



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: THE MARKETPLACE
PROJECT NO.: 2004-54
PROJECT LOCATION: RT. 300 & RT. 52 (SECTION, BLOCK, LOT: MULTIPLE)
PROJECT REPRESENTATIVE: WILDER BALTER PARTNERS
REVIEW DATE: 18 MAY 2015
MEETING DATE: 21 MAY 2015

1. The Applicants are proposing a 5th amended site plan based on securing tenants for a substantial number of the proposed structures. The 5th amended site plan does not exceed any of the previously reviewed environmental thresholds. All work is identified within the limits of the previously approved areas of disturbance. Total gross leasable area of the site is at 700,000 square feet which is approximately 150,000 square feet below the threshold studied in the environmental review process.
2. Storm water management facilities were constructed last fall and are in operational condition at this time. No revisions to any proposed offsite improvements are incorporated into the 5th amended site plan.
3. Ken Wersted's comments based on internal revised traffic flow should be received.
4. All previously approved financial securities remain a requirement of the plan.
5. Planning Board should review the architectural submissions with regard to the aesthetics of the project site and the requirements of the national chains for their identification.
6. Utility changes in support of the revised building footprints are minor on the site. All utilities have been addressed on the 5th amended site plan.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal

General Notes

- 1. WORK UNDER THIS CONTRACT CONSISTS OF EROSION CONTROL, SLOPE PROTECTION, EARTH EXCAVATION, ROCK EXCAVATION, GRADING, EARTH RETENTION, SHEETING AND SHIELDING, STRONG DAMAGED, SANITARY SEWER UTILITIES, DOMESTIC WATER AND FIRE SERVICE CONNECTIONS, SITE LIGHTING, TRAFFIC SIGNALS, AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGN, SPECIFICATIONS, AND NOTES AND ALL RELATED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF NEWBURGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ALL UTILITIES AND STRUCTURES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ALL UTILITIES AND STRUCTURES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ALL UTILITIES AND STRUCTURES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.

Orange County Health Department Notes

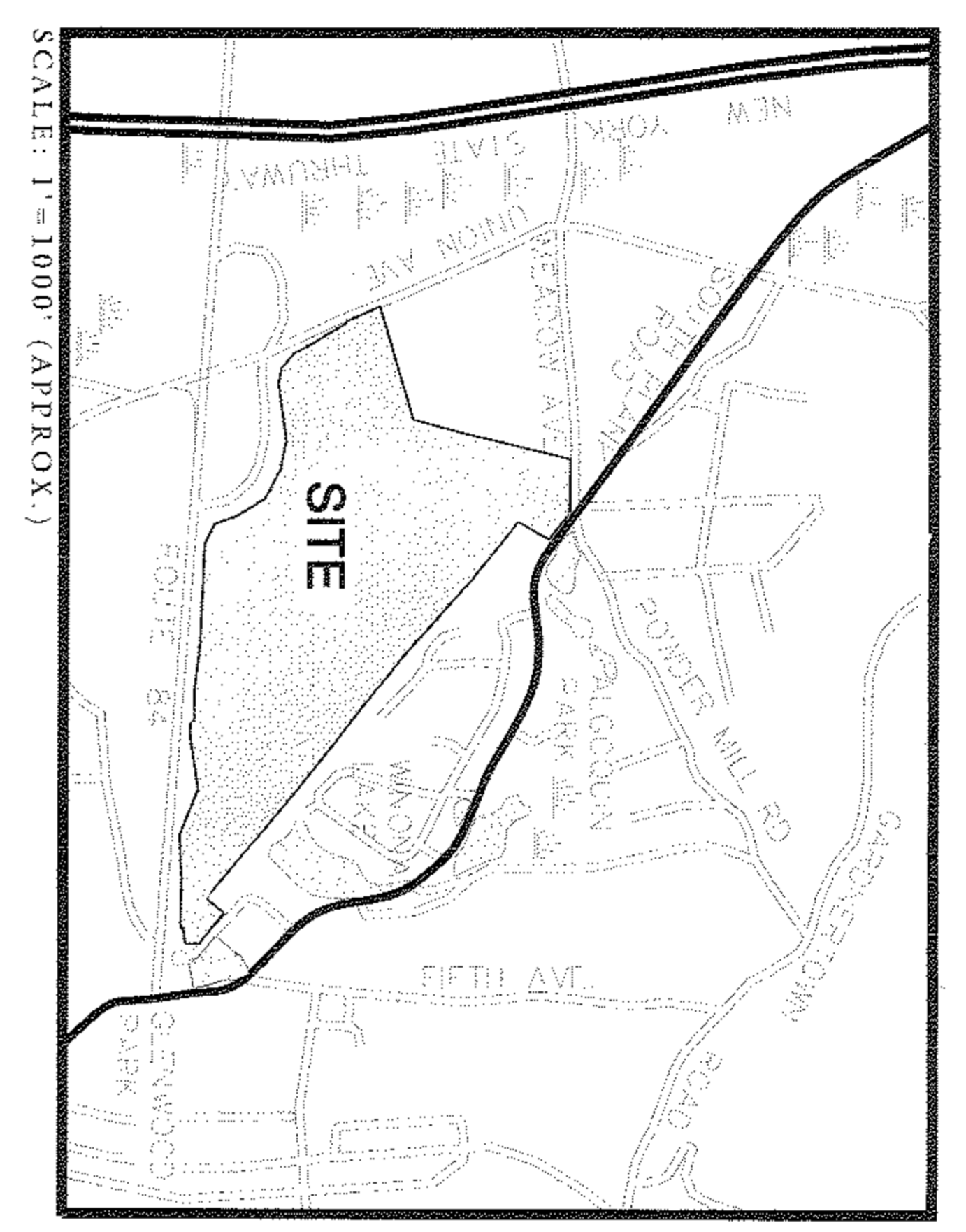
- 1. THE PRODUCT HAS INDICATED THE ATTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS. SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH THE NFPA REQUIREMENTS. SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH THE NFPA REQUIREMENTS.

Construction Completion Requirements For Individual Structures Certificate of Occupancy Issuance For Individual Structures

Table with columns: CODE REF, ZONING, ZONING REGULATIONS, ZONING REQUIREMENTS, ZONING PERMITS, ZONING NOTES. Lists various zoning codes like R2, R3, R4, etc.

Building & Parking Summary Table

Table with columns: BUILDING IDENTIFICATION, ZONING, GROSS LEASABLE AREA (GSA), PARKING REQUIREMENT, PARKING PER PLAN. Includes sub-tables for Zone A, Zone B, Zone C, and Zone D.



List of Drawings

Table with columns: No., Name, Scale, Last Revised, Prepared By. Lists drawing items like MM-1, SP-1.0, SP-1.1, etc.

NEWBURGH, NEW YORK
November 23, 2005
(Revised August 22, 2008)
(Revised August 31, 2010)
(Revised November 4, 2010)
(Revised June 2, 2011)
(Revised October 12, 2011)
(Revised September 28, 2012)
(Revised February 6, 2014)
(Revised February 25, 2014)
(Revised July 14, 2014)
(Revised October 21, 2014)
(Revised May 8, 2015)

Zoning Compliance Table

Table with columns: CODE REF, ZONING, ZONING REGULATIONS, ZONING REQUIREMENTS, ZONING PERMITS, ZONING NOTES. Lists various zoning codes and their requirements.

Existing Conditions

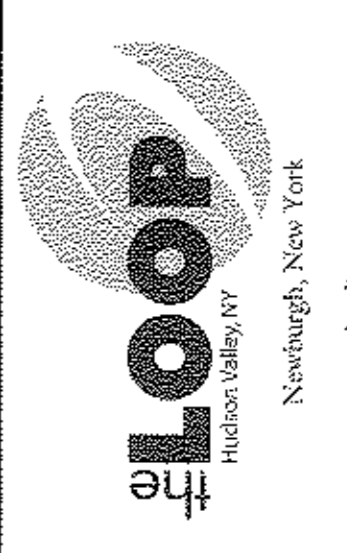
Table with columns: No., Name, Scale, Last Revised, Prepared By. Lists existing conditions like CC, TMA, etc.



Professional stamps for TRAFFIC ARCHITECTURE, ENGINEERING AND CONSTRUCTION, INC. and CIVIL/SITE ENGINEER. Includes names like DIVNEY TUNG SCHWALBE and TONG SCHWALBE.



