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CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: GOLDEN VISTA AMENDED SITE PLAN
PROJECT NO.: 99-33
PROJECT LOCATION: SECTION 60, BLOCK 1, LOT 9.1
REVIEW DATE: 26 MARCH 2015
MEETING DATE: 2 APRIL 2015
REPRESENTATIVE: JOHN MEYER CONSULTING

1. A revised SWPPP has been submitted and is under review by this office.
2. Grading has been modified on the site. Revised grading has moved the limits of disturbance in an easterly direction up to the stone wall along the common eastern property line. Grading along the eastern property line should be evaluated to determine if existing vegetation in that vicinity can be preserved. Notes should be added to the plans requiring no disturbance of the common stone wall.
3. Sheet SP4 depicts an existing swale to be removed at the northwest of Sycamore Drive cul de sac. This appears to be outside the property of the project. Unclear why swale would be removed.
4. Drainage along the northern property line from the emergency access road to the extended detention pond discharges via steep slopes. The Applicant's Representative are requested to evaluate slopes in this area as to whether long term stability can be maintained based on storm water velocity on the slopes.
5. One foot of free board should be provided and revised detention pond. Detention pond access road contains spot elevation of 500.20 which would create a low spot in the top of berm.
6. The Applicant's are requested to discuss whether specialized construction techniques will be required for construction of the buildings on fill. Building number 8 as an example has approximately 24 feet of fill under the rear of the structure.

7. Sanitary sewer appears to extend outside of existing sanitary sewer easement on adjoining Meadow Winds project.
8. The soil erosion sediment control plan identifies soil stockpile areas in locations which are proposed to be cut or filled. Interim locations must be provided for stock piles during initial construction phases.
9. A revised landscape plan has been submitted for the Planning Board's review.
10. Notes referencing the Town Code regarding senior housing size requirements must be added to the plans. This can be added in addition to labeling the habitable floor area in the bulk table as senior units.
11. Sewer and water profiles should be provided.
12. Documents pertaining to the zoning requirements for senior housing should be submitted to the Planning Board/Town Attorney for review.
13. Fire truck movement template was requested to be overlaid on the traffic circle.
14. Details 40 and 41 identify mountable concrete and Belgian block curbing. Plans do not identify where each will be utilized. Detail 41 identifies Stewart Avenue and should be revised.
15. A chain link fence detail, number 54 is depicted on the plans. Where this detail will be utilized should be identified, consideration for split rail with black coated vinyl chain link around the detention pond should be undertaken for aesthetics.
16. The bio retention area detail, number 62 should be revised as bio retention areas proposed are significantly larger than shown in the detail. Planting schedule should be appropriately revised.
17. Pedestrian scale lighting at 15 feet high has been proposed which is acceptable based on design guidelines.

