



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: ORCHARD HILLS AMENDED SITE PLAN– PARCEL LOCKER
PROJECT NO.: 22-12
PROJECT LOCATION: SECTION 9, BLOCK 1, LOT 45.21
REVIEW DATE: 13 MAY 2022
MEETING DATE: 19 MAY 2022
PROJECT REPRESENTATIVE: MAURI ARCHITECTS, P.C.

1. The project proposes a 33'x4' parcel locker in the parking area near the Community Building. Parcel locker will be placed on a concrete slab flush with existing pavement. Belgian block curb is proposed to be installed around the parcel locker.
2. The parcel locker detail appears to have security cameras. It is unclear if lighting is proposed in the vicinity of the parcel locker.
3. Thirteen (13) trees are proposed to be planted on the sides and rear of the parcel locker for screening.
4. Dominic Cordisco's comments regarding the need to circulate the amended Site Plan due to its proximity to NYS Route 9W should be received.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



MARTIN J DIESING AIA
RICHARD K TOMPKINS AIA

TRANSMITTAL

Sent to: Town of Newburgh Planning Board	From: Jay Diesing, RA AIA
Project: Orchard Hills - Parcel Locker	Project No: 07-37.22
Regarding: Amended Site Plan Application	Date: 10-May-22

Enclosed

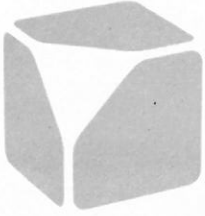
Under Separate Cover

Number of Copies	Document Title	Document Identification	Produced By
10	Narrative Letter dated, May 10, 2022		MAPC
10	Amended Site Plan Application		MAPC
10	Proxy Statement		OHL
10	Short Environmental Assessment Form		MAPC
1	Application Fee = \$1,500.00	Chk #3709	MAPC
1	Escrow Deposit = \$1,500.00	Chk #3710	MAPC
10	Site Plan	PB-1	MAPC

COMMENTS:

For Your Information For Your Approval For Your Use For Bidding
 As Requested Approved Approved As Noted Revise & Resubmit

COPIES TO: P. Hines - PB Engineer, Christopher Bicho (Orchard Hills Landings, LLC) - Owner



MARTIN J DIESING AIA
RICHARD K TOMPKINS AIA

May 10, 2022

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

**Re: Proposed Parcel Locker at:
Orchard Hills Landings, LLC
1 Kayla Court, Newburgh, NY
Town of Newburgh File # 22-12**

Dear Chairman Ewasutyn,

Orchard Hills Landings, LLC, located at the above referenced address, is an established residential development which includes apartments and townhouses. The existing parcel is approximately 50.40 acres and is located within the R-3 (Residential) zoning district.

Orchard Hills is proposing the installation of a new parcel locker system. Similar to a mailbox system, this parcel locker system allows larger packages from FedEx, UPS, or Amazon to be delivered into a secure locker where they can be retrieved by a resident when they arrive home. The new parcel locker will be located adjacent to the parking area for the existing Clubhouse.

Attached for your review and consideration is an Amended Site Plan, Short Environmental Assessment Form and related Applications. I look forward to meeting with you and the Planning Board to discuss this project further. Should you have any questions prior to the Planning Board meeting, please do not hesitate to contact my office.

Sincerely,

Martin J. Diesing RA AIA

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** 22-12
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Proposed Parcel Locker at Orchard Hills

2. Owner of Lands to be reviewed:

Name Orchard Hills Landings, LLC - Christopher Bicho
Address 543 Thames Street
Newport, RI 02840
Phone 401.845.2200

3. Applicant Information (If different than owner):

Name Mauri Architects PC
Address 73 Mansion Street
Poughkeepsie, NY 12601
Representative Jay Diesing, RA AIA
Phone 845.452.1030
Fax N/A
Email jay@mauri-architects.com

4. Subdivision/Site Plan prepared by:

Name Mauri Architects PC
Address 73 Mansion Street
Poughkeepsie, NY 12601
Phone/Fax 845.452.1030

5. Location of lands to be reviewed:

1 Kayla Court, Newburgh NY 12550

6. Zone R-3 **Fire District** Middlehope Fire
Acreage 50.435 +/- **School District** Marlboro

7. Tax Map: Section 9 **Block** 1 **Lot** 45.21

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 1
Lot line change N/A
Site plan review For Proposed Parcel Locker on 34'-11" x 8'-6" Concrete Pad
Clearing and grading N/A
Other N/A

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature JAY DIENING Title Architect

Date: 9 MAY 22

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Proposed Parcel Locker at Orchard Hills