NOT FOR CONSTRUCTION



Applicant:
MARKETPLACE AT NEWBURGH, LLC
 300 North Broadway
 White Plains, NY 10601
 F: 914.428.0317

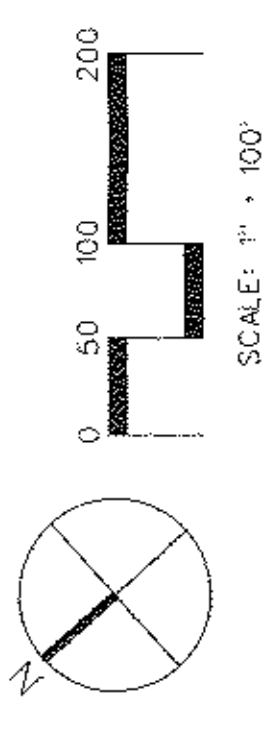
OVERALL SITE PLAN

DIVNEY • TUNG • SCHWALBE
 Intelligent Land Use
 Divney Tung Schwalbe, LLP
 One North Broadway
 White Plains, NY 10601
 F: 914.428.0317

PROJECT NO. 222
 DATE: 03/24/14
SP-1.0

NO.	DATE	DESCRIPTION
1	03/24/14	ISSUED FOR PRELIMINARY REVIEW
2	03/24/14	ISSUED FOR PRELIMINARY REVIEW
3	03/24/14	ISSUED FOR PRELIMINARY REVIEW
4	03/24/14	ISSUED FOR PRELIMINARY REVIEW
5	03/24/14	ISSUED FOR PRELIMINARY REVIEW
6	03/24/14	ISSUED FOR PRELIMINARY REVIEW
7	03/24/14	ISSUED FOR PRELIMINARY REVIEW

NOTE: ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES SHOWN. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE UTILITIES SHOWN AND HAS FOUND THEM TO BE IN SUBSTANTIAL ACCORD WITH THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE ENGINEER HAS NOT CONDUCTED ANY TESTS OF THE UTILITIES SHOWN. THE ENGINEER HAS NOT CONDUCTED ANY TESTS OF THE UTILITIES SHOWN. THE ENGINEER HAS NOT CONDUCTED ANY TESTS OF THE UTILITIES SHOWN.



SOURCE:
 THE WILDER COMPANIES
 USE PLAN 111
 DATED DECEMBER 5, 2013.

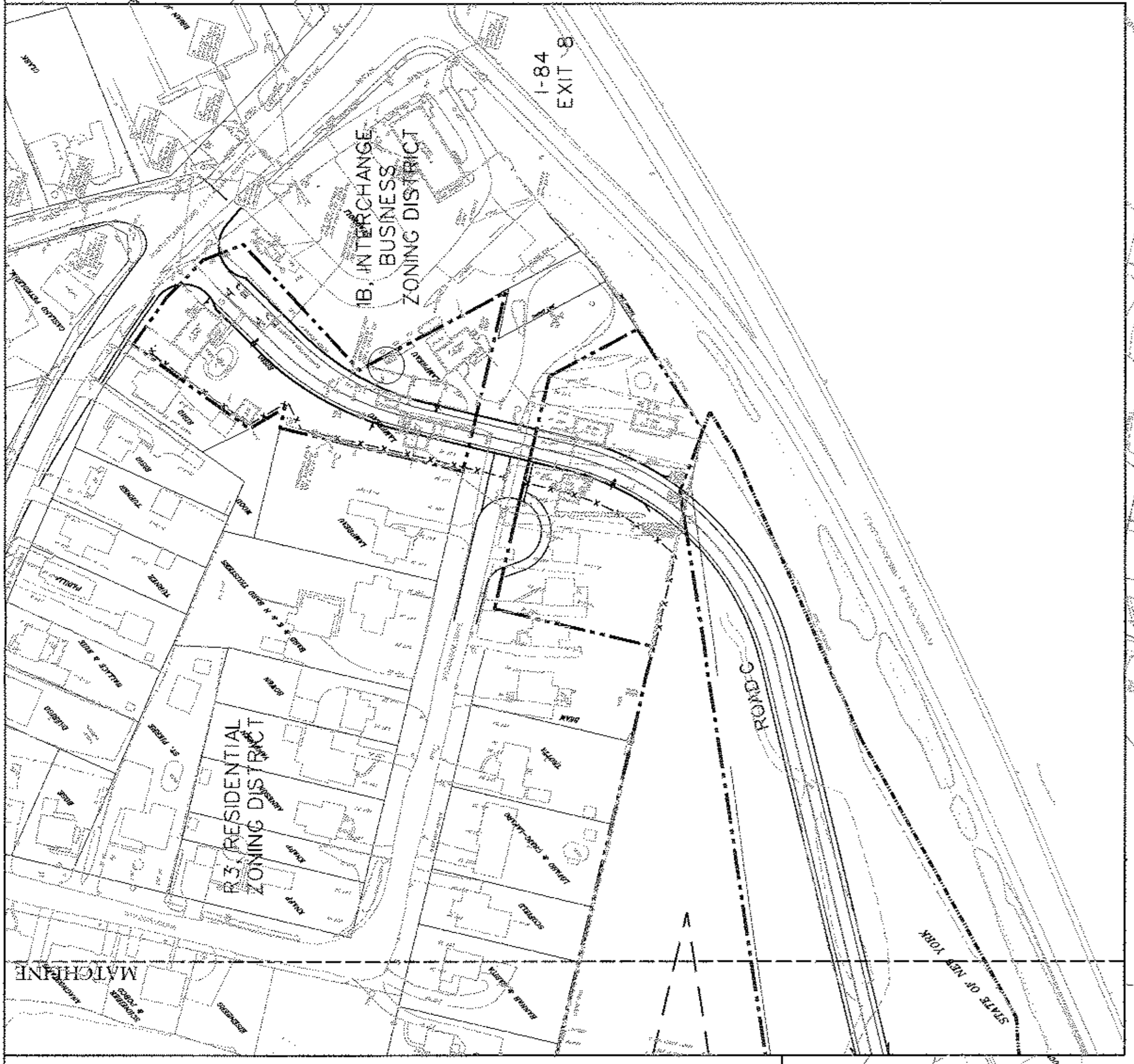
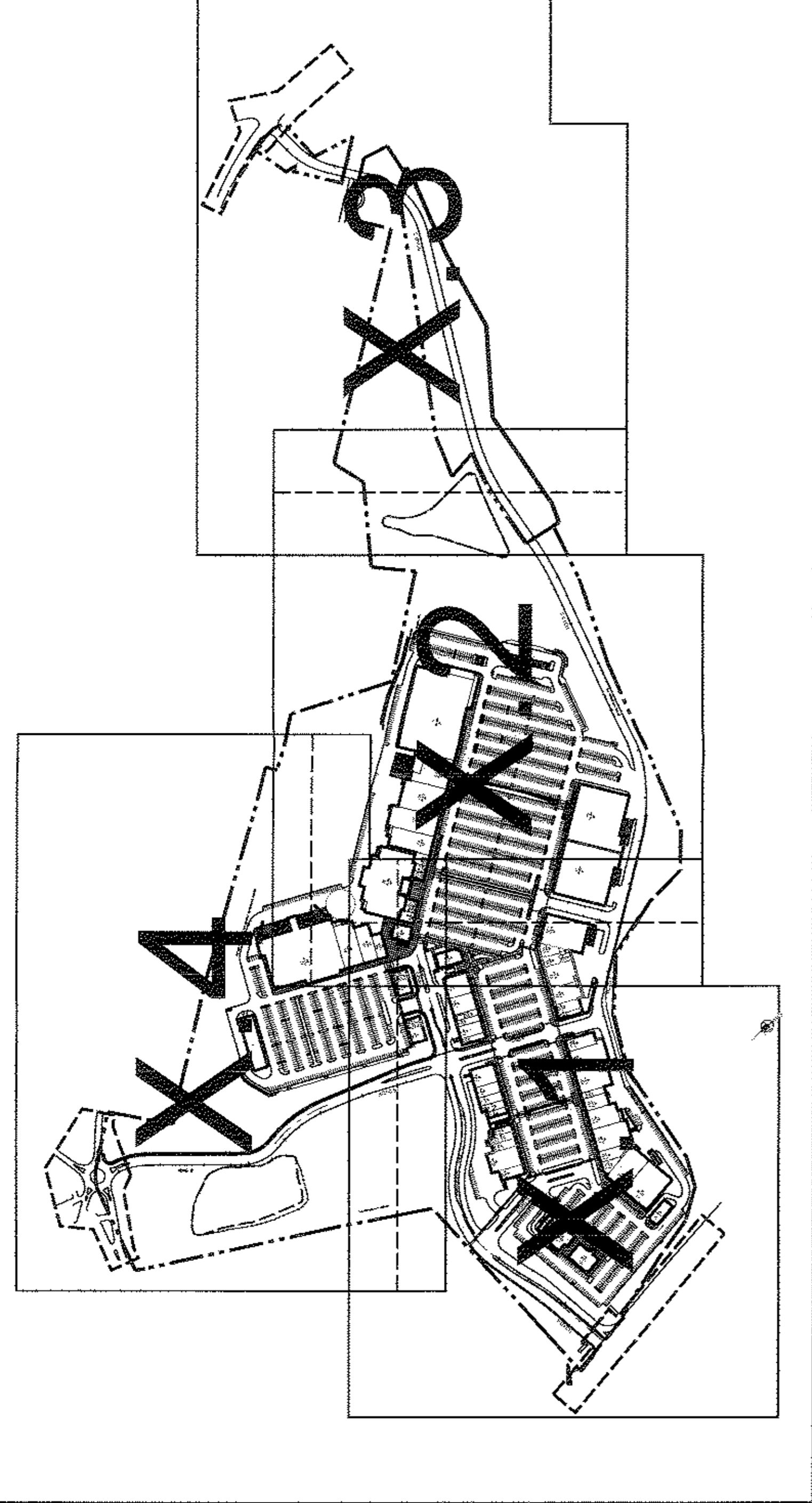
SUMMARY OF ROAD FRONTAGE

