



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** 5148 ROUTE 9W – OFFICE BUILDING  
**PROJECT NO.:** 24-18  
**PROJECT LOCATION:** SECTION 43, BLOCK 2, LOT 15  
SECTION 43, BLOCK 2, LOT 14  
**REVIEW DATE:** 29 JANUARY 2024  
**MEETING DATE:** 6 FEBRUARY 2025  
**PROJECT REPRESENTATIVE:** DAVID NIEMOTKO ARCHITECTS, P.C.

1. The project was previously before the Board for an application on Tax Lot 15. The applicant's representative has identified that the owner of Tax Lot 15 purchased Tax Lot 14 and intends to utilize those parking as well as continued existing uses. Application materials should be modified to depict all record owners of each of the lots.
2. Dominic Cordisco's comments regarding the use of off-site parking and/or the need for lot consolidation should be received.
3. Our previous comments identified numerous bulk deficiencies on Tax Lot 15. As an additional lot has been added to the application a bulk table should be provided for each tax lot to determine variances required. All existing bulk deficiencies must be addressed with the Zoning Board of Appeals.
4. All parking spots in the Town of Newburgh must utilize the Town standard. (Copy Attached)
5. Access to the proposed parking area appears to be via a right-of-way. A 12-foot-wide right-of-way is depicted. Is two-way traffic permitted or will two-way traffic be allowed at this right-of-way.
6. Notes pertaining to each of the parcels being a unified site plan may be required.
7. NYSDOT continues to be an involved agency due to proximity of the site and apparent access from 9W to the recently added parcel.
8. All subsurface sanitary sewer disposal systems should be identified on the plans.
9. Other utilities serving the site including water should be depicted on the plans.
10. A proposed landscape area is depicted on Sheet C-1 while the area is depicted as pavement on C-2.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhempa@mhepc.com

11. It is unclear if NYSDOT will continue to allow the vehicles which park in front the existing 1,178 square foot structure to continue that use based on the revised site plan.
12. It is unclear why pavement is being repaired in front of the proposed 2-story office building. This area could be converted into landscaping to prevent access from NYS Route 9W to that location. Project is subject to ARB approval.
13. County Planning approval will be required in the future.

Respectfully submitted,

**MHE Engineering, D.P.C.**

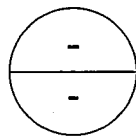
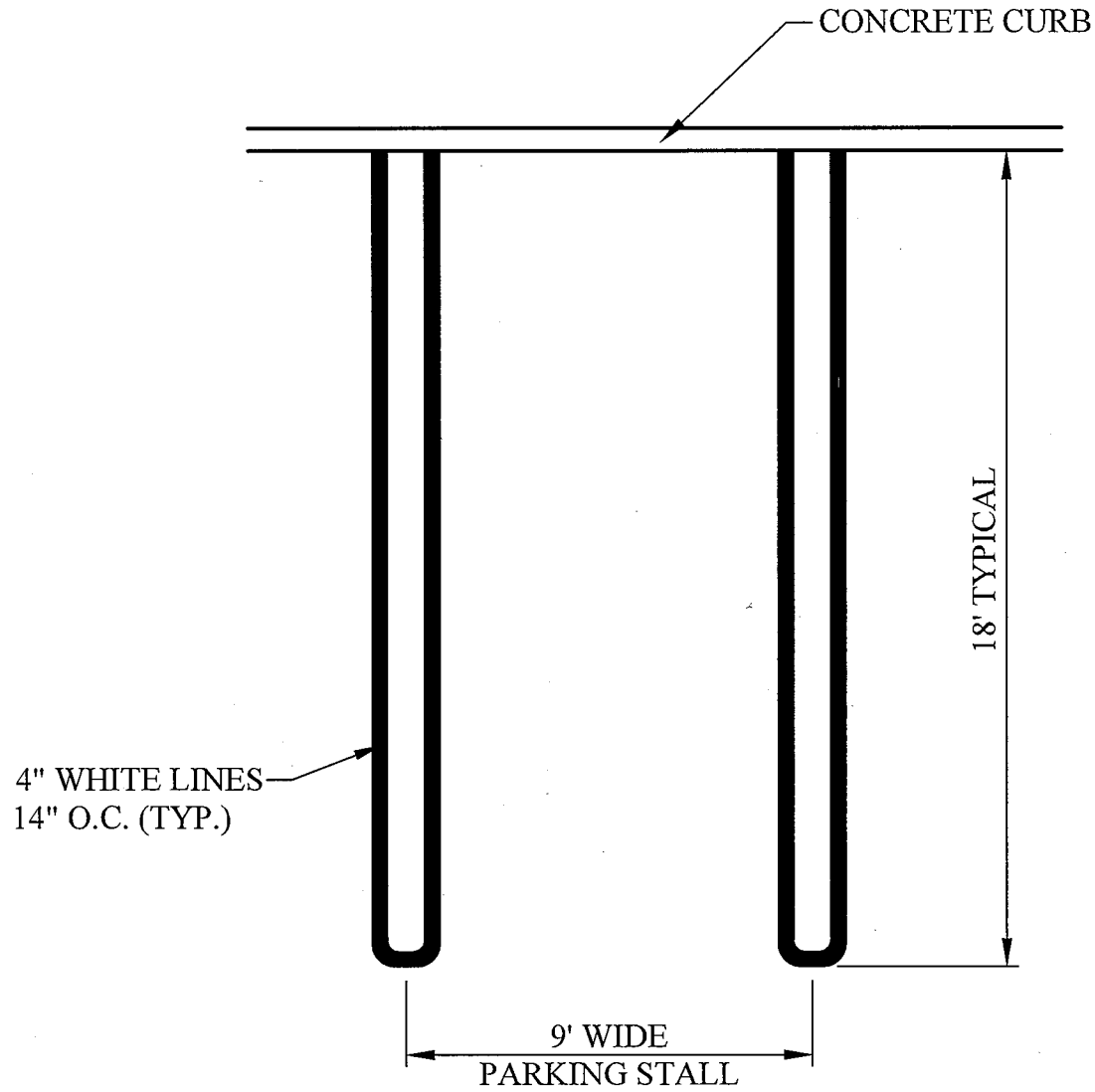


Patrick J. Hines  
Principal



Michael W. Weeks, P.E.  
Principal

PJH/kmm



# TYPICAL PARKING SPACE DETAIL

SCALE: N.T.S.