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

11. Surveyor,s Certification
12. N/A Surveyor's seal and signature
13. Name of adjoining owners
14. Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. N/A Right-of-way width and Rights of Access and Utility Placement
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. N/A Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. N/A Show topographical data with 2 or 5 ft. contours on initial submission

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Jay Diesing, RA AIA

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

9 MAY 2022

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be placed on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

9 MAY 2022
DATED

Jay Diesing, RA AIA
APPLICANT'S NAME (printed)

JAY DIESING
APPLICANT'S SIGNATURE

PROXY

(OWNER) Christopher Bicho, **DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 543 Thames Street

IN THE COUNTY OF Newport

AND STATE OF Rhode Island

AND THAT HE/SHE IS THE OWNER IN FEE OF _____

Orchard Hills Landings, LLC

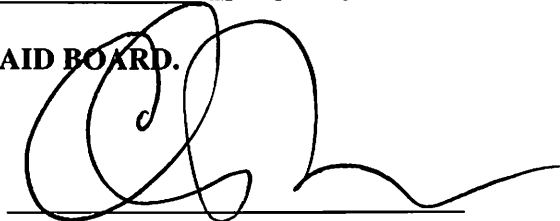
WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

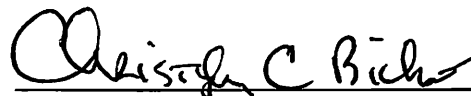
PLANNING BOARD AND Jay Diesing, RA AIA **IS AUTHORIZED**

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

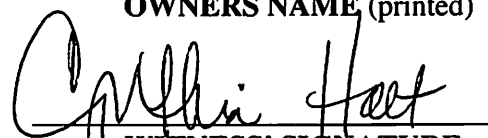
DATED: 5/9/22



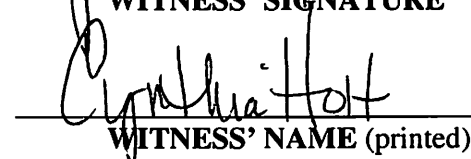
OWNERS SIGNATURE



OWNERS NAME (printed)



WITNESS' SIGNATURE



WITNESS' NAME (printed)

NAMES OF ADDITIONAL REPRESENTATIVES

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

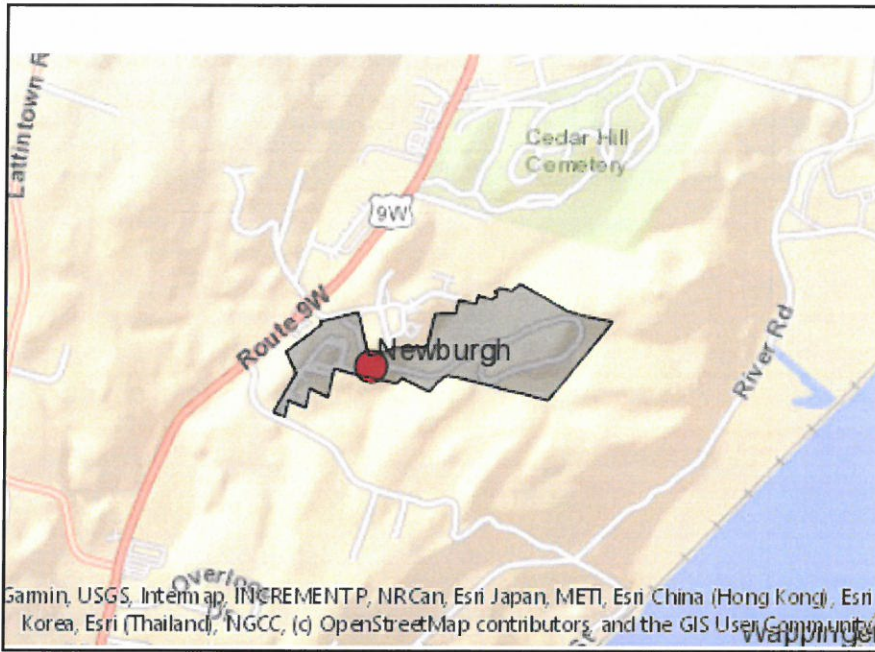
Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed Parcel Locker at Orchard Hills			
Project Location (describe, and attach a location map): 1 Kayla Court, Newburgh NY 12550			
Brief Description of Proposed Action: Installation of a new parcel locker set on a new 34'-11" x 8'-6" concrete pad.			
Name of Applicant or Sponsor: Jay Diesing, RA AIA - Mauri Architects PC		Telephone: 845.452.1030	
		E-Mail: jay@mauri-architects.com	
Address: 73 Mansion Street			
City/PO: Poughkeepsie		State: New York	Zip Code: 12601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Permit from the Town of Newburgh			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 50.40 acres	
b. Total acreage to be physically disturbed?		_____ .01 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 50.40 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ N/A	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ N/A	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Atlantic Sturgeon, Bald Eag...	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: JAY DIEBING Date: 10 MAY 22
Signature: JAY DIEBING Title: ARCHITECT