Respectfully submitted,

McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

AMENDED SITE PLANS GOLDEN VISTA TAX MAP SECTION 60 | BLOCK 1 | LOT 9.1 MEADOW HILL ROAD TOWN OF NEWBURGH, NEW YORK

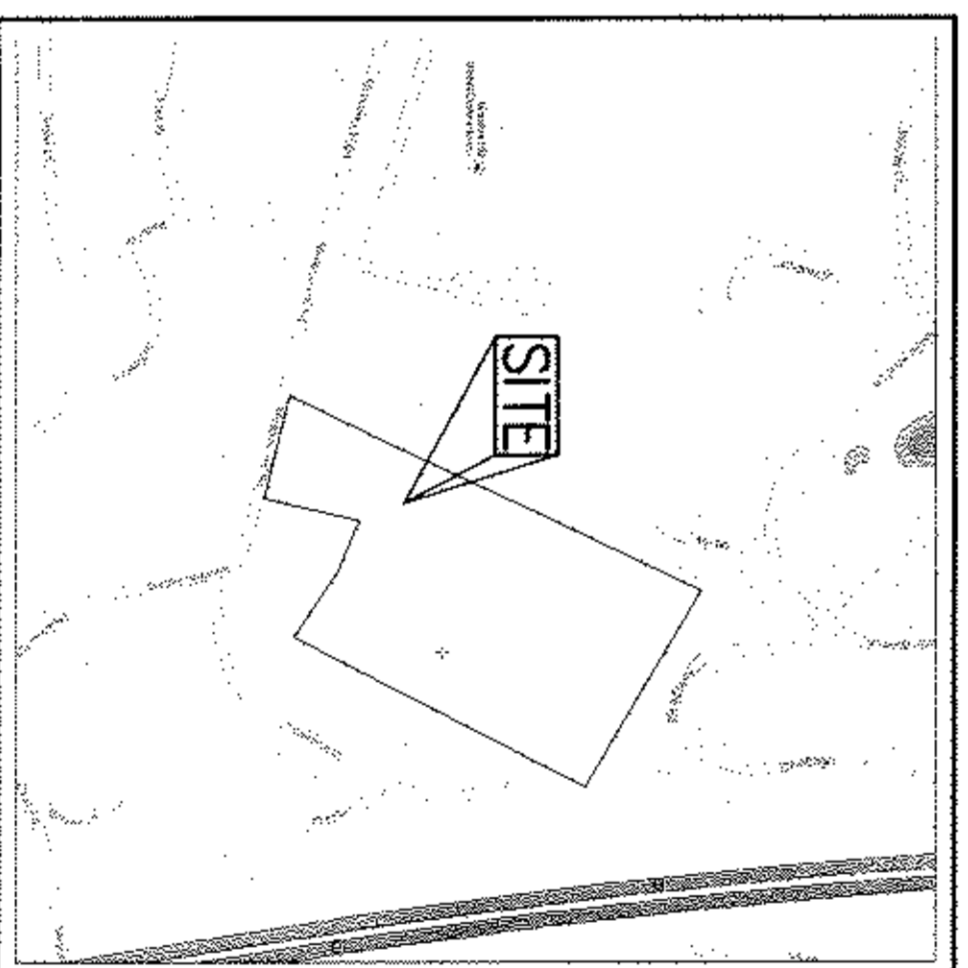
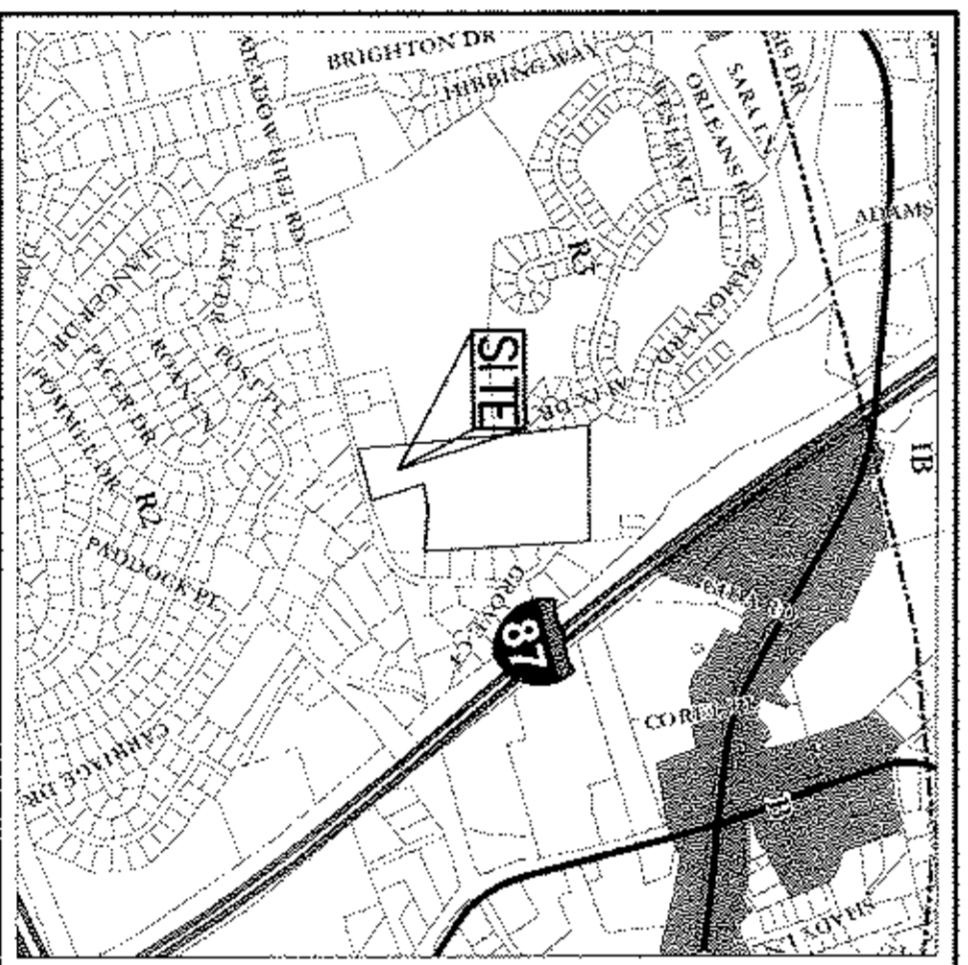
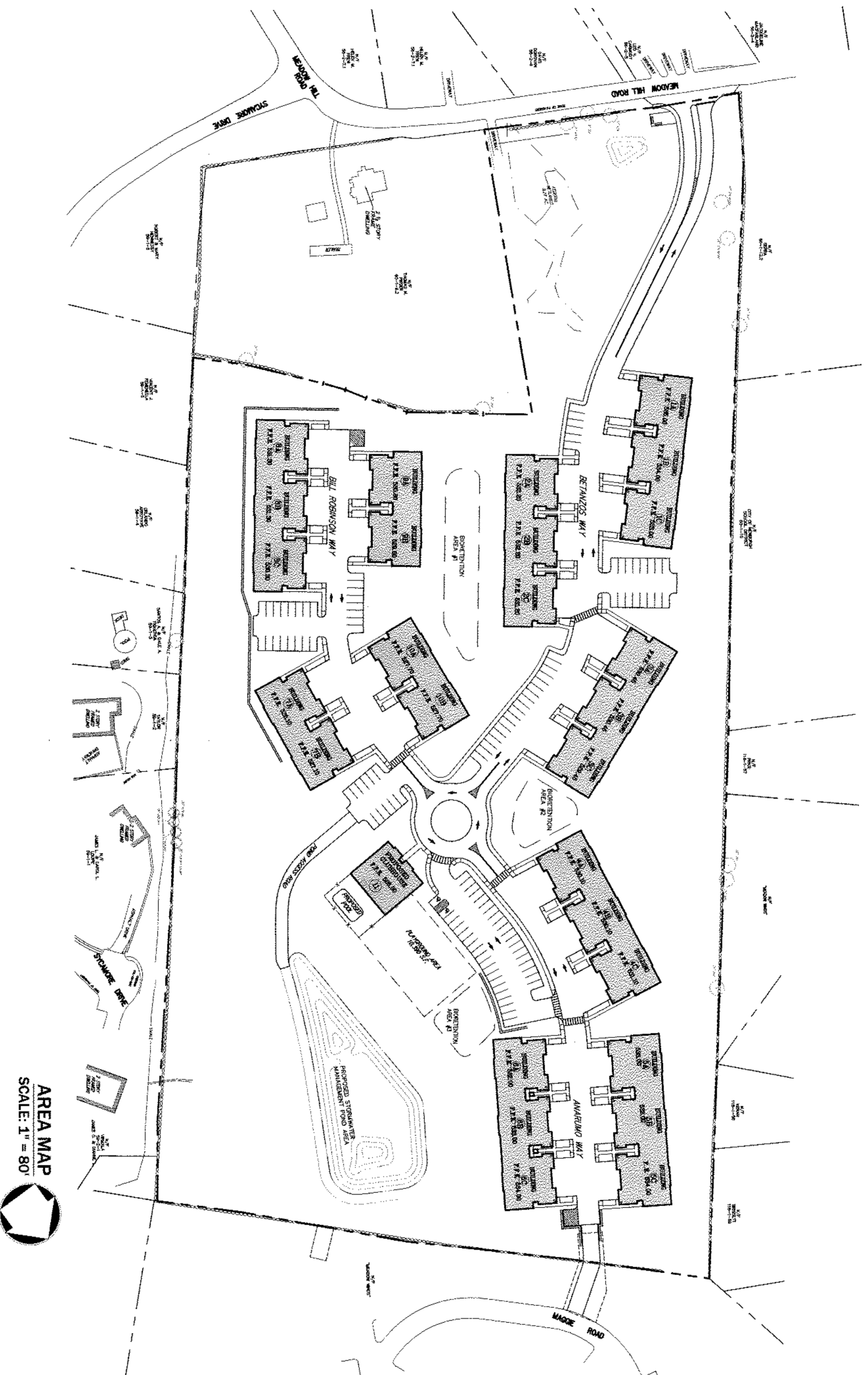
OWNER / APPLICANT:
MEADOW HILLS HOLDINGS, LLC
P.O. BOX 467
HIGHLAND MILLS NY 10930

