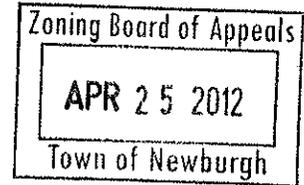


TOWN OF NEWBURGH

Crossroads of the Northeast

OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

CODE COMPLIANCE DEPT.
TELEPHONE 845-564-7801
FAX LINE 845-564-7802



Grace Cardone Chairperson
Members of the Zoning Board of Appeals
Town of Newburgh
308 Gardnertown Road
Newburgh N.Y. 12550

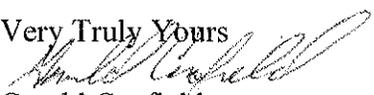
April 25, 2012

Re: Building Permit Application of Santa Monica Holdings, LLC
Request for Interpretation of Zoning Code Section 185-3 Definitions:
Word usage: "Eating and Drinking", Accessory" and "Use"; Section 185-10
Utilization of Use Table: B-District Table of Use and Bulk Requirements

Dear Mrs. Cardone:

Attached please accept the floor plan comparison schedule submitted by the applicant's attorney Mr. John Cappello which was submitted to our department on March 9th, 2012. Additionally I am submitted the third floor plan which was also submitted by Mr. Cappello on February 15th, 2012 for the purposes of identifying Full Service Dining, Drink Service and Entertaining Areas. I apologize for the late submittal.

Very Truly Yours


Gerald Canfield

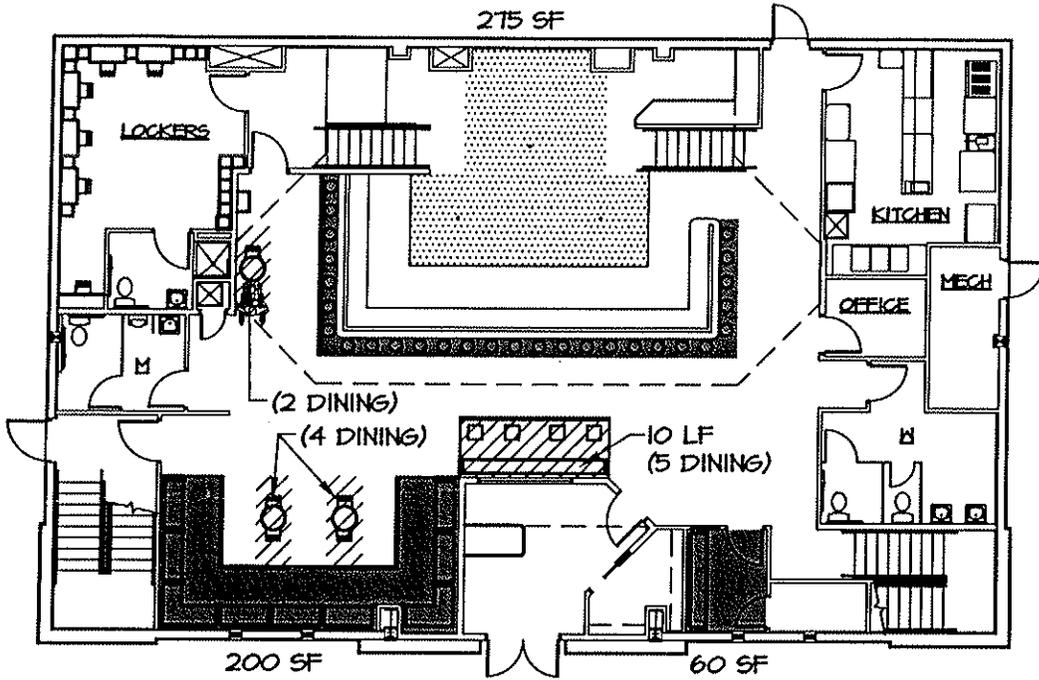
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Project no. 11-24