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Gamin, USGS, Intermap, INCREMENTP, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Atlantic Sturgeon, Bald Eagle, Shortnose Sturgeon, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: _____

Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

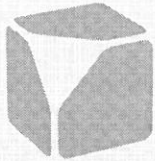
Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



MARTIN J DIESING, AIA
RICHARD K TOMPKINS, AIA
MAURI ARCHITECTS PC
73 MANSION STREET POUGHKEEPSIE NY 12601
845.452.1030 Mauri-Architects.com



50-7936/2219

3709

05/10/2022

PAY TO THE ORDER OF Town of Newburgh

\$ **1,500.00

One Thousand Five Hundred and 00/100***** DOLLARS

Town of Newburgh
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

MEMO Orchard Hills PB Fee



THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED IMAGE DISAPPEARS WITH HEAT.

⑈003709⑈ ⑆221979363⑆0000028344849⑈

MAURI ARCHITECTS PC			3709
Town of Newburgh		05/10/2022	
	PB App Fee		1,500.00

HVFCU Checking -	Orchard Hills PB Fee		1,500.00
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MARTIN J DIESING, AIA
RICHARD K TOMPKINS, AIA
MAURI ARCHITECTS PC
73 MANSION STREET POUGHKEEPSIE NY 12601
845.452.1030 Mauri-Architects.com



50-7936/2219

3710

05/10/2022

PAY TO THE ORDER OF Town of Newburgh

\$ **1,500.00

One Thousand Five Hundred and 00/100*****
DOLLARS

Town of Newburgh
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

MEMO Orchard Hills PB Escrow



THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED IMAGE DISAPPEARS WITH HEAT.