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** 2024 18  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**  
5148 Route 9W Office Building

**2. Owner of Lands to be reviewed:**  
**Name** JCH Expanding LLC  
**Address** 5148 Route 9W  
Newburgh, NY 12550  
**Phone** (516) 300-0456

**3. Applicant Information (If different than owner):**  
**Name** JCH Expanding LLC  
**Address** 5148 Route 9W  
Newburgh, NY 12550  
(516) 300-0456  
**Representative** David Niemotko  
**Phone** (845) 774-7523  
**Fax** \_\_\_\_\_  
**Email** David@NiemotkoArchitects.com

**4. Subdivision/Site Plan prepared by:**  
**Name** David Niemotko Architects, P.C.  
**Address** 167 Stage Rd Monroe, NY 10950  
\_\_\_\_\_  
**Phone/Fax** (845) 774-7523

**5. Location of lands to be reviewed:**  
5148 Route 9W Newburgh, NY 12550

**6. Zone** Business **Fire District** Middlehope Fire District  
**Acreege** 0.09 **School District** Newburgh

**7. Tax Map: Section** 43 **Block** 2 **Lot** 15

Section - 43 Block - 2 Lot - 14

**8. Project Description and Purpose of Review:**

Number of existing lots 2 Number of proposed lots 2

Lot line change None

Site plan review Building footprint change and new parking spaces on adjacent lot SBL 43-2-14

Clearing and grading \_\_\_\_\_

Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) Parking Easement Agreement

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature  Title Architect

Date: 01/09/2025

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

5148 Route 9W Office Building \_

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. NA Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14.  NA Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  NA Flood plain boundaries
16.  NA Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21.  NA Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24.  Show any existing waterways
25.  NA A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  NA Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

30.  Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. NA If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. NA Number of acres to be cleared or timber harvested
33. NA Estimated or known cubic yards of material to be excavated and removed from the site
34. NA Estimated or known cubic yards of fill required
35. NA The amount of grading expected or known to be required to bring the site to readiness
36. NA Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
- 
37. NA Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 
- 
38.      List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:   
 Licensed Professional

Date: 01/09/2025

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):



## **STATEMENT TO APPLICANTS**

### **RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW**

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

**Name of applicant:** David Niemotko Architects, P.C.

**Name of owner on premises:** JCH Expanding LLC

**Address of owner:** 10 Deforest Ave Newburgh, NY 12550

**Telephone number of owner:** (516) 300-0456

**Telephone number of applicant:** (845) 774-7523

**State whether applicant is owner, lessee, agent, architect, engineer or contractor:**  
Architect

**Location of land on which proposed work will be done:** \_\_\_\_\_  
5148 Route 9W Newburgh, NY 12550

**Section:** 43      **Block:** 2      **Lot:** 15      **Sub. Div.:** \_\_\_\_\_

**Zoning District of Property:** Business      **Size of Lot:** 0.09 acres

**Area of lot to be cleared or graded:** \_\_\_\_\_

**Proposed completion of date:** \_\_\_\_\_


**Name of contractor/agent, if different than owner:** Angel's Renovation Inc

**Address:** Newburgh, NY 12550

**Telephone number:** (845) 275-8292

**Date of Planning Board Approval:** \_\_\_\_\_ (if required)

**I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.**

**Signature of owner:**       **Date:** 01-09-2025

**Signature of applicant (if different than owner):** 

**TOWN ACTION:**

**Examined:** \_\_\_\_\_ **20** \_\_\_\_\_

**Approved:** \_\_\_\_\_ **20** \_\_\_\_\_

**Disapproved:** \_\_\_\_\_ **20** \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

JCH Expanding LLC

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**



\_\_\_\_\_  
**APPLICANTS SIGNATURE**

10/08/2024

\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

(OWNER) JCH Expanding LLC., **DEPOSES AND SAYS THAT HE/SHE**  
**RESIDES AT** 1 0De forest Ave ,Newburgh ,NY 12550  
**IN THE COUNTY OF** Orange  
**AND STATE OF** NY  
**AND THAT HE/SHE IS THE OWNER IN FEE OF** \_\_\_\_\_  
5148 Route 9W Newburgh NY 12550 (SBL:43-2-15)

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING**  
**APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH**  
**PLANNING BOARD AND** David Niemotko Architect, P.C. **IS AUTHORIZED**  
**TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

**DATED:** 10/08/2024

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**NAMES OF ADDITIONAL  
REPRESENTATIVES**

  
\_\_\_\_\_

**OWNERS SIGNATURE**

Belky Jimenez

**OWNERS NAME (printed)**

  
\_\_\_\_\_

**WITNESS' SIGNATURE**

Jesse Shih

**WITNESS' NAME (printed)**

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.


The applicant hereby acknowledges, consents, and agrees to the above.

10/08/2024

\_\_\_\_\_  
**DATED**

David Niemotko

\_\_\_\_\_  
**APPLICANT'S NAME** (printed)



\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

  X   **NONE**

                   **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

                   **TOWN BOARD**  
  X   **PLANNING BOARD**  
                   **ZONING BOARD OF APPEALS**  
                   **ZONING ENFORCEMENT OFFICER**  
                   **BUILDING INSPECTOR**  
                   **OTHER**

10/08/2024  
**DATED**

  
\_\_\_\_\_  
**INDIVIDUAL APPLICANT**

David Niemotko Architects, P.C.  
**CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** President (Principal Architect)  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** 10/08/2024