ATTORNEY:
JACOBOWITZ AND GUBITS, LLP
158 ORANGE AVE, P.O. BOX 367
WALDEN, NY 12586
TEL: (845) 778-2121

**SITE PLANNER, CIVIL & TRAFFIC
ENGINEER & LANDSCAPE ARCHITECTS:**
JM
120 BEDFORD ROAD
ARMONK, NEW YORK 10504
(914) 273-5225

ARCHITECT:
BARTON PARTNERS
ARCHITECTS PLANNERS, INC
700 E. MAIN STREET, 3RD FLOOR
NORRISTOWN, PA 19401
TEL: (610) 930-2800

SURVEYOR:
MASER CONSULTING P.A.
SUITE 1
ONE CROSSFIELD AVE
WEST NYACK, NEW YORK 10994
TEL: (845) 727-1160



JOHN MEYER CONSULTING DRAWINGS:

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS PLAN
- SP-3 LAYOUT PLAN
- SP-4 GRADING PLAN
- SP-5 UTILITIES PLAN
- SP-6 EROSION & SEDIMENT CONTROL PLAN
- SP-7 LANDSCAPING PLAN
- SP-8 LIGHTING PLAN
- SP-9 ROAD PROFILE
- SP-10 CONSTRUCTION DETAILS
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS

BARTON PARTNERS ARCHITECTS PLANNERS, INC. :

- 1 OF 8 ELEVATION PLAN
- 2 OF 8 12-UNIT BUILDING PLAN
- 3 OF 8 18-UNIT BUILDING PLAN
- 4 OF 8 UNIT FLOOR PLAN
- 5 OF 8 12-UNIT ELEVATION PLAN
- 6 OF 8 18-UNIT ELEVATION PLAN
- 7 OF 8 MATERIALS PLAN
- 8 OF 8 CLUBHOUSE PLAN

ZONING DISTRICT	PERMITTED/REQUIRED	PROPOSED
LOT AREA W/W (S.F.)	10,00 AC./435,600 S.F.	18,20 AC./795,040 S.F.
LOT WIDTH (FT)	300	666
LOT DEPTH (FT)	300	1,419
FRONT YARD (FT)	30	330
REAR YARD (FT)	50	51
1 SIDE YARD / BOTH (FT)	30/60	50/12
NUMBER OF UNITS (0 UNITS PER ACRE)	-	181
FEET TO ADJACENT BUILDING	75	92
FEET TO SIDE OF ALLEYWAY	33	40
HIGHEST FLOOR AREA PER LOT BUILDING COVERAGE (%)	1-BEDROOM 600 S.F. PER 5,000 S.F. LOT W/W	2-BEDROOM 1,000 S.F. PER 5,000 S.F. LOT W/W
LOT BUILDING COVERAGE (%)	30	14.2
BUILDING HEIGHT (FT)	60	35
LOT SURFACE COVERAGE (%)	30	33
STANDARD PARKING	322	329
2 SP/LMT	-	2
HANDICAP PARKING	322	2
TOTAL PARKING	-	331

NOTES:
1. BASE DENSITY CALCULATIONS:
BASE DENSITY = 6 DWELLING UNITS PER ACRE
SENIOR HOUSING DEVELOPMENT DENSITY = 9 DWELLING UNITS PER ACRE
1/3 OF THE TOTAL NUMBER OF PROPOSED UNITS ARE OWNED DUE TO THE SENIOR HOUSING DEVELOPMENT PROVISION.
2. SET-BACKS:
18.20 GROSS ACRES
172' OF SETBACKS FROM THE 75% OF 75% = (0.11)(0.27)(70) = 0.92 AC.
82% OF 0.27 IS SUBTRACTED AT A RATE OF 100% = (0.82)(0.27)(100) = 0.24 AC.
TOTAL AREA COVERED BY BUILDINGS FROM NET AREA CALC. = (0.92)+(0.24) = 1.16 AC.
TOTAL AREA COVERED BY BUILDINGS FROM NET AREA CALC. = (0.92)+(0.24) = 1.16 AC.
THEREFORE: 17.99 AC. X 9 UNITS = 17.99 AC. X 9 UNITS PERMITTED

DESCRIPTION	PARKING PROVIDED
7-18 UNIT BUILDINGS	84
7-18 UNIT BUILDINGS (12 DRIVEWAY SPACES/BLDG)	84
CLUBHOUSE PARKING (12 CLUBHOUSE PARKING/BLDG)	16
CLUBHOUSE PARKING (8 CLUBHOUSE PARKING/BLDG)	16
1-11 UNIT BUILDINGS DRIVEWAY SPACES/BLDG	8
CLUBHOUSE PARKING/BLDG	115
TOTAL SPACES	331

NOT FOR CONSTRUCTION

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:
1. EXCAVATIONS SHALL BE MADE TO THE DEPTH OF THE UTILITY LOCATIONS TO BE REMOVED OR RELOCATED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES TO BE REMOVED OR RELOCATED. THE CONTRACTOR SHALL HOLD THE UTILITY LOCATIONS TO BE REMOVED OR RELOCATED TO THE DEPTH INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN.
2. UNDER INDUSTRIAL CODE 753 THE CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
5. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN.

811 Homegrown Holdings
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JMIC SITE DEVELOPMENT CONSULTANTS
John Meyer Consulting, Inc.
179 BEDFORD ROAD • ARMONK, NY 10504
www.jmicinc.com

SP-1



- NOTES**
1. EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN FIELD VERIFIED BY THE SURVEYOR AND ENGINEER. ANY CHANGES TO THE EXISTING CONDITIONS SHALL BE INDICATED BY A FIELD NOTE.
 2. ON 03/17/2025

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING UTILITY LINE AND DIMENSION
	EXISTING BUILDING LINE
	EXISTING FOUNDATION LINE
	EXISTING FENCE LINE
	EXISTING DRIVEWAY
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND EXPANSION
	EXISTING TREE LINE
	EXISTING STRUCTURAL OPENING
	EXISTING MANHOLE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING STONE WALL
	EXISTING DRIVEWAY
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