⑈003710⑈ ⑆221979363⑆0000028344849⑈

MAURI ARCHITECTS PC
Town of Newburgh

PB Escrow

05/10/2022

3710

1,500.00

HVFCU Checking - Orchard Hills PB Escrow

1,500.00

PROPOSED PARCEL LOCKER AT: ORCHARD HILLS KAYLA COURT NEWBURGH, NY

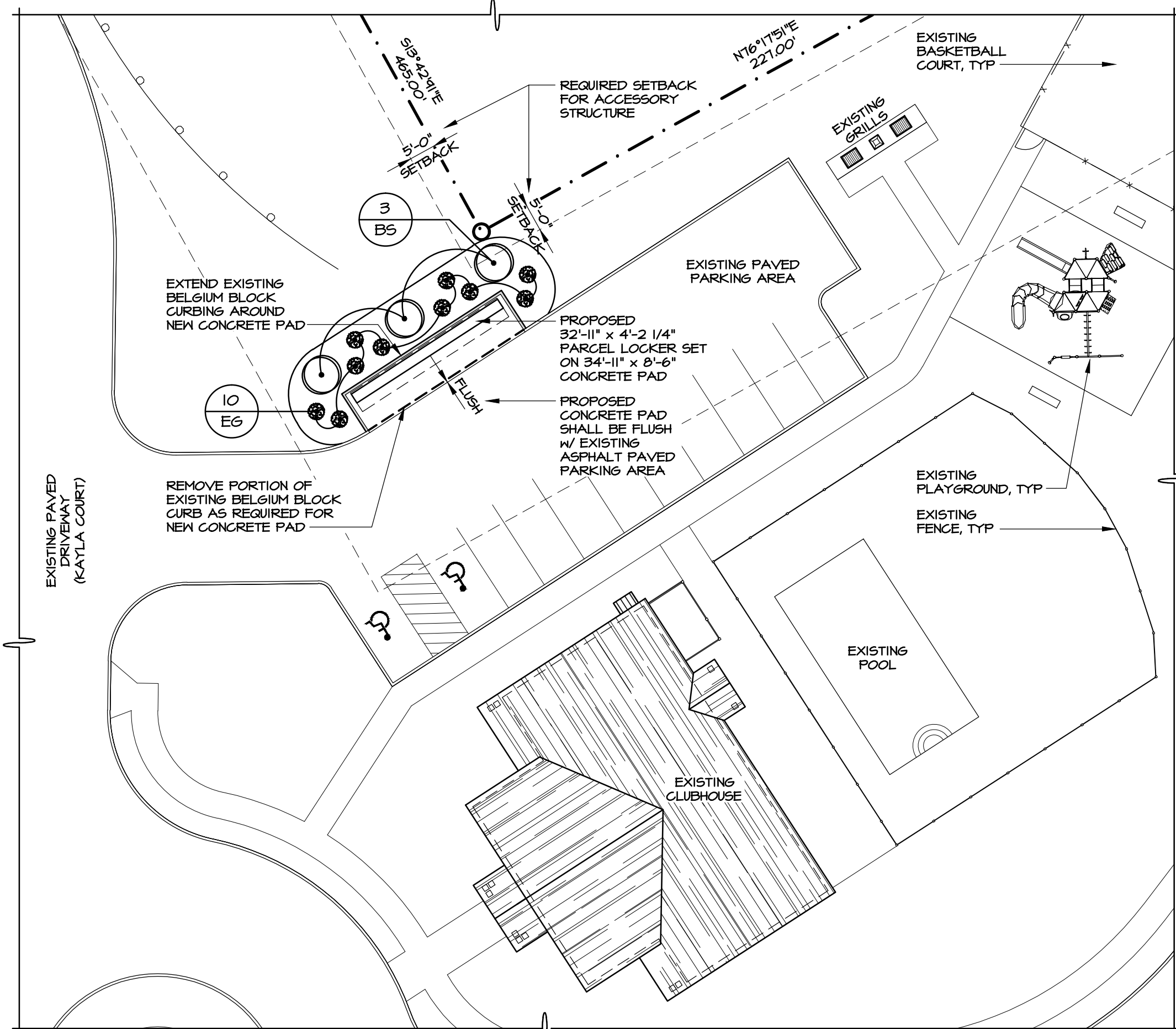
OWNER & APPLICANT

NAME OF OWNER: ORCHARD HILLS LANDINGS, LLC
 ADDRESS: 543 THAMES STREET
 NEWPORT, RI 02840

NAME OF APPLICANT: JAY DIEBING, RA AIA
 ADDRESS: 73 MANSION STREET
 FOUCHKEEPSIE, NY 12601

LEGEND

	EXISTING CONTOUR LINE
	EXISTING CONTOUR LINE TO BE REMOVED
	PROPOSED CONTOUR LINE
	NEW ASPHALT PAVING
	NEW CONCRETE



2 PARTIAL ENLARGED SITE PLAN
 SCALE: 1" = 40'-0"

ZONING DATA CHART SBL # 9-1-45.21 TOWN OF NEWBURGH

ZONE:	R3, RESIDENTIAL	REQUIRED	EXISTING	PROPOSED
LOT AREA	MIN	10 ACRES	50.40 ± ACRES	NO CHANGE
LOT WIDTH	MIN	150'	EXISTING	NO CHANGE
LOT DEPTH	MIN	150'	EXISTING	NO CHANGE
FRONT YARD	MIN	40'	VARIABLES	85' +
REAR YARD	MIN	50'	VARIABLES	SEE BELOW
REAR YARD (ACCESSORY)	MIN	5'	---	12'-3' +
SIDE YARD (ONE / BOTH)	MIN	25' / 50'	VARIABLES	SEE BELOW
SIDE YARDS (ACCESSORY)	MIN	5'	---	12'-3' +
LOT BUILDING COVERAGE	MAX	35%	10.34% ±	NO CHANGE
BUILDING HEIGHT (ACCESSORY)	MAX	15'	---	8'-2"
LOT SURFACE COVERAGE	MAX	60%	24.48% ±	24.49% ±

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
EG	10	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	3 GAL.
B5	3	FICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	3" CAL.

PLANTING NOTES

- ALL PLANTING BEDS SHALL BE MULCHED WITH SHREDDED BARK MULCH AT A MINIMUM DEPTH OF 3".
- INSTALL WEED BLOCK OR EQUAL BELOW MULCH BED.
- LAWN AREAS SHALL BE SEEDED, FERTILIZED AND PROTECTED WITH OAT OR WHEAT STRAW.
- PLANT SIZE INDICATED SHALL BE AT TIME OF PLANTING.

SEEDING SHALL HAVE A MINIMUM 90% GERMINATION MIXTURE AS FOLLOWS:

- KENTUCKY BLUE GRASS - 40% BY WEIGHT OF TOTAL SEED
- PERENNIAL RYEGRASS - 35% BY WEIGHT OF TOTAL SEED
- RED FESCUE - 25% BY WEIGHT OF TOTAL SEED

OWNER'S CONSENT

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THESE PLANS, THEIR CONTENT AND LEGENDS, AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED THEREON.

