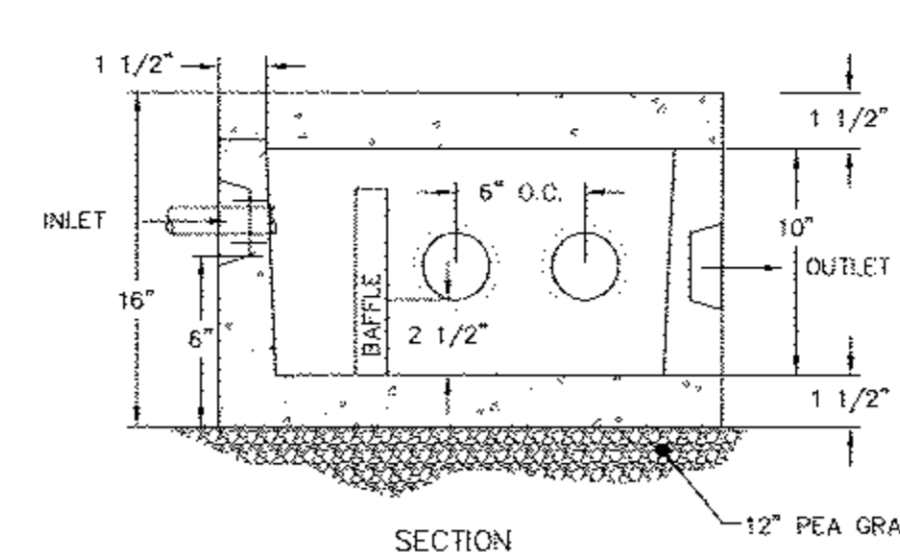
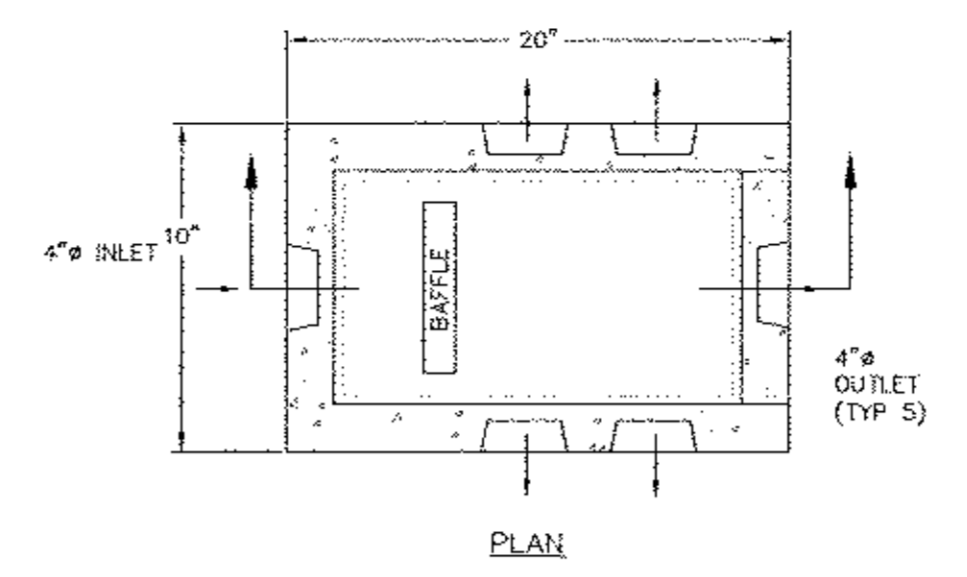
- NOTES:**
1. MINIMUM SPACING BETWEEN ABSORPTION FIELD TRENCHES IS 6' O.C.
 2. IMPORTED BACKFILL SHALL MATCH THE QUALITY OF THE FILL SPECIFIED ON SHEET 1 FOR RAISED SYSTEMS.
 3. TOTAL TRENCH DEPTH NOT TO EXCEED 24"