I-84/NYS DOT LAND	4769 FT
UNION AVE/ROUTE 300	889 FT
MEADOW AVE.	402 FT
SOUTH PLANK RD/ROUTE 52	549 FT
TOTAL	6609 FT

PORTION OF WAY WORK IN THIS AREA
 PLANS PREPARED BY YANISER CONSULTING
 FEBRUARY 26, 2014

PORTION OF WAY WORK IN THIS AREA REFER TO
 OFFICE CONSULTING ON DATE FEBRUARY 26, 2014

IB, INTERCHANGE
 BUSINESS
 ZONING DISTRICT



TRAFFIC CONTROL SIGN LEGEND

NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE	NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE	NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE
1	STOP SIGN		R1-1C	30"x30"	13	RIGHT TURN ONLY		R3-24	12"x30"	2	ONE-WAY		R6-1(R)	36"x12"
2	KEEP RIGHT		R4-6C	24"x30"	14	DELIVERIES		12"x18"	3	ONE-WAY		R6-1(L)	36"x12"	
3	BUS STOP		15-1C	12"x18"	15	DELIVERIES		12"x18"	4	ALL WAY		R1-4	18"x30"	
4	NO LEFT TURN		R3-1C	30"x30"	16	DELIVERIES		12"x18"	5	DIAGONAL DOWNWARD ARROW		W16-7P	18"x30"	
5	NO RIGHT TURN		R3-2C	30"x30"	17	NO TRUCKS		R5-10	30"x30"	6	NO TURN ON RED		R10-11	12"x18"
6	CROSSWALK		W5-1C	30"x30"	18	25mph SPEED LIMIT		R2-1	12"x18"	7	NO TURN ON RED		R10-11	12"x18"
7	NO PARKING		P1-2C	12"x18"	19	AHEAD		W16-9P	12"x18"	8	NO TURN ON RED		R10-11	12"x18"
8	HANDICAP PARKING		P4-6	12"x18"	20	RIGHT LANE MUST TURN RIGHT		R3-7R	12"x18"	9	NO TURN ON RED		R10-11	12"x18"
9	VAN ACCESSIBLE (Used with P4-6)		P4-7	12"x18"	21	RESERVED FOR ACCESS DRIVEWAY		R3-31	24"x30"	10	NO TURN ON RED		R10-11	12"x18"
10	YIELD SIGN		R1-2	30"x30"	22	RESERVED FOR ACCESS DRIVEWAY		R3-31	24"x30"	11	NO TURN ON RED		R10-11	12"x18"
11	DO NOT ENTER		R3-1S	30"x30"	23	RESERVED FOR ACCESS DRIVEWAY		R3-31	24"x30"	12	NO TURN ON RED		R10-11	12"x18"
12	LEFT LANE MUST TURN LEFT		R3-31	24"x30"	24	RESERVED FOR ACCESS DRIVEWAY		R3-31	24"x30"	13	NO TURN ON RED		R10-11	12"x18"

LEGEND

- 35 LIGHT POLE, TRIPLE FIXTURE
- 35 LIGHT POLE, DOUBLE FIXTURE
- 35 LIGHT POLE, SINGLE FIXTURE
- 35 LIGHT POLE, DOUBLE FIXTURE (ONE-DIRECTIONAL)
- 35 LIGHT POLE, SINGLE FIXTURE (ONE-DIRECTIONAL)
- 35 LIGHT POLE, SINGLE FIXTURE (FLUSH CROSSWALK)
- 35 LIGHT POLE, SINGLE FIXTURE (RAISED CROSSWALK/STEEL HOOP)
- 35 LIGHT POLE, DOUBLE FIXTURE (RAISED CROSSWALK/STEEL HOOP)
- 20 MOUNTING HEIGHT, 18.0G, VTD
- 20 MOUNTING HEIGHT

FOR ACCESS ROAD AND RIGHT-OF-WAY WORK IN THIS AREA REFER TO OFF-SITE ROAD IMPROVEMENT PLANS PREPARED BY MASER CONSULTING DATED FEBRUARY 28, 2008

NOTE: FINAL DESIGN FORMAT FOR ALL DESIGN ELEMENTS (BUILDINGS, SIGNAGE AND SITEWORK) SHALL BE IN COMPLIANCE WITH THE FEES THE FUNDING AGENCIES WITHIN ABB APPROVED PLANS.

NOTE: SIGNAGE LIGHT POLES OR OTHER OBSTRUCTIONS INSTALLED OR MAINTAINED IN SIDEWALKS MUST ALLOW FOR A 5' MIN. CLEAR AREA FROM THE EDGE OF THE SIGN OR OBSTRUCTION TO THE OUTSIDE OF THE SIDEWALK.