SIGNED THIS _____ DAY OF _____, 20__

SITE PLAN APPROVAL

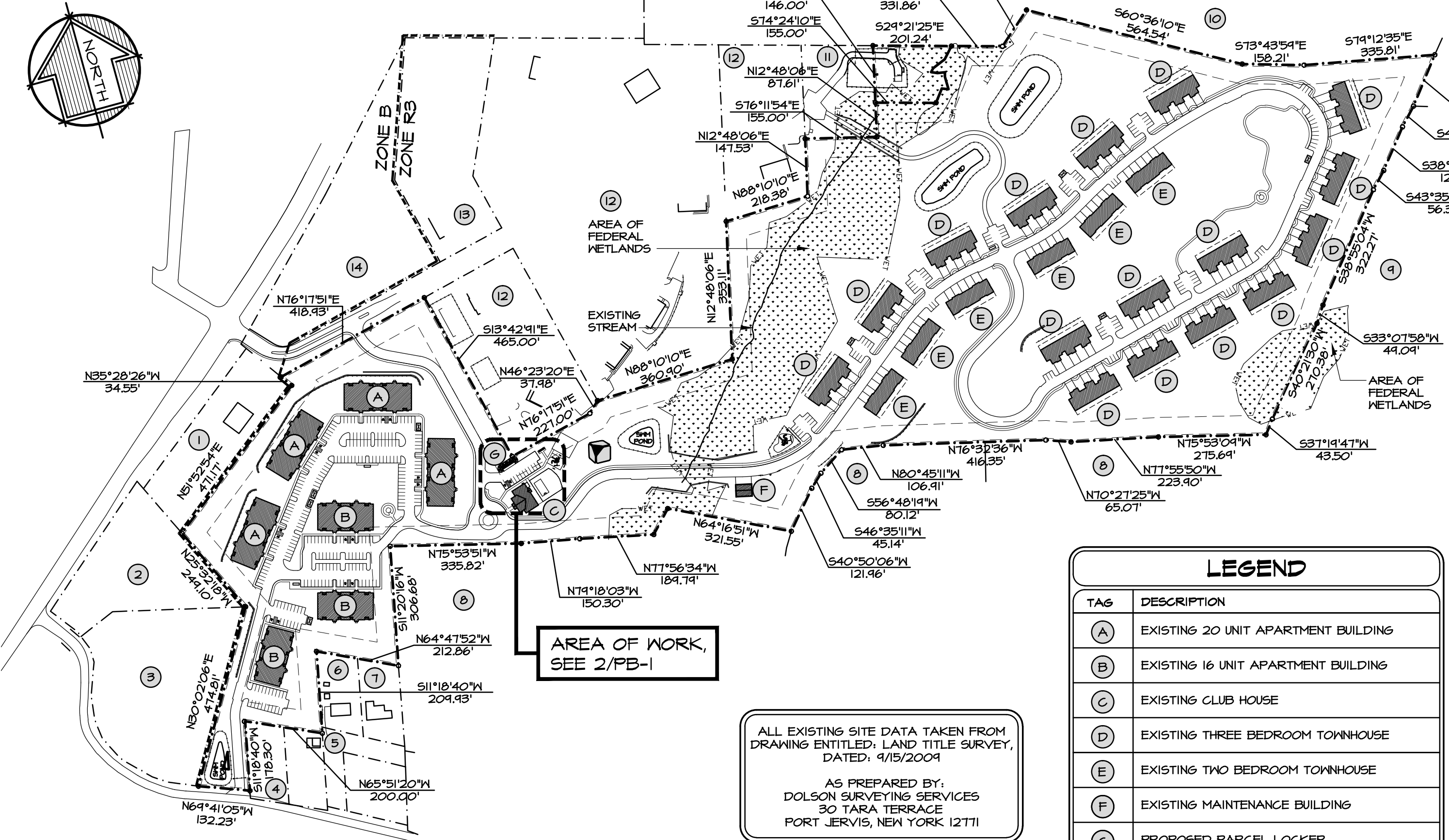
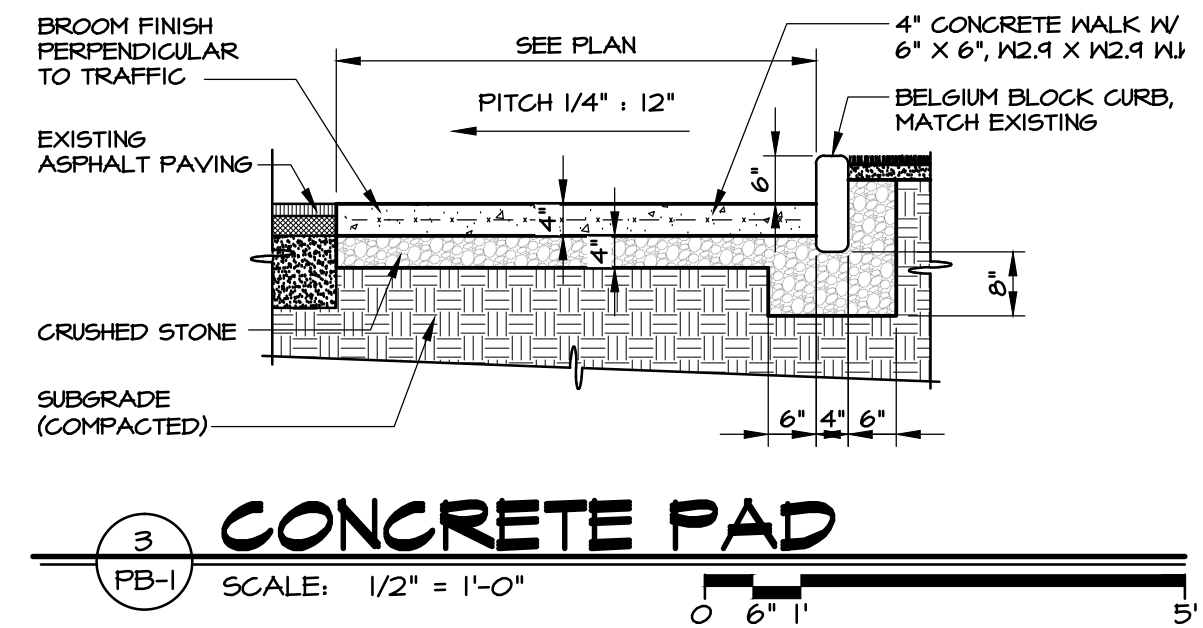
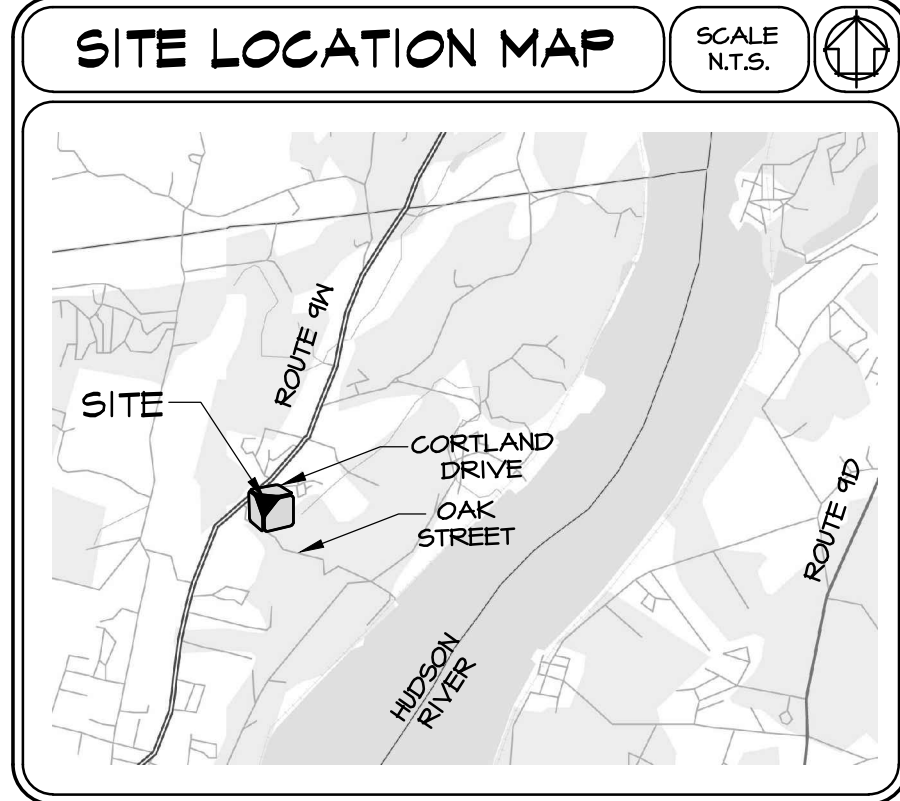
SITE PLAN APPROVED BY RESOLUTION # _____ OF THE PLANNING BOARD OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, THE _____ DAY OF _____, 20__.

SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

THIS APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR AND MUST BE COMPLETED WITHIN TWO YEARS OF THE ABOVE DATE. AN EXTENSION MAY BE GRANTED SUBJECT TO THE CONDITIONS OF THE CODE OF THE TOWN OF NEWBURGH.

SIGNED THIS _____ DAY OF _____, 20__

CHAIRMAN

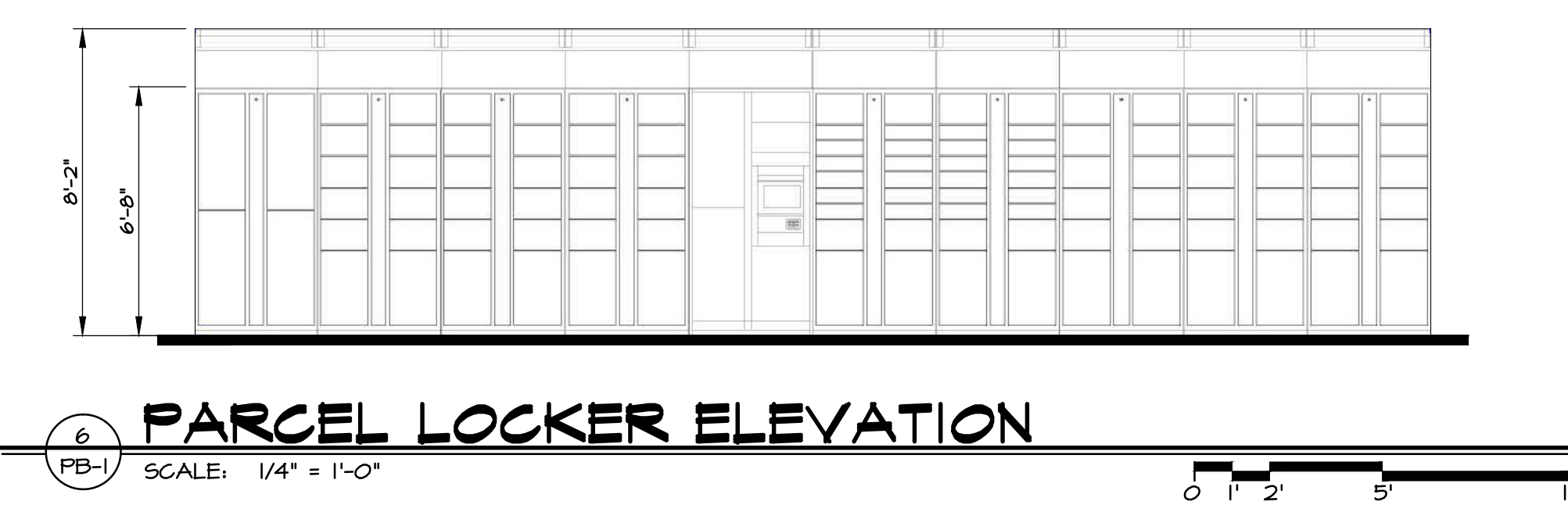
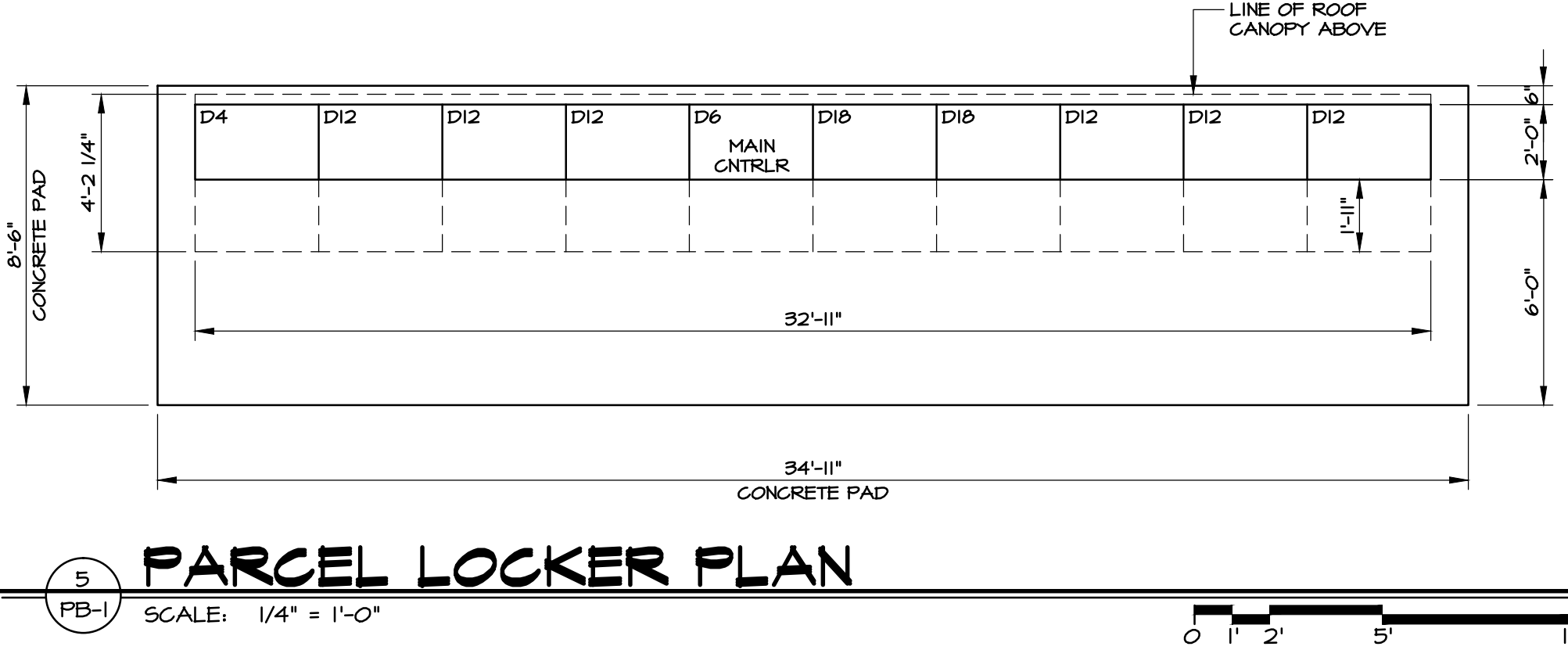