ABSORPTION TRENCH DETAIL
NOT TO SCALE



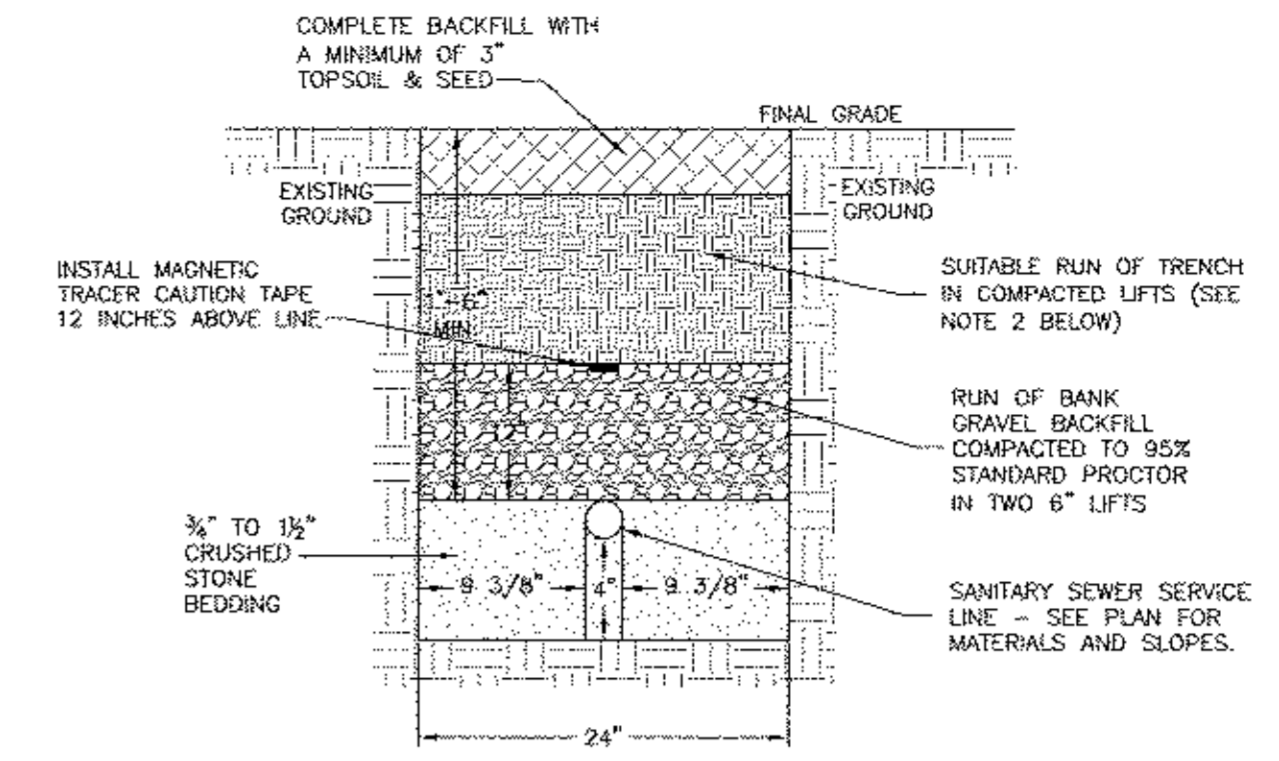
- NOTES:**
1. IF TANK IS DELIVERED TO THE SITE IN SECTIONS, THE CONTRACTOR SHALL MAKE IT WATER TIGHT. A WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE ENGINEER AND THE DCHD, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL OVER A 24-HOUR PERIOD.
 2. ALL JOINTS SHALL BE CAULKED.
 3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 4. PRE-CAST SEPTIC TANK SHOWN IS MODEL ST-1,000 BY WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY, 10915 (845) 361-3471.
 5. SANITARY TEE SHALL BE USED ON INLET SIDE TO MEET REQUIRED 16" BAFFLE DEPTH BELOW LIQUID LEVEL.

PRECAST CONCRETE 1,000 GALLON SEPTIC TANK DETAIL
NOT TO SCALE



- NOTES:**
1. ALL OUTLETS SHALL BE SET AT THE SAME ELEVATION. DISTRIBUTION BOX SHALL BE SET LEVEL AND ALL UNUSED INLETS/OUTLETS SHALL BE PLUGGED.
 2. PRE-CAST DISTRIBUTION BOX SHOWN IS MODEL DB-6WB 5 OUTLET BOX, WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT RD., BULLVILLE, NY (845) 361-3471.
 3. BAFFLE SHALL BE PROVIDED BY CONTRACTOR.
 4. A MINIMUM OF 4" SOLID PIPE MUST BE PROVIDED BETWEEN THE DISTRIBUTION BOX AND PERFORATED LATERALS.
 5. COVER OVER THE DISTRIBUTION BOX IS TO BE A MAXIMUM OF 12".

