



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: SUMMIT LANE EXPANSION
PROJECT NO.: 15-18
PROJECT LOCATION: SECTION 97, BLOCK 1, LOTS 47 & 48
REVIEW DATE: AUGUST 2015
MEETING DATE: 20 AUGUST 2015
PROJECT REPRESENTATIVE: JMC CONSULTING

1. Referral to the Zoning Board of Appeals for the existing single family residence is required. Front yard setback is not met. In addition, the Applicants are requesting a referral to utilize the existing structure on the site as a storage facility for residents of the project which will also require a use variance.
2. Emergency access roads are depicted on the site less than 20 foot width. This should be evaluated by Gerry Canfield's office.
3. A City of Newburgh Flow Acceptance letter is required for the additional flow from the project.
4. A Storm Water Management Report and SWPPP have been submitted and is under review by this office.
5. Referral to Orange County Planning is required.
6. Grading for new access drive appears to show curbing. Exact location of all curbing on site should be depicted. Layout plan appears to show curbing throughout the site.
7. Water flow and pressure calculations should be provided to identify the adequacy of the 6 inch water main proposed. Health Department review of the water main extension may be required.
8. Suggest modifying Water Main Plan to locate valve for hydrant on opposite side of 4 inch water connection for the northerly most building as currently layout would require terminating water supply to the building to address any issues with the hydrant.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

GERALD N. JACOBOWITZ
DAVID B. GUBITS
PETER R. ERIKSEN
HOWARD PROTTER
DONALD G. NICHOL
LARRY WOLINSKY
J. BENJAMIN GAILEY
MARK A. KROHN*
JOHN C. CAPPELLO
GEORGE W. LITHCO
MICHELE L. BABCOCK
MICHAEL L. FOX
*LL.M. IN TAXATION

JACOBOWITZ AND GUBITS, LLP

COUNSELORS AT LAW

158 ORANGE AVENUE
POST OFFICE BOX 367
WALDEN, NEW YORK 12586-0367 *

(845) 778-2121 (845) 778-5173 FAX

Writer's Email: jcc@jacobowitz.com

SANFORD R. ALTMAN
GARY M. SCHUSTER
WILLIAM E. DUQUETTE
KARA J. CAVALLO
MARCIA A. JACOBOWITZ
F. BRYAN PAZ
ANDREA L. DUMAIS
ANTOINETTE M. CARUSO
JASON C. SCOTT
ALANNA C. IACONO
JENNIFER S. ECHEVARRIA
KELLY A. PRESSLER

JOHN H. THOMAS JR.**
CARMEE G. MURPHY**
**OF COUNSEL

July 24, 2015

Hon. John Ewasutyn and Planning Board Members
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Summit Lane at Newburgh Expansion Stewart Road
Newburgh Planning Board Project #15-18
Tax Map ID Section 97, Block 1, Lots 47 and 48
Our File No. 11247-003

Dear Chairman Ewasutyn and Planning Board Members:

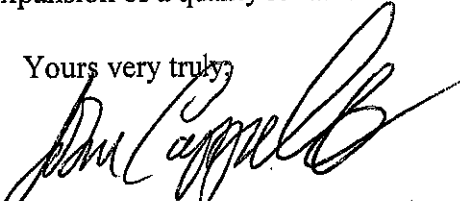
Enclosed please find thirteen (13) sets of the following documents constituting the application of DRA Fidelco, Newburgh, LLC, for approval of a 29 unit rental community with an accessory storage facility for the sole use of the tenants of the rental community, to be located off of Stewart Avenue adjacent to the existing 160 unit Summit Lane at Newburgh rental community:

1. Completed application for site plan and lot line consolidation;
2. Project narrative;
3. Site Plan entitled "Preliminary Site Plans for Summit Lane at Newburgh Expansion, Stewart Avenue, Town of Newburgh, New York" prepared by John Meyer Consulting, dated 7/24/15 consisting of thirteen (13) pages;
4. Stormwater Pollution Prevention Plan (two copies), dated 7/24/15;
5. Completed checklist for site plan;
6. Completed Full EAF Part 1;
7. Executed fee acknowledgment;
8. Checks in the amount of:
 - a. \$11,700 constituting the site plan lot line consolidation and public hearing fee calculated as follows:
 1. Lot line consolidation fee \$550;
 2. Site plan application \$4,000 plus \$250 per unit per 28 units (\$7,000) total \$11,000; and
 3. Public hearing fee \$150.
 - b. \$9,000 representing the \$2,000 long form EAF fee and \$7,000 escrow fee calculated based on \$250 per unit.

9. Executed proxy form;
10. Executed Planning Board disclaimer statement;
11. Executed disclosure addendum statement; and
12. List of property owners within 500 feet of property will be submitted under separate cover.

I respectfully request that the Planning Board place this on its August 20, 2015 meeting agenda to begin discussion of what we believe will be an expansion of a quality rental community.

Yours very truly,



John C. Cappello

JCC/mp
Enclosures

cc: Michael Donnelly, Esq. - *w/enclosures (sent directly by JMC via overnight mail)*
Ken Werstead, PE - *w/enclosures (sent directly by JMC via overnight mail)*
Mr. Pat Hines - *w/two copies of enclosures (sent directly by JMC via overnight mail), additional copy provided for circulation to Orange County Planning Department*
Mr. Nicholas Minoia
Joseph Sarchino, PE

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Summit Lane at Newburgh Expansion _____

2. Owner of Lands to be reviewed:
Name DRA Fidelco Newburgh, LLC
Address 47 River Road
Summit, NJ 07901
Phone (908) 273-2400

3. Applicant Information (If different than owner):
Name _____
Address _____

Representative Nicholas W. Minoia
Phone (908) 273-2400
Fax _____
Email Nminoia@diversifiedra.com

4. Subdivision/Site Plan prepared by:
Name JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC
Address 120 Bedford Road
Armonk, NY 10504

Phone/Fax (914) 273-5225

5. Location of lands to be reviewed:
Stewart Avenue

6. Zone R-3 **Fire District** Winona Lake
Acres 31.62 **School District** Newburgh Inaugural School District

7. Tax Map: Section 97 **Block** 1 **Lot** 47 and 48

8. Project Description and Purpose of Review:

Number of existing lots _____ Number of proposed lots _____

Lot line change _____

Site plan review To locate 29 rental apartments between two new buildings and one existing family house

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

DRA Fidelity Newburgh, LLC

Signature 

Title Managing Member

By: Nicholas W. Minoia

Date: 7-20-15

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

Project Narrative
Summit Lane at Newburgh Expansion

The Summit Lane at Newburgh Expansion is located on a \pm 4.95 acre site on the east side of Stewart Avenue, adjoining the existing 160 unit Summit Lane at Newburgh rental community.