**NAME OF PROJECT:** 5148 Route 9W Office Building

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

**Type (steel, wood, block, split block, etc.)**

Stucco, Wood

**COLOR OF THE EXTERIOR OF BUILDING:**

White, Brown, & Black

**ACCENT TRIM:**

**Location:** 30" Stone Waterline

**Color:** Light Gray

**Type (material):** Stone

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

\_\_\_\_\_

**ROOF:**

**Type (gabled, flat, etc.):** New gable roof with new dormers framed over existing roof

**Material (shingles, metal, tar & sand, etc.):** Metal

**Color:** Dark brown



**WINDOWS/SHUTTERS:**

**Color (also trim if different):** Black Metal

**Type:** Casement and Fixed Windows

**DOORS:**

**Color:** Black Metal

**Type (if different than standard door entrée):** Aluminum double doors w/ glass

**SIGN:**

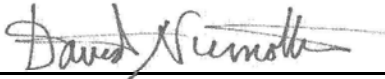
**Color:** Blue, Red, Yellow

**Material:** Metal

**Square footage of signage of site:** 50 SF

David Niemotko Architects, P.C. | Architect

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**



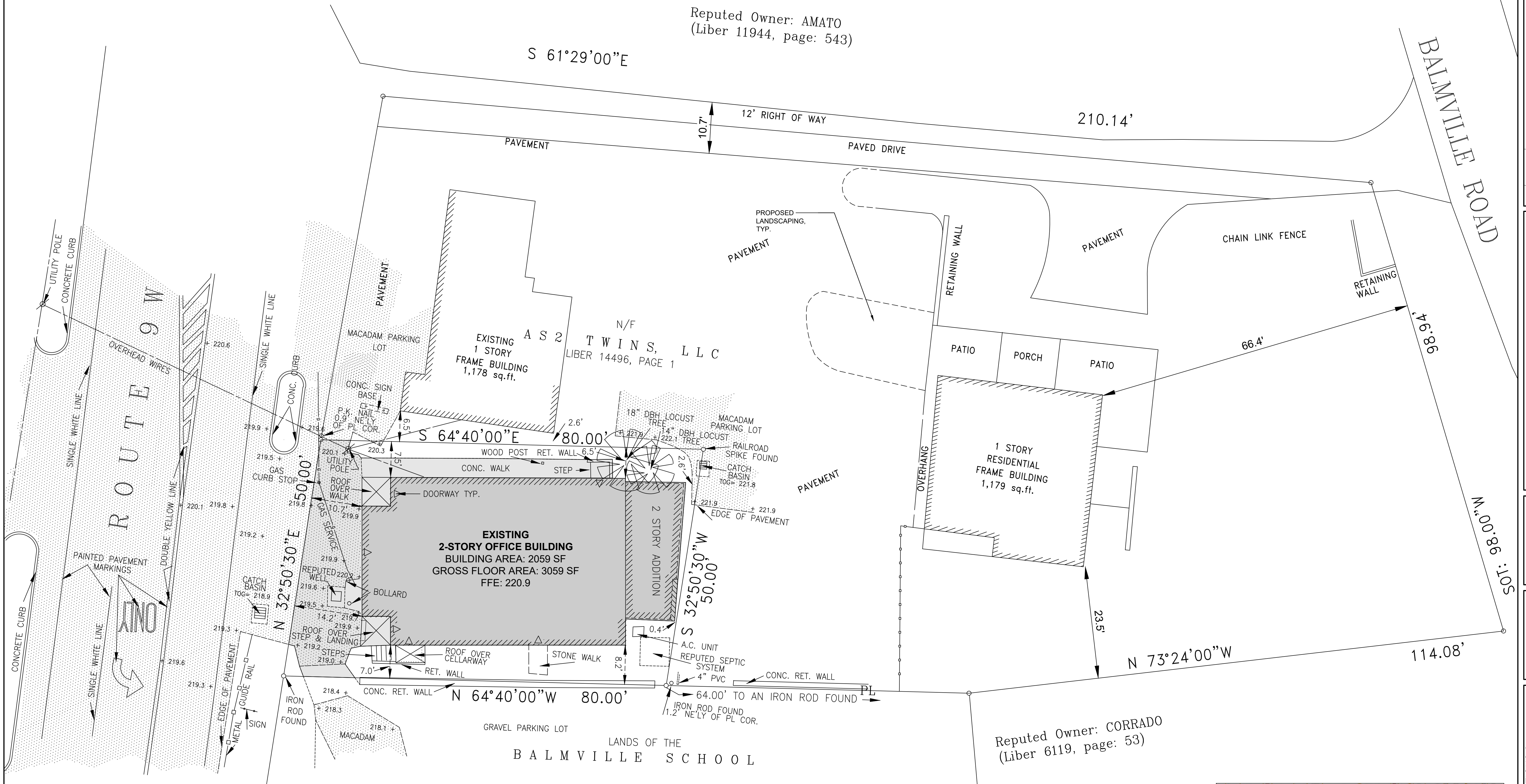
**Signature**

## **LIST OF ADJACENT PROPERTY OWNERS**

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.



Reputed Owner: AMATO  
(Liber 11944, page: 543)



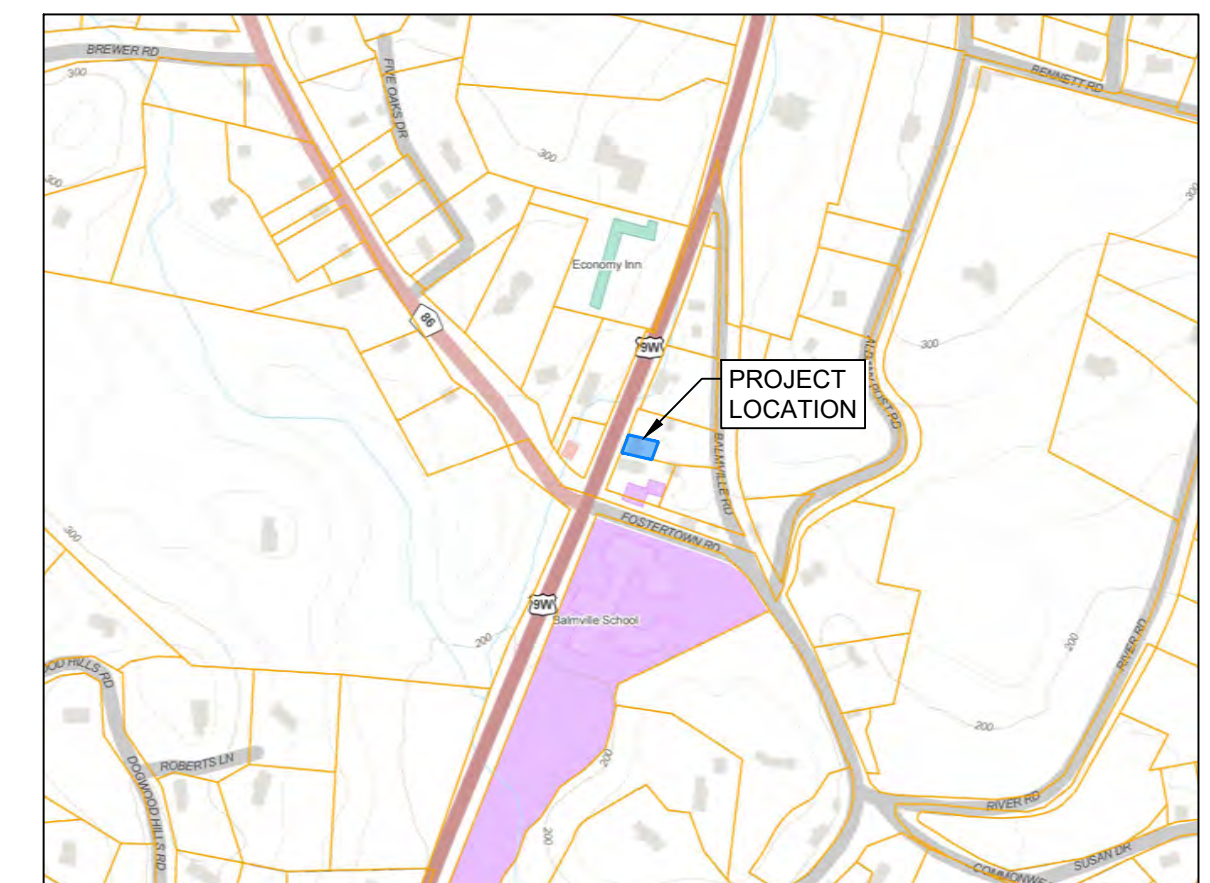
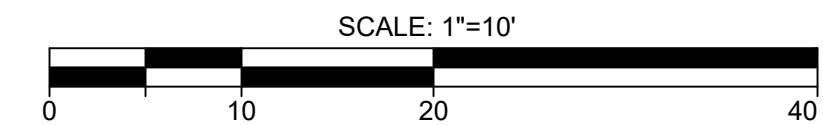
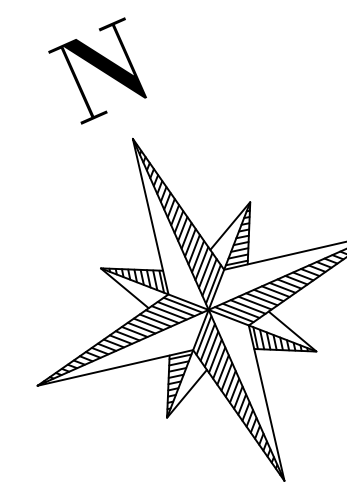
**1** EXISTING CONDITIONS & DEMOLITION PLAN  
C-1 SCALE: 1"=10'

- NOTES:**
1. LOT OWNER: JCH EXPANDING LLC
  2. OWNER ADDRESS: 10 DEFOREST AVE NEWBURGH NY 12550
  3. LOT ID: 43-2-15, TOWN OF NEWBURGH
  4. LOT AREA: 3996 SF / 0.09 Ac.
  5. ZONING DISTRICT: BUSINESS DISTRICT, LHI OVERLAY
  6. EXISTING BRICK BUILDING TO BE RENOVATED FOR AN OFFICE. FRONT PAVED AREA RE-PAVED AND RE-STRIPED. BUILDING SHALL UTILIZE EXISTING WELL AND SEPTIC SYSTEM.
  7. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

**REFERENCES:**

1. THIS PLAN IS BASED ON A SURVEY BY STEVEN P. DRABICK, P.L.S., P.C. DATE MARCH 27, 2024.
2. VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES, TOWN OF NEWBURGH, 2024.