PRECAST CONCRETE DISTRIBUTION BOX WITH BAFFLE DETAIL
NOT TO SCALE

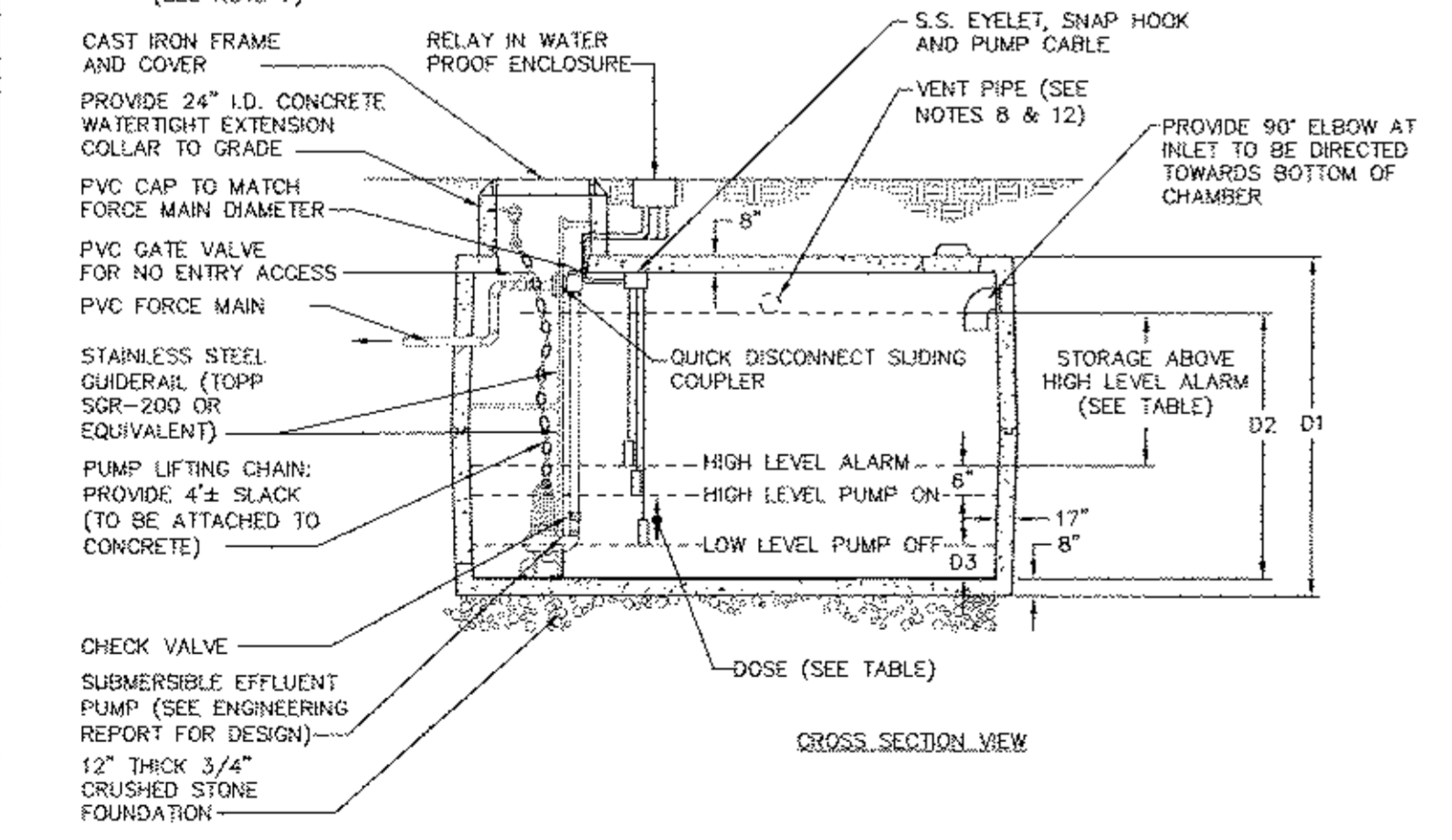
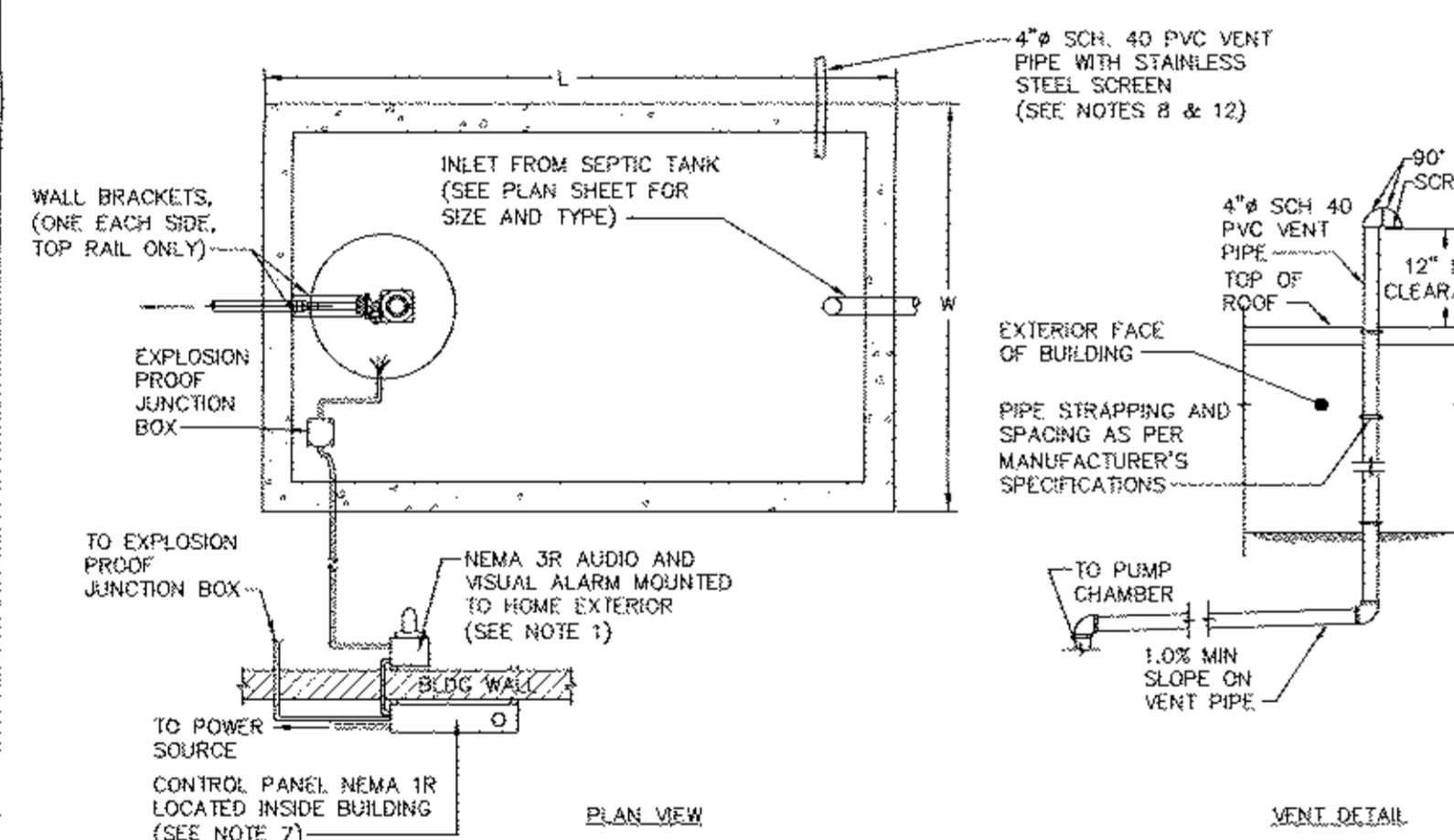


- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
NOT TO SCALE

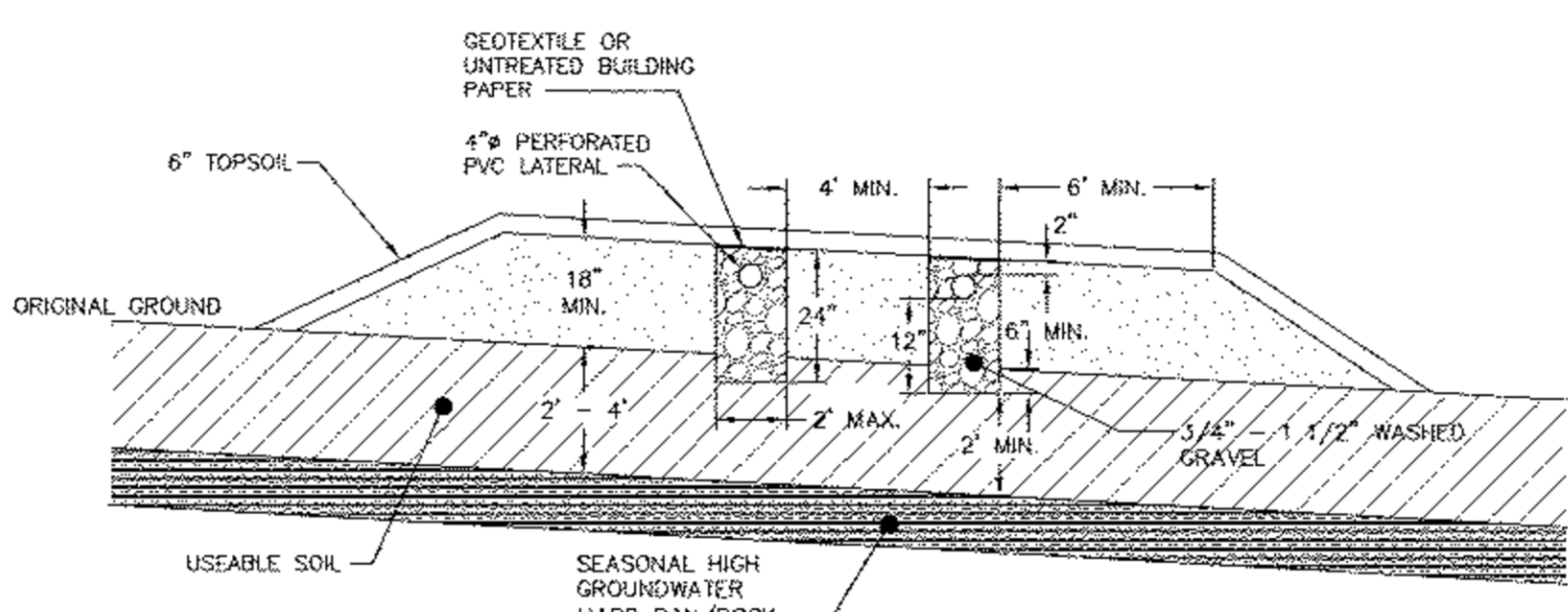
PUMP CHAMBER NOTES

1. THREE FLOAT SWITCHES SHALL BE INSTALLED: PUMP ON, PUMP OFF, AND HIGH ALARM. VISIBLE AND AUDIBLE ALARMS SHALL BE PROVIDED. THE ALARMS SHALL BE LOCATED ON THE HOME EXTERIOR, CLEARLY VISIBLE AND AUDIBLE. EXTERIOR ALARMS SHALL BE RATED NEMA 3R FOR WEATHERPROOF LOCATIONS.
2. ELECTRICAL EQUIPMENT IN WET WELLS OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS I, DIVISION I, GROUP C OR D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPLICES, JUNCTION BOXES OR CONNECTIONS OF ANY NEC RATING IN THE PUMP CHAMBER.
3. EFFLUENT PUMP SIZE AND TYPE AS PER TABLE BELOW.
4. THERE SHALL BE A MINIMUM OF 2.5' COVER OVER THE CONDUIT CONVEYING THE FLOAT PUMP CABLES AND CONTROL WIRING. CONDUITS FROM ALARM BOX AND CONTROL PANEL TO RELAY PANEL AT PUMP CHAMBER SHALL SHARE THE SAME TRENCH.
5. PROVIDE ADDITIONAL CONDUIT FOR CONTROL WIRING AS PER THE MANUFACTURER'S RECOMMENDATIONS, MINIMUM COVER SHALL BE 2.5'.
6. AN ALUMINUM WARNING PLATE SHALL BE RIVETED OR OTHERWISE PERMANENTLY ATTACHED TO THE CHAMBER COVER. THE PLATE SHALL BE A MINIMUM OF 12"x12" AND SHALL BE ENGRAVED WITH THE FOLLOWING LANGUAGE: "WARNING - CONFINED SPACE - ENTRY PROHIBITED WITHOUT AUTHORIZATION - CALL OWNER FOR APPROVAL TO ACCESS".
7. CONTROL PANELS SHALL BE LOCATED WITHIN THE HOME.
8. 4" SDR PVC SCREENED VENT SHALL EXTEND TO BUILDING ROOF LINE.
9. A WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE ENGINEER, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL.
10. CONTRACTOR SHALL CAULK INLET AND OUTLET JOINTS AND OTHER CONDUIT PENETRATIONS.
11. INSTALL STAINLESS STEEL GUIDE RAIL FOR PUMP REMOVAL AND MAINTENANCE.
12. LOCATION OF 4" DIA. SDR PVC VENTILATION PIPE SHALL BE APPROVED BY THE OWNER AND SHALL PROVIDE POSITIVE SLOPE TO SURFACE (IE: NO DIPS OR SAGS ALLOWED). THE INVERT OF THE VENT PIPE SHALL MATCH INLET INVERT. THE VENT PIPE SHALL BE SECURELY MOUNTED TO THE EXTERIOR OF THE BUILDING AND SHALL VENT A MINIMUM OF 12" ABOVE ROOF LINE. VENT PIPE AND BRACKETS TO MATCH EXTERIOR BUILDING COLOR.
13. ALL ELECTRIC SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION.
14. A PROFESSIONAL ENGINEER SHALL CERTIFY INSTALLATION AND TESTING OF PUMP CHAMBER.
15. PRE-CAST PUMP CHAMBER SHOWN IS A 2,000 GALLON HEAVY DUTY PUMP CHAMBER, BY EASTERN PRECAST, CO. P.O. BOX, COLD SPRING, NY (845) 265-3771.