SP-2

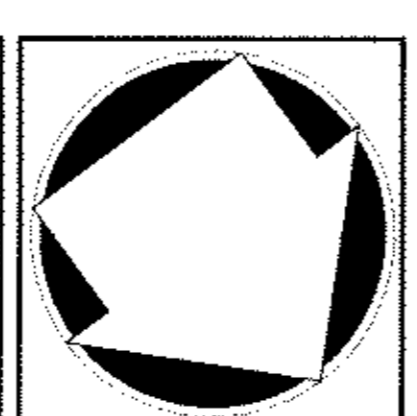
Scale: 1" = 40'

Date: 02/24/2025

Sheet: 1 of 4

SITE EXISTING CONDITIONS PLAN

GOLDEN VISTA
MEADOW HILL ROAD
NEWBURGH, NY 12550



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JMC Site Development Consultants, LLC
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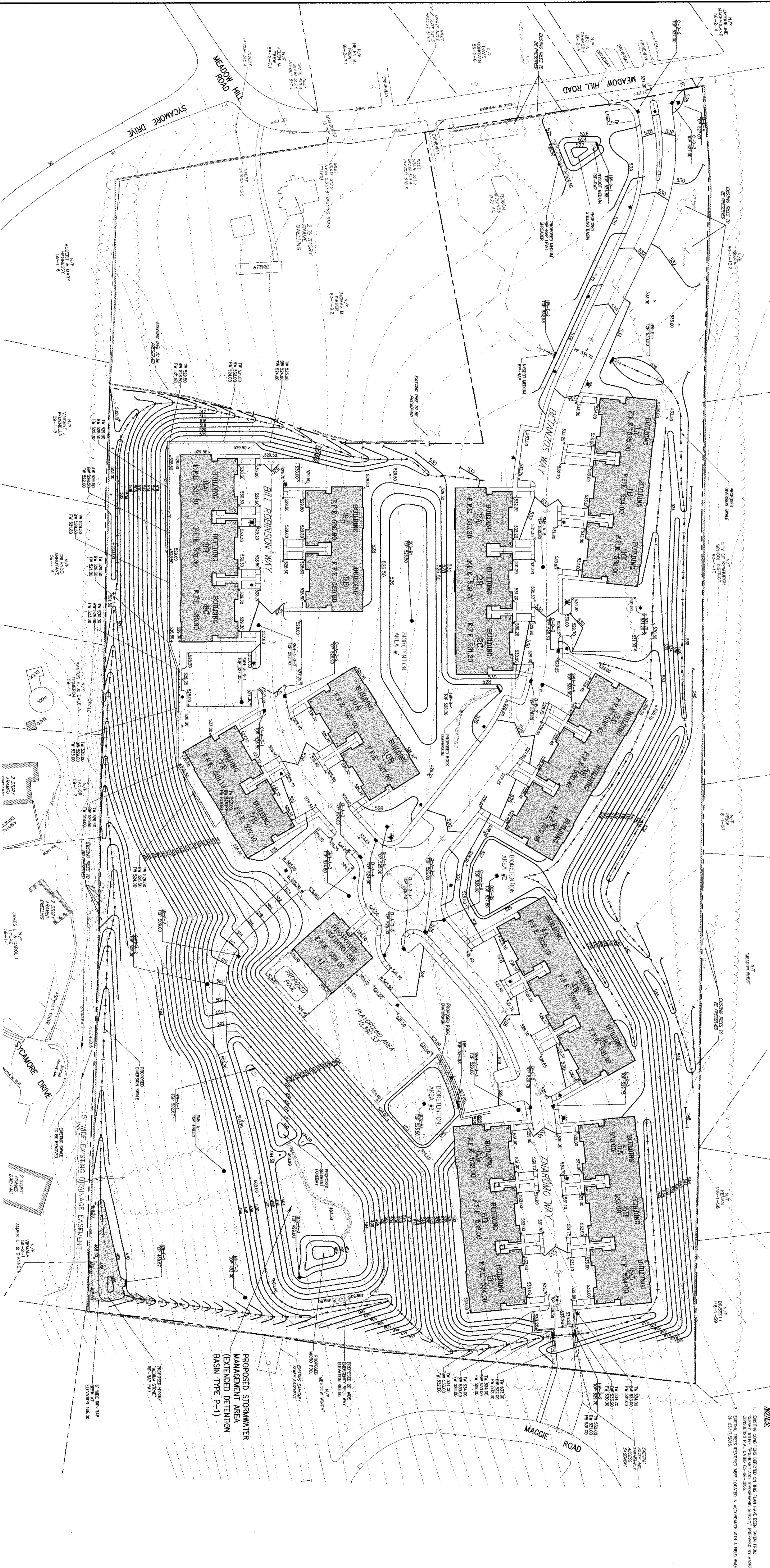
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102

OWNER/APPLICANT: MEADOW HILLS HOLDINGS, LLC
P.O. BOX 467
HIGHLAND MILLS NY 10930

ARCHITECT: BARTON PARTNERS ARCHITECTS PLANNERS, INC
700 E. MAIN STREET, 3RD FLOOR
NORRISTOWN, PA 19401

No.	Revision	Date	By

Previous Editions Obsolete



LEGEND

- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - - - DESIGN ELEVATION LINE
- - - - - DESIGN BOUNDING DRAWING
- - - - - DESIGN BOUNDING LINE
- - - - - DESIGN PAVEMENT EDGE
- - - - - DESIGN CURB LINE
- - - - - DESIGN CONTROL
- - - - - DESIGN INDEX CONTROL
- - - - - DESIGN STONE WALL
- - - - - DESIGN FENCE
- - - - - DESIGN SWAN NEST
- - - - - DESIGN MANHOLE
- - - - - DESIGN LIGHT POLE
- - - - - DESIGN LIGHT POLE
- - - - - DESIGN SIGN
- - - - - DESIGN SIGNAGE LINE
- - - - - PROPOSED SIGNAGE MARK (DASHES BY OTHERS)
- - - - - PROPOSED STAKE
- - - - - PROPOSED STAKE OR SWALE
- - - - - PROPOSED STAKE OR DISTURBANCE
- - - - - PROPOSED STAKE OR SWALE
- - - - - PROPOSED STAKE OR SWALE
- - - - - PROPOSED STAKE TO BE REMOVED

NOTES

1. DESIGN CONTOURS SPECIFIED ON THIS PLAN HAVE BEEN TAKEN FROM ADJACENT PROPERTIES. THESE CONTOURS MAY VARY FROM THE ACTUAL CONTOURS OF THE SITE. THE DESIGNER HAS NOT PERFORMED A FIELD SURVEY TO VERIFY THESE CONTOURS. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE CONTOURS.