**KEY**  
 + 121.1 SPOT ELEVATION  
 TOG TOP OF GRATE  
 FFF FINISHED FIRST FLOOR  
 FBF FINISHED BASEMENT FLOOR  
 DATUM: APPROX. NAVD 88 TAKEN FROM U.S.G.S. NEWBURGH QUADRANGLE.



**2** VICINITY MAP  
C-1 SCALE: 1"=500'

REVISIONS  
 DATE CLIENT REVIEW SUBMISSION  
 06.08.2024 06.10.2024 PLANNING BOARD SUBMISSION  
 1 2  
 3



DAVID NIEMOTKO ARCHITECTS, P.C.  
 167 STAGE ROAD  
 MONROE, NEW YORK 10950  
 Ph: (845) 774-7523  
 www.niemotkoarchitects.com

**NOTE**  
 FOR AUTHENTICITY  
 SEAL MUST BE ORIGINAL AND  
 SIGNATURE MUST  
 BE IN COLOR - BOTH CANNOT BE  
 COPIED

**FOR REVIEW**

**EXISTING CONDITIONS & DEMOLITION PLAN**  
 SHEET TITLE: 5148 NY-9W OFFICE BUILDING  
 PROJECT: 5148 ROUTE 9W NEWBURGH, NY 12550  
 CLIENT: JCH EXPANDING LLC 10 DEFOREST AVE NEWBURGH NY 12550

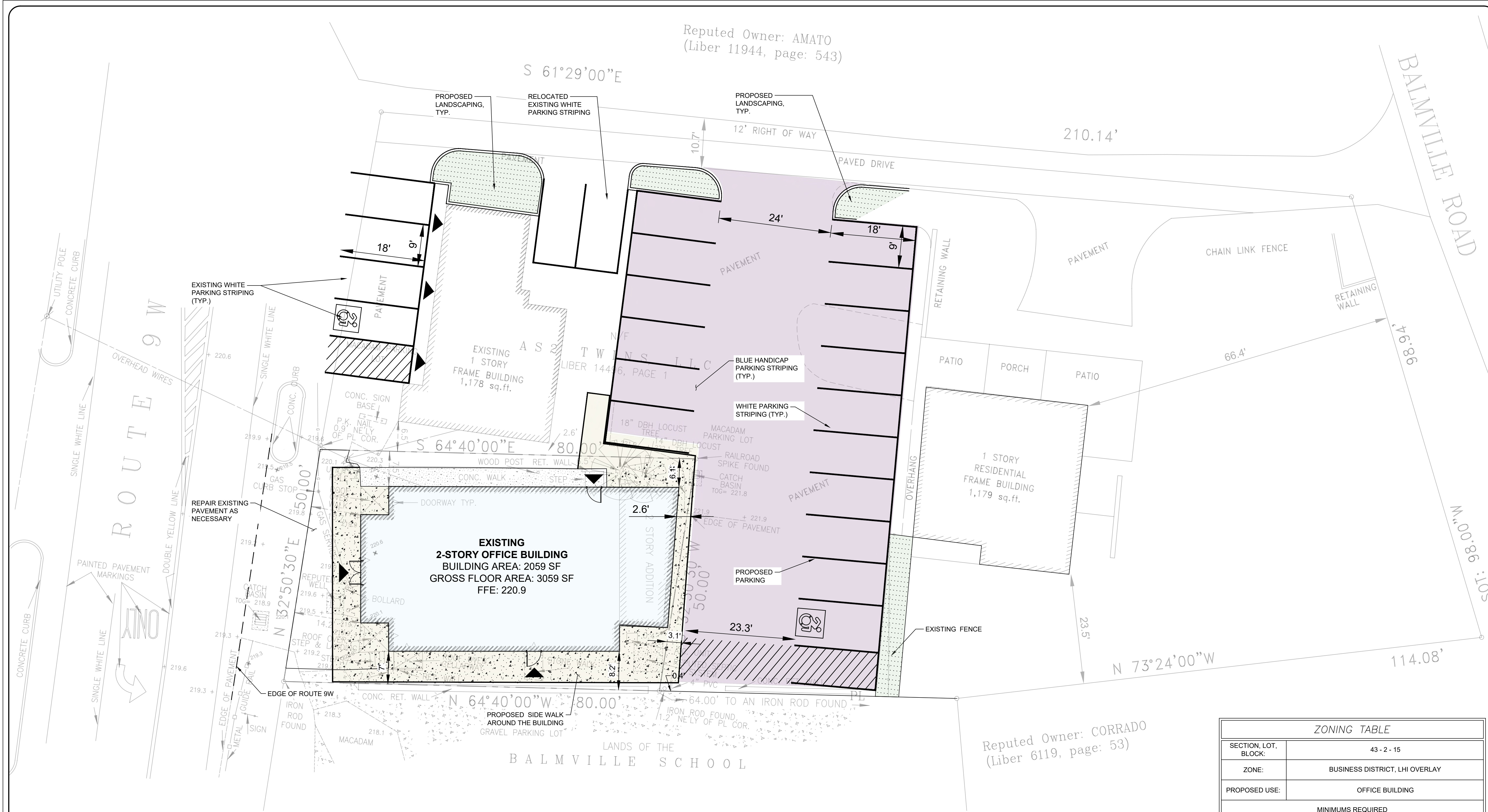
SCALE:  
 DRAWN BY: O.S.  
 CHECKED BY: D.N.  
 JOB #  
 PLOT DATE: 10/02/2024

SHEET No.  
**C-1**  
 PAGE 1 OF 3



Reputed Owner: AMATO  
(Liber 11944, page: 543)

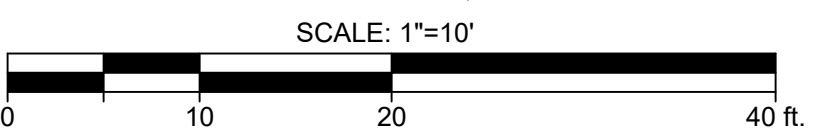
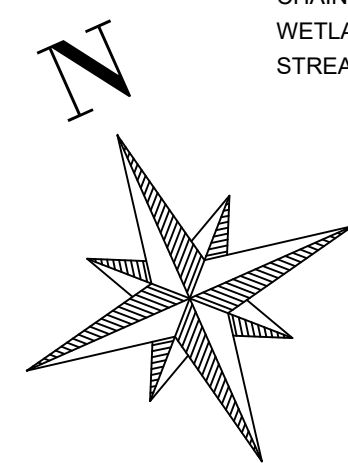
Reputed Owner: CORRADO  
(Liber 6119, page: 53)



1 SITE PLAN  
C-2 SCALE: 1"=10'

**LEGEND**

PROPERTY LINE	---
SETBACK LINE	----
2 FT CONTOUR	.....
TREE LINE	.....
CHAIN LINK FENCE	-x-x-
WETLANDS BOUNDARY	.....
STREAM OR BROOK	.....