The expansion will consist of the development of two buildings, each containing eight two bedroom and six one bedroom apartments for a total of twenty-eight rental units. There is an existing single family home that will be the twenty-ninth rental unit.

The expansion will also include the demolition of an existing barn structure that was most recently leased by a landscaping business and used for storage, and the adaptive reuse of the Newburgh Jewish Community Center (JCC) community meeting rooms. The applicant intends to convert the JCC community building to provide opportunities for tenants of the rental community to rent additional space for personal storage needs and the existing barn/storage building will be demolished. The applicant has been directed by the Code Enforcement Officer to pursue a special permit from the Zoning Board of Appeals to convert the existing nonconforming use (JCC community building and storage barn) to a more conforming personal storage use in the JCC community building limited solely for use of occupants of the rental community.

The property consists of two parcels formerly owned by the Newburgh Jewish Community Center, Inc. These two parcels totaling 4.95 acres were recently purchased with the intent to consolidate with the existing 26.67 acre parcel containing the 160 unit Summit Lane development. The resulting rental community will therefore be 189 units on \pm 31.66 acres.

The expansion will utilize the same access road as the existing development and tenants of the expansion will also share the amenities constructed for the Summit Lane expansion. The expansion will connect into the same water and sewer lines servicing the existing community. Additional stormwater detention facilities will be constructed to handle the stormwater from the new buildings.

TOWN OF NEWBURGH PLANNING BOARD

Summit Lane at Newburgh Expansion

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

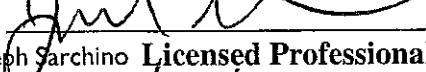
1. Name and address of applicant
 2. Name and address of owner (if different from applicant)
 3. Subdivision or Site Plan and Location
 4. Tax Map Data (Section-Block-Lot)
 5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
 6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
 7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
-
8. Date of plan preparation and/or plan revisions
 9. Scale the plan is drawn to (Max 1" = 100')
 10. North Arrow pointing generally up

11. TBP Surveyor,s Certification
 12. TBP Surveyor's seal and signature
 13. X Name of adjoining owners
 14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
 15. N/A Flood plain boundaries
 16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
 17. X Metes and bounds of all lots
 18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
 19. X Show existing or proposed easements (note restrictions)
 20. X Right-of-way width and Rights of Access and Utility Placement
 21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
 22. X Lot area (in sq. ft. for each lot less than 2 acres)
 23. N/A Number of lots including residual lot
 24. X Show any existing waterways
 25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
 26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature
 27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
-
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
 29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. X If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

JMC Planning Engineering Landscape Architecture &
Land Surveying, PLLC

By: 
Joseph Sarchino Licensed Professional

Date: 7/24/15

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: SUMMIT LANE AT NEWBURGH EXPANSION		
Project Location (describe, and attach a general location map): STEWART AVENURE		
Brief Description of Proposed Action (include purpose or need): THIS RESIDENTIAL PROJECT PROPOSES 29 RENTAL APARTMENTS BETWEEN 2 NEW BUILDINGS AND ONE EXISTING FAMILY HOUSE. THE NEW BUILDINGS ARE 14 UNIT BUILDING WITH 10 GARAGE PARKING SPACES. THE 14 UNIT BUILDING HAD EIGHT 2-BEDROOM AND SIX 1-BEDROOM APARTMENTS.		
Name of Applicant/Sponsor: NICHOLAS W. MINOIA	Telephone: (908) 273-2400	E-Mail: NMINOIA@DIVERSIFIEDRA.COM
Address: 47 RIVER ROAD, SUITE 200		
City/PO: SUMMIT	State: NJ	Zip Code: 07901
Project Contact (if not same as sponsor; give name and title/role): JOSEPH SARCHINO	Telephone: (914) 273-5225	E-Mail: JSARCHINO@jmcpllc.com
Address: 120 Bedford Road		
City/PO: Armonk	State: NY	Zip Code: 10504
Property Owner (if not same as sponsor): SAME	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Plan Approval	06/22/2015
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Town Sewer Dept. Building Department	Flow Acceptance Letter; Sanitary Main Extension & Connection Signage Permit; Building Permit	Flow ltr. recv'd 3/5/2015 TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Health Dept.	Gen. Mun. Law §239-1.0,n referral Water Main Extension & Connection, Internal Sprinkler System	TBD TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No NYSDEC	SPDES General Permit GP-0-15-002	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R-3 Residence District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? N/A

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Enlarged School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Dept.

c. Which fire protection and emergency medical services serve the project site?
Winona Lake Fire District

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 31.62 acres
b. Total acreage to be physically disturbed? 6.92 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 16 Units: 29

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 18-24 months
ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	N/A	N/A	N/A	29
At completion of all phases	N/A	N/A	N/A	29

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: 1,540 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Town of Newburgh Consolidated Water District
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: 1,540 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: ORANGE COUNTY TRANSFER
- Name of district: City of Newburgh
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

• Do existing sewer lines serve the project site?
 • Will line extension within an existing district be necessary to serve the project?
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: None

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 274,500 Square feet or 4.73 acres (impervious surface)
 1,377,424 Square feet or 31.62 acres (parcel size)
 ii. Describe types of new point sources. Ditches, pipes, swales, biofilters

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On-site stormwater facilities/structures
 • If to surface waters, identify receiving water bodies or wetlands: N/A

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: Typical household requirements

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Local utility

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7-7</u> • Saturday: <u>9-5</u> • Sunday: <u>None</u> • Holidays: <u>None</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24/7</u> • Saturday: <u>24/7</u> • Sunday: <u>24/7</u> • Holidays: <u>24/7</u>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Construction equipment during construction process; 7 AM-7 PM Mon.-Fri.; 9 AM-5 PM Saturday

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Low level residential lighting. On-site roadways and walkways will be lit with sharp cut off fixtures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products (185 gallons in above ground storage or any amount in underground storage)? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	6.65	8.15	+1.50
• Forested	9.20	7.44	-1.76
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.57	x.x	-x.x
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0.50	0.50	0
• Other Describe: <u>Landscaping & Lawn</u>	9.84	X.X	+X.X

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? Greater than 6.5 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: PtB PITTSFIELD GRAVELY LOAM _____ %
PtC PITTSFIELD GRAVELY LOAM _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: 0-10+ feet

e. Drainage status of project site soils: Well Drained: 60 % of site
 Moderately Well Drained: 30 % of site
 Poorly Drained: 10 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: xx % of site
 10-15%: xx % of site
 15% or greater: xx % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name UNNAMED Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: <u>Typical suburban species</u> _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within 5 miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.
 If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

JMC Planning Engineering Landscape Architecture

Applicant/Sponsor Name JMC Planning Engineering Landscape Architecture & Land Surveying PLLC, Agent Date 7/24/2015

Signature  Title Project Manager
 Robert B. Peake, AICP

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

DRA Fidelco Newburgh, LLC

By: Nicholas W. Minoia, Managing Member

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

6-19-15

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Nicholas W. Minoia, **DEPOSES AND SAYS THAT HE/SHE** is Managing Member of
DRA Fidelco Newburgh, LLC which has an office at
RESIDES AT 47 River Road, Suite 200, Summit, NJ 07901

IN THE COUNTY OF Union

AND STATE OF New Jersey

Managing Member of DRA Fidelco of Newburgh LLC

AND THAT HE/SHE IS ~~THE~~ OWNER IN FEE OF _____

Summit Lane at Newburgh Extension

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND Jacobowitz and Gubitz, LLP **IS AUTHORIZED**

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 6-19-15

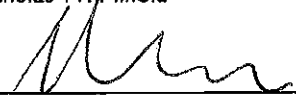


OWNERS SIGNATURE

JMC Planning Engineering Landscape Architecture &
Land Surveying, PLLC

DRA Fidelco Newburgh, LLC

OWNERS NAME (printed)
by: Nicholas W. Minoia



WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

MICHAEL BLUM

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.


The applicant hereby acknowledges, consents, and agrees to the above.

6-19-15

DATED

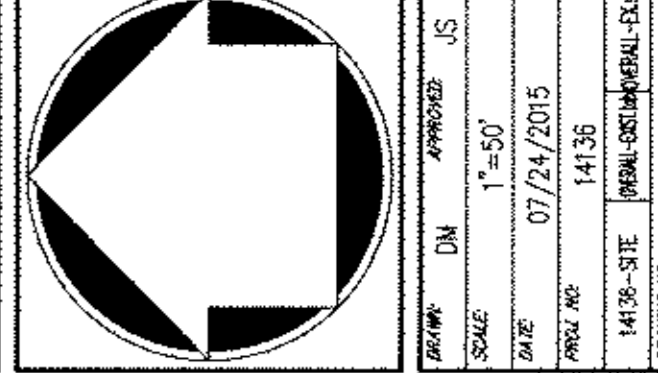
DRA Fidelco Newburgh, LLC

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

By: Nicholas W. Minoia, Managing Member



OVERALL SITE EXPANSION PLAN
SUMMIT LANE AT NEWBURGH EXPANSION

STEWART AVENUE
TOWN OF NEWBURGH, NEW YORK



JMC Planning & Land Engineering, LLC
120 BEGFORD ROAD - AMHOWNK, NY 10904
voice 914.273.5225 • fax 914.273.2102
John Meyer Consulting, Inc.

DRA FIDELCO NEWBURGH, LLC
THOMAS J. BRENNAN, ARCHITECTS
4011 PLAN PARKWAY - SUITE 100
PLAINFIELD, TEXAS

Revision table with columns for NO., REVISION, and DATE.

Legend table listing symbols for various site features such as existing property lines, utility lines, and proposed structures.

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY ENTITLED, 'UPDATED OF AN ALTA/ACSM LAND TITLE SURVEY...', BY ENGINEERING COMPANY OF NEWBURGH, NEW YORK, DATED NOVEMBER 2011, AND MARCH/JUNE 2012.
2. SETBACKS, PARCELS, ETC. OF LOTS ARE SHOWN AS TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, 'SOILS AND FOUNDATION INVESTIGATION REPORT', DATED JUNE, 28, 2012, PREPARED BY MELDOR-JULLY AND ASSOCIATES, P.C.



LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GRADE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING HANDICAPPED PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	BORING LOCATION AND DESIGNATION

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY ENTITLED, "UPGRADED AN ALTA/ACSM LAND TITLE SURVEY, PLANNING, ENGINEERING & SURVEYING (PE&S) NOVEMBER 2011 AND MARCH/JUNE 2012."
- GEOTECHNICAL BORING TEST RESULTS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "SOILS AND FOUNDATION INVESTIGATION REPORT", DATED JUNE, 28/2012, PREPARED BY WELCH-TULLY AND ASSOCIATES, P.C.



LEGEND

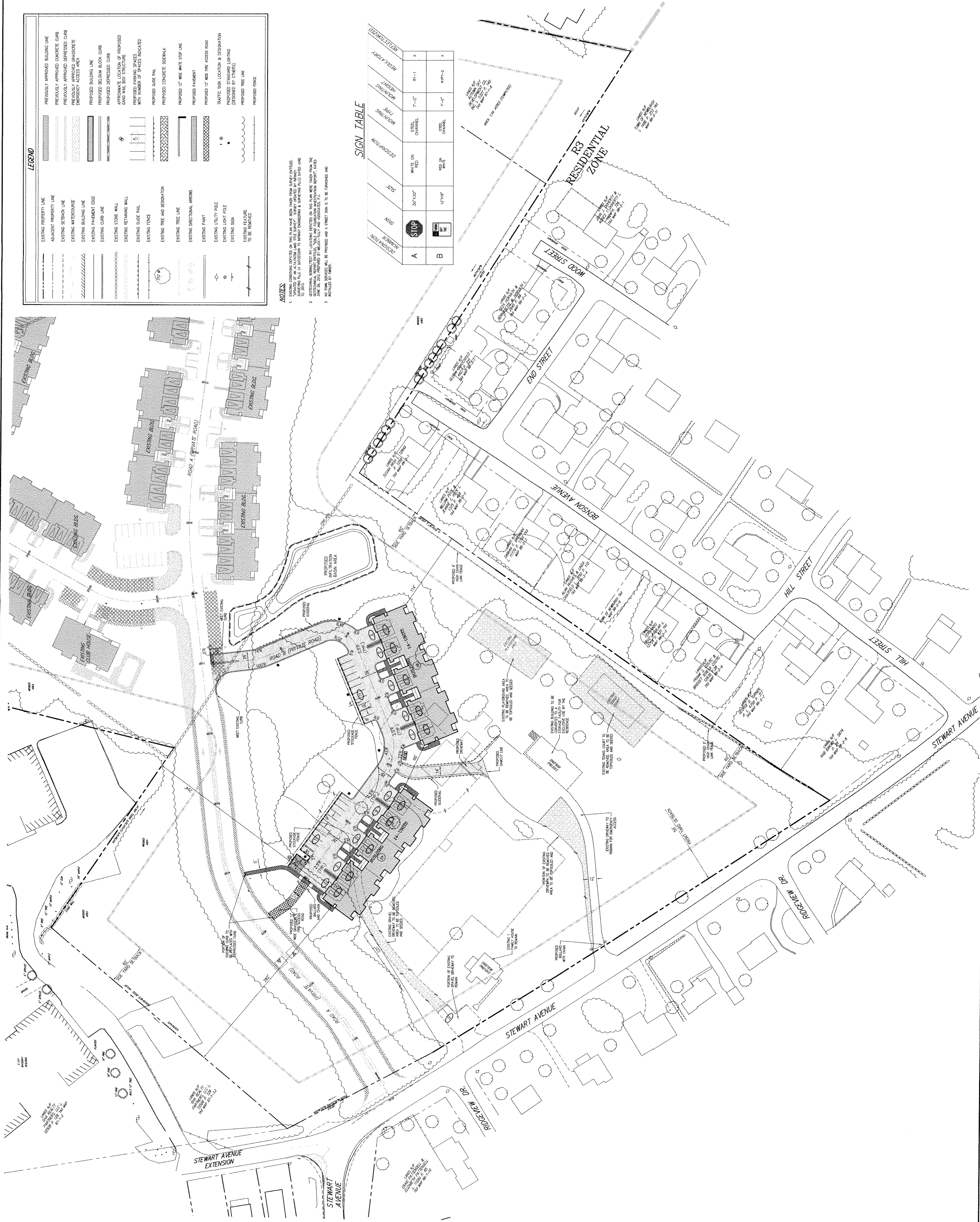
	EXISTING PROPERTY LINE		PREVIOUSLY APPROVED BUILDING LINE
	ADJACENT PROPERTY LINE		PREVIOUSLY APPROVED CONCRETE CURB
	EXISTING SETBACK LINE		PREVIOUSLY APPROVED DEPRESSED CURB
	EXISTING WATERCOURSE		PREVIOUSLY APPROVED GRASSY AREA
	EXISTING BUILDING LINE		EMERGENCY ACCESS AREA
	EXISTING PAVEMENT EDGE		PROPOSED BUILDING LINE
	EXISTING CURB LINE		PROPOSED BELGUM BLOCK CURB
	EXISTING STONE WALL		PROPOSED DEPRESSED CURB
	EXISTING RETAINING WALL		APPROXIMATE LOCATION OF PROPOSED GANG MAIL BOX STRUCTURE
	EXISTING GUIDE RAIL		PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	EXISTING FENCE		PROPOSED DUNE RAIL
	EXISTING TREE AND DESIGNATION		PROPOSED CONCRETE SIDEWALK
	EXISTING TREE LINE		PROPOSED 12" WIDE WHITE STOP LINE
	EXISTING DIRECTIONAL ARROWS		PROPOSED PAVEMENT
	EXISTING PAINT		PROPOSED 12" WIDE FIRE ACCESS ROAD
	EXISTING UTILITY POLE		TRAFFIC SIGN LOCATION & DESIGNATION
	EXISTING LIGHT POLE		PROPOSED STANDARD LIGHTING (DESIGNATED BY OTHERS)
	EXISTING SIGN		PROPOSED TREE LINE
	EXISTING FEATURE TO BE REMOVED		PROPOSED FENCE

NOTES

- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SPACED DOTTED, SHOWN IN FULL, A, ACCESSION TO MINUTE DIMENSIONS & MARKING PLAT DATED JUNE 28, 2011.
- EXISTING CONDITIONS NOT SHOWN ON THIS PLAN ARE TO BE TAKEN FROM THE GEOTECHNICAL REPORT DATED JUNE 28, 2011 AND THE CIVIL ENGINEERING REPORT DATED JUNE 28, 2011 PREPARED BY MCDONALD AND ASSOCIATES, P.C.
- ALL UTILITIES SHOWN ON THIS PLAN SHALL BE PROTECTED AND A STREET SIGN IS TO BE FURNISHED AND INSTALLED BY OWNER.

SIGN TABLE

DESIGNATION	SIZE	TEXT	INSTALLATION	REMARKS
A	30" x 30"	STOP	WHITE ON RED	STOP SIGN
B	12" x 18"	NO PARKING	WHITE ON RED	NO PARKING SIGN

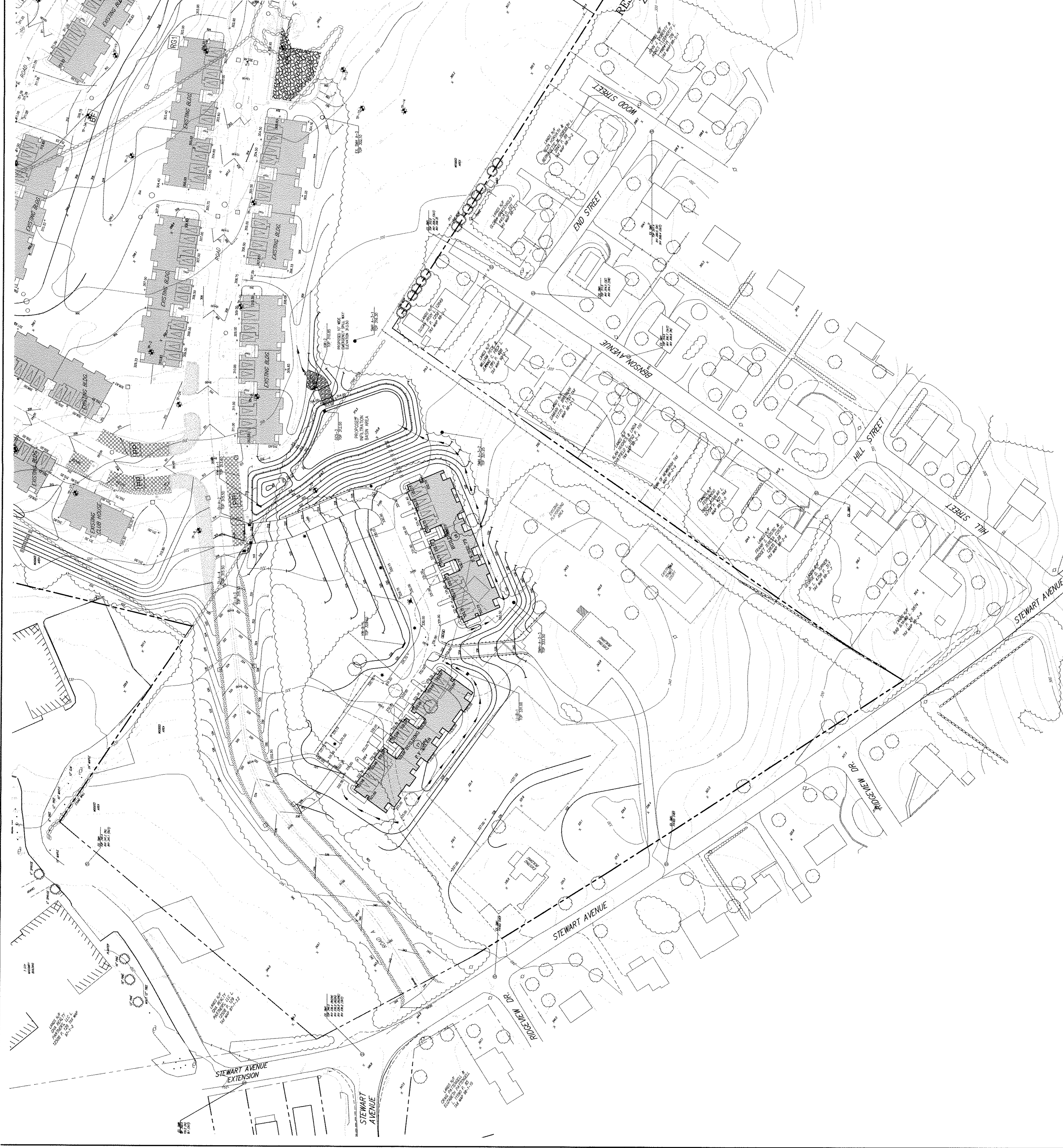


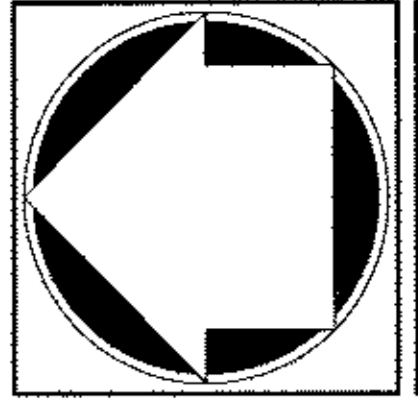
LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING LINE
- EXISTING FENCE LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RRP-RAP (MEDIUM STONE)
- PROPOSED RRP-RAP
- PROPOSED DITCH OR SWALE
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- TEST PIT

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY ENTITLED "UPDATES OF AN ALTA/ASIM LAND TITLE SURVEY OF THE SUMMIT LANE AT NEWBURGH EXPANSION" DATED NOVEMBER 2011 AND MARCH/AUGUST 2012, PREPARED BY WELDON-TULLY AND ASSOCIATES, P.C.
- SECTIONAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "SOILS AND FOUNDATION INVESTIGATION REPORT" DATED JUNE 29, 2012, PREPARED BY WELDON-TULLY AND ASSOCIATES, P.C.





EROSION & SEDIMENT CONTROL PLAN
SUMMIT LANE AT NEWBURGH EXPANSION
STEWART AVENUE
TOWN OF NEWBURGH, NEW YORK

JMC
SITE DEVELOPMENT CONSULTANTS
www.jmcc.com
120 BEDFORD ROAD - RAMONK, NY 10904
914.273.2225 • Fax 914.273.2192

John Meyer Consulting, Inc.
JMC Site Development Consultants, LLC
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC

DRA FIDELCO NEWBURGH, LLC
47 RIVER ROAD
SUMMIT, NJ 07901

THOMAS J. BRANNAN, ARCHITECTS
4011 PLAN PARKWAY - SUITE 100
PLANO, TEXAS

NO.	DATE	BY



- SEQUENCE OF CONSTRUCTION**
1. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 2. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 3. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 4. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 5. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 6. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 7. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 8. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 9. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 10. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 11. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.
 12. SHALL BE THE ORDER OF CONSTRUCTION AS SHOWN ON THE PLAN.

- NOTES**
1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 11. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 12. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- LEGEND**
- PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PROPOSED SILT DAM
 - PROPOSED STABILIZER
 - PROPOSED STONE CHECK DAM
 - PROPOSED SILT SAC
 - TEMPORARY SEDIMENT BASIN
 - TEMPORARY DIVERSION SHALE
 - TEMPORARY SILT SACK

NOT FOR CONSTRUCTION

NO.	REVISION	DATE	BY

DR A FIDELCO NEWBURGH, LLC
 47 WEAVER ROAD
 SUITE 101
 SHARPTON, NY 11790

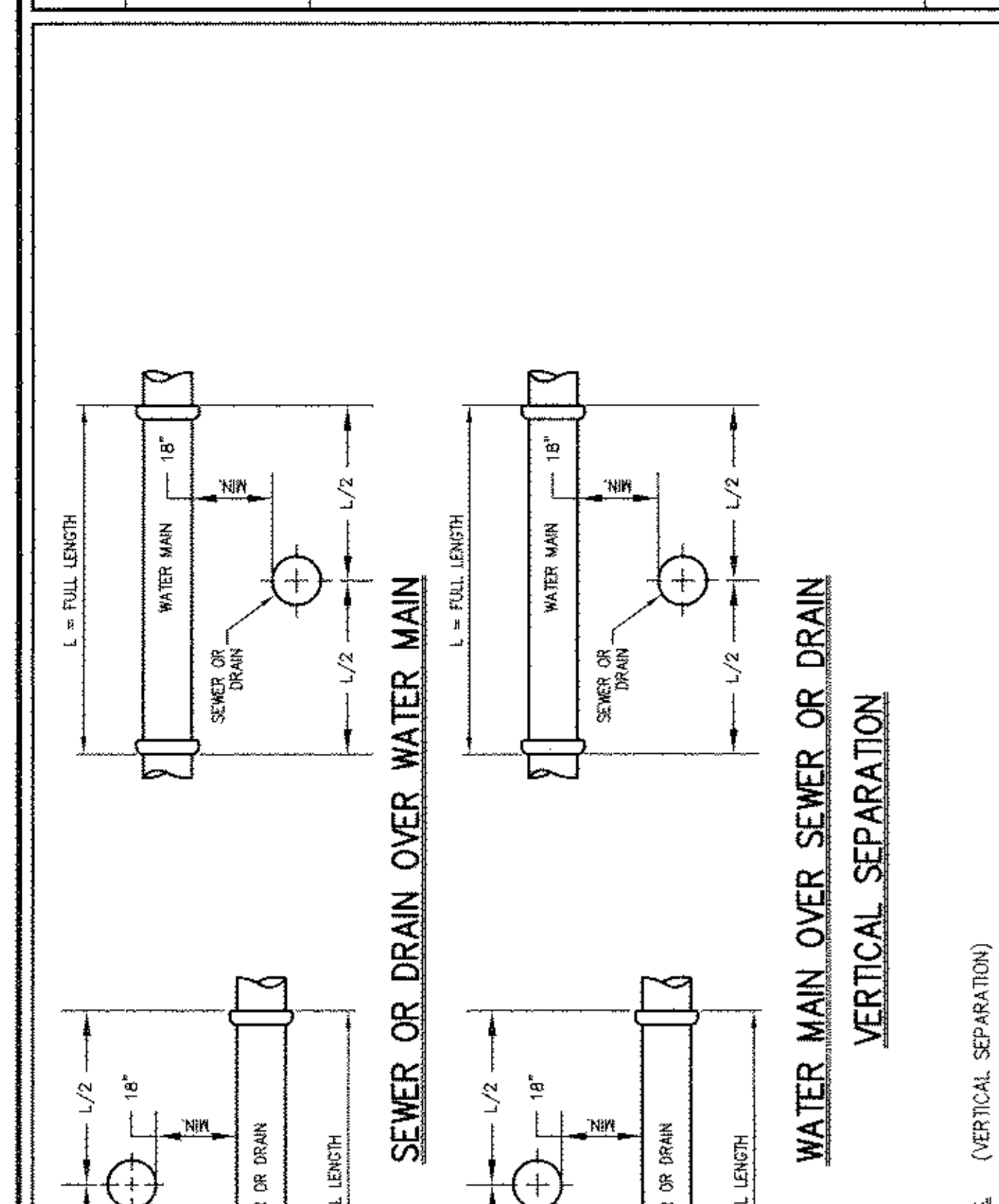
THOMAS J. BRENNAN - ARCHITECTS
 4011 PLAIN PARKWAY - SUITE 100
 PLAINFIELD, TEXAS 75074

www.tjbc.com

JMC
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
 JMC Site Development Consultants, LLC
 JMC Major Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 914.738.5225 - FAX 914.738.2102
 www.jmcplc.com

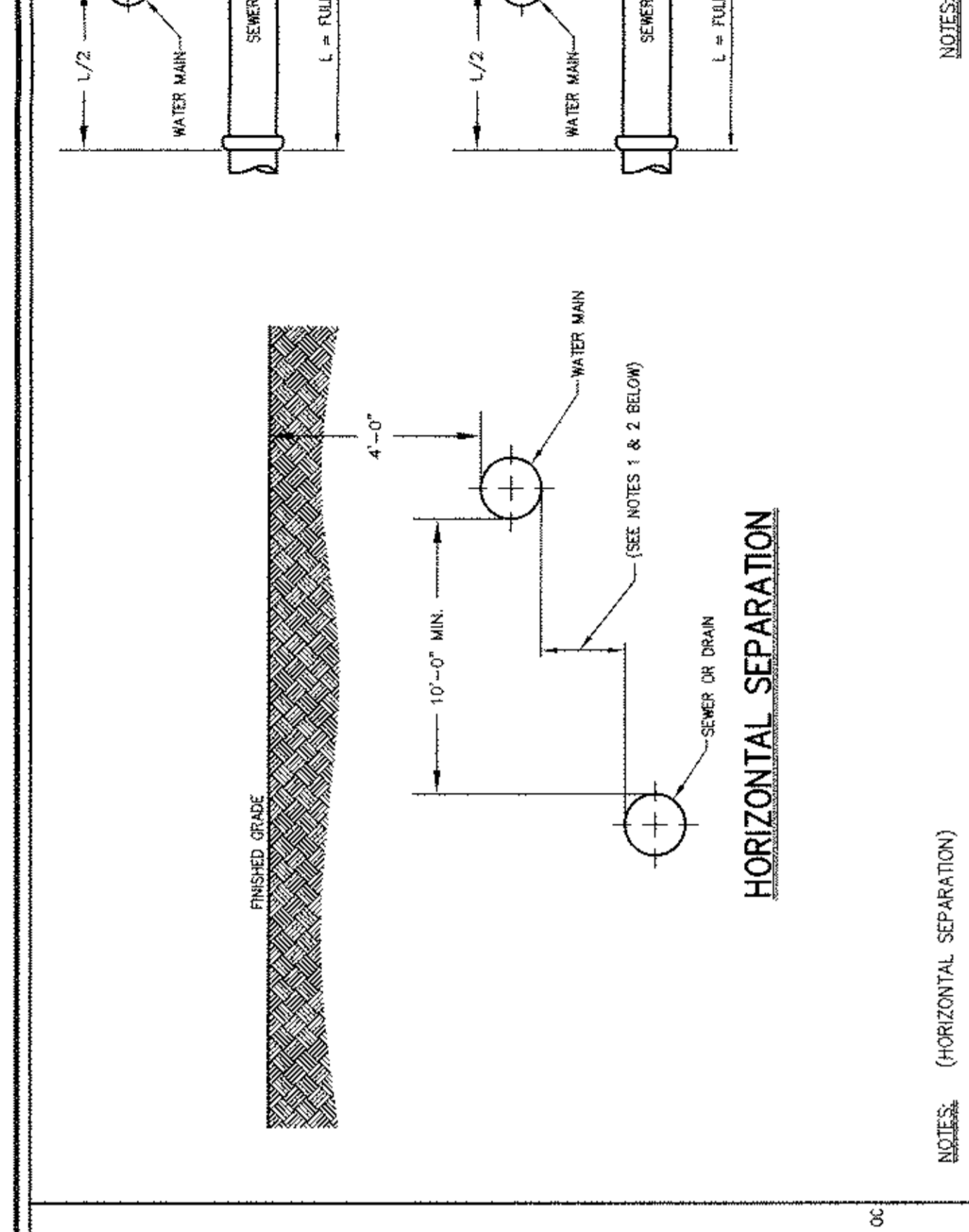
SUMMIT LANE AT NEWBURGH EXPANSION
 TOWN OF NEWBURGH, NEW YORK
 CONSTRUCTION DETAILS

PROJECT NO.	DATE	SCALE



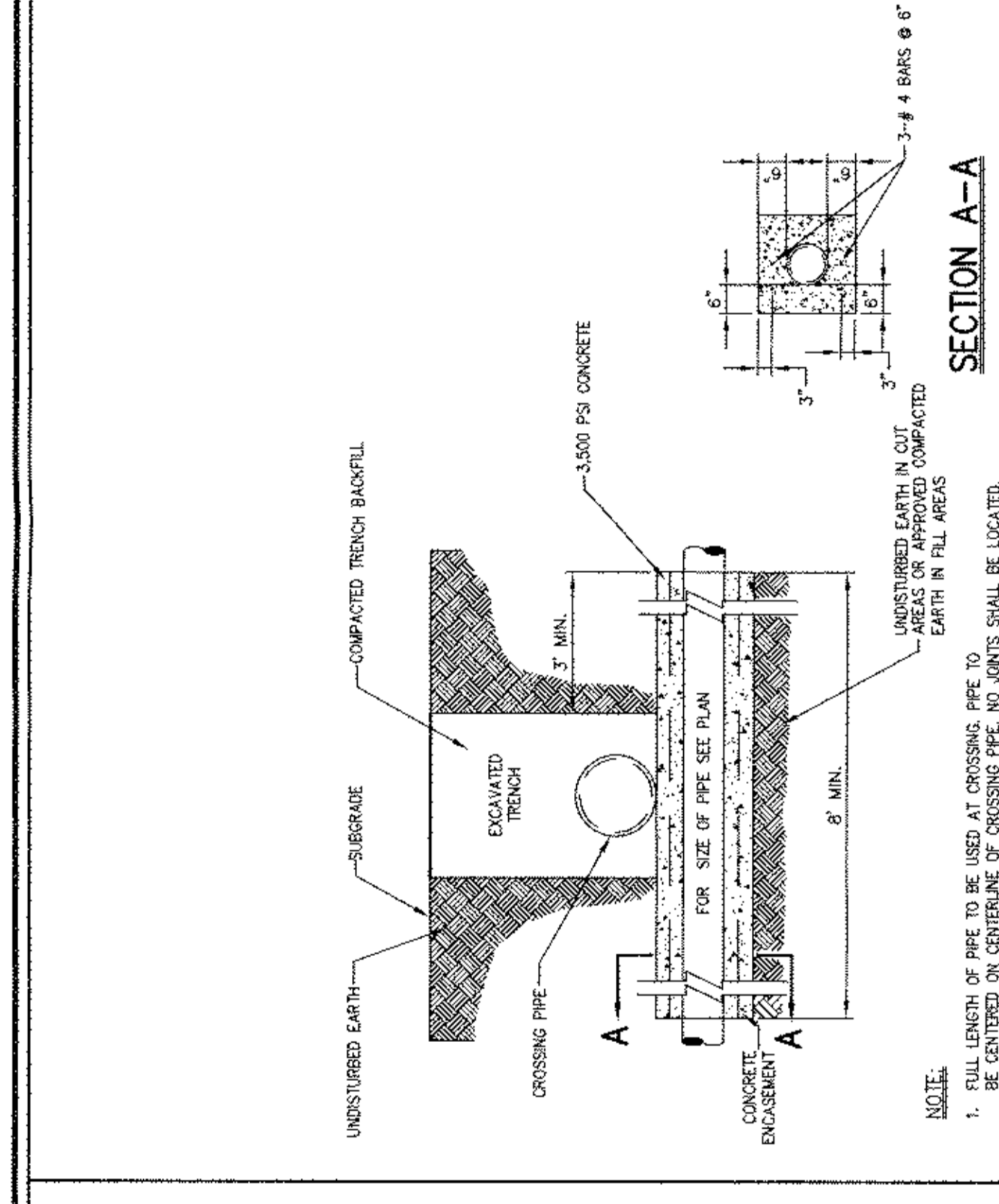
NOTES: (VERTICAL SEPARATION)

- MINIMUM CLEARANCE FROM ANY OVERHEAD POWER LINE SHALL BE MAINTAINED.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE SIDE OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE END OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.



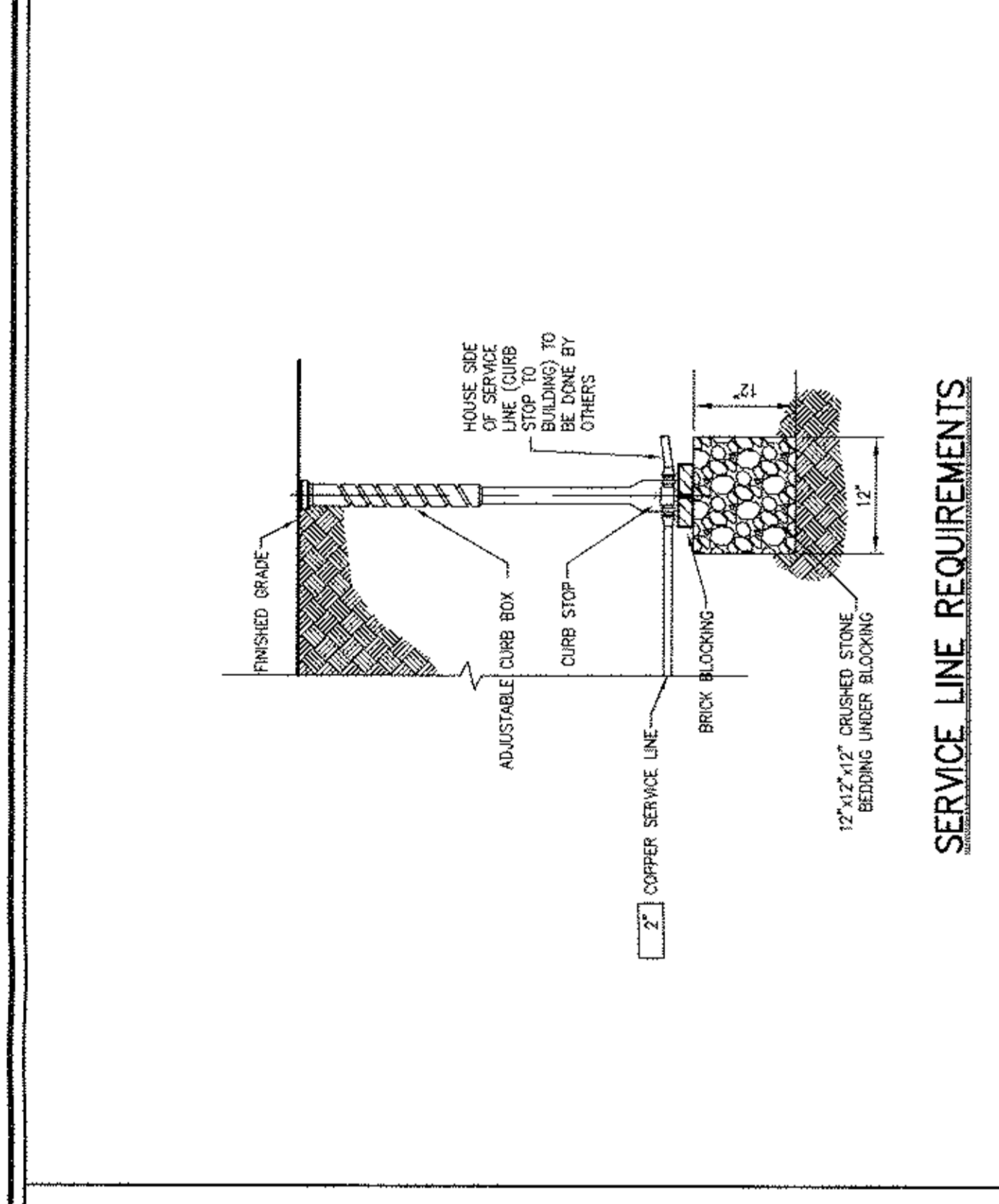
NOTES: (HORIZONTAL SEPARATION)

- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.
- SEWER OR DRAIN SHALL BE INSTALLED AT LEAST 18 INCHES FROM THE CENTER OF THE WATER MAIN.



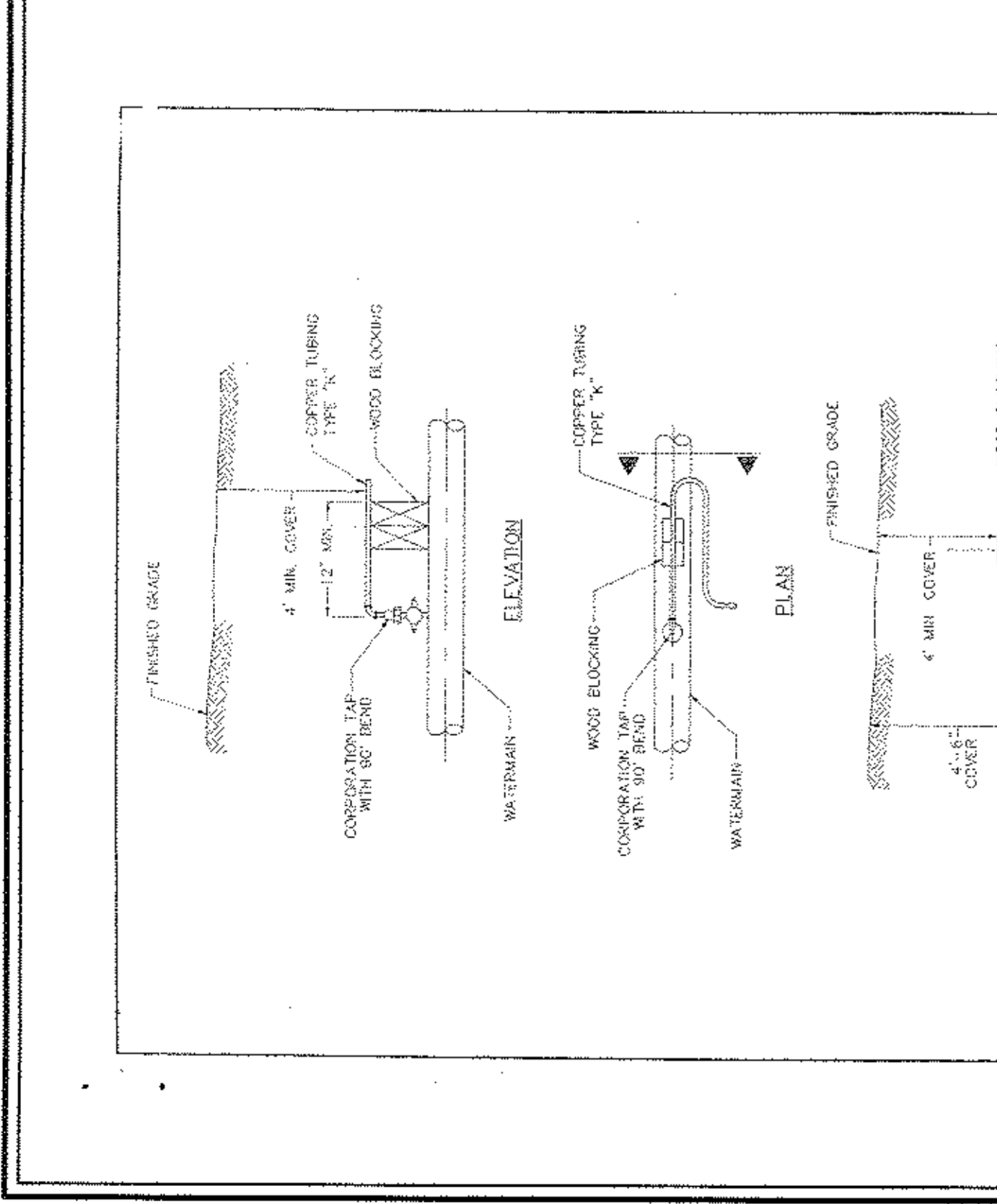
NOTES:

- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.
- CONCRETE SHALL BE 4000 PSI.



NOTES:

- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.
- CONNECTION SHALL BE MADE AT THE WATER MAIN.



NOTES:

- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.
- GATE VALVE SHALL BE SERIES 2300 AS MANUFACTURED BY MUELLER CO.