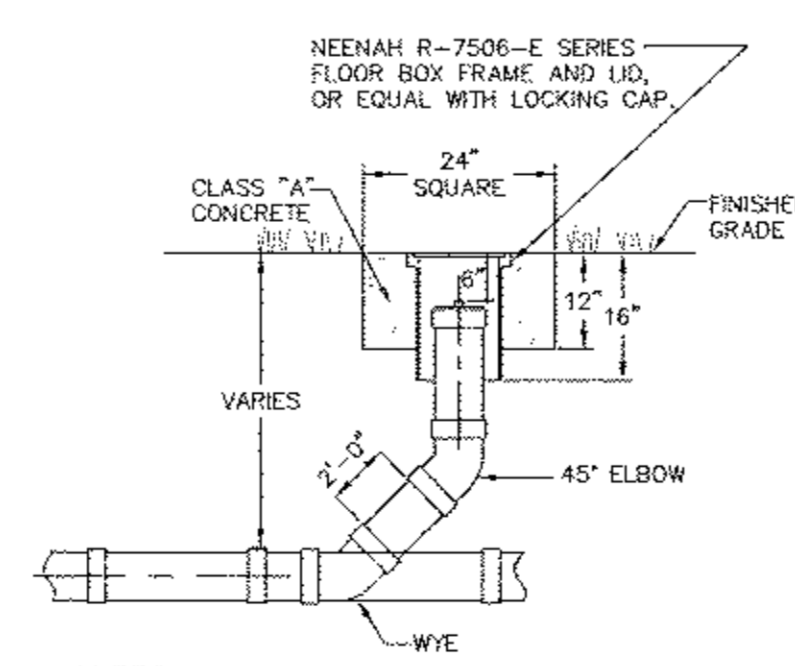
RIM ELEVATION	LENGTH OF PIPE IN FIELD (FT.)	PIPE VOLUME (GAL)	REQ'D DOSE RANGE (GAL)	PUMP CHAMBER DIMENSIONS					DOSE DEPTH (IN)	VOLUME (GAL)	REQ'D (GAL)	STORAGE DEPTH PROVIDED (IN)	VOLUME PROVIDED (GAL)	PUMP MAKE AND MODEL	FORCE MAIN SIZE (IN)	NO. OF PUMPS
				W	L	D1	D2	D3								
	5'-6"	11'-6"	7'-11"	8'-2"	12"				6"							1