PARKING REQUIREMENTS				
USE	REQUIREMENT	REQUIRED	EXISTING	PROPOSED
OFFICE	1 SPACE / 200 SF OF FLOOR AREA	15.3 (3,059 SF)	N/A	16
<b>TOTAL</b>		<b>16</b>	<b>-</b>	<b>16</b>

PARKING REQUIREMENTS (ADJACENT LOT)				
USE	REQUIREMENT	REQUIRED	EXISTING	PROPOSED
OFFICE BUILDING 1	1 SPACE / 200 SF OF FLOOR AREA	6 (5,9 SF)	6	NO CHANGE
RESIDENTIAL BUILDING	2 SPACES	2	2	NO CHANGE
<b>TOTAL</b>		<b>8</b>	<b>-</b>	<b>8</b>

ZONING TABLE			
SECTION, LOT, BLOCK:	43 - 2 - 15		
ZONE:	BUSINESS DISTRICT, LHI OVERLAY		
PROPOSED USE:	OFFICE BUILDING		
MINIMUMS REQUIRED			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF)	15,000	3,966 (0.09 Ac.) (E)	NO CHANGE
LOT WIDTH (FT)	100	50 (E)	NO CHANGE
LOT DEPTH (FT)	125	80 (E)	NO CHANGE
FRONT SETBACK (FT)	40	10.7 (E)	15.6
REAR SETBACK (FT)	30	0.4 (E)	NO CHANGE
SIDE SETBACK (ONE / TOTAL FT)	15 / 30	6.1 / 13.1 (E)	NO CHANGE
MAXIMUMS PERMITTED			
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE (%)	40%	55.1% (E) (2186 SF)	51.9% (2059 SF)
LOT COVERAGE (%)	80%	76.8% (3045 SF)	77% (3056 SF)
BUILDING HEIGHT (FT)	35	20	26.7

(E) - EXISTING NON-CONFORMITY  
(V) - VARIANCE REQUESTED

DATE	06.08.2024	CLIENT REVIEW
DATE	06.12.2024	PLANNING BOARD SUBMISSION
DATE	07.02.2025	PLANNING BOARD SUBMISSION
NO.	1	
NO.	2	
NO.	3	

DAVID NIEMOTKO ARCHITECTS, P.C.  
167 STAGE ROAD  
MONROE, NEW YORK 10950  
Ph: (845) 774-7523  
www.niemotkoarchitects.com

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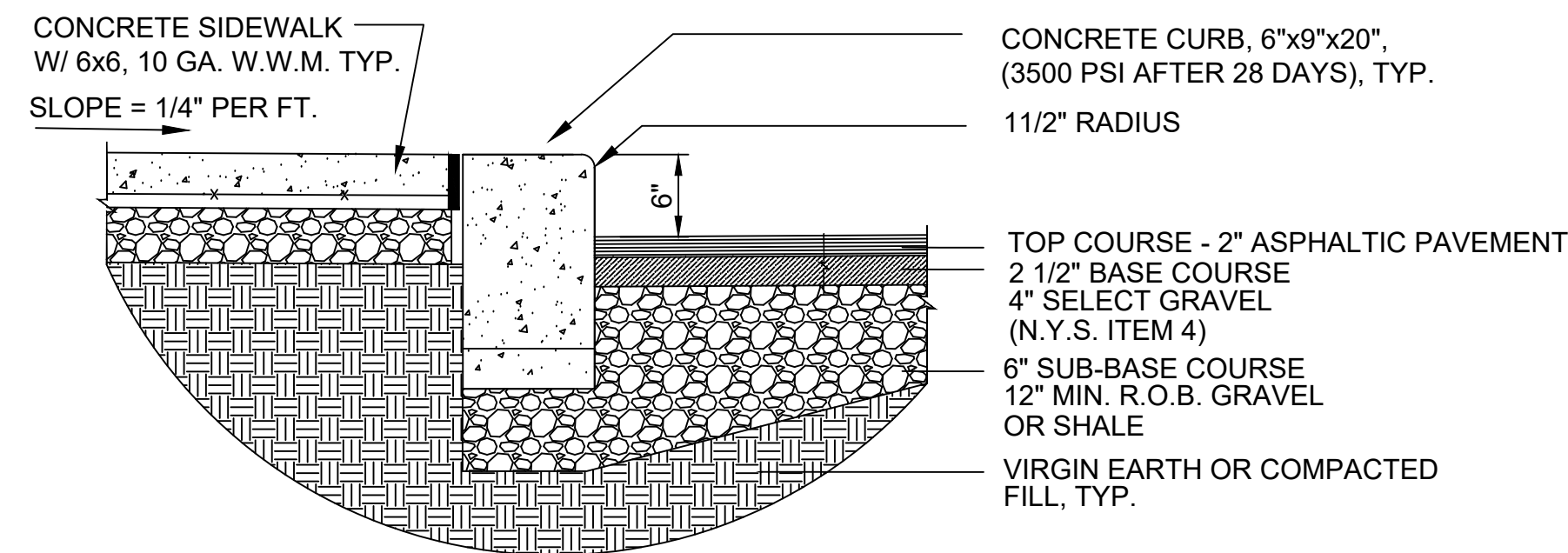
**FOR REVIEW**

SHEET TITLE	SITE PLAN
PROJECT	5148 NY-9W OFFICE BUILDING 5148 ROUTE 9W NEWBURGH, NY 12550
CLIENT	JCH EXPANDING LLC 10 DEFOREST AVE NEWBURGH NY 12550

SCALE:	
DRAWN BY:	O.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	10/02/2024