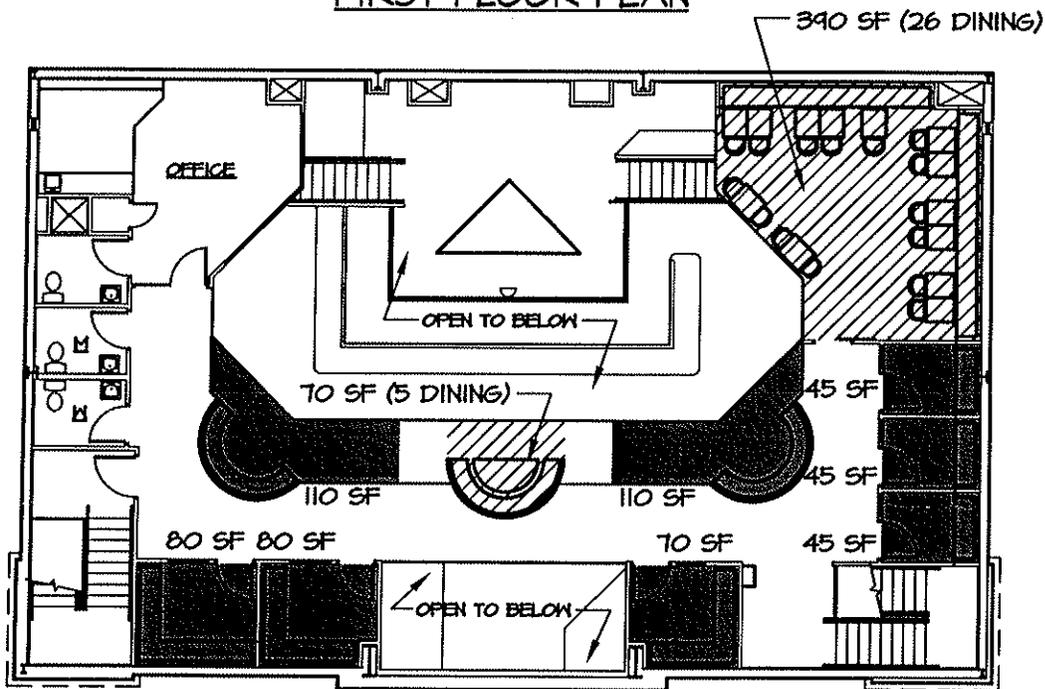
date 16 JAN 12

drawn by 55

THE MANSION
GENTLEMEN'S CLUB AND STEAKHOUSE
SANTA MONICA HOLDINGS, LLC NEWBURGH, NEW YORK
5246 ROUTE 9N



FIRST FLOOR PLAN



SECOND FLOOR PLAN

FLOOR PLANS

1 SK-4

SCALE: 1/16" = 1'-0"

- FULL SERVICE DINING AREA
- DRINK SERVICE
- ENTERTAINING AREA

CODE COMPLIANCE DEPT.
Feb 15, 2012
Sign x

etc

DESIGNATIONS FOR DINING, DRINK & ENTERTAINMENT

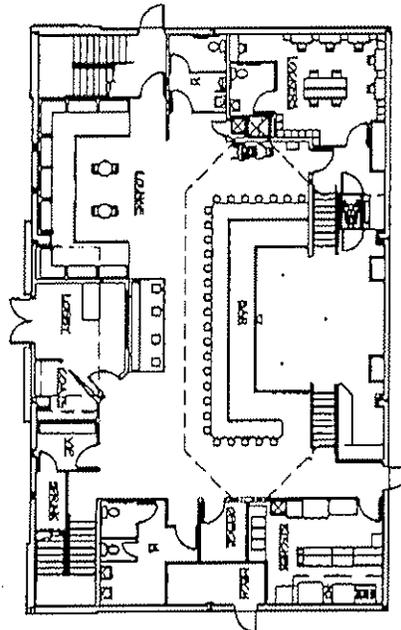
MAZZARELLI ARCHITECTURE + PLANNING, PC
44 NORTH CLOVER STREET
POUGHKEEPSIE NY 12421
845 483 0275



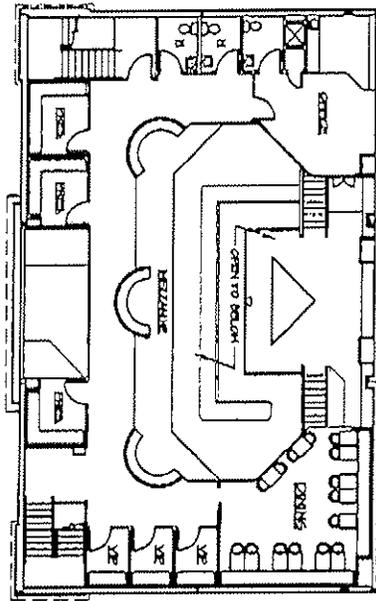
PURSUANT TO SECTION 663-B OF THE VEHICULAR AND TRAFFIC LAW, THE COMMISSIONER OF EDUCATION, MANUFACTURED ALL INFORMATION TO THIS DOCUMENT IS A VIOLATION OF THE LAW.

DISTRIBUTION BUILDING DEPT





FIRST FLOOR PLAN



SECOND FLOOR PLAN

1
SK-8
SCALE: 1/8"=1'-0"

FLOOR PLANS

SPACE	MINIJA ARCHITECTURE (BASED ON SF PROVIDED ON PRELIM PLANS)			MAZZARELLI ARCHITECTURE + PLANNING, PC			M.A.P. PLAN NET CHANGE
	1ST FL	2ND FL	TOTAL	1ST FL	2ND FL	TOTAL	
LOCKERS & BATH	1440 SF		1440 SF	430 SF		430 SF	-100 SF
STAGE	1306 SF		1306 SF	1360 SF		1360 SF	+54 SF
KITCHEN	1180 SF		1180 SF	1285 SF		1285 SF	+105 SF
BAR	456 LF		456 LF	495 LF		495 LF	+39 LF
SEATING/ LOUNGE	243 LF		243 LF	244 LF		244 LF	+1 LF
SHOPS (CLOSET)	1300 SF	1240 SF	2540 SF	460 SF	1360 SF	1820 SF	-165 SF
LOBBY & COATS	1266 SF		1266 SF	1200 SF		1200 SF	-158 SF
TOILETS	1250 SF	1460 SF	2710 SF	1238 SF	187 SF	1425 SF	-95 SF
MECH ROOM	130 SF		130 SF	810 SF		810 SF	+680 SF
MEZZANINE SEATING		30 LF	30 LF		30 LF	30 LF	SAVE
DRESS ROOM		1320 SF	1320 SF		1340 SF	1340 SF	+20 SF
OFFICE		1560 SF	1560 SF	155 SF	1021 SF	1676 SF	+116 SF

NOTE: SEE ATTACHED PRELIMINARY PLANS PREPARED BY MINIJA ARCHITECTURE PLLC

DATE: 3/19/12
DRAWN BY: [Signature]
CHECKED BY: [Signature]

THE MANSION
RESTAURANT, CLUB AND STRAIGHTS
1100 PARK AVENUE
NEW YORK, NY 10028

COMPARISON PLANS AND SCHEDULE
MAZZARELLI ARCHITECTURE + PLANNING, PC
1100 PARK AVENUE
NEW YORK, NY 10028

M.A.P.

SK-8