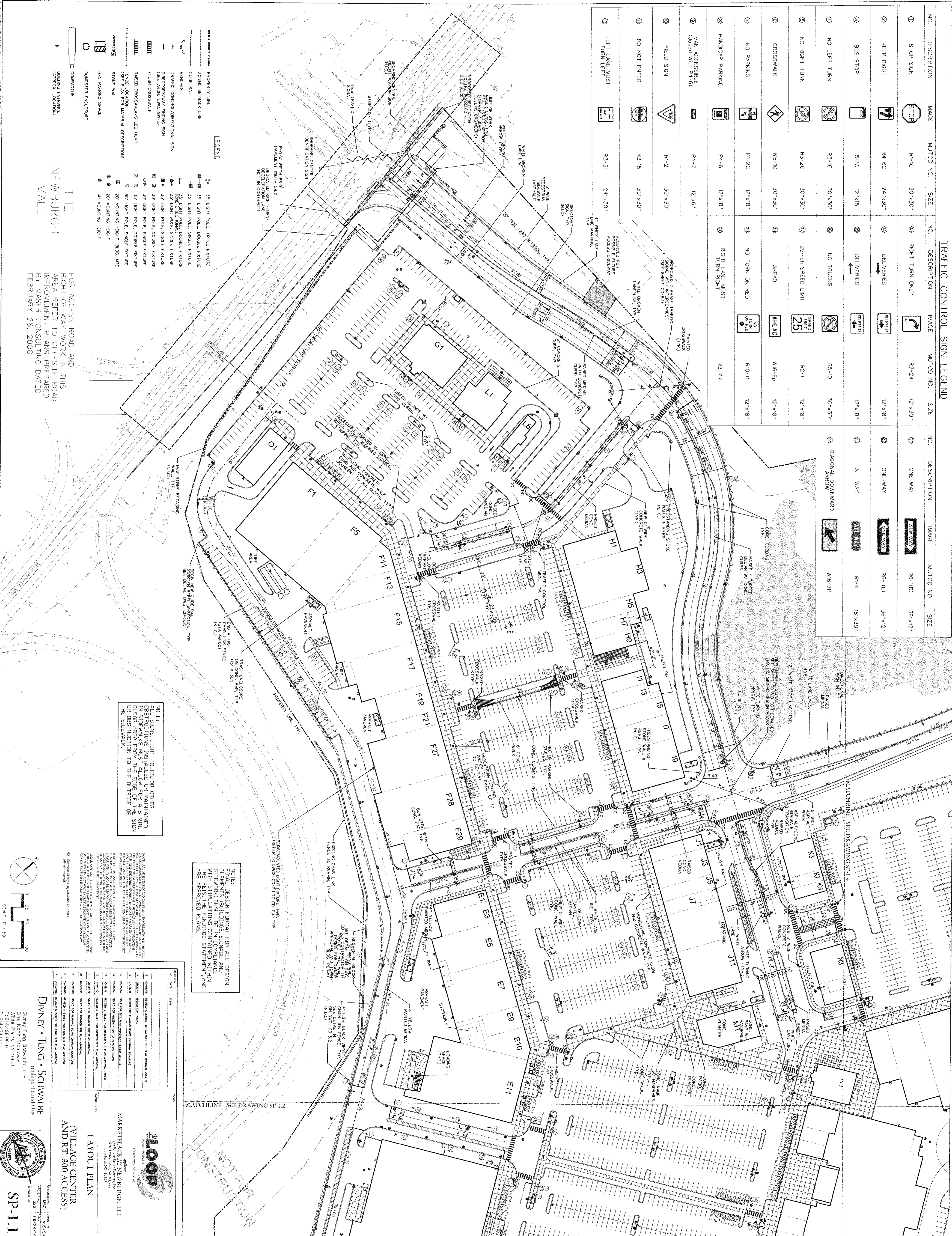
NOT FOR CONSTRUCTION

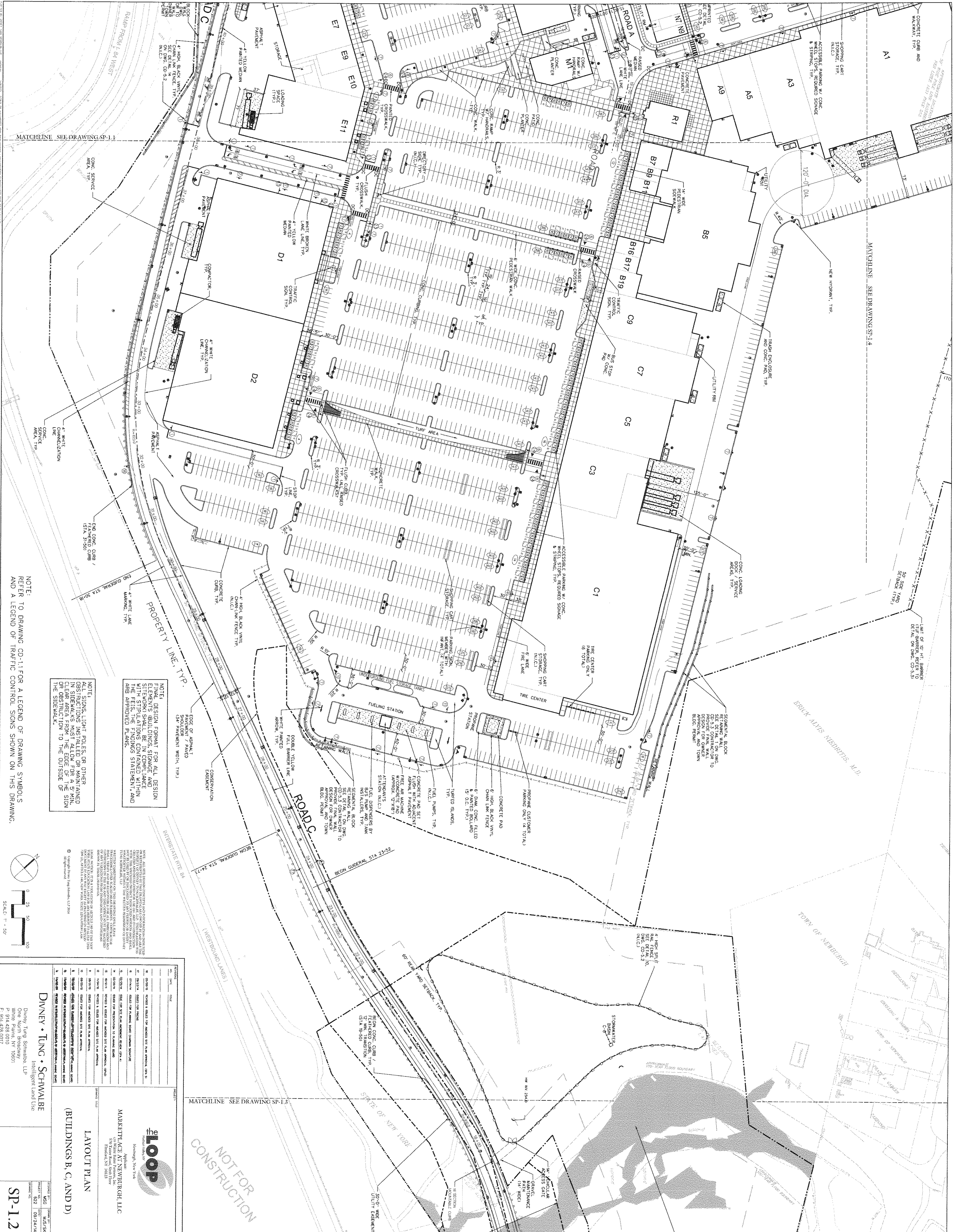
MARKETPLACE AT NEWBURGH, LLC
 500 Third Street, Suite 100
 Newburgh, NY 12553

LAYOUT PLAN
 VILLAGE CENTER AND RT. 300 ACCESS

DIVNEY • TUNG • SCHWALBE
 Intelligent Land Use
 Divney Tung Schwabbe LLP
 One North Broadway
 Newburgh, NY 12553
 P: 914.428.0000
 F: 914.428.0017

PROJECT NO. SP-1.1
 DATE: 02/21/11
 DRAWN BY: MJC
 CHECKED BY: MJC/SJK

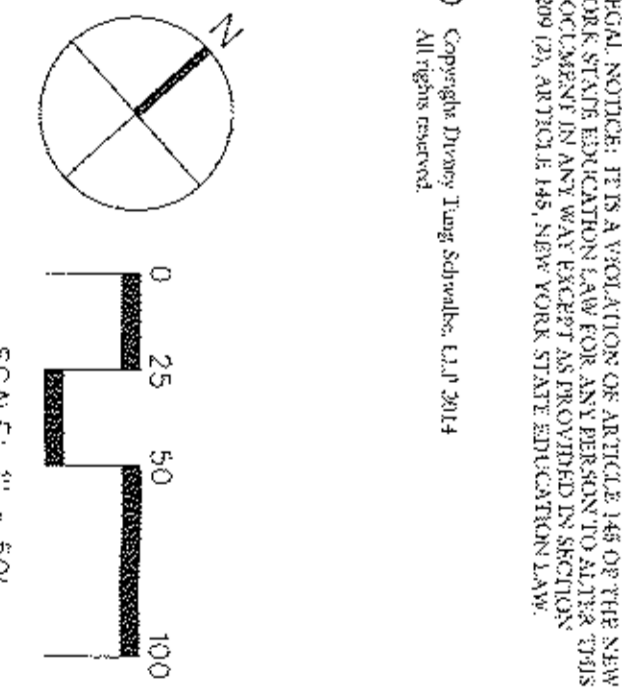




MATCHLINE SEE DRAWING SP-1.1

MATCHLINE SEE DRAWING SP-1.4

NOTE:
REFER TO DRAWING CD-11 FOR A LEGEND OF DRAWING SYMBOLS
AND A LEGEND OF TRAFFIC CONTROL SIGNS SHOWN ON THIS DRAWING.



NOTE:
FINAL DESIGN FORMAT FOR ALL DESIGN
ELEMENTS (BUILDINGS, STORAGE AND
WITH STIPULATIONS CONFINED WITHIN
THE FEES, THE FINDINGS STATEMENT, AND
ARB APPROVED PLANS.

NOTE:
ALL DESIGN ELEMENTS AND CONSTRUCTION NOTATIONS
SHOWN ON THIS DRAWING ARE TO BE CONSIDERED
AS PART OF THE DESIGN AND CONSTRUCTION
DOCUMENTATION. THE DESIGNER IS NOT
RESPONSIBLE FOR THE ACCURACY OF THE
EXISTING CONDITIONS SHOWN ON THIS
DRAWING. THE DESIGNER HAS CONDUCTED
VISUAL VERIFICATION OF THE EXISTING
CONDITIONS AND HAS FOUND THEM TO BE
AS SHOWN ON THIS DRAWING. THE
DESIGNER HAS NOT CONDUCTED
SURVEYING OR ENGINEERING SURVEYING
AND THEREFORE DOES NOT WARRANT
THE ACCURACY OF THE EXISTING
CONDITIONS SHOWN ON THIS DRAWING.
THE DESIGNER HAS CONDUCTED VISUAL
VERIFICATION OF THE EXISTING
CONDITIONS AND HAS FOUND THEM TO BE
AS SHOWN ON THIS DRAWING. THE
DESIGNER HAS NOT CONDUCTED
SURVEYING OR ENGINEERING SURVEYING
AND THEREFORE DOES NOT WARRANT
THE ACCURACY OF THE EXISTING
CONDITIONS SHOWN ON THIS DRAWING.

<p>of LOOP Newburgh, New York</p> <p>Applicant: MARKETPLACE AT NEWBURGH, LLC 570 Bedford Road, Suite 300 Newburgh, NY 10993</p>	<p>LAYOUT PLAN (BUILDINGS B, C, AND D)</p>
<p>DIVNEY • TUNG • SCHWALBE Intelligent Land Use Divney Tung Schwalbe LLP 400 Pine Street Newburgh, NY 10993 P 914.428.0010 F 914.428.0017</p>	<p>PROJECT NO: SP-1.2 DATE: 10/24/14 SCALE: 1" = 50'</p>

NOT FOR CONSTRUCTION

SP-1.2

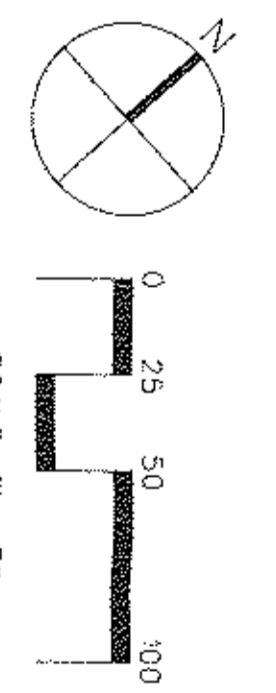


MATCHLINE SEE DRAWING SP-1.2

NOTE:
REFER TO DRAWING SP-1.1 FOR A LEGEND OF DRAWING SYMBOLS
AND A LEGEND OF TRAFFIC CONTROL SIGNS SHOWN ON THIS DRAWING.