SHEET NO.  
**C-2**  
PAGE 2 OF 3



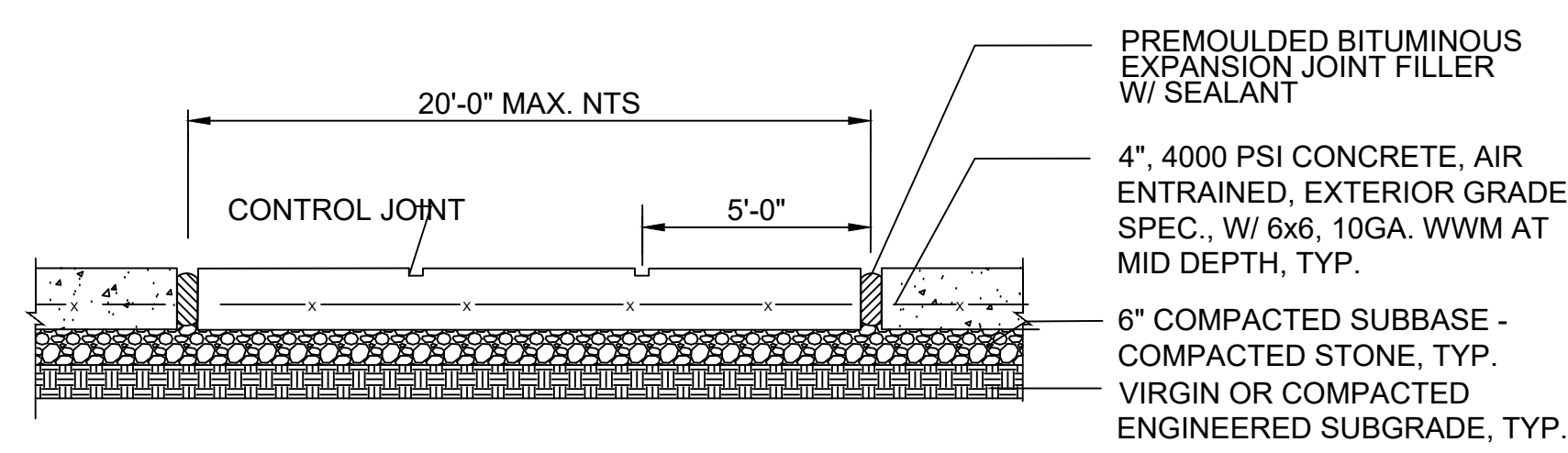


PAVEMENT, CURB & SIDEWALK DETAIL

SCALE: 3/4" = 1'-0"

NOTES:

1. EXPANSION JOINTS CONSISTING OF 1/2" PRE-MOLDED FIBER JOINT FILLER SHALL BE INSTALLED AT 10' INTERVALS IN CURBING AND SIDEWALKS AND AT JOINTS BETWEEN CURB & SIDEWALK AND SIDEWALK & BUILDING.
2. CONSTRUCTION JOINTS SHALL NE INSTALLED 5' O/C.
3. CONCRETE FOR CURBING AND SIDEWALKS SHALL BE 4,000 PSI DESIGN MIX.
4. CURBS TO BE INSTALLED IN 10 FOOT LENGTHS.

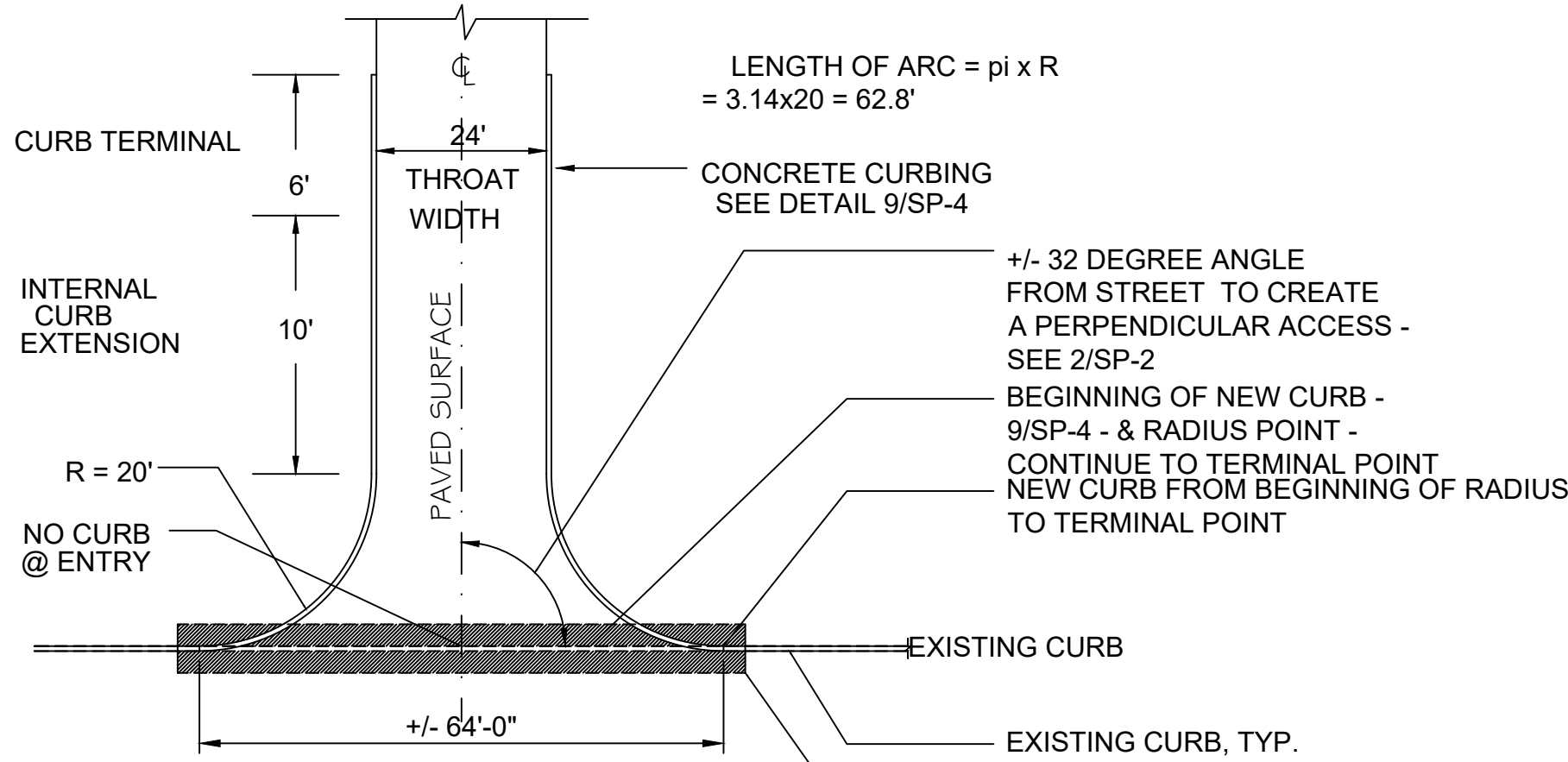


CONCRETE SIDEWALK DETAIL

SCALE: 1/4" = 1'-0"