1,000 GAL. SEPTIC TANK/PUMP CHAMBER DETAIL
NOT TO SCALE



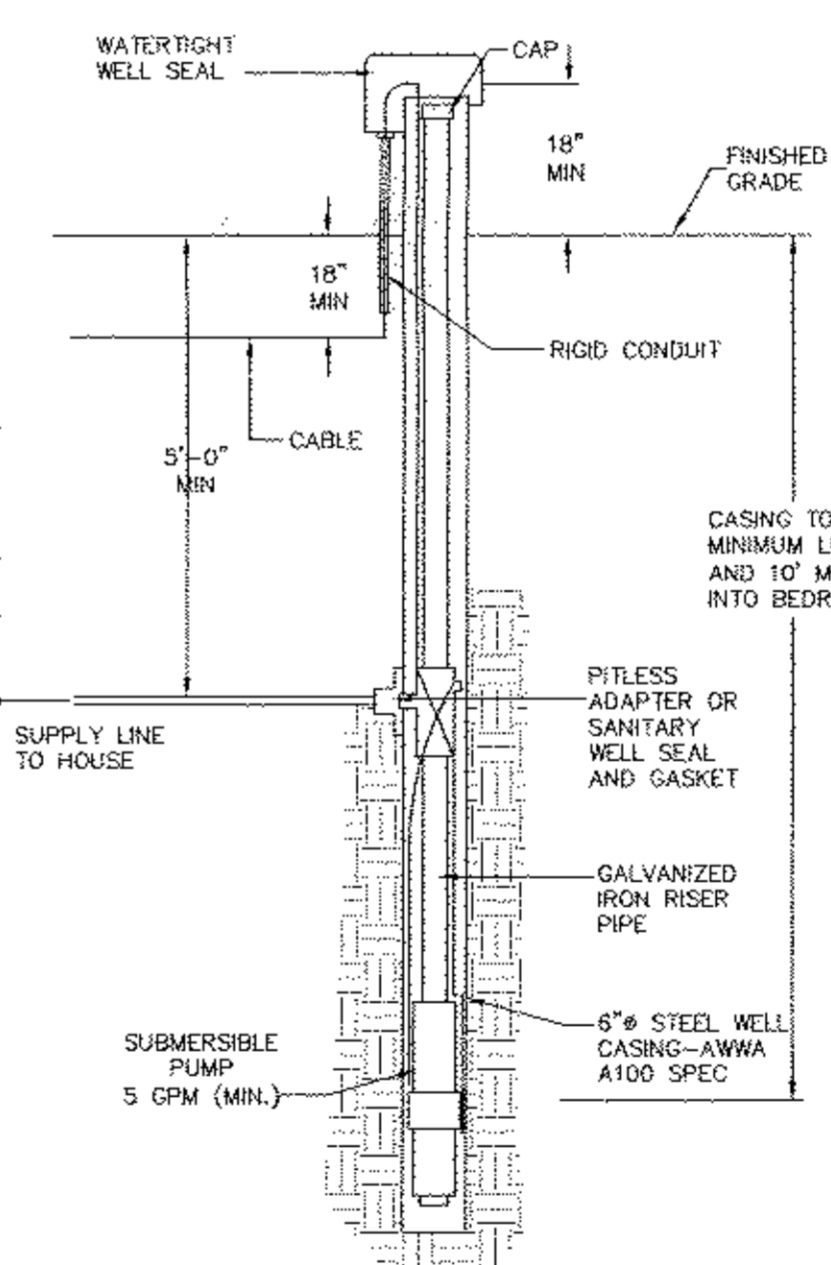
- NOTES:**
1. BOTTOM OF ALL TRENCHES SHALL BE 6" MINIMUM BELOW ORIGINAL GRADE.
 2. USEABLE FILL MATERIAL SHALL HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE ORIGINAL USEABLE SOIL PERCOLATION RATE. THE FILL MATERIAL SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
 3. MAXIMUM DEPTH OF USEABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
 4. ON SLOPED SITES, A DIVERSION DITCH OR FRENCH DRAIN SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.

SHALLOW ABSORPTION TRENCH SYSTEM DETAIL
NOT TO SCALE



- NOTES:**
1. SEWER PIPE AND FITTINGS SHALL BE ASTM D-3033 OR D-3034 SDR-35.