RETAINING WALL SPOT GRADE LEGEND

- - - - - PROPOSED GRADE
- - - - - EXISTING GRADE

SP-4

SHEET NO. 1 OF 1

DATE: 01/24/2013

PROJECT: 15204

OWNER: SPAW

DRAWN BY: SPAW

CHECKED BY: SPAW

SITE GRADING PLAN

GOLDEN VISTA
MEADOW HILL ROAD
NEWBURGH, NY 12550



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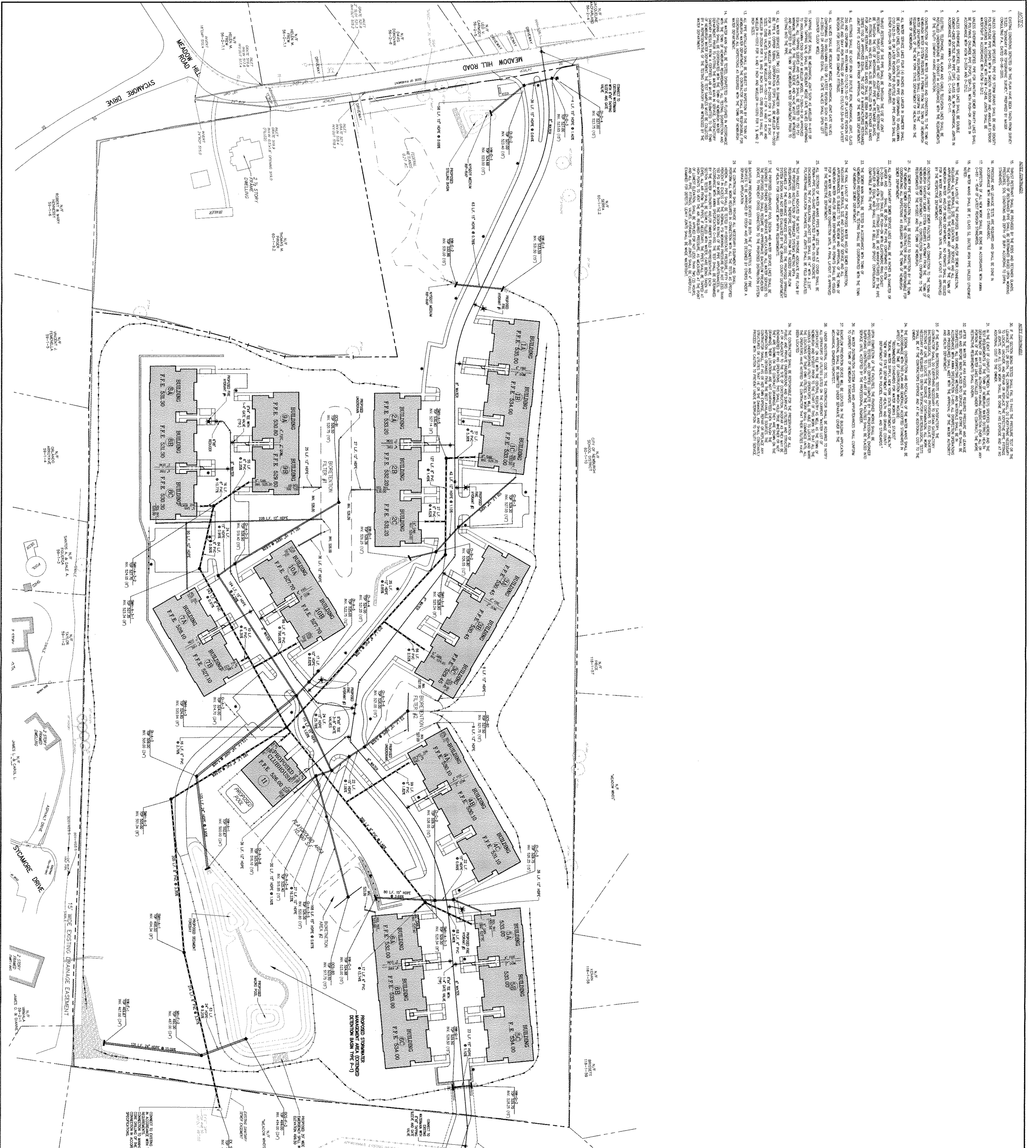
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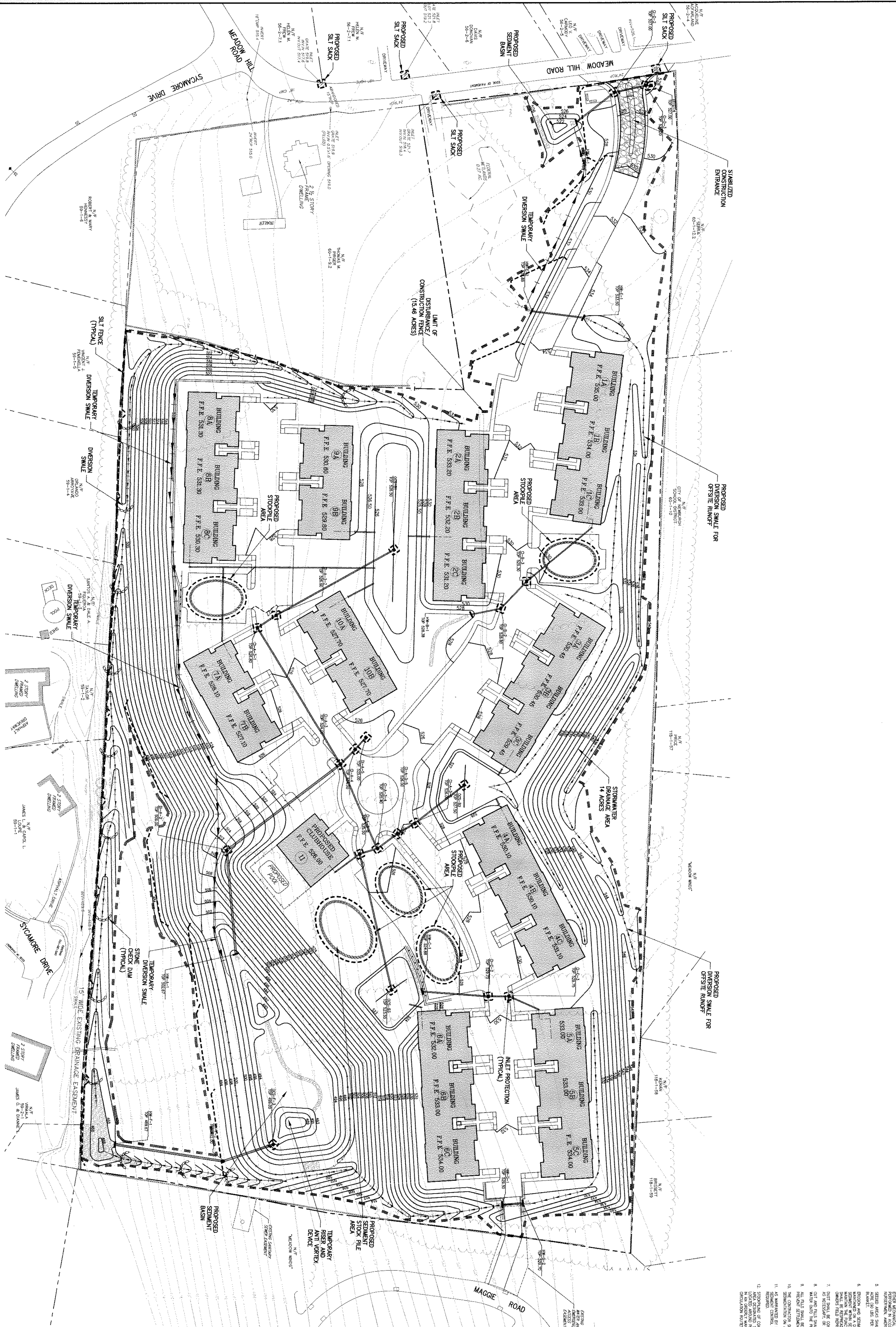
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Previous Editions Obsolete