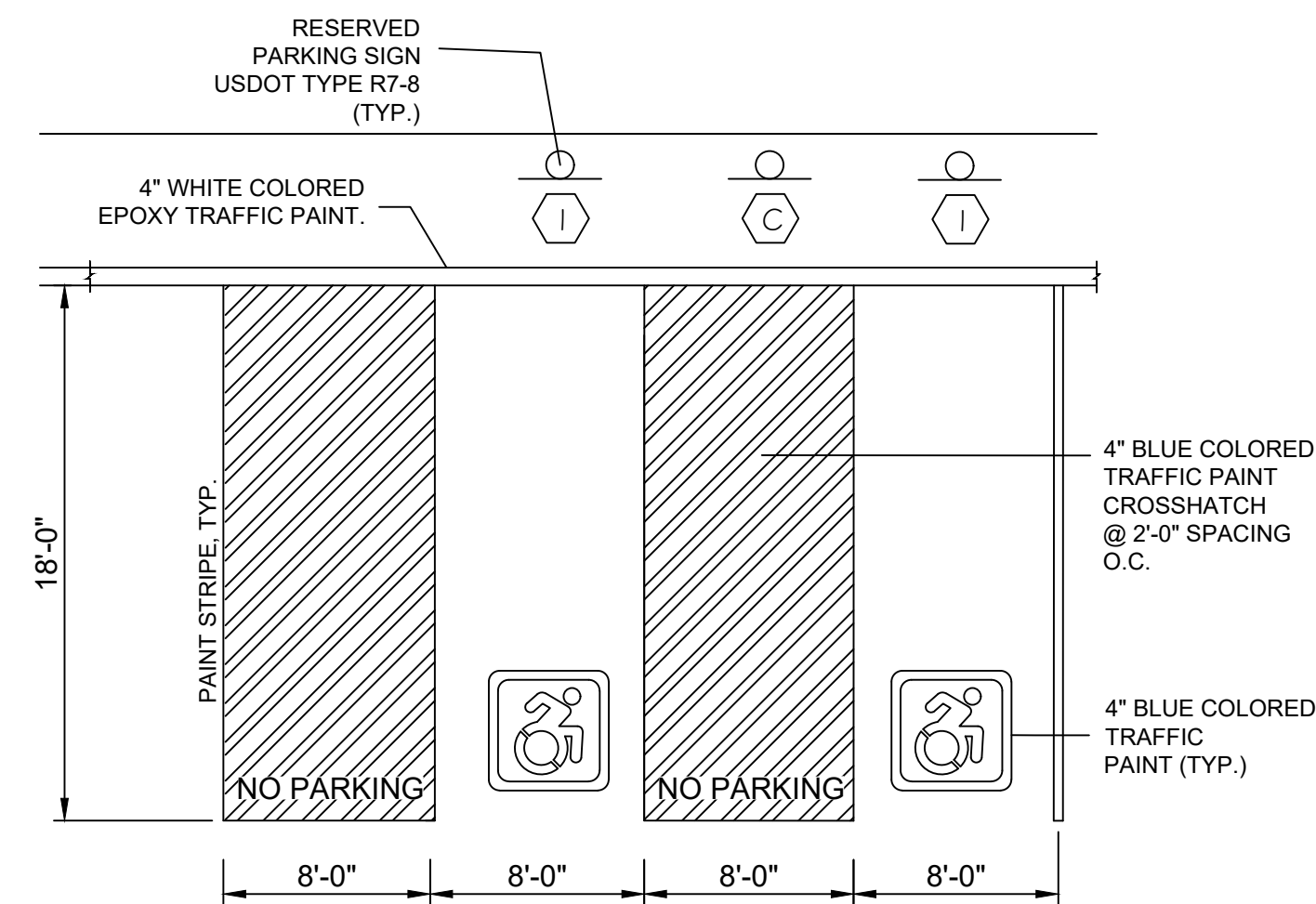
NOTES:

1. BROOM FINISH SLAB AT 90 DEGREES TO EACH SUCCEEDING SECTION.
2. CONTROL JOINTS TO BE 1 INCH DEEP.
3. JOINT SPACING SHALL BE EQUAL TO WIDTH OF WALK.
4. INSTALL 1/2" PRE-MOLDED EXPANSION JOINT @ 24" O/C AND AT ALL ABUTMENTS TO OTHER STRUCTURES.
5. CONCRETE SHALL BE PORTLAND CEMENT, AIR-ENTRAINED, EXTERIOR DESIGN MIX. WITH AN AIR CONTENT OF 5% TO 7% MAX. AND A SLUMP OF 3" TO 5" MAX.
6. ALL CONCRETE SIDEWALK PLACEMENT SHALL BE INSTALLED IN FULL PANEL LIMITS.
7. EXPANSION JOINTS TO BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINES, AT CURBS AND ALL INTERSECTING ELEMENTS.



ROAD ENTRANCE DETAIL

SCALE: NTS

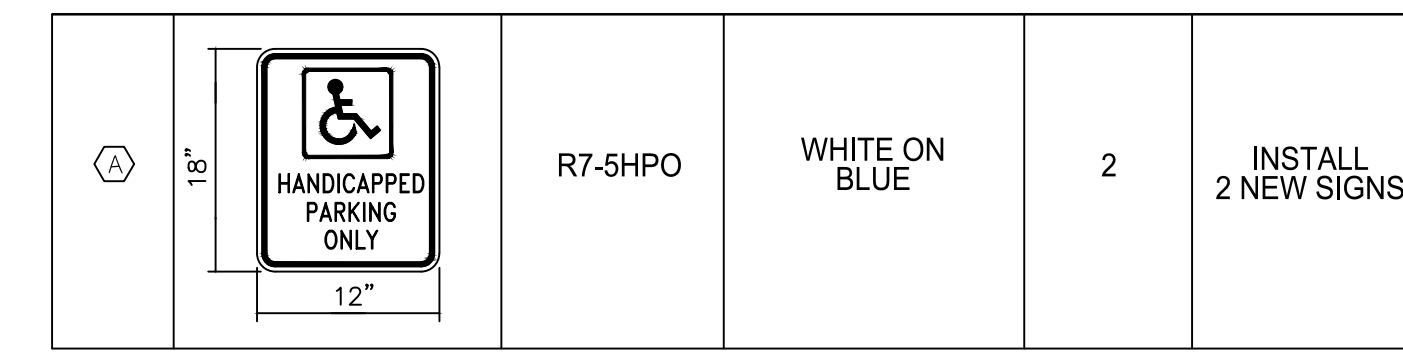


ADA ACCESSIBLE PARKING DETAILS & TYPICAL PARKING SPACE REQUIREMENTS

SCALE: NTS

NOTES:

1. ALL MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA MANUAL AND CODE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING WITH BLUE BACKGROUND AND WHITE BORDER.
2. ADA PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ACCESSIBLE ENTRANCES