NOTE:
FINAL DESIGN FORMAT FOR ALL DESIGN ELEMENTS
(BUILDINGS, SIGNAGE AND SITEWORK) SHALL BE IN
COMPLIANCE WITH STIPULATIONS CONTAINED WITHIN
THE FES, THE FINDINGS STATEMENT, AND ABB APPROVED PLANS.

NOTE:
ALL SIGNS, LIGHT POLES, OR OTHER OBSTRUCTIONS INSTALLED OR
MAINTAINED IN SIDEWALKS MUST ALLOW FOR A 5' MIN CLEAR
AREA FROM THE EDGE OF THE SIGN OR OBSTRUCTION TO THE
OUTSIDE OF THE SIDEWALK.



FOR ACCESS ROAD AND
RIGHT-OF-WAY WORK IN THIS
AREA REFER TO OFF-SITE ROAD
IMPROVEMENT PLANS PREPARED
BY MASER CONSULTING DATED
FEBRUARY 28, 2008

NOT FOR
CONSTRUCTION

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITTING
2		ISSUED FOR PERMITTING
3		ISSUED FOR PERMITTING
4		ISSUED FOR PERMITTING
5		ISSUED FOR PERMITTING
6		ISSUED FOR PERMITTING
7		ISSUED FOR PERMITTING
8		ISSUED FOR PERMITTING
9		ISSUED FOR PERMITTING
10		ISSUED FOR PERMITTING
11		ISSUED FOR PERMITTING
12		ISSUED FOR PERMITTING
13		ISSUED FOR PERMITTING
14		ISSUED FOR PERMITTING
15		ISSUED FOR PERMITTING
16		ISSUED FOR PERMITTING
17		ISSUED FOR PERMITTING
18		ISSUED FOR PERMITTING
19		ISSUED FOR PERMITTING
20		ISSUED FOR PERMITTING

PROJECT:

MARKETPLACE AT NEWBURGH LLC
 Applicant:
 60 Wall Street, 15th Floor
 Newburgh, NY 12553

LAYOUT PLAN
 (RT-52/1-84 EXIT 8 ACCESS)

DIVNEY • TUNG • SCHWALBE
 Intelligent Land Use
 Divney Tung Schwalbe LLP
 One North Broadway
 P.O. Box 488, Newburgh, NY 12553
 P: 914 428-0017
 F: 914 428-0017

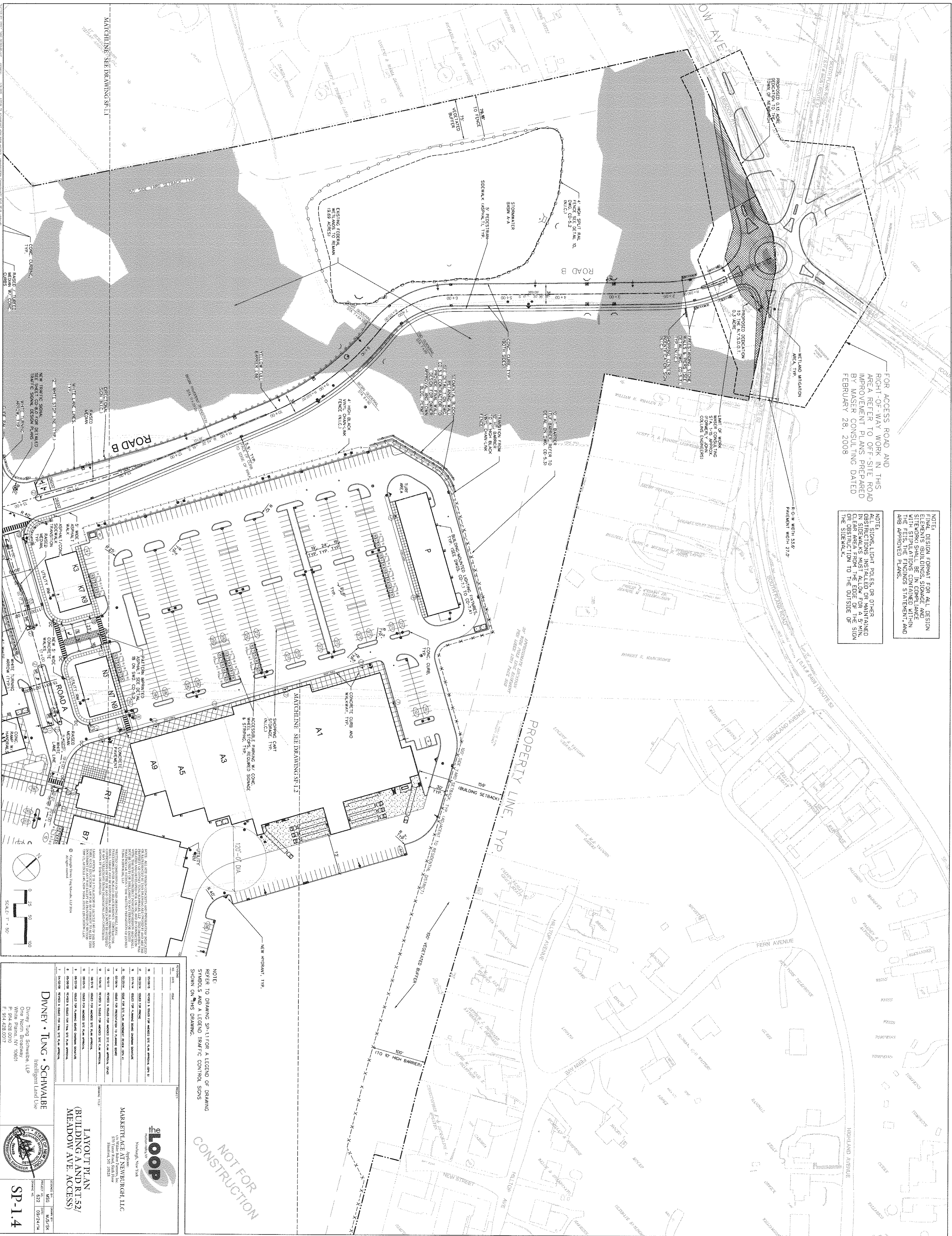
DATE: 02/24/14
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

SP-1.3

FOR ACCESS ROAD AND RIGHT-OF-WAY WORK IN THIS AREA REFER TO OFF-SITE ROAD IMPROVEMENT PLANS PREPARED BY MASER CONSULTING DATED FEBRUARY 28, 2008

NOTE: FINAL DESIGN FORMAT FOR ALL DESIGN ELEMENTS (GUTTERS, STORM AND SEWER MAINS, SIDEWALKS AND STIPULATIONS CONTAINED WITHIN THE FEIS, THE FINDINGS STATEMENT, AND A88 APPROVED PLANS.

NOTE: NOTIONS LIGHT POLES OR OTHER OBSTRUCTIONS INSTALLED OR MAINS IN CLEAR AREA FROM THE EDGE OF THE SIGN OR OBSTRUCTION TO THE OUTSIDE OF THE SIDEWALK.



NOT FOR CONSTRUCTION

NOTE:
REFER TO DRAWING SP-1.1 FOR A LEGEND OF DRAWING SYMBOLS AND A LEGEND TRAFFIC CONTROL SIGNS SHOWN ON THIS DRAWING.

SYMBOL	DESCRIPTION
(Symbol)	1. CONCRETE CURB AND WALKWAY, TYP.
(Symbol)	2. ASPHALT, TYP.
(Symbol)	3. ASPHALT, TYP.
(Symbol)	4. ASPHALT, TYP.
(Symbol)	5. ASPHALT, TYP.
(Symbol)	6. ASPHALT, TYP.
(Symbol)	7. ASPHALT, TYP.
(Symbol)	8. ASPHALT, TYP.
(Symbol)	9. ASPHALT, TYP.
(Symbol)	10. ASPHALT, TYP.
(Symbol)	11. ASPHALT, TYP.
(Symbol)	12. ASPHALT, TYP.
(Symbol)	13. ASPHALT, TYP.
(Symbol)	14. ASPHALT, TYP.
(Symbol)	15. ASPHALT, TYP.
(Symbol)	16. ASPHALT, TYP.
(Symbol)	17. ASPHALT, TYP.
(Symbol)	18. ASPHALT, TYP.
(Symbol)	19. ASPHALT, TYP.
(Symbol)	20. ASPHALT, TYP.
(Symbol)	21. ASPHALT, TYP.
(Symbol)	22. ASPHALT, TYP.
(Symbol)	23. ASPHALT, TYP.
(Symbol)	24. ASPHALT, TYP.
(Symbol)	25. ASPHALT, TYP.
(Symbol)	26. ASPHALT, TYP.
(Symbol)	27. ASPHALT, TYP.
(Symbol)	28. ASPHALT, TYP.
(Symbol)	29. ASPHALT, TYP.
(Symbol)	30. ASPHALT, TYP.
(Symbol)	31. ASPHALT, TYP.
(Symbol)	32. ASPHALT, TYP.
(Symbol)	33. ASPHALT, TYP.
(Symbol)	34. ASPHALT, TYP.
(Symbol)	35. ASPHALT, TYP.
(Symbol)	36. ASPHALT, TYP.
(Symbol)	37. ASPHALT, TYP.
(Symbol)	38. ASPHALT, TYP.
(Symbol)	39. ASPHALT, TYP.
(Symbol)	40. ASPHALT, TYP.
(Symbol)	41. ASPHALT, TYP.
(Symbol)	42. ASPHALT, TYP.
(Symbol)	43. ASPHALT, TYP.
(Symbol)	44. ASPHALT, TYP.
(Symbol)	45. ASPHALT, TYP.
(Symbol)	46. ASPHALT, TYP.
(Symbol)	47. ASPHALT, TYP.
(Symbol)	48. ASPHALT, TYP.
(Symbol)	49. ASPHALT, TYP.
(Symbol)	50. ASPHALT, TYP.