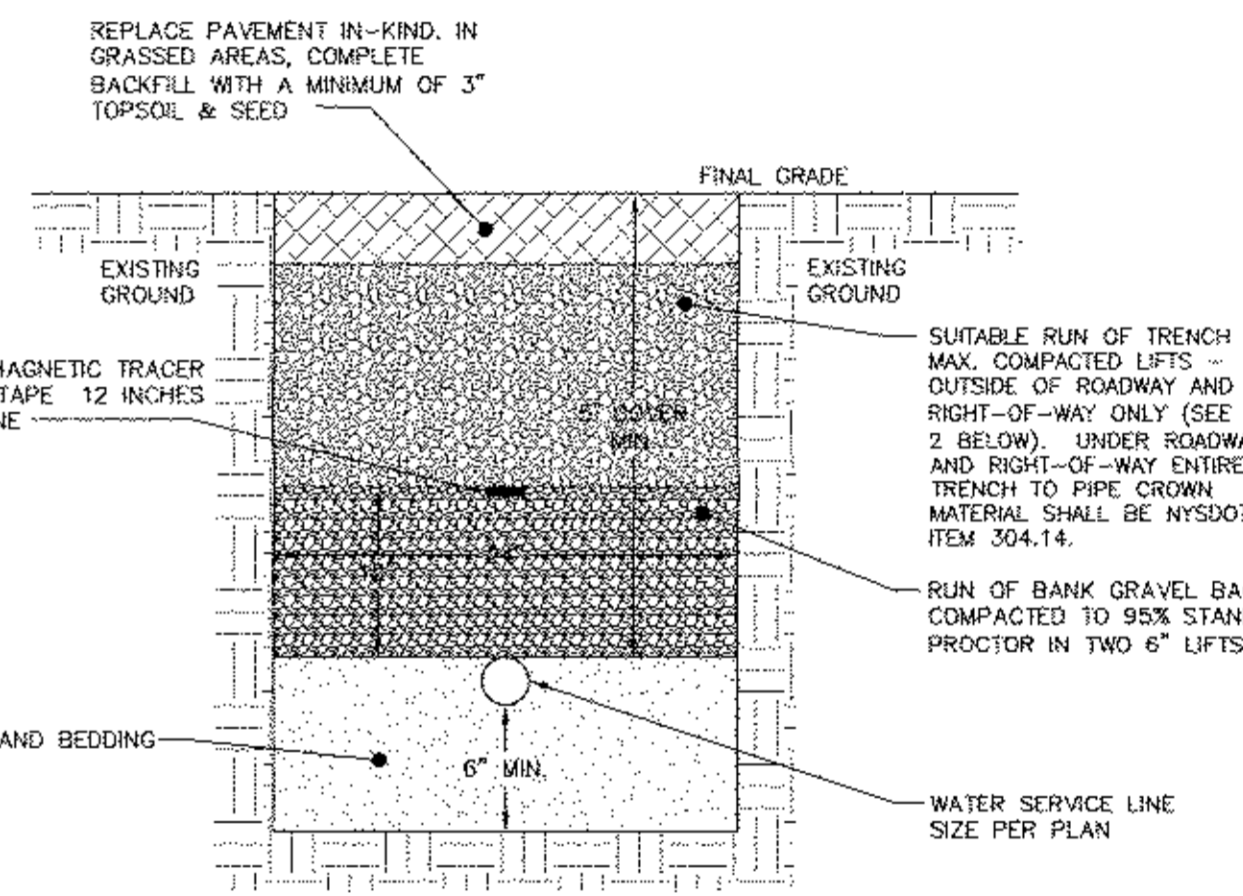
CLEANOUT DETAIL
NOT TO SCALE



- NOTES:**
1. SUBMERSIBLE PUMP AND PRE-CHARGED HYDRO-PNEUMATIC TANK SHALL BE PROVIDED. PRESSURE TANK DRAW DOWN SHOULD NOT BE LESS THAN 20 GALLONS FOR A PRESSURE RANGE OF 30 TO 50 PSI. PUMP DISCHARGE CAPACITY SHOULD NOT EXCEED THE DEPENDABLE YIELD OF THE WELL AT THE HIGH END OF THE PRESSURE RANGE.
 2. THE DRILLED WELL SHALL BE COMPLETED WITH A DEPENDABLE YIELD OF NOT LESS THAN 5 GPM. PROVIDE WATER TREATMENT AS REQUIRED.
 3. UPON COMPLETION OF CONSTRUCTION, DISINFECT WITH CHLORINE SOLUTION, IN ACCORDANCE WITH AWWA STANDARD C654.
 4. THE WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPENDIX 5B OF THE NEW YORK STATE SANITARY CODE.

WELL DETAIL
NOT TO SCALE

DRAWN BY: MAB	CHECKED BY: JDB	JOB NO.: 2014-005	
REVISIONS:			
NO.	DATE	DESCRIPTION	BY



- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENDOATED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE

WELL AND SDS DETAILS
POND VIEW

921-965 NYS ROUTE 32
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 10-1-50
SCALE: 1" = 50'
JULY 31, 2014



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716