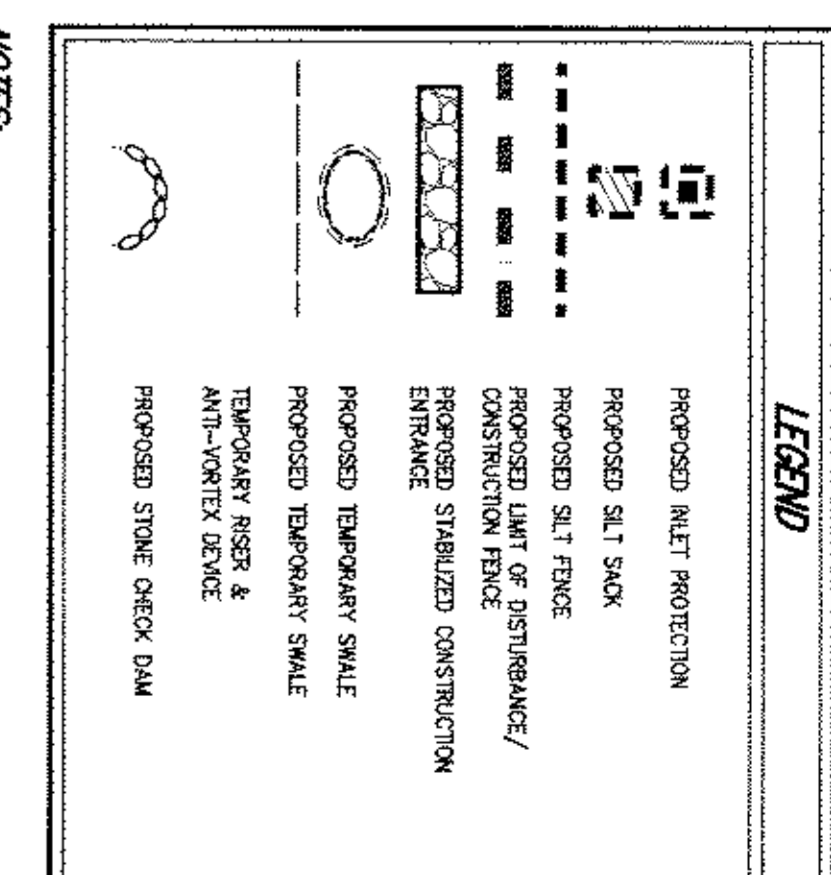


- 1. EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN THOROUGHLY VERIFIED...
- 2. EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN THOROUGHLY VERIFIED...
- 3. ALL UTILITIES SHALL BE DEEPER THAN THE PROPOSED FOUNDATION...
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EXISTING FUTURE	EXISTING FUTURE
EXISTING STORM DRAIN LINE AND SIZE	EXISTING STORM DRAIN LINE AND SIZE
EXISTING SANITARY LINE AND SIZE	EXISTING SANITARY LINE AND SIZE
EXISTING WATER LINE	EXISTING WATER LINE
EXISTING FUTURE WATER	EXISTING FUTURE WATER
EXISTING OVERHEAD WIRE	EXISTING OVERHEAD WIRE
EXISTING DRAINAGE	EXISTING DRAINAGE
EXISTING FUTURE	EXISTING FUTURE
EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING WATER MAIN	EXISTING WATER MAIN
EXISTING LIGHT POLE	EXISTING LIGHT POLE
EXISTING STREET LIGHT	EXISTING STREET LIGHT
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EXISTING OVERHEAD WIRE	EXISTING OVERHEAD WIRE
EXISTING DRAINAGE	EXISTING DRAINAGE
EXISTING FUTURE	EXISTING FUTURE
EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING WATER MAIN	EXISTING WATER MAIN
EXISTING LIGHT POLE	EXISTING LIGHT POLE
EXISTING STREET LIGHT	EXISTING STREET LIGHT
EXISTING FUTURE	EXISTING FUTURE



- SEQUENCE OF CONSTRUCTION**
1. CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 2. THE LIMIT OF DISTURBANCE/CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES.
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- NOTES**
1. FOUNDATION FOOTINGS SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 2. THE LIMIT OF DISTURBANCE/CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES.
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 10. THE LIMIT OF DISTURBANCE/CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES.