LEGEND

TAG	DESCRIPTION
(A)	EXISTING 20 UNIT APARTMENT BUILDING
(B)	EXISTING 16 UNIT APARTMENT BUILDING
(C)	EXISTING CLUB HOUSE
(D)	EXISTING THREE BEDROOM TOWNHOUSE
(E)	EXISTING TWO BEDROOM TOWNHOUSE
(F)	EXISTING MAINTENANCE BUILDING
(G)	PROPOSED PARCEL LOCKER

TAX MAP INFORMATION

SYMBOL	GRID NUMBER	OWNER OF RECORD
(1)	9-1-45.21	ORCHARD HILLS LANDINGS, LLC
(2)	9-1-13	ROUTE 9W ASSOCIATES OF NEWBURGH, INC.
(3)	9-1-53.1	RALPH & JANET GURDA
(4)	9-1-53.2	RALPH & JANET GURDA
(5)	9-1-51	CATHERINE & MARGUERITE SAVARESE
(6)	9-1-483	ELNICE & JOSEPH BYZCEK
(7)	9-1-50	ELNICE & JOSEPH BYZCEK
(8)	9-1-44	JOSEPH E. & BARBARA A. DUCKWORTH
(9)	9-1-46.2	ALBERT FARKAS, MICHAEL J. FARKAS & JAMES S. FARKAS FINN LLC
(10)	9-1-17.1	CEDAR HILL CEMETERY ASSOCIATION
(11)	9-1-45.1	ROSETON HILLS SEWAGE-WORKS CORP.
(12)	112-1	PARR VALLEY ASSOCIATES
(13)	9-1-14.12	NEWTOWN INVESTORS, INC.
(14)	9-1-14.11	NEWTOWN INVESTORS, INC.



PROJECT NO.
07-37.22

DATE
09 MAY 22

DRAWN BY
SW

PROPOSED PARCEL LOCKER AT:
ORCHARD HILLS
NEWBURGH, NEW YORK
KAYLA COURT

SITE KEY PLAN, PARTIAL ENLARGED SITE PLAN, EXTERIOR ELEVATIONS AND DETAILS

MAURI ARCHITECTS PC
73 MANSION STREET FOUCHKEEPSIE NY 12601 845-452-1030 mauri-architects.com

PERMIT NO. 103-11

PERMIT TO SECTION 645 (4) OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION AUTHORIZED ALTERATIONS TO THIS DOCUMENT IS A VIOLATION OF THE LAW