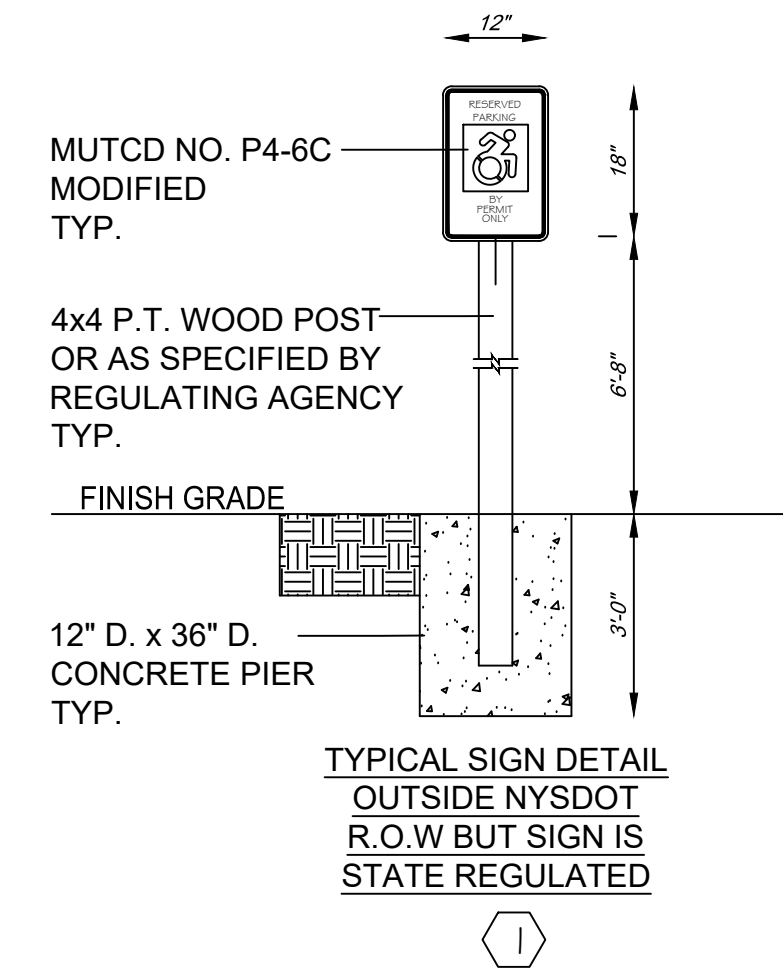


TYPICAL SIGN DETAILS

SCALE: NTS

NOTES:

1. REFLECTIVITY OF THE ONE WAY SIGNS TO BE IN CONFORMANCE WITH ASTM TYPE III.



TYPICAL SIGN DETAIL OUTSIDE NYS DOT R.O.W BUT SIGN IS STATE REGULATED

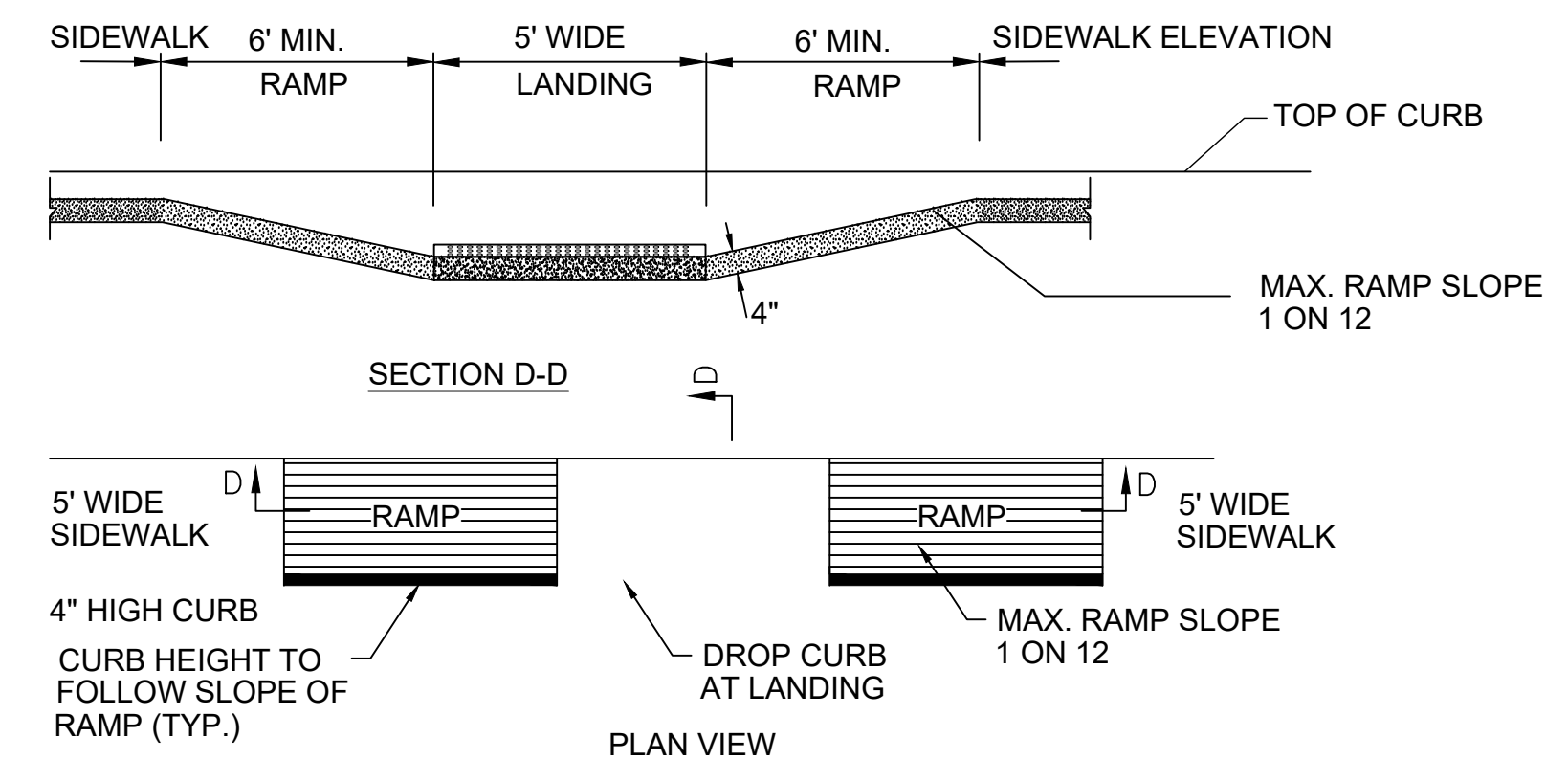


TYPICAL SIGN DETAILS

SCALE: NTS

NOTES:

1. SIGNS SHALL BE M.U.T.C.D NO. R7-1
2. BOTTOM OF SIGN SHALL BE AT LEAST 6'-8" ABOVE PAVEMENT SURFACE U.O.N.
3. WOOD POSTS TO BE 4x4 MIN. AND PRESSURE TREATED.
4. ADA SIGN SHALL BE M.U.T.C.D. NO. P4-6.



ADA HANDICAP SIDEWALK RAMP

SCALE: NTS

REVISIONS  
DATE: 06.08.2024  
CLIENT REVIEW SUBMISSION  
06.12.2024  
PLANNING BOARD SUBMISSION  
07.02.2025  
PLANNING BOARD SUBMISSION  
NO. 1 3



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NOTE  
FOR AUTHENTICITY  
SEAL MUST BE ORIGINAL AND  
SIGNATURE MUST  
BE IN COLOR - BOTH CANNOT BE  
COPIED

FOR REVIEW

DETAIL  
5148 NY-9W OFFICE BUILDING  
5148 ROUTE 9W  
NEWBURGH, NY 12550  
JCH EXPANDING LLC  
10 DEFOREST AVE  
NEWBURGH NY 12550

SCALE:  
DRAWN BY: O.S.  
CHECKED BY: D.N.  
JOB #  
PLOT DATE: 10/02/2024

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