SP-6

DATE: 02/27/2013

SCALE: 1" = 40'

PROJECT: GOLDEN VISTA

CLIENT: MEADOW HILLS HOLDINGS, LLC

SITE EROSION AND SEDIMENT CONTROL PLAN

GOLDEN VISTA
MEADOW HILL ROAD
NEWBURGH, NY 12550

JMC
SITE DEVELOPMENT CONSULTANTS

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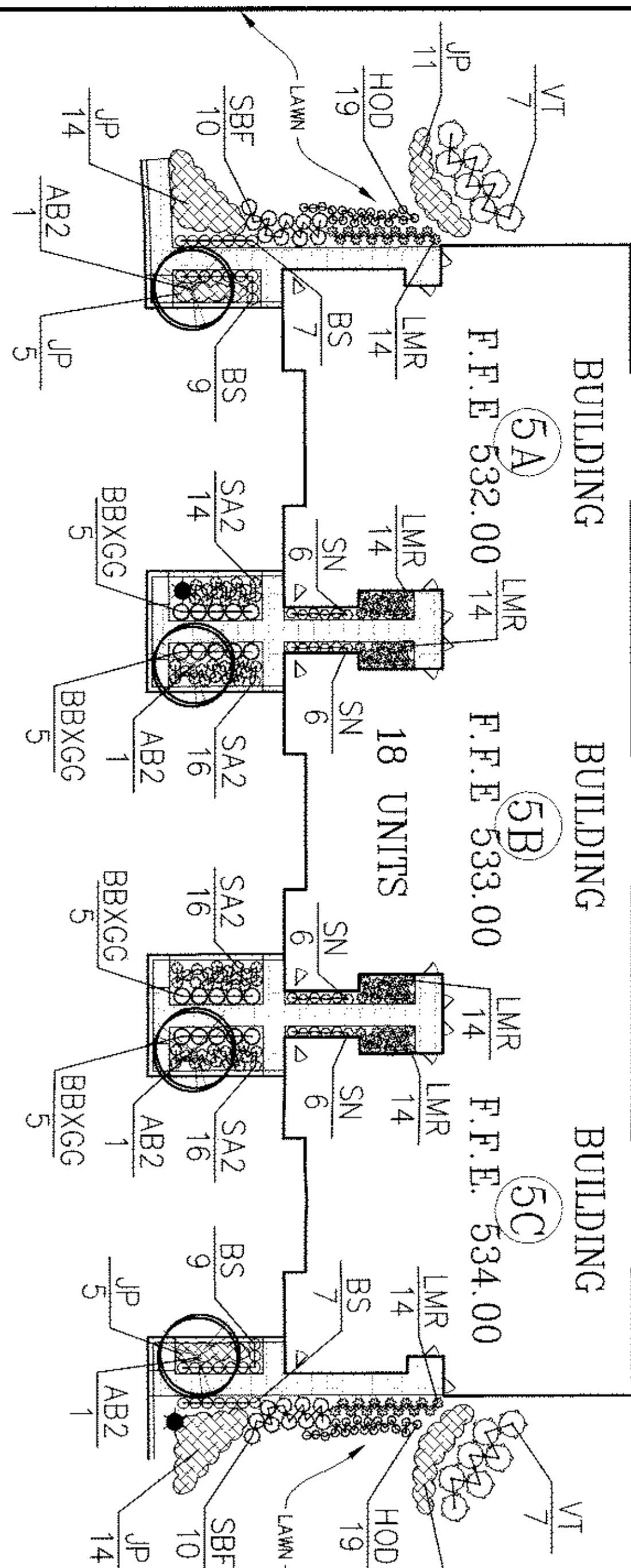
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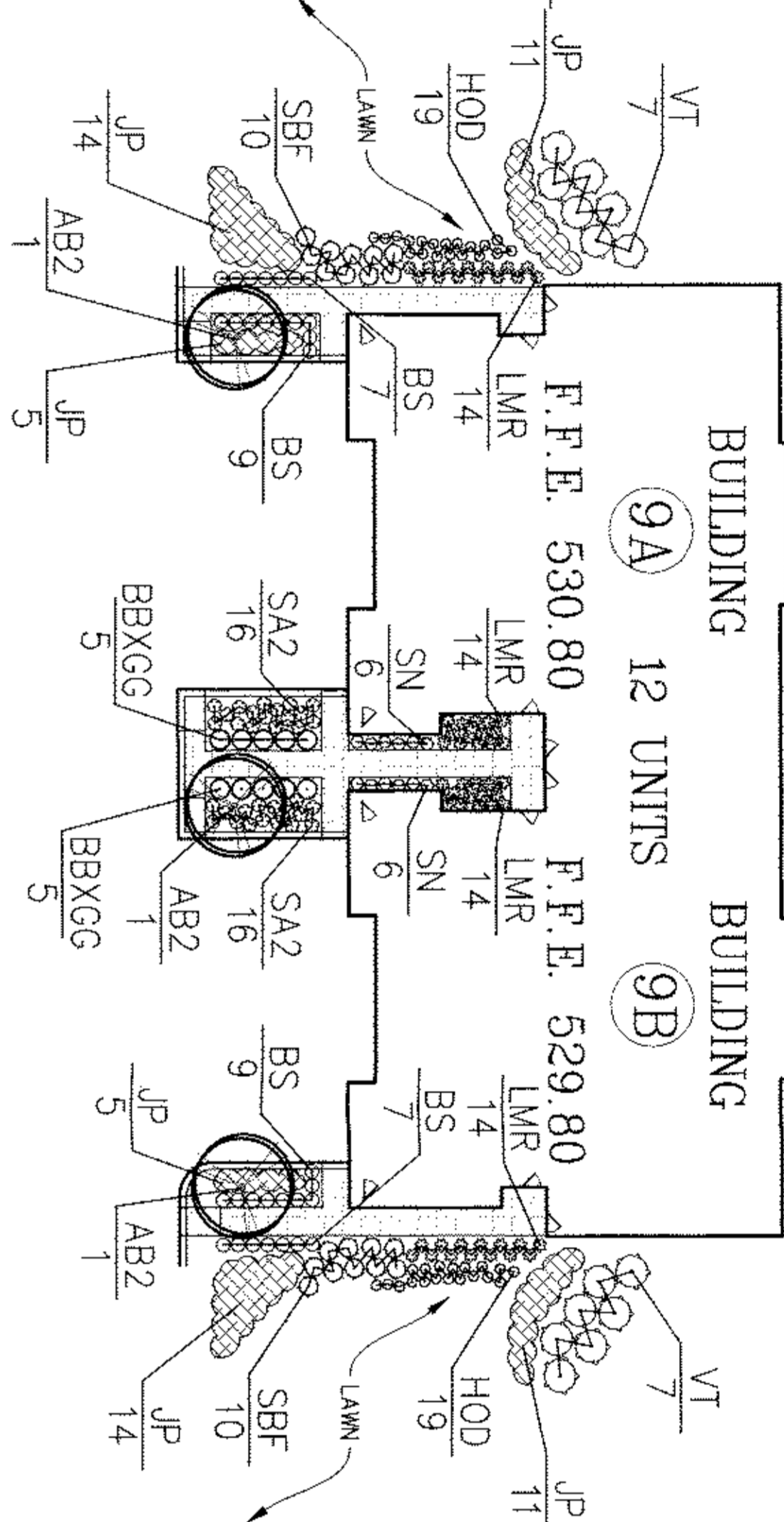
18 UNIT PLANTING DETAIL