MARKETPLACE AT NEWBURGH, LLC
570 Taylor Road, Suite 100
Newburgh, NY 12550

LOOP
Newburgh, New York

LAYOUT PLAN (BUILDING A AND RT.52/MEADOW AVE. ACCESS)

DIVNEY • TUNG • SCHWALBE
Intelligent Land Use
Dunwoody Tung Schwabbe LLP
One North Broadway
White Plains, NY 10601
P: 914.428.0010
F: 914.428.0077

PROJECT NO. 053
DATE: 09/24/14
SHEET NO. 522
SHEET TOTAL 524

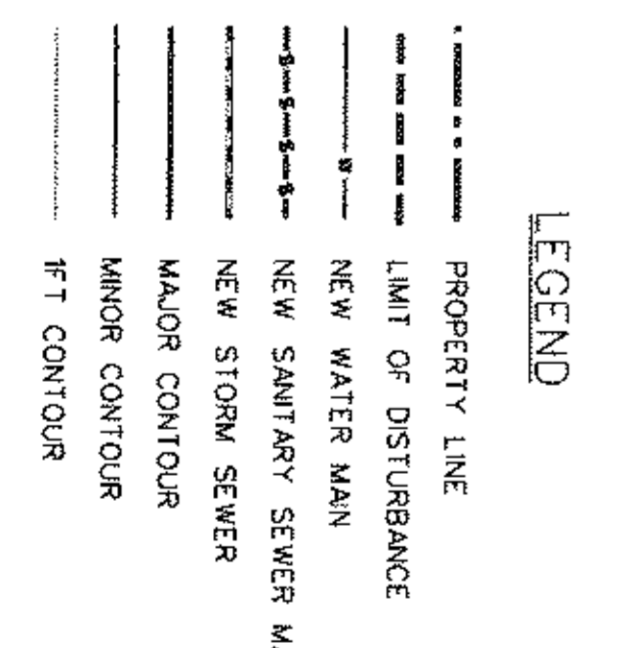
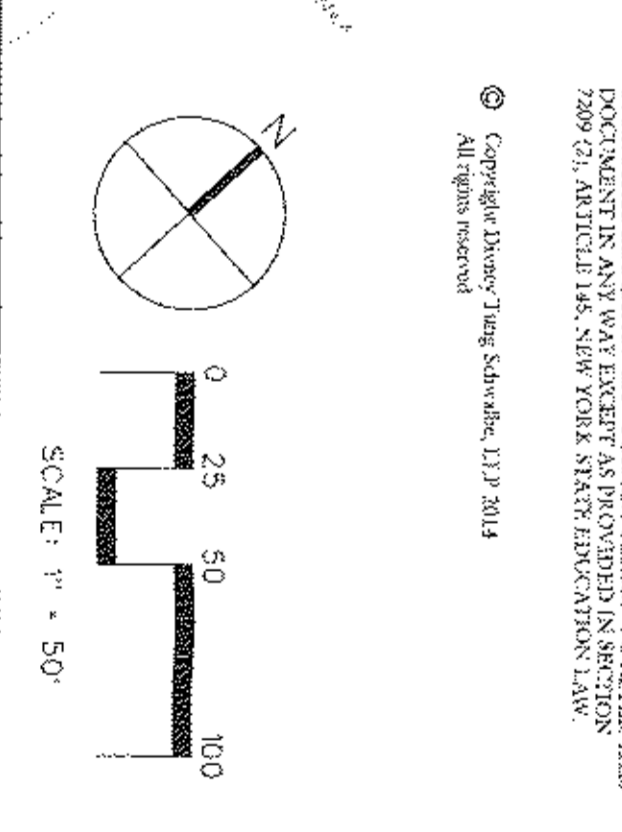
SP-1.4

NOTE:
 ANY UNAUTHORIZED REMOVAL OF TREES THAT OCCURS AS PART OF
 THE CONSTRUCTION OF THIS PROJECT SHALL BE RECONSTRUCTED IN
 ACCORDANCE WITH SECTION 3.E OF THE TOWN OF NEWBURGH
 BUFFER LAW.

NOTE:
 THE ELECTRICAL INFORMATION SHOWN ON THESE PLANS IS FOR INFORMATION ONLY.
 THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING
 UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR THE PROTECTION AND REPAIR OF ALL UTILITIES. THE CONTRACTOR SHALL
 BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR
 OF ALL UTILITIES.

CONNECT TO EXISTING
 ELECTRICAL SERVICE
 AT THE MAIN SERVICE
 ENCLOSURE.

MYS ROUTE 380



GRADING & UTILITY PLAN

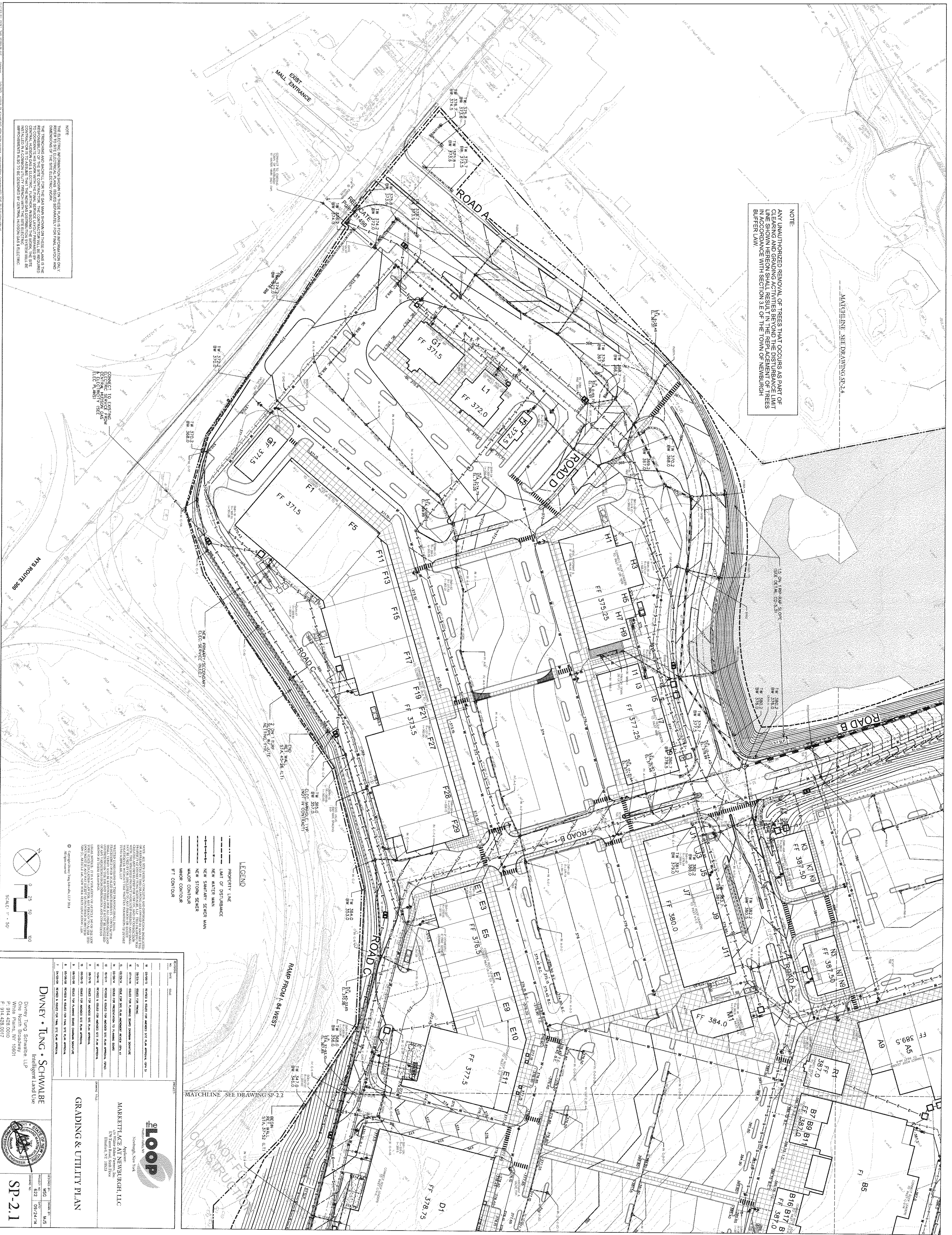
MARKETPLACE AT NEWBURGH, LLC
 570 Taylor Road, South Cove
 Elmsford, NY 10523

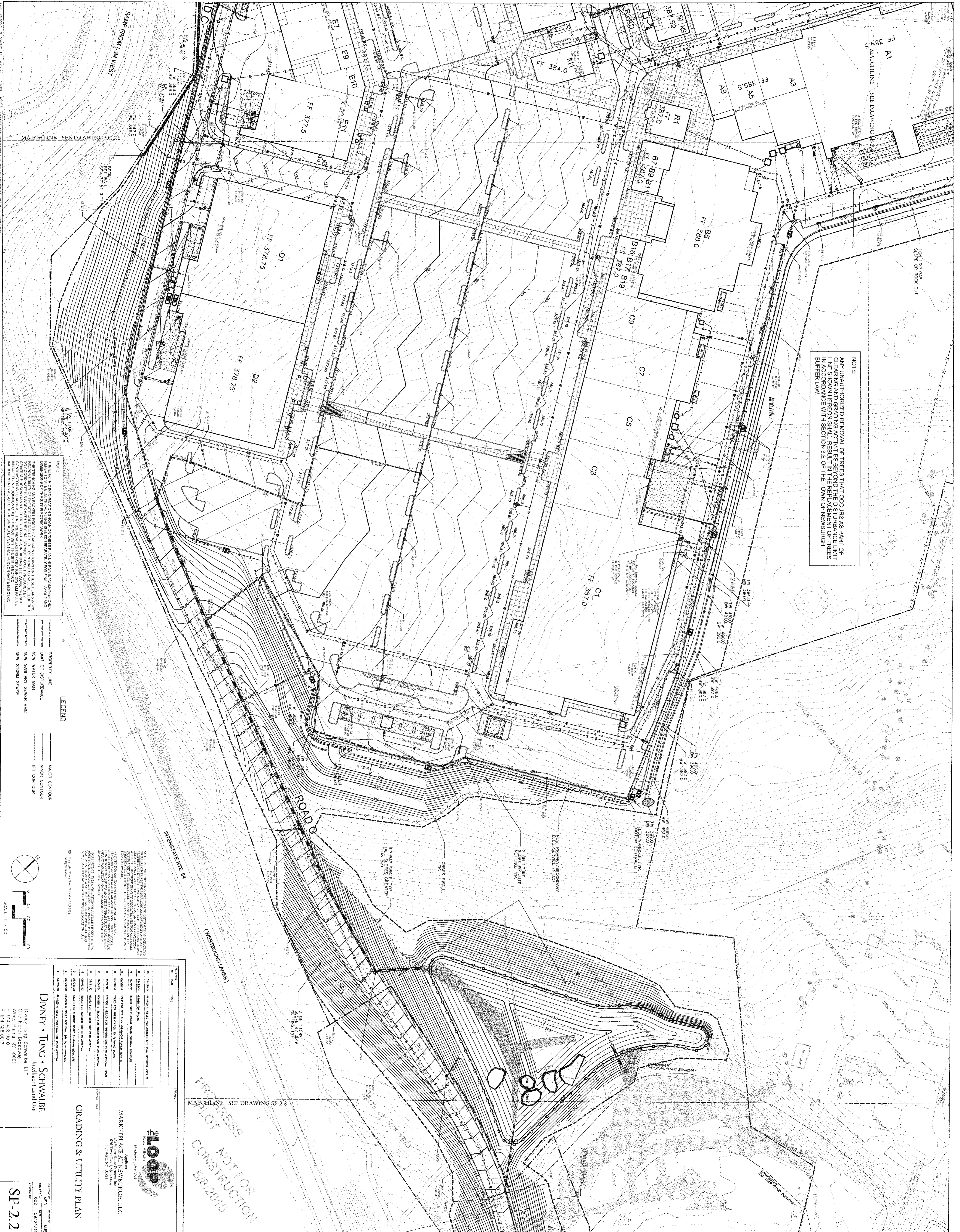
the LOOP
 Northburgh, New York

DINNEY • TUNG • SCHWABE
 Intelligent Land Use
 Dinney Tung Schwabe LLP
 White Plains, NY 10601
 P. 914 428 0010
 F. 914 428 0017

PROJECT NO. 22
 SHEET NO. SP-2.1
 DATE: 09/24/14

DESIGNED BY: MSJ
 CHECKED BY: MJS
 PROJECT NO. 22
 SHEET NO. SP-2.1
 DATE: 09/24/14



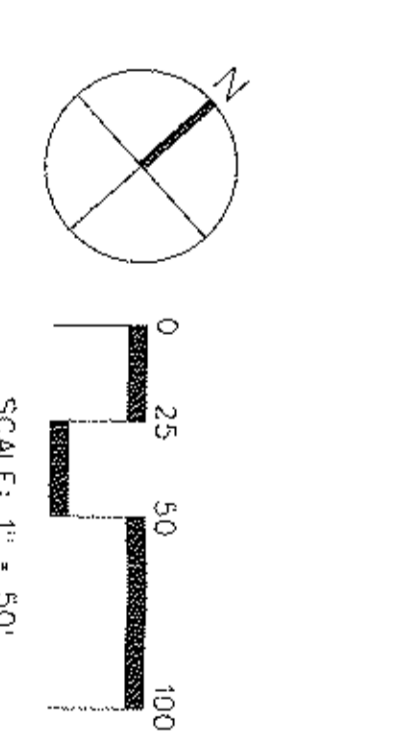


NOTE:
 ANY UNAUTHORIZED REMOVAL OF TREES THAT OCCURS AS PART OF CLEARING AND GRADING ACTIVITIES BEYOND THE DISTURBANCE LIMIT LINE SHOWN HEREON SHALL RESULT IN THE REPLACEMENT OF TREES TO MAINTAIN THE DISTURBANCE WITH SECTION 32 OF THE TOWN OF NEWBURGH BUFFER LAM.

NOTE:
 THE ELECTRIC INFORMATION SHOWN ON THESE PLANS IS FOR INFORMATION ONLY. REFER TO THE ELECTRICAL PLANS, INSTALLED SEPARATELY FOR FINAL LAYOUT AND DIMENSIONS OF THE ELECTRICAL WORK. THE INFORMATION ON THESE PLANS IS TO COMPLEMENT THE WORK WITH THE FINAL SERVICE LAYOUT PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS TO ASSURE THAT THE NEW GAS DISTRIBUTION SYSTEM WILL BE IMPROVEMENTS ALSO TO BE PROVIDED BY CONTRACTOR. HUBBARD & ASSOCIATES

LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- NEW WATER MAIN
- NEW SANITARY SEWER MAIN
- NEW STORM SEWER
- MAJOR CONTOUR
- FT1 CONTOUR



NO.	DATE	DESCRIPTION
1	05/08/15	ISSUED FOR PERMITS
2	05/08/15	ISSUED FOR PERMITS
3	05/08/15	ISSUED FOR PERMITS
4	05/08/15	ISSUED FOR PERMITS
5	05/08/15	ISSUED FOR PERMITS
6	05/08/15	ISSUED FOR PERMITS
7	05/08/15	ISSUED FOR PERMITS
8	05/08/15	ISSUED FOR PERMITS
9	05/08/15	ISSUED FOR PERMITS
10	05/08/15	ISSUED FOR PERMITS
11	05/08/15	ISSUED FOR PERMITS
12	05/08/15	ISSUED FOR PERMITS
13	05/08/15	ISSUED FOR PERMITS
14	05/08/15	ISSUED FOR PERMITS
15	05/08/15	ISSUED FOR PERMITS
16	05/08/15	ISSUED FOR PERMITS
17	05/08/15	ISSUED FOR PERMITS
18	05/08/15	ISSUED FOR PERMITS
19	05/08/15	ISSUED FOR PERMITS
20	05/08/15	ISSUED FOR PERMITS
21	05/08/15	ISSUED FOR PERMITS
22	05/08/15	ISSUED FOR PERMITS
23	05/08/15	ISSUED FOR PERMITS
24	05/08/15	ISSUED FOR PERMITS
25	05/08/15	ISSUED FOR PERMITS
26	05/08/15	ISSUED FOR PERMITS
27	05/08/15	ISSUED FOR PERMITS
28	05/08/15	ISSUED FOR PERMITS
29	05/08/15	ISSUED FOR PERMITS
30	05/08/15	ISSUED FOR PERMITS
31	05/08/15	ISSUED FOR PERMITS
32	05/08/15	ISSUED FOR PERMITS
33	05/08/15	ISSUED FOR PERMITS
34	05/08/15	ISSUED FOR PERMITS
35	05/08/15	ISSUED FOR PERMITS
36	05/08/15	ISSUED FOR PERMITS
37	05/08/15	ISSUED FOR PERMITS
38	05/08/15	ISSUED FOR PERMITS
39	05/08/15	ISSUED FOR PERMITS
40	05/08/15	ISSUED FOR PERMITS
41	05/08/15	ISSUED FOR PERMITS
42	05/08/15	ISSUED FOR PERMITS
43	05/08/15	ISSUED FOR PERMITS
44	05/08/15	ISSUED FOR PERMITS
45	05/08/15	ISSUED FOR PERMITS
46	05/08/15	ISSUED FOR PERMITS
47	05/08/15	ISSUED FOR PERMITS
48	05/08/15	ISSUED FOR PERMITS
49	05/08/15	ISSUED FOR PERMITS
50	05/08/15	ISSUED FOR PERMITS

MARKETPLACE AT NEWBURGH, LLC
 575 Tower Road, Suite 1000
 Newburgh, NY 12553

GRADING & UTILITY PLAN

DIVNEY • TUNG • SCHWABE
 Intelligent Land Use
 Divney Tung Schwabe LLP
 White Plains, NY 10607
 P: 914 428 0010
 F: 914 428 0017

PROJECT NO: M32
 DATE: 05/24/14
 SHEET NO: SP-2.2

PROGRESS NOT FOR CONSTRUCTION
 5/8/2015

MATCHLINE SEE DRAWING SP-2.3



MATCHLINE SEE DRAWING SP-2.2

NOTE:
 ANY UNAUTHORIZED REMOVAL OF TIEERS THAT OCCURS AS PART OF THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURGH.

- LEGEND**
- PROPERTY LINE
 - LIMIT OF DISTURBANCE
 - NEW WATER MAIN
 - NEW SANITARY SEWER MAIN
 - NEW STORM SEWER MAIN
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - IF CONTOUR

NOTE: ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURGH.

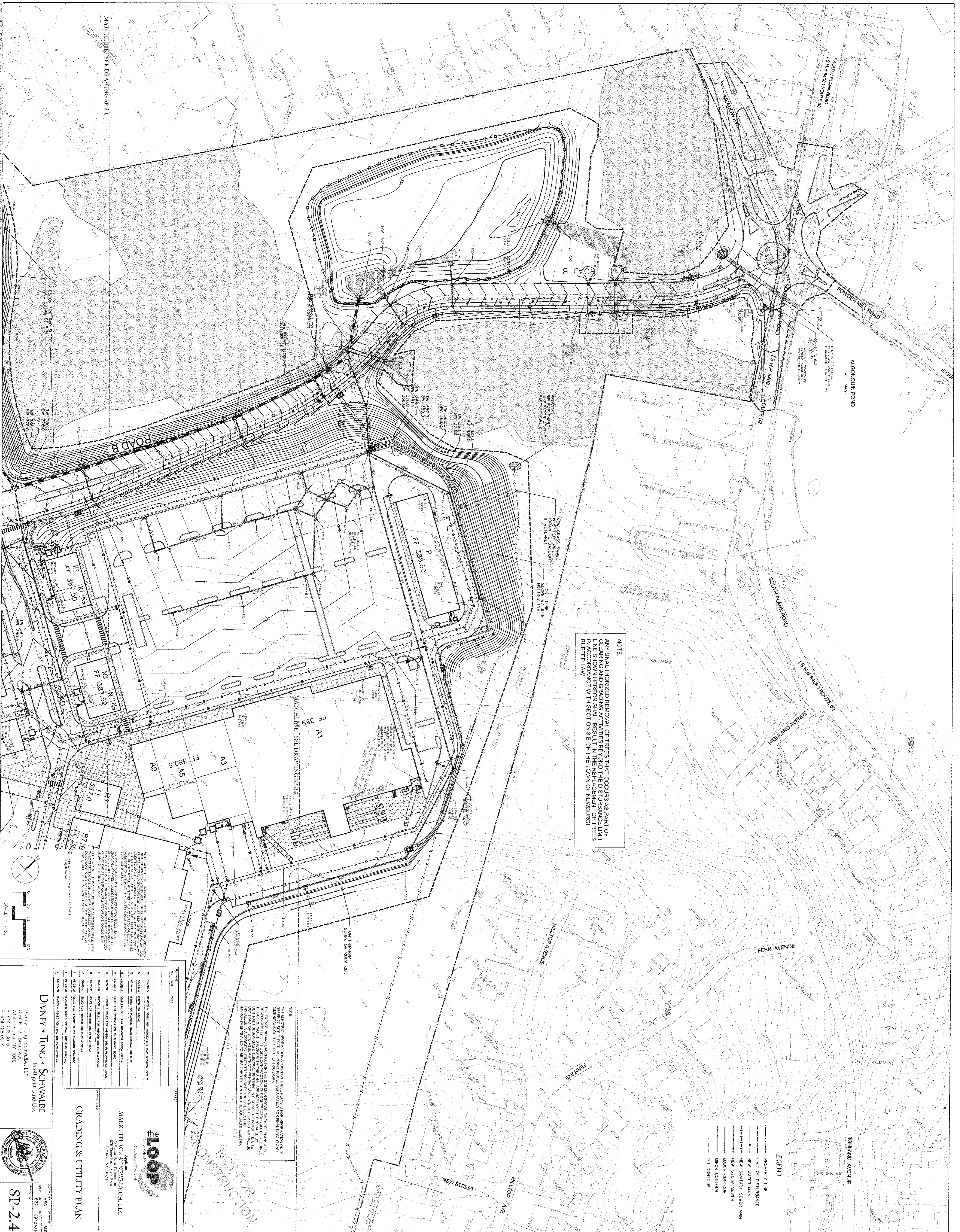
MARKETPLACE AT NEWBURGH, LLC
 Applicant:
 500 Water Street, Newburgh, NY 12550

GRADING & UTILITY PLAN

DIVNEY • TUNG • SCHWALBE
 Intelligent Land Use
 400 North Broadway
 White Plains, NY 10601
 P: 914 428-0010
 F: 914 428-0017

SP-2.3

NOT FOR CONSTRUCTION



NOTE:
 ANY UNAUTHORIZED REMOVAL OF TREES THAT OCCURS AS PART OF CLEARING AND GRADING ACTIVITIES BEYOND THE DISTURBANCE LIMIT LINE SHOWN HEREON SHALL RESULT IN THE REPLACEMENT OF TREES IN ACCORDANCE WITH SECTION 3E OF THE TOWN OF NEWBURGH BUFFER LAW.

- LEGEND**
- PROPERTY LINE
 - - - - - LIMIT OF DISTURBANCE
 - NEW WATER MAIN
 - NEW SANITARY SEWER MAIN
 - NEW STORM SEWER
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - FT. CONTOUR

NOTE:
 THE ELECTRICAL INFORMATION SHOWN ON THESE PLANS IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS ISSUED SEPARATELY FOR THE FINAL DESIGN AND CONSTRUCTION OF THE SITE ELECTRICAL WORK.
 THE FINISHING AND BACKFILL FOR THE GAS MAIN SHOWN ON THESE PLANS IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE FINAL SERVICE LAYOUT PROVIDED BY THE GAS UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE GAS UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.

GRADING & UTILITY PLAN

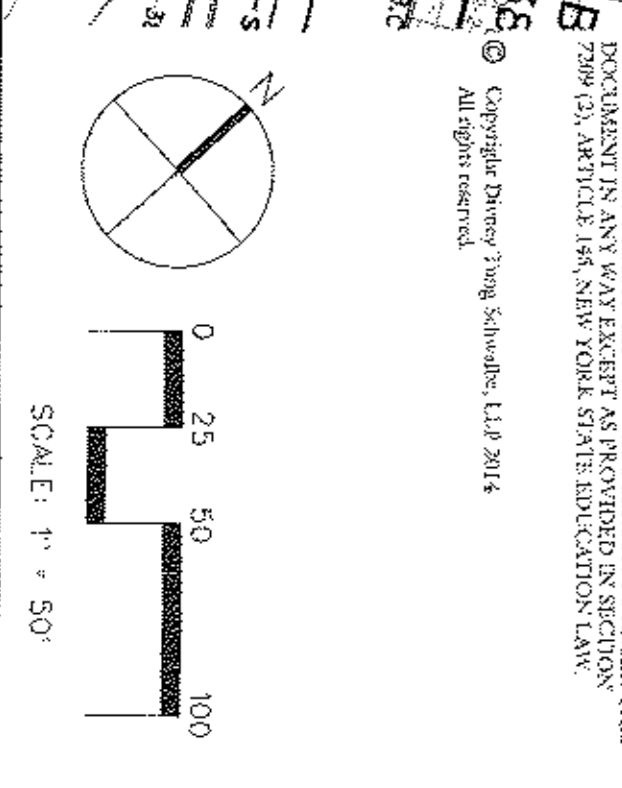
MARKETPLACE AT NEWBURGH LLC
 Applicant
 575 Taylor Road, Suite 300
 Newburgh, NY 12550

the LOOP
 Newburgh, New York

DINVEY • TUNG • SCHWALBE
 Intelligent Land Use
 Dinvey Tung Schwalbe, LLP
 One White Plains, NY 10601
 P 914 428 0010
 F 914 428 0017

PROJECT NO. 22
 DATE 09/24/14
 SHEET NO. 22
 TOTAL SHEETS 24

SP-2.4



MATCHLINE SEE DRAWING SP-2.1

MATCHLINE SEE DRAWING SP-2.3

NOT FOR CONSTRUCTION