



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: 609 INTERNATIONAL BLVD.
PROJECT NO.: 25-04
PROJECT LOCATION: SECTION 89, BLOCK 1, LOT 11.3
REVIEW DATE: 29 JANUARY 2025
MEETING DATE: 6 FEBRUARY 2025
PROJECT REPRESENTATIVE: ARDEN CONSULTING ENGINEERS, PLLC

1. Adjoiners Notices must be sent out after this meeting.
2. The project proposes a 5,000 square foot motor vehicle repair facility 3.2 +/- acre parcel of property located off NYS Route 747 International Blvd. The title for Drury Lane should be removed as Drury Lane exists in its original location east of the project site.
3. The project is located at the Town of Montgomery, Town of Newburgh line. Orange County Planning review for that reason, as well as state highway is required. Town of Montgomery will be notified prior to the Public Hearing.
4. NYSDEC Wetland Validation Stamp should be added to the plans with appropriate DEC signatures confirming the location of the wetlands.
5. Notes should be added to the plans for demolition permit prior to removal of the existing structure.
6. Based on the size of the structure a fire suppression sprinkler system will be required.
7. NYSDOT approval for the access drive is required.
8. Project is subject to ARB approval.
9. Town of Newburgh design guidelines restrict parking in front of structure. Mitigation measures are often reviewed by Planning Board. Walls or similar landscaping features were reviewed in the past. Signage should be addressed on the plans.
10. Limits of disturbance should be depicted on the plans with calculations supporting disturbance amount. Currently the EAF identifies limits of disturbance at .61 acres.
11. The EAF identifies the project site in close proximity to a historic structure. Office of Parks, Recreation and Historic Preservation will be included in the lead agency circulation.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

12. All items in the bulk table should be completed.
13. All items within 185-28 Motor Vehicle Service Stations, Car Washes and Rental Agencies items A through K should be identified on the plans.
14. Confirmation of the number of employees for basis of the sanitary sewer design should be determined. Five truck bay repair shop is proposed only 5 employees are identified. It is unclear if the building contains office staff or other support office uses, which should be incorporated into the subsurface sanitary sewer disposal design.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal



Michael W. Weeks, P.E.
Principal

PJH/kmm

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, New York 12550**

DATE RECEIVED: _____ TOWN FILE NO: _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Site Plan Prepared for 609 International Boulevard

2. Owner of Lands to be reviewed:

Name Steven Molnar & Anna Molnar

Address 112 Caulsa Way

Crawfordville, FL 32327

Phone _____

Email _____

3. Applicant Information (If different than owner):

Name 1657 Management LLC [c/o Bob Green, Esq.]

Address 55 St. John Street

Goshen, NY 10924

Representative Arden Consulting Engineers, PLLC [Michael A. Morgante, P.E.]

Phone 845-782-8114

Email mam@ardenconsulting.net

4. Subdivision/Site Plan prepared by:

Name Arden Consulting Engineers, PLLC [Michael A. Morgante, P.E.]

Address PO Box 340, Monroe, NY 10949

Phone 845-782-8114

Email mam@ardenconsulting.net

5. Location of lands to be reviewed:

609 International Boulevard, Rock Tavern, NY 12575

6. Zone IB

Fire District Coldenham Fire

Acreege 3.2 ac.

School District Valley Central

7. Tax Map: Section 89 **Block** 1 **Lot** 11.3

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1

Lot line change N/A

Site plan review Proposed Fed Ex Truck Repair Facility

Clearing and grading

Other

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature:  Title Member

Print Name: Steven Brown

Date: 12/12/24

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

PROJECT NAME: Site Plan Prepared for 609 International Boulevard

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in rejection of the application.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ^{N/A} Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. Surveyor's Certification
12. Surveyor's seal and signature
13. Name of adjoining owners
14. Wetlands and buffer zones with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. ^{N/A} Flood plain boundaries
16. Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. ^{N/A} Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. ^{N/A} Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. ^{N/A} Lot area (in sq. ft. for each lot less than 2 acres)
23. ^{N/A} Number of lots including residual lot
24. Show any existing waterways
25. ^{N/A} A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. ^{N/A} Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 ft. contours on initial submission

- 30. **Compliance with the Tree Preservation Ordinance Code Section**
- 31. **Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number**
- 32. ^{N/A} **If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed**
- 33. **Number of acres to be cleared or timber harvested**
- 34. ^{TBD} **Estimated or known cubic yards of material to be excavated and removed from the site**
- 35. ^{TBD} **Estimated or known cubic yards of fill required**
- 36. ^{TBD} **The amount of grading expected or known to be required to bring the site to readiness**
- 37. ^{N/A} **Type and amount of site preparation which falls within the buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.**

- 38. ^{N/A} **Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.**

- 39. **List of property owners within 500 feet of all parcels to be developed (see attached statement).**

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: *me he*
Licensed Professional -Signature

Print Name: Michael A. Morgante, P.E.

Date: 12/10/2024

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Date Prepared: 12/10/2024

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: 1657 Management LLC [Steven Brown - Managing Member]

Name of owner on premises: Steven Molnar & Anna Molnar

Address of owner: 112 Causa Way, Crawfordville, FL 32327

Telephone number of owner: _____

Telephone number of applicant: 845-629-2223

State whether applicant is owner, lessee, agent, architect, engineer or contractor:
Lessee

Location of land on which proposed work will be done: 609 International Boulevard, Rock Tavern, NY

Section: 89 Block: 1 Lot: 11.3 Sub. Div.: N/A

Zoning District of Property: IB Size of Lot: 3.2 acres

Area of lot to be cleared or graded: 0.61 acres

Proposed completion of date: Subsequent to Site Plan Approval

EAF: Time of year limitations exist for Threatened and Endangered Species-

Identify Species & dates if applicable:

Indiana Bat - tree clearing limited from November 1 to March 31.

Name of contractor/agent, if different than owner: 1657 Management LLC [c/o Bob Green, Esq.]

Address: 55 St. John Street
Goshen, NY 10924

Telephone number: 845-629-2223

Date of Planning Board Approval: TBD (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  Date: 12/11/24

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

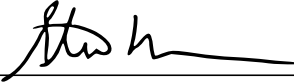
This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The Town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal, landscape consultant, traffic consultant), public hearing and site inspection.

Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Town of Newburgh Code Chapter 104-2. Planning, Zoning and Building fees, Section E(2)(e) states: If the escrow account falls below 40% of the initial deposit, the Planning Board may, if recommended by the consulting engineer, planner or attorney, require that the applicant pay additional funds into the escrow account up to 75% of the initial deposit.



APPLICANT'S SIGNATURE

1657 Management LLC [Steven Brown - Managing Member]

APPLICANT'S NAME-- PRINTED

12/12/24

DATE

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12/12/24

DATED


APPLICANT'S SIGNATURE

1657 Management LLC [Steven Brown - Managing Member]

APPLICANT'S NAME - PRINTED

AGRICULTURAL NOTE NOT APPLICABLE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots () is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

() Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT NOT APPLICABLE

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

APPLICANT'S NAME - PRINTED

DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. All signs are subject to architectural review as part of any Site Plan approval. Signage plans including size, height, color, logos and location must be included in the ARB Submission. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 12/10/2024

NAME OF PROJECT: Site Plan Prepared for 609 International Boulevard

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Height: _____

1657 Management LLC [Steven Brown - Managing Member]

Name and Title (owner, agent, builder, superintendent of job, etc.)- Printed

 _____

Applicant's Signature

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

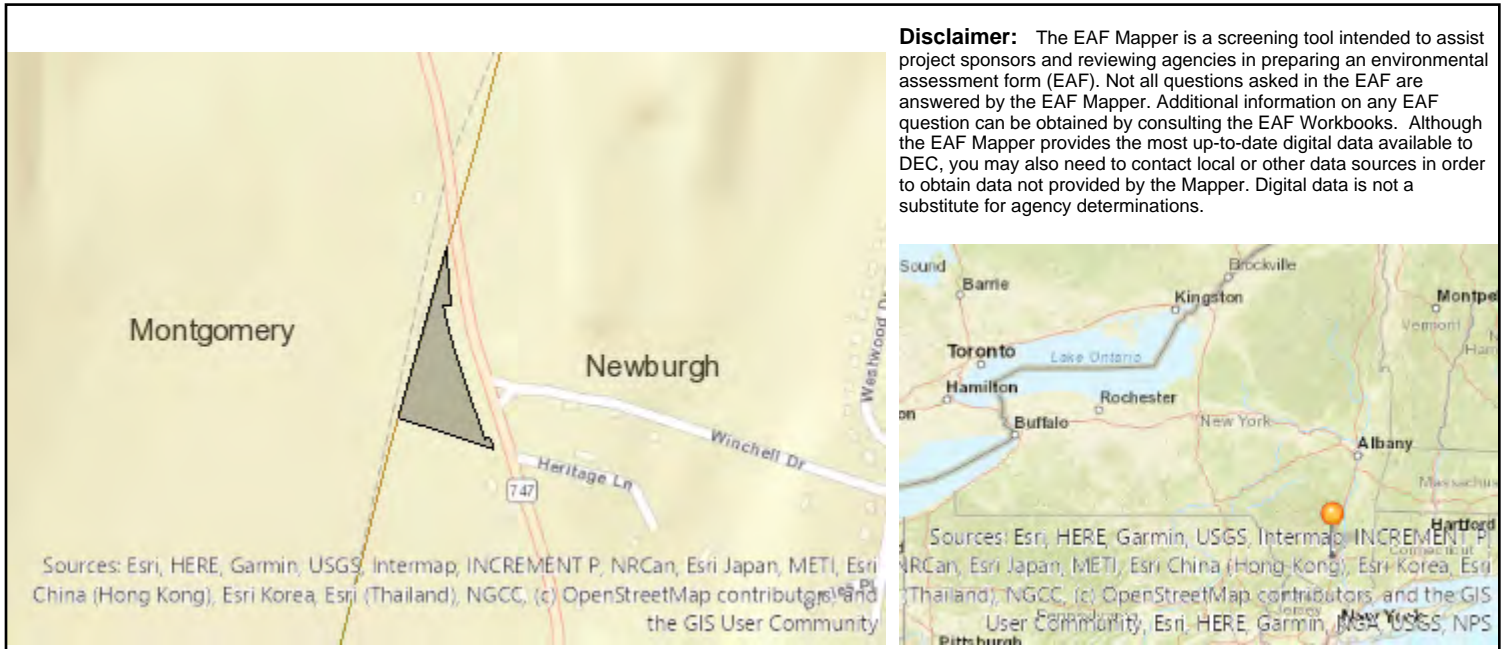
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature  _____ Title _____

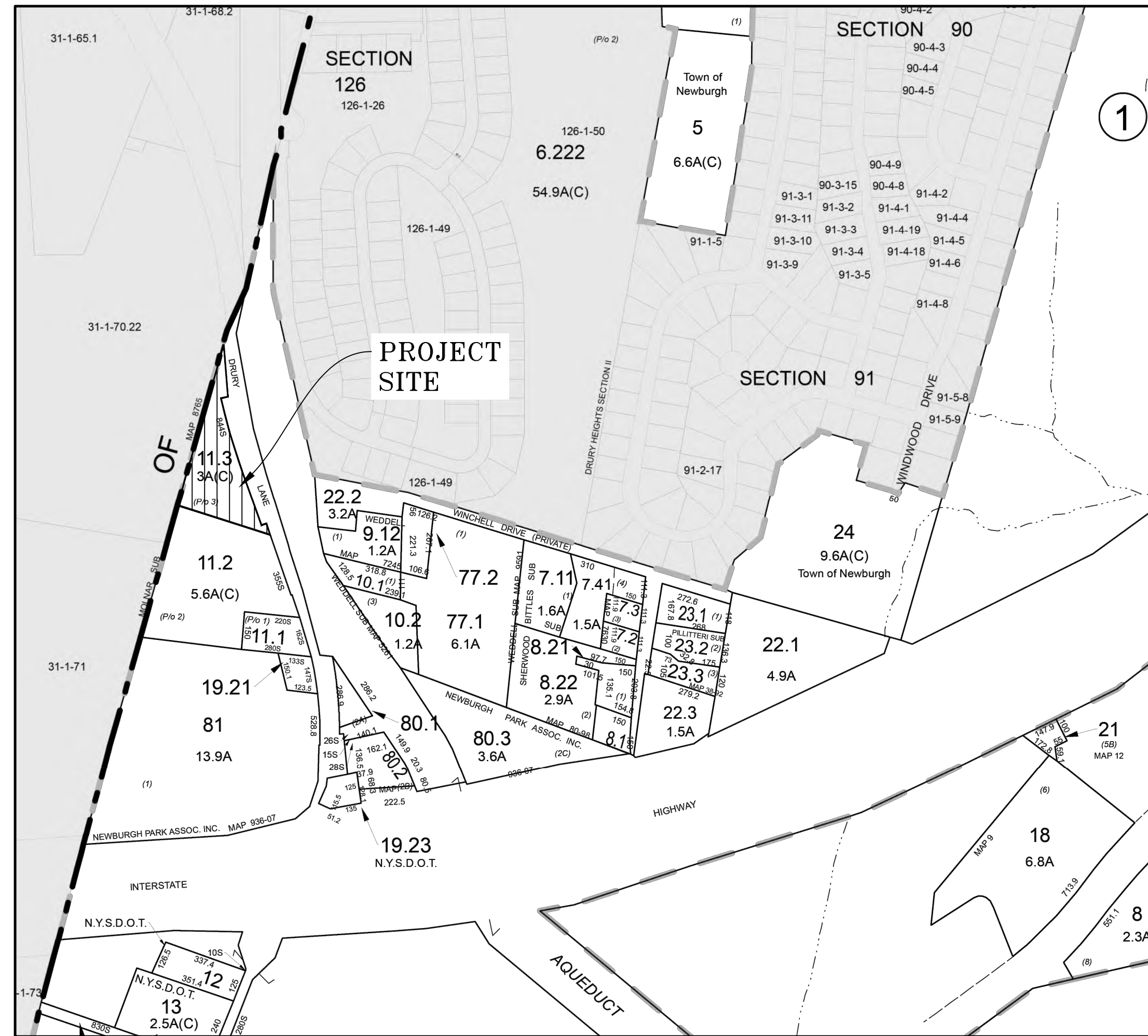


Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

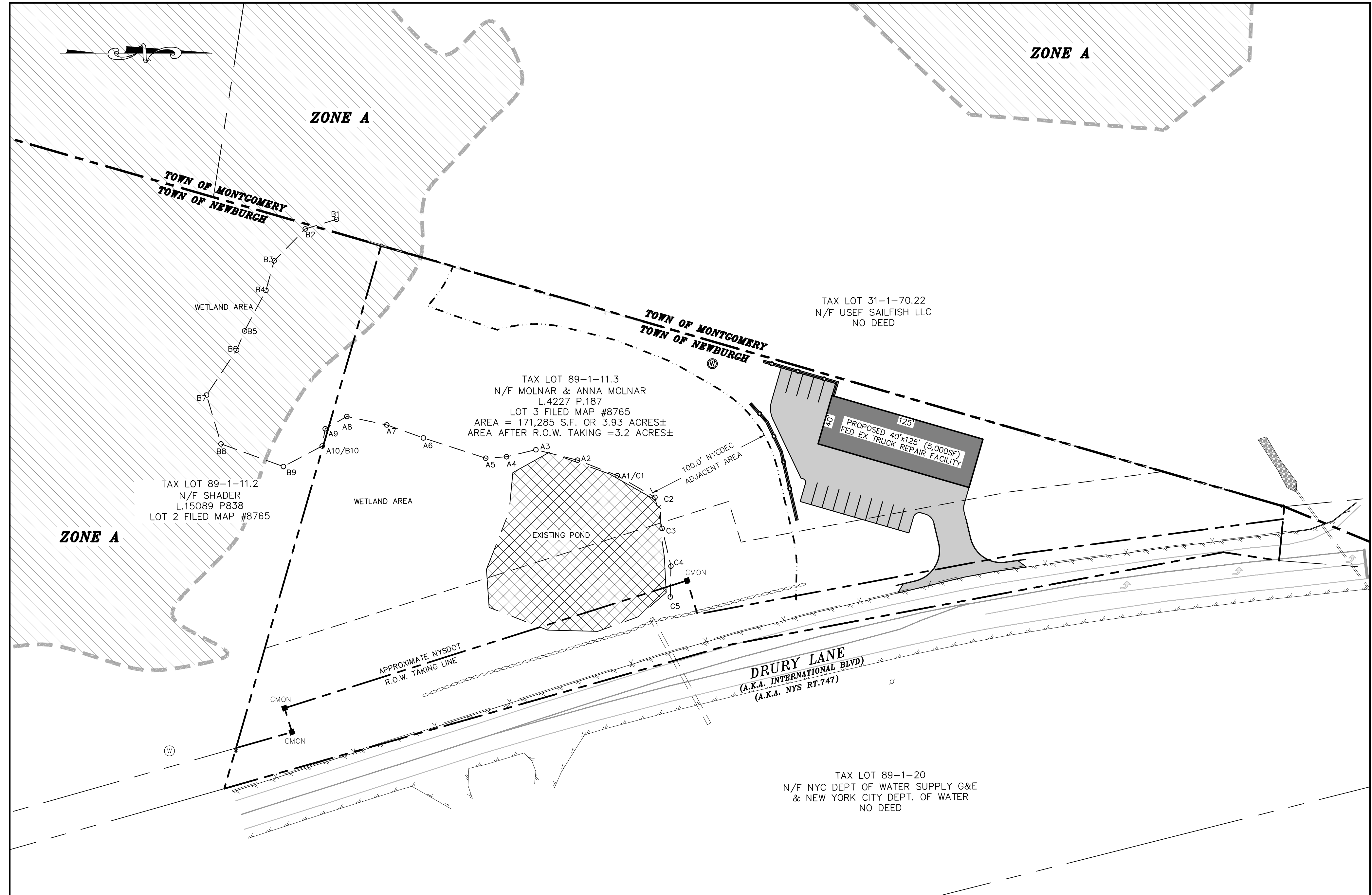
B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	336088
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters, NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):91.9
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	WD-47
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No

E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:ARNOT-HABER HOUSE
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

SITE PLAN PREPARED FOR 609 INTERNATIONAL BLVD TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK



LOCATION MAP
SCALE: 1"=400'



TITLE SHEET
SCALE: 1"=50'

GENERAL NOTES:

1. RECORD OWNER:
STEVEN MOLNAR & ANNA MOLNAR
112 CALUSA WAY CRAWFORDVILLE FL 32327
- RECORD APPLICANT:
1657 MANAGEMENT LLC C/O BOB GREEN, ESQ.
55 ST. JOHN ST GOSHEN NY 10924
2. PROPERTY ADDRESS:
609 INTERNATIONAL BLVD,
TOWN OF NEWBURGH,
ORANGE COUNTY, NEW YORK
3. TAX MAP NUMBER:
S-B-L: 89-1-11.3
4. DEEP: 4227 PAGE: 187
5. PARCEL AREA/SIZE:
3.2 ACRES
6. FILED MAP #8765 AS FILED IN THE ORANGE COUNTY CLERK'S OFFICE.

DRAWING LIST

SHEET #	SHEET TITLE	ORIGINAL DATE / LAST REVISED DATE
01 OF 10	TITLE SHEET	12-03-24 /
02 OF 10	EXISTING CONDITIONS PLAN	12-03-24 /
03 OF 10	DEMOLITION PLAN	12-03-24 /
04 OF 10	SITE PLAN	12-03-24 /
05 OF 10	GRADING & UTILITY PLAN	12-03-24 /
06 OF 10	EROSION & SEDIMENT CONTROL PLAN	12-03-24 /
07 OF 10	EROSION & SEDIMENT CONTROL DETAILS	12-03-24 /
08 OF 10	SEWAGE DISPOSAL SYSTEM DETAILS	12-03-24 /
09 OF 10	CONSTRUCTION DETAILS	12-03-24 /
10 OF 10	CONSTRUCTION SPECIFICATIONS	12-03-24 /

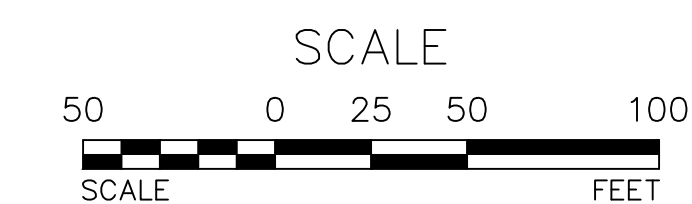
SURVEY REFERENCE:

1. BOUNDARY AND SITE PLAN METRICS TAKEN FROM A PLAN ENTITLED "BOUNDARY SURVEY LOCATED AT 609 INTERNATIONAL BLVD" DATED 8/14/2023 AS PREPARED BY DARREN J. STRIDIRON, P.L.S.
2. THERE ARE NO WELLS AND SPETIC SYSTEMS WITHIN 200' OF THE SUBJECT PARCEL.

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

LDIG NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION



REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

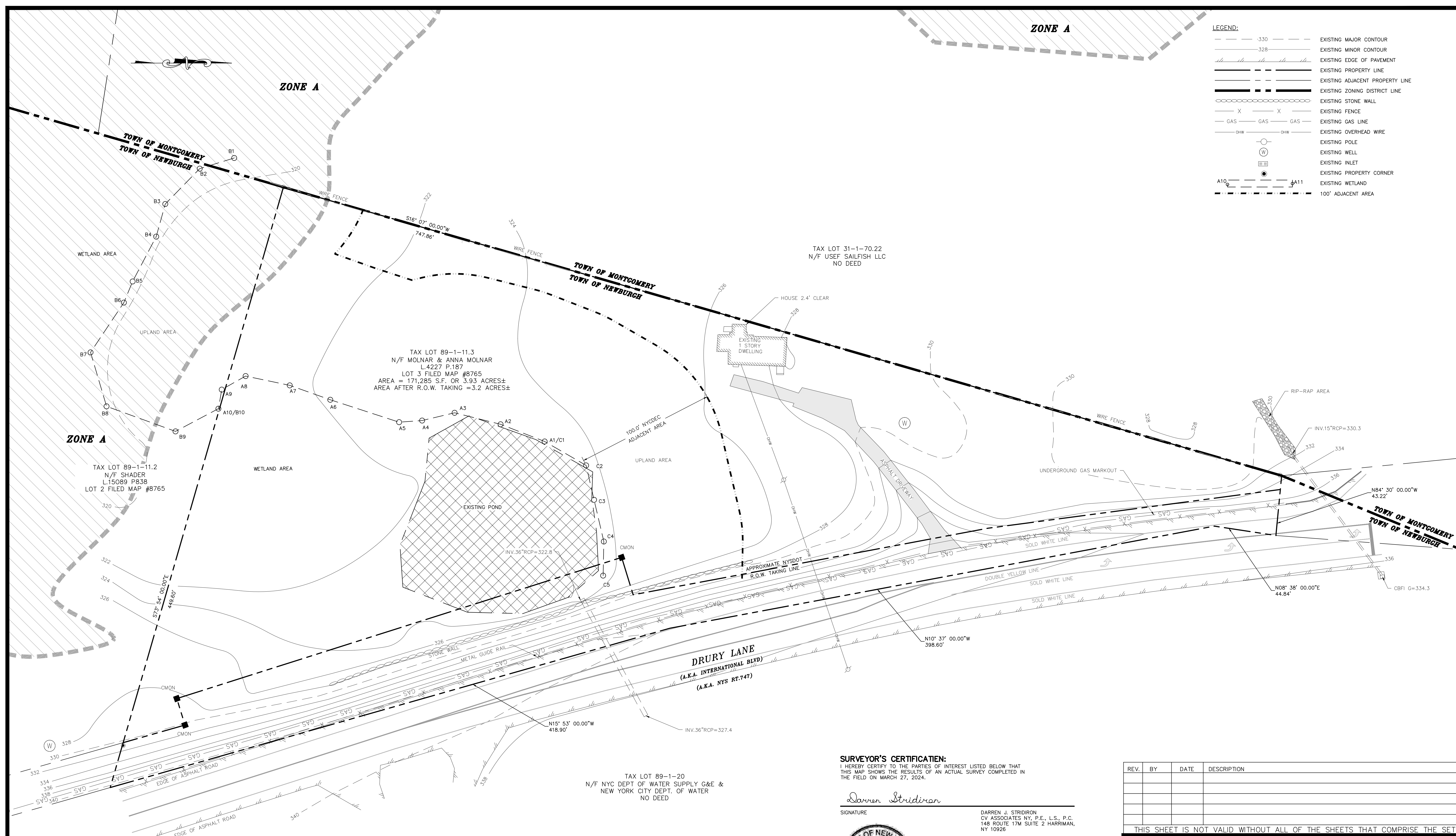
ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

SITE PLAN PREPARED FOR
609 INTERNATIONAL BLVD
TOWN OF NEWBURGH,
ORANGE COUNTY, NEW YORK

TITLE SHEET

JOB#: 24-609
SCALE: AS NOTED
DATE: 12-03-24
DRAWN: MM
CHECKED: MM
SHEET NO. 01 of 10

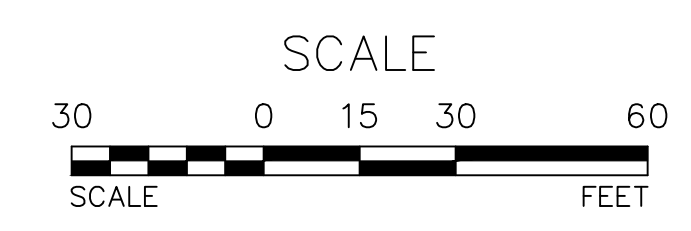


LEGEND:

	330	EXISTING MAJOR CONTOUR
	328	EXISTING MINOR CONTOUR
		EXISTING EDGE OF PAVEMENT
		EXISTING PROPERTY LINE
		EXISTING ADJACENT PROPERTY LINE
		EXISTING ZONING DISTRICT LINE
		EXISTING STONE WALL
	X	EXISTING FENCE
	GAS	EXISTING GAS LINE
	OHW	EXISTING OVERHEAD WIRE
	W	EXISTING POLE
	W	EXISTING WELL
	I	EXISTING INLET
	A10	EXISTING PROPERTY CORNER
	A11	EXISTING WETLAND
		100' ADJACENT AREA

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON MARCH 27, 2024.

Darren Stridiron
 SIGNATURE
 DARREN J. STRIDIRON
 CV ASSOCIATES NY, P.E., L.S., P.C.
 148 ROUTE 17M SUITE 2 HARRIMAN,
 NY 10926



REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
 P.O. BOX 340 MONROE, N.Y.
 TEL: (845) 782-8114
 WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
609 INTERNATIONAL BLVD
 TOWN OF NEWBURGH,
 ORANGE COUNTY, NEW YORK

EXISTING CONDITIONS PLAN

JOB#: 24-609
 SCALE: AS NOTED
 DATE: 12-03-24
 DRAWN: MM
 CHECKED: MM
 SHEET NO. 02 of 10

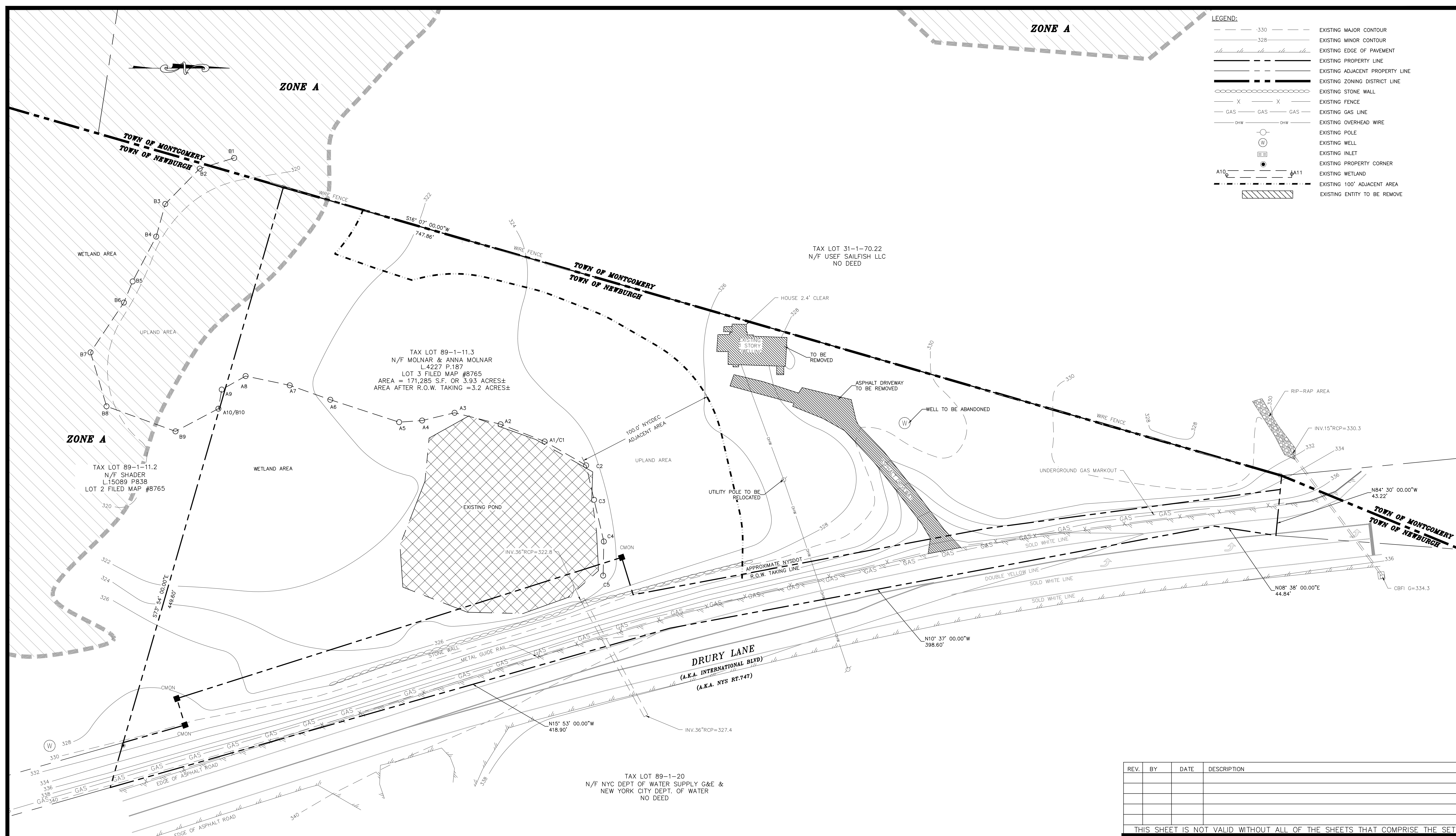
MICHAEL A. MORGANTE, P.E.
 LIC. NO. 78577

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UDIG NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION

EXISTING CONDITIONS PLAN
 SCALE: 1"=30'



LEGEND:

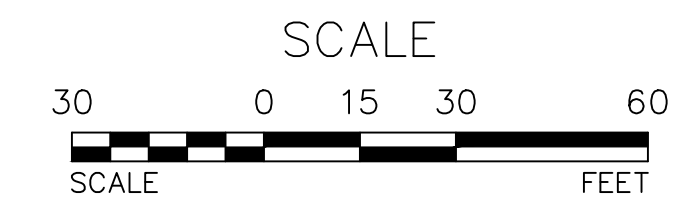
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING ZONING DISTRICT LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING POLE
	EXISTING WELL
	EXISTING INLET
	EXISTING PROPERTY CORNER
	EXISTING WETLAND
	EXISTING 100' ADJACENT AREA
	EXISTING ENTITY TO BE REMOVE

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DEMOLITION PLAN
SCALE: 1"=30'



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REV.	BY	DATE	DESCRIPTION

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ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
609 INTERNATIONAL BLVD
TOWN OF NEWBURGH,
ORANGE COUNTY, NEW YORK

DEMOLITION PLAN

JOB#: 24-609
SCALE: AS NOTED
DATE: 12-03-24
DRAWN: MM
CHECKED: MM
SHEET NO. 03 of 10

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577



BULK REQUIREMENTS
ZONING DISTRICT: IB INTERCHANGE BUSINESS
 USES: MOTOR VEHICLE SERVICE STATIONS AND PUBLIC GARAGES, CAR WASH AND RENTAL AGENCY, IN ACCORDANCE WITH § 185-28

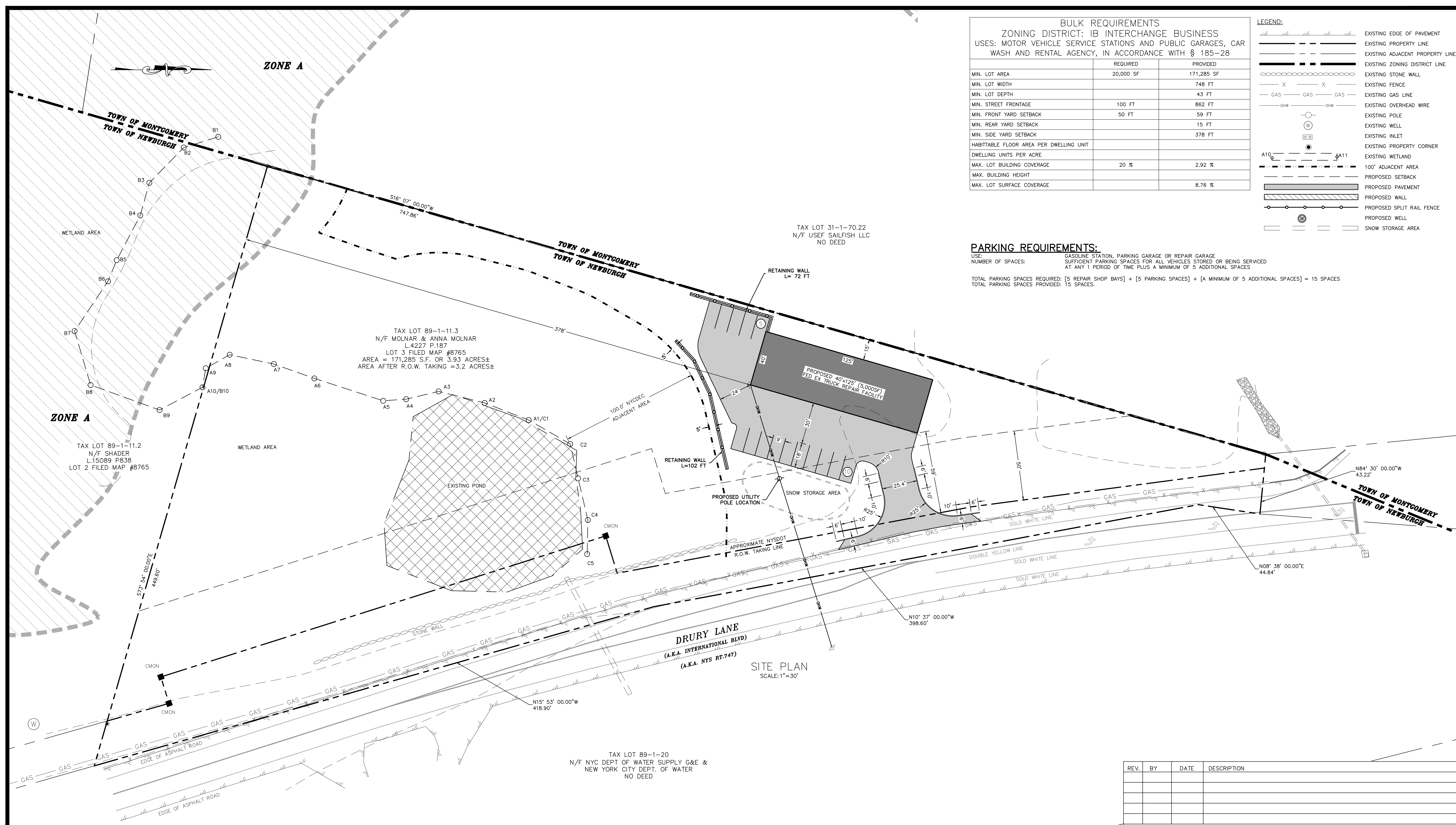
	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 SF	171,285 SF
MIN. LOT WIDTH		748 FT
MIN. LOT DEPTH		43 FT
MIN. STREET FRONTAGE	100 FT	862 FT
MIN. FRONT YARD SETBACK	50 FT	59 FT
MIN. REAR YARD SETBACK		15 FT
MIN. SIDE YARD SETBACK		378 FT
HABITABLE FLOOR AREA PER DWELLING UNIT		
DWELLING UNITS PER ACRE		
MAX. LOT BUILDING COVERAGE	20 %	2.92 %
MAX. BUILDING HEIGHT		
MAX. LOT SURFACE COVERAGE		8.76 %

- LEGEND:**
- EXISTING EDGE OF PAVEMENT
 - EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING ZONING DISTRICT LINE
 - EXISTING STONE WALL
 - EXISTING FENCE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD WIRE
 - EXISTING POLE
 - EXISTING WELL
 - EXISTING INLET
 - EXISTING PROPERTY CORNER
 - EXISTING WETLAND
 - 100' ADJACENT AREA
 - PROPOSED SETBACK
 - PROPOSED PAVEMENT
 - PROPOSED WALL
 - PROPOSED SPLIT RAIL FENCE
 - PROPOSED WELL
 - SNOW STORAGE AREA

PARKING REQUIREMENTS:

USE: GASOLINE STATION, PARKING GARAGE OR REPAIR GARAGE
 SUFFICIENT PARKING SPACES FOR ALL VEHICLES STORED OR BEING SERVICED AT ANY 1 PERIOD OF TIME PLUS A MINIMUM OF 5 ADDITIONAL SPACES

NUMBER OF SPACES: TOTAL PARKING SPACES REQUIRED: [5 REPAIR SHOP BAYS] + [5 PARKING SPACES] + [A MINIMUM OF 5 ADDITIONAL SPACES] = 15 SPACES
 TOTAL PARKING SPACES PROVIDED: 15 SPACES.



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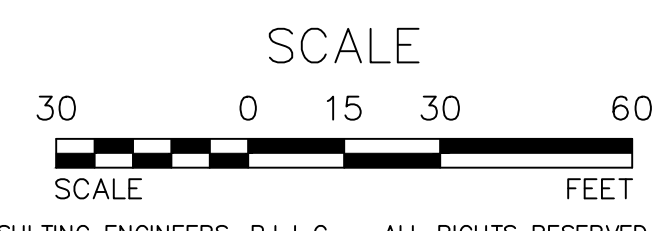
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 ORANGE COUNTY, NEW YORK

SITE PLAN

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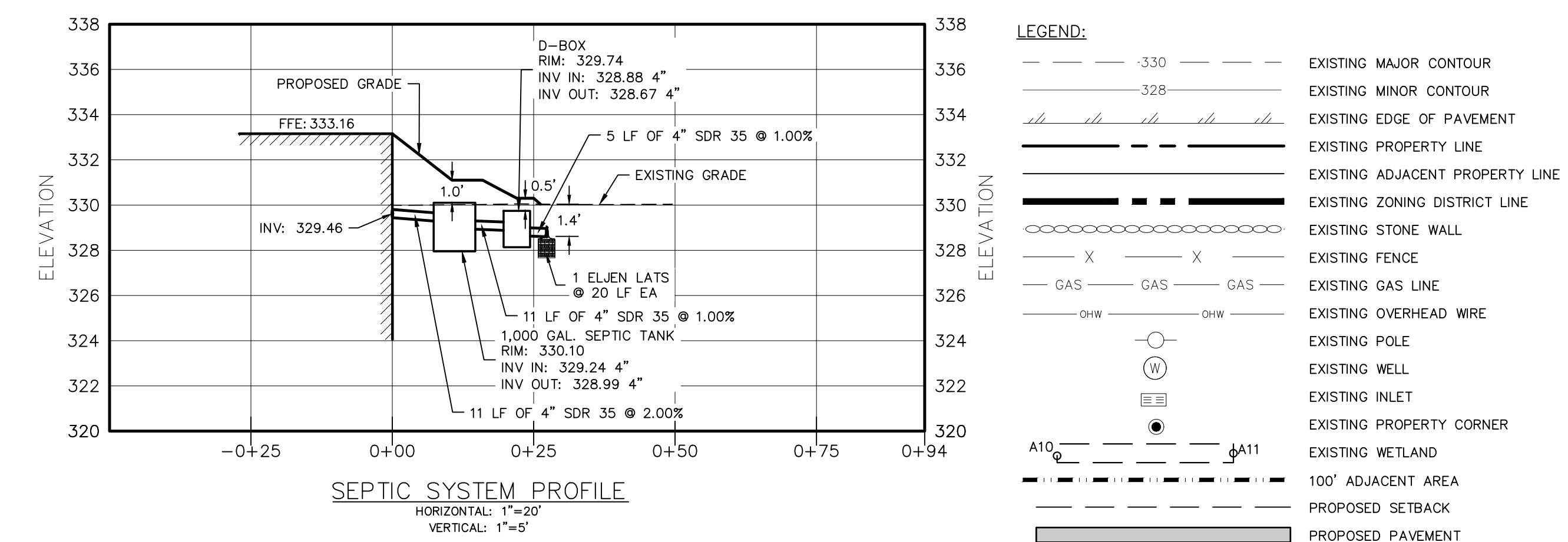
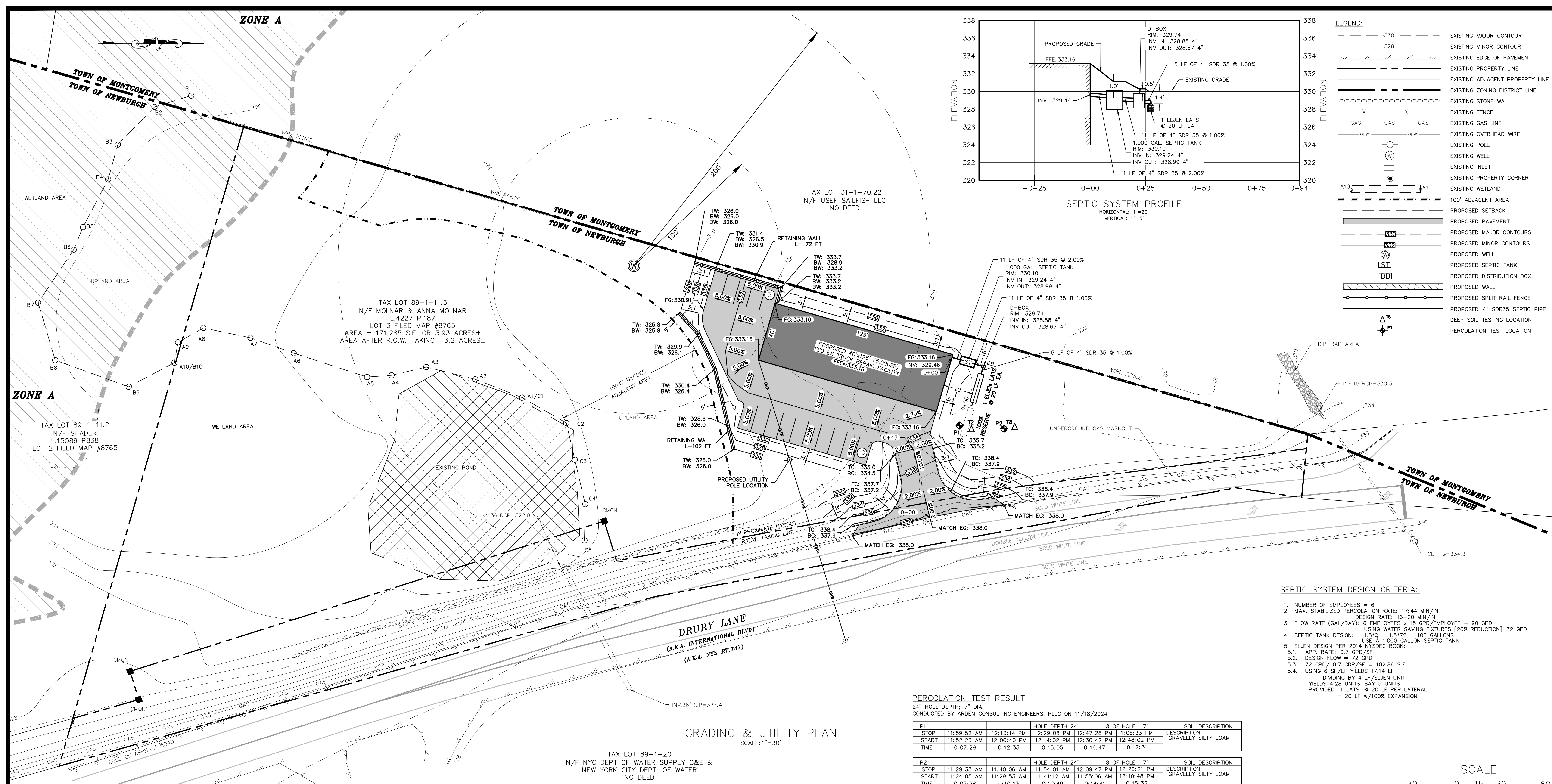
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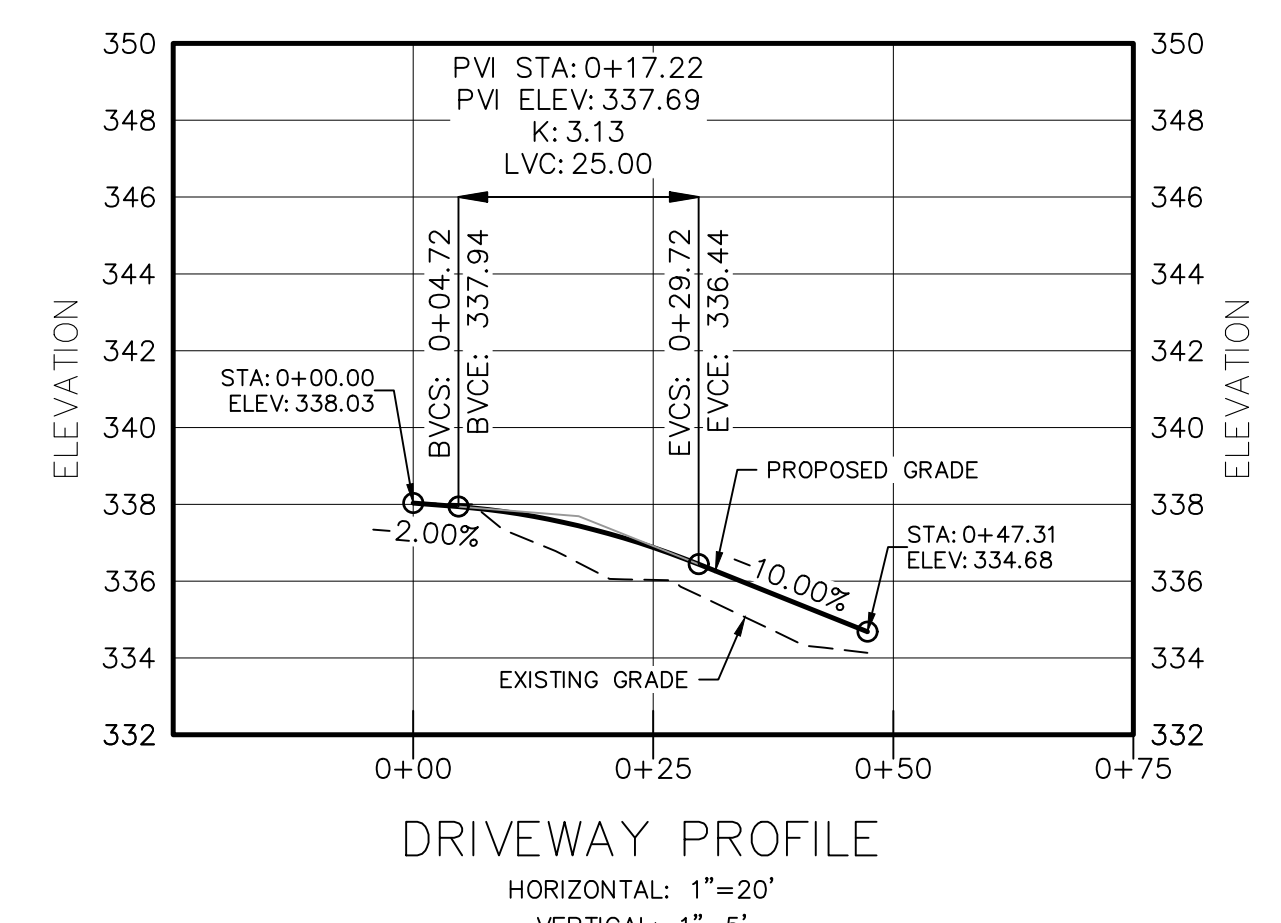
- SEPTIC SYSTEM DESIGN CRITERIA:**
- NUMBER OF EMPLOYEES = 6
 - MAX. STABILIZED PERCOLATION RATE: 17:44 MIN/IN
DESIGN RATE: 16-20 MIN/IN
 - FLOW RATE (GAL/DAY): 6 EMPLOYEES x 15 GPD/EMPLOYEE = 90 GPD
USING WATER SAVING FIXTURES [20% REDUCTION]=72 GPD
 - SEPTIC TANK DESIGN: 1.5"Q = 1.5"72 = 108 GALLONS
USE A 1,000 GALLON SEPTIC TANK
 - ELJEN DESIGN PER 2014 NYSDEC BOOK:
 - APP. RATE: 0.7 GPD/SF
 - DESIGN FLOW = 72 GPD
 - 72 GPD / 0.7 GPD/SF = 102.86 S.F.
 - USING 6 SF/LF YIELDS 17.14 LF
DIVIDING BY 4 LF/ELJEN UNIT
YIELDS 4.28 UNITS-SAY 5 UNITS
PROVIDED: 1 LATS, @ 20 LF PER LATERAL
= 20 LF w/100% EXPANSION

PERCOLATION TEST RESULT
24" HOLE DEPTH; 7" DIA.
CONDUCTED BY ARDEN CONSULTING ENGINEERS, PLLC ON 11/18/2024

PIT	START	STOP	TIME	HOLE DEPTH: 24"	Ø OF HOLE: 7"	SOIL DESCRIPTION
P1	11:59:52 AM	12:13:14 PM	0:12:33	12:29:08 PM	12:47:28 PM	GRAVELLY SILTY LOAM
P2	11:29:33 AM	11:40:06 AM	0:10:13	11:54:01 AM	12:09:47 PM	GRAVELLY SILTY LOAM

DEEP TEST PIT OBSERVATIONS:
PERFORMED BY ARDEN CONSULTING ENGINEERS, PLLC ON 11/18/2024

PIT NO.	DEPTH	DESCRIPTION
T2	0" - 8"	TOPSOIL
	8" - 42"	YELLOW / BROWN GRAVELLY SILTY LOAM
	42" - 60"	TAN GRAVELLY SILTY CLAY LOAM & COBBLE
	60"	ROCK REFUSAL - RIPPLE SHALE
		NO WATER
		NO SEEPAGE
		NO MOTTILING
		ROOTS @36"
T8	0" - 8"	TOPSOIL
	8" - 42"	YELLOW / BROWN GRAVELLY SILTY LOAM
	42" - 50"	TAN GRAVELLY SILTY CLAY LOAM & COBBLE
	50"	ROCK REFUSAL - RIPPLE SHALE
		NO WATER
		NO SEEPAGE
		NO MOTTILING
		ROOTS @36"



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TREE CLEARING NOTE:
NO TREE REMOVAL SHALL BE OCCUR FROM APRIL 1st TO OCTOBER 31st TO MITIGATE POTENTIAL HARMFUL IMPACTS TO INDIANA BAT.

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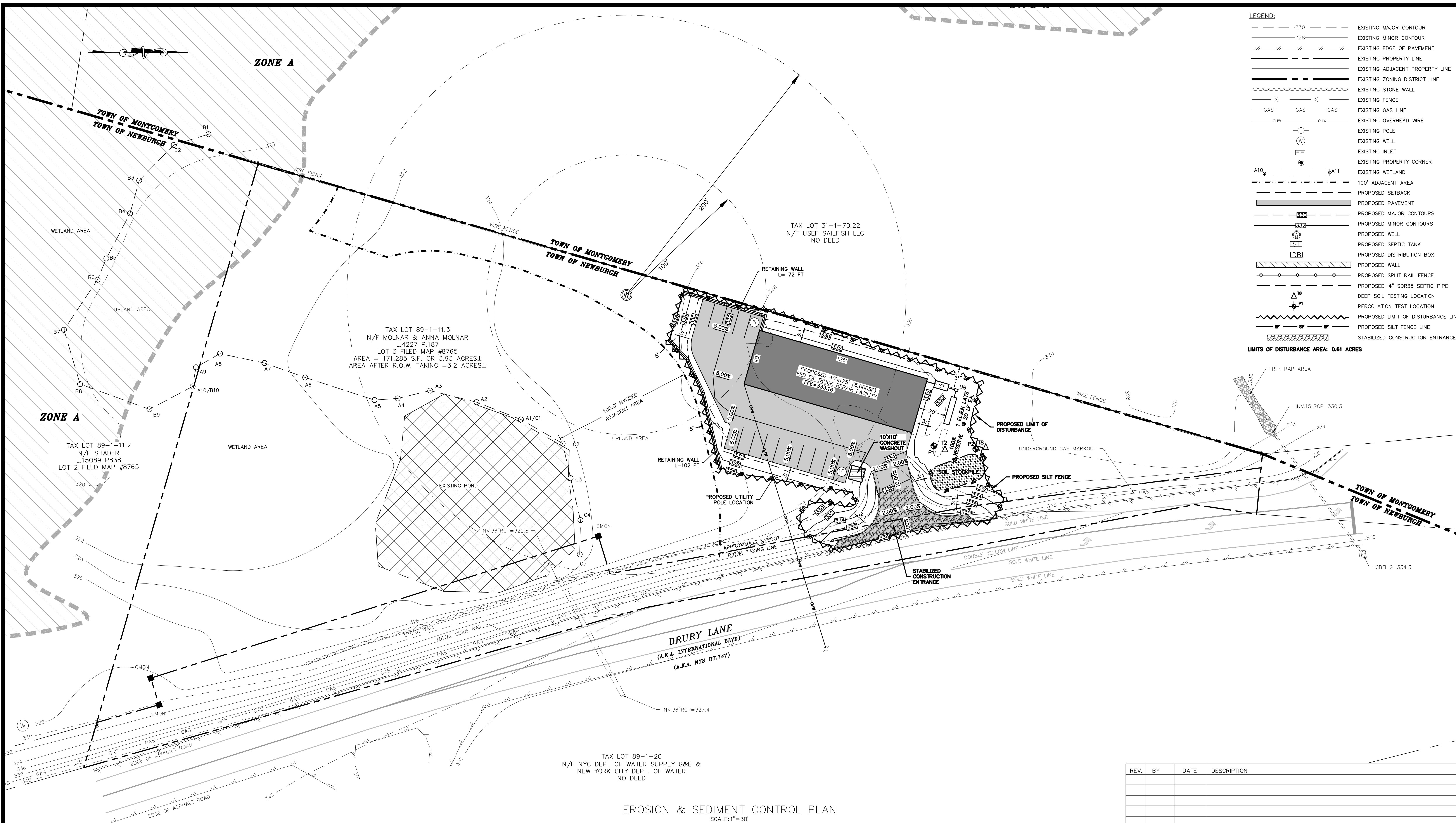
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ORANGE COUNTY, NEW YORK

GRADING & UTILITY PLAN

JOB#: 24-609
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SHEET NO. 05 of 10

MICHAEL A. MORGANTE, P.E.
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- LEGEND:**
- - - - -330- EXISTING MAJOR CONTOUR
 - - - - -328- EXISTING MINOR CONTOUR
 - =====
/ / / / / EXISTING EDGE OF PAVEMENT
 - =====
/ / / / / EXISTING PROPERTY LINE
 - =====
/ / / / / EXISTING ADJACENT PROPERTY LINE
 - =====
/ / / / / EXISTING ZONING DISTRICT LINE
 - =====
/ / / / / EXISTING STONE WALL
 - X - X - EXISTING FENCE
 - GAS - GAS - GAS - EXISTING GAS LINE
 - OHW - OHW - EXISTING OVERHEAD WIRE
 - EXISTING POLE
 - ⊙ EXISTING WELL
 - EXISTING INLET
 - EXISTING PROPERTY CORNER
 - A10 ○ A11 EXISTING WETLAND
 - - - - - 100' ADJACENT AREA
 - =====
/ / / / / PROPOSED SETBACK
 - =====
/ / / / / PROPOSED PAVEMENT
 - - - - -330- PROPOSED MAJOR CONTOURS
 - - - - -328- PROPOSED MINOR CONTOURS
 - PROPOSED WELL
 - ST EXISTING SEPTIC TANK
 - DB EXISTING DISTRIBUTION BOX
 - =====
/ / / / / PROPOSED WALL
 - =====
/ / / / / PROPOSED SPLIT RAIL FENCE
 - =====
/ / / / / PROPOSED 4" SDR35 SEPTIC PIPE
 - △ TB DEEP SOIL TESTING LOCATION
 - △ P1 PERCOLATION TEST LOCATION
 - =====
/ / / / / PROPOSED LIMIT OF DISTURBANCE LINE
 - =====
/ / / / / PROPOSED SILT FENCE LINE
 - =====
/ / / / / STABILIZED CONSTRUCTION ENTRANCE

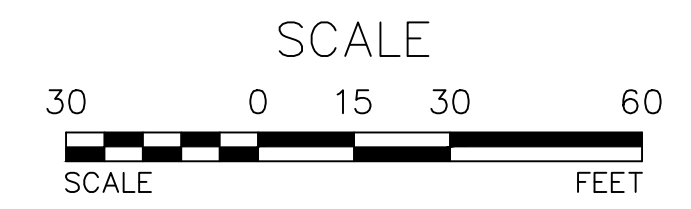
LIMITS OF DISTURBANCE AREA: 0.61 ACRES

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EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=30'



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BEST MANAGEMENT PRACTICES FOR SITE FACILITY MAINTENANCE

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL SITE RELATED FACILITIES, INCLUDING THE STORM WATER SEDIMENT AND DETENTION BASINS AND THE FOLLOWING MEASURES AND/OR STRUCTURES, AS APPLICABLE AND SHOWN ON THE PLANS:

WATER QUALITY INLETS

1. WATER QUALITY INLETS SHALL BE CLEANED OUT AT LEAST TWICE A YEAR TO REMOVE POLLUTANTS. REMOVED MATERIAL SHOULD BE TAKEN TO A TREATMENT PLANT OR APPROVED LANDFILL FOR DISPOSAL.
2. STORM WATER INLETS THROUGHOUT THE SITE SHALL BE INSPECTED ANNUALLY FOR ACCUMULATED SEDIMENT OR OTHER PROBLEMS AND REPAIRED AS NECESSARY.

PARKING AND ROADWAY PAVEMENTS

1. PARKING AREA AND ROADWAY PAVEMENTS SHALL BE SWEEPED ON A REGULAR BASIS TO REMOVE ACCUMULATED SEDIMENT. COLLECTED SEDIMENT SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE WHICH WILL NOT ALLOW THE RE-ENTRANCE OF SILT INTO THE STORM WATER DRAINAGE SYSTEM.

VEGETATIVE STABILIZATION

1. ALL VEGETATIVE PLANTING ON AREAS WHICH HAVE BEEN DISTURBED AND ARE FINISH GRADED SHALL BE INSPECTED AFTER EACH RAIN EVENT. PLANTING (OR SEEDING) SHALL BE MAINTAINED IN A VIABLE CONDITION TO STABILIZE THE SOIL AND TO PREVENT SOIL EROSION. RESTORE ALL SITE PLANTING AND/OR SEEDING WHICH HAS BEEN DAMAGED TO A VIABLE CONDITION.
2. IF VEGETATIVE STABILIZATION HAS BEEN DAMAGED FROM STORM WATER EROSION, CORRECT UPSTREAM CONDITIONS WHICH CAUSED THE EROSION. CHECK DAMS MAY BE REQUIRED IN DRAINAGE WAYS, AND STONE OUTFALL APRONS MAY BE REQUIRED TO BE REPAIRED AT STORM WATER OUTLETS.

CONSTRUCTION ACTIVITY

1. CONSTRUCTION ACTIVITIES WILL OCCUR DURING WEEKDAYS COMMENCING AT 7:00 AM AND TERMINATING AT 6:00 PM DAILY.

EROSION AND SILTATION CONTROL NOTES:

1. GRADED AREAS – UPPER ELEVATIONS: PROVIDE TEMPORARY DRAINAGE SWALES, 1% GRADE MIN., TO DIRECT RUNOFF AWAY FROM CONSTRUCTION SITES. DISCHARGE AREAS AND ENERGY DISPERSION REQUIREMENTS TO BE ACCEPTABLE TO OWNER.
2. GRADED AREAS – LOWER ELEVATIONS: PROVIDE DRAINAGE SWALES, 1% MIN. GRADES, WITH STAKED AND SECURED HAY BALE BERMS TO PREVENT DOWN STREAM AND DOWN GRADIENT SILTATION.

SEDIMENT & EROSION CONTROL NOTES & CONSTRUCTION SEQUENCING

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES FOR ALL ROAD AND DRIVE ENTRANCES. STREETS SHALL BE CLEANED DAILY.
2. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS, AND INSTALL OTHER SEDIMENTATION AND EROSION CONTROL STRUCTURES OR MEASURES AS SHOWN ON THE DRAWINGS.
3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT. NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED. EXISTING DWELLINGS AND STRUCTURES SHALL BE REMOVED PRIOR TO ANY SITE CLEARING AND SOIL DISTURBANCE.
4. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 8), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
5. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS.
6. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
7. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS, OR MODIFY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
8. TEMPORARILY SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS IN ACCORDANCE WITH SPECIFICATION FOR VEGETATIVE ESTABLISHMENT.
9. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
10. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS DISCUSSED ON THE SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT ON THIS SHEET.
11. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
12. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THOSE DISTURBED AREAS.
13. MAINTAIN ALL SEED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
14. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
15. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
16. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.

SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT:

1. PERMANENT SEEDING:
 - A. SEEDBED PREPARATION: AREA TO BE SEEDDED SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 3 INCHES. THE TOP LAYER SHALL BE LOOSENED BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING OCCURS. FOR SITES LESS THAN 5 ACRES, APPLY 100 POUNDS OF DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-20-20 FERTILIZER PER 1,000 SF. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES ON SLOPES FLATTER THAN 3:1.
 - B. SEEDING: APPLY 5-6 POUNDS PER 1,000 SF OF SEED MIX BETWEEN FEBRUARY 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A MOIST FIRM SEEDBED WITH A CYCLONE SEEDER DRILL, CULTIPACKR SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER, RECOMMENDED ON STEEP SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH IN SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. SELECT SEED MIXTURES FROM SECTION 3, NYS GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL.
 - C. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. DURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED, MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING. MULCH SHALL BE UNROTTED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQUARE FEET (2 BALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY, MECHANICALLY, OR BY HAND TO A DEPTH OF 1-2 INCHES.
 - D. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATIONS TO MINIMIZE MOVEMENT OF WIND OR WATER. THE FOLLOWING METHODS ARE PERMITTED:
 - i. USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR FABRIC TYPE MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH. HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.
 - ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - iii. LIQUID BINDERS MAY BE USED AND APPLIED HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION.
 - iv. LIGHTWEIGHT NETTING, MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
2. TEMPORARY SEEDING:
 - LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SF
 - FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SF
 - SEED: PERENNIAL RYE-0.92 POUNDS PER 1,000 SF
3. FILL:
 - NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 COMPACTED TO 90% DENSITY; COMPACTION TO BE DETERMINED BY ASTM D-1557-SGT (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS PREVIOUSLY MENTIONED. FILLS FOR POND EMBANKMENTS SHALL BE COMPACTED AS PER THE PROJECT ENGINEER'S SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE.
4. PERMANENT SOD:
 - INSTALLATION OF SOD SHOULD FOLLOW THE PERMANENT SEEDING DATES. PERMANENT SOD IS TO BE STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAD ON THE CONTOUR WITH ALL ENDS TIGHTLY ABUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (DRY OR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHED SOD.

SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OR 4:1 OR GREATER (HORIZONTAL : VERTICAL)

SLOPES SHALL BE HYDROSEEDED WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2,000 LBS./ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH BioD-Mesh60 NETTING AS MANUFACTURED BY ROLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

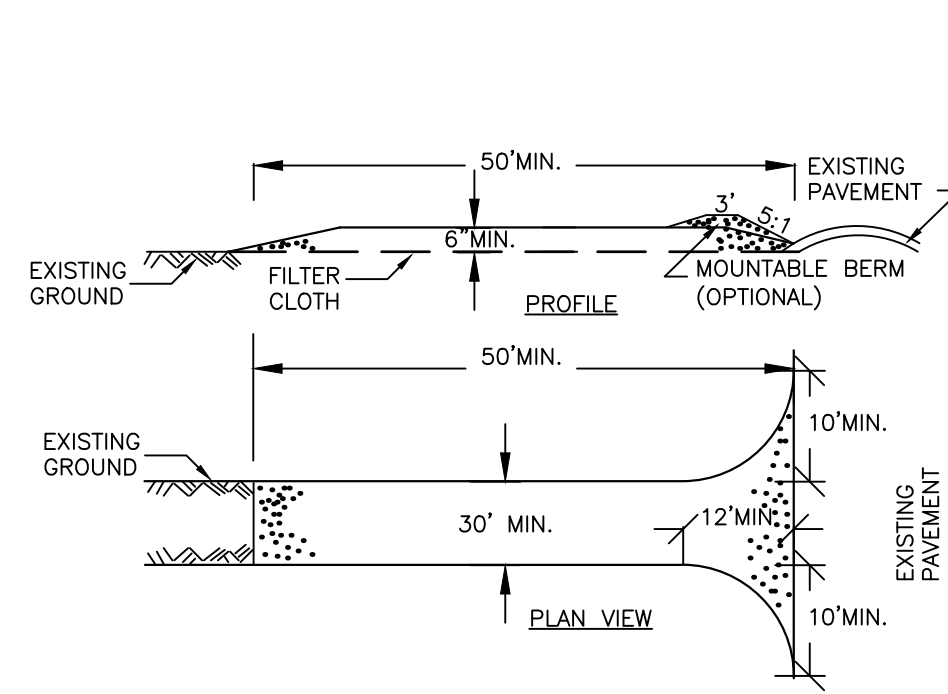
GENTLE SLOPE AND FLAT AREAS

AREA SHALL BE SEED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS./ACRE. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. AREAS SEED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PAVED PRIOR TO PLACING MULCH.

AREAS REMAINING DISTURBED FOR 20 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:

SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS./ACRE. 5-10-10 FERTILIZER IF REQUIRED. SEED WITH SPECIES AND RATE SHOWN BELOW. MULCH WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

SPECIES	APPLICATION RATE
RYEGRASS (ANNUAL OR PERENNIAL) (USE WINTER RYE IF SEEDING IN OCT./NOV.)	30 LBS./ACRE (0.7 LBS./1,000 SF)

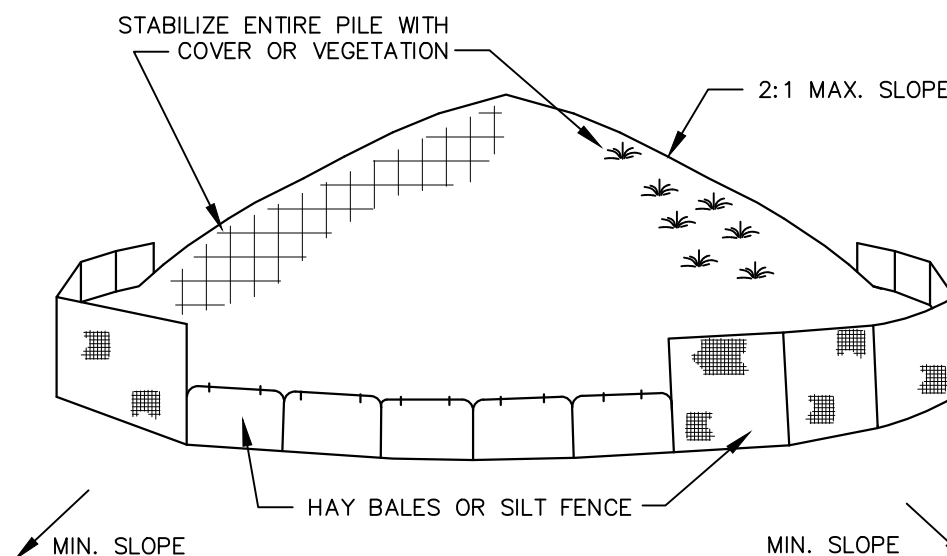


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE
FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

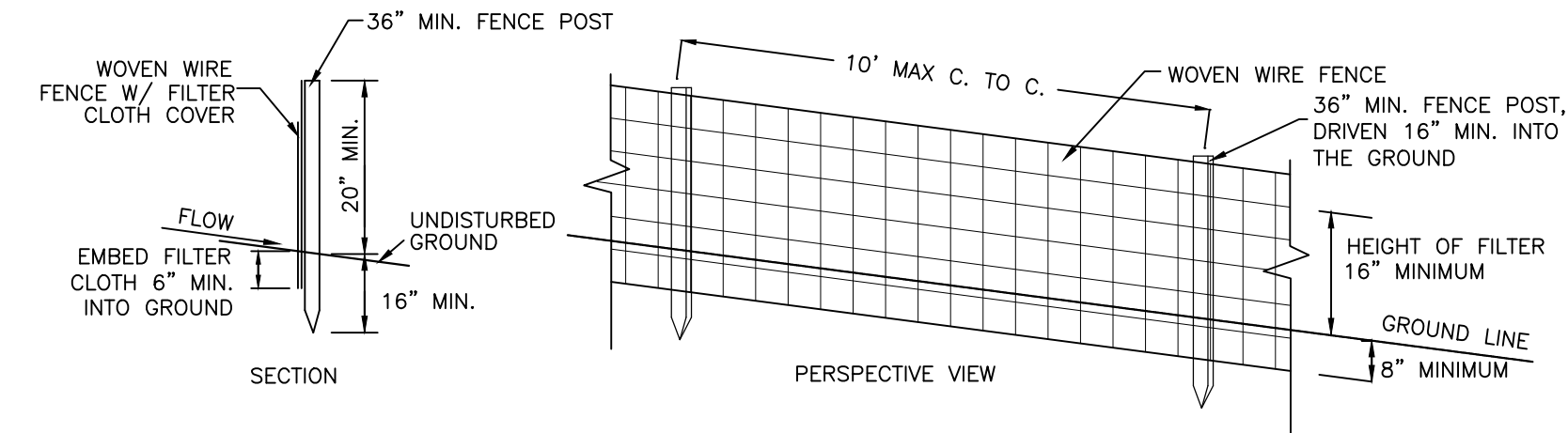


INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILES SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPIILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE DETAIL

NOT TO SCALE

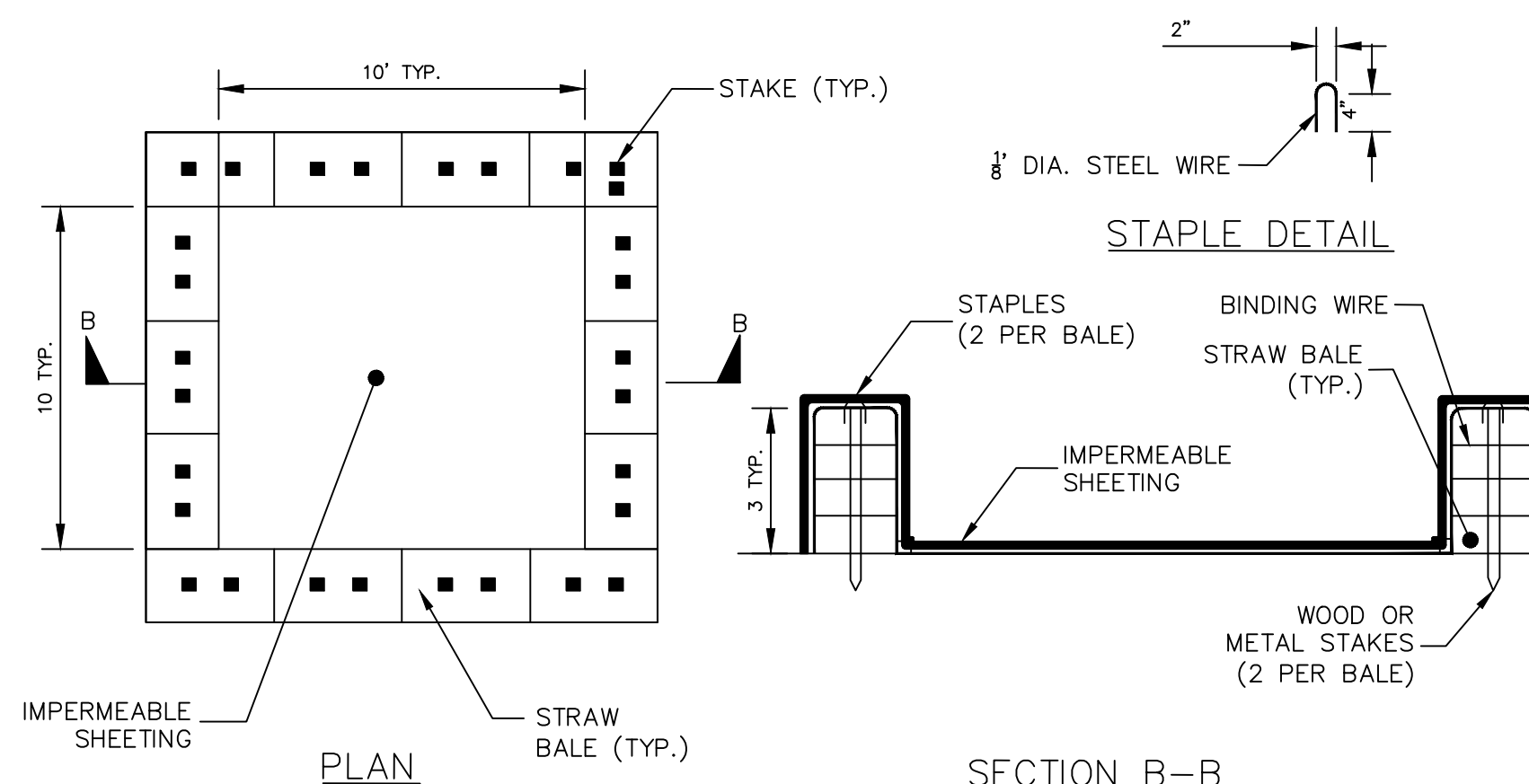


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POST: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD
FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

SILT FENCE DETAIL

NOT TO SCALE



CONCRETE WASHOUT AREA WITH STRAW BALES

NOT TO SCALE

NOTE:

CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SCUDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (EG, RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP. FOR DISPOSAL OR RECYCLING, MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

REV.	BY	DATE	DESCRIPTION

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SITE PLAN PREPARED FOR
609 INTERNATIONAL BLVD
TOWN OF NEWBURGH,
ORANGE COUNTY, NEW YORK

JOB#: 24-609
SCALE:
AS NOTED
DATE: 12-03-24
DRAWN: MM
CHECKED: MM
SHEET NO. 07 of 10

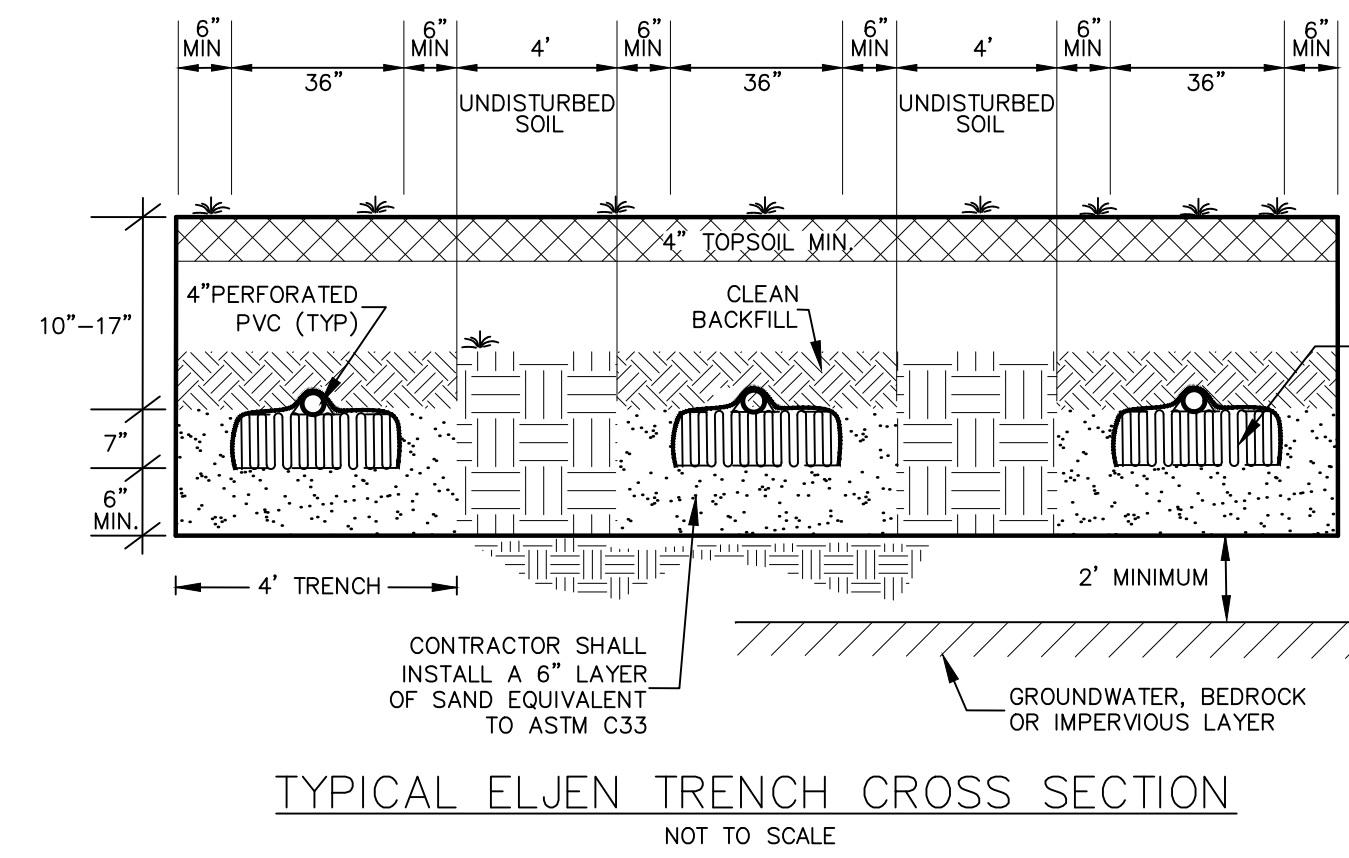
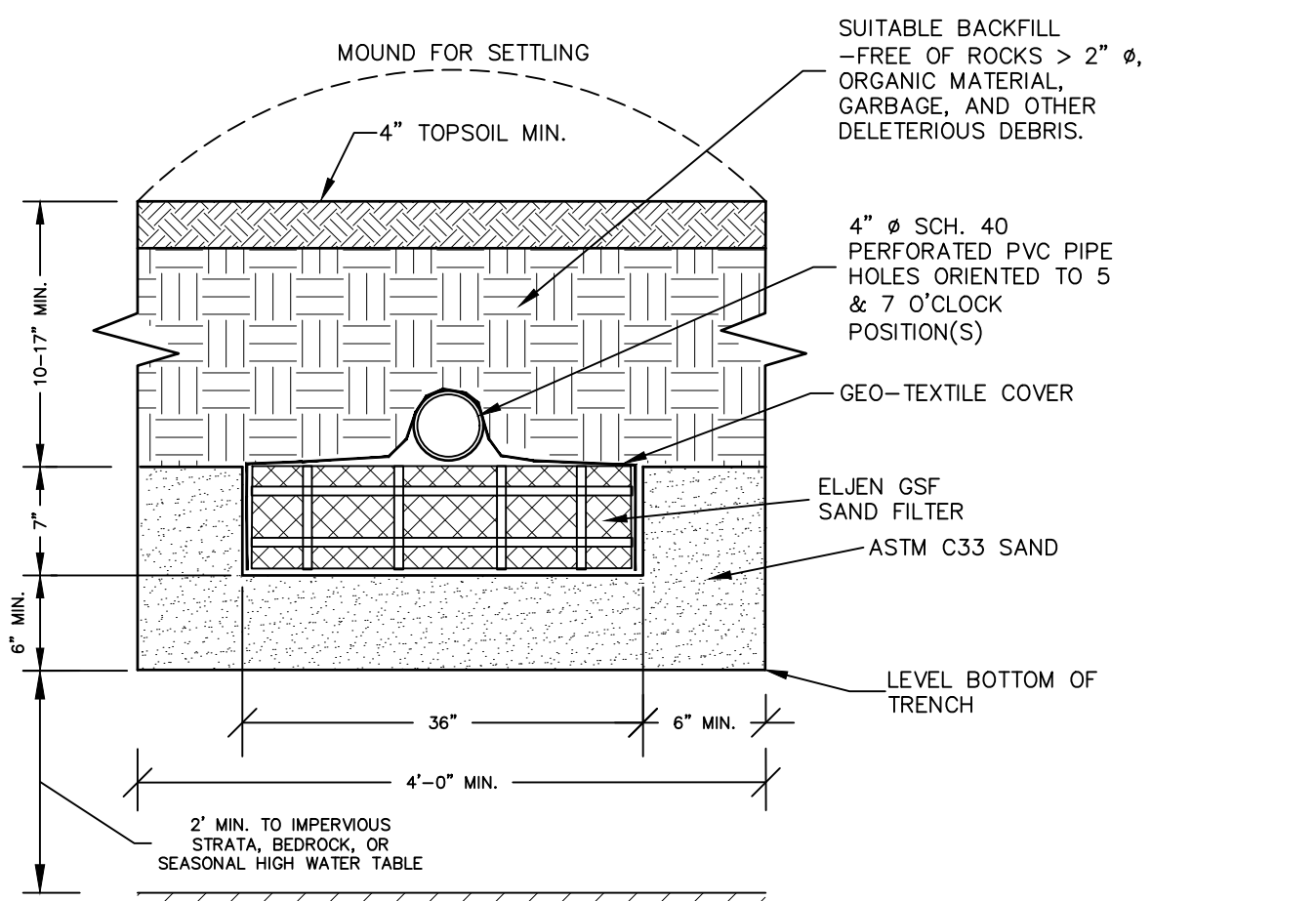
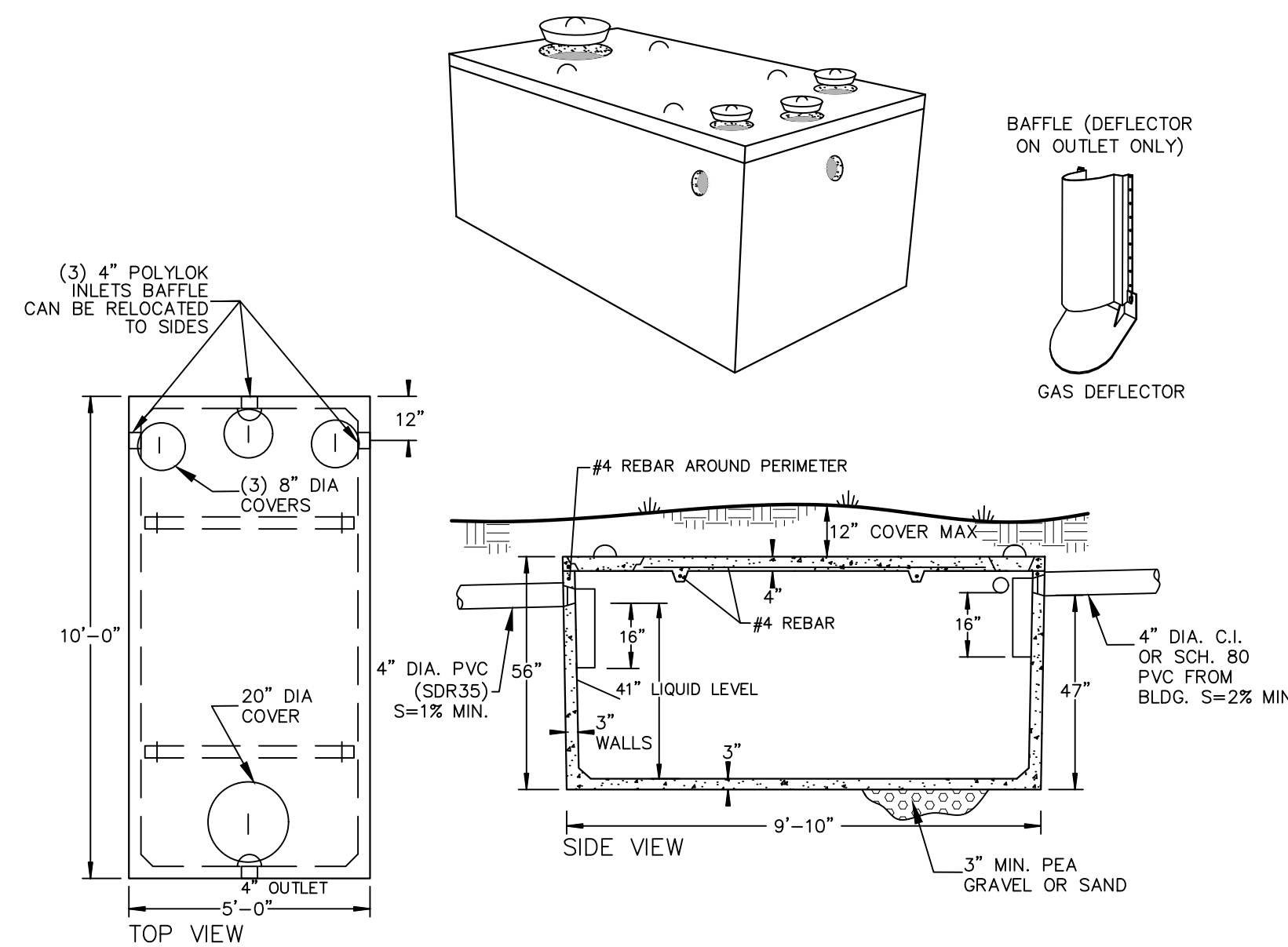
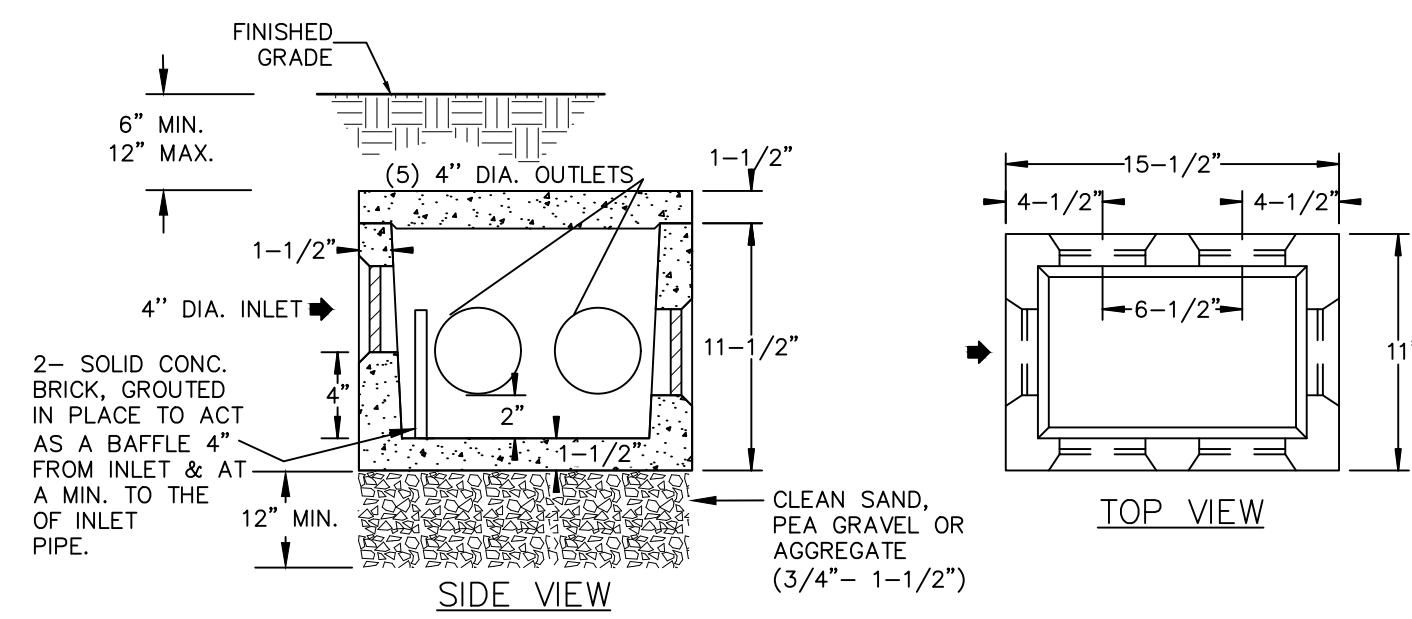
EROSION & SEDIMENT CONTROL DETAILS

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

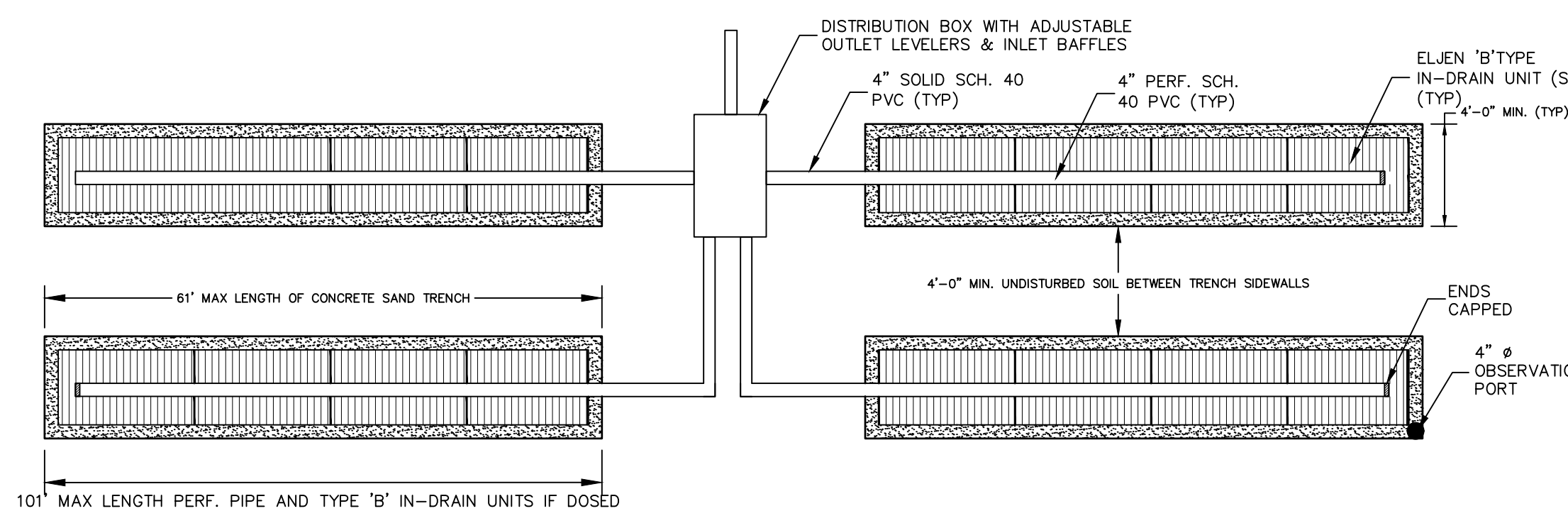
Under NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION



- NOTES:**
- SYSTEM TO BE INSTALLED IN CONFORMANCE WITH ALL NYSOCH REQUIREMENTS FOR RESIDENTIAL WASTEWATER TREATMENT SYSTEMS.
 - SYSTEM TO MEET ALL SEPARATION REQUIREMENTS.
 - PERFORATED PIPE SHALL BE PLACED SO THAT HOLES ARE FACING 5 & 7 O'CLOCK POSITIONS.
 - LATERALS ARE TO BE SET LEVEL.
 - ALL TRENCHES TO HAVE IDENTICAL NUMBER OF ELJEN UNITS.
 - END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
 - RAKE SIDES & BOTTOM OF TRENCH PRIOR TO PLACING SAND.
 - DO NOT INSTALL TRENCHES IN WET SOIL.
 - TRENCHES TO BE INSTALLED PARALLEL WITH EXISTING CONTOURS. SPACING SHALL BE A MIN. OF 8 FT. ON CENTER WITH A MINIMUM OF 4 FEET OF UNDISTURBED SOIL BETWEEN TRENCHES. LOT 5 ONLY REQUIRES AN ELJEN LATERAL SPACING OF 12' ON-CENTER.
 - THE BACKFILL IN THE TRENCHES MUST BE MOUNDING FOR SETTLING.
 - SEE TABLE BELOW FOR ASTM C33 SAND SPECIFICATIONS.

SEIVE SIZE	SEIVE SIZE SQ. OPENING	% PASSING BY WEIGHT (WET SIEVE)	
		MINIMUM	MAXIMUM
3/8"	9.5 mm	100	100
NO. 4	4.75 mm	95	100
NO. 8	2.36 mm	80	100
NO. 16	1.18 mm	50	85
NO. 30	600 μm	25	60
NO. 50	300 μm	5	30
NO. 100	150 μm	0	<10
NO. 200	75 μm	0	<5

ELJEN SECTION
NOT TO SCALE



- ELJEN NOTES**
- THIS DESIGN AND CONSTRUCTION REQUIREMENT COMPLIES WITH APPENDIX 75-A AND LOCAL HEALTH DEPARTMENT REGULATIONS.
 - THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN NEW YORK DESIGN AND INSTALLATION MANUAL.
 - THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE DISPOSAL.
 - ORGANIC MATERIAL THAT CAN RESTRICT FLOW MUST BE REMOVED FOR RAISED BEDS. THE SOIL MUST BE SCARIFIED TO PROVIDE DEEP CHANNELS FOR THE SAND. A PLOWED INTERFACE ON CONTOUR IS RECOMMENDED TO PREPARE THE SOIL FOR FILL PLACEMENT.
 - SCARIFY ANY SMEARED SUBSOIL PRIOR TO FILL PLACEMENT.
 - ASTM C33 SPECIFIED SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE SHALL BE PLACED BELOW AND AROUND THE GSF MODULES, WITH 6 INCHES MINIMUM UNDERNEATH AND 6 INCHES MINIMUM SURROUNDING THE GSF MODULES IN TRENCH CONFIGURATIONS. IN BED SYSTEMS, USE 6 INCHES MINIMUM UNDERNEATH THE MODULES WITH 12 INCHES MINIMUM SURROUNDING THE MODULES.
 - ELJEN PROVIDED GEOTEXTILE COVER FABRIC SHALL PROVIDE PROPER TENSION AND ORIENTATION OF THE FABRIC AROUND THE SIDES OF THE PERFORATED PIPE ON TOP OF THE GSF MODULES. FABRIC SHOULD BE NEITHER TOO LOOSE, NOR TOO TIGHT. THE CORRECT TENSION OF THE COVER FABRIC IS SET BY:
 - SPREADING THE COVER FABRIC OVER THE TOP OF THE MODULE AND DOWN BOTH SIDES OF THE MODULE WITH THE COVER FABRIC TENTED OVER THE TOP OF THE PERFORATED DISTRIBUTION PIPE.
 - PLACE SHOVEL FULL'S OF SPECIFIED SAND DIRECTLY OVER THE PIPE AREA ALLOWING THE COVER FABRIC TO FORM A MOSTLY VERTICAL ORIENTATION ALONG THE SIDES OF THE PIPE. REPEAT THIS STEP MOVING DOWN THE PIPE.
 - BACKFILL MATERIAL SHALL BE CLEAN WITH NO ROOTS OR STONES LARGER THAN 2 INCHES IN ANY DIMENSION TO A MINIMUM DEPTH OF 8 INCHES OVER THE GSF MODULES AND FINAL COVER FOR VEGETATION OF 4 INCHES TO 6 INCHES OF CLEAN LOAM.
 - ANY SYSTEM WHICH IS MORE THAN 18 INCHES BELOW FINISH GRADE AS MEASURED FROM THE TOP OF THE MODULE SHALL BE VENTED.

TABLE 2
REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)

SYSTEM COMPONENTS	WELL OR SUCTION LINE (e) (g)	STREAM, LAKE, WATERCOURSE (b), or WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH or RAIN GARDENS (h)
HOUSE SEWER DRAIN (WATERTIGHT JOINTS)	25 IF CAST IRON 50 OTHERWISE	25	3	10	10
SEPTIC TANK, DOSING TANK & WATERTIGHT ETU	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOX/DROP BOX	50	50	10	10	10
DISTRIBUTION BOX/DROP BOX	100	100	20	10	50
ABSORPTION FIELD (c) (d)	100 (a)	100	20	10	50
SEEPAGE PIT (d)	150 (a)	100	20	10	50
RAISED SYSTEM OR MOUND (c) (d)	100 (a)	100	20	10	50
INTERMITTENT SAND FILTER (d)	100 (a) (f)	100 (f)	20	10	50
NON WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50	50	20	10	50
NON WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100	50	20	10	50

- NOTES:**
- WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
 - MEAN HIGH WATER MARK, WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSDEC REGIONAL OFFICE.
 - FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN 9.12.2 OF THIS HANDBOOK.
 - SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA [i.e. RESERVE AREA], WHEN AVAILABLE.
 - THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (e.g., PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL WATER SERVICE LINE).
 - WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.
 - THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
 - RECOMMENDED; USE SITE EVALUATION TO AVOID DOWNS SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTS FUNCTIONALITY.
- EMBANKMENT OR VERY STEEP SLOPE:** IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 25 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 50 FEET FROM AN EMBANKMENT OR VERY STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).
- SWIMMING POOLS (ABOVE OR BELOW GROUND):** IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 20 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 35 FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON OWTS ACCESSIBILITY AND FUNCTIONALITY.

ACCEPTED AS ORANGE COUNTY HEALTH DEPARTMENT POLICY & STANDARD WITH THE FOLLOWING ADDITIONS

- SEPARATION: WELL TO SWALE, STREAM OR WATERCOURSE - 25'.
- SEPARATION: ABSORPTION FIELD TO THE HIGH WATER LINE OF A WET POND - 100'.
- SEPARATION: ABSORPTION FIELD TO INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN - 50'.
- SEPARATION: ABSORPTION FIELD TO CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE) - 35'.
- SEPARATION: ABSORPTION FIELD TO CURTAIN DRAIN - 15'.
- SEPARATION: ABSORPTION FIELD, PITS, EXPANSION AREA, TO TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE - 25'.
- SEPARATION: ABSORPTION FIELD TO SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE ESMT - 10'.
- DRAINAGE PIPES WITHIN 25' OF ANY WELL MUST BE WATERTIGHT.
- SEPARATION: WELL TO CEMETERY PROPERTY LINE - 100'.
- SEPARATION: WELL TO SUBDIVISION BOUNDARY - 50'.
- SEPARATION: EVAPOTRANSPIRATION-ABSORPTION SYSTEM TO DRAINAGE DITCH - 50'.
- SEPARATION: DRY WELL (ROOF AND FOOTING) TO DRAINAGE DITCH - 50'.

THE PROPOSED SEWAGE DISPOSAL SYSTEM AND WATER SUPPLY SYSTEM SHOWN HAS BEEN DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH FOR RESIDENTIAL LOTS. THE DESIGNS ARE BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOTS AT THE DESIGN LOCATION DURING THE TIME OF THE DESIGN.

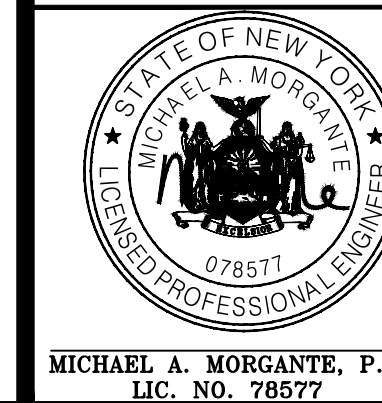
SANITARY NOTES

- THE DESIGN AND LOCATION OF SANITARY (WATER & SEWER) SYSTEMS SHALL NOT BE CHANGED WITHOUT REVIEW & APPROVAL BY THE TOWN OF CHESTER.
- ALL WELLS & SEPTIC SYSTEMS W/1 200' OF THE PROJECT HAVE BEEN LOCATED BY THE PROJECT SURVEYOR AND SHOWN ON THE PLANS.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF ALL OF THE LATERALS MUST BE CAPPED.
- THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDOE COMPACTION OF NATIVE SOIL THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS NOR WATER CONDITIONERS AS SUCH. THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE ENGINEER.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING NYSDEC WELL COMPLETION REPORT.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY TREATMENT, AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE STRUCTURE, THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
- SEPTIC TANK TO BE REINFORCED CONCRETE.
- PIPE FROM HOUSE TO SEPTIC TANK TO BE STRAIGHT.
- NO CELLAR, FOOTING, OR ROOF DRAINS SHALL DISCHARGE INTO SEPTIC TANKS OR DRAIN FIELDS.
- SEWAGE DISPOSAL SYSTEM SHALL BE DESIGNED, LOCATED AND CONSTRUCTED TO ALLOW FOR A 50% EXPANSION FOR TILE FIELDS CAPABILITY FOR FUTURE USE.
- INSTALL TRENCHES PARALLEL TO CONTOURS.
- DRIVEWAYS AND OTHER STRUCTURES WHICH MAY COMPACT THE SOILS SHALL NOT BE CONSTRUCTED ON TOP OF ABSORPTION FIELD.
- DIVERSION SWALES TO BE LOCATED UPHILL FROM THE SEWAGE DISPOSAL AREA. THE DIVERSION SWALES ARE TO DIVERT RUNOFF AWAY FROM THE SEWAGE DISPOSAL AREA AND THE FUTURE EXPANSION AREA.
- SEPTIC TANK INLETS TO BE OPPOSITE OUTLET.
- ALL TREES, STUMPS, BRUSH, WEEDS, ETC. SHALL BE CUT TO GRADE AND REMOVED. ALL LEAVES, LIMBS, AND BOULDERS ABOVE GRADE SHALL BE CAREFULLY REMOVED.
- THE SUBJECT PARCEL DOES NOT FALL WITHIN A PUBLIC WATER SUPPLY WATERSHED.
- ALL ROOF AND FOOTING DRAINS MUST DISCHARGE AWAY FROM SANITARY ABSORPTION FACILITIES.
- SEPTIC TANKS SHALL BE INSPECTED PERIODICALLY AND PUMPED EVERY 1-2 YEARS.
- DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.

REV.	BY	DATE	DESCRIPTION

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TOWN OF NEWBURGH,
ORANGE COUNTY, NEW YORK

SEWAGE DISPOSAL SYSTEM DETAILS

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CHECKED: MM
SUBMIT NO. 08 of 10

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

UDig NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION

EXISTING CONDITIONS & SURVEY NOTES:

- 1. SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH, SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
2. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON SO NOTED.
3. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
4. SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
5. THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL DISESAFELY NEW YORK 1-800-962-7962 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.
6. ONLY TITLE SURVEYS BEARING THE MAKERS EMBOSSED SEAL SHOULD BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND CHANGES.
7. BOUNDARY LINES SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO WHATEVER STATE OF FACTS THAT AN ACCURATE BOUNDARY SURVEY MAY REVEAL.

GRADING NOTES:

- 1. PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
2. IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
3. ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE RULE 753.
4. STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
5. BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THE ORNAMENT TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
7. REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
8. IF PREVIOUSLY UNKNOWN CULTURAL ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER.

DEMOLITION NOTES:

- 1. EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO CONSTRUCTION OF NEW IMPROVEMENTS.
2. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
3. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
4. NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
5. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
6. LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
7. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
8. PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
9. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
10. MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE WITH AUTHORITY HAVING JURISDICTION.
11. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
12. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
13. FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
14. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
15. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
16. USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
17. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
18. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
19. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURR DEMOLISHED MATERIALS ON-SITE.

GENERAL CONSTRUCTION:

- 1. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
2. NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
4. CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
6. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
7. ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC. SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
8. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
9. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
A. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
B. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
C. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

SITE PLAN MAP NOTES:

- 1. NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE APPROVED SITE PLAN.

UTILITY PLAN NOTES:

- 1. ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION IS TO PROCEED.
3. SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi. 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
4. ALL PROPOSED UTILITIES SHALL BE COORDINATED WITH BUILDING PLANS FOR ANY CONNECTIONS.
5. ALL GRAVITY SANITARY SEWER SHALL BE SDR 35 PVC, CONFORMING TO ASTM SPECIFICATION D-3034. MINIMUM PIPE STIFFNESS (F/Y) AT 5% DEFLECTION SHALL BE 46 PSI WHEN TESTED IN ACCORDANCE WITH ASTM SPECIFICATION D-2412. ALL JOINTS AND CONNECTIONS SHALL BE MADE WATERTIGHT.
6. CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
7. EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
8. BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
10. THE CONTRACTOR SHALL COMPLY WITH ALL RELATED PERMITS AND ASSOCIATED CONDITIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
12. ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
13. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER DISTRIBUTION, ANY WATER TREATMENT, AND SEWAGE FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING(S), THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.

GENERAL NOTES:

- 1. UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED OTHER SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES, EXISTING STRUCTURE LOCATIONS AND OTHER EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR FURTHER RESOLUTION. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
4. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT OTHER CONTRACTORS MAY BE WORKING IN THE AREA ON OTHER CONSTRUCTION AT THE SAME TIME THAT WORK IS PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE AWARE OF THE NATURE AND EXTENT OF THIS OTHER WORK AND SHALL SCHEDULE AND CONDUCT HIS OWN OPERATION SO THAT THERE WILL BE NO CONFLICT IN OPERATIONS.
5. SINCE THIS PROJECT INVOLVES CONSTRUCTION WITHIN AN ACTIVE ROADWAY, IT IS IMPERATIVE THAT THE CONSTRUCTION BE CARRIED OUT BY THE UNDERGROUND UTILITY SERVICES TO INSURE THAT PROPER TRAFFIC FLOW IS MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE MAINTENANCE AND PROTECTION OF TRAFFIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND STANDARD SPECIFICATIONS.
6. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT FINISH AND QUALITY OF WORK AND MATERIALS USED IN THE CONSTRUCTION. NO ALLOWANCE SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT AND RESTORATION OF ALL NATURAL AND MANMADE FEATURES WHETHER SHOWN ON THE PLANS OR ENCOUNTERED IN THE FIELD. IT IS THE INTENTION OF THE PLANS TO SHOW ONLY MAJOR FEATURES TO BE PROTECTED, RESTORED OR REPLACED.
8. TOPSOIL SHALL BE PLACED AND AREAS SHALL BE SEEDED AS SOON AS FINAL GRADES ARE ESTABLISHED ON THE SLOPES. SLOPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
9. THE CONTRACTOR SHALL CONTACT ALL THE APPROPRIATE PARTIES WITH JURISDICTION OVER THE UTILITIES ENTERING ON OR NEAR THE PROJECT AREA PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AND PROVIDE THOSE AGENCIES 72 HOURS NOTIFICATION.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION. IN SO FAR AS THEY MAY BE ENDANGERED BY HIS WORK, THIS SHALL HOLD WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION TO UTILITY SERVICES.
11. IF TEMPORARY UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED, AT NO ADDITIONAL COST TO THE OWNER, AND IT SHALL BE HIS RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THE PROJECT AS NECESSARY.
12. PRIOR TO LEAVING THE WORK SITE EACH DAY, THE CONTRACTOR SHALL REMOVE OR PROTECT ANY PART OF THE WORK SITE THAT IS CONSIDERED HAZARDOUS TO THE TRAVELING PUBLIC BY THE TOWN ENGINEER OR POLICE DEPARTMENT.
13. DURING ALL CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE. IF CONDITIONS REQUIRE THAT ACCESS BE TEMPORARILY CLOSED, THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 24 HOURS IN ADVANCE. ALL ACCESS DRIVES WILL BE OPEN FOR SAFE USE AT THE END OF EACH WORK DAY.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
15. ARDEN CONSULTING ENGINEERS, PLLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWING, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ARDEN CONSULTING ENGINEERS, PLLC SHOP DRAWING REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT ARDEN CONSULTING ENGINEERS, PLLC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. ARDEN CONSULTING ENGINEERS, PLLC WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. ARDEN CONSULTING ENGINEERS, PLLC WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
16. NEITHER THE PROFESSIONAL ACTIVITIES OF ARDEN CONSULTING ENGINEERS, PLLC, NOR THE PRESENCE OF ARDEN CONSULTING ENGINEERS, PLLC OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. ARDEN CONSULTING ENGINEERS, PLLC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY, ARDEN CONSULTING ENGINEERS, PLLC SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND MUNICIPAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERE TO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
18. THESE NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

LAYOUT:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER OR THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.
2. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW BY THE ENGINEER.
4. BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
5. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.

ROCK REMOVAL NOTES:

- 1. ALL RECOMMENDED SAFETY REQUIREMENTS AND STANDARDS REFERENCED AND ANY LOCAL RESTRICTIONS SHALL BE APPLIED AS REQUIRED FOR SAFETY, SECURITY, AND SPECIFICALLY RELATED DETAILS FOR BLASTING OPERATIONS, AT ALL TIMES. FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE FOLLOWED CONCERNING THE TRANSPORTATION AND STORAGE OF EXPLOSIVES.
2. A MINIMUM OF FOUR (4) WEEKS PRIOR TO COMMENCEMENT OF THE INITIAL BLASTING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AS APPROPRIATE: POLICE AGENCIES, GAS AND ELECTRIC SERVICE COMPANIES, TELEPHONE AND CABLE OPERATING COMPANIES, TOWN WATER AND SEWER DEPARTMENTS, NYSDDOT, AND LOCAL FIRE, RESCUE, AND AMBULANCE SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THE USE OF EXPLOSIVES. EXPLOSIVES SHALL BE STORED IN A SECURE MANNER IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.
4. THE CONTRACTOR SHALL NOTIFY EACH PROPERTY AND UTILITY OWNER HAVING A BUILDING, STRUCTURE, OR OTHER INSTALLATION ABOVE OR BELOW GROUND IN PROXIMITY TO THE SITE OF THE WORK OF HIS INTENTION TO USE EXPLOSIVES. NOTICE SHALL BE GIVEN SUFFICIENTLY IN ADVANCE TO ENABLE THE OWNERS TO TAKE STEPS TO PROTECT THEIR PROPERTY. NOTICE SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DAMAGE RESULTING FROM HIS BLASTING OPERATIONS.
5. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT PRE-BLAST SURVEYS WITH PROPERTY OWNERS LOCATED IN THE AREA POTENTIALLY AFFECTED BY AIRBLAST OVERPRESSURE AND GROUND VIBRATION OR AS REQUIRED.
6. THE CONTRACTOR SHALL IMPLEMENT ENGINEERING MEASURES IN ORDER TO MINIMIZE THE POTENTIAL IMPACTS OF DUST, NOISE AND GROUND VIBRATION. BLAST VIBRATION CONTROL WILL BE ACHIEVED BY LIMITING THE CHARGE PER DELAY SO THAT THE PEAK PARTICLE VELOCITY REMAINS BELOW THE SPECIFIED LEVELS.
7. AN APPROPRIATELY QUALIFIED, LICENSED BLASTING SPECIALIST, WITH EXPERIENCE SHALL BE ONSITE AND SUPERVISE BLASTING OPERATIONS. AT ALL TIMES, THE BLASTING AREA SHALL BE RESTRICTED TO BLASTING OPERATIONS AND AUTHORIZED PERSONNEL ONLY.
8. PROTECTIVE MEASURES INCLUDING INSTALLATION OF SIGNAGE, NOTIFICATION OF NEARBY RESIDENTS, TRAFFIC CONTROL, AS NECESSARY ALONG NEARBY ROADS, AUDIBLE PRE-BLAST WARNINGS, AND USE OF BLAST MATS SHALL BE IMPLEMENTED.
9. DELIVERY AND TRANSPORT OF EXPLOSIVES FROM THE POWDER MAGAZINES TO THE BLAST AREA WILL BE BY VEHICLES SPECIFICALLY DESIGNED FOR THIS USE BY THE CRITERIA OUTLINED IN THE SAFETY REQUIREMENTS. ONLY AUTHORIZED PERSONS WILL TRANSPORT AND HANDLE THE EXPLOSIVES AS DESIGNATED BY THE ISSUING AUTHORITY OF THOSE LICENSES FOR THIS PURPOSE.
10. MONITORING OF PEAK PARTICLE VELOCITY (INCHES/SECOND) AND PEAK AIRBLAST OVERPRESSURE (PSI) SHALL BE PERFORMED DURING ALL BLASTS.

Table with 4 columns: REV., BY, DATE, DESCRIPTION. Contains revision record.

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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