1" = 20'



12 UNIT PLANTING DETAIL

1" = 20'



PLANT SCHEDULE 18 UNIT TYPICAL PLANTING

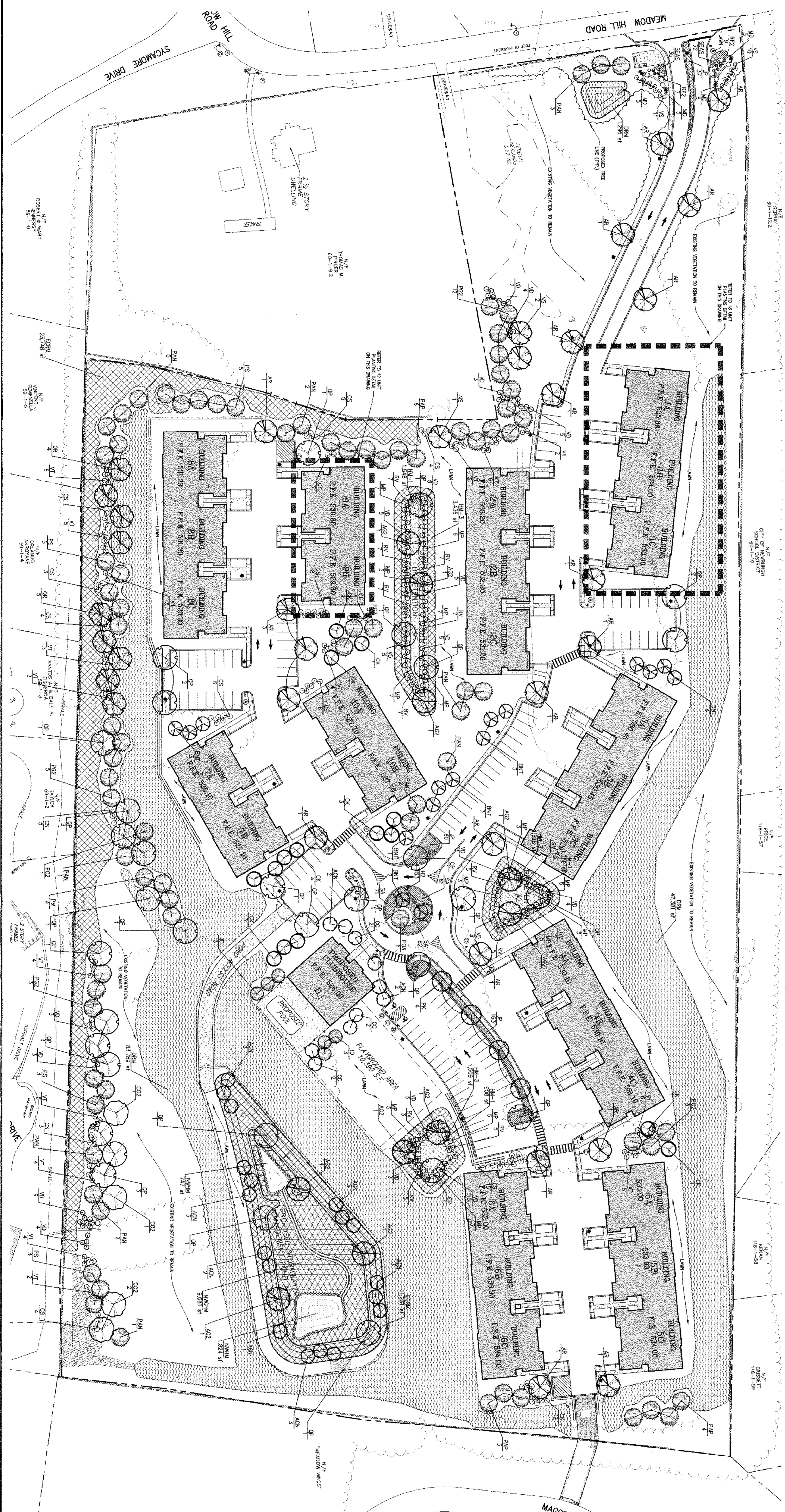
SYMBOL	QTY	COMMON NAME / BOTANICAL NAME	CULT. HT.	ROOT COND.	REMARKS
SA2	14	Green Leaf Landcraze / Green Leaf	3'-3 1/2' CAL.	P1/B	
BBXGG	5	Boxwood / Taxus canadensis	5'-6' HT.	COIL	
BS	7	Bushy / Hydrangea x Grandiflora	3'-4' HT.	COIL	
SA2	14	Green Leaf Landcraze / Green Leaf	3'-3 1/2' CAL.	P1/B	
BBXGG	5	Boxwood / Taxus canadensis	5'-6' HT.	COIL	
BS	7	Bushy / Hydrangea x Grandiflora	3'-4' HT.	COIL	

PLANT SCHEDULE 12 UNIT TYPICAL PLANTING

SYMBOL	QTY	COMMON NAME / BOTANICAL NAME	CULT. HT.	ROOT COND.	REMARKS
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LEGEND

- PROPOSED SEWER LINE
- PROPOSED SANITARY/RAINFALL LINE
- PROPOSED FIRE ALARM
- PROPOSED SHAWL
- PROPOSED SHAWL MARKING

NOTES:

- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED WITHIN AND WITHIN ONE YEAR OF COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF ALL PLANT MATERIAL THROUGHOUT THE CONSTRUCTION PERIOD.
- PLANT MATERIALS TO BE PLANTED WITHIN 14 DAYS OF THE COMPLETION OF THE WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND LANDSCAPE ARCHITECT.
- PLANT MATERIALS TO BE PLANTED OUTSIDE THE CONSTRUCTION PERIOD SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND LANDSCAPE ARCHITECT.
- PLANT MATERIALS TO BE PLANTED WITHIN 14 DAYS OF THE COMPLETION OF THE WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND LANDSCAPE ARCHITECT.

CONTRACTOR

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LANDSCAPING PLAN

GOLDEN VISTA
MEADOW HILL ROAD
NEWBURGH, NY 12550

DATE: 05/07/2015
SCALE: AS SHOWN
SHEET: 30 OF 45